



J2025-0049
PSP2025-0003
Revision #3
Received 11/26/2025

City of Rochester
Hills Planning &
Economic
Development

Site Plan Review

Reviewed for compliance with City Ordinance, Building and Fire Codes
Conditions and mark-ups noted throughout plan set must be addressed prior to final approval

Department	Reviewer	Approved
Assessing	Assessing	Yes
Building	Jason Rhoades 248-841-2435 RhoadesJa@RochesterHills.org	Yes
Engineering - Utilities	A Hysinger HysingerA@RochesterHills.org J Boughton BoughtonJ@RochesterHills.org	Yes
Engineering Legal	Sein Bucholz 248-841-2491 bucholzse@rochesterhills.org	YES Date:12/15/2025
Fire	Lt. Walter Murphy 248-841-2712 MurphyW@RochesterHills.org	Yes
Natural Resources	Matt Einheuser 248-841-2551 EinheuserM@RochesterHills.org	Yes
Planning	Chris McLeod 248-841-2572 mcleodc@RochesterHills.org	Yes
Traffic	Kevin Depp 248-841-2503 DeppK@RochesterHills.org	Yes

APPLICANT / OWNER

Next Steps: The applicant should coordinate with Planning Staff for LAI attending January Planning Commission meeting.

AUBURN HILLS, MI 48324
CONTACT: PATRICK BURNS
248.276.8800

ENGINEER

SHARPE ENGINEERING, INC.
101 N. WASHINGTON ST.
OXFORD, MI 48371
248.877.2102
CONTACT: JAMES SHARPE, PE

SURVEYOR

KENNEDY SURVEYING, INC.
105 N. WASHINGTON ST.
OXFORD, MI 48371
248.628.4241
CONTACT: HUSTON KENNEDY, PS

LANDSCAPE ARCHITECT

6948 AEROVIEW ST.
WEST BLOOMFIELD, MI 48324
248.939.0157
CONTACT: RICK TUTTLE

LAND USE SUMMARY

Characteristic	Existing Conditions	Proposed Conditions
Total Development Area (ac)	4.011 Ac.	4.011 Ac.
Impervious Area (ac)	0.372 Ac.	0.793 Ac.
Total Pervious Area (ac)	3.639 Ac.	3.218 Ac.
Pervious Area Breakdown by Cover Type		
Meadow/fallow/natural areas (non-cultivated)		
Predominant NRCS Soil Type (A, B, C, or D)	Type A	Type A
Improved areas (turf grass, landscape, row crops)		
Predominant NRCS Soil Type (A, B, C, or D)	Type A	Type A
Wooded Areas		
Predominant NRCS Soil Type (A, B, C, or D)	Type A	Type A
Proposed Pond Area (acres)		0.273 Ac.
Required CPVC Volume (cubic feet)		9,012 CF
Provided CPVC Volume (cubic feet)		9,450 CF
Required ED Volume (cubic feet)		13,171 CF
Provided ED Volume (cubic feet)		13,171 CF

SP Site Plan

BP Building Permit

LB Landscape Bond
Landscape bond = \$84,760, plus administrative fees

TRP Tree Removal Permit
Tree Removal Permit = Remove 26 Trees, 17 Trees to Remain, Plant 4 trees, 19 Trees Paid into Tree Fund
In lieu of payment into tree fund, trees should be planted along berm/road frontage

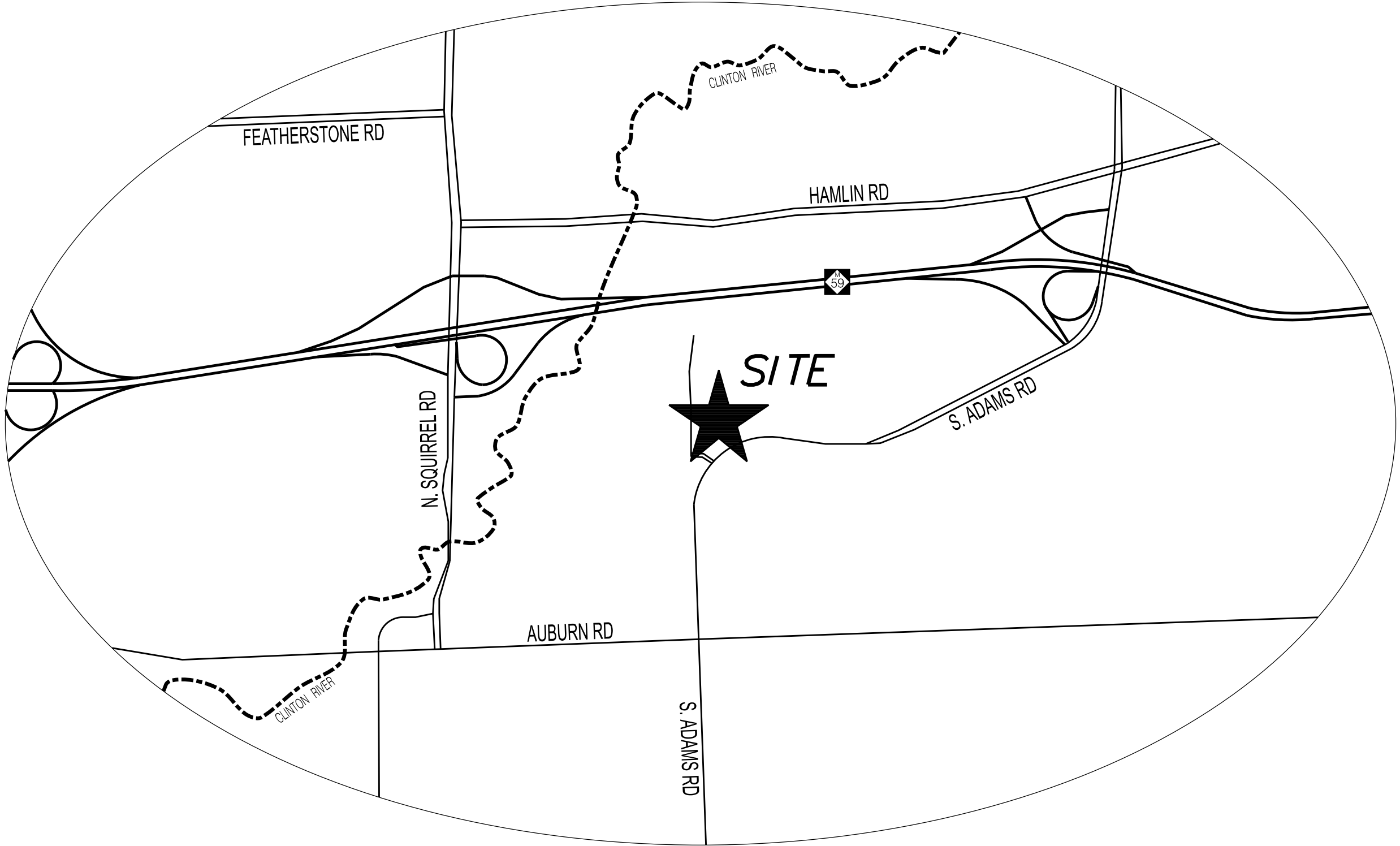
LIP Land Improvement Permit

ADM

TIMBERLAND LANDSCAPE

CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

A PART OF SECTION 30 T-3-N, R-11-E



LOCATION MAP
(1"=1000')

NOT TO BE USED AS
CONSTRUCTION DRAWINGS
CITY FILE #25-0049 SECTION #30

SHEET INDEX

- COVER SHEET
- C1.0 EXISTING CONDITIONS
- C1.1 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 GRADING PLAN
- C3.1 STORMWATER CALCULATIONS
- C4.0 PROJECT DETAILS
- L1.0 EXISTING TREE REMOVAL AND PROTECTION PLAN
- L2.0 PROPOSED LANDSCAPE
- 1 OF 1 CRH HOT-MIXED ASPHALT PATHWAY CONSTRUCTION, EXTENSIONS AND RELOCATIONS

SUBMITTAL AND APPROVAL DATES

AGENCY	SUBMITTAL	DATE SUBMITTED	DATE REVISED	DATE APPROVED	PERMIT NUMBER
ROCHESTER HILLS	PRELIMINARY SITE PLAN	02/11/2025	11/25/2025	-	-
ROCHESTER HILLS	FINAL SITE PLAN	-	-	-	-
ROCHESTER HILLS	ENGINEERING	-	-	-	-
ROCHESTER HILLS	LAND IMPROVEMENT PERMIT	-	-	-	-
WRC	SOIL EROSION PERMIT	-	-	-	-
EGL	WATER MAIN PERMIT	-	-	-	-
RCOC	ROW PERMIT	-	-	-	-

NOTE: A COPY OF ALL PERMITS PERTAINING TO THIS PROJECT SHALL BE AVAILABLE ON-SITE DURING ALL PHASES OF CONSTRUCTION.

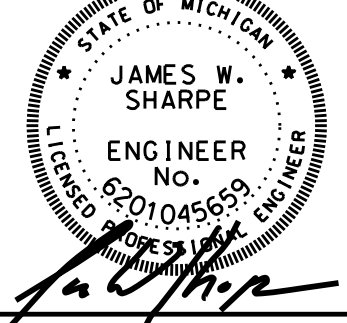


DATE:	02/11/25	07/10/25	09/05/25	11/25/25
SUBMITTAL NOTE	PRELIMINARY SITE PLAN SUBMITTAL	REVISED PSP PER CITY COMMENTS	REVISED PSP PER CITY COMMENTS	REVISED PSP PER CITY COMMENTS

MISS DIG SYSTEM
KNOW WHAT'S BELOW
800-482-7171 OR 811
CONTACT THE MISS DIG SYSTEM 3 WORKING DAYS IN ADVANCE

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JAMES W. SHARPE
PROFESSIONAL ENGINEER
NO. 6201045659



DEVELOPED FOR:
TIMBERLAND LANDSCAPE INC.
2005 PONTIAC RD
AUBURN HILLS, MI 48326
248.276.8800

COVER SHEET
TIMBERLAND LANDSCAPE

CITY: ROCHESTER HILLS
COUNTY: OAKLAND
SECTION: 30
T-3-N, R-11-E

INITIAL SUBMITTAL: 02/11/25
THIS SUBMITTAL: 11/25/25
SCALE: N/A
SHEET: COVER
PROJECT: 071.11.01

BENCHMARKS

- BM *1 • Arrow on Fire Hydrant, West side at Intersection of Old Adams Road & Industrial Drive
ELEV = 867.28 (NAVD88, Construction plans on file at City)
- BM *2 • Arrow on Fire Hydrant, West side at Intersection of Old Adams Road & Forester Boulevard
ELEV = 888.07 (NAVD88, transferred from BM *1)

PROJECT: J2025-0049/PSP2025-0003

REVISION: Review #3

RECEIVED: 11/26/2025

PROPERTY DESCRIPTION (15-30-302-041)

PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS BEGINNING AT A POINT DISTANT SOUTH 380 FEET FROM THE WEST 1/4 CORNER; THENCE N87°46'00"E 435.6 FEET; THENCE SOUTH 300.31 FEET; THENCE S87°46'00"W 435.6 FEET; THENCE NORTH 300.31 FEET TO THE POINT OF BEGINNING.

PROPERTY DESCRIPTION (15-30-302-039)

PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS BEGINNING AT A POINT DISTANT S85°49'02"W 1.93 FEET TO THE PREVIOUS PROPERTY CONTROLLING CORNER AND S01°30'03"E 385.17 FEET AND S02°03'12"E 295.34 FEET FROM THE REMONUMENTED WEST 1/4 CORNER; THENCE N85°38'28"E 945.60 FEET; THENCE S02°02'36"E 19.43 FEET; THENCE ALONG A CURVE TO THE LEFT, RADIUS 880.00 FEET, CHORD BEARING S70°53'56"W 749.44 FEET, DISTANCE OF 774.16 FEET; THENCE ALONG A CURVE TO THE LEFT, RADIUS 290.00 FEET, CHORD BEARING N72°57'21"W 189.79 FEET, DISTANCE OF 193.35; THENCE S87°56'48"W 48.97 FEET; THENCE N02°03'12"W 139.01 FEET TO THE POINT OF BEGINNING CONTAINING 1.75 ACRES.



SCALE 1"=40'
GRAPHIC SCALE

If area is not dedicated to ROC, appropriate landscaping pursuant to ordinance will be required in this area.

AREA OF LAND TO BE DEEDED TO THE ROC

TREE LEGEND

TREE TAG	DIAMETER	TREE NAME
200	8"	Spruce
201	8"	Spruce
202	8"	Spruce
203	8"	Spruce
204	8"	Spruce
205	8"	Spruce
206	8"	Spruce
207	8"	Spruce
208	8"	Spruce
209	8"	Spruce
210	12"	Elm
321	8"	Maple
322	8"	Butternut
323	8"-8"	Butternut
324	8"	Butternut
325	8"	Butternut
326	8"	Butternut
327	8"	Butternut
328	8"-10"	Butternut
329	8"	Butternut
330	8"-8"	Butternut
331	10"	Sassafras
337	12"	Pine
338	12"	Apple
339	18"	Chinese Elm
340	16"	Maple
341	20"	Butternut
342	4"-6"-8"-10"	Elm
343	12"	Maple
344	10"	Maple
349	12"-12"	Maple
350	8"-12"	Maple
409	14"	Maple
410	14"	Maple
472	29"	Elm
473	20"	Elm
475	15"	Spruce
476	26"	Spruce
478	10"	Spruce
479	15"	Spruce
480	26"	Spruce
489	50" clump	Poplar

LEGEND:

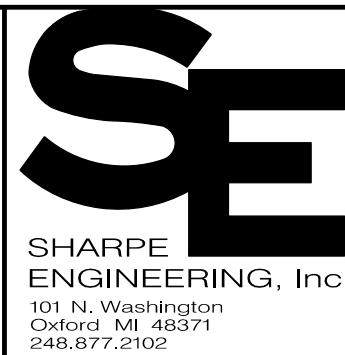
- 879.2 x • EXISTING ELEVATION
- 883 — • EXISTING CONTOUR
- BM • BENCH MARK
- • FND. 1/2" IRON ROD UNLESS NOTED
- △ • FND. PK NAIL
- • SET 1/2" IRON ROD W/ ID CAP
- △ • KS/CONTROL POINT
- M • MEASURED DISTANCE
- R • RECORDED DISTANCE
- S • SET DISTANCE
- O.H. • EX. OVERHEAD LINES
- P.P. ○ • EX. POWER POLE
- • EX. GUY WIRE
- • EX. TRAFFIC SIGN
- • EX. TRAFFIC SIGN
- • DETROIT EDISON STRUCTURE
- DE □ • EX. UTILITY RISER
- • GAS VALVE
- • GAS MARKER
- • SANITARY SEWER MANHOLE
- ST ○ • STORM SEWER STRUCTURE
- • STORM SEWER CATCH BASIN
- • STORM SEWER YARD DRAIN
- • FIRE HYDRANT
- • WATER MAIN GATE VALE
- FF • FINISH FLOOR
- DS • DOOR SILL
- • TREE TAG
- • EX. FENCE
- • EX. BITUMINOUS SURFACE
- • EX. CONCRETE SURFACE
- • EX. GRAVEL SURFACE

SURVEY PROVIDED BY:

Kennedy Surveying, Inc.
105 N. Washington St.
Oxford, MI 48371
248.628.4241

JOB NUMBER: 18-8067
DATED: August 31, 2018

NOT TO BE USED AS
CONSTRUCTION DRAWINGS
CITY FILE #25-0049 SECTION #30



DATE:	SUBMITTAL NOTE
02/11/25	PRELIMINARY SITE PLAN SUBMITTAL
07/07/25	REVISED PSP PER CITY COMMENTS
09/05/25	REVISED PSP PER CITY COMMENTS
11/25/25	REVISED PSP PER CITY COMMENTS

MISS DIG SYSTEM
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HUSTON K. KENNEDY
PROFESSIONAL SURVEYOR
NO. 4001017623



DEVELOPED FOR:
TIMBERLAND LANDSCAPE INC.
2005 PONTIAC RD
AUBURN HILLS, MI 48326
248.276.8800

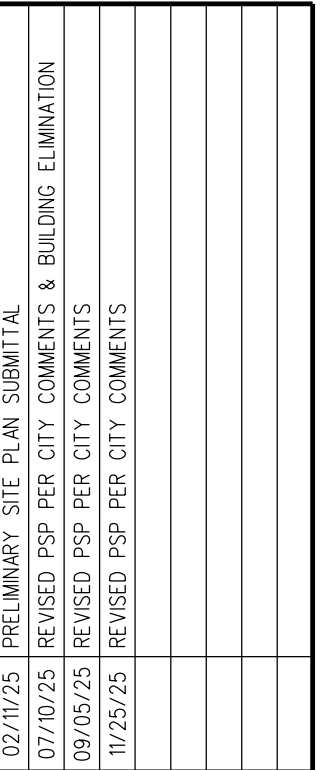
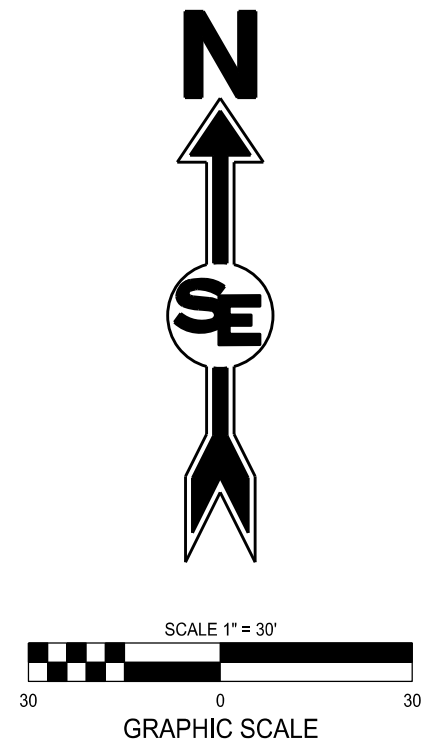
EXISTING CONDITIONS
TIMBERLAND LANDSCAPE

PLAN NAME:

CITY: ROCHESTER HILLS
COUNTY: OAKLAND
SECTION: 30
T-3-N-R-11-E

INITIAL SUBMITTAL: 02/11/25
THIS SUBMITTAL: 11/25/25
SCALE: 1" = 40'
SHEET: C10
PROJECT: 071.11.01

2. CONTACT MISS-DIG FOR UTILITY STAKING PRIOR TO ANY REMOVALS.
3. ALL DEMOLITION ITEMS REMOVED AS PART OF THE CONSTRUCTION ACTIVITIES SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OFF-SITE IN A SAFE AND LEGAL MANNER.
4. ANY ITEMS NOT SPECIFICALLY CALLED OUT FOR DEMOLITION BUT ARE REQUIRED FOR THE SUCCESSFUL COMPLETION OF THE PROJECT SHALL NOT BE PAID FOR SEPARATELY, BUT RATHER INCLUDED IN OTHER CONTRACT PAY ITEMS.
5. ANY DAMAGE TO THE EXISTING SIDEWALKS, PATHWAYS, PARKING AREAS, CURBING, ETC. OUTSIDE THE SCOPE OF THE WORK SHALL BE SAWCUT OUT AND REPLACED PER EXISTING CROSS-SECTION AT NO ADDITIONAL COST TO THE CONTRACTOR.
6. PROPER CARE SHALL BE TAKEN FOR REMOVAL/DEMOLITION ITEMS ABUTTING EXISTING ITEMS TO REMAIN SUCH AS IRRIGATION BOXES, ROADWAYS, ELECTRICAL RISERS, FIRE HYDRANTS, LANDSCAPING, ETC. SO AS TO NOT CAUSE DAMAGE.
7. ALL PAVEMENT REMOVAL SHALL BE MADE BY SAWCUTTING FULL DEPTH IN STRAIGHT LINES IN THE AREAS OF PROPOSED REMOVALS AND PROTECTING EXISTING PAVEMENT TO REMAIN.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE WITHIN THE ROAD ROW.
9. EXISTING ON-SITE SOIL TYPE PREDOMINANTLY CONSISTS OF ARKPORT LOAMY SAND (45C), 6-12% SLOPES PER PROJECT.
10. ANY TOPSOIL THAT IS STRIPPED SHALL BE STOCKPILED IN A SAFE AND LEGAL MANNER AT THE DIRECTION OF THE OWNER. ANY TOPSOIL NEEDED TO COMPLETE PROPOSED LANDSCAPING TAKEN FROM THIS STOCKPILE MUST BE SCREENED BEFORE PLACEMENT. IF THERE IS NOT ADEQUATE SPACE WITHIN THE PROJECT SITE TO STOCKPILE TOPSOIL, THEN THE CONTRACTOR SHALL REMOVE THE TOPSOIL FROM THE SITE.
11. ALL LAWN AREAS DISRUPTED BY THE CONTRACTOR OUTSIDE OF THE PROPOSED LIMITS OF CONSTRUCTION SHALL BE PROPERLY GRADED AND RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
12. ALL MUCK, MARL, TOPSOIL, STUMPS, AND ANY OTHER UNSUITABLE MATERIAL ENCOUNTERED BY THE PAVING/CLEARING CONTRACTOR WITHIN THE SITE SHALL BE REMOVED AND DISPOSED OF AS DIRECTED BY THE OWNER. ALL MATERIALS TO BE REMOVED SHALL BE SEPARATELY FROM MATERIALS OF A NATURE AND COMPOSITION SIMILAR TO THE ADJACENT MATERIALS SUCH THAT THE PAVEMENT SHALL REST ON THE SUBBASE OF RELATIVELY UNIFORM COMPOSITION. SUCH MATERIAL SHALL BE MECHANICALLY COMPACTED TO 95% OF ITS MAXIMUM DRY WEIGHT.
13. A SOIL EROSION PERMIT WILL BE OBTAINED FROM THE WRC PRIOR TO ANY DEMOLITION, CONSTRUCTION, OR REMOVING ACTIVITIES. ALL SOIL EROSION AND SEDIMENTATION CONTROL AND TEMPORARY ITEMS SHALL BE OBTAINED UPON COMPLETION OF THE CONSTRUCTION ACTIVITIES.
14. LIMITS OF EARTH DISRUPTION SHALL BE STRICTLY CONFINED TO THE DEVELOPMENT PROPERTY. A SOIL EROSION AND SEDIMENTATION CONTROL PLAN WILL BE PREPARED AND A PERMIT OBTAINED FROM THE WRC PRIOR TO CONSTRUCTION.



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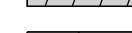

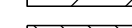
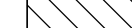
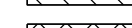




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A circular professional engineer seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The center of the seal contains the name "JAMES W. SHARPE", the title "ENGINEER", and the license number "No. 6201045659". A handwritten signature is scrawled across the bottom of the seal.

05 PONTIAC RD
BURN HILLS, MI 48326
8.276.8800

2

DATE: 02/11/25
DATE: 11/25/25
DATE: 1" = 40'
DATE: C1.1
DATE: 071.11.01

REMOVE BUILDING	
REMOVE GRAVEL	
REMOVE HMA PVMT	
REMOVE CONCRETE PVMT	
STATION GRADING	
REMOVE FENCE	
SAWCUT PVMT	
REMOVE FENCE / UTILITY LINE	
REMOVE STRUCTURE	

NOT TO BE USED AS
CONSTRUCTION DRAWINGS
CITY FILE #25-0049 SECTION #30



MAPLE LANE
46 FT. WD.

DEVELOPMENT NOTES

- PARCELS 15-30-302-039 & 15-30-302-041 WILL BE COMBINED AS A CONDITION OF SITE PLAN / ENGINEERING APPROVAL. LEGAL DESCRIPTION(S) FOR THE COMBINED PROPERTY AND AREA TO BE DEED TO THE ROOC WILL BE PROVIDED AT SUCH TIME.
- WATER SUPPLY: A FIRE HYDRANT IS PROPOSED ON THE EX. 16" WATER MAIN, SOUTH OF THE APPROACH. AN EGLE ACT 390 PERMIT WILL BE APPLIED FOR FOLLOWING ENGINEERING PLAN APPROVAL. NEW MAINLINE PUBLIC WATER MAIN IS NOT PROPOSED.
- SEWAGE DISPOSAL: NO PUBLIC SANITARY SEWER OWNED BY ROCHESTER HILLS IS AVAILABLE. NEW MAINLINE PUBLIC SANITARY SEWER IS NOT PROPOSED.
- STORM DRAINAGE: UNDERGROUND STORM SEWER, A DETENTION POND, AND A SEDIMENT FOREBAY ARE PROPOSED TO MANAGE STORMWATER RUNOFF. ON-SITE EXISTING DRAINAGE PATTERNS WILL GENERALLY BE MAINTAINED AND NO ADJACENT PROPERTIES WILL BE ADVERSELY AFFECTED BY THE PROPOSED IMPROVEMENTS.
- THE SUBJECT PROPERTY IS LOCATED IN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X) AS DENOTED BY FEMA PANEL 26125C039F DATED 09/29/2006.
- NO REGULATED WETLANDS EXIST ON-SITE PER EGLE NATIONAL WETLANDS INVENTORY MAPS.
- EXISTING ON-SITE SOIL TYPE PREDOMINANTLY CONSISTS OF SPINKS LOAMY SAND (15B), 0-6% SLOPES PER NRCS SOILS INFORMATION.
- DELIVERIES TO THE PROPERTY WILL BE MADE TO THE PAVED PARKING / STORAGE AREA EAST OF THE PROPOSED PARKING LOT. ADEQUATE SPACE IS AVAILABLE TO ACCOMMODATE ANY SIZE DELIVERY.
- KNOX BOX AND FIRE LANE SIGNAGE SHALL BE INSTALLED AS DIRECTED BY THE FIRE CHIEF. REFER TO FIRE DEPARTMENT NOTES FOR DETAIL.
- DETAILED PLANS, PROFILES, AND CALCULATIONS WILL BE PREPARED AND SUBMITTED AS PART OF THE ENGINEERING / PERMITTING PHASE. PRELIMINARY STORMWATER CALCULATIONS ARE PROVIDED ON SHEET C3.1.
- ALL BUILDINGS, TREES, PAVEMENT, FENCES, ETC. THAT EXIST ON THE PROPERTY AND ARE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS SHALL BE REMOVED.
- THE PROPOSED MONUMENT SIGN MUST MEET CHAPTER 134 OF THE CITY CODE OF ORDINANCES AND BE APPROVED UNDER A SEPARATE PERMIT ISSUED BY THE BUILDING DEPARTMENT.
- ABOVE-GROUND FUEL TANKS SHALL MEET ALL INTERNATIONAL FIRE CODE AND CITY OF ROCHESTER HILLS REQUIREMENTS.
- PROPER PREPARATION, CURING, COMPACTION AND FINISHING OF NEW PAVEMENTS SHALL MEET THE REQUIREMENTS SET FORTH BY THE LOCAL MUNICIPALITY OR IN ACCORDANCE WITH THE 2020 MDOT STANDARDS FOR CONSTRUCTION IF NO LOCAL REQUIREMENTS.
- GRADING WITHIN ADA ACCESSIBLE AREAS WILL ADHERE TO CURRENT ADA STANDARDS. A PRELIMINARY GRADING PLAN IS PROVIDED AS SHEET C3.0.
- SEE SHEET C1.1 FOR DEMOLITION ITEMS.
- THE FULL PROPERTY DESCRIPTION AND BEARINGS ARE DESIGNED ON SHEET C1.0.
- ALL SIGNS MUST MEET THE REQUIREMENTS OF THE CITY AND BE APPROVED UNDER SEPARATE PERMITS ISSUED BY THE BUILDING DEPARTMENT.

Forester Hills Condo
(Auburn Hills)

ZONED: PUD

12' Water Main Easement
L. 10823, P. 184 O.C.R.

52' Detroit Edison Easement
L. 5313, P. 817 O.C.R.

PR. CONCRETE CURB &
GUTTER - STANDARD (TYP)
TYPICAL SECTION - CURB &
GUTTER - STD. ON SHEET C4.0

PR. HMA APPROACH
(TYPICAL SECTION -
HMA - APPROACH
ON SHEET C4.0)

12' Water Main Easement
L. 15988, P. 184 O.C.R.

12' Water Main Easement
L. 15691, P. 625 O.C.R.

52' Detroit Edison Easement
L. 5313, P. 817 &
L. 5313, P. 821 O.C.R.

12' Water Main Easement
L. 15691, P. 625 O.C.R.

BENCHMARKS

- BM #1 - Arrow on Fire Hydrant, West side at Intersection
of Old Adams Road & Industrial Drive
ELEV. = 867.28 (NAVD88, Construction plans on file at City)
- BM #2 - Arrow on Fire Hydrant, West side at Intersection
of Old Adams Road & Forester Boulevard
ELEV. = 888.07 (NAVD88, transferred from BM #1)

PR. CROSSWALK
TO BE DESIGNED AND
CONSTRUCTED BY OTHERS
(OHM PROJECT # 0190-25-0010)



PROJECT: J2025-0049/PSP2025-0003

REVISION: Review #3

RECEIVED: 11/26/2025

PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT

PROJECT DESCRIPTION

THE PROPOSED PROJECT CONSISTS OF THE DEMOLITION OF AN EXISTING RESIDENTIAL HOME AND THE CONSTRUCTION OF A PARKING LOT FOR A FUTURE BUILDING TO SERVICE A LANDSCAPE COMPANY. A STORMWATER DETENTION POND IS PROPOSED TO HANDLE STORMWATER RUNOFF.

Water Main Easement
L. 6713, P. 90 O.C.R.

50' Consumers Easement
L. 3079, P. 319 O.C.R.

15-30-301-041
ZONED: I-1

30' Easement Area "A"
L. 52554, P. 66 O.C.R.

30' Consumers Easement
L. 5130, P. 889 O.C.R.

30' Highway/Ingress/Egress Easement
L. 4253, P. 496 O.C.R.

INDUSTRIAL DRIVE (Private)
Bituminous Surface

PROPERTY LINE



SCALE 1" = 30'
GRAPHIC SCALE

FIRE DEPARTMENT NOTES

- A KNOX KEY SYSTEM SHALL BE INSTALLED IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE THROUGH THE KNOX COMPANY AT WWW.KNOXBOX.COM (JFC 2021 SEC. 506).
- FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE" AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 503).
- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2021 CHAPTER 33.

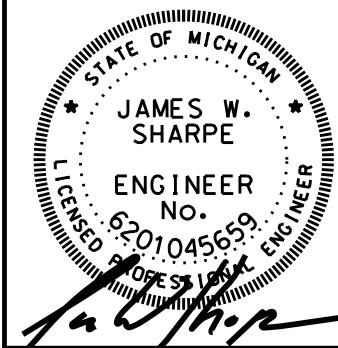
ZONING INFORMATION

- PARCELS: 15-30-302-041 & 15-30-302-039
- ZONING: I (INDUSTRIAL)
- SETBACKS
 - FRONT: 50'
 - REAR: 50'
 - SIDE: 25'
- PARCEL AREA / COVERAGE
 - GROSS PARCEL AREA = 206,898 SF (4.75 AC)
 - FUTURE BUILDING FOOTPRINT = 4,000 SF
 - LOT COVERAGE = 4,000 / 206,898 = 1.93% COVERAGE

MISS D JG SYSTEM
KNOW WHAT'S BELOW
800-482-7171 OR 811
CONTACT THE MISS
D JG SYSTEM 3 WORKING
DAYS IN ADVANCE

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JAMES W. SHARPE
PROFESSIONAL ENGINEER
NO. 6201045659



DEVELOPED FOR:

**TIMBERLAND
LANDSCAPE INC.**

2005 PONTIAC RD
AUBURN HILLS, MI 48326
248.276.8800

SITE PLAN
TIMBERLAND LANDSCAPE

PLAN NAME:

CITY: ROCHESTER HILLS
COUNTY: OAKLAND
SECTION: 30
T-3-N, R-11-E

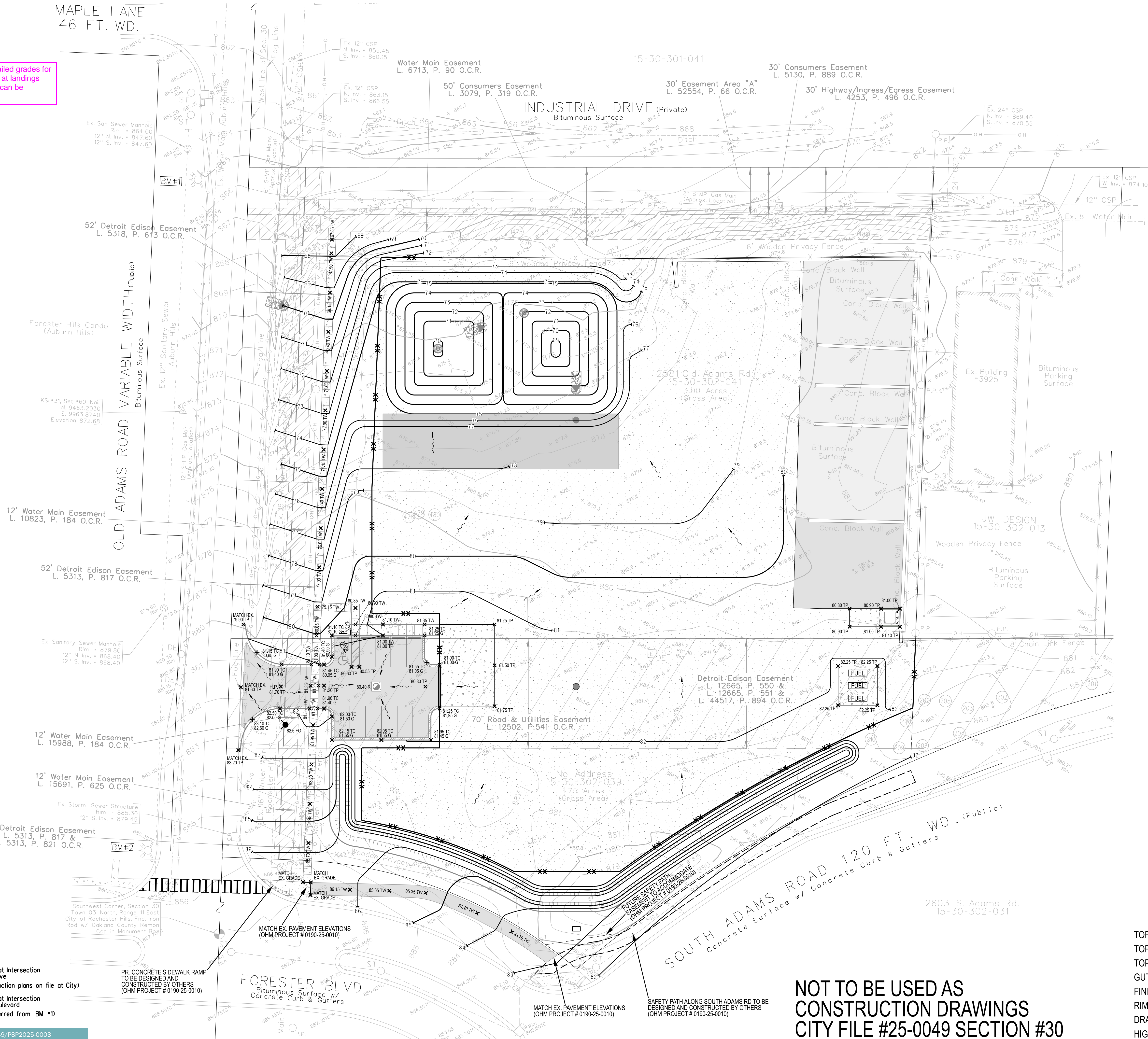
INITIAL
SUBMITTAL: 02/11/25
THIS
SUBMITTAL: 11/25/25
SCALE: 1" = 30'
SHEET: C2.0
PROJECT: 071.11.01

IMPROVEMENT LEGEND

- STORM SEWER
CATCH BASIN
STORM MANHOLE
END SECTION
OUTLET STRUCTURE
LANDSCAPE BERM
- GRAVEL SURFACE
HMA PAVEMENT
CONCRETE PVMT
CONCRETE SIDEWALK
CURB & GUTTER
WOOD / VINYL FENCE

NOT TO BE USED AS
CONSTRUCTION DRAWINGS
CITY FILE #25-0049 SECTION #30

On the Construction Plans, provide detailed grades for pathways and sidewalks, at ramps, and at landings areas, so longitudinal and cross slopes can be checked for ADA compliance.



BENCHMARKS

- BM #1 • Arrow on Fire Hydrant, West side at Intersection of Old Adams Road & Industrial Drive
ELEV • 867.28 (NAVD88, Construction plans on file at City)
- BM #2 • Arrow on Fire Hydrant, West side at Intersection of Old Adams Road & Forester Boulevard
ELEV • 888.07 (NAVD88, transferred from BM #1)

PR. CONCRETE SIDEWALK RAMP
TO BE DESIGNED AND
CONSTRUCTED BY OTHERS
(OHM PROJECT # 0190-25-0010)

FORESTER BLVD
Bituminous Surface w/
Concrete Curb & Gutters

MATCH EX. PAVEMENT ELEVATIONS
(OHM PROJECT # 0190-25-0010)

MATCH EX. PAVEMENT ELEVATIONS
(OHM PROJECT # 0190-25-0010)

SAFETY PATH ALONG SOUTH ADAMS RD TO BE
DESIGNED AND CONSTRUCTED BY OTHERS
(OHM PROJECT # 0190-25-0010)

NOT TO BE USED AS
CONSTRUCTION DRAWINGS
CITY FILE #25-0049 SECTION #30

GRADING LEGEND

TOP OF CURB ELEV.	XX.XX TC
TOP OF PVMT ELEV.	XX.XX TP
TOP OF WALK ELEV.	XX.XX TW
GUTTER ELEV.	XX.XX G
FINISH GRADE ELEV.	XX.X FG
RIM ELEV.	XX.XX R
DRAINAGE PATTERN	
HIGH POINT	H.P.

CITY:	ROCHESTER HILLS
COUNTY:	OAKLAND
SECTION:	30
T - 3 - N - R - 11 - E	

INITIAL SUBMITTAL:	02/11/25
THIS SUBMITTAL:	11/25/25
SCALE:	1" = 30'
SHEET:	C3.0
PROJECT:	071.11.01



PROJECT: J2025-0049/PSP2025-0003

REVISION: Review #3

RECEIVED: 11/26/2025

PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT

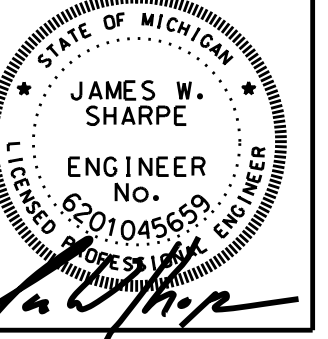


DATE:	02/11/25	PRELIMINARY SITE PLAN SUBMITTAL
	07/07/25	REVISED PSP PER CITY COMMENTS & BUILDING ELIMINATION
	09/05/25	REVISED PSP PER CITY COMMENTS
	11/25/25	REVISED PSP PER CITY COMMENTS

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JAMES W. SHARPE
PROFESSIONAL ENGINEER
NO. 6201045659



DEVELOPED FOR:
TIMBERLAND
LANDSCAPE INC.
2005 PONTIAC RD
AUBURN HILLS, MI 48326
248.276.8800

GRADING PLAN
TIMBERLAND LANDSCAPE

PLAN NAME:

Timberland Landscape
Preliminary Storm Water Calculations

TOTAL PROJECT AREA =	4.750	Acres
OLD ADAMS ROAD ROW AREA =	0.333	Acres
INDUSTRIAL DRIVE ROW AREA =	0.139	Acres
AREA DEEDED TO RCOC =	0.267	Acres
NET SITE AREA: A =	4.011	Acres
RUNOFF COEFFICIENT: C =	0.476	

DETENTION POND STORAGE REQUIRED (100-YR EVENT) - OAKLAND COUNTY WRC METHOD

Channel Protection Volume Control (CPVC)

C =	Post-development runoff coefficient	=	0.476
A =	Contributing Area	=	4.011 Acres
V _{CP,R} =	Required CPVC volume in cubic feet		
V _{CP,R} =	4,719 x C x A	=	4,719 x 0.476 x 4.011 = 9,012 CF

*The geotechnical report prepared by SME (No. 080466.00 dated 12-13-18) does not mention the measured in-situ infiltration rates of existing on-site soils. However, all four (4) soil boring logs show that the existing soils consist of primarily sand. Per NRCS, the on-site soil over the entire development area is Spinks loamy sand, 0-6% slopes (15B). This soil is categorized under hydrologic soil group 'A', the group most conducive to allowing surface water to infiltrate. The NRCS describes 15B soil having infiltration rates ranging from 2 - 6 in/hr. From this information, the assumption is that the in-situ infiltration rates meet or exceed 0.5 in/hr. An infiltration area consisting of clean, washed, open-graded 1" x 3" aggregate is proposed immediately south of the forebay and detention pond to satisfy the proposed CPVC volume requirement. All four (4), 15-foot-deep soil boring logs state that groundwater was not encountered. Soil Boring #4 is located within the infiltration area.

Proposed Channel Protection Volume Control Volume (V_{CP,P})

V _{CP,P} =	Length of Trench x Width of Trench x Depth of Trench x Stone Porosity		
V _{CP,P} =	150 LF x 35 LF x 6 LF x 30%	=	9,450 CF

Channel Protection Rate Control: Extended Detention

V _{ED} =	Required extended detention volume in cubic feet. The volume of which must be dewatered in not less than 48 hours.		
V _{ED} =	6,897 x C x A	=	6,897 x 0.476 x 4.011 = 13,171 CF

*Calculations for outlet structure orifice sizing and dewatering time will be provided with the engineering submittal.

Water Quality Control

V _F =	Required sediment forebay volume		
V _{WQ} =	Required water quality volume in cubic feet		
V _F =	0.15 x V _{WQ} = 545 x C x A = 545 x 0.476 x 4.011	=	1,041 CF
V _{WQ} =	V _F / 0.15 = 1,041 / 0.15	=	6,939 CF

*The Water Quality Control requirement will be accomplished using a sediment forebay. Calculations for the provided forebay volume are shown below.

Forebay Storage (Elev. 874.0 - 872.0)

1 foot storage = 1/3 h (A_{TOP} + A_{BOT} + (A_{TOP} x A_{BOT})^{1/2})

Coutour Area		Volume Between Contours	
A ₈₇₄ ~	4,620		
A ₈₇₃ ~	3,167	>	3,871 Forebay Storage
A ₈₇₂ ~	1,966	>	2,543
A ₈₇₁ ~	1,042	>	1,480 3-Foot Sump; Does Not Count Toward Storage
A ₈₇₀ ~	406	>	700
A ₈₆₉ ~	58	>	206
			6,413 CF of Forebay Storage Provided

Detention & Flood Control

Q _{VRR} =	Allowable variable release rate in CFS / Acre		
Q _{100P} =	Allowable 100-year post development peak flow rate in CFS		
V _{100R} =	Post development 100-year runoff volume in cubic feet		
T _C =	Time of concentration in minutes (15 min, commercial development)		
p =	Design storm return period in years		
I ₁₀₀ =	100-year peak rainfall intensity in inches / hour		
Q _{100IN} =	100-year post development peak infow rate in CFS		
R =	Storage Curve Factor (dimensionless)		
V _{100R} =	Required 100-year detention volume in cubic feet		
Q _{VRR} =	1.1055 - 0.206*ln(A) = 1.1055 - 0.206*ln(4.011)	=	0.819 CFS / Acre
Q _{100P} =	Q _{VRR} x A = Q _{VRR} x 4.011	=	3.287 CFS
V _{100R} =	18,985 x C x A = 18,985 x 0.476 x 4.011	=	36,256 CF
I ₁₀₀ =	$\frac{30.20 \times p^{0.22}}{(T_c + 9.17)^{0.81}}$ = $\frac{30.20 \times 100^{0.22}}{(15 + 9.17)^{0.81}}$	=	6.303 Inches / Hour
Q _{100IN} =	C x I ₁₀₀ x A = 0.476 x 6.303 x 4.011	=	12.037 CFS
R =	0.206 - 0.15 x ln(Q _{100P} / Q _{100IN}) = 0.206 - 0.15 x ln(3.287/ 12.037)	=	0.401
V _{100D} =	V _{100R} x R = 36,256 x 0.401	=	14,528 CF Required

*Locations and calculations for sizing of emergency overflow spillways will be provided on the engineering submittal.

Detention Pond Storage (Elev. 874.0 - 870.0)

1 foot storage = 1/3 h (A_{TOP} + A_{BOT} + (A_{TOP} x A_{BOT})^{1/2})

Coutour Area		Volume Between Contours	
A ₈₇₄ ~	4,746		
A ₈₇₃ ~	3,276	>	3,988
A ₈₇₂ ~	2,053	>	2,641
A ₈₇₁ ~	1,107	>	1,556
A ₈₇₀ ~	57	>	471
			8,657 CF Pond Storage

Required Stormwater Detention =	14,528 CF of Detention is to be provided	where	1041	to be forebay storage
Provided Stormwater Detention =	15,070 CF of Detention is being provided	where	6,413	is forebay storage

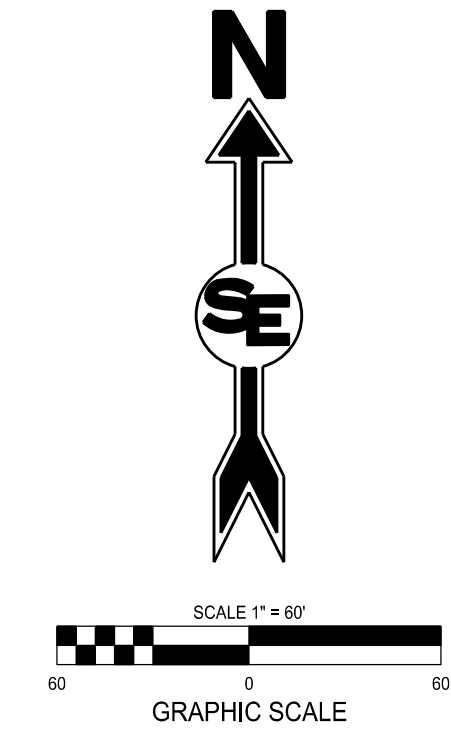
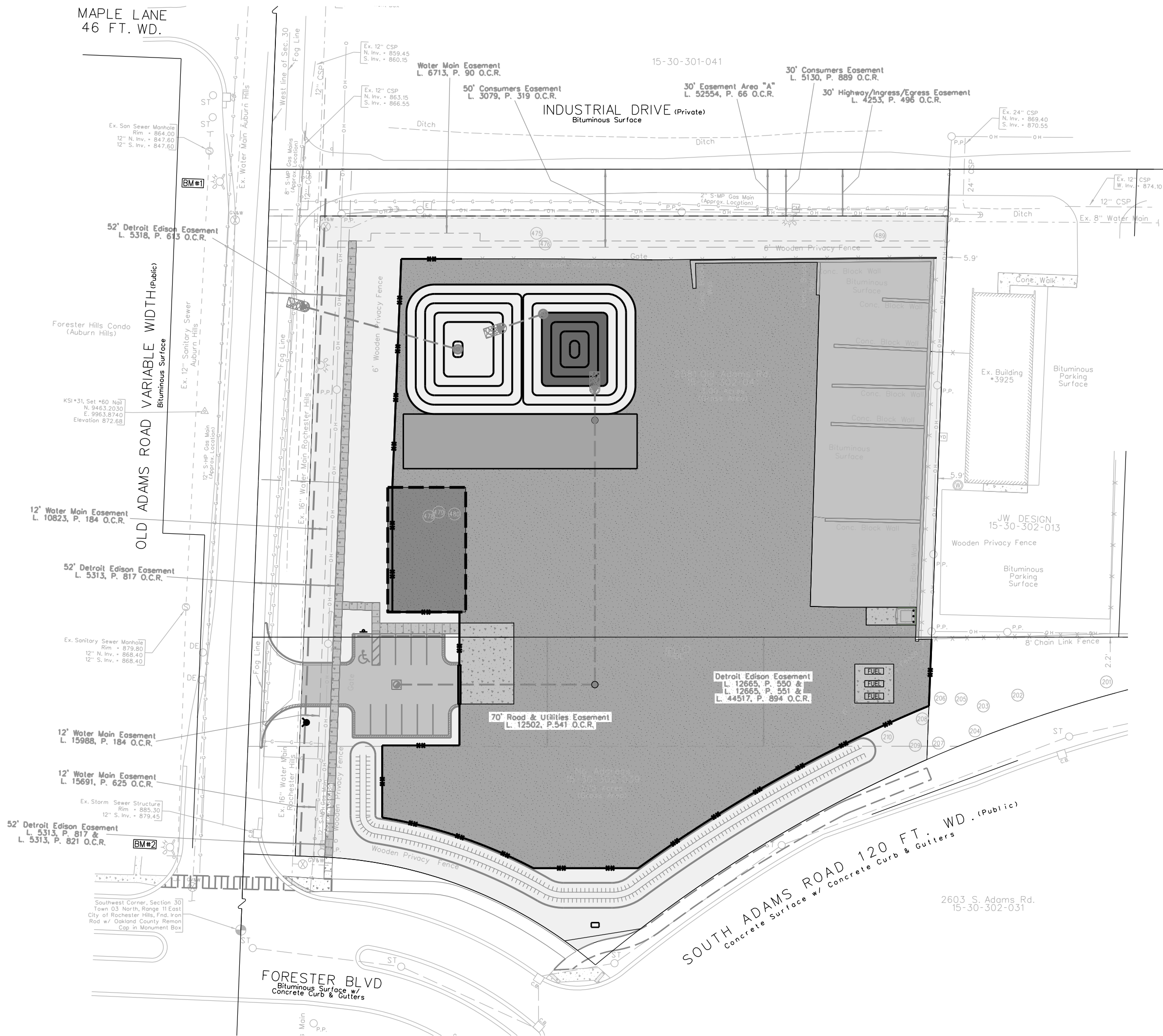
Runoff Coefficient Calculation (C-Factor)

Surface Type	Runoff Coefficient
Forebay	1.00
HMA / Conc.	0.95
Building	0.95
Gravel	0.50
Greenscape	0.15

*Predominant HSG is "A" (C=0.15)

C-FACTOR CALCULATION

Drainage District	Net Area (ac)	Net Area (sf)	Future Building (sf)	Concrete / Asphalt (sf)	Forebay Permanent Pool (sf)	Gravel (sf)	Lawn Area / Greenscape (sf)	Runoff Coeff
PR. SITE	4.011	174,719	4,000	28,577	1,966	83,549	56,628	0.476

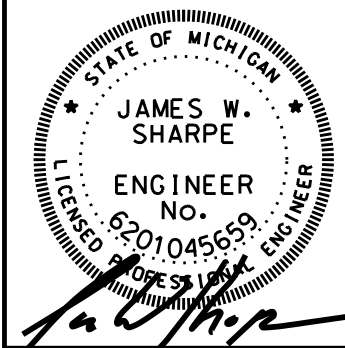


DATE:	02/11/25	PRELIMINARY SITE PLAN SUBMITTAL
	07/07/25	REVISED PSP PER CITY COMMENTS & BUILDING ELIMINATION
	09/05/25	REVISED PSP PER CITY COMMENTS
	11/25/25	REVISED PSP PER CITY COMMENTS

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JAMES W. SHARPE
PROFESSIONAL ENGINEER
NO. 6201045659



DEVELOPED FOR:
TIMBERLAND LANDSCAPE INC.
2005 PONTIAC RD
AUBURN HILLS, MI 48326
248.276.8800

PLAN NAME:
STORMWATER CALCULATIONS
TIMBERLAND LANDSCAPE

CITY: ROCHESTER HILLS
COUNTY: OAKLAND
SECTION: 30
T-3-N, R-11-E

INITIAL SUBMITTAL: 02/11/25
THIS SUBMITTAL: 11/25/25
SCALE: 1" = 60'
SHEET: C3.1
PROJECT: 071.11.01

SURFACE TYPE LEGEND

LAWN AREA / GREENSCAPE	
CONC / HMA PVMT	
GRAVEL	
FUTURE BUILDING	
FOREBAY PERM. POOL	

NOT TO BE USED AS
CONSTRUCTION DRAWINGS
CITY FILE #25-0049 SECTION #30



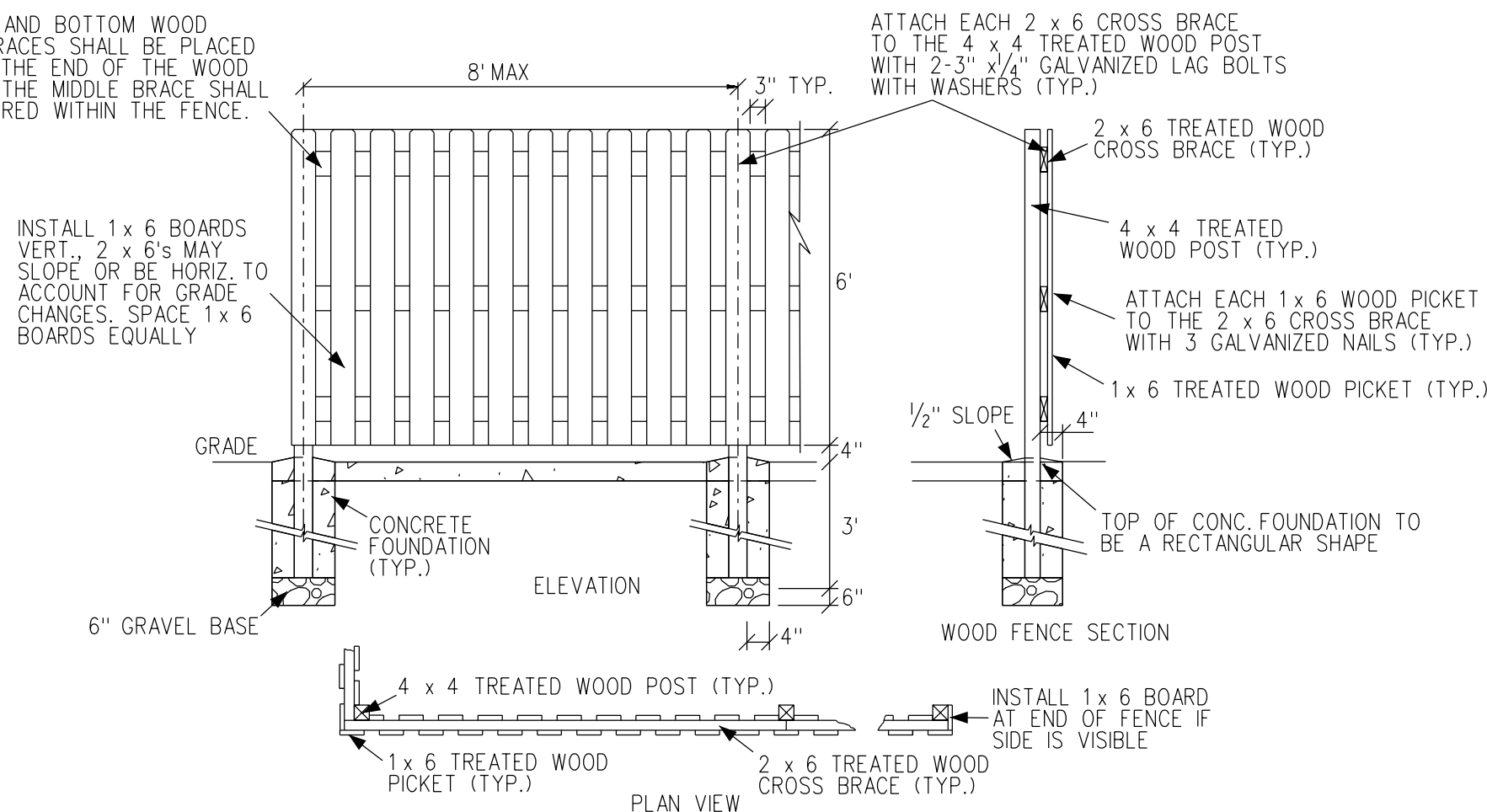


SLIDING GATE W/ KNOX BOX

NOT TO SCALE

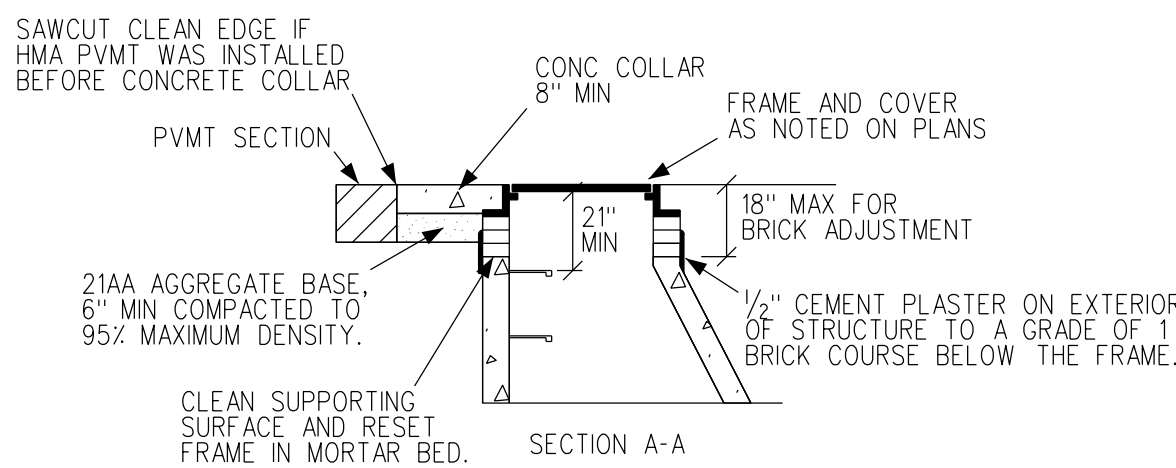
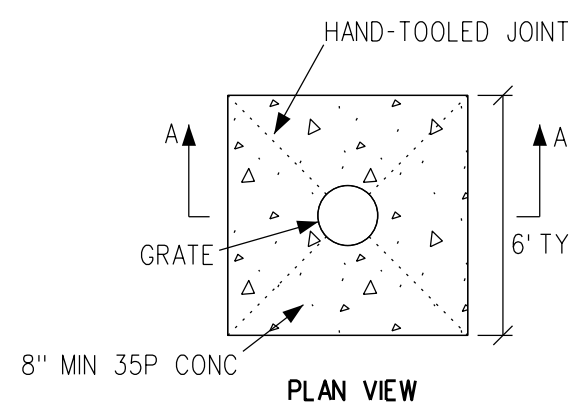
- NOTES: 1. GATE SHALL BE WALCOOM BLACK STEEL AND ALUMINUM, ZINC AND VINYL COATED SLIDING CHAINLINK GATE OR APPROVED EQUAL.
2. GATE SHALL HAVE 25' WIDE CLEAR OPENING.
3. GATE SHALL BE 6' TALL TO MATCH SURROUNDING FENCING HEIGHT.

THE TOP AND BOTTOM WOOD CROSS BRACES SHALL BE PLACED 6" FROM THE END OF THE WOOD PICKETS. THE MIDDLE BRACE SHALL BE CENTERED WITHIN THE FENCE.



WOOD PRIVACY FENCE

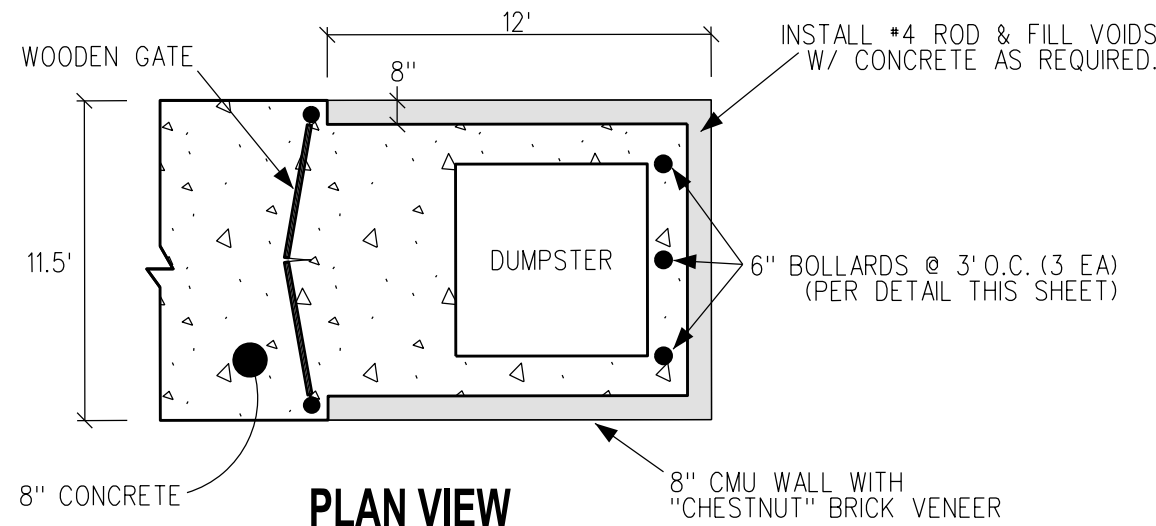
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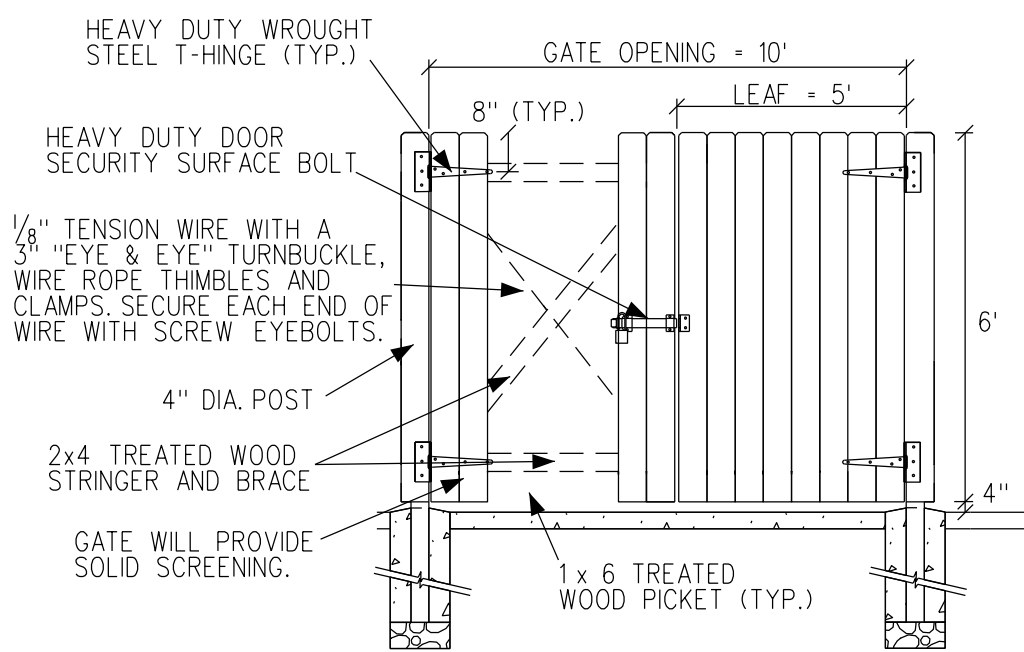
- NOTES: 1. CONCRETE COLLAR SHALL BE INSTALLED AROUND ALL EXISTING AND PROPOSED STORM STRUCTURES WITHIN PAVEMENT COLLAR NOT REQUIRED FOR STRUCTURES IN UNPAVED AREAS (CASE II).
2. CONCRETE COLLAR SHALL BE SQUARE TO EXISTING FEATURES SUCH AS CURBS, EDGES OF ROADS, ETC.
3. CONCRETE COLLAR SHALL BE FLUSH WITH ADJACENT PAVEMENT.
4. SLOPE CONCRETE AT 1/4" PER FOOT IF CATCH BASIN IS LOW POINT.

CONCRETE COLLAR

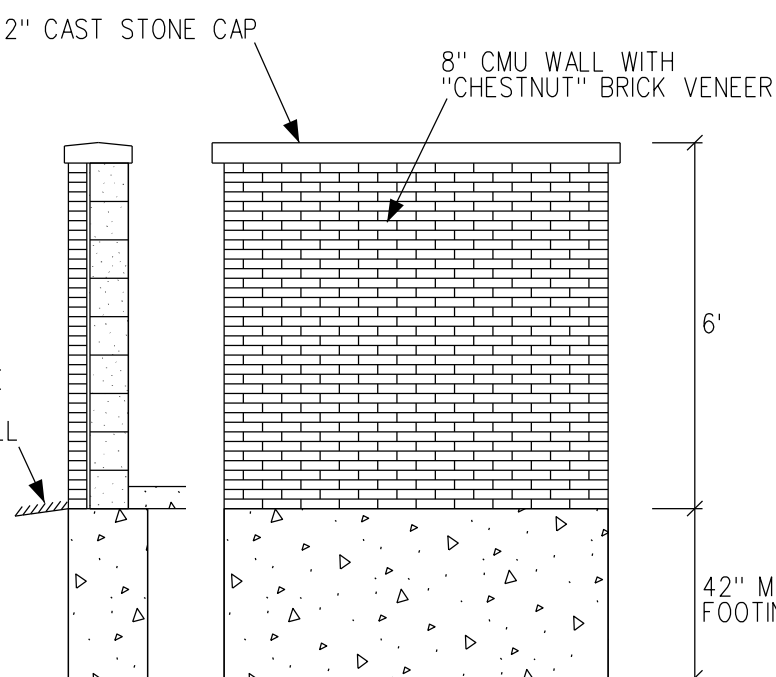
NOT TO SCALE



PLAN VIEW



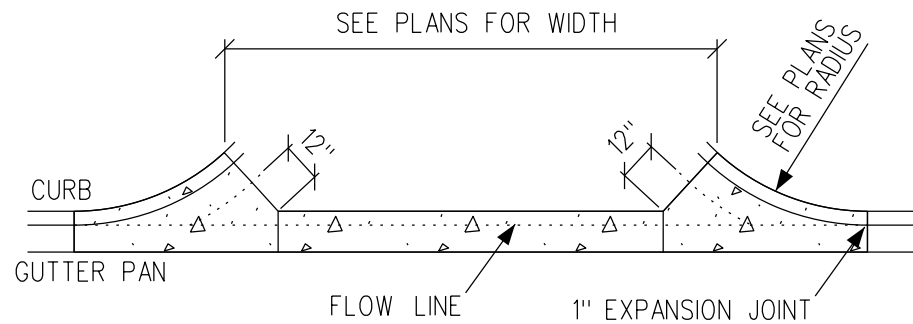
FRONT VIEW



SIDE VIEW

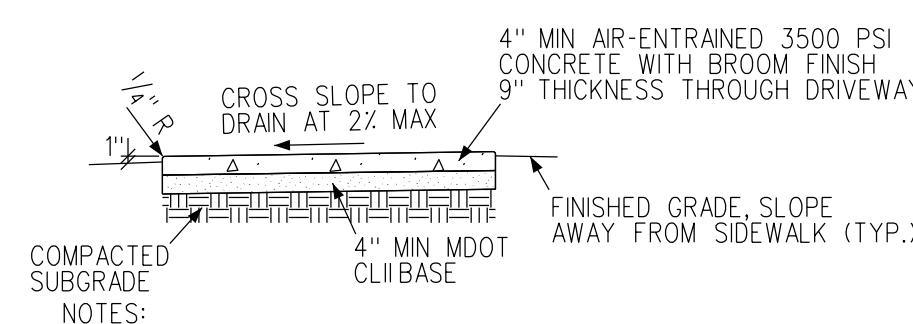
DUMPSTER ENCLOSURE

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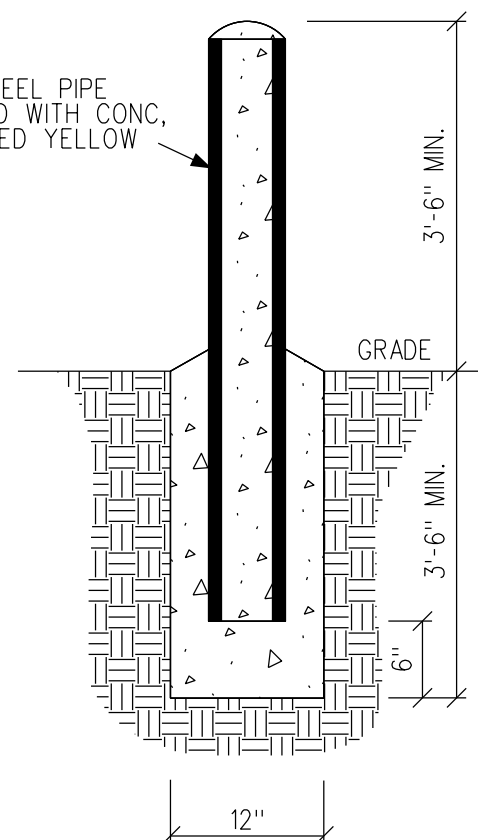
DRIVEWAY - "M" OPENING

NOT TO SCALE



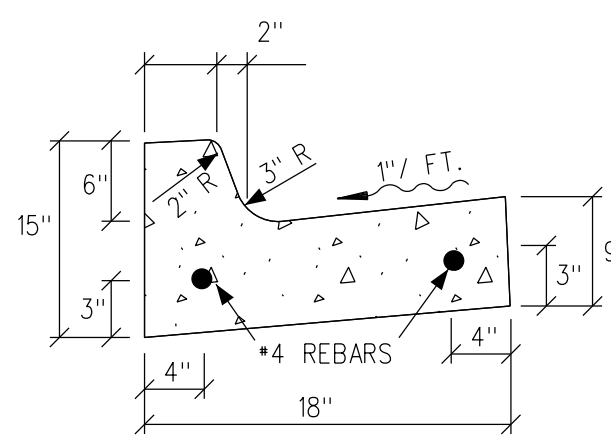
CONCRETE SIDEWALK

NOT TO SCALE



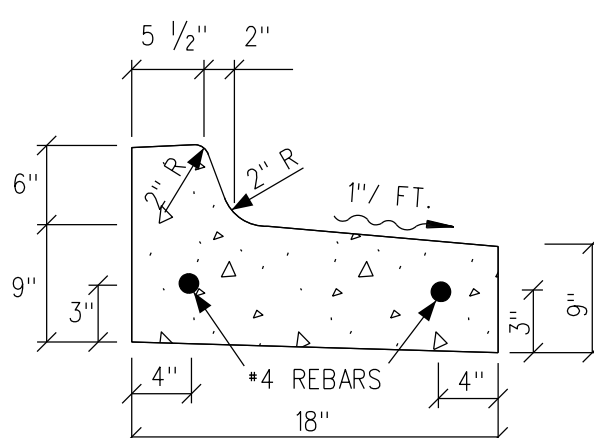
BOLLARD

NOT TO SCALE



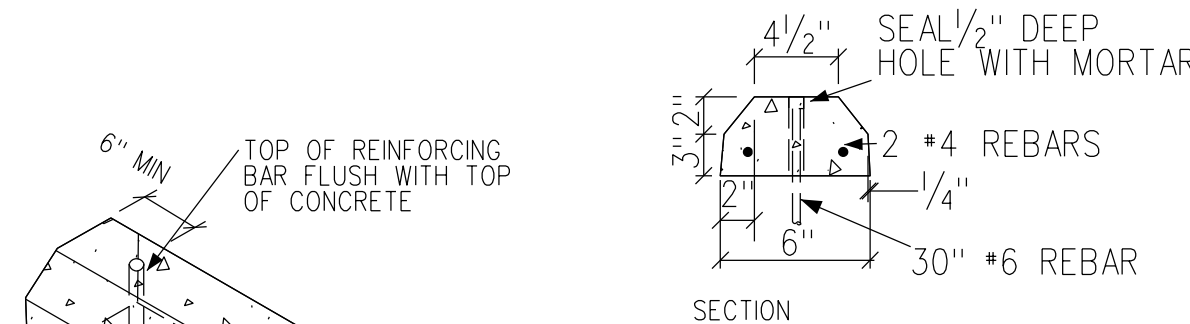
CURB & GUTTER - STD.

NOT TO SCALE



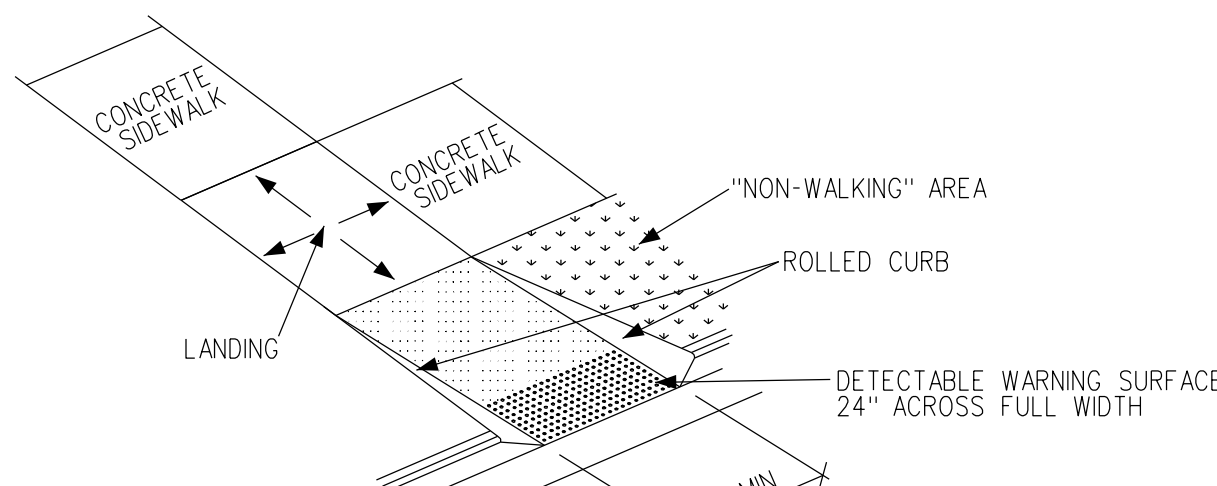
CURB & GUTTER - REV.

NOT TO SCALE



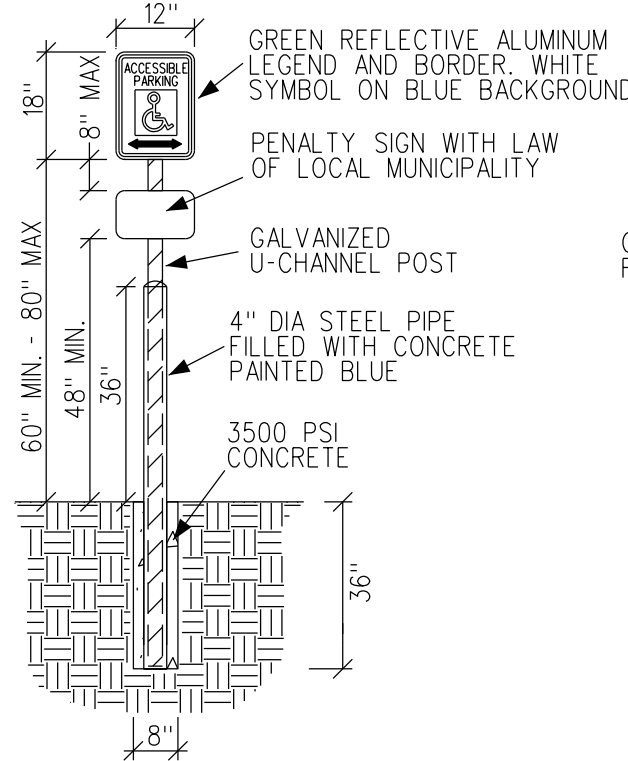
CONCRETE WHEEL STOP

NOT TO SCALE



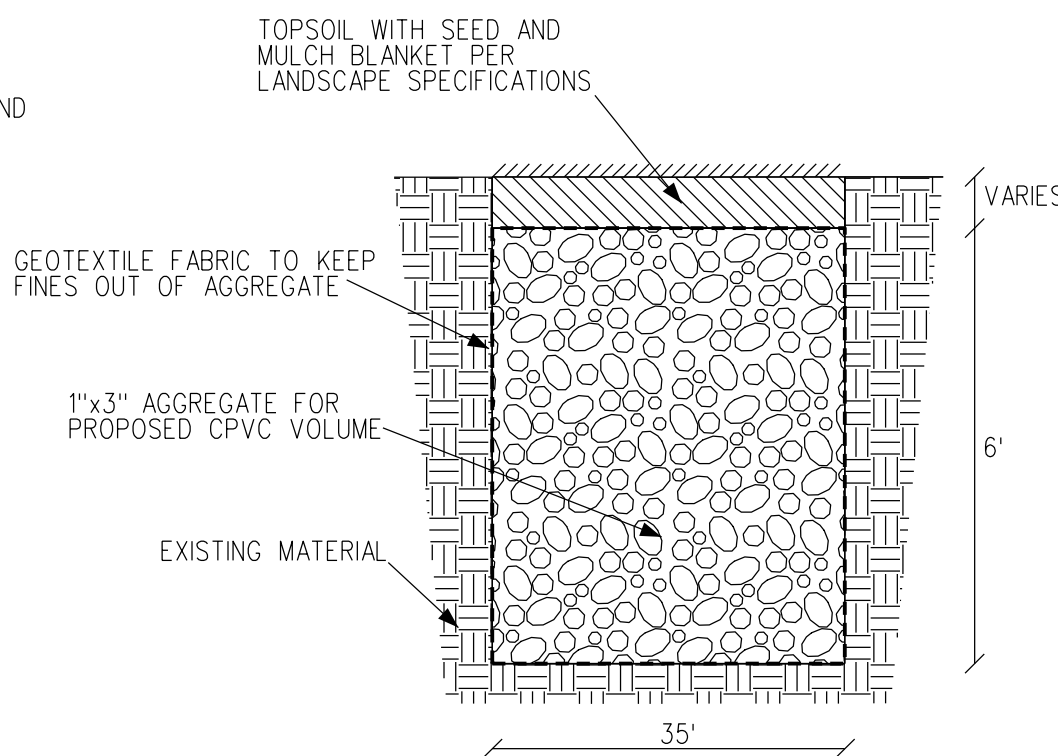
SIDEWALK RAMP TYPE R

NOT TO SCALE



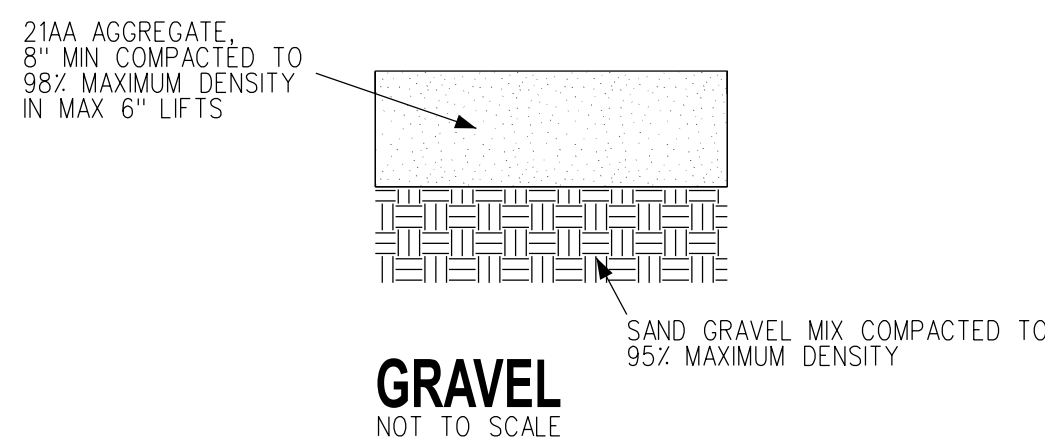
ACCESSIBLE PARKING SIGN

NOT TO SCALE



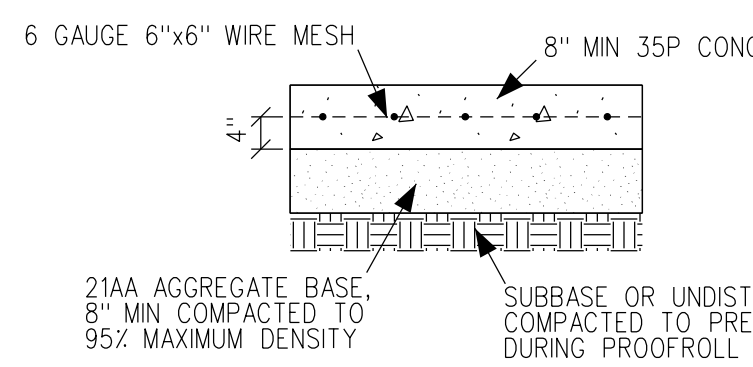
INFILTRATION AREA

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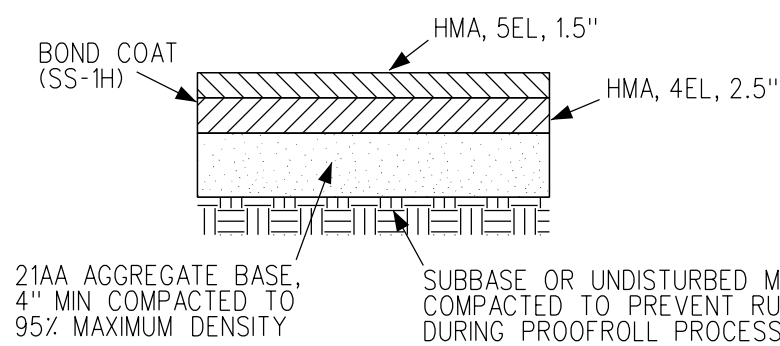
GRAVEL

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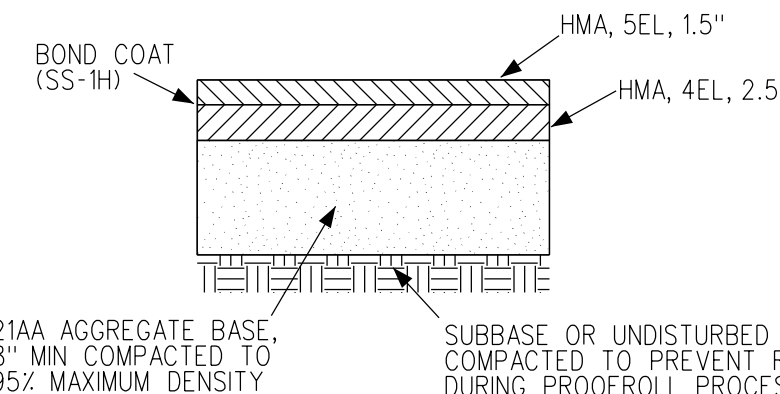
8" CONCRETE

NOT TO SCALE



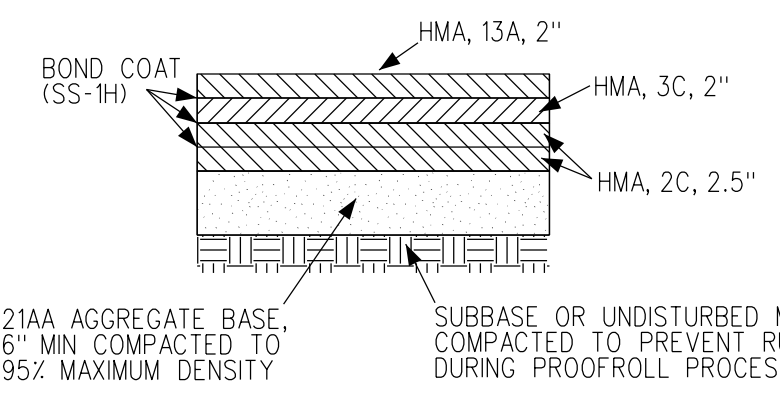
HMA - SAFETY PATH

NOT TO SCALE



HMA - PARKING LOT

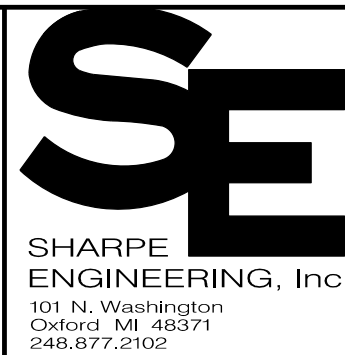
NOT TO SCALE



HMA - APPROACH

NOT TO SCALE

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CONSTRUCTION DRAWINGS
CITY FILE #25-0049 SECTION #30

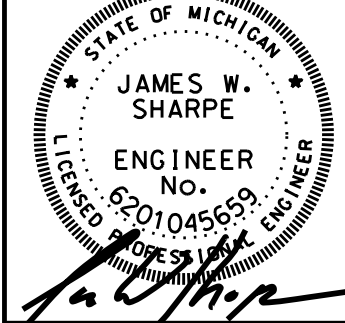


SUBMITTAL NOTE	
02/11/25	PRELIMINARY SITE PLAN SUBMITTAL
07/10/25	REVISED PSP PER CITY COMMENTS & BUILDING ELIMINATION
09/05/25	REVISED PSP PER CITY COMMENTS
11/25/25	REVISED PSP PER CITY COMMENTS

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NO. 6201045659



DEVELOPED FOR:
TIMBERLAND LANDSCAPE INC.
2005 PONTIAC RD
AUBURN HILLS, MI 48326
248.276.8800

PROJECT DETAILS
TIMBERLAND LANDSCAPE

PLAN NAME:

CITY: ROCHESTER HILLS
COUNTY: OAKLAND
SECTION: 30
T-3-N-R-11-E

INITIAL SUBMITTAL:	02/11/25
THIS SUBMITTAL:	11/25/25
SCALE:	N/A
SHEET:	C4.0
PROJECT:	0711.11.01

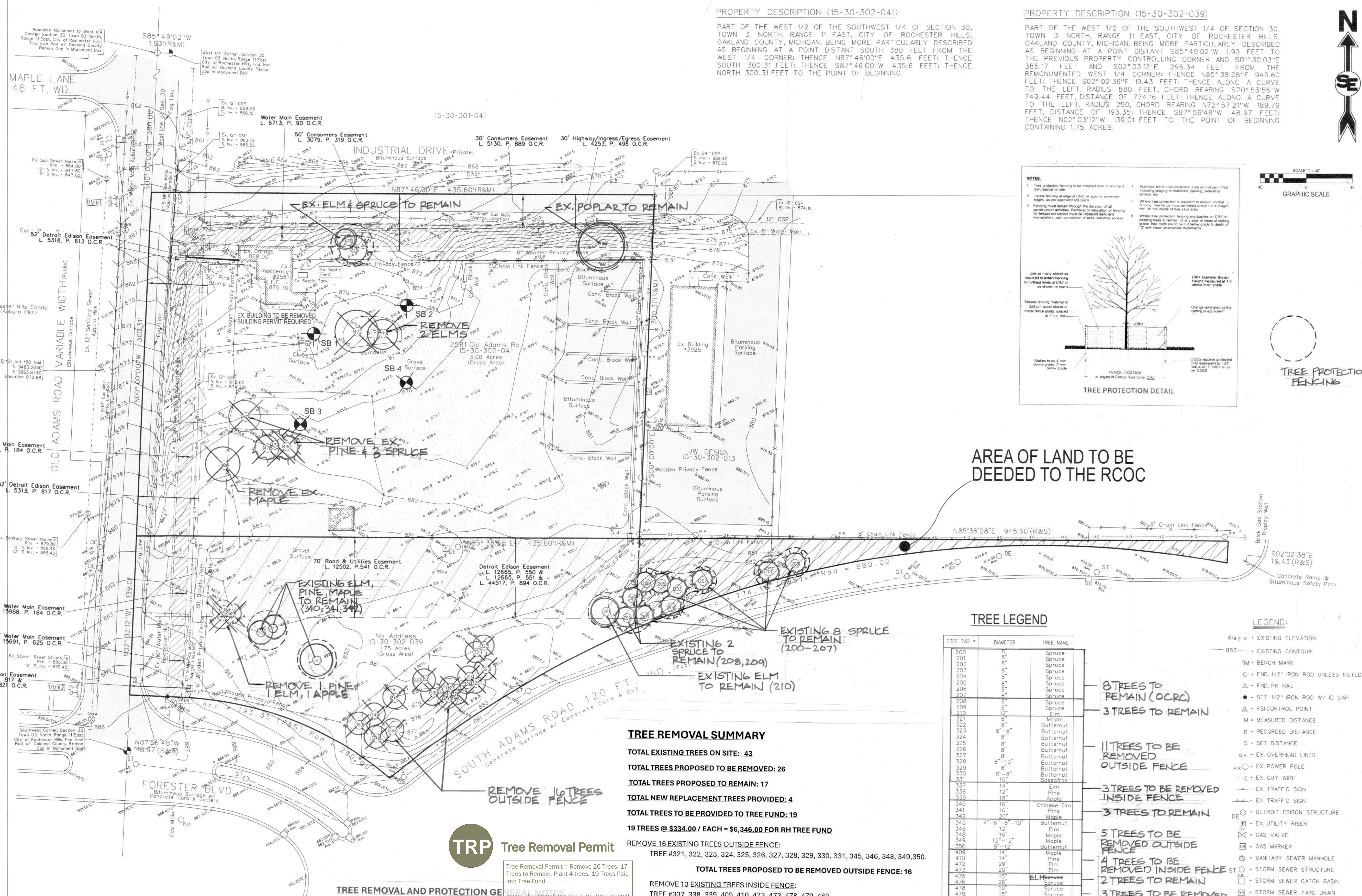


PROJECT: J2025-0049/PSP2025-0003

REVISION: Review #3

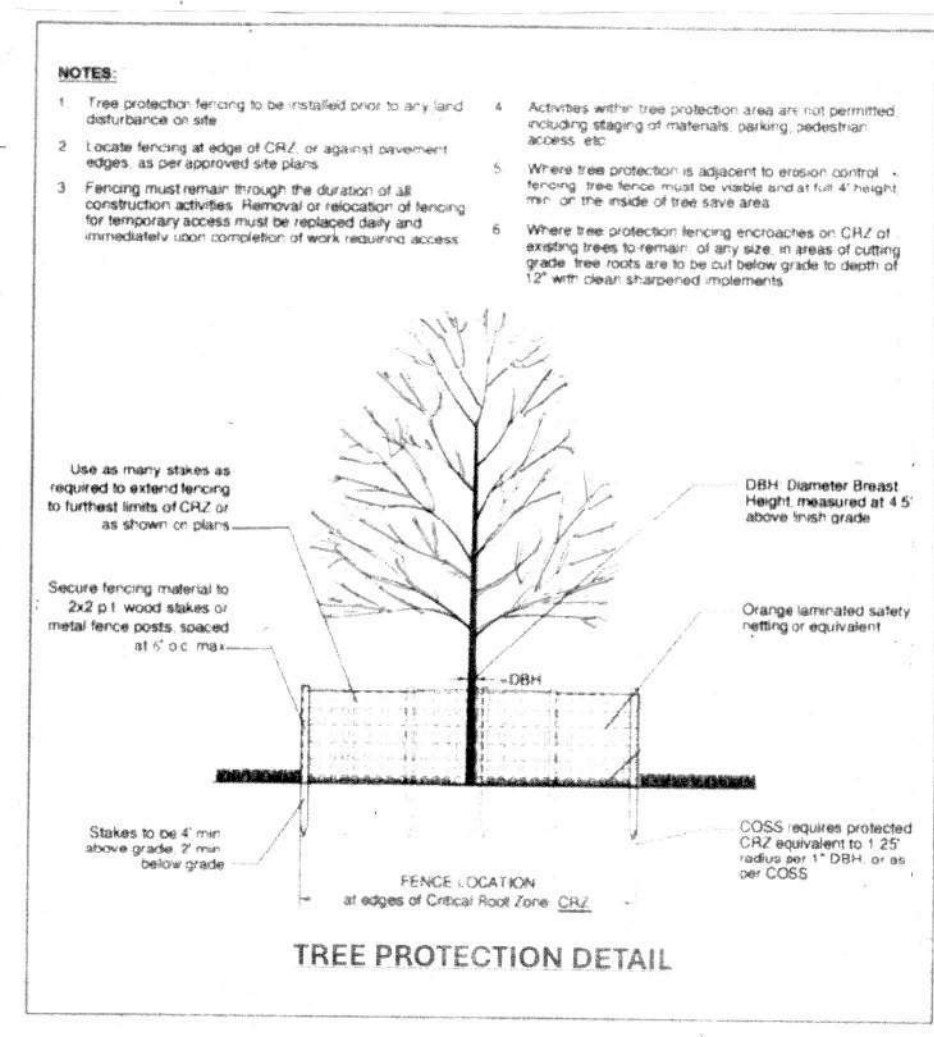
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PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT



PROPERTY DESCRIPTION (15-30-302-041)
PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS BEGINNING AT A POINT DISTANT SOUTH 380 FEET FROM THE WEST 1/4 CORNER; THENCE N87°46'00"E 435.6 FEET; THENCE SOUTH 300.31 FEET; THENCE S87°46'00"W 435.6 FEET; THENCE NORTH 300.31 FEET TO THE POINT OF BEGINNING.

PROPERTY DESCRIPTION (15-30-302-039)
PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 30, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS BEGINNING AT A POINT DISTANT S85°49'02"W 1.93 FEET TO THE PREVIOUS PROPERTY CONTROLLING CORNER AND S01°30'03"E 385.17 FEET AND S02°03'12"E 295.34 FEET FROM THE REMONUMENTED WEST 1/4 CORNER; THENCE N85°38'28"E 945.60 FEET; THENCE S02°02'36"E 19.43 FEET; THENCE ALONG A CURVE TO THE LEFT, RADIUS 880 FEET, CHORD BEARING S70°53'56"W 749.44 FEET, DISTANCE OF 774.16 FEET; THENCE ALONG A CURVE TO THE LEFT, RADIUS 290, CHORD BEARING N72°57'21"W 189.79 FEET, DISTANCE OF 193.35; THENCE S87°56'48"W 48.97 FEET; THENCE N02°03'12"W 139.01 FEET TO THE POINT OF BEGINNING CONTAINING 1.75 ACRES.



AREA OF LAND TO BE DEEDED TO THE ROCOC

TREE LEGEND

TREE TAG	DIAMETER	TREE NAME
200	8"	Spruce
201	8"	Spruce
202	8"	Spruce
203	8"	Spruce
204	8"	Spruce
205	8"	Spruce
206	8"	Spruce
207	8"	Spruce
208	8"	Spruce
209	8"	Spruce
210	12"	Elm
321	8"	Maple
322	8"	Butternut
323	8"	Butternut
324	8"	Butternut
325	8"	Butternut
326	8"	Butternut
327	8"	Butternut
328	8"-10"	Butternut
329	8"	Butternut
330	8"	Butternut
331	10"	Sassafras
337	14"	Elm
338	12"	Pine
339	18"	Apple
340	16"	Chinese Elm
341	16"	Pine
342	20"	Maple
345	4"-6"-8"-10"	Butternut
346	12"	Elm
348	10"	Maple
349	12"-12"	Maple
350	8"-12"	Butternut
409	14"	Maple
410	14"	Pine
472	28"	Elm
473	20"	Elm
475	15"	ELM
476	26"	Spruce
478	10"	Spruce
479	15"	Spruce
480	26"	Spruce
489	50"	Gump
489	50"	Poplar

- 8 TREES TO REMAIN (OCRC)
- 3 TREES TO REMAIN
- 11 TREES TO BE REMOVED OUTSIDE FENCE
- 3 TREES TO BE REMOVED INSIDE FENCE
- 3 TREES TO REMAIN
- 5 TREES TO BE REMOVED OUTSIDE FENCE
- 4 TREES TO BE REMOVED INSIDE FENCE
- 2 TREES TO REMAIN
- 3 TREES TO BE REMOVED
- 1 TREE TO REMAIN
- 26 TOTAL TREES TO BE REMOVED

TREE REMOVAL SUMMARY

TOTAL EXISTING TREES ON SITE: 43
TOTAL TREES PROPOSED TO BE REMOVED: 26
TOTAL TREES PROPOSED TO REMAIN: 17
TOTAL NEW REPLACEMENT TREES PROVIDED: 4
TOTAL TREES TO BE PROVIDED TO TREE FUND: 19
19 TREES @ \$334.00 / EACH = \$6,346.00 FOR RH TREE FUND
REMOVE 16 EXISTING TREES OUTSIDE FENCE:
TREE #321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 345, 346, 348, 349, 350.
TOTAL TREES PROPOSED TO BE REMOVED OUTSIDE FENCE: 16
REMOVE 13 EXISTING TREES INSIDE FENCE:
TREE #337, 338, 339, 409, 410, 472, 473, 478, 479, 480
TOTAL TREES PROPOSED TO BE REMOVED INSIDE FENCE: 10
TOTAL TREES PROPOSED TO BE REMOVED: 26

EXISTING 9 TREES ARE TO REMAIN AND BE SAVED:
TREE #208, 209, 210, 340, 341, 342, 475, 476, 489
EXISTING 8 SPRUCE TREES PROPOSED TO REMAIN (DEDICATED TO OCRC)
TREE # 200, 201, 202, 203, 204, 205, 206, 207.

TREE REMOVAL AND PROTECTION GE

- ALL TREES PROPOSED TO BE REMOVED ARE SHOWN
- ROCHESTER HILLS TREE REMOVAL PERMIT MUST BE OBTAINED PRIOR TO ANY TREE REMOVAL ON SITE
- PROTECTION FENCING MUST BE INSTALLED AROUND THE PERIMETER OF THE DRAIN LINE OF THE EXISTING TREES TO SAVED DURING CONSTRUCTION.
- ALL TREES PROPOSED TO REMAIN ARE CONSIDERED HEALTHY AND IN VIABLE CONDITION.
- 8 EXISTING SPRUCE TREES ALONG SOUTH ADAMS ROAD ARE PROPOSED TO REMAIN (DEDICATED TO OCRC)

TRP Tree Removal Permit
Tree Removal Permit = Remove 26 Trees, 17 Trees to Remain, Plant 4 trees, 19 Trees Paid into Tree Fund
In lieu of payment into tree fund, trees should be planted along berm/road frontage

BENCHMARKS

- BM #1 - Arrow on Fire Hydrant, West side at Intersection of Old Adams Road & Industrial Drive
ELEV = 867.28 (NAVD88, Construction plans on file at City)
- BM #2 - Arrow on Fire Hydrant, West side at Intersection of Old Adams Road & Forester Boulevard
ELEV = 888.07 (NAVD88, Transferred from BM #1)

PROJECT: J2025-0049/PSP2025-0003
REVISION: Review #3
RECEIVED: 11/26/2025
PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT

DATE: 7/10/25
REVISIONS: 9/15/25
DRAWN BY: PST
CHECKED BY: [Signature]
PROPOSAL #:

CLIENT: TIMBERLAND LANDSCAPE INC.
2005 PONTIAC RD. AUBURN HILLS, MI 48236

SITE LOCATION: 2581 OLD ADAMS RD.
ROCHESTER HILLS, MI 48309

SHEET: EXISTING TREE REMOVAL AND PROTECTION PLAN

Richard S. Tuttle
Landscape Architect
6948 Aeroview St.
West Bloomfield, MI 48324

GENERAL LANDSCAPE NOTES

- ALL PLANT MATERIALS SHALL BE TRUE TO NAME, IN ACCORDANCE WITH USDA HARDINESS ZONE FOR AREA, BE FREE FROM DISEASES AND INSECTS, AND MEET THE REQUIREMENTS OF ROCHESTER HILLS.
- BEFORE ANY REMOVALS OR CONSTRUCTION OPERATIONS BEGIN, TREE PROTECTION FENCING MUST BE INSTALLED AROUND THE DRAIN LINE OF ANY TREES SCHEDULED TO REMAIN.
- SILT FENCING SHALL BE INSTALLED PER THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISS-DIG 72 HOURS PRIOR TO BEGINNING LANDSCAPE INSTALLATION TO IDENTIFY EXISTING UTILITIES.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH OTHER TRADES TO ENSURE PROPER SEQUENCING OF INSTALLATION.
- LANDSCAPE CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH LANDSCAPE INSTALLATION WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS OR CONDITIONS EXIST. SUCH CONDITIONS SHALL BE BROUGHT TO OWNER'S ATTENTION FOR RESOLUTION.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL PLANT BEDS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PLANT MATERIAL QUANTITIES AND IN THE EVENT OF DISCREPANCIES SHALL NOTIFY LANDSCAPE ARCHITECT FOR CLARIFICATION.
- LANDSCAPE CONTRACTOR SHALL WATER IN ALL PLANTINGS IMMEDIATELY AFTER INSTALLATION.
- ROOT COLLAR OF ALL TREES SHALL BE SET AT GRADE OR SLIGHTLY HIGHER THAN ADJACENT GROUND.
- BURLAP TWINE AND WIRE SHALL BE REMOVED FROM TOP 1/3 OF ROOT BALL.
- ALL TREES SHALL HAVE CLAY BALLS. SAND BALLS WILL BE REJECTED.
- MINIMUM 4" DEPTH TOPSOIL SHALL BE INSTALLED IN ALL PLANT BEDS AND LAWN AREAS.
- MINIMUM 3" DEPTH SHREDED MULCH SHALL BE INSTALLED IN ALL PLANT BEDS AND TREE RINGS.
- ALL TREES SHALL BE LOCATED A MINIMUM OF 15 FT. FROM OVERHEAD ELECTRIC LINES.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR 2 YEAR AFTER COMPLETION. CITY OF ROCHESTER HILLS WILL PERFORM INSPECTION AFTER 2 YEARS.
- ALL LANDSCAPE PLANT BEDS AND LAWN AREAS SHALL BE WATERED BY AN AUTOMATIC IRRIGATION SYSTEM, INCLUDING R.O.W. AREAS.

ROCHESTER HILLS NOTE:

Prior approval is required to plant any tree or shrub on the Public right of way. All trees and shrubs must be planted at least 10' from edge of public road. (Trees must be planted at least 15' from curb or road edge where speed limit is more than 35 mph). Shade trees and shrubs shall be planted at least 5' from edge of Public Walkway. Evergreen and Ornamental trees must be planted at least 10' from edge of public walkway. No trees or shrubs may be planted within triangular areas formed at the intersection of any street right-of-way lines at a distance along each line of 25' from their point of intersection. No trees or shrubs may be planted in the triangular area formed at the intersection of any driveway with a public walkway at a distance along each line of 15' from their midpoint of intersection. All trees and shrubs must be planted at least 10' from any fire hydrants. Shade and evergreen trees must be planted at least 15' from nearest overhead wire. Trees must be planted a minimum 5' from underground utility, unless the city required a greater distance. These requirements are incorporated into this landscape plan.

ROCHESTER HILLS ORDINANCE CALCULATIONS:

Street trees: 1 tree every 35 ft.
405 ft. along Industrial Dr. = 11.5 or 12 trees required
There are 2 existing trees
10 new trees provided = 12 Total Street trees

R.O.W. Trees - Buffer "D" Ordinance.

Ornamental trees: 1/5 tree for every 100 ft.
Evergreen trees: 5 trees for every 100 ft.
Shrubs: 8 shrubs for every 100 ft.

Old Adams Rd. 439.32 ft.

Ornamental trees required: 7
Ornamental trees provided: 7
Evergreen trees required: 22
Evergreen trees provided: 22
Shrubs required: 36
Shrubs provided: 36

Forester Blvd. 193.35 ft.

Ornamental trees required: 3
Ornamental trees provided: 3
Evergreen trees required: 10
Evergreen trees provided: 10
Shrubs required: 10
Shrubs provided: 14

South Adams Rd. 120.00 ft.

Ornamental trees required: 2
Ornamental trees provided: 3
Evergreen trees required: 10
Evergreen trees provided: 10
Shrubs required: 10
Shrubs provided: 12

Detention Pond plantings Type "A" Ordinance.

460 ft. around Perimeter

Shade trees required: 7
Shade trees provided: 7
Evergreen trees required: 5
Evergreen trees provided: 5
Shrubs required: 20
Shrubs provided: 20

Parking lot Buffer Plantings:

40 ft. of frontage along Old Adams Rd.

Shade tree: 1 tree every 25 ft. = 1.6 or 2 trees required
Ornamental tree: 1 every 35 ft. = 1.5 or 2 trees required
Shrubs: 1 shrub @ 30' O.C. = 16 shrubs required

Shade trees required: 2
Shade trees provided: 2
Ornamental trees required: 2
Ornamental trees provided: 2
Shrubs required: 16
Shrubs provided: 24

PLANT LIST

COMMON NAME	SCIENTIFIC NAME	QTY	SIZE	ROOT	COMMENTS
DECIDUOUS TREES					
AL. Autumn Blaze Maple	Acer x freemanii	10	3" cal.	B & B	STREET TREES
AL. American Linden	Tilia americana	4	3" cal.	B & B	REPLACEMENT TREES
PF. Pink-Flair Cherry	Prunus spp. "Pink Blair"	6	3" cal.	B & B	BUFFER TREES
HC. Harveys Gold Crabapple	Malus spp. "Harveys Gold"	7	2" cal.	B & B	BUFFER TREES
SW. Swamp White Oak	Quercus imbericaria	7	3" cal.	B & B	POND TREES
PR. Doreys Purple Beech	Fagus sylvatica "Doreys Purple"	2	2" cal.	B & B	PARKING LOT TREES

EVERGREEN TREES					
WP. Winter Pine	Pinus strobus	17	10 ft. ht.	B & B	BUFFER TREES
WS. White Spruce	Picea glauca	10	10 ft. ht.	B & B	BUFFER TREES
NS. Norway Spruce	Picea abies	15	10 ft. ht.	B & B	BUFFER TREES
DR. Dawn Redwood	Metasequoia glyptostroboides	5	10 ft. ht.	B & B	POND EVERGREENS
CF. Concolor Fir	Abies concolor	3	10 ft. ht.	B & B	BUFFER TREES

SHRUBS					
SP. Anthony Water Spruce	Spiraea vanhouttei "Anthony waterii"	24	24-30"	CONTAINER	PARKING LOT SHRUBS
MS. Miko Kim Lilac	Syringa spp. "Miko Kim"	4	24-30"	CONTAINER	NEW SHRUBS
GL. Green Low Sumac	Rhus aromatica "Green Low"	58	24-30"	CONTAINER	BUFFER SHRUBS
CB. Chokeberry	Aronia arbutifolia	15	24-30"	CONTAINER	POND SHRUBS
RT. Red Twig Dogwood	Cornus sericea	10	24-30"	CONTAINER	POND SHRUBS

LB Landscape Bond

Landscape bond = \$84,760, plus administrative fees

MAPLE LANE
46 FT. WD.

Edison Easement
L. 5313, P. 613 O.C.R.

12' Water Main Easement
L. 10823, P. 184 O.C.R.

52' Detroit Edison Easement
L. 5313, P. 817 O.C.R.

12' Water Main Easement
L. 15988, P. 184 O.C.R.

12' Water Main Easement
L. 15691, P. 625 O.C.R.

52' Detroit Edison Easement
L. 5313, P. 817 &
L. 5313, P. 821 O.C.R.

Water Main Easement
L. 6713, P. 90 O.C.R.

50' Consumers Easement
L. 3079, P. 319 O.C.R.

15-30-301-041
ZONED: I-1

30' Easement Area "A"
L. 52554, P. 66 O.C.R.

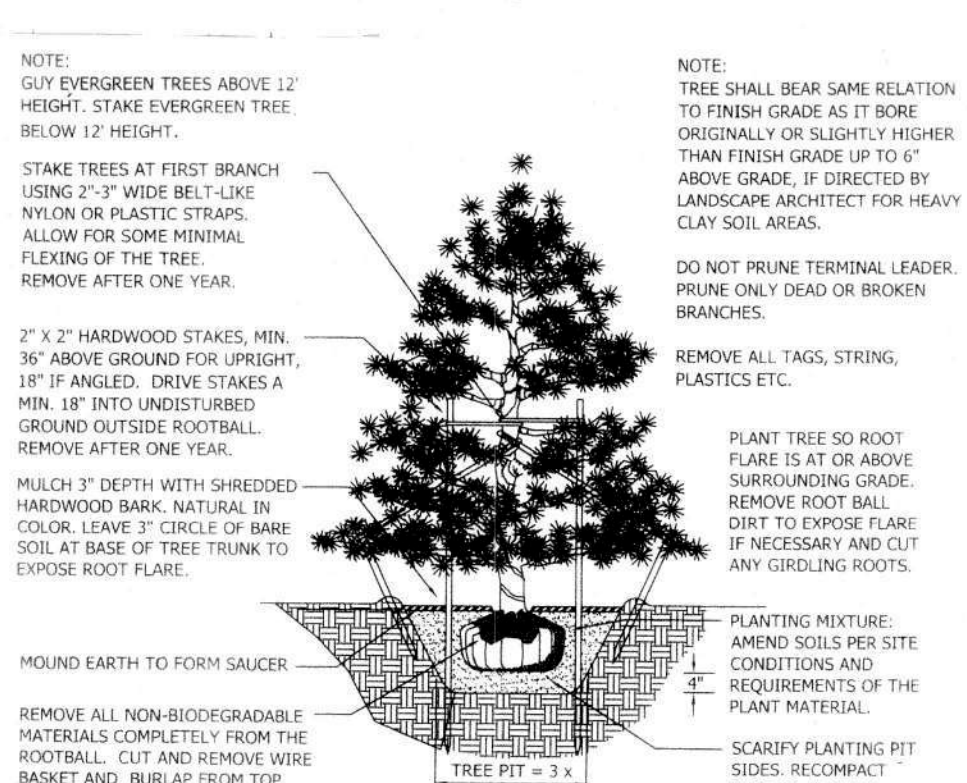
30' Consumers Easement
L. 5130, P. 889 O.C.R.

30' Highway/Ingress/Egress Easement
L. 4253, P. 496 O.C.R.

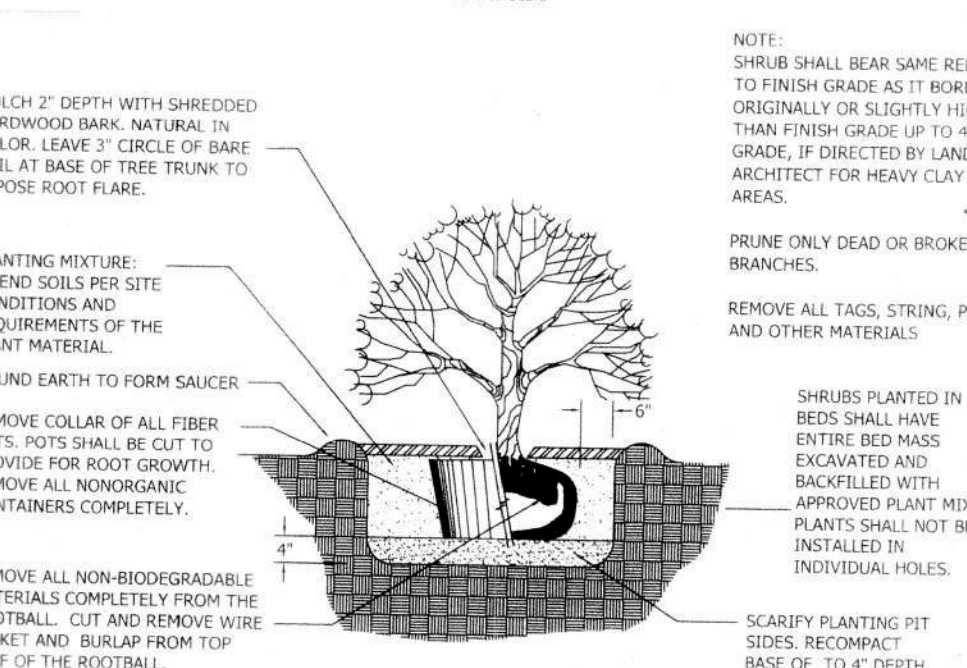
INDUSTRIAL DRIVE (Private)
Bituminous Surface

PROPERTY LINE

DECIDUOUS TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

NOT TO SCALE

BERM SECTION DETAIL

SCALE: 1/2" = 1' - 0"



Project #: 21625 CITY REVIEW
Date: 7/10/25 CITY REVIEW
Revisions: 10/21/25 CITY REVIEW
11/25/25 CITY REVIEW
Scale: 1" = 30' - 0"
Drawn by: PST
Checked by:
Proposal #:

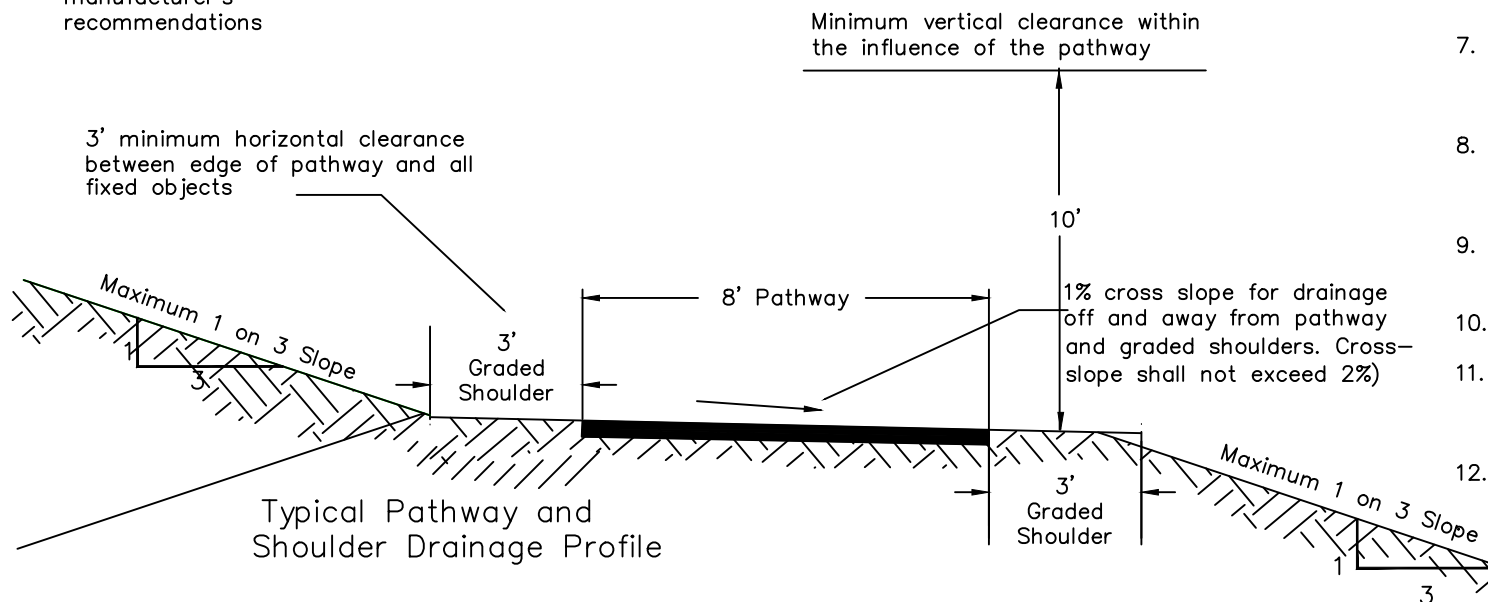
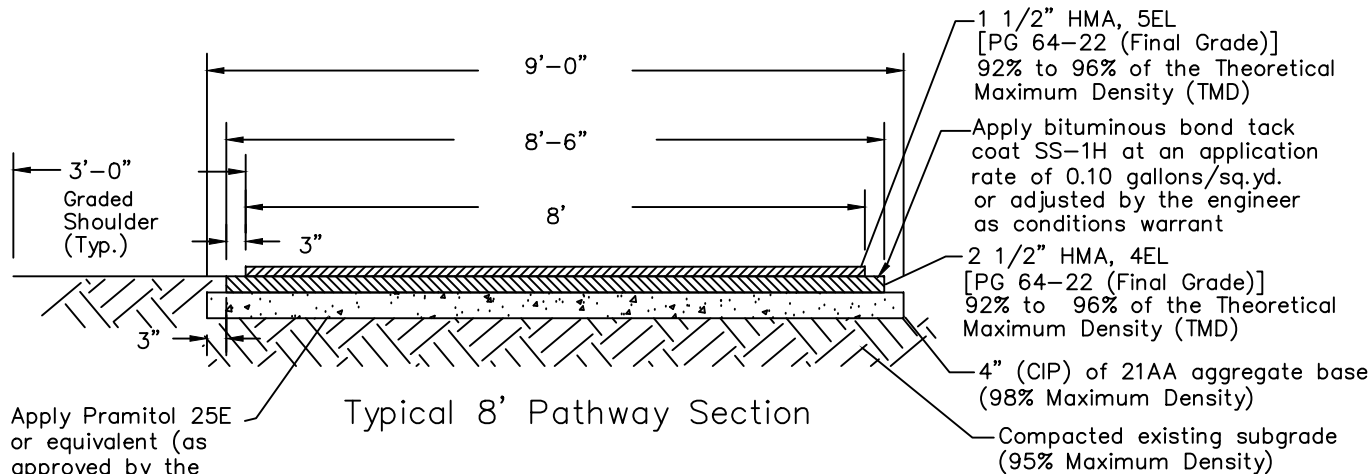
SHEET: PROPOSED LANDSCAPE

CLIENT: TIMBERLAND LANDSCAPE INC.
2005 PONTIAC RD. AUBURN HILLS, MI 48236
SITE LOCATION: 2581 OLD ADAMS RD.
ROCHESTER HILLS, MI 48309

Richard S. Tuttle
Landscape Architect
6948 Aeroview St.
West Bloomfield, MI 48324

PROJECT: J2025-0049/PSP2025-0003
REVISION: Review #3
RECEIVED: 11/26/2025
PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT

Standard Details:



Standard Notes:

- Maximum grade of 8.33% along pathway (less than 5% is recommended).
- 1% cross slope (i.e. super elevation) for drainage off and away from pathway and graded shoulders (2% maximum cross-slope).
- 60' minimum center line radii for pathway horizontal alignment.
- Provide a minimum of 3' horizontal clearance and 10' vertical clearance from all fixed objects and the edge of pathway surface. Relocation of existing objects (i.e. mail boxes, signs, etc.) shall be considered incidental work items.
- Pathway ramps shall be constructed in accordance with MDOT standard detail R-28 Series and shall have a minimum clear opening of 8' wide.
- A clean saw cut joint shall be provided wherever new pavement matches existing pavement (incidental work item).
- Utility structures shall be adjusted in accordance with the City of Rochester Hills standards and shall match the proposed grade of the pathway.
- Pathway shall be 6 inch thick HMA or concrete through residential drives and 9 inch thick HMA or 8 inch thick concrete through commercial drives.
- Pathway asphalt shall be paid for as "Shared Use Path, HMA" when part of public improvement project.
- Ramps and landings shall be 6 inch thick concrete.
- ADA detectable warning plates shall be preformed and brick red in color. Acceptable products included ADA Solutions, Inc., Armor-Tile, E.J., or approved equal
- Irrigation overspray shall not broadcast onto City pathway or sidewalk

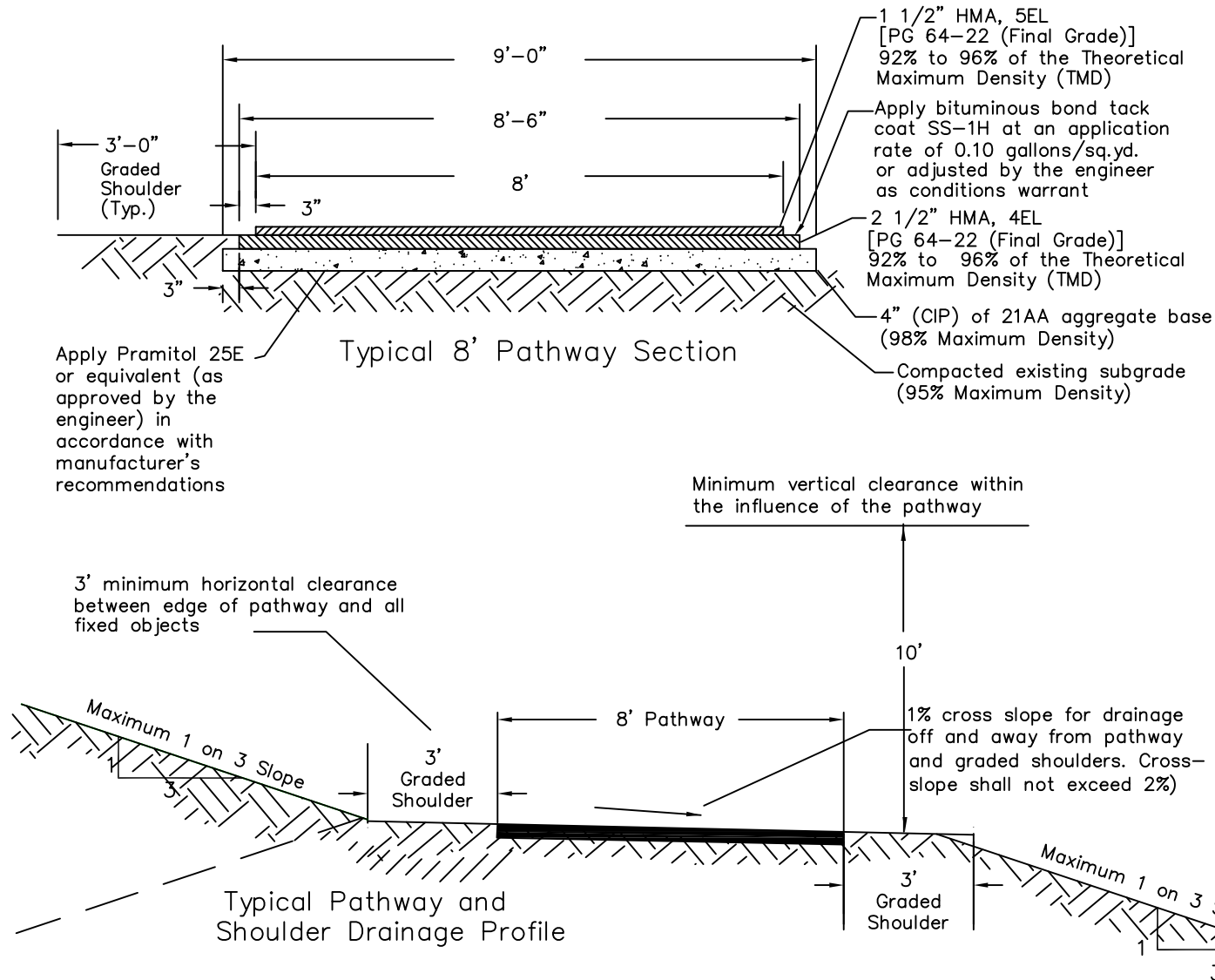
Use the updated Pathway Standard Detail. Minor changes were recently made to the Standard Notes.



I:\Eng\DWG\DETAILS\PATHWAY\Pathway dwgs\27-HMA Pthwy Const-Ext-Reloc-Std Nts & Detls.dwg

CITY OF ROCHESTER HILLS		STANDARD DETAIL FOR:			
Pathway Details:		Hot-Mixed Asphalt Pathway		Construction, Extensions and Relocations	
DRAWN BY: S. BUCHOLZ	PLAN DATE: 8/28/1996	REVISIONS:	10/30/2024 4/12/2012	2/8/2022 2/25/2016	8/22/2018 11/12/2019
APPROVED BY:		10/12/2022		01/25/2022	
SETH BUCHOLZ, CITY TRANSPORTATION TECHNICIAN		KEITH DEPP, CITY PROJECT ENGINEER		NOT TO SCALE	
				SHEET 1 OF 1	

Standard Details:



Standard Notes:

- Maximum grade of 5% along mainline pathway. Maximum grade at ramps 8.33% (recommended for 5%).
- 1% cross slope (i.e. super elevation) for drainage off and away from pathway and graded shoulders (2% maximum cross-slope).
- 60' minimum center line radii for pathway horizontal alignment.
- Provide a minimum of 3' horizontal clearance and 10' vertical clearance from all fixed objects and the edge of pathway surface. Relocation of existing objects (i.e. mail boxes, signs, etc.) shall be considered incidental work items.
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- Pathway asphalt shall be paid for as "Shared Use Path, HMA" when part of public improvement project.
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- ADA detectable warning plates shall be preformed and brick red in color. Acceptable products included ADA Solutions, Inc., Armor-Tile, E.J., or approved equal
- Irrigation overspray shall not broadcast onto City pathway or sidewalk

CITY OF ROCHESTER HILLS STANDARD DETAIL FOR:

Pathway Details:

Hot-Mixed Asphalt Pathway
Construction, Extensions and Relocations



DRAWN BY: S. BUCHOLZ	PLAN DATE: 8/28/1996	REVISIONS:	12/2/2025	10/30/2024	2/8/2022	8/22/2018
			01/12/2022	4/12/2012	2/25/2016	01/25/2022


APPROVED BY:
SETH BUCHOLZ, CITY TRANSPORTATION TECHNICIAN
EMIRA BARRETTE, TRANSPORTATION ENGINEER

NOT TO SCALE


SHEET
1 OF 1

Reviewed plans for PC.pdf Markup Summary

Building Department (2)

	Subject: Building Department Author: J Rhoades Date: 12/9/2025 11:26:55 AM Status:	Jason Rhoades 248-841-2435 RhoadesJa@RochesterHills.org
Yes	Subject: Building Department Author: J Rhoades Date: 12/9/2025 11:26:51 AM Status:	Yes

Engineering Department (1)

	Subject: Engineering Department Author: Jason Boughton Date: 12/1/2025 10:31:20 AM Status:	
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File Attachment (1)

	Subject: File Attachment Author: Emira Barrette Date: 12/3/2025 9:22:07 AM Status:	
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Fire Department (1)

	Subject: Fire Department Author: Lieutenant W. Murphy Date: 12/2/2025 8:21:40 AM Status:	
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Group (18)

	Subject: Group Author: macdonaldj Date: 11/26/2025 2:31:28 PM Status:	City of Rochester Hills Planning & Economic Development
	Subject: Group Author: C.McLeod Date: 12/12/2025 1:31:57 PM Status:	
	Subject: Group Author: C.McLeod Date: 12/12/2025 1:32:02 PM Status:	
	Subject: Group Author: C.McLeod Date: 12/12/2025 1:32:08 PM Status:	LB



Subject: Group
Author: C.McLeod
Date: 12/12/2025 1:32:14 PM
Status:

Tree Removal Permit



Subject: Group
Author: C.McLeod
Date: 12/12/2025 1:32:23 PM
Status:

LIP



Subject: Group
Author: C.McLeod
Date: 12/12/2025 1:32:51 PM
Status:



Subject: Group
Author: C.McLeod
Date: 12/12/2025 1:35:06 PM
Status:

REVISION: Review #3



Subject: Group
Author: C.McLeod
Date: 12/12/2025 1:35:02 PM
Status:

REVISION: Review #3



Subject: Group
Author: C.McLeod
Date: 12/12/2025 1:35:22 PM
Status:

REVISION: Review #3



Subject: Group
Author: C.McLeod
Date: 12/12/2025 1:35:28 PM
Status:

REVISION: Review #3



Subject: Group
Author: C.McLeod
Date: 12/12/2025 1:35:35 PM
Status:

REVISION: Review #3



Subject: Group
Author: C.McLeod
Date: 12/12/2025 1:35:43 PM
Status:

REVISION: Review #3



Subject: Group
Author: C.McLeod
Date: 12/12/2025 1:35:53 PM
Status:

REVISION: Review #3



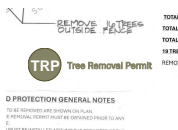
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REVISION: Review #3



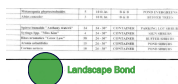
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Author: C.McLeod
Date: 12/12/2025 1:36:04 PM
Status:

REVISION: Review #3



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Status:

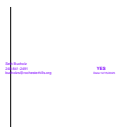
Tree Removal Permit



Subject: Group
Author: C.McLeod
Date: 12/12/2025 1:47:46 PM
Status:

LB

Jenny McGuckin - YES (1)



Subject: Jenny McGuckin - YES
Author: Seth Bucholz
Date: 12/15/2025 8:44:22 AM
Status:

Natural Resources (1)



Subject: Natural Resources
Author: Matt Einheuser
Date: 12/3/2025 2:24:27 PM
Status:

Note (1)



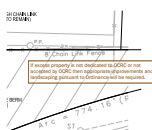
Subject: Note
Author: C.McLeod
Date: 12/12/2025 1:35:46 PM
Status:

Planning Department (8)



Subject: Planning Department
Author: C.McLeod
Date: 12/12/2025 1:45:12 PM
Status:

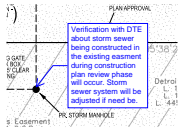
If area is not dedicated to RCOC, appropriate landscaping pursuant to ordinance will be required in this area.



Subject: Planning Department
Author: C.McLeod
Date: 12/12/2025 1:46:19 PM
Status:

If excess property is not dedicated to OCRC or not accepted by OCRC then appropriate improvements and landscaping pursuant to Ordinance will be required.

Underground Utilities (1)



Subject: Underground Utilities
Author: Jason Boughton
Date: 12/1/2025 10:31:06 AM
Status:

Verification with DTE about storm sewer being constructed in the existing easement during construction plan review phase will occur. Storm sewer system will be adjusted if need be.