



# ROCHESTER HILLS - FIRE STATION 1

1111 HORIZON CT.  
FIRE TRAINING TOWER  
Rochester Hills, Michigan



**Site Plan Review**  
Reviewed for compliance with City Ordinance, Building and Fire Codes  
Conditions and mark-ups noted throughout plan set must be addressed prior to final approval

Department	Reviewer	Approved
Assessing	Assessing	Yes
Building	Mark Artinian 248-841-2446 ArtinianM@RochesterHills.org	Yes With Conditions
Engineering - Utilities	Jason Boughton 248-841-2490 BoughtonJ@RochesterHills.org	Yes With Conditions
Engineering Legal	Seth Bucholz 248-841-2491 bucholz@rochesterhills.org	YES Date: 12/06/2024
Fire	Capt. Ann Echols 248-841-2701 EcholsA@RochesterHills.org	Yes
Natural Resources	Matt Einheuser 248-841-2551 EinheuserM@RochesterHills.org	Yes
Planning	Chris McLeod 248-841-2572 mcleodc@RochesterHills.org	Yes
Traffic	Keith Depp 248-841-2572 DeppK@RochesterHills.org	Yes

Contingent on Building Department AHJ approval. Refer to Building Code Analysis on Sheet A-1.

Rochester Hills Fire Department  
Owner  
1111 Horizon CT  
Rochester Hills, MI 48309  
248.656.4650



**A3C Collaborative Architecture**  
Architect -- Project Number: 23092  
115 1/2 East Liberty St.  
Ann Arbor, MI 48104  
PH: 734.663.1910  
FX: 866.732.2168



**A.R. Brouwer**  
Construction Manager  
2830 Baker Rd  
Dexter, MI 48130  
734.426.9980

**Next Steps:** Site plan to be considered at January 14, 2025 Planning Commission meeting.



**Washtenaw Engineering Company**  
Civil Engineer  
3526 W. Liberty Rd, Suite 400  
P.O. Box 1128  
Ann Arbor, MI 48106  
734.761.8800

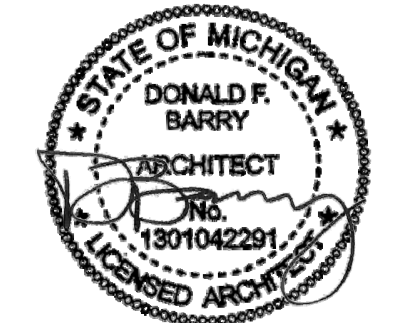


**Shymanski & Associates, LLC**  
Structural Engineer  
33426 Five Mile Rd  
Livonia, MI 48154  
734.855.4810



**WHP Training Towers**  
Training Tower Supplier  
519 Duck Rd  
Grandview, MO 64030  
1-800-351-2525

Height modifications for projects located on sites with five or more acres of land are subject to Planning Commission approval.  
The application does not require conditional use approval since the site is 5.2 acres.



E:\24084 AR Brouwer - Rochester Hills Fire Training Tower\6-CAD\Sheets\24084-G0.01 TITLE SHEET.dwg,09.03.05 4:41 PM



ABBREVIATIONS LIST	NO SCALE	3
AFF ABOVE FINISH FLOOR	REF'D FROM: NA	
ARCH ARCHITECT(URAL)		
BLDG BUILDING		
CC CENTER TO CENTER		
CJ CONTROL JOINT		
CLG CEILING		
CONC CONCRETE		
CONT CONTINUOUS		
DIA DIAMETER		
DS DOWNSPOUT		
DWG DRAWING		
(E) EXISTING		
EA EACH		
EJ EXPANSION JOINT		
ELEC ELECTRICAL		
EL ELEVATION		
ELEV ELEVATOR		
EQUIP EQUIPMENT		
EWC ELECTRIC WATER COOLER		
EXT EXTERIOR		
FD FLOOR DRAIN		
FOF FACE OF FINISH		
FOS FACE OF STUD		
FR FIRE-RETARDANT		
GA GAUGE OR GAGE		
GC GENERAL CONTRACTOR		
GI GALVANIZED IRON		
GYP BD GYPSUM BOARD		
HM HOLLOW METAL		
HORIZ HORIZONTAL		
HT HEIGHT		
INT INTERIOR		
ID INSIDE DIAMETER		
JT JOINT		
LAV LAVATORY		
NOTE: SEE DOOR, WINDOW AND INTERIOR FINISH SCHEDULES FOR ADDITIONAL ABBREVIATIONS		
MAX MAXIMUM		
MECH MECHANICAL		
MFR MANUFACTURER		
MIN MINIMUM		
MO MASONRY OPENING		
NA NOT APPLICABLE		
NOT IN CONTRACT		
NOM NOMINAL		
NOT TO SCALE		
ON CENTER		
OD OUTSIDE DIAMETER		
OPG OPENING		
OPP OPPOSITE		
PAIR		
PROVIDED		
R RISER		
REFER (TO)		
REQUIRED		
ROOF DRAIN		
ROUGH OPENING		
SQ SQUARE FEET		
SIMILAR		
SPECIFICATIONS		
SS STAINLESS STEEL		
STD STANDARD		
STRUCTURAL		
T TREAD		
THIS SHEET		
TOP OF CONCRETE		
TOP OF STEEL		
TOP OF MASONRY		
TYPICAL		
UNLESS NOTED OTHERWISE		
WITH		
WATER CLOSET		
WOOD		
WATER RESISTANT		
WELDED WIRE FABRIC		

**ROCHESTER HILLS FIRE STATION 1:**

Primary Site Contact:  
Matt Exley  
exley@rochesterhills.com

**ARCHITECT:**  
A3C Collaborative Architecture  
Project Manager  
F. Edward Alonso  
Ph: 734.663.1910  
ealonso@a3c.com

**CONSTRUCTION MANAGER:**  
A.R. Brouwer  
Project Director  
Ken Westfall  
Ph: 734.426.9980  
kenwestfall@arbrouwer.com

**CONSULTANT TEAM:**

Civil - Washtenaw Engineering Company  
Joseph K. Maynard  
Ph: 734.761.8800  
jkm@wengco.com

Structural - Shymanski & Associates, LLC  
Ted Shymanski  
Ph: 734.855.4810  
ted@sastructuralengineers.com

WHP Training Towers  
Joe Kirchner  
Ph: 913.343.0446  
joek@trainingtowers.com

23092 G0.01

**PROJECT DIRECTORY** NO SCALE REF'D FROM: NA 6

**SYMBOLS LEGEND** NO SCALE REF'D FROM: NA 2

PLAN LETTER/ DETAIL NUMBER  
DRAWING/ DETAIL NUMBER AND DIRECTION  
SHEET NUMBER WHERE DRAWN

ELEVATION LETTERS AND DIRECTION  
DRAWING/ DETAIL NUMBER  
SHEET NUMBER WHERE DRAWN

ELEVATION LETTER  
ELEVATION TITLE

DRAWING/ DETAIL NUMBER  
SHEET NUMBER WHERE REFERENCED FROM (TS DESIGNATES REFERENCE FROM 'THIS SHEET')  
DRAWING SCALE  
DRAWING TITLE

**PROJECT TITLE** NO SCALE REF'D FROM: NA 9

**DRAWING INDEX KEY:**

ISSUED FOR REFERENCE ONLY ○  
ISSUED FOR REVIEW ●  
ISSUED FOR BID/PERMIT ●

ISSUED FOR: 11/20/24

SHT. #	SHEET NAME	ADMIN REVIEW
01	TITLE SHEET	●
02	EXISTING CONDITIONS	●
03	SITE PLAN	●
04	EXISTING AND NEW ELEVATIONS	●
05	FIRST FLOOR PLAN	●
06	SECOND FLOOR PLAN	●
07	THIRD FLOOR PLAN	●
08	FOURTH FLOOR PLAN (OPTIONAL)	●
09	ROOF FLOOR PLAN	●
10	FRONT SIDE AND LEFT SIDE ELEVATIONS	●
11	REAR SIDE AND RIGHT ELEVATIONS	●

**WHP TRAINING TOWER SUPPLIER**

PROJECT DESCRIPTION:  
THE EXISTING ROCHESTER HILLS FIRE DEPARTMENT FIRE TRAINING TOWER WILL BE REMOVED BY OTHERS. THE NEW FIRE TRAINING TOWER WILL HAVE 4 FLOORS WITH BURN ROOMS, RECONFIGURABLE MAZE SYSTEM, FLAT ROOF AREAS, SLOPED VENT CHOP OUTS, STAIRS, VERTICAL LADDER, HATCH AND RAPPPELLING ANCHORS. THE GROSS FLOOR SQUARE FOOTAGE WILL BE 1,920 SF. THE BUILDING FOOTPRINT WILL BE 800 SF (20'x40').

**BUILDING CODE ANALYSIS:**  
REFER TO SHEET A-1.

24084-G0.01

**DRAWING INDEX** NO SCALE REF'D FROM: NA 1

PROJECT NUMBER 24084

ISSUE

ADMIN REVIEW 11/20/24  
DRN: KLJ CHK'D: FEA

ROCHESTER HILLS - FIRE STATION 1  
FIRE TRAINING TOWER  
ROCHESTER HILLS, MI

TITLE SHEET

**A3C Collaborative Architecture**  
115 1/2 E. LIBERTY STREET  
ANN ARBOR, MI 48104  
T: (734) 663 - 1910  
F: (866) 732 - 2168  
www.a3c.com

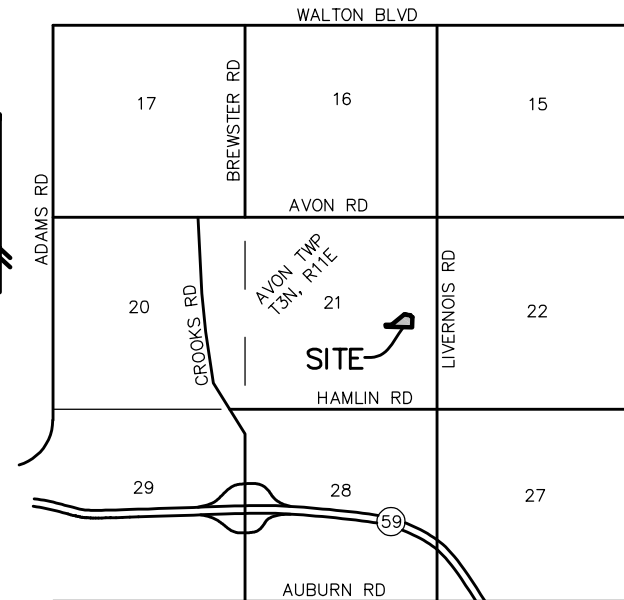
SHEET **G0.01**

STATE OF MICHIGAN  
DONALD F. BARRY  
ARCHITECT  
NO. 1301042281  
LICENSED ARCHITECT

The applicant will not need to submit for a Land Improvement Permit (LIP) application, unless other departments significantly change the scope of the work with their requirements.  
City File #24-0378 Section #21 in the lower right hand corner of each sheet



THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION PROVIDED. THE SURVEYOR DOES NOT WARRANT THAT THE INFORMATION PROVIDED IS COMPLETE, ACCURATE, OR UP-TO-DATE. THE SURVEYOR DOES NOT WARRANT THAT THE INFORMATION PROVIDED IS COMPLETE, ACCURATE, OR UP-TO-DATE. THE SURVEYOR DOES NOT WARRANT THAT THE INFORMATION PROVIDED IS COMPLETE, ACCURATE, OR UP-TO-DATE.



VICINITY MAP  
(NO SCALE)

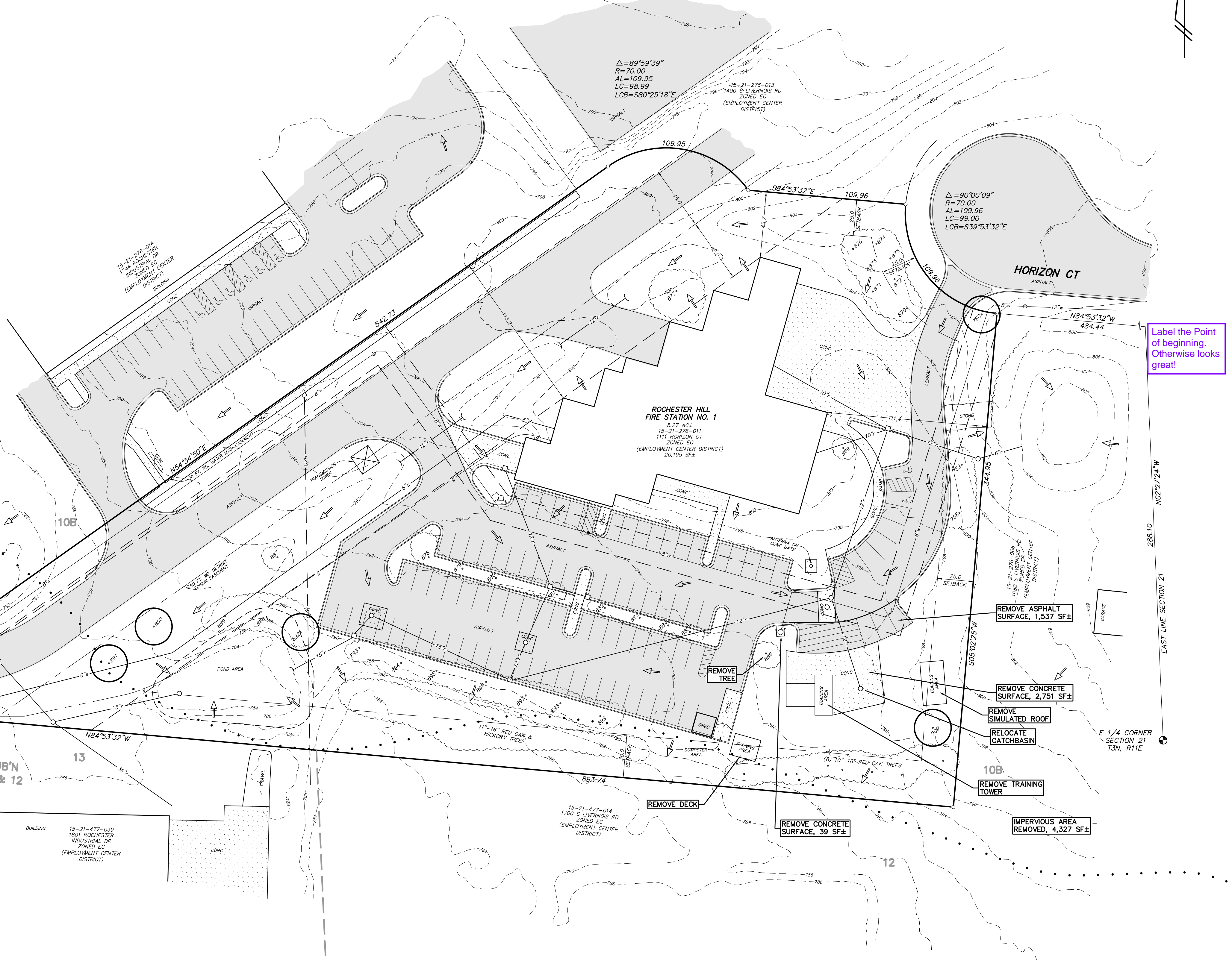
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758	Norway Maple	10	Good	
759	Sugar Maple	15	Good	
760	Norway Maple	18	Good	X
869	Crab Apple	7	Good	
870	Colorado Blue Spruce	12	Good	
871	Australian Pine	15	Good	
872	Colorado Blue Spruce	10	Fair	
873	Norway Maple	12	Good	
874	Colorado Blue Spruce	16	Fair	
875	Colorado Blue Spruce	16	Good	
876	Australian Pine	12	Good	
877	Norway Maple	15	Good	
878	Locust	15	Good	
879	Locust	8	Good	
880	Locust	8	Good	
881	Locust	7	Good	
882	Locust	6	Good	
883	Locust	6	Good	
884	Locust	7	Good	
885	Locust	7	Good	
886	Colorado Blue Spruce	9	Fair	
887	Crab Apple	7	Good	
888	Crab Apple	9	Good	
889	Crab Apple	9	Good	
890	Australian Pine	18	Fair	X
891	Australian Pine	18	Fair	X
892	Crab Apple	12	Good	X
893	Norway Maple	13	Good	
894	Norway Maple	10	Good	
895	Norway Maple	10	Good	
896	Norway Maple	10	Good	
897	Norway Maple	10	Good	
898	Norway Maple	10	Good	
899	Norway Maple	13	Good	
900	Red Oak	26	Good	X

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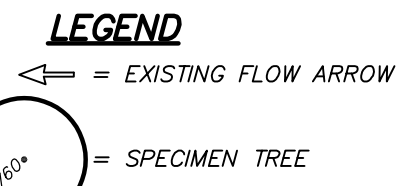
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**OAKLAND COUNTY SOIL SURVEY CLASSIFICATION**  
**10B** - MARLETTE SANDY LOAM, 1 TO 6 PERCENT SLOPES  
**12** - BROOKSTON AND COLWOOD LOAMS  
 . . . . . SOILS BOUNDARY  
 SOILS ARE BASED ON USDA SOIL SURVEY OF OAKLAND COUNTY.

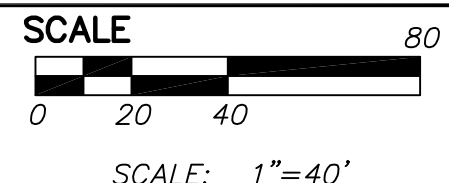
<b>LEGEND</b>	<ul style="list-style-type: none"> <li>○ = LIGHT POLE</li> <li>○ = UTILITY POLE</li> <li>○ = GUY ANCHOR</li> <li>○ = HYDRANT</li> <li>○ = SPOT ELEV.</li> <li>○ = POST</li> <li>○ = GATE VALVE</li> <li>○ = SIGN</li> <li>— = TOP OF CURB</li> <li>— = TOP OF WALL</li> <li>○ = MANHOLE</li> <li>○ = CATCHBASIN</li> <li>— = END SECTION</li> <li>— = GRAVEL</li> <li>— = CONCRETE</li> <li>— = ASPHALT</li> <li>— = EXISTING STORM</li> <li>— = EXISTING SANITARY</li> <li>— = EXISTING WATER</li> <li>— = EXISTING GAS</li> <li>— = EXISTING ELECTRIC</li> <li>— = EXISTING TELEPHONE</li> </ul>	<p><b>BENCHMARK</b> -</p>
---------------	--	---------------------------



Label the Point of beginning. Otherwise looks great!



**TAX DESCRIPTION**  
 T3N, R11E, SEC 21 PART OF E 1/2 OF SEC BEG AT PT DIST N 02°27'24" W 288.10 FT & N 84°53'32" W 484.44 FT FROM E 1/4 COR. TH S 05°02'25" W 344.95 FT, TH N 84°53'32" W 893.74 FT TO NE COR OF LOT 14 OF 'ROCHESTER INDUSTRIAL PARK SUBDIVISION', TH N 01°49'58" E 70.11 FT, TH S 84°53'32" E 206.16 FT, TH N 54°34'50" E 542.73 FT TH ALG CURVE TO RIGHT, RAD 70 FT, CHORD BEARS S 80°25'18" E 98.99 FT, DIST OF 109.95 FT, TH S 84°53'32" E 109.96 FT, TH ALG CURVE TO LEFT, RAD 70 FT, CHORD BEARS S 39°53'32" E 98.99 FT, DIST OF 109.96 FT TO BEG 5.27 A11/13/87 FR 009



PREPARED BY: JOSEPH K. MAYNARD P.E., MICH No. 52559



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**A.R. BROUWER COMPANY LLC**  
 2830 BAKER RD., STE 100  
 DEXTER, MI 48130  
 TEL. 734-426-9980  
 www.arbrouwer.com

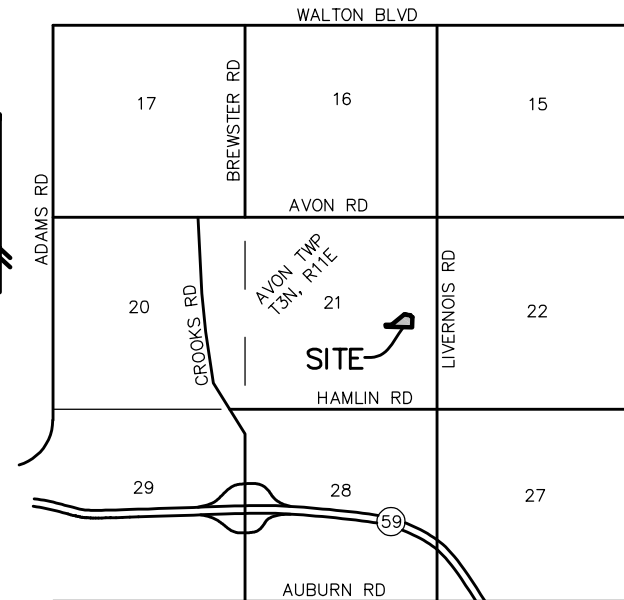
**EXISTING CONDITIONS**

**FIRE STATION NO. 1  
 1111 HORIZON CT  
 TRAINING TOWER**

SECTION 21 TOWN 3 NORTH RANGE 11 EAST  
 CITY OF ROCHESTER HILLS  
 OAKLAND COUNTY - MICHIGAN  
 DATE 11-20-24 JOB NO. 23745  
 SHEET **C1.0** DWG NO. 146-6ACON  
 FIELD BOOK - FILE NO. 10899



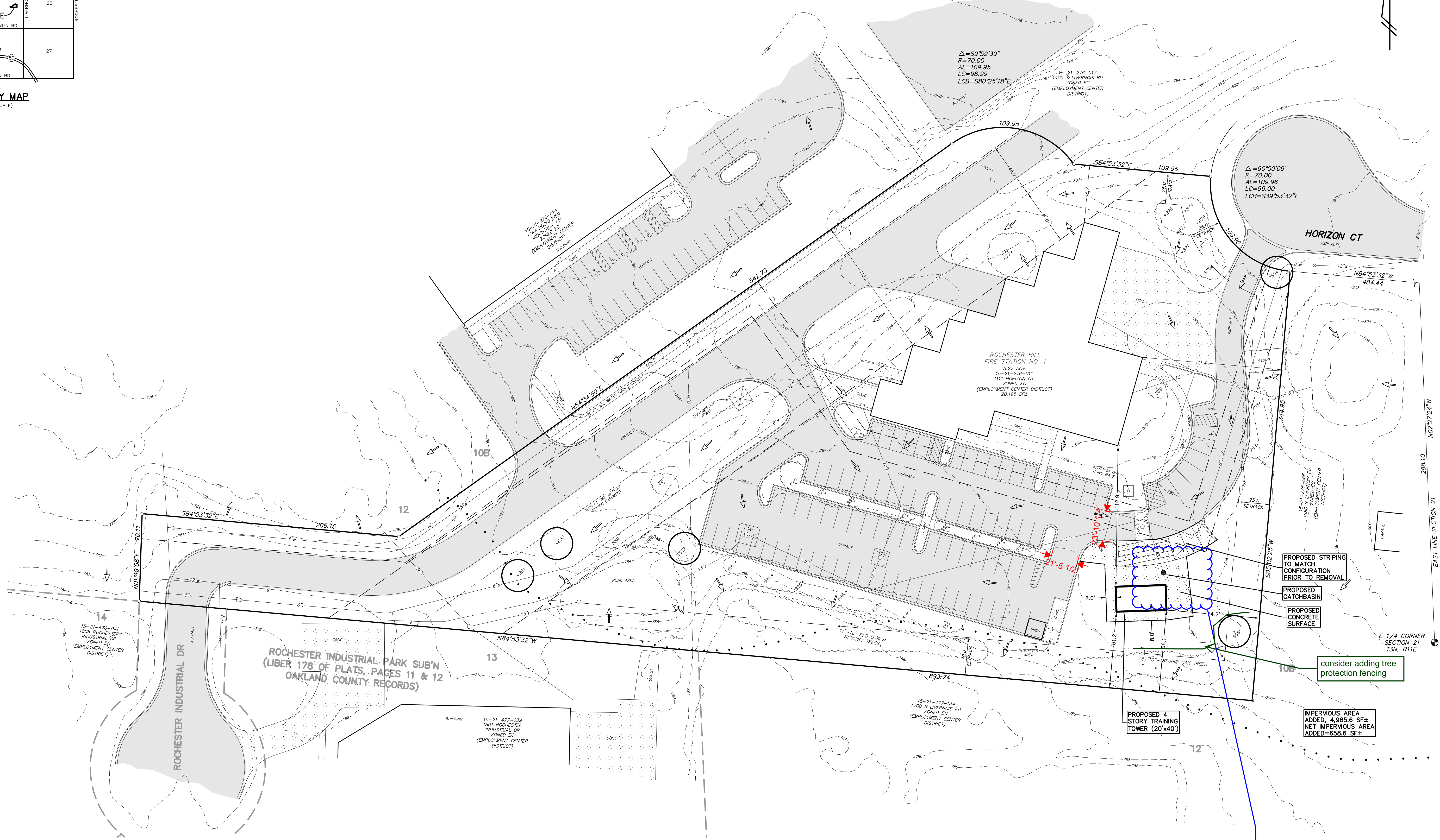
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VICINITY MAP  
(NO SCALE)

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OAKLAND COUNTY SOIL SURVEY CLASSIFICATION

- 10B - MARLETTE SANDY LOAM, 1 TO 6 PERCENT SLOPES
  - 12 - BROOKSTON AND COLWOOD LOAMS
- SOILS ARE BASED ON USDA SOIL SURVEY OF OAKLAND COUNTY.

**STORM WATER DRAINAGE PATTERNS**  
THE PROJECT SITE HAS A STORM WATER POND LOCATED IN THE SOUTHWEST END OF THE PROPERTY. ALL ON-SITE STORM WATER IS DIRECTED TO THIS POND. THE POND OUTLETS TO A 36" STORM SEWER. THE PROPOSED ADDITIONAL IMPERVIOUS SURFACE IS 658.6 SF. THE ADDITIONAL IMPERVIOUS SURFACE WILL HAVE NO IMPACT ON THE EXISTING SYSTEM. DRAINAGE FROM NEIGHBORING LOTS DOES NOT GET COLLECTED IN THIS SITE'S STORM SYSTEM.

SITE DATA

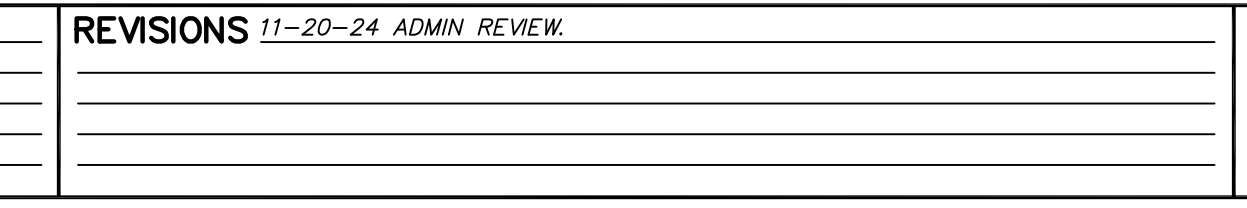
CATEGORY	EXISTING	PROPOSED
ZONING	EC	EC
GROSS AREA AC	5.27 AC	5.27 AC
GROSS AREA SF	229,535 SF	229,535 SF
BUILDING DATA		
FIRE STATION 1	20,195 SF	20,195 SF
TRAINING TOWER	992 SF	1,920 SF

TAX DESCRIPTION

T3N, R11E, SEC 21 PART OF E 1/2 OF SEC BEG AT PT DIST N 02-27-24 W 288.10 FT & N 84-53-32 W 484.44 FT FROM E 1/4 COR. TH S 05-02-25 W 344.95 FT, TH N 84-53-32 W 893.74 FT TO NE COR OF LOT 14 OF 'ROCHESTER INDUSTRIAL PARK SUBDIVISION', TH N 01-49-58 E 70.11 FT, TH S 84-53-32 E 206.16 FT, TH N 54-34-50 E 542.73 FT TH ALG CURVE TO RIGHT, RAD 70 FT, CHORD BEARS S 80-25-18 E 98.99 FT, DIST OF 109.95 FT, TH S 84-53-32 E 109.96 FT, TH ALG CURVE TO LEFT, RAD 70 FT, CHORD BEARS S 39-53-32 E 98.99 FT, DIST OF 109.96 FT TO BEG 5.27 A11/13/87 FR 009

- LEGEND**
- Light Pole
  - Utility Pole
  - Guy Anchor
  - Hydrant
  - Spot Elev.
  - Post
  - Gate Valve
  - Sign
  - Top of Curb
  - Top of Wall
  - Manhole
  - Catchbasin
  - End Section
  - Gravel
  - Concrete
  - Asphalt
  - Existing Storm
  - Existing Sanitary
  - Existing Water
  - Existing Gas
  - Existing Electric
  - Existing Telephone
  - Benchmark

**REVISIONS 11-20-24 ADMIN REVIEW.**

PREPARED BY: *Joseph K. Maynard*  
JOSEPH K. MAYNARD P.E., MICH No. 52559



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**A.R. BROUWER COMPANY LLC**  
2830 BAKER RD, STE 100  
DEXTER, MI 48130  
TEL. 734-426-9980  
www.arbrouwer.com

**SITE PLAN**

**FIRE STATION NO. 1  
1111 HORIZON CT  
TRAINING TOWER**

SECTION 21 TOWN 3 NORTH RANGE 11 EAST  
CITY OF ROCHESTER HILLS  
OAKLAND COUNTY - MICHIGAN

DATE 11-20-24  
JOB NO. 23145  
DWG NO. 146-site  
FIELD BOOK -  
SHEET **C2.0**

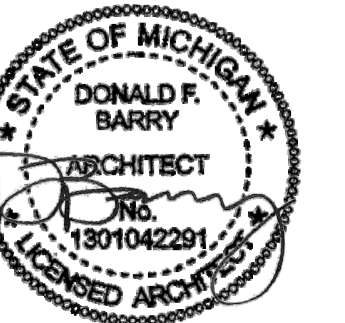
FILE NO. 10899



**BUILDING CODE ANALYSIS:**  
 (\*\*) Items to be approved by the Building Department Authority Having Jurisdiction (AHJ)

Construction Codes Applicable to the Project:  
 2015 Michigan Building Code (2015 MBC) (\*\*for structural components only.  
 \*\*NFPA 1402 for all other design considerations.  
 2021 Michigan Mechanical Code (2021 MMC)  
 2023 Michigan Electrical Code (2023 MEC, 2023 NEC)  
 2021 Michigan Plumbing Code (2021 MPC)  
 2021 International Fire Code (2021 IFC)

Classification/Use: (\*\*U (most nearly resembled)(Section 302).  
 \*\*This project can be defined as a "Training Prop" or "Training Structure" per the general definitions of Chapter 3.3 of NFPA 1402, 2019 Edition.  
 Construction Classification: IIB (Chapter 6, Table 601)  
 Fire Suppression System: (\*\*Non-sprinklered  
 Fire Alarm System: None  
 Allowable Building Area: 8,500 sf (Table 506.2)  
 Total Proposed Building Area: 1,920 sf  
 Allowable Building Height: 55 feet (Table 504.3)  
 Proposed Building Height: 34 feet  
 Allowable Number of Stories: 2 (Table 504.4)  
 Proposed Number of Stories: (\*\*4



PROJECT NUMBER	24084
ISSUE	
ADMIN REVIEW	11/20/24
DRN: KLJ	CHK'D: FEA

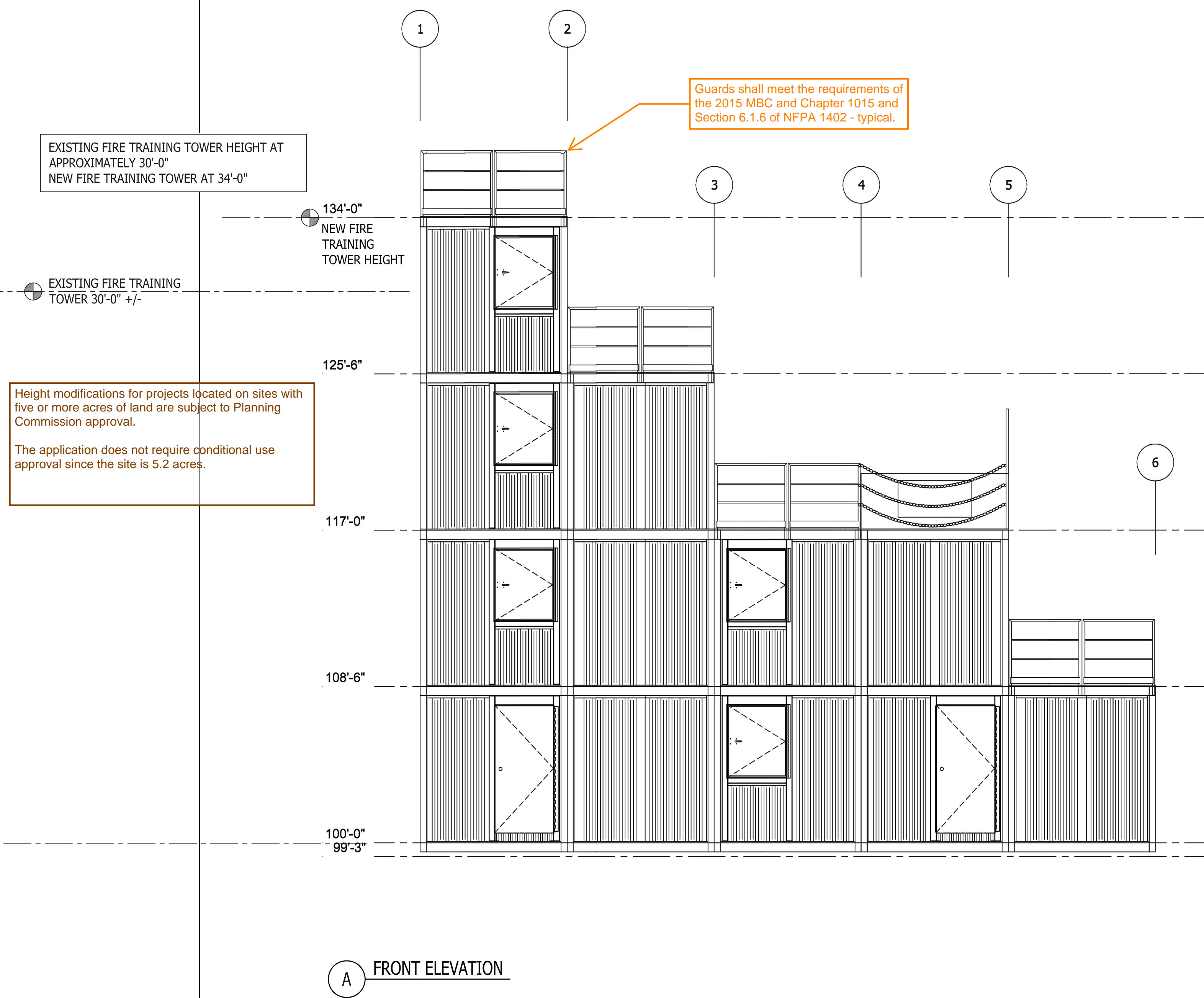
ROCHESTER HILLS -  
 FIRE STATION 1  
 FIRE TRAINING TOWER  
 ROCHESTER HILLS, MI  
 EXISTING AND NEW ELEVATIONS

**A3C**  
 COLLABORATIVE ARCHITECTURE

115 1/2 E. LIBERTY STREET  
 ANN ARBOR, MI 48104  
 T: (734) 663 - 1910  
 F: (866) 732 - 2168  
 www.a3c.com

SHEET  
**A-1**

E:\24084 AR Brouwer - Rochester Hills Fire Training Tower\6-CAD\Sheets\24084-A-1 EXISTING AND NEW ELEVATIONS.dwg.09.03.05 4:41 PM



24084 EE01

EXISTING ELEVATION

SCALE: 1/4"=1'-0"  
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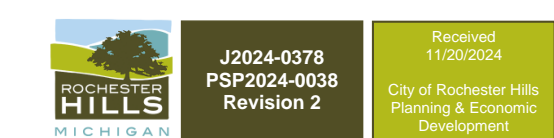
**3**

24084 EE02

NEW ELEVATION

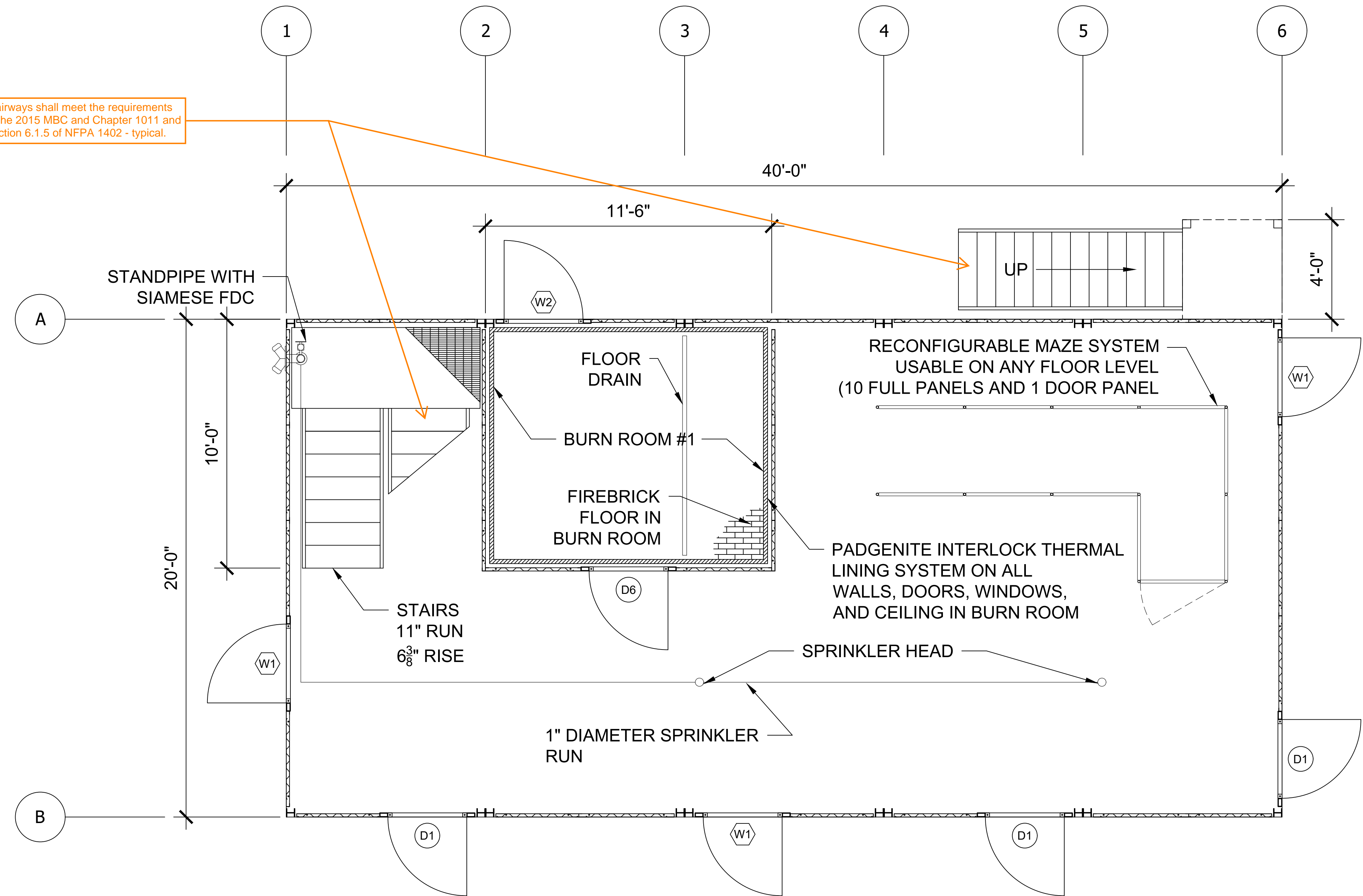
SCALE: 1/4"=1'-0"  
 REF'D FROM: TS

**1**





Stairways shall meet the requirements of the 2015 MBC and Chapter 1011 and Section 6.1.5 of NFPA 1402 - typical.



1 FIRST FLOOR LAYOUT  
Scale: NTS



A DIV. OF JAHNKE AND SONS CONSTRUCTION, INC.  
519 DUCK RD GRANDVIEW, MO 64030  
TEL. 913-385-3663 info@trainingtowers.com  
TOLL FREE 1-800-351-2525 www.trainingtowers.com

**CUSTOM MODx - O  
FIRE TRAINING SIMULATOR**  
ROCHESTER HILLS FIRE DEPARTMENT TRAINING SIMULATOR

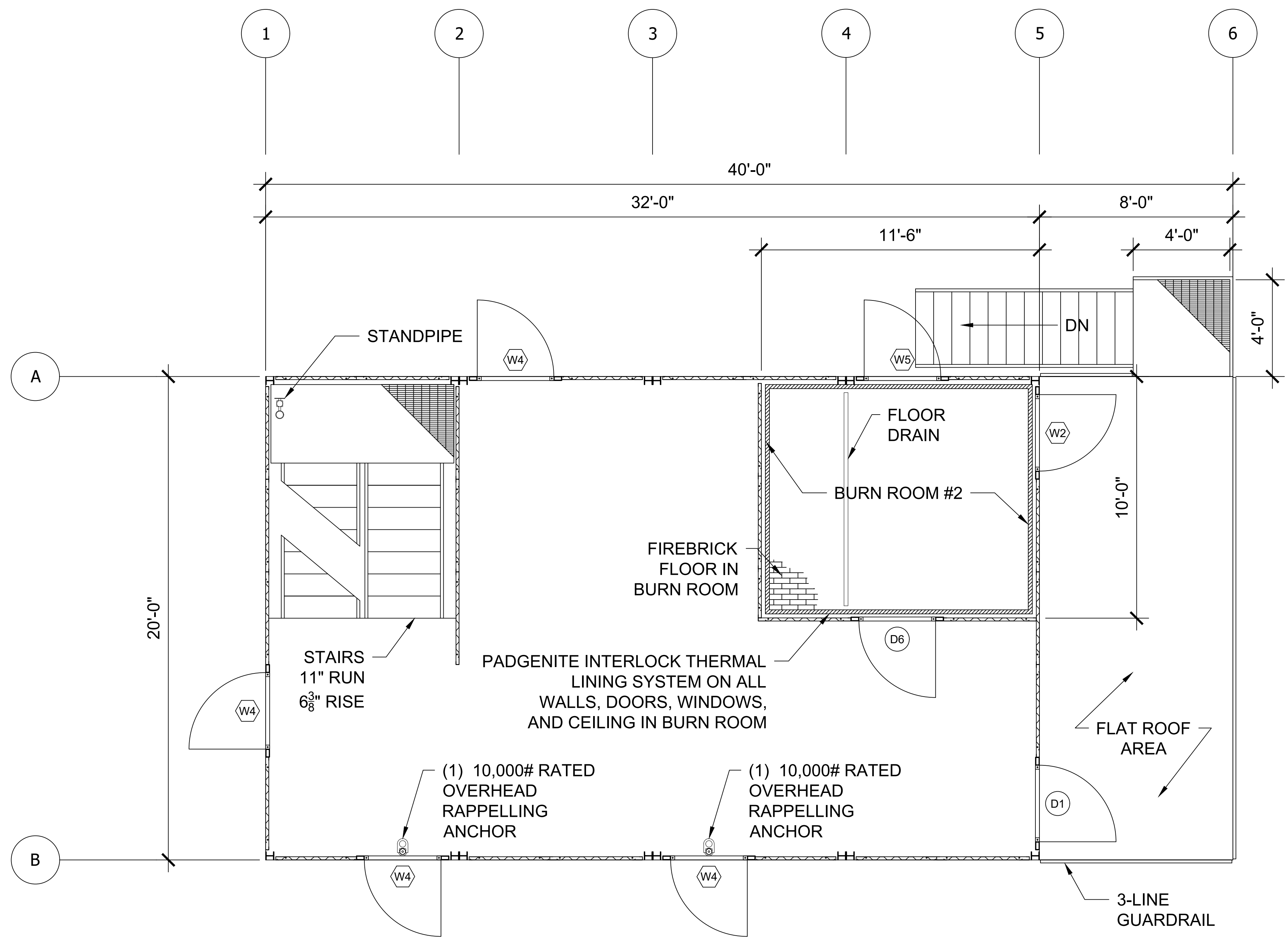
**MODULAR BUILDING  
PROTECTED BY  
U.S. Pat. No. 11,276,323**  
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IDEAS, DESIGNS, AND ARRANGEMENTS  
ARE AND SHALL REMAIN THE  
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CONSTRUCTION AND NO PART  
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WITHOUT WRITTEN CONSENT OF  
JAHNKE AND SONS CONSTRUCTION.

PROJECT NUMBER:	00-W-0001	REVISION DATES
PROJECT RECORD:	001	2
DRAWN BY:	SPK	3
DESIGNED BY:	11-20-24	4
PERMIT DATE:		

FIRST FLOOR PLANS  
ADMIN REVIEW

1





**2 SECOND FLOOR LAYOUT**  
Scale: NTS



A DIV. OF JAHNKE AND SONS CONSTRUCTION, INC.  
519 DUCK RD GRANDVIEW, MO 64030  
TEL. 913-385-3663 info@trainingtowers.com  
TOLL FREE 1-800-351-2525 www.trainingtowers.com

**CUSTOM MODx - 0  
FIRE TRAINING SIMULATOR**

ROCHESTER HILLS FIRE DEPARTMENT TRAINING SIMULATOR

**MODULAR BUILDING  
PROTECTED BY  
U.S. Pat. No. 11,276,323**

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JAHNKE AND SONS CONSTRUCTION.

PROJECT NUMBER:	00-W-0001	REVISION DATES:
PROJECT EXECUTOR:	WHP	1
DRAWN BY:	PK	2
REVIEWED BY:	PK	3
REVISION DATE:	11-20-24	4

SECOND FLOOR PLANS  
ADMIN REVIEW

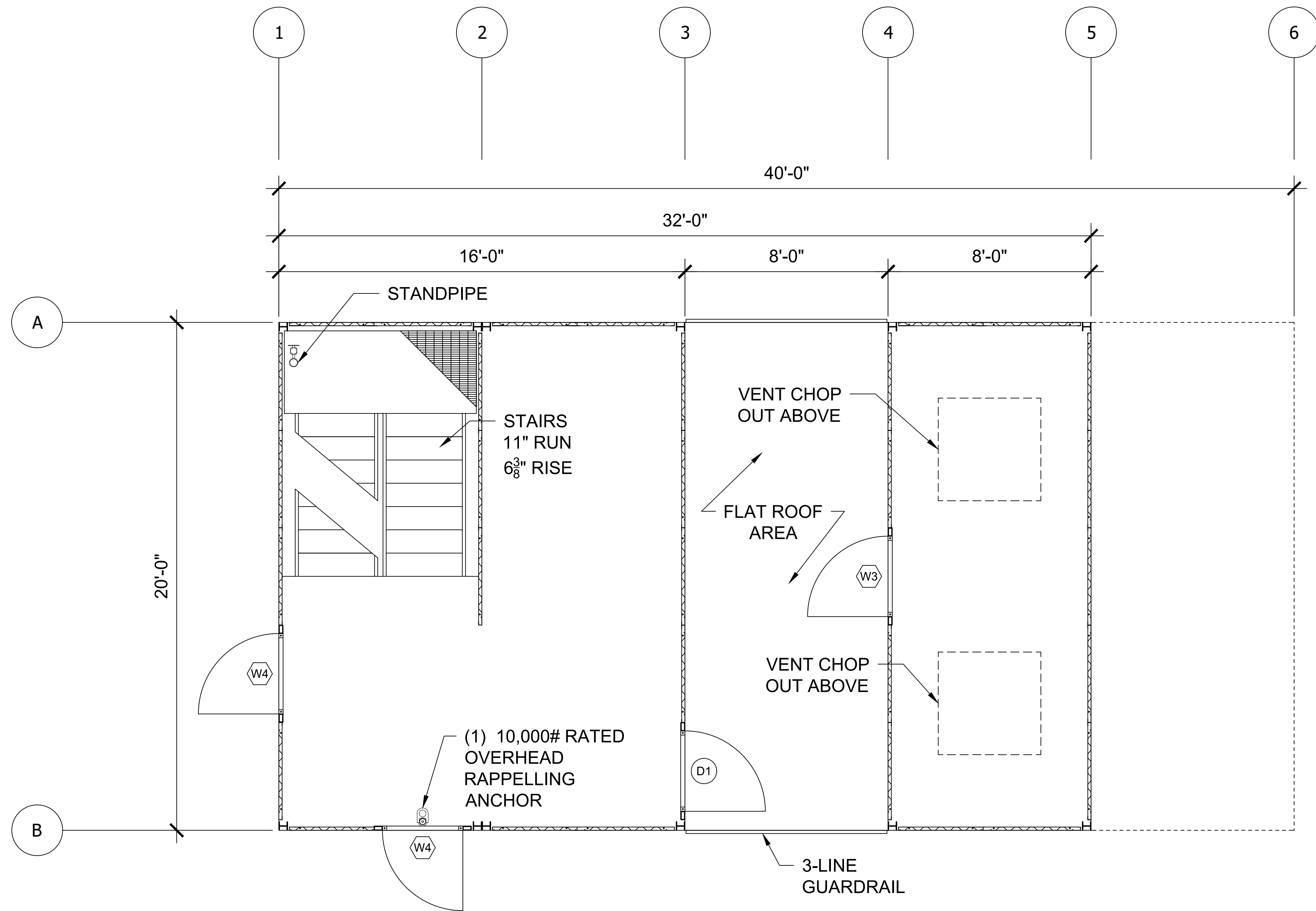
**2**



J2024-0378  
PSP2024-0038  
Revision 2

Received 11/20/24  
City of Rochester Hills  
Planning & Economic  
Development





**3** THIRD FLOOR LAYOUT  
Scale: NTS

**CUSTOM MODx - O  
FIRE TRAINING SIMULATOR**  
ROCHESTER HILLS FIRE DEPARTMENT TRAINING SIMULATOR

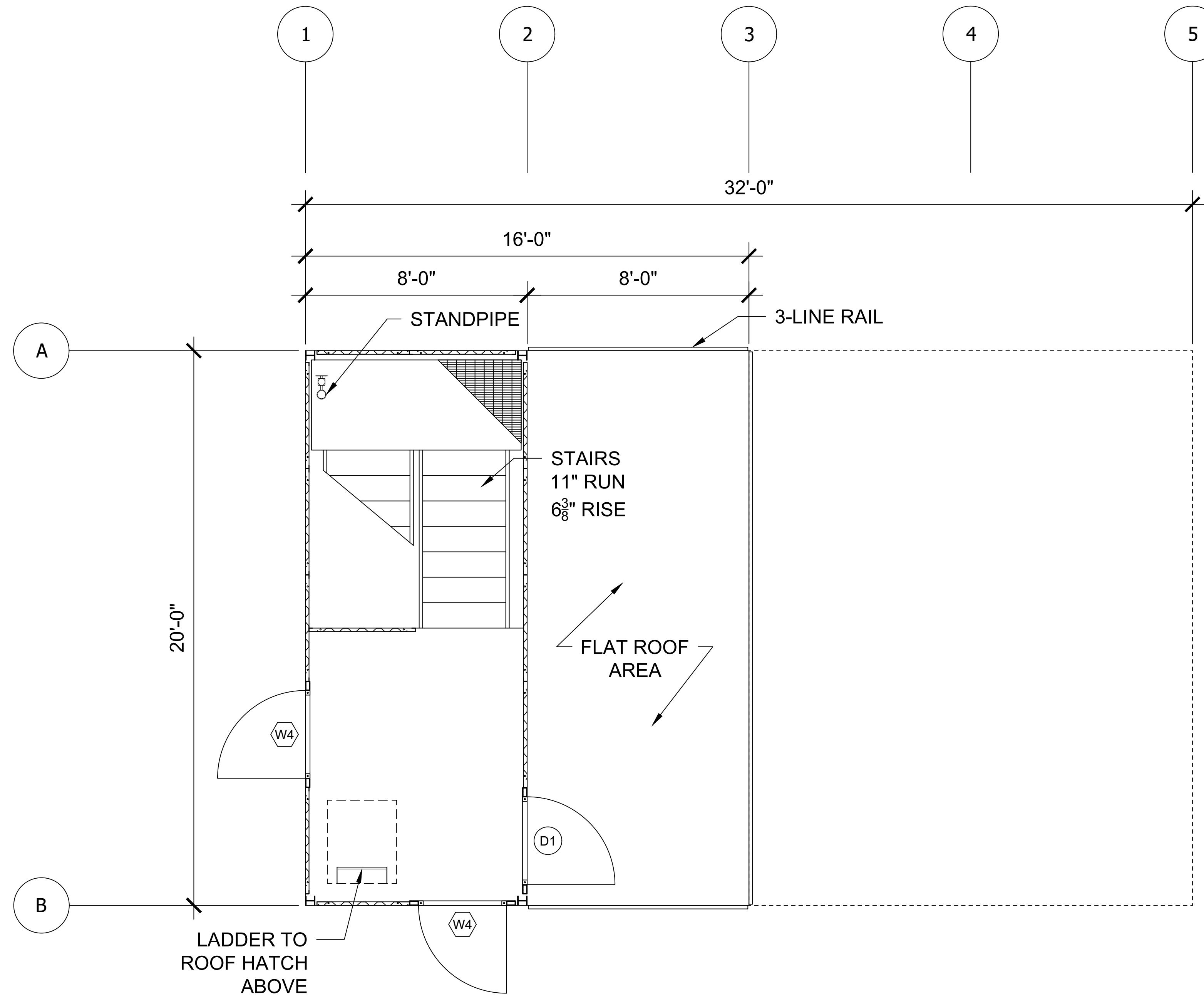
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PROJECT NUMBER:	00-W-0001	REVISION DATES
PROJECT RECORD:	001	1
DRAWN BY:	SPK	2
REVIEWED BY:	SPK	3
ISSUE DATE:	11-20-24	4

THIRD FLOOR PLANS  
ADMIN REVIEW

**3**





**4** FOURTH FLOOR LAYOUT  
\*OPTIONAL Scale: NTS



A DIV. OF JAHNKE AND SONS CONSTRUCTION, INC.  
519 DUCK RD GRANDVIEW, MO 64030  
TEL. 913-385-3663 info@trainingtowers.com  
TOLL FREE 1-800-351-2525 www.trainingtowers.com

**CUSTOM MODx - O  
FIRE TRAINING SIMULATOR**  
ROCHESTER HILLS FIRE DEPARTMENT TRAINING SIMULATOR

**MODULAR BUILDING  
PROTECTED BY  
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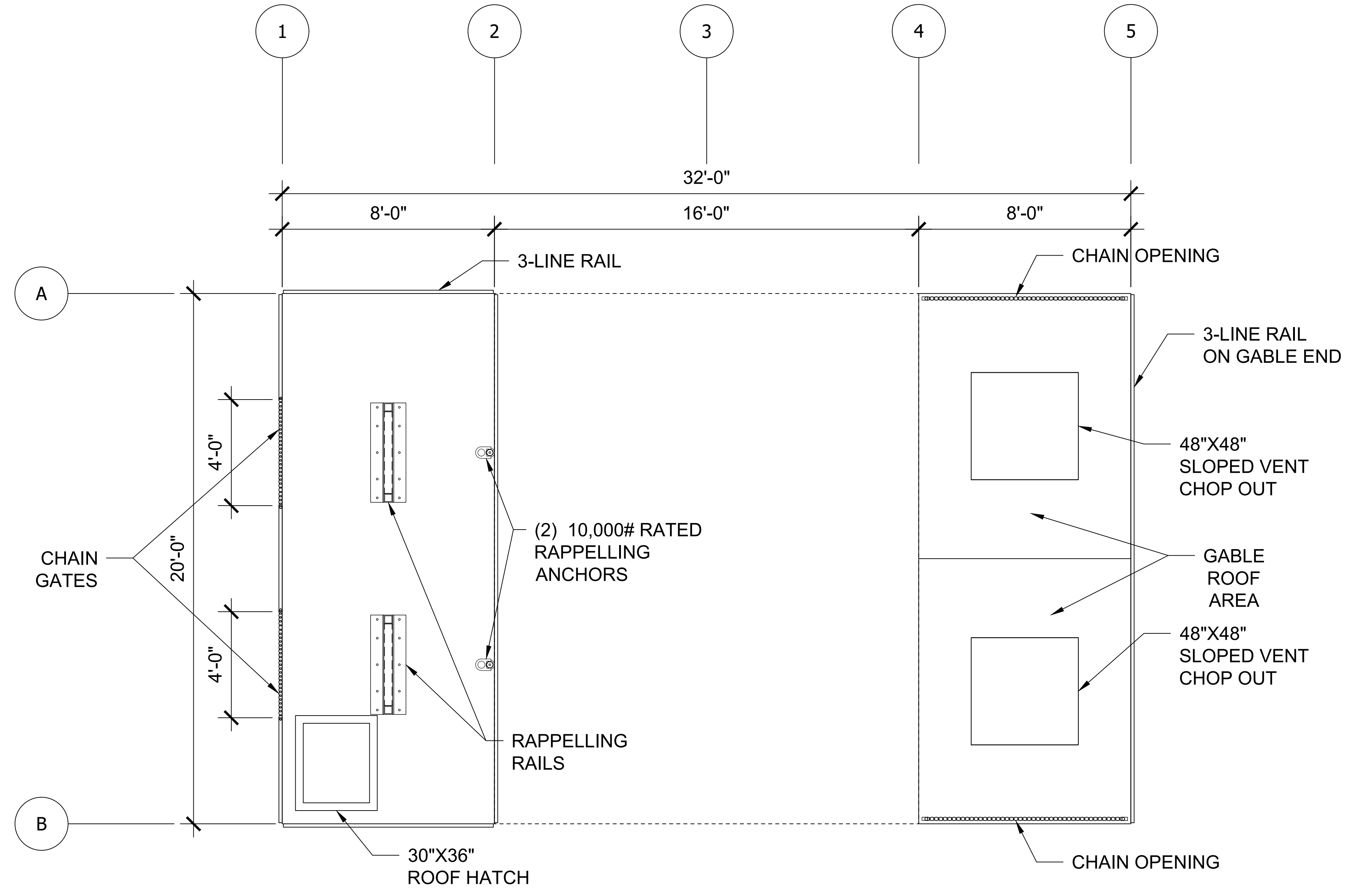
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PROJECT NUMBER:	00-W-0001	REVISION DATES
PROJECT EXECUTOR:	WHP	1
DRAWN BY:	SPK	2
REVIEWED BY:	SPK	3
REVISION DATE:	11-20-24	4

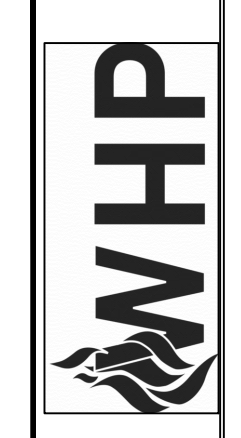
FOURTH FLOOR PLANS  
\*OPTIONAL  
ADMIN REVIEW

**4**





**5** ROOF LAYOUT  
Scale: NTS



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PROJECT NUMBER:	00-W-0001	REVISION DATES:
PROJECT RECORD:	COM 2	
DRAWN BY:	SKM 2	
DESIGNED BY:	SKM 2	
PERMIT DATE:	11-20-24	4

ROOF FLOOR PLANS  
ADMIN REVIEW

**5**





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 519 DUCK RD GRANDVIEW, MO 64030  
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**CUSTOM MODx - 0  
 FIRE TRAINING SIMULATOR**  
 ROCHESTER HILLS FIRE DEPARTMENT TRAINING SIMULATOR

**MODULAR BUILDING  
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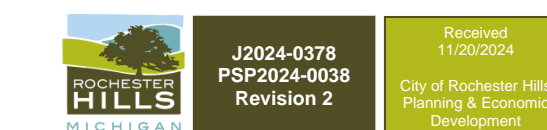
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PROJECT NUMBER: 00-W-0001 REVISION DATES

NO.	DATE	DESCRIPTION
1	04-21-24	ISSUE FOR PERMITS
2	04-21-24	ISSUE FOR PERMITS
3	04-21-24	ISSUE FOR PERMITS
4	04-21-24	ISSUE FOR PERMITS
5	11-20-24	ISSUE FOR PERMITS
6	11-20-24	ISSUE FOR PERMITS

FRONT SIDE AND LEFT SIDE  
 ELEVATIONS  
 ADMIN REVIEW

**6**



2024-0376  
 PRR024-0038  
 Revision 2

Received  
 11/20/24  
 City of Rochester Hills  
 Planning & Economic  
 Development



**D LEFT SIDE ELEVATION**  
 Scale: NTS

**A FRONT SIDE ELEVATION**  
 Scale: NTS





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**CUSTOM MODx - O  
 FIRE TRAINING SIMULATOR**

ROCHESTER HILLS FIRE DEPARTMENT TRAINING SIMULATOR

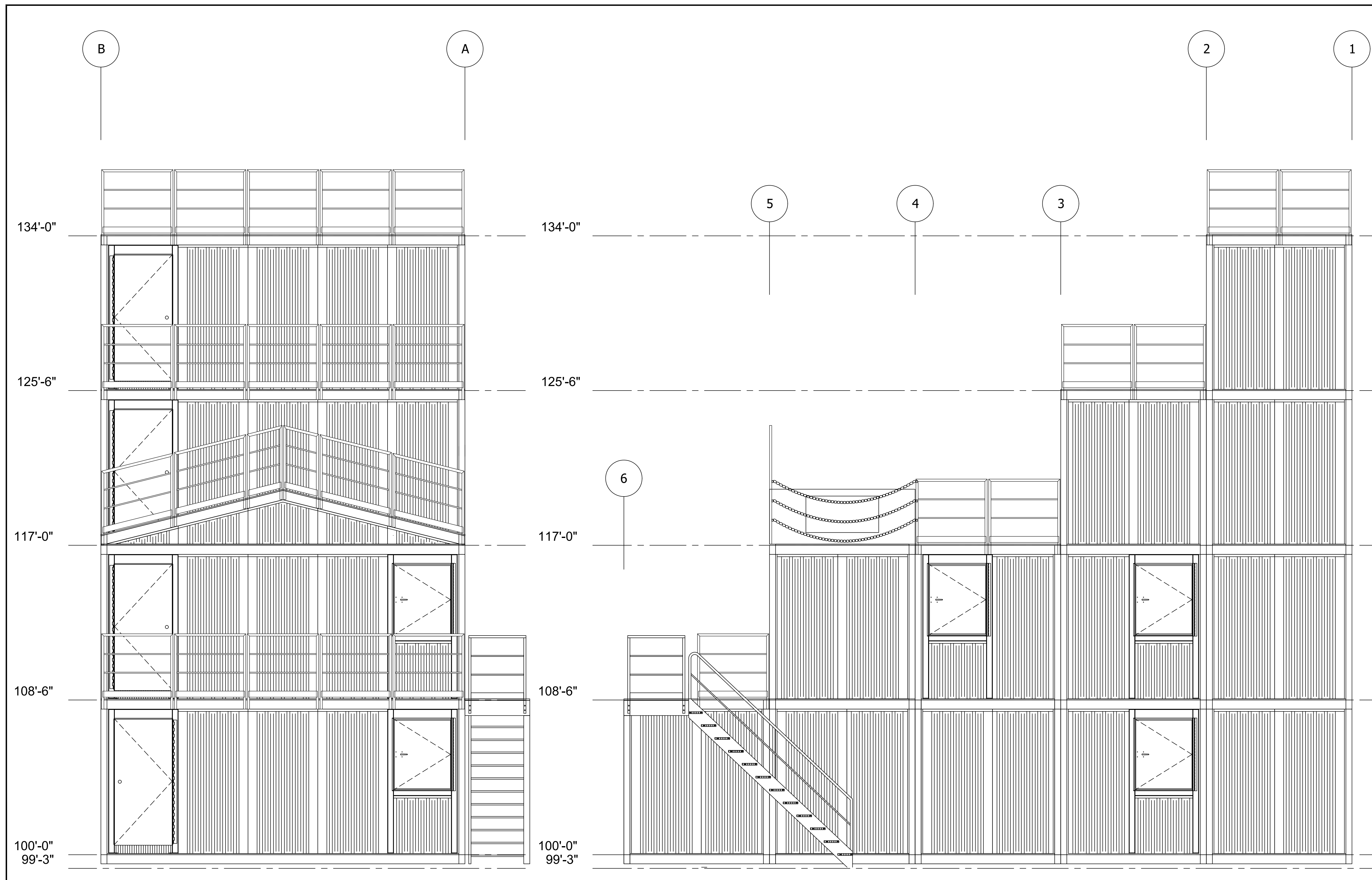
**MODULAR BUILDING  
 PROTECTED BY  
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 JAHNKE AND SONS CONSTRUCTION.

PROJECT NUMBER:	00-W-0001	REVISION DATES:
PROJECT RECORD:	001	1
DRAWN BY:	DM	2
CHECKED BY:	SK	3
ISSUED DATE:	11-20-24	4

REAR SIDE AND RIGHT SIDE  
 ELEVATIONS  
 ADMIN REVIEW

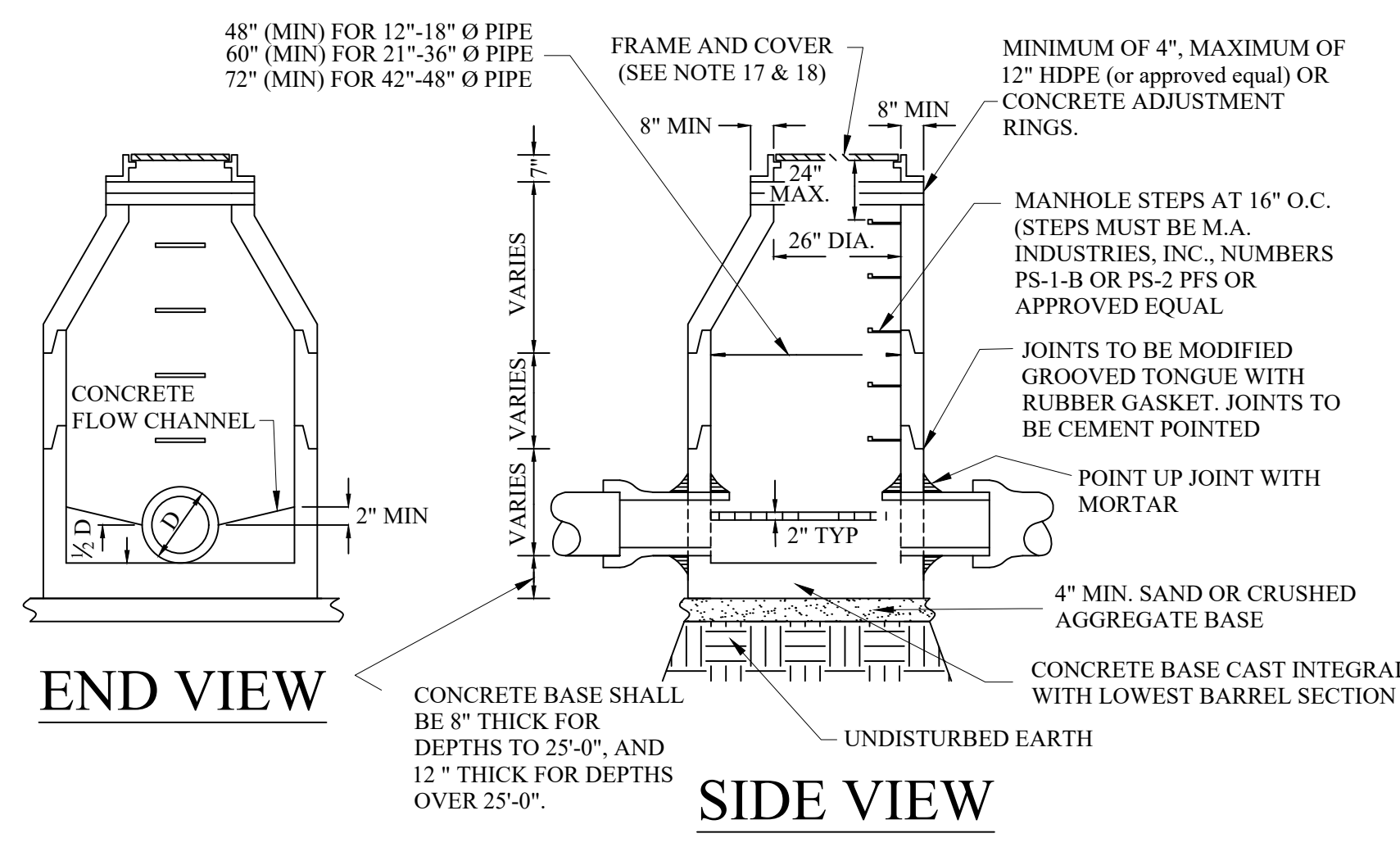
**7**



**B RIGHT SIDE ELEVATION**  
 Scale: NTS

**C REAR SIDE ELEVATION**  
 Scale: NTS

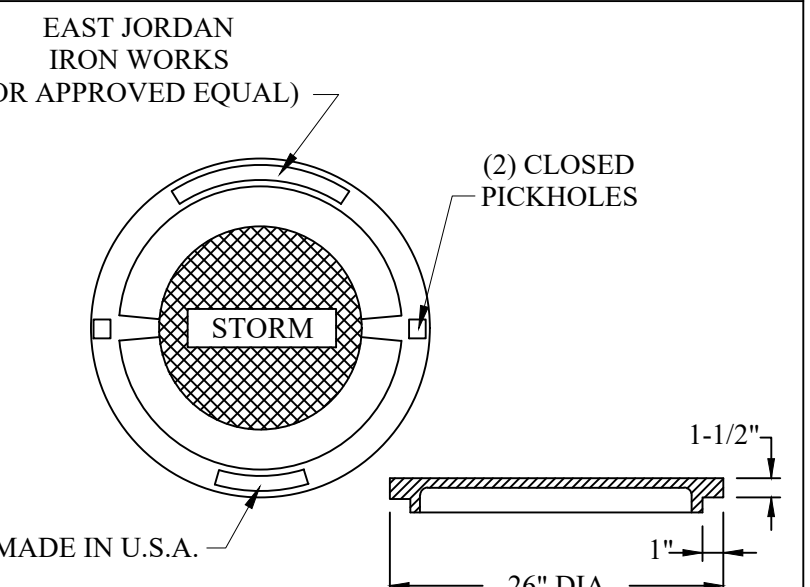




END VIEW

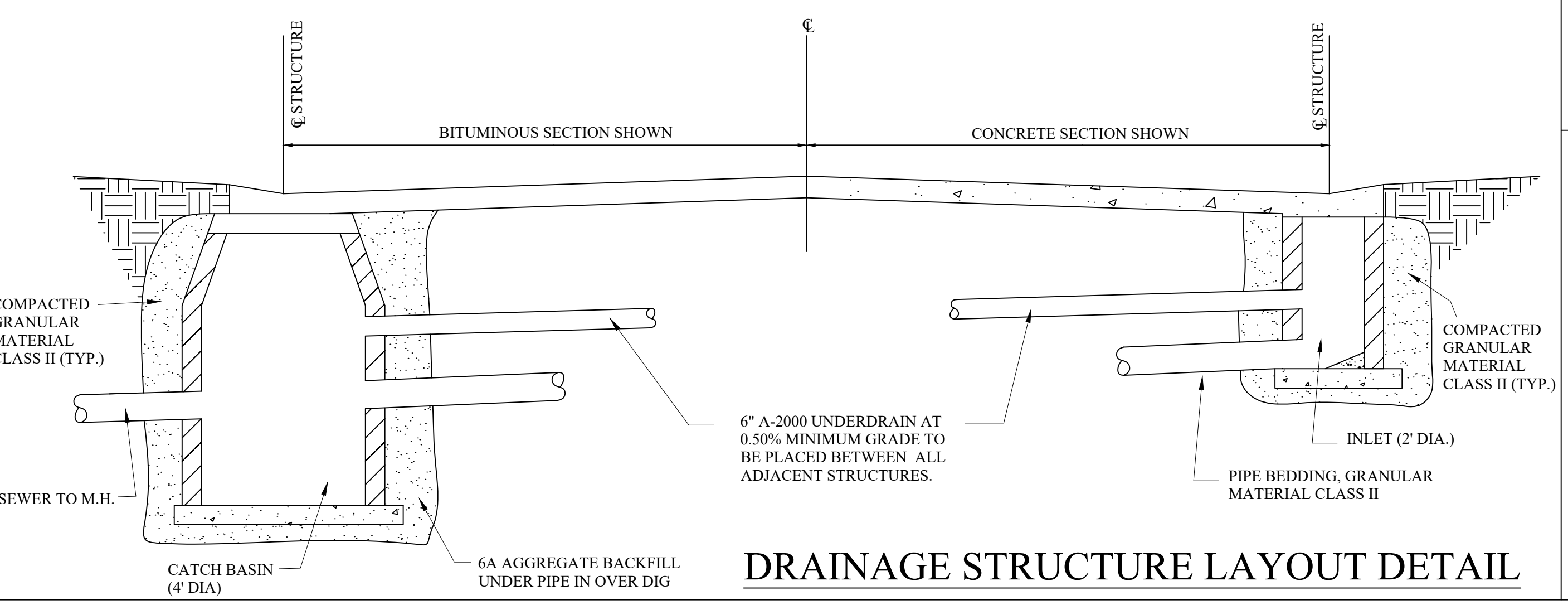
SIDE VIEW

**PRE-CAST STORM MANHOLE**

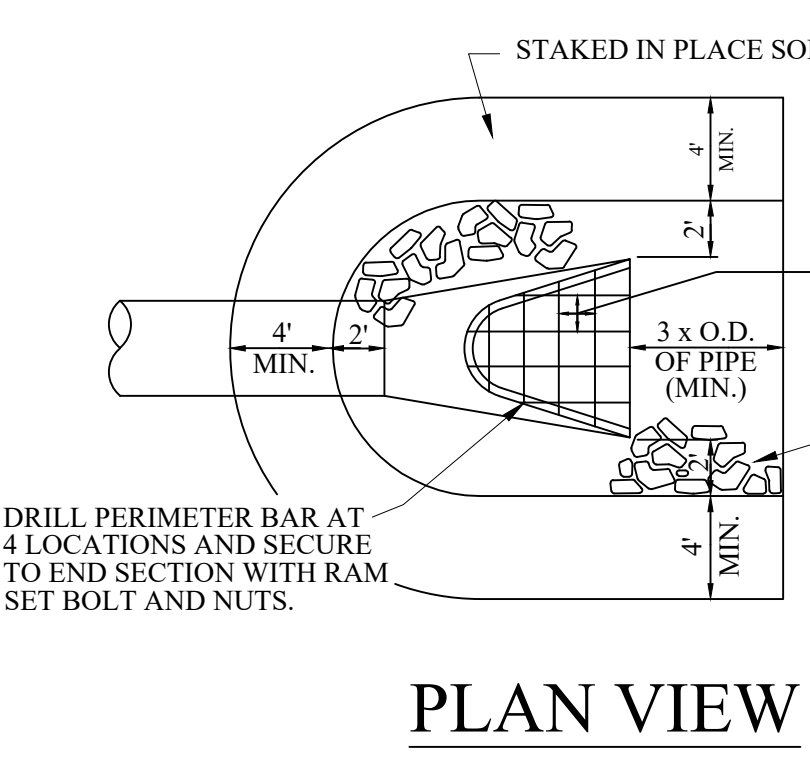


LETTERED MANHOLE COVER

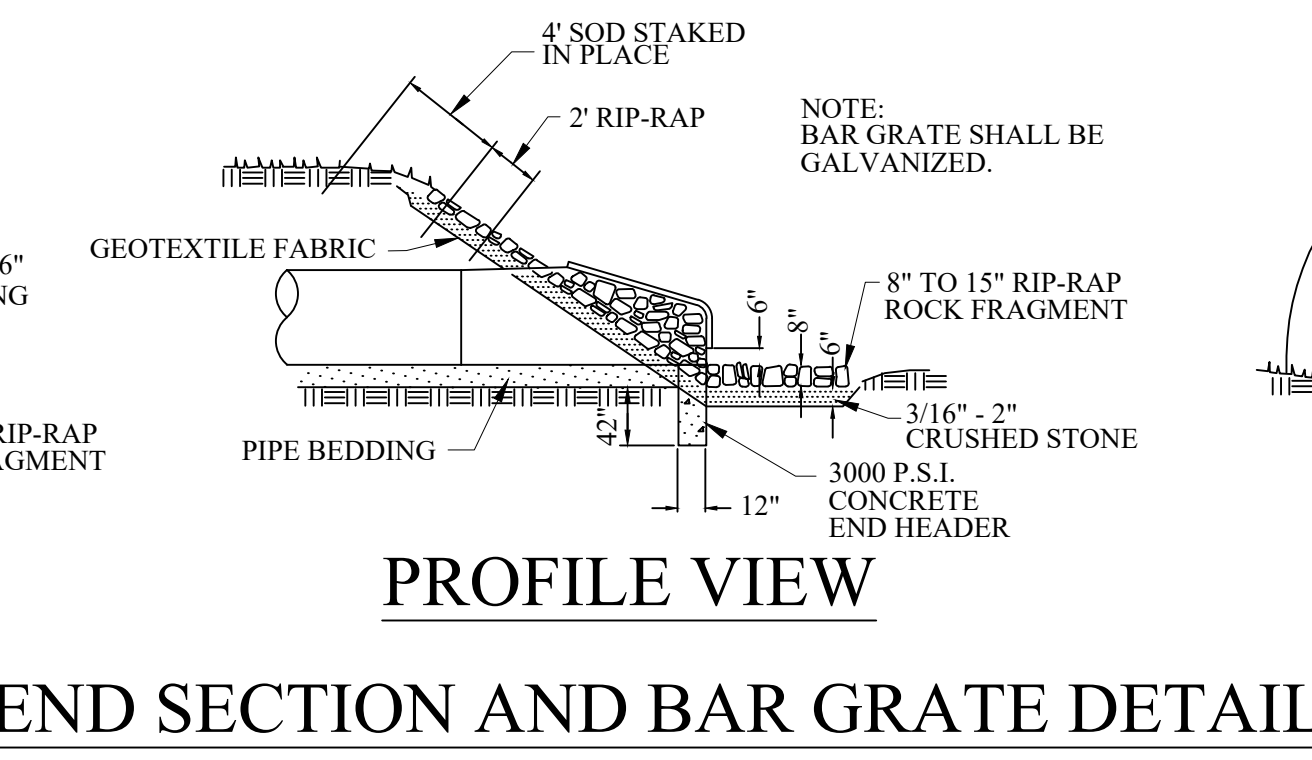
CATCH BASIN WITH FLOATABLE TRAP



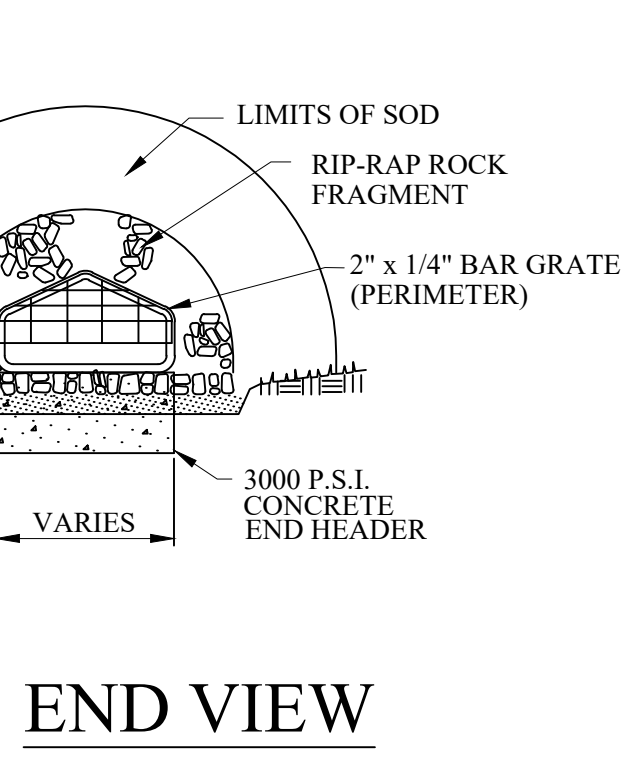
DRAINAGE STRUCTURE LAYOUT DETAIL



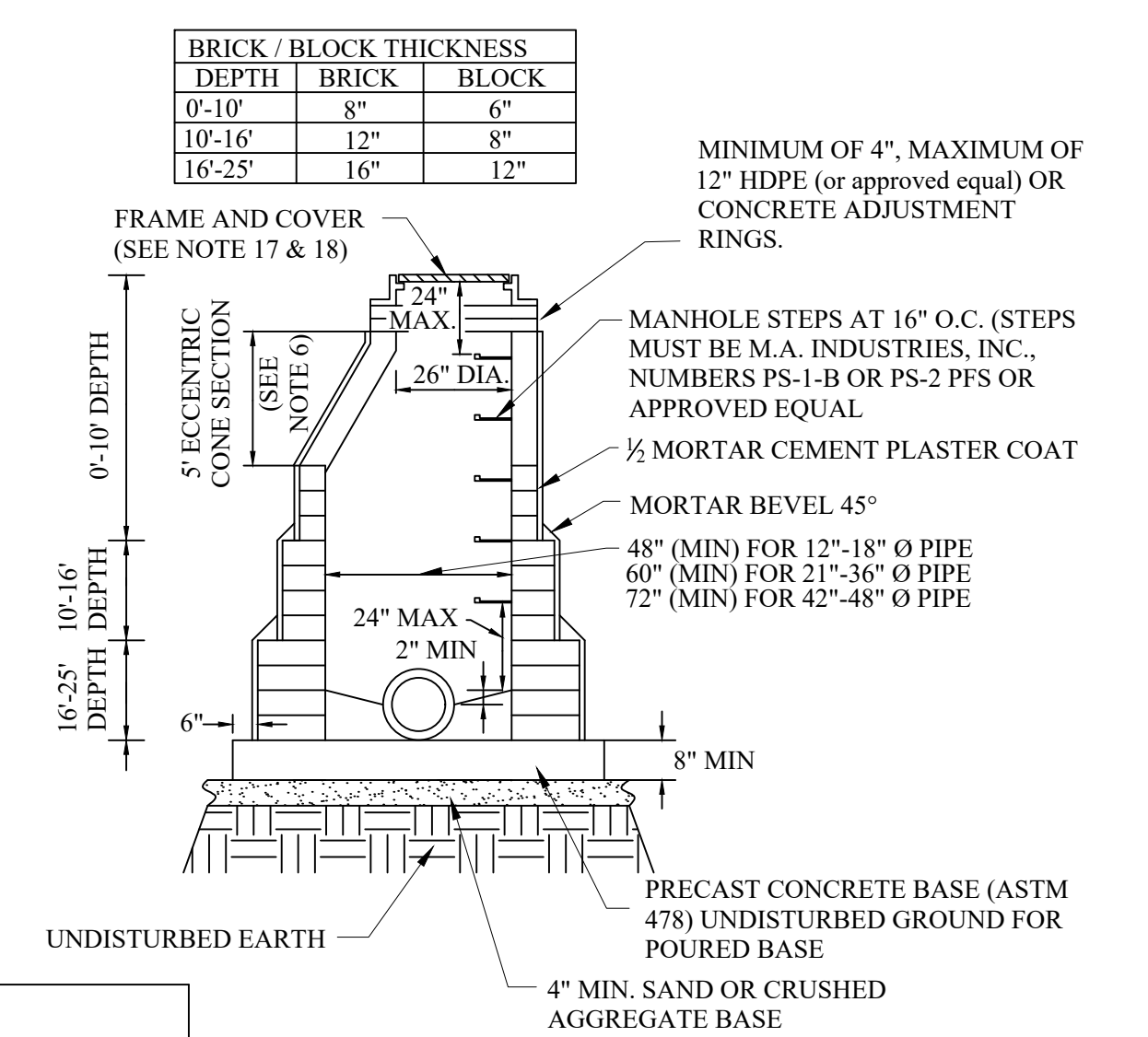
PLAN VIEW



PROFILE VIEW

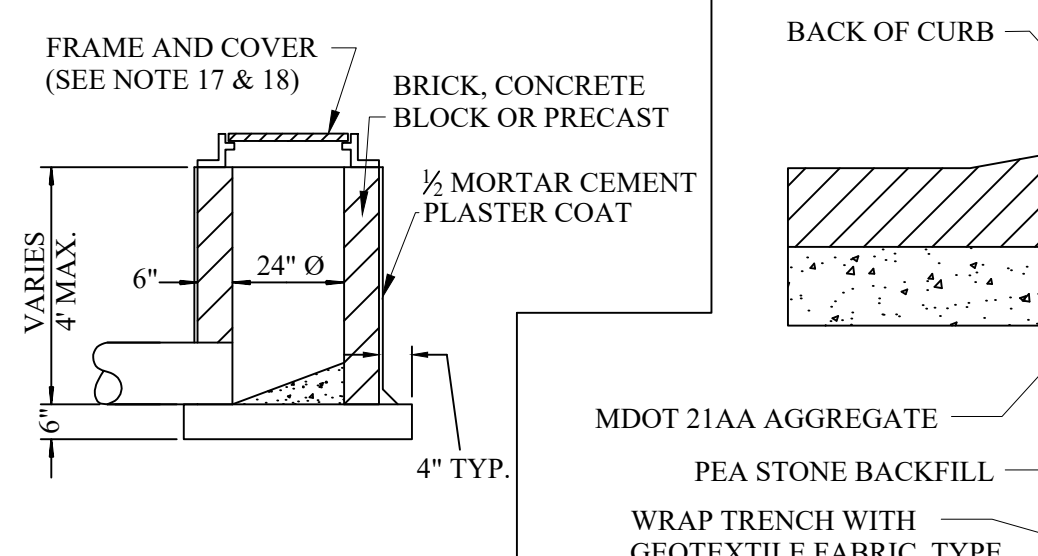


END VIEW

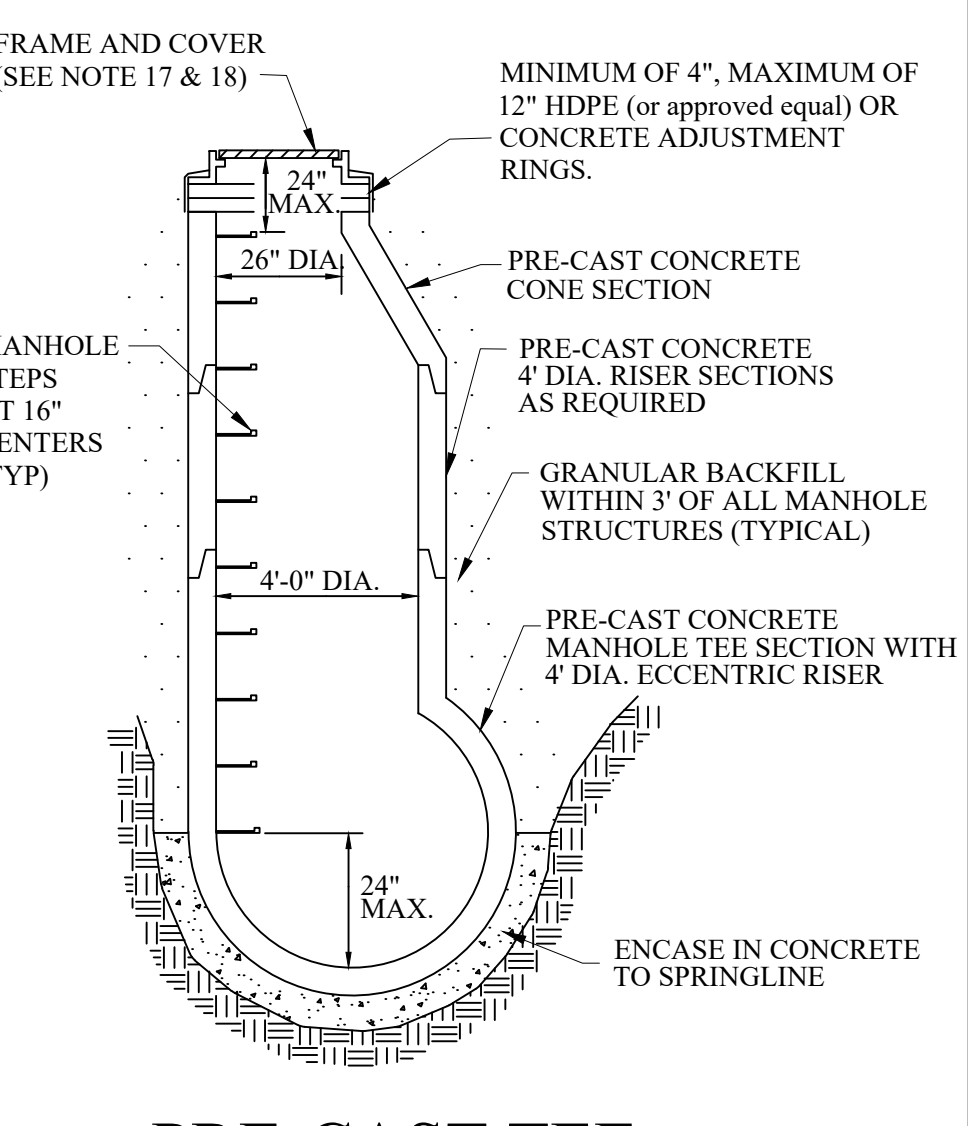


BRICK OR BLOCK MANHOLE

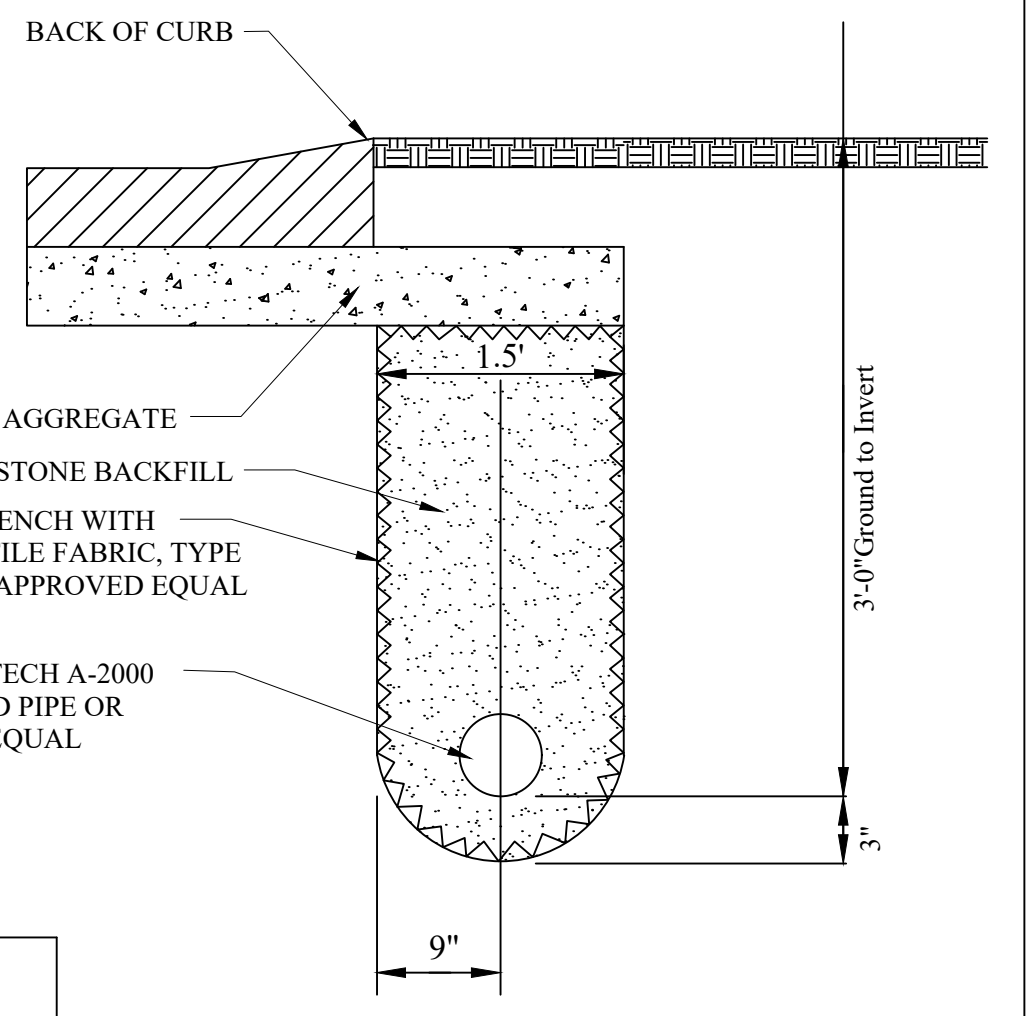
(NOTE: PERMITTED BY CITY ONLY FOR SPECIAL CIRCUMSTANCES)



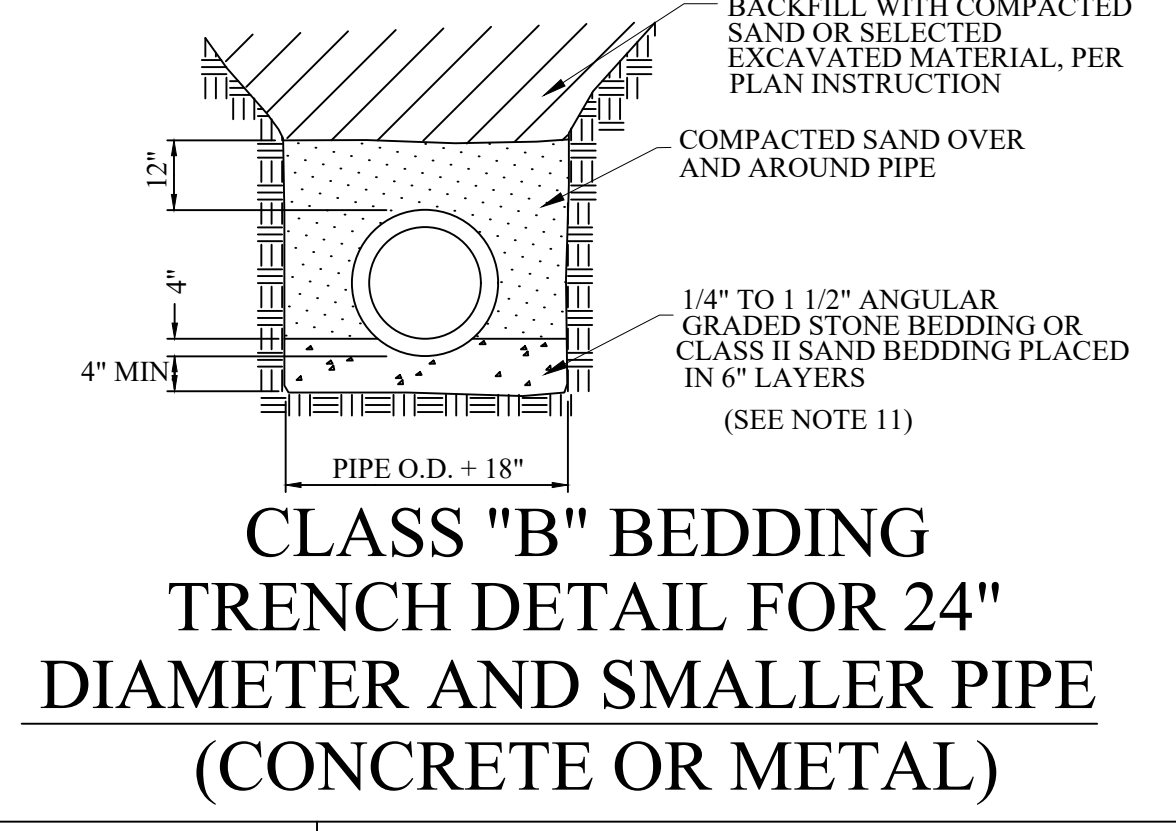
INLET DETAIL



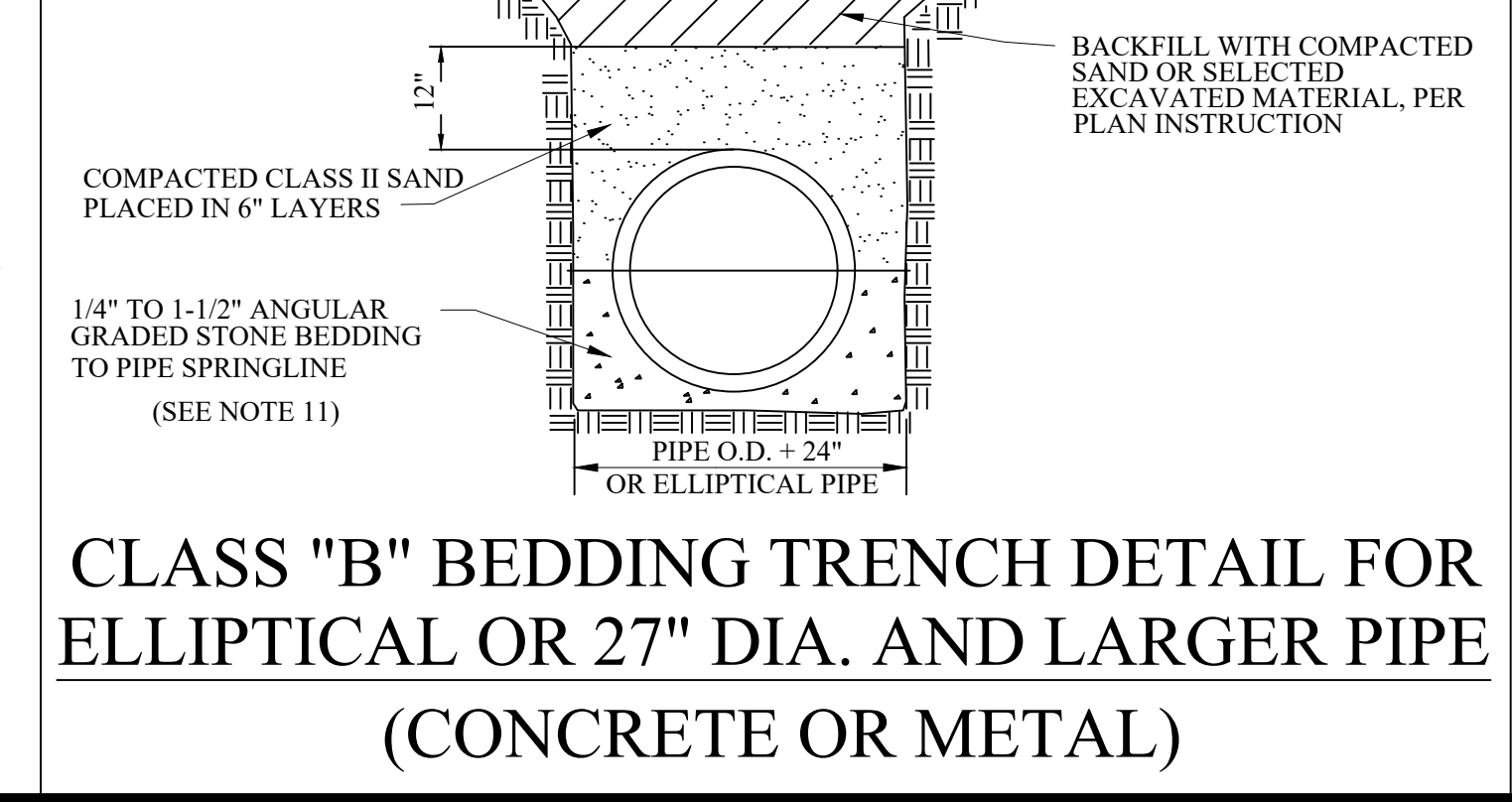
PRE-CAST TEE MANHOLE DETAIL



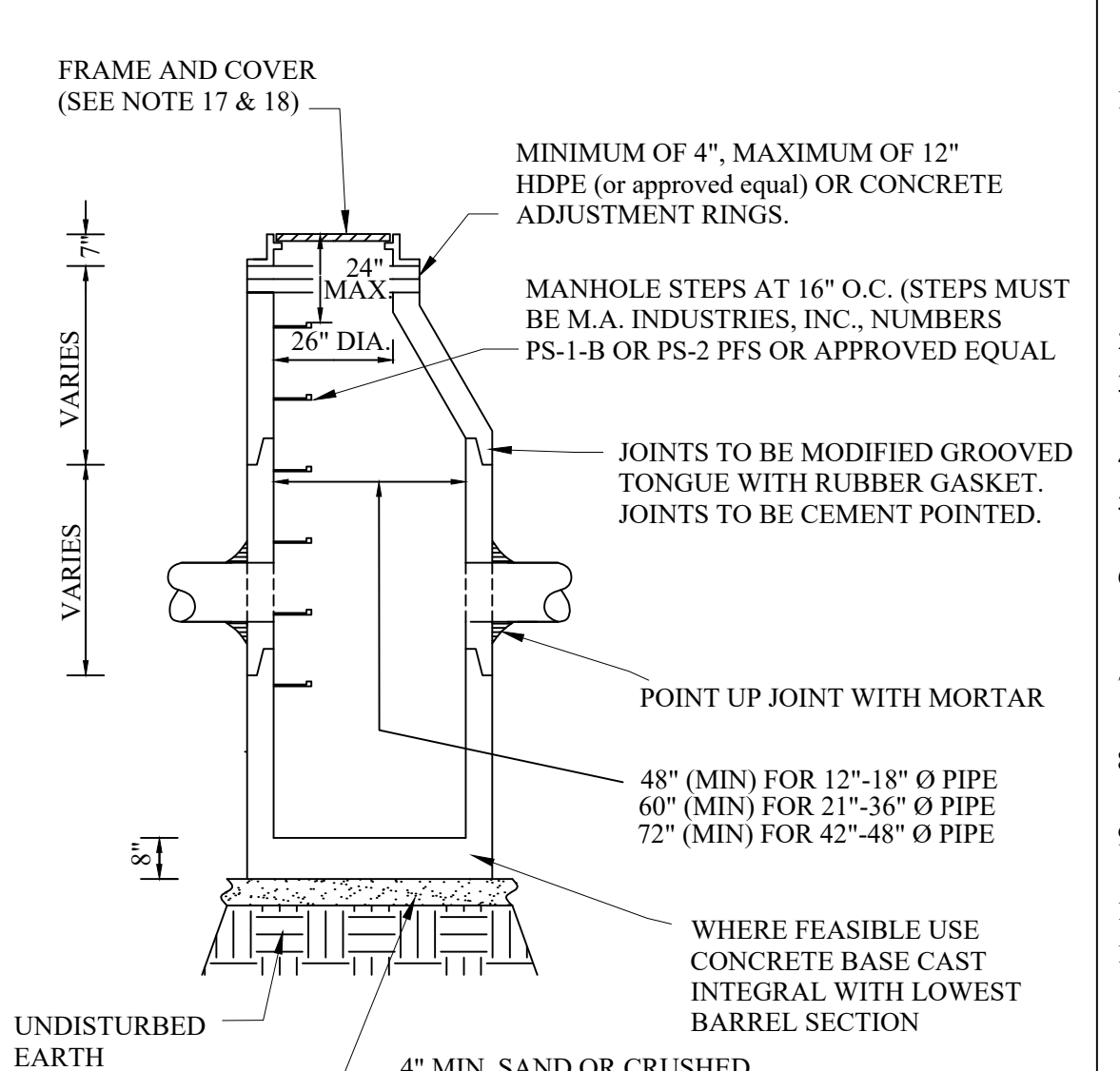
EDGE DRAIN DETAIL FOR PUBLIC AND PRIVATE ROADS



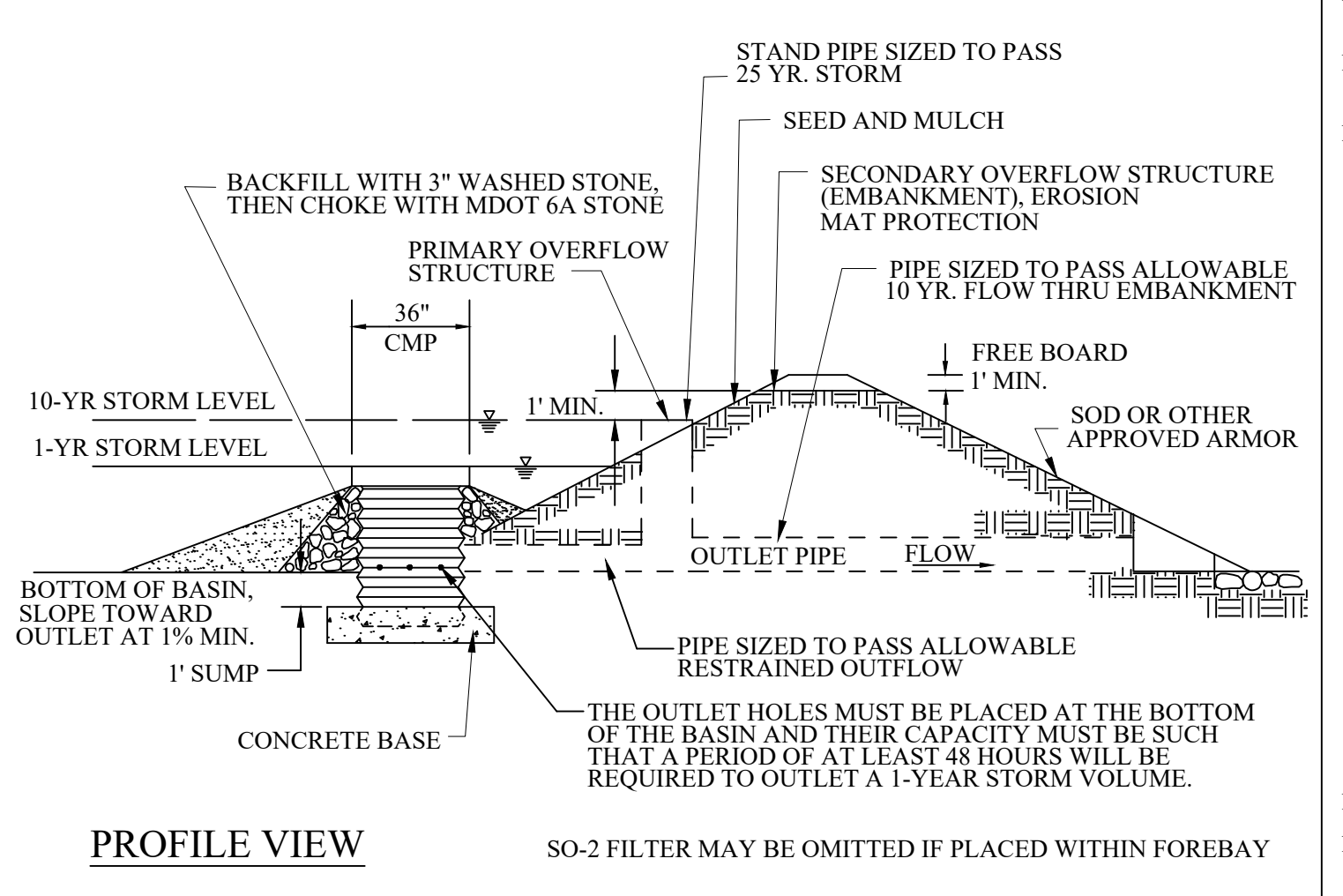
CLASS "B" BEDDING TRENCH DETAIL FOR 24" DIAMETER AND SMALLER PIPE (CONCRETE OR METAL)



CLASS "B" BEDDING TRENCH DETAIL FOR ELLIPTICAL OR 27" DIA. AND LARGER PIPE (CONCRETE OR METAL)



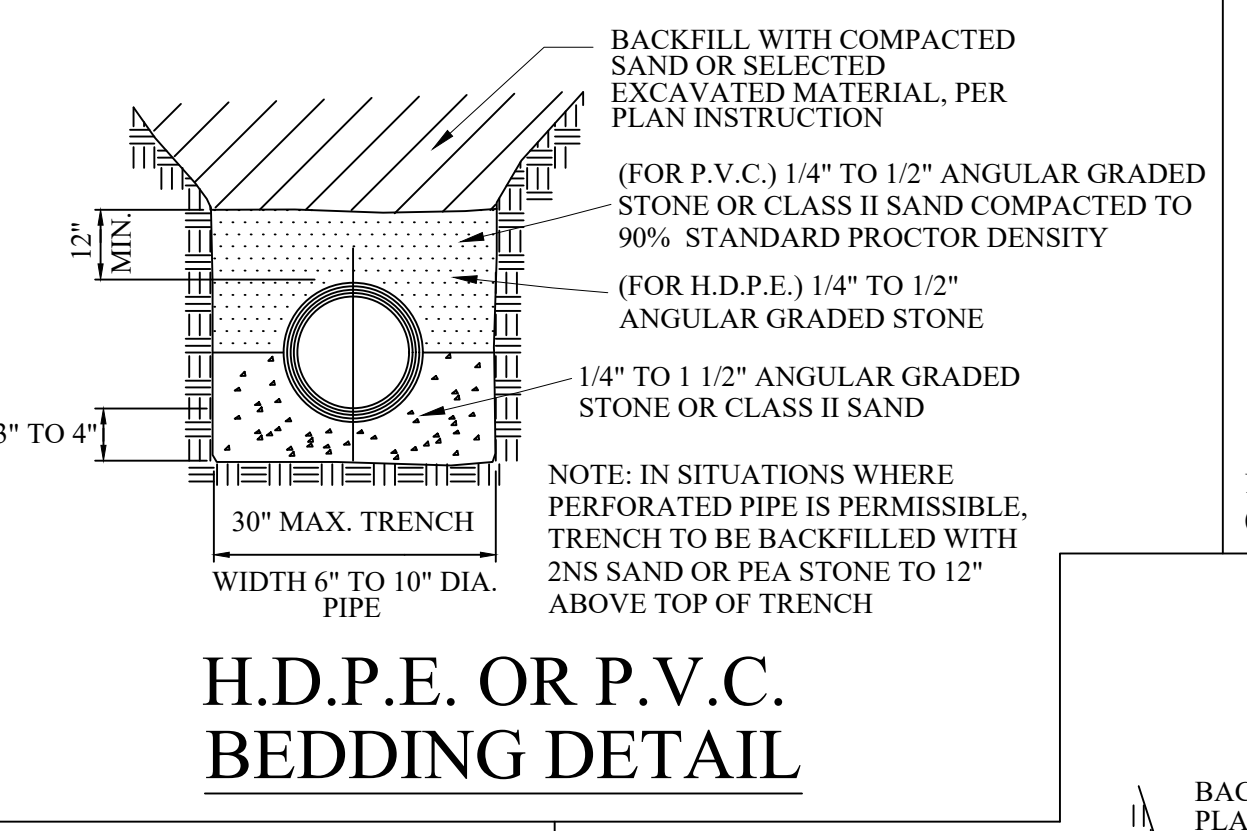
PRECAST STORM CATCH BASIN



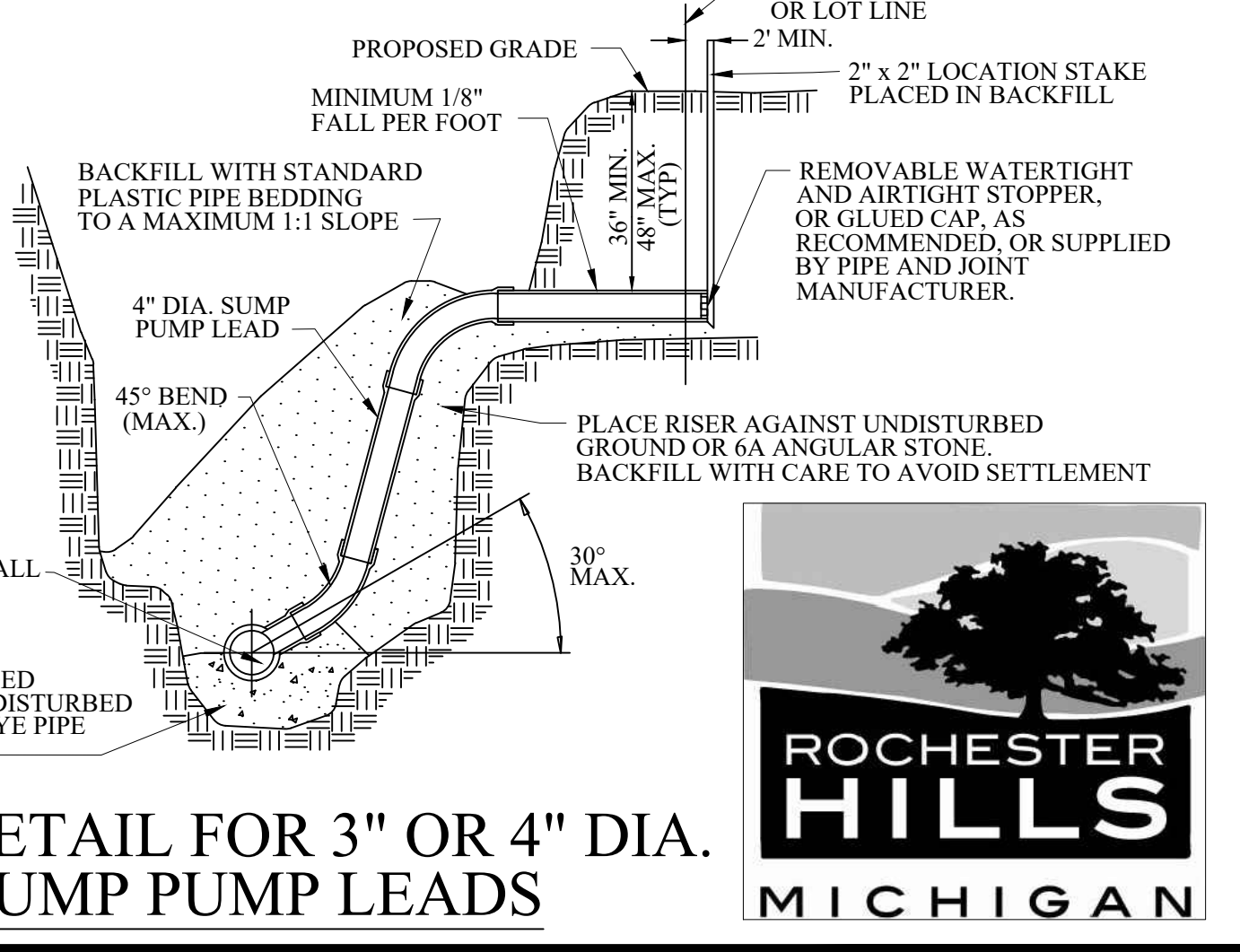
PROFILE VIEW

SO-2 FOREBAY OUTLET FILTER (CMP)

(SEE OCWRC STANDARD DETAILS FOR FOREBAY OUTLET STRUCTURE)



H.D.P.E. OR P.V.C. BEDDING DETAIL



HOUSE LEAD DETAIL FOR 3" OR 4" DIA. PLASTIC SUMP PUMP LEADS

**GENERAL NOTES:**

- ALL EXISTING AND NEW STORM SYSTEMS SHALL BE CLEANED AND FLUSHED ONCE SITE IS 90% BUILT OUT AND VEGETATED. SEDIMENT, ROCK, AND OTHER DEBRIS SHALL BE COLLECTED AND DISPOSED OF IN A PROPER MANNER. IN NO CASE SHALL DEBRIS BE FLUSHED DOWN A STORM OR SANITARY SEWER FOR DISPOSAL. ALL DAMAGED IRRIGATION AND HOUSE DRAINAGE PIPE, DRAIN TILES, SEWER LATERALS AND CULVERTS SHALL BE REPAIRED EXPEDITIOUSLY. DEBRIS COLLECTED SHALL BE DISPOSED IN A COMMERCIAL LANDFILL OR OTHER APPROVED LOCATION.
  - STORM SEWER PIPE SHALL BE OF SIZE AND TYPE NOTED ON THE APPROVED PLANS.
  - REINFORCED CONCRETE PIPE (RCP) SHALL BE MODIFIED GROOVED TONGUE JOINTS WITH O-RING TYPE RUBBER GASKET, PER ASTM C443.
  - ALL CATCH BASIN LEADS AND INLET LEADS SHALL BE ASTM C76-CLASS IV PIPE.
  - MINIMUM PIPE SIZE FOR SEWERS, CATCH BASIN LEADS, AND INLET LEADS SHALL BE 12" NOMINAL INTERNAL DIAMETER.
  - ECCENTRIC CONES SHALL BE PROVIDED ON ALL STRUCTURES, REGARDLESS OF THE MATERIAL USED. PRECAST REINFORCED CONCRETE MANHOLE, BLOCK, OR BRICK TO PROVIDE A TRUE VERTICAL FACE FOR PLACEMENT OF MANHOLE STEPS.
  - THE INSIDE JOINTS OF PIPES SIZES 42" AND LARGER DIAMETER SHALL BE POINTED UP WITH MORTAR UPON COMPLETION OF BACKFILLING OPERATIONS.
  - ALL PIPES SHALL HAVE CLASS, LOT NUMBER, AND DATE OF MANUFACTURE CONSPICUOUSLY MARKED ON EACH LENGTH BY MANUFACTURER.
  - ALL END SECTIONS 18" AND LARGER SHALL BE PROVIDED WITH A GALVANIZED BAR SCREEN.
  - PRECAST REINFORCED CONCRETE SECTIONS SHALL CONFORM TO ASTM 2478.
  - IN DRY, STABLE SOILS, PEASTONE (EQUIVALENT TO M.D.O.T. 34R SPECIFICATIONS) MAY BE SUBSTITUTED FOR THE STANDARD BEDDING. IF THE TRENCH IS WET OR UNSTABLE A GEOTEXTILE FABRIC MUST BE USED TO LINE THE TRENCH PRIOR TO THE PLACEMENT OF THE 2NS SAND, PEASTONE, OR 1/4" - 1-1/2" ANGULAR GRADED STONE.
  - SCHEDULE INSPECTIONS 48 HOURS PRIOR TO START OF CONSTRUCTION BY CALLING THE CITY'S INSPECTION LINE AT 248-841-2510. FULL TIME INSPECTION SHALL BE REQUIRED FOR ALL UNDERGROUND STORM SEWER CONSTRUCTION.
  - THE CONTRACTOR SHALL CONTACT MISS DIG 72 HOURS BEFORE CONSTRUCTION AT (811) TO LOCATE EXISTING UNDERGROUND UTILITIES.
  - PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL HAVE IN HIS POSSESSION A CURRENT SOIL EROSION CONTROL PERMIT AS ISSUED BY THE OCWRC.
  - MINIMUM SUMP DEPTH IS 2' FOR CATCH BASINS, MINIMUM SUMP DEPTH IS 3' FOR CATCH BASINS WITH FLOATABLE TRAP INSTALLATIONS.
  - AS A MEANS OF INSURING PROPER INSTALLATION OF THE STORM SEWER PIPE, AT THE DISCRETION OF THE CITY ENGINEER, THE CONTRACTOR SHALL VIDEO INSPECT, ACCORDING TO THE CITY OF ROCHESTER HILLS VIDEO INSPECTION STANDARDS, 100% OF THE STORM SEWER PIPE 12" AND LARGER IN DIAMETER. IF VIDEO INSPECTION IS REQUIRED BY THE CITY ENGINEER THE CONTRACTOR SHALL PROVIDE 24 HOURS NOTICE TO THE CITY OF ROCHESTER HILLS PRIOR TO VIDEO INSPECTION, SO A REPRESENTATIVE MAY BE PRESENT. ROCHESTER HILLS WILL BE PROVIDED WITH A DIGITAL COPY OF THE VIDEO INSPECTION AND LOG IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS VIDEO INSPECTION STANDARDS.
- PROJECTS THAT THE CITY ENGINEER MAY IMPOSE THESE REQUIREMENTS ARE:
- ALL PUBLIC PROJECTS OR PROJECTS BEING CONSTRUCTED ON PUBLIC PROPERTY.
  - ANY PROJECT INVOLVING A DEVELOPMENT, SUBDIVISION, SITE CONDOMINIUM, CONDOMINIUM, OR ASSOCIATION.
  - ANY PROJECT THAT WILL RESULT IN MORE THAN ONE OWNER RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE COMPLETE STORM DRAINAGE SYSTEM.

**COVERS FOR MANHOLES, CATCH BASINS, AND INLETS**

- MANHOLE FRAME AND COVER SHALL BE EJ 1040, TYPE A COVER OR EQUIVALENT.
  - CATCH BASINS AND INLET FRAME AND COVER SHALL BE AS FOLLOWS:
    - EJ 7045 WITH TYPE M1 GRATE AND 7050 T2 ADJUSTABLE BACK, OR EQUAL, FOR USE WITH CONCRETE CURB AND GUTTER, (STRAIGHT CURB/M.D.O.T. F CURB) AND WITH CONCRETE PAVEMENT WITH INTEGRAL CURB.
    - EJ 7085 WITH TYPE M1 GRATE OR EQUAL, FOR USE WITH CONCRETE B-2 MODIFIED CURB AND GUTTER, AND WITH CONCRETE WITH B-2 MODIFIED INTEGRAL CURB.
    - EJ 7065 WITH TYPE M1 GRATE AND 7060 T1 DRIVE OVER CURB BACK, OR EQUAL, FOR USE WITH MOUNTABLE CURB AND GUTTER, AND WITH CONCRETE PAVEMENT WITH MOUNTABLE INTEGRAL CURB.
    - EJ FRAME 1040 WITH TYPE N OVAL GRATE OR TYPE 02 BEEHIVE GRATE, OR EQUAL, FOR USE ON OPEN DITCH STRUCTURES AND ON CATCH BASINS LOCATED IN SWALES, AND IN EASEMENTS OUTSIDE THE PUBLIC STREET RIGHT-OF-WAY.
    - EJ FRAME 7045Z WITH TYPE M4 VANE STYLE INLET GRATE (RIGHT HAND FLOW OR LEFT HAND FLOW) AND 7060 T1 BACK OR 7050 T2 BACK DEPENDING ON CURB STYLE, OR EQUAL, FOR USE WITH RELIEF BASINS WHICH ARE ON LONGITUDINAL ROAD SLOPES OF 4% OR GREATER.
    - EJ FRAME 5100 WITH TYPE M1 SINUSOIDAL GRATE, OR EQUAL, FOR USE IN NON-CURB PAVEMENT AREAS.
- NOTE: COVERS MUST HAVE THE "DUMP NO WASTE! DRAINS TO WATERWAY" LETTERING (WHEN APPLICABLE).

REVISIONS	DATE	APPROVED BY

APPROVED BY CITY COUNCIL, DATE: \_\_\_\_\_

PREPARED BY ENGINEERING DIVISION DEPARTMENT OF PUBLIC SERVICES

NOTIFY ROCHESTER HILLS ENGINEERING DEPARTMENT @ 248-841-2510 48 HRS. PRIOR TO START OF CONSTRUCTION

**City of Rochester Hills**  
 1000 Rochester Hills Drive, Rochester Hills, Michigan 48309

**STORM SYSTEM STANDARD DETAILS**



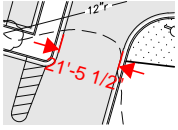


# SITE PLAN.pdf Markup Summary

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## 21'-5 1/2" (1)

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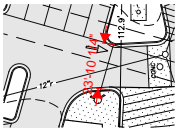
**Subject:** Fire Department  
**Author:** Ann Echols  
**Date:** 11/21/2024 2:02:25 PM  
**Status:**

21'-5 1/2"

---

## 23'-10 1/4" (1)

---



**Subject:** Fire Department  
**Author:** Ann Echols  
**Date:** 11/21/2024 2:02:15 PM  
**Status:**

23'-10 1/4"

---

## 1111 HORIZON CT. (1)

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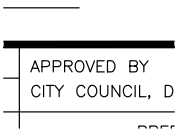
**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 12/11/2024 1:00:46 PM  
**Status:**

1111 HORIZON CT.

---

## APPROVED BY (1)

---



**Subject:**  
**Author:** AutoCAD SHX Text  
**Date:**  
**Status:**

APPROVED BY

---

## Assessing

---

Yes (1)



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 12/12/2024 9:15:43 AM  
**Status:**

Assessing

Yes

---

## BP (1)

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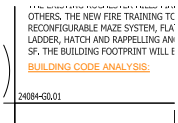
**Subject:** Group  
**Author:** C.McLeod  
**Date:** 12/11/2024 9:42:56 AM  
**Status:**

BP

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## BUILDING CODE ANALYSIS: (1)

---



**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 12/11/2024 10:44:44 AM  
**Status:**

BUILDING CODE ANALYSIS:



**BUILDING CODE ANALYSIS: (\*\*) Items to be approved by the Building Department Authority Having Jurisdiction (AHJ) Construct**



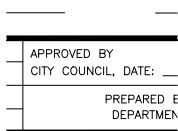
**Subject:** Text Box  
**Author:** Mark Artinian  
**Date:** 12/11/2024 1:17:29 PM  
**Status:**

**BUILDING CODE ANALYSIS:**  
(\*\*) Items to be approved by the Building Department Authority Having Jurisdiction (AHJ)

Construction Codes Applicable to the Project:  
2015 Michigan Building Code (2015 MBC) \*\*for structural components only.  
\*\*NFPA 1402 for all other design considerations.  
2021 Michigan Mechanical Code (2021 MMC)  
2023 Michigan Electrical Code (2023 MEC, 2023 NEC)  
2021 Michigan Plumbing Code (2021 MPC)  
2021 International Fire Code (2021 IFC)

Classification/Use: \*\*U (most nearly resembled)(Section 302).  
\*\*This project can be defined as a "Training Prop" or "Training Structure" per the general definitions of Chapter 3.3 of NFPA 1402, 2019 Edition.  
Construction Classification: IIB (Chapter 6, Table 601)  
Fire Suppression System: \*\*Non-sprinklered  
Fire Alarm System: None  
Allowable Building Area: 8,500 sf (Table 506.2)  
Total Proposed Building Area: 1,920 sf  
Allowable Building Height: 55 feet (Table 504.3)  
Proposed Building Height: 34 feet  
Allowable Number of Stories: 2 (Table 504.4)  
Proposed Number of Stories: \*\*4

**CITY COUNCIL, DATE: (1)**



**Subject:**  
**Author:** AutoCAD SHX Text  
**Date:**  
**Status:**

CITY COUNCIL, DATE:

**City File #24-0378 Section #21 in the lower right hand corner of each sheet (1)**



**Subject:** Engineering Department  
**Author:** Jason Boughton  
**Date:** 11/21/2024 10:08:11 AM  
**Status:**

City File #24-0378 Section #21 in the lower right hand corner of each sheet

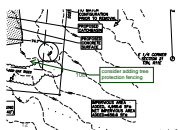
**City of Rochester Hills Planning & Economic Development (1)**



**Subject:** Group  
**Author:** macdonaldj  
**Date:** 11/20/2024 3:03:47 PM  
**Status:**

City of Rochester Hills Planning & Economic Development

**consider adding tree protection fencing (1)**



**Subject:** Natural Resources  
**Author:** Matt Einheuser  
**Date:** 12/5/2024 3:23:27 PM  
**Status:**

consider adding tree protection fencing



Contingent on Building Department AHJ approval. Refer to Building Code Analysis on Sheet A-1. (1)



**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 12/11/2024 11:59:17 AM  
**Status:**

Contingent on Building Department AHJ approval.  
Refer to Building Code Analysis on Sheet A-1.

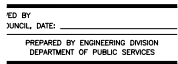
DATE (1)



**Subject:**  
**Author:** AutoCAD SHX Text  
**Date:**  
**Status:**

DATE

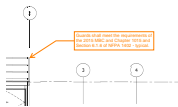
DEPARTMENT OF PUBLIC SERVICES (1)



**Subject:**  
**Author:** AutoCAD SHX Text  
**Date:**  
**Status:**

DEPARTMENT OF PUBLIC SERVICES

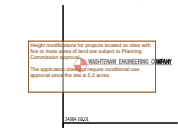
Guards shall meet the requirements of the 2015 MBC and Chapter 1015 and Section 6.1.6 of NFPA 1402 - typical. (1)



**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 12/11/2024 11:57:44 AM  
**Status:**

Guards shall meet the requirements of the 2015  
MBC and Chapter 1015 and Section 6.1.6 of NFPA  
1402 - typical.

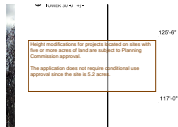
Height modifications for projects located on sites with five or more acres of land are subject to Planning Commission approval. The



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 12/12/2024 9:43:41 AM  
**Status:**

Height modifications for projects located on sites  
with five or more acres of land are subject to  
Planning Commission approval.

The application does not require conditional use  
approval since the site is 5.2 acres.

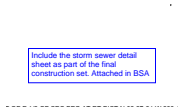


**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 12/12/2024 9:32:43 AM  
**Status:**

Height modifications for projects located on sites  
with five or more acres of land are subject to  
Planning Commission approval.

The application does not require conditional use  
approval since the site is 5.2 acres.

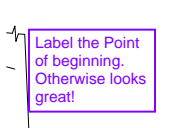
Include the storm sewer detail sheet as part of the final construction set. Attached in BSA (1)



**Subject:** Underground Utilities  
**Author:** Jason Boughton  
**Date:** 11/21/2024 10:09:54 AM  
**Status:**

Include the storm sewer detail sheet as part of the  
final construction set. Attached in BSA

Label the Point of beginning. Otherwise looks great! (1)



**Subject:** Engineering Legal Review  
**Author:** Seth Bucholz  
**Date:** 12/6/2024 8:07:20 AM  
**Status:**

Label the Point of beginning. Otherwise looks  
great!



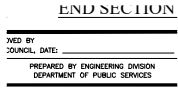
Mark Artinian 248-841-2446 ArtinianM@RochesterHills (1)

Mark Artinian 248-841-2446  
ArtinianM@RochesterHills

**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 12/10/2024 3:59:14 PM  
**Status:**

Mark Artinian 248-841-2446  
ArtinianM@RochesterHills

PREPARED BY ENGINEERING DIVISION (1)



**Subject:**  
**Author:** AutoCAD SHX Text  
**Date:**  
**Status:**

PREPARED BY ENGINEERING DIVISION

Provide a note stating that the underground contractor will call the DPS/ENG inspection line 1 week prior to relocating the catch basin @



**Subject:** Underground Utilities  
**Author:** Jason Boughton  
**Date:** 11/21/2024 10:09:26 AM  
**Status:**

Provide a note stating that the underground contractor will call the DPS/ENG inspection line 1 week prior to relocating the catch basin @ 248.841.2510

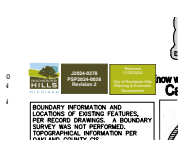
Received 11/20/2024 City of Rochester Hills Planning & Economic Development (10)



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 12/12/2024 11:16:25 AM  
**Status:**

Received  
11/20/2024

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 12/12/2024 11:16:18 AM  
**Status:**

Received  
11/20/2024

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 12/12/2024 11:16:10 AM  
**Status:**

Received  
11/20/2024

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 12/12/2024 11:16:04 AM  
**Status:**

Received  
11/20/2024

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 12/12/2024 11:15:59 AM  
**Status:**

Received  
11/20/2024

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 12/12/2024 11:15:55 AM  
**Status:**

Received  
11/20/2024

City of Rochester Hills Planning & Economic Development





**Subject:** Group  
**Author:** C.McLeod  
**Date:** 12/12/2024 11:15:49 AM  
**Status:**

Received  
 11/20/2024

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 12/12/2024 11:15:44 AM  
**Status:**

Received  
 11/20/2024

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 12/12/2024 11:15:39 AM  
**Status:**

Received  
 11/20/2024

City of Rochester Hills Planning & Economic  
 Development

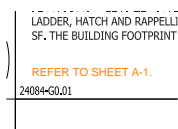


**Subject:** Group  
**Author:** C.McLeod  
**Date:** 12/12/2024 11:15:29 AM  
**Status:**

Received  
 11/20/2024

City of Rochester Hills Planning & Economic  
 Development

**REFER TO SHEET A-1. (1)**



**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 12/11/2024 10:44:37 AM  
**Status:**

REFER TO SHEET A-1.

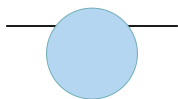
**REVISIONS (1)**



**Subject:**  
**Author:** AutoCAD SHX Text  
**Date:**  
**Status:**

REVISIONS

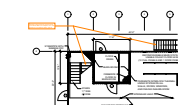
**SP (1)**



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 12/12/2024 9:42:43 AM  
**Status:**

SP

**Stairways shall meet the requirements of the 2015 MBC and Chapter 1011 and Section 6.1.5 of NFPA 1402 - typical. (1)**



**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 12/11/2024 12:03:27 PM  
**Status:**

Stairways shall meet the requirements of the 2015  
 MBC and Chapter 1011 and Section 6.1.5 of NFPA  
 1402 - typical.

**The applicant will not need to submit for a Land Improvement Permit (LIP) application, unless other departments significantly change**



**Subject:** Engineering Department  
**Author:** Jason Boughton  
**Date:** 11/21/2024 10:08:19 AM  
**Status:**

The applicant will not need to submit for a Land  
 Improvement Permit (LIP) application, unless other  
 departments significantly change the scope of the  
 work with their requirements.



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With Conditions (1)

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With Conditions

**Subject:** Underground Utilities  
**Author:** Jason Boughton  
**Date:** 11/21/2024 10:10:42 AM  
**Status:**

With Conditions

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Yes With Conditions (1)

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Yes  
With Conditions

**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 12/10/2024 4:00:10 PM  
**Status:**

Yes  
With Conditions

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(17)

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Rochester Hills  
Owner  
1111 Holtz  
Rochester Hills, MI  
248.656.46

**Subject:** Traffic  
**Author:** Keith  
**Date:** 11/20/2024 4:15:50 PM  
**Status:**

Washter

---

Jason Boughton 248-641-2490 Yes



Rochester Hills

**Subject:** Engineering Department  
**Author:** Jason Boughton  
**Date:** 11/21/2024 10:10:29 AM  
**Status:**

---

Capt. Ann Echols 248-641-2701 Yes



Rochester Hills  
Owner  
1111 Holtz  
Rochester Hills, MI  
248.656.46

**Subject:** Fire Department  
**Author:** Ann Echols  
**Date:** 11/27/2024 8:50:12 AM  
**Status:**



Rochester Hills  
Owner  
1111 Holtz  
Rochester Hills, MI  
248.656.46

**Subject:** Natural Resources  
**Author:** Matt Einheuser  
**Date:** 12/5/2024 3:23:38 PM  
**Status:**

---

Christina Buchholz 248-641-2490 Yes



Rochester Hills  
Owner  
1111 Holtz  
Rochester Hills, MI  
248.656.46

**Subject:** Jenny McGuckin - YES  
**Author:** Seth Bucholz  
**Date:** 12/6/2024 8:07:35 AM  
**Status:**

---

Mark Artinian 248-641-2490 Yes

**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 12/11/2024 10:43:26 AM  
**Status:**

---

Chris McLeod 248-641-2490 Yes



Rochester Hills  
Owner  
1111 Holtz  
Rochester Hills, MI  
248.656.46

**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 12/12/2024 9:34:52 AM  
**Status:**

---

Christina Buchholz 248-641-2490 Yes



Rochester Hills  
Owner  
1111 Holtz  
Rochester Hills, MI  
248.656.46

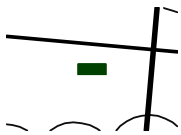
**Subject:** Group  
**Author:** C.McLeod  
**Date:** 12/12/2024 9:42:01 AM  
**Status:**

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WestBrampton Engine 248-641-2490 Yes



WestBrampton Engine  
11800  
11800  
11800  
11800



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**Subject:** Natural Resources  
**Author:** Matt Einheuser  
**Date:** 12/5/2024 3:22:30 PM  
**Status:**



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**Subject:** Natural Resources  
**Author:** Matt Einheuser  
**Date:** 12/5/2024 3:22:53 PM  
**Status:**



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**Subject:** Highlight  
**Author:** Mark Artinian  
**Date:** 12/11/2024 11:50:23 AM  
**Status:**



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**Subject:** Highlight  
**Author:** Mark Artinian  
**Date:** 12/11/2024 11:50:32 AM  
**Status:**



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**Subject:** Highlight  
**Author:** Mark Artinian  
**Date:** 12/11/2024 11:50:41 AM  
**Status:**



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**Subject:** Highlight  
**Author:** Mark Artinian  
**Date:** 12/11/2024 11:50:49 AM  
**Status:**



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**Subject:** Highlight  
**Author:** Mark Artinian  
**Date:** 12/11/2024 11:50:56 AM  
**Status:**



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**Subject:** Highlight  
**Author:** Mark Artinian  
**Date:** 12/11/2024 11:51:03 AM  
**Status:**



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**Subject:** Highlight  
**Author:** Mark Artinian  
**Date:** 12/11/2024 1:17:09 PM  
**Status:**