

DEVELOPMENT TEAM

APPLICANT

GRANDVIEW OF ROCHESTER HILLS, LLC
2465 23 MILE ROAD
SHELBY TOWNSHIP, MICHIGAN 48315
CONTACT: VITO MUNACO
PHONE: 248.840.0600

ENGINEER

ANDERSON, ECKSTEIN & WESTRICK, INC.
51301 SCHOENHERR ROAD
SHELBY TWP., MI 48315
PHONE: 586-726-1234

Provide a topo survey sheet
with professional surveyor
seal and signature.

PROJECT NARRATIVE

THE PROPOSED AUBURN ROAD DEVELOPMENT IS A 17-UNIT RESIDENTIAL COMMUNITY ON AN APPROXIMATE 5.6-ACRE UNDEVELOPED PARCEL, LOCATED IN SECTION 28 IN THE CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN. THE SUBJECT PARCEL IS LOCATED ON THE NORTH SIDE OF AUBURN ROAD, EAST OF CROOKS ROAD. THE SUBJECT SITE IS CURRENTLY ZONED R-4 WITH MR OVERLAY.

CURRENTLY, THE PROPERTY IS UNDEVELOPED AND DOES NOT CONTAIN ANY BUILDINGS OR ACCESSORY STRUCTURES. THE PROPERTY HAS MINIMAL TOPOGRAPHIC CHANGE AND FEATURES A WETLAND (CITY REGULATED) AND A WOODED AREA NEAR THE NORTH PROPERTY LINE. THE EAST AND WEST PROPERTY LINES ABUT THE SAME ZONING DESIGNATION (R-4 WITH MR OVERLAY). THE NORTH PROPERTY LINE IS ADJACENT TO INDUSTRIAL ZONED PROPERTY AND AUBURN RD RUNS ALONG THE PROPERTY'S SOUTH PROPERTY LINE.

IN AN EFFORT TO BE MINDFUL OF EXISTING NEIGHBORS AND NATURAL FEATURES EXISTING TREES AND WETLANDS HAVE BEEN PRESERVED TO THE EXTENT POSSIBLE. A DENSE LANDSCAPE BUFFER HAS BEEN PROPOSED ON THE EAST AND WEST PROPERTY LINES NOT ONLY PROVIDING A VISUAL AND PHYSICAL SCREEN FROM ADJACENT PROPERTY OWNERS BUT ALSO AN AESTHETICALLY PLEASING VIEW FOR POTENTIAL RESIDENTS. DUE TO THE FLAT NATURE OF THE SITE EARTH MOVING OPERATIONS CAN BE KEPT TO A MINIMUM.

THIS DEVELOPMENT WILL PROVIDE A SMALL NEIGHBORHOOD FEEL IN AN AREA CLOSE TO AMENITIES AND MASTER PLANNED TO BE DEVELOPED AS PROPOSED. THESE 17 PROPOSED HOMES WILL BE HIGHLY SOUGHT AFTER IN THE COMMUNITY AND CAN SET THE PRECEDENT FOR FUTURE DEVELOPMENTS PROPOSED IN THE MR OVERLAY DISTRICT.

EXISTING CONDITIONS AND NATURAL FEATURES

THE EXISTING SITE IN THE AREA OF PROPOSED DEVELOPMENT IS UPLAND AND GENERALLY IS RELATIVELY FLAT. THE PROPOSED DEVELOPMENT AREA IS GENERALLY LOCATED IN THE OPEN SPACE IN THE SOUTH PORTION OF THE SITE.

THE WETLANDS AND EXISTING TREES ARE THE PRIMARY NATURAL FEATURES ON THE SITE. THE PROPOSED DEVELOPMENT WILL OCCUR ON THE UPLAND AREA AS TO MINIMIZE IMPACTS TO THESE FEATURES, INCLUDING THE TREES, IMPACTING ONLY AS NECESSARY FOR PRIMARY SITE INFRASTRUCTURE.

LAND USE

THE PROPOSED LAND USE WILL BE SINGLE FAMILY, FOR-SALE, RESIDENTIAL HOMES. THIS USE CONFORMS TO THE CURRENT MR ZONING WHICH ALLOWS FOR RESIDENTIAL USE IN THIS AREA. THE DEVELOPMENT PLAN PROPOSES A DENSITY OF 3.39 DU/AC.

PHASING

THE INFRASTRUCTURE FOR THE DEVELOPMENT IS PLANNED TO BE CONSTRUCTED IN ONE PHASE. THE SITE PLAN APPROVAL IS TARGETED FOR WINTER 2025 AND CONSTRUCTION TARGETED FOR 2025. FULL-BUILDOUT AND OCCUPANCY OF ALL OF THE BUILDINGS IS TARGETED FOR 2026.

UTILITIES

WATER AND SANITARY SEWER SERVICE WILL BE PROVIDED BY PUBLIC SEWER AND WATER IN THE AREA. EXTENSIONS TO THE EXISTING MAINS WILL BE CONSTRUCTED ON-SITE IN ACCORDANCE WITH CITY STANDARDS AND PLACED WITHIN A PUBLIC EASEMENT. THE PROPOSED SANITARY IS ANTICIPATED TO CONNECT TO THE EXISTING SEWER WITHIN THE AUBURN ROAD RIGHT-OF-WAY. THE PROPOSED WATER IS ANTICIPATED TO CONNECT TO THE EXISTING SYSTEM AT AN EXISTING VALVE ALONG AUBURN ROAD. REFUSE COLLECTION IS PROPOSED TO BE CURB SIDE VIA INDIVIDUAL CONTAINERS FOR EACH UNIT.

STORMWATER MANAGEMENT

STORMWATER COLLECTION, TREATMENT AND STORAGE FOR THIS DEVELOPMENT WILL BE PROVIDED IN A PROPOSED DETENTION BASIN LOCATED AS SHOWN ON THE PLAN. THE BASIN WILL BE DESIGNED AND APPROVED IN ACCORDANCE WITH CITY AND COUNTY STANDARDS TO ACCOMMODATE RUNOFF FROM THE PROPOSED DEVELOPMENT AREA. THE DETENTION POND WILL OUTLET AT A RESTRICTED RATE INTO THE EXISTING PUBLIC STORMWATER CONVEYANCE SYSTEM SOUTH OF THE DEVELOPMENT AREA.

PROPERTY LEGAL DESCRIPTION

TAX ID: 15-28-300-059

SCHEDULE C DESCRIPTION PER COMMITMENT FOR TITLE INSURANCE ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ISSUING AGENT: CHIRCO TITLE AGENCY, INC., COMMITMENT NO.: C-171738, COMMITMENT DATE: OCTOBER 4, 2021:

THE LAND IS DESCRIBED AS FOLLOWS:

A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 28, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE CENTER OF AUBURN AVENUE HIGHWAY, SO CALLED, SAID POINT BEING DISTANT 2,122 FEET EAST OF THE SOUTHWEST CORNER OF SECTION 28; THENCE NORTH 89 DEGREES 52 MINUTES 00 SECONDS EAST 2121.20 FEET ALONG THE SOUTH LINE OF SECTION 28, CENTERLINE OF AUBURN ROAD (33 FEET HALF WIDTH) FOR A POINT OF BEGINNING; THENCE NORTH 01 DEGREE 11 MINUTES 37 SECONDS WEST 60.01 FEET TO THE NORTH RIGHT OF WAY OF AUBURN ROAD (60 FEET HALF WIDTH); THENCE NORTH 89 DEGREES 52 MINUTES 00 SECONDS EAST 314.23 FEET ALONG THE NORTH RIGHT OF WAY OF AUBURN ROAD (60 FEET HALF WIDTH); THENCE SOUTH 01 DEGREE 10 MINUTES 52 SECONDS EAST 60.01 FEET TO THE SOUTH LINE OF SECTION 28 AND CENTERLINE OF AUBURN ROAD (60 FEET HALF WIDTH); THENCE SOUTH 89 DEGREES 52 MINUTES 00 SECONDS WEST 314.23 FEET TO THE POINT OF BEGINNING.

ALSO DESCRIBED AS:

THE EAST 314.40 FEET OF WEST 2437.25 FEET OF THE SOUTH 832 FEET OF THE SOUTHWEST 1/4 OF SECTION 28, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN.

EXCEPT

PART OF THE SOUTHWEST 1/4 OF SECTION 28, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SECTION 28; THENCE NORTH 89 DEGREES 52 MINUTES 00 SECONDS EAST 2121.20 FEET ALONG THE SOUTH LINE OF SECTION 28, CENTERLINE OF AUBURN ROAD (33 FEET HALF WIDTH) FOR A POINT OF BEGINNING; THENCE NORTH 01 DEGREE 11 MINUTES 37 SECONDS WEST 60.01 FEET TO THE NORTH RIGHT OF WAY OF AUBURN ROAD (60 FEET HALF WIDTH); THENCE NORTH 89 DEGREES 52 MINUTES 00 SECONDS EAST 314.23 FEET ALONG THE NORTH RIGHT OF WAY OF AUBURN ROAD (60 FEET HALF WIDTH); THENCE SOUTH 01 DEGREE 10 MINUTES 52 SECONDS EAST 60.01 FEET TO THE SOUTH LINE OF SECTION 28 AND CENTERLINE OF AUBURN ROAD (60 FEET HALF WIDTH); THENCE SOUTH 89 DEGREES 52 MINUTES 00 SECONDS WEST 314.23 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPT

PART OF THE SOUTHWEST 1/4 OF SECTION 28, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SECTION 28; THENCE NORTH 89 DEGREES 52 MINUTES 00 SECONDS EAST 2121.20 FEET ALONG THE SOUTH LINE OF SECTION 28, CENTERLINE OF AUBURN ROAD (33 FEET HALF WIDTH); THENCE NORTH 01 DEGREE 11 MINUTES 37 SECONDS WEST 60.01 FEET TO THE NORTH RIGHT OF WAY OF AUBURN ROAD (60 FEET HALF WIDTH); THENCE NORTH 89 DEGREES 52 MINUTES 00 SECONDS EAST 127.03 FEET ALONG THE NORTH RIGHT OF WAY OF AUBURN ROAD (60 FEET HALF WIDTH) FOR THE POINT OF BEGINNING; THENCE NORTH 01 DEGREES 10 MINUTES 52 SECONDS WEST 574.76 FEET; THENCE 20.96 FEET ALONG THE ARC OF A 13.50 FOOT RADIUS CURVE TO THE LEFT, A CENTRAL ANGLE OF 88 DEGREES 57 MINUTES 08 SECONDS AND A CHORD BEARING NORTH 45 DEGREES 39 MINUTES 26 SECONDS WEST 18.92 FEET; THENCE SOUTH 89 DEGREES 52 MINUTES 00 SECONDS WEST 113.90 FEET; THENCE NORTH 01 DEGREES 11 MINUTES 37 SECONDS WEST 60.01 FEET; THENCE NORTH 89 DEGREES 52 MINUTES 00 SECONDS EAST 95.53 FEET; THENCE 18.43 FEET ALONG THE ARC OF A 48.00 FOOT RADIUS CURVE TO THE LEFT, A CENTRAL ANGLE OF 22 DEGREES 00 MINUTES 02 SECONDS AND A CHORD BEARING NORTH 78 DEGREES 51 MINUTES 59 SECONDS EAST 18.32 FEET; THENCE 139.23 FEET ALONG THE ARC OF A 60 FOOT RADIUS CURVE TO THE RIGHT, A CENTRAL ANGLE OF 132 DEGREES 57 MINUTES 12 SECONDS AND A CHORD BEARING SOUTH 45 DEGREES 39 MINUTES 26 SECONDS EAST 110.03 FEET; THENCE 18.43 FEET ALONG THE ARC OF A 48.00 FOOT RADIUS CURVE TO THE LEFT, A CENTRAL ANGLE OF 22 DEGREES 00 MINUTES 02 SECONDS AND A CHORD BEARING SOUTH 09 DEGREES 49 MINUTES 09 SECONDS WEST 18.32 FEET; THENCE SOUTH 01 DEGREE 10 MINUTES 52 SECONDS EAST 556.38 FEET TO THE NORTH RIGHT OF WAY LINE OF AUBURN ROAD (60 FEET HALF WIDTH); THENCE SOUTH 89 DEGREES 52 MINUTES 00 SECONDS WEST 60.01 FEET ALONG THE NORTH RIGHT OF WAY OF AUBURN ROAD (60 FEET HALF WIDTH) TO THE POINT OF BEGINNING.

MODIFICATION OF STANDARDS REQUEST

1.) MIXED RESIDENTIAL OVERLAY -- PARCEL AREA

AS SPECIFIED IN SECTION 138-6.502.A, A DEVELOPMENT USING THE MIXED RESIDENTIAL OPTION MAY ONLY OCCUR ON A PARCEL WITH A MINIMUM AREA OF TEN ACRES LOCATED IN A MIXED RESIDENTIAL OVERLAY DISTRICT, UNLESS THE MINIMUM AREA REQUIREMENT IS MODIFIED BY THE PLANNING COMMISSION.* THE GROSS AREA OF THE PROPOSED DEVELOPMENT IS APPROXIMATELY SIX (6) ACRES. WHILE THE ACREAGE CRITERIA MAY NOT BE MET, THE DENSITY IS. THE TABLE IN SECTION 138-6.502.B INDICATES THE REQUIRED MAXIMUM DWELLING UNITS PER ACRE ARE 4.25 FOR A R-4 DISTRICT. THE PROPOSED DENSITY OF 3.21 DWELLING UNITS PER ACRE FALLS BELOW THIS REQUIREMENT, AS WELL AS THE R-3 DISTRICT REQUIREMENT OF 3.45. THIS RESULTS IN MORE OPEN SPACE AND CONSERVED SPACE. APPROXIMATELY 2 ACRES OF OPEN SPACE IS BEING PROVIDED WITH THE CURRENT DESIGN, EXCEEDING THE REQUIRED 0.28 ACRES BY A LARGE MARGIN.

2.) MIXED RESIDENTIAL OVERLAY -- GARAGES & UNENCLOSED FRONT PORCHES

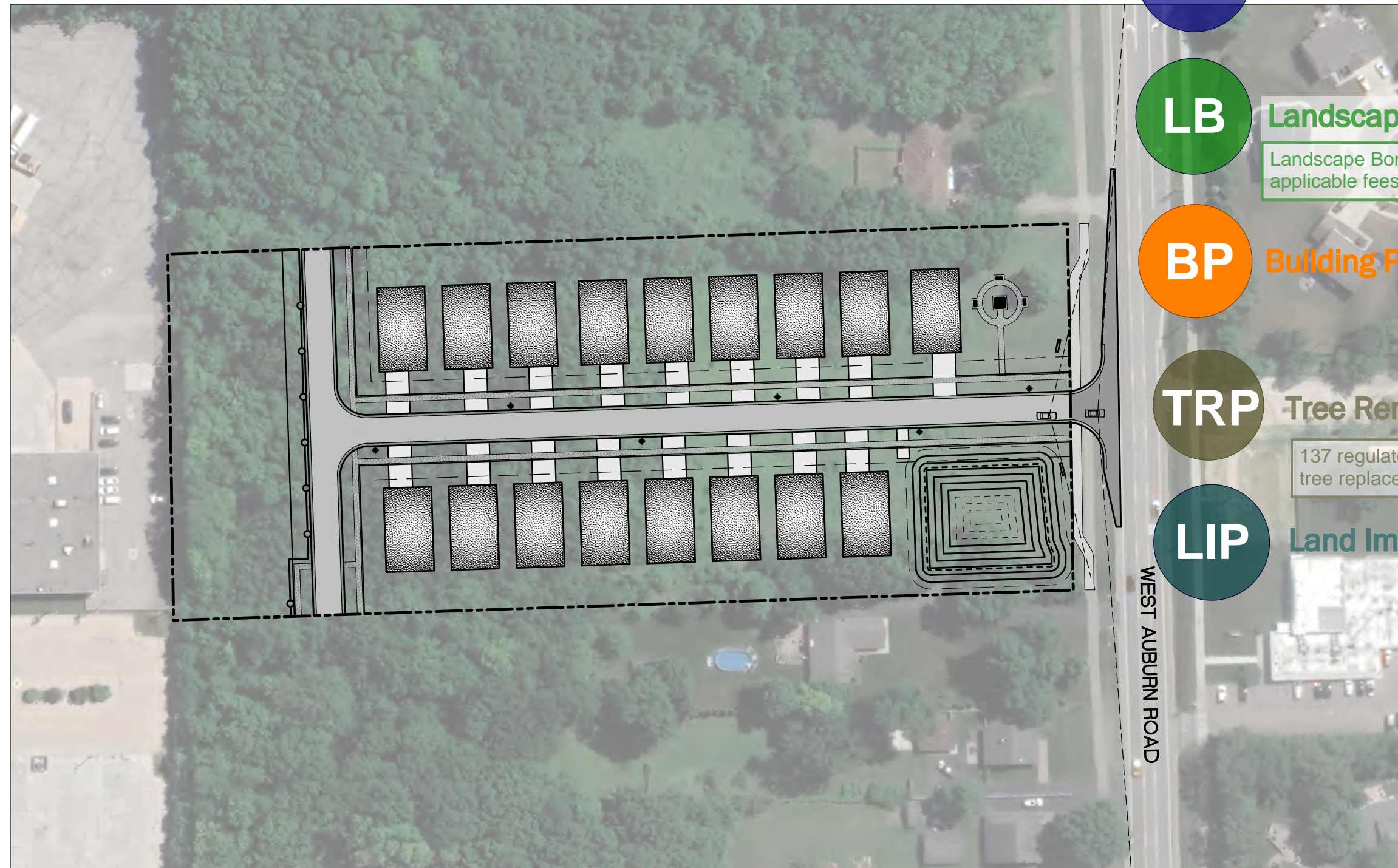
THE PROPOSED HOME LAYOUTS SUPPLIED IN THE PRELIMINARY SITE PLAN INDICATE THE GARAGE EXCEEDING THE STANDARDS AS DESCRIBED IN THE ROCHESTER HILLS ORDINANCE (SECTION 138-6.502.G) AND FRONT PORCH FOOTPRINTS NOT HAVING THE REQUIRED SQUARE FOOTAGE (SECTION 138-6.502.H).

OVERALL, THESE HOME LAYOUTS HAVE BEEN DEVELOPED AND SELECTED BASED ON THE DEMANDS OF MODERN HOME BUYER AND THE PRESENT MARKET TRENDS. FOR THE PORCHES, IT HAS BEEN OBSERVED THAT THERE IS A CLEAR DESIRE (75%-80% OF HOME BUYERS) PREFER A SUNROOM AND/OR A REAR DECK IN LIEU OF A LARGER FRONT PORCH. ADDITIONALLY, THE TYPICAL ACTIVE ADULT REQUIRES A MAIN FLOOR OWNER'S SUITE. THIS INCLUSION HAS WARRANTED THE FOOTPRINT OF MODERN HOMES TO CHANGE AND THUS IMPACT THE LOCATION OF THE GARAGE IN COMPARISON TO THE FRONT BUILDING WALL. THE PROPOSED HOME LAYOUTS WILL HAVE THE FRONT ENTRY GARAGE NO FURTHER THAN 5 FEET BEHIND THE FRONT BUILDING WALL. WE REQUEST THAT THE PLANNING COMMISSION PLEASE CONSIDER AND UNDERSTAND THE DESIRES OF THE CURRENT HOME BUYER.

PRELIMINARY SITE PLAN

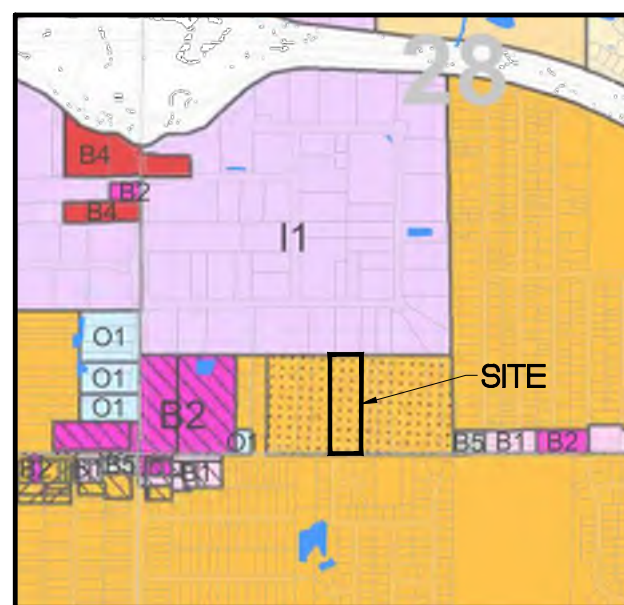
GRANDVIEW

SINGLE-FAMILY CONDOMINIUM COMMUNITY
ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN



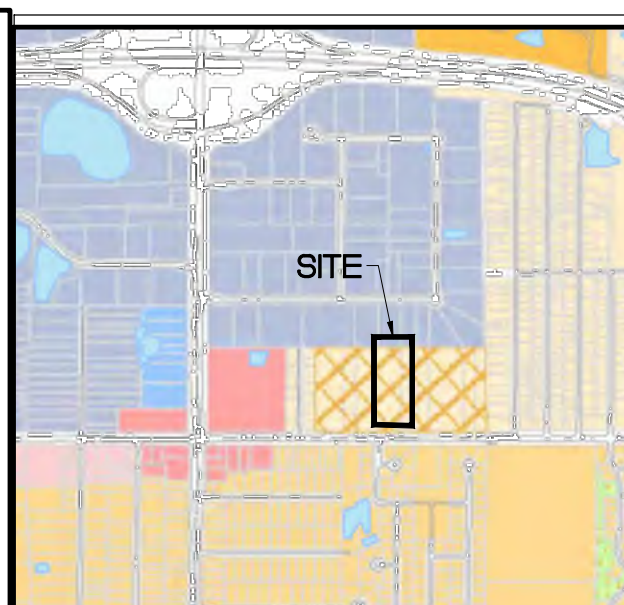
SITE MAP

SCALE: 1" = 100 FEET



ZONING MAP

NO SCALE



FUTURE LAND USE

NO SCALE

RE: Residential Estate	Estate Residential
R-1: One Family Residential	Residential 2
R-2: One Family Residential	Residential 2.5
R-3: One Family Residential	Residential 3
R-4: One Family Residential	Residential 4
RCD: One Family Cluster	One Family Cluster
RM-1: Multiple Family Residential	Mixed Residential
MH: Mobile Home Park	Multiple Family
B-1: Local Business	Business/Flexible Use 1
B-2: General Business	Business/Flexible Use 2
B-3: Shopping Center Business	Business/Flexible Use 3
B-4: Freeway Service Business	Office
B-5: Automotive Business	Regional Employment Center
C1: Commercial Improvement	Landfill
O-1: Office Business	Industrial
I: Industrial	Special Purpose
SP: Special Purpose	Park/Public Open Space
	Private Recreation/Open Space
FB-1: Flexible Business Overlay	
FB-2: Flexible Business Overlay	
FB-3: Flexible Business Overlay	
MR: Mixed Residential Overlay	

Land Use Summary

Characteristic	Existing Condition	Proposed Condition
Total Development Area (ac)	4.85	4.85
Impervious Area (ac)	0.00	2.23
Total Perious Area (ac)	4.85	2.62
Perious Area Breakdown by Cover Type		
Meadow/fallow/natural areas (non-cultivated)	4.85	0.00
Predominant NRCS Soil Type (A, B, C, or D)	A	A
Improved areas (turf grass, landscape, row crops)	0.00	2.62
Predominant NRCS Soil Type (A, B, C, or D)	A	A
Wooded areas	0.00	0.00
Predominant NRCS Soil Type (A, B, C, or D)	A	A
Proposed Pond Area (acres)		0.87
Required CPVC Volume (cubic feet)		12,452
Provided CPVC Volume (cubic feet)		12,452
Required ED Volume (cubic feet)		18,199
Provided ED Volume (cubic feet)		18,199

SP Site Plan

WP Wetland Permit

NFSM Natural Features
Setback Modification

PCM Planning Commission Modification

LB Landscape Bond

BP Building Permit

TRP Tree Removal Permit

LIP Land Improvement Permit

COVER SHEET	1
EXISTING CONDITIONS & DEMOLITION PLAN	2
WETLAND	2A
TREE SURVEY LIST	3
OVERALL DEVELOPMENT PLAN	4
UTILITY PLAN	5
GRADING & STORMWATER MANAGEMENT PLAN	6
CONCEPTUAL LANDSCAPE PLAN	7
ILLUSTRATIVE ELEVATIONS	8
TYPICAL DETAILS	9
SIDEWALK DETAILS	10
PHOTOMETRIC PLAN	1 OF 1
IRRIGATION PLAN	IRR 1

SITE DATA	DEVELOPMENT AREA
ACREAGE:	6.0 ACRES
GROSS:	0.4 ACRES
AUBURN ROAD ROW:	5.6 ACRES
NET:	0.8 ACRES
WETLAND:	4.9 ACRES
ACTIVE:	4.9 ACRES

EXISTING ZONING: R-4 WITH MR OVERLAY
MASTER PLANNED ZONING: R-4 WITH MR OVERLAY
PROPOSED ZONING: R-4 WITH MR OVERLAY

TOTAL PROPOSED UNITS: 18

DENSITY:

ALLOWED* 4.25 DU/AC
PROPOSED** 3.21 DU/ACRE (NET DEVELOPMENT AREA)

*6.00 AC (GROSS) - 0.4 R.O.W. AC = 5.6 (NET AREA)
**17 UNITS / 5.6 AC = 3.03 DU/ACRE

OPEN SPACE:

REQUIRED 0.24 AC (5% OF 4.9)
PROPOSED 0.27 AC

FLOOR AREA:

1,702 SF/UNIT = 30,636 SF TOTAL

BUILDING HEIGHT:

TWO STORIES (30' MAX HEIGHT)

PERIMETER SETBACKS:

REQUIRED 35'
FRONT: 115'
SIDE: 15'(20' TOTAL)
REAR: 37'
60'
170'

ROAD LENGTH = 798 LF

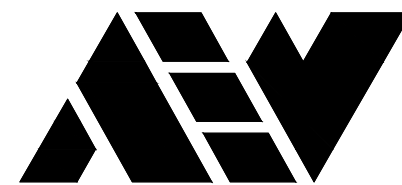
GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CITY OF ROCHESTER HILLS'S CURRENT STANDARDS AND SPECIFICATIONS, UNLESS OTHERWISE APPROVED IN THE PRO AGREEMENT.
- THE CONTRACTOR MUST OBTAIN A PERMIT FROM MDOT FOR ANY WORK WITHIN THE RIGHT-OF-WAY OF AUBURN ROAD.
- ALL PAVEMENT MARKINGS, TRAFFIC CONTROL SIGNS, AND PARKING SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE DEVELOPMENT IS PLANNED TO BE CONSTRUCTED IN ONE PHASE.
- CITY OF ROCHESTER HILLS WILL BE RESPONSIBLE FOR IMPROVEMENTS AND/OR MAINTENANCE OF THE PUBLIC STREETS CONTAINED WITHIN THE PROPERTY DESCRIBED IN THIS PLAN.
- ALL SIGNS SHALL MEET THE ROCHESTER HILLS CITY REQUIREMENTS AND BE APPROVED UNDER SEPARATE PERMITS ISSUED BY THE BUILDING DEPARTMENT.

FIRE DEPARTMENT NOTES

- ALL FIRE HYDRANTS AND WATER MAINS SHALL BE INSTALLED AND IN SERVICE PRIOR TO ABOVE FOUNDATION BUILDING CONSTRUCTION AS EACH PHASE IS BUILT.
- FIRE APPARATUS ACCESS ROADS TO BE DESIGNED TO SUPPORT THE LOAD OF A 75,000 LB FIRE APPARATUS AND BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES.
- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14.
- OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC 307.6.2 AND 307.6.2.3

PERMITS AND SUBMITTALS	SUBMITTAL DATE	APPROVAL DATE
CITY OF ROCHESTER HILLS		
ROCHESTER HILLS FIRE DEPARTMENT		
OAKLAND COUNTY WRC - SOIL EROSION		
NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)		
EGLE - SANITARY SEWER PERMIT		
EGLE - WATER MAIN PERMIT		
MDOT - ROW PERMIT		



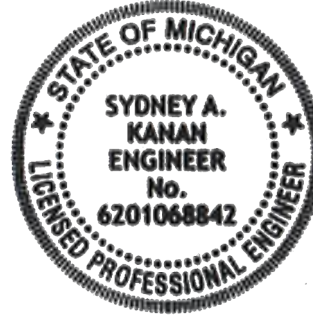
ANDERSON, ECKSTEIN AND
WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

www.aewinc.com

ENGINEERING STRONG COMMUNITIES



Star logo

ADM

DATE	SUBMITTALS/REVISIONS
11/21/2025	WETLAND UPDATE
10/15/2025	WETLAND UPDATE
07/28/2025	SITE PLAN RESUBMITTAL
05/19/2025	SITE PLAN RESUBMITTAL
05/31/2023	SITE PLAN RESUBMITTAL
02/10/2023	SITE PLAN RESUBMITTAL

PROJECT NAME:

GRANDVIEW
CONDOMINIUM
COMMUNITY

SHEET TITLE:

COVER SHEET

CLIENT:

GRAND VIEW OF ROCHESTER, LLC

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: NAC	CHECKED BY: JLA	DATE: OCTOBER 2022
SCALE:	AS NOTED	



Know what's below. Call
72 hours before you dig.

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD, DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY)

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

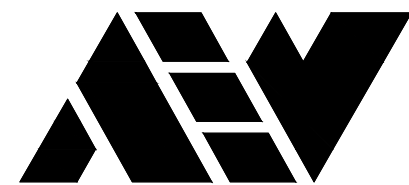
PROJECT NO.

1645-0005

M:\1645\1645-0005\DWG\CIVIL\SITE PLAN\1_TITLE.DWG
01 Title-11/20/2025 9:37:01 AM

SHEET NO.

1



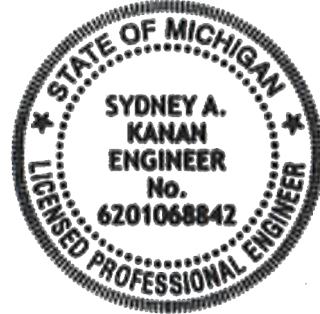
ANDERSON, ECKSTEIN AND
WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

www.aewinc.com

ENGINEERING STRONG COMMUNITIES



Star logo

11/21/2025 WETLAND UPDATE	WETLAND UPDATE SITE PLAN RESUBMITTAL
10/19/2025 05/19/2025	05/19/2025 02/10/2023
DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	

GRANDVIEW CONDOMINIUM COMMUNITY

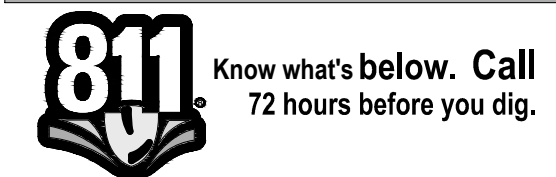
SHEET TITLE:

EXISTING CONDITIONS & DEMOLITION PLAN

CLIENT:

GRAND VIEW OF ROCHESTER, LLC

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: NAC	CHECKED BY: JLA	DATE: OCTOBER 2022
SCALE: 1" = 50'		



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (ON CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY).

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO.

1645-0005

\\AEW\ACTDATA\ACTIVE\1645-0005\0005\GND\SUBSITE PLAN\EX_02_EX CONDITIONS-11/20/2025 4:14:57 PM

SHEET NO.

2

SCHEDULE B, PART II EXCEPTIONS PER COMMITMENT FOR TITLE INSURANCE ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ISSUING AGENT: CIRCO TITLE AGENCY, INC., COMMITMENT NO.: C-171738, COMMITMENT DATE: OCTOBER 4, 2021:

13. RIGHT OF WAY TO CONSUMERS POWER COMPANY AS RECORDED IN LIBER 573, PAGE 19, OAKLAND COUNTY RECORDS AND RE-RECORDED IN LIBER 586, PAGE 116, OAKLAND COUNTY RECORDS.
RESPONSE: COVERS SUBJECT PROPERTY, EASEMENT APPROXIMATELY AS SHOWN HEREON, NORTH OF AND NOT MORE THAN 42 FEET FROM SOUTH LINE OF SECTION.
14. EASEMENT AS RECORDED IN LIBER 7160, PAGE 474 AND LIBER 7160, PAGE 475, OAKLAND COUNTY RECORDS.
RESPONSE: L.7160, PG.474 COVERS SUBJECT PROPERTY, EASEMENT AS SHOWN HEREON. L.7160, PG.475 COVERS SUBJECT PROPERTY, EASEMENT AS SHOWN HEREON.
15. EASEMENT TO MICHIGAN BELL TELEPHONE COMPANY, A MICHIGAN CORPORATION AS RECORDED IN LIBER 12077, PAGE 453, OAKLAND COUNTY RECORDS.
RESPONSE: COVERS SUBJECT PROPERTY, EASEMENT AS SHOWN HEREON.
16. TERMS AND CONDITIONS AS EVIDENCED IN WARRANTY DEED RECORDED IN LIBER 36293, PAGE 396, OAKLAND COUNTY RECORDS.
RESPONSE: COVERS SUBJECT PROPERTY, RIGHT OF WAY AS SHOWN HEREON.
17. WATERMAIN EASEMENT AS RECORDED IN LIBER 36293, PAGE 404, OAKLAND COUNTY RECORDS.
RESPONSE: COVERS SUBJECT PROPERTY, EASEMENT AS SHOWN HEREON.
18. SANITARY SEWER EASEMENT AS RECORDED IN LIBER 36293, PAGE 410, OAKLAND COUNTY RECORDS.
RESPONSE: COVERS SUBJECT PROPERTY, EASEMENT AS SHOWN HEREON.
19. AGREEMENT FOR MAINTENANCE OF STORM WATER DRAINAGE AND DETENTION SYSTEM AS RECORDED IN LIBER 36293, PAGE 426, OAKLAND COUNTY RECORDS.
RESPONSE: COVERS SUBJECT PROPERTY, AGREEMENT COVERS PROPOSED STORM SYSTEM THROUGHOUT SITE, DETENTION BASIN EASEMENT AS SHOWN HEREON.
20. STORM SEWER EASEMENT AS RECORDED IN LIBER 36293, PAGE 431, OAKLAND COUNTY RECORDS.
RESPONSE: COVERS SUBJECT PROPERTY, POSSIBLE SCRIVENER'S ERROR IN STORM SEWER EASEMENT 6. RECORD LOCATION AND SURVEYOR'S OPINION ON INTENDED LOCATION AS SHOWN HEREON.
21. AGREEMENT FOR SEDIMENTATION BASIN GRANDVIEW SITE CONDOMINIUM AS RECORDED IN LIBER 36767, PAGE 600, OAKLAND COUNTY RECORDS.
RESPONSE: COVERS SUBJECT PROPERTY, EASEMENT AS SHOWN HEREON.

SURVEY NOTES:

- BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM (NAD83), SOUTH ZONE. INTERNATIONAL FEET, GROUND DISTANCES. MEASURED BEARINGS DIFFER FROM RECORD TITLE BEARINGS. VERTICAL DATUM IS NAVD88.
- THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN), ACCORDING TO MAP NUMBER 26125C0393F OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE SEPTEMBER 29, 2006.
- WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, CORRECTNESS OR EXACTNESS OF LOCATIONS.
- ZONING LETTER OR REPORT WAS NOT PROVIDED AT THE DATE OF THE SURVEY.
- THERE WERE NO PARKING STALLS OBSERVED AT THE DATE OF THE FIELD WORK.
- REFERENCE SURVEY: GRANDVIEW SITE CONDOMINIUM SITE PLAN BY ANDERSON, ECKSTEIN AND WESTRICK, INC., PROJECT NO. 1294-0001, DATED 4-3-15.
- ALL EXISTING EASEMENTS AND ROW'S SHALL BE VACATED AND/OR/MODIFIED AS REQUIRED BY NEW SITE LAYOUT AND REQUIRED EASEMENTS AND ROW'S.
- AN UPDATED BOUNDARY SURVEY SHALL BE PERFORMED, AND A CERTIFICATE OF SURVEY SHALL BE PROVIDED TO THE CITY FOR REVIEW AND APPROVAL.

SITE INFORMATION

SITE LOCATION: PART OF THE SOUTHWEST 1/4 OF SECTION 28, OAKLAND TOWNSHIP, MICHIGAN.

- ULTIMATE RECEIVING WATER: ROUGE RIVER (4,600± FEET FROM SITE)
- SITE SOILS INFORMATION: PER THE NRCS WEB SURVEY FOR OAKLAND COUNTY; 11B, 12
- APPROXIMATE AREA OF DISTURBANCE: 4.8± ACRES

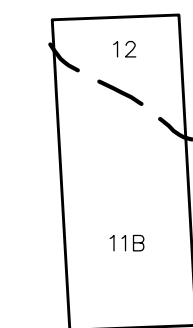
SOILS LEGEND

Map Symbol	Map Unit Name	Hydrologic Soil Group
11B	Capac sandy loam, 0 to 4 percent slopes	C/D
12	Brookston and Colwood loams	B/D

SITE BENCHMARKS:

BM #1: SET RAILROAD SPIKE IN EAST FACE OF UTILITY POLE
ELEVATION: 815.89 (NAVD88)

BM #2: ARROW ON FIRE HYDRANT
91± EAST OF EASTERLY PROPERTY LINE AND 40± SOUTH OF CENTERLINE OF AUBURN ROAD
ELEVATION: 818.45 (NAVD88)



SOILS MAP

LEGEND

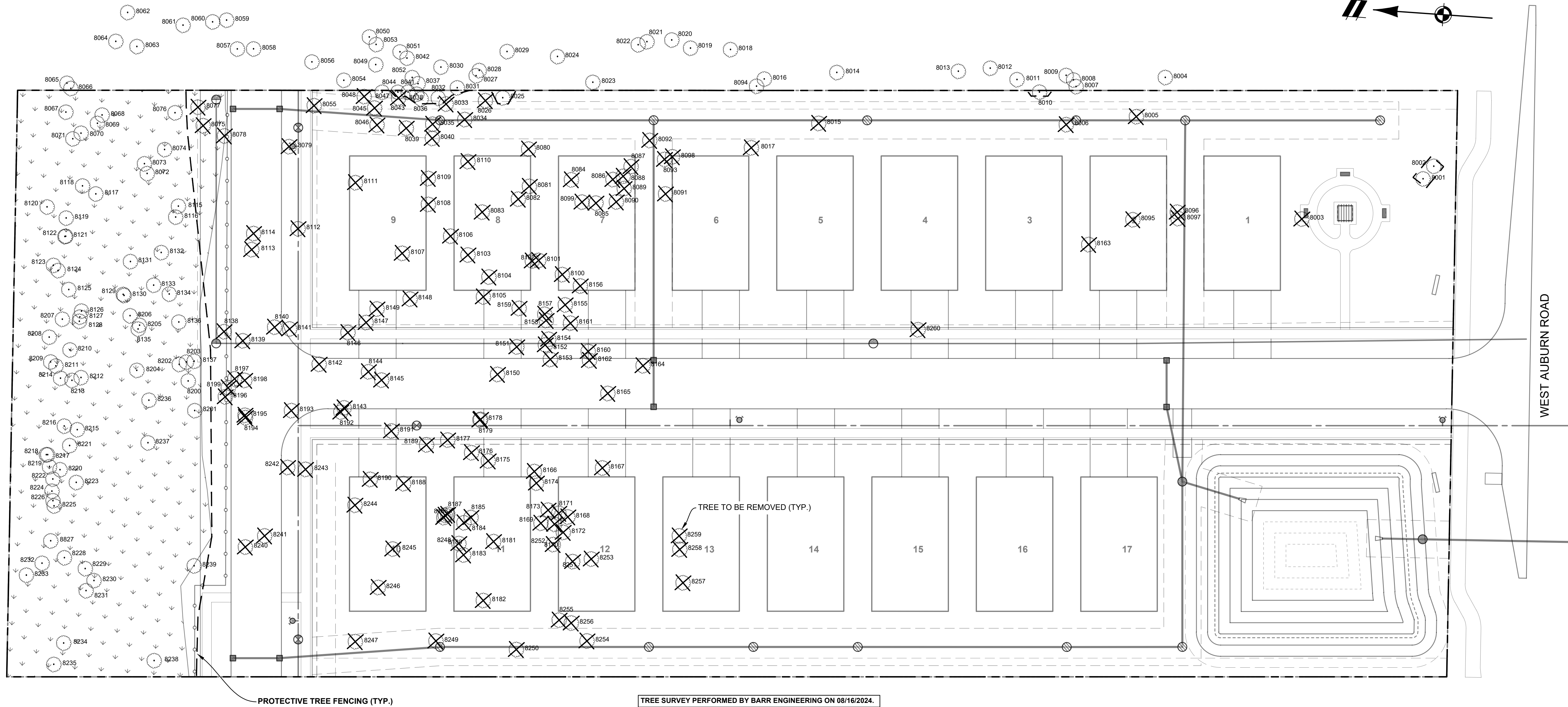
BOUNDARY LINE	EXISTING SIGN
EXISTING EASEMENT	EXISTING TELEPHONE RISER
SECTION LINE	EXISTING MAILBOX
BOUNDARY/PROPERTY LINE	EXISTING UTILITY POLE
SECTION CORNER	EXISTING LIGHT POLE
EXISTING TREE LINE	EXISTING WELL
EXISTING FENCE	EXISTING WATER VALVE
EXISTING 1' CONTOUR	EXISTING HYDRANT
EXISTING 5' CONTOUR	EXISTING SANITARY MANHOLE
EXISTING ASPHALT	EXISTING CATCH BASIN/INLET
EXISTING GRAVEL	EXISTING END SECTION
EXISTING STORM	EXISTING GUY LINE
EXISTING WATER MAIN	EXISTING BUILDING
EXISTING SANITARY	EXISTING SOIL TYPE
EXISTING GAS	EXISTING TREE
EXISTING OVERHEAD ELECTRICAL LINE	EXISTING TREE TO BE REMOVED
EXISTING UNDERGROUND TELEPHONE LINE	EXISTING WETLAND
PROPOSED TREE PROTECTION FENCE	EXISTING WETLAND IMPACT



PROJECT: 12023-0022/PRP02023.0010
REVISION: Revision #6
RECEIVED: 11/24/2025
PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT

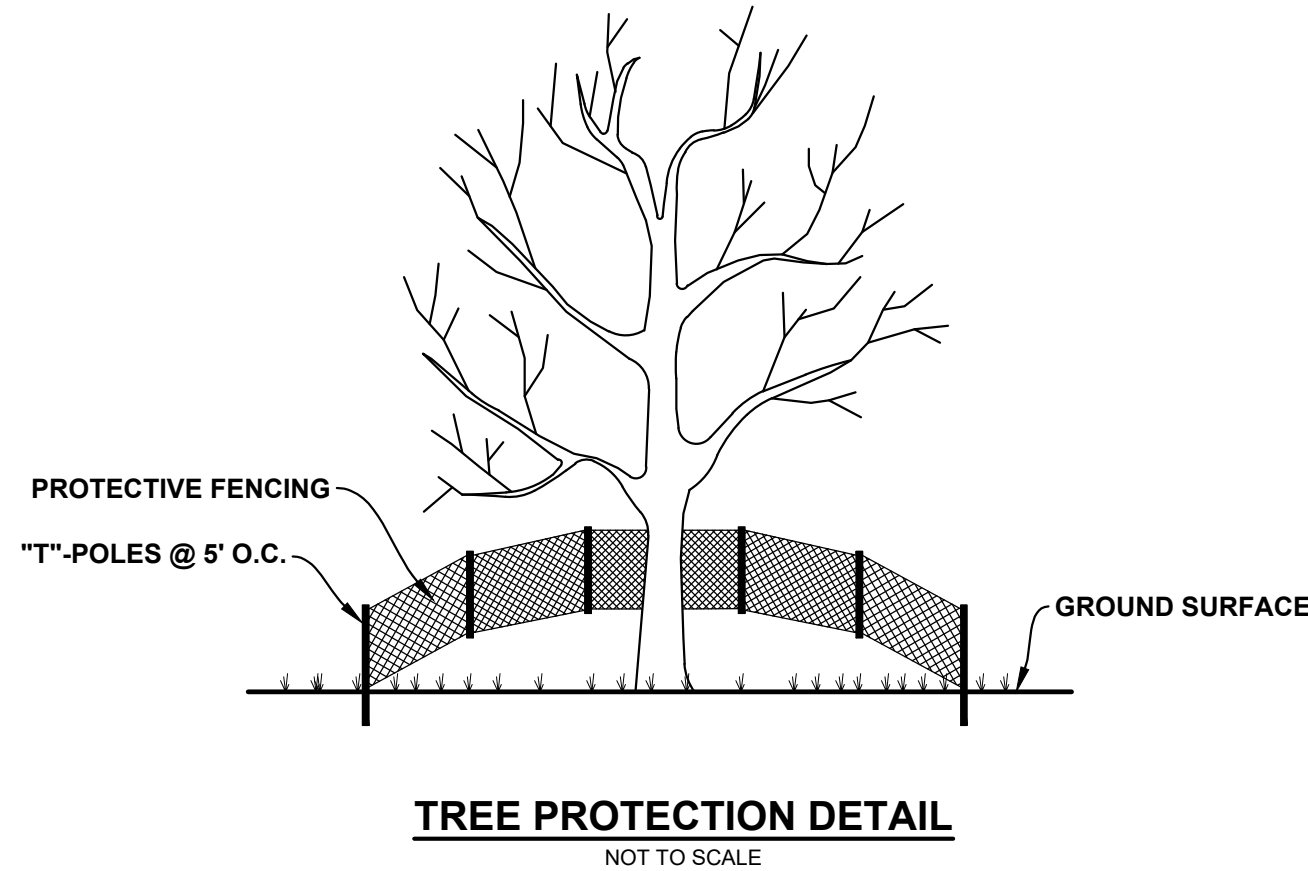
CITY FILE #23-0022 SECTION #28
NOT TO BE USED AS CONSTRUCTION DRAWINGS

COPYRIGHT, 2022, ANDERSON, ECKSTEIN AND WESTRICK, INC.



NOTES:

1. EITHER PLASTIC OR WOOD ORANGE SNOW FENCING SHALL BE INSTALLED AT OR BEYOND THE DRIPLINE, UNLESS MORE SUBSTANTIAL FENCING IS REQUIRED.
2. STAKES SHALL BE METAL "T" POLES SPECED NO FURTHER THAN 5' ON CENTER.
3. FENCING SHALL NOT BE INSTALLED CLOSER TO THE TREE THAN THE CRITICAL ROOT ZONE OF THOSE TREES TO BE SAVED. THE CRITICAL ROOT ZONE IS DEFINED AS A CIRCLE WITH 1 FOOT RADIUS FOR EACH 1 INCH D.B.H. FOR THE TREE. SPECIAL CIRCUMSTANCES SHALL BE REVIEWED BY THE CITY.
4. FENCING SHALL BE ERECTED PRIOR TO CONSTRUCTION. THE CITY SHALL BE NOTIFIED ONCE THE FENCING IS INSTALLED FOR INSPECTION.
5. UNDER NO CIRCUMSTANCES SHALL THE PROTECTIVE FENCING BE REMOVED WITHOUT PROPER APPROVAL FROM THE CITY.
6. NO PERSON SHALL CONDUCT ANY ACTIVITY WITHIN THE AREAS PROPOSED TO REMAIN. THIS SHALL INCLUDE, BUT NOT LIMITED TO:
 - A. NO SOLVENTS OR CHEMICALS WITHIN THE PROTECTED AREAS.
 - B. NO BUILDING MATERIALS OR CONSTRUCTION EQUIPMENT WITHIN THE PROTECTED AREAS.
 - C. NO GRADE CHANGES, INCLUDING FILL, WITHIN THE PROTECTED AREAS.
 - D. NO REMOVAL OF VEGETATION FROM THE GROUND UP WITHOUT PERMISSION FROM THE PROPER REVIEWING AUTHORITY, INCLUDING THE WOODLAND REVIEW BOARD.
 - E. ANY REQUIRED SWALE NEEDS TO BE DIRECTED AROUND THE PROTECTED AREAS. IN INSTANCES WHERE SWALES ARE APPROVED THROUGH A PROTECTED AREA, THE SWALES NEED TO BE HAND DUG. MACHINERY OF ANY KIND IS PROHIBITED.
7. REGULATED WETLANDS OR REGULATED TREES ADJACENT TO THE PROPERTY ARE ALSO REQUIRED TO BE PROTECTED WHETHER OR NOT THEY ARE SHOWN ON THE PLAN.
8. THE LOCATION OF TREE PROTECTION FENCES WILL BE INSPECTED AND APPROVED IN THE FIELD BY THE TOWNSHIP PRIOR TO ANY TREE REMOVAL, GRADING OR LAND BALANCING OCCURING ON THE SITE.
9. ANY TREE WITHIN 10 FEET OF A SEWER OR STORMWATER PIPE MUST BE DESIGNATED FOR REMOVAL.



Tree Summary

Total Number of Trees Surveyed 260 Trees
Total Number of Trees On-Site 220 Trees
Total Number of Trees Removed 137 Trees
Number of Trees Outside Bldgs. 182 Trees
Trees Saved 83 Trees
Percentage of Trees Saved 46%

Specimen Trees

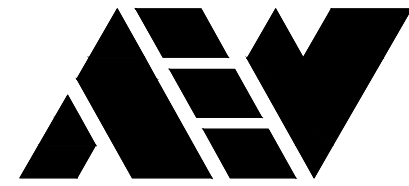
Total Number On-Site 8
Total Trees Removed 2
Total Trees Preserved 6
Tree Credit for Replacement 12" (6 Trees x 2")
Total Specimen Tree Credit 6 Trees (12"/2" CAL.)
DBH Removed 38"

Replacement Trees

One for One Replacement 135 Trees
Specimen Trees (50% DBH Removed) 10 Trees
Tree Credit 6 Trees
Total Replacement Trees 139 Trees (2" CAL.)

TRP Tree Removal Permit

137 regulated trees removed, 2 specimen trees removed - 139 tree replacement credits required.



ANDERSON, ECKSTEIN AND
WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

www.aewinc.com

ENGINEERING STRONG COMMUNITIES



[Signature]

07/28/2025	SITE PLAN RESUBMITTAL
05/19/2025	SITE PLAN RESUBMITTAL
05/31/2023	SITE PLAN RESUBMITTAL
02/10/2023	SITE PLAN RESUBMITTAL
DATE	SUBMITTALS/REVISIONS

PROJECT NAME:

**GRANDVIEW
CONDOMINIUM
COMMUNITY**

SHEET TITLE:

TREE SURVEY

CLIENT:

GRAND VIEW OF ROCHESTER, LLC

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: NAC	CHECKED BY: JLA	DATE: OCTOBER 2022
SCALE: 1" = 30'		
0 15 30 60		



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (ON CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY).

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO.

1645-0005

M:\1645\1645-0005\DWG\GIVL01_TREE SURVEY.DWG
03 Tree Survey--11/20/2025 9:24:18 AM

SHEET NO.

3

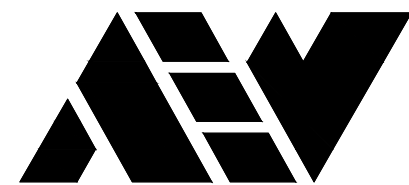


PROJECT: 12023-0002/PS02023-0010
REVISION: Revision #6
RECEIVED: 11/24/2025
PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT

COPYRIGHT, 2022, ANDERSON, ECKSTEIN AND WESTRICK, INC.

Tag No.	Scientific Name	Common Name	DBH1	DBH2	DBH3	TOTAL DBH	Condition	Location 1	Location 2	Specimen Tree?	Removing
8001	Acer saccharum	Sugar maple	10.8	12.0	10.3	33.1	Fair	On Site			
8002	Acer saccharum	Sugar maple	7.5			7.5	Fair	On Site			
8003	Acer negundo	Box elder	6.8	6.4		13.2	Poor	On Site			X
8004	Quercus rubra	Red oak	54.3			54.3	Fair	Off Site		X	
8005	Acer negundo	Box elder	10.2	7.4	6.5	24.1	Poor	On Site			X
8006	Populus deltoides	Eastern cottonwood	7.7			7.7	Fair	On Site			X
8007	Juglans nigra	Black walnut	15.4			15.4	Fair	Off Site			
8008	Tilia americana	American basswood	8.8			8.8	Fair	Off Site			
8009	Tilia americana	American basswood	9.1			9.1	Fair	Off Site			
8010	Juglans nigra	Black walnut	15.4			15.4	Fair	On Site			
8011	Juglans nigra	Black walnut	11.1			11.1	Fair	Off Site			
8012	Juglans nigra	Black walnut	17.9			17.9	Fair	Off Site			
8013	Morus alba	White mulberry	7.8			7.8	Poor	Off Site			
8014	Quercus rubra	Red oak	8.9			8.9	Fair	Off Site			
8015	Juglans nigra	Black walnut	9.0	8.9		17.9	Fair	On Site			X
8016	Populus tremuloides	Quaking aspen	9.3			9.3	Fair	Off Site			
8017	Populus tremuloides	Quaking aspen	10.0			10	Fair	On Site			X
8018	Quercus alba	Red oak	16.7			16.7	Fair	Off Site			
8019	Carya cordiformis	Bitternut hickory	11.0			11	Fair	Off Site			
8020	Carya cordiformis	Bitternut hickory	24.3			24.3	Fair	Off Site		X	
8021	Ulmus americana	American elm	9.6			9.6	Fair	Off Site			
8022	Carya ovata	Shagbark hickory	18.7			18.7	Fair	Off Site		X	
8023	Quercus rubra	Red oak	8.4			8.4	Fair	Off Site			
8024	Quercus rubra	Red oak	12.4			12.4	Fair	Off Site			
8025	Carya ovata	Shagbark hickory	21.0			21	Fair	On Site		X	
8026	Ulmus americana	American elm	7.0			7	Fair	On Site			
8027	Acer rubra	Red maple	6.8			6.8	Fair	Off Site			X
8028	Carya cordiformis	Bitternut hickory	9.6			9.6	Fair	Off Site			
8029	Carya cordiformis	Bitternut hickory	8.9			8.9	Poor	Off Site			
8030	Carya cordiformis	Bitternut hickory	6.7			6.7	Fair	Off Site			
8031	Ulmus americana	American elm	6.6			6.6	Fair	On Site			
8032	Tilia americana	American basswood	7.0			7	Fair	Off Site			
8033	Quercus rubra	Red oak	15.9			15.9	Fair	On Site			X
8034	Quercus rubra	Red oak	15.7			15.7	Fair	On Site			X
8035	Quercus rubra	Red oak	9.7			9.7	Fair	On Site			X
8036	Carya cordiformis	Bitternut hickory	10.9			10.9	Fair	On Site			
8037	Carya cordiformis	Bitternut hickory	9.0			9	Fair	Off Site			
8038	Carya cordiformis	Bitternut hickory	10.3			10.3	Fair	On Site			
8039	Tilia americana	American basswood	13.7			13.7	Fair	On Site			X
8040	Juglans nigra	Black walnut	11.1			11.1	Fair	On Site			X
8041	Quercus rubra	Red oak	10.3			10.3	Fair	On Site			
8042	Carya cordiformis	Bitternut hickory	7.2			7.2	Fair	Off Site			
8043	Carya cordiformis	Bitternut hickory	7.9			7.9	Fair	On Site			X
8044	Carya cordiformis	Bitternut hickory	9.8			9.8	Fair	On Site			
8045	Juglans nigra	Black walnut	10.2			10.2	Fair	On Site			X
8046	Carya cordiformis	Bitternut hickory	7.7			7.7	Fair	On Site			X
8047	Tilia americana	American basswood	8.8			8.8	Fair	On Site			
8048	Carya cordiformis	Bitternut hickory	13.3			13.3	Fair	On Site			X
8049	Carya cordiformis	Bitternut hickory	8.8			8.8	Fair	On Site			
8050	Carya cordiformis	Bitternut hickory	11.6			11.6	Fair	Off Site			
8051	Carya cordiformis	Bitternut hickory	11.9			11.9	Fair	Off Site			
8052	Carya cordiformis	Bitternut hickory	8.2			8.2	Fair	Off Site			
8053	Carya cordiformis	Bitternut hickory	6.6			6.6	Fair	Off Site			
8054	Carya cordiformis	Bitternut hickory	10.3			10.3	Fair	Off Site			
8055	Carya cordiformis	Bitternut hickory	11.1			11.1	Fair	On Site			X
8056	Carya cordiformis	Bitternut hickory	16.7			16.7	Fair	Off Site			
8057	Carya cordiformis	Bitternut hickory	16.5			16.5	Fair	Off Site			
8058	Carya ovata	Shagbark hickory	11.6			11.6	Fair	Off Site			
8059	Tilia americana	American basswood	12.9			12.9	Fair	Off Site			
8060	Tilia americana	American basswood	6.8			6.8	Fair	Off Site			
8061	Tilia americana	American basswood	17.4			17.4	Fair	Off Site			
8062	Tilia americana	American basswood	8.6			8.6	Fair	On Site			
8063	Carya cordiformis	Bitternut hickory	6.1			6.1	Fair	Off Site			
8064	Carya cordiformis	Bitternut hickory	7.3			7.3	Fair	Off Site			
8065	Carya cordiformis	Bitternut hickory	7.8			7.8	Fair	Off Site			
8066	Carya cordiformis	Bitternut hickory	7.9			7.9	Fair	Off Site			
8067	Acer saccharum	Sugar maple	6.2			6.2	Fair	On Site			
8068	Acer saccharinum	Silver maple	7.3			7.3	Fair	On Site			
8069	Carya cordiformis	Bitternut hickory	8.9			8.9	Fair	On Site			
8070	Ostrya virginiana	Eastern hophornbeam	6.1			6.1	Fair	On Site			
8071	Carya cordiformis	Bitternut hickory	7.3			7.3	Fair	On Site			
8072	Quercus bicolor	Swamp white oak	12.7			12.7	Fair	On Site			
8073	Acer saccharinum	Silver maple	7.3			7.3	Fair	On Site			
8074	Carya ovata	Shagbark hickory	17			17	Fair	On Site			
8075	Acer saccharinum	Silver maple	8.4			8.4	Fair	On Site			X
8076	Acer saccharinum	Silver maple	10.2			10.2	Fair	On Site			
8077	Carya cordiformis	Bitternut hickory	17.6			17.6	Fair	On Site			X
8078	Carya cordiformis	Bitternut hickory	16.6			16.6	Fair	On Site			X
8079	Carya cordiformis	Bitternut hickory	17.0			17	Fair	On Site			X
8080	Fraxinus americana	White ash	7.0			7	Fair	On Site			X
8081	Carya cordiformis	Bitternut hickory	6.5			6.5	Fair	On Site	Building		X
8082	Quercus rubra	Red oak	6.0			6	Fair	On Site	Building		X
8083	Populus deltoides	Eastern cottonwood	7.7			7.7	Fair	On Site	Building		X
8084	Populus tremuloides	Quaking aspen	7.1			7.1	Fair	On Site	Building		X
8085	Populus tremuloides	Quaking aspen	7.9			7.9	Fair	On Site	Building		X
8086	Populus tremuloides	Quaking aspen	7.0			7	Fair	On Site	Building		X
8087	Populus tremuloides	Quaking aspen	6.5			6.5	Fair	On Site	Building		X
8088	Populus tremuloides	Quaking aspen	6.1			6.1	Fair	On Site	Building		X
8089	Populus tremuloides	Quaking aspen	6.0			6	Fair	On Site	Building		X
8090	Populus tremuloides	Quaking aspen	8.1			6.1	Fair	On Site	Building		X
8091	Populus tremuloides	Quaking aspen	7.4			7.4	Fair	On Site			X
8092	Carya cordiformis	Bitternut hickory	6.8			6.8	Fair	On Site			X
8093	Populus tremuloides	Quaking aspen	6.7			6.7	Fair	On Site			X
8094	Populus tremuloides	Quaking aspen	6.8			6.8	Fair	Off Site			
8095	Acer negundo	Box elder	7.8	8.3		16.1	Poor	On Site	Building		X
8096	Juglans nigra	Black walnut	7.0			7	Fair	On Site			X
8097	Juglans nigra	Black walnut	8.6			8.6	Poor	On Site			X
8098	Populus tremuloides	Quaking aspen	8.6			8.6	Fair	On Site	Building		X
8099	Carya cordiformis	Bitternut hickory	7.7			7.7	Fair	On Site	Building		X
8100	Populus tremuloides	Quaking aspen	8.3			8.3	Fair	On Site			X

Tag No.	Scientific Name	Common Name	DBH1	DBH2	DBH3	TOTAL DBH	Condition	Location 1	Location 2	Specimen Tree?	Removing
8101	Populus tremuloides	Quaking aspen	7.3			7.3	Poor	On Site			X
8102	Populus tremuloides	Quaking aspen	8.7			8.7	Very Poor	On Site			X
8103	Salix nigra	Black willow	7.8			7.8	Fair	On Site	Building		X
8104	Populus tremuloides	Quaking aspen	6.3			6.3	Fair	On Site	Building		X
8105	Populus deltoides	Eastern cottonwood	7.6			7.6	Fair	On Site			X
8106	Populus deltoides	Eastern cottonwood	6.4			6.4	Fair	On Site			X
8107	Populus deltoides	Eastern cottonwood	6.3			6.3	Fair	On Site	Building		X
8108	Populus deltoides	Eastern cottonwood	11.4			11.4	Fair	On Site			X
8109	Populus deltoides	Eastern cottonwood	6.1			6.1	Fair	On Site			X
8110	Populus deltoides	Eastern cottonwood	6.0			6	Fair	On Site	Building		X
8111	Populus deltoides	Eastern cottonwood	7.2			7.2	Fair	On Site	Building		X
8112	Tilia americana	American basswood	15.9			15.9	Fair	On Site			X
8113	Carya cordiformis	Bitternut hickory	11.2			11.2	Fair	On Site			X
8114	Crataegus punctata	Dotted hawthorn	8.3			8.3	Fair	On Site			X
8115	Quercus bicolor	Swamp white oak	45.4			45.4	Good	On Site		X	
8116	Tilia americana	American basswood	7.4			7.4	Fair	On Site			
8117	Ulmus americana	American elm	8.2			8.2	Fair	On Site			
8118	Acer saccharinum	Silver maple	17.1			17.1	Fair	On Site			
8119	Acer saccharinum	Silver maple	8.2			8.2	Fair	On Site			
8120	Quercus bicolor	Swamp white oak	6.0			6	Fair	On Site			
8121	Acer saccharinum	Silver maple	8.2			8.2	Fair	On Site			
8122	Acer saccharinum	Silver maple	9.8			9.8	Fair	On Site			
8123	Acer saccharinum	Silver maple	8.7	8.1	8.3	25.1	Poor	On Site			
8124	Populus deltoides	Eastern cottonwood	14.3			14.3	Fair	On Site			
8125	Populus deltoides	Eastern cottonwood	16.9			16.9	Fair	On Site			
8126	Acer saccharinum	Silver maple	12.0			12	Fair	On Site			
8127	Acer saccharinum	Silver maple	13.9			13.9	Fair	On Site			
8128	Acer saccharinum	Silver maple	14.0			14	Fair	On Site			
8129	Ulmus americana	American elm	7.0			7	Very Poor	On Site			
8130	Acer saccharinum	Silver maple	13.9	14.2	13.0	41.1	Fair	On Site			
8131	Acer saccharinum	Silver maple	6.7			6.7	Poor	On Site			
8132	Quercus bicolor	Swamp white oak	7.6			7.6	Fair	On Site			
8133	Carya ovata	Shagbark hickory	11.8			11.8	Fair	On Site			
8134	Carya ovata	Shagbark hickory	7.2			7.2	Fair	On Site			
8135	Acer saccharinum	Silver maple	8.5			8.5	Fair	On Site			
8136	Carya cordiformis	Bitternut hickory	10.1			10.1	Fair	On Site			
8137	Acer saccharinum	Silver maple	21.9			21.9	Fair	On Site		X	
8138	Carya cordiformis	Bitternut hickory	11.4			11.4	Fair	On Site			X
8139	Acer saccharinum	Silver maple	10.6			10.6	Fair	On Site			X
8140	Quercus rubra	Red oak	17.1			17.1	Fair	On Site			X
8141	Acer saccharinum	Silver maple	14.9			14.9	Poor	On Site			X
8142	Populus gradidentata	Bigtooth aspen	6.1			6.1	Fair	On Site			X
8143	Populus gradidentata	Bigtooth aspen	10.9			10.9	Fair	On Site			X
8144	Populus gradidentata	Bigtooth aspen	14.0			14	Fair	On Site			X
8145	Fraxinus americana	White ash	6.1			6.1	Fair	On Site			X
8146	Populus gradidentata	Bigtooth aspen	12.4			12.4	Fair	On Site			X
8147	Populus deltoides	Eastern cottonwood	7.5			7.5	Fair	On Site			X
8148	Populus deltoides	Eastern cottonwood	7.2			7.2	Fair	On Site			X
8149	Populus deltoides	Eastern cottonwood	6.8			6.8	Poor	On Site			X
8150	Populus gradidentata	Bigtooth aspen	7.2			7.2	Poor	On Site			X
8151	Populus gradidentata	Bigtooth aspen	9.7			9.7	Fair	On Site			X
8152	Populus tremuloides	Quaking aspen	8.2			8.2	Fair	On Site			X
8153	Populus tremuloides	Quaking aspen	6.6			6.6	Fair	On Site			X
8154	Populus tremuloides	Quaking aspen	7.6			7.6	Fair	On Site			X
8155	Populus tremuloides	Quaking aspen	7.5			7.5	Fair	On Site			X
8156	Populus tremuloides	Quaking aspen	9.1			9.1	Fair	On Site			X
8157	Populus tremuloides	Quaking aspen	6.7			6.7	Fair	On Site			X
8158	Populus tremuloides	Quaking aspen	6.9			6.9	Fair	On Site			X
8159	Populus tremuloides	Quaking aspen	8.3			8.3	Poor	On Site			X
8160	Populus tremuloides	Quaking aspen	7.7			7.7	Poor	On Site			X
8161	Populus tremuloides	Quaking aspen	8.4			8.4	Fair	On Site			X
8162	Ulmus americana	American elm	8.2			8.2	Poor	On Site			X
8163	Salix nigra	Black willow	13.5	14.2	12.7	40.4	Fair	On Site	Building		X
8164	Ulmus americana	American elm	8.2			8.2	Fair	On Site			X
8165	Fraxinus americana	White ash	6.1			6.1	Fair	On Site			X
8166	Populus tremuloides	Quaking aspen	7.2			7.2	Fair	On Site			X
8167	Acer saccharinum	Silver maple	6.1			6.1	Fair	On Site			X
8168	Populus tremuloides	Quaking aspen	6.1			6.1	Poor	On Site	Building		X
8169	Populus tremuloides	Quaking aspen	6.5			6.5	Fair	On Site			X
8170	Populus tremuloides	Quaking aspen	6.6			6.6	Fair	On Site			X
8171	Populus tremuloides	Quaking aspen	6.2			6.2	Fair	On Site	Building		X
8172	Populus tremuloides	Quaking aspen	6.3			6.3	Fair	On Site	Building		X
8173	Populus tremuloides	Quaking aspen	6.4			6.4	Fair	On Site			X
8174	Populus tremuloides	Quaking aspen	7.8			7.8	Fair	On Site			X
8175	Populus tremuloides	Quaking aspen	8.5			8.5	Fair	On Site			X
8176	Populus deltoides	Eastern cottonwood	8.3			8.3	Fair	On Site			X
8177	Populus deltoides	Eastern cottonwood	7.7			7.7	Fair	On Site			X
8178	Populus deltoides	Eastern cottonwood	8.3			8.3	Fair	On Site			X
8179	Populus deltoides	Eastern cottonwood	6.9			6.9	Fair	On Site			X
8180	Populus deltoides	Eastern cottonwood	7.4			7.4	Fair	On Site	Building		X
8181	Fraxinus americana	White ash	7.6			7.6	Fair	On Site	Building		X
8182	Populus deltoides	Eastern cottonwood	7.6			7.6	Fair	On Site	Building		X
8183	Populus deltoides	Eastern cottonwood	6.7			6.7	Fair	On Site	Building		X
8184	Populus tremuloides	Quaking aspen	6.7			6.7	Fair	On Site	Building		X
8185	Populus tremuloides	Quaking aspen	6.2			6.2	Fair	On Site	Building		X
8186	Populus tremuloides	Quaking aspen	6.0			6	Fair	On Site			X
8187	Populus tremuloides	Quaking aspen	9.0			9	Fair	On Site			X
8188	Populus tremuloides	Quaking aspen	7.5			7.5	Fair	On Site	Building		X
8189	Populus tremuloides	Quaking aspen	6.4			6.4	Fair	On Site			X
8190	Populus gradidentata	Bigtooth aspen	7.4			7.4	Fair	On Site	Building		X
8191	Populus deltoides	Eastern cottonwood	10.5			10.5	Fair	On Site			X
8192	Populus alba	White poplar	10.9			10.9	Fair	On Site			X
8193	Populus tremuloides	Quaking aspen	8.2			8.2	Fair	On Site			X
8194	Populus gradidentata	Bigtooth aspen	10.3			10.3	Fair	On Site			X
8195	Quercus rubra	Red oak	6.0			6	Poor	On Site			X
8196	Carya ovata	Shagbark hickory	11.5			11.5	Fair	On Site			X
8197	Quercus rubra	Red oak	8.7			8.7	Fair	On Site			X
8198	Carya cordiformis	Bitternut hickory	10.6			10.6	Fair	On Site			X
8199	Carya cordiformis	Bitternut hickory	6.9			6.9	Fair	On Site			X
8200	Acer saccharinum	Silver maple	19.4			19.4	Fair	On Site		X	



ANDERSON, ECKSTEIN AND
WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

www.aewinc.com

ENGINEERING STRONG COMMUNITIES



[Signature]

05/19/2025	SITE PLAN RESUBMITTAL
05/31/2023	SITE PLAN RESUBMITTAL
02/10/2023	SITE PLAN RESUBMITTAL
DATE	SUBMITTALS/REVISIONS

PROJECT NAME:

GRANDVIEW CONDOMINIUM COMMUNITY

SHEET TITLE:

OVERALL DEVELOPMENT PLAN

CLIENT:

GRAND VIEW OF ROCHESTER, LLC

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: NAC	CHECKED BY: JLA	DATE: OCTOBER 2022
SCALE:	1" = 30'	0 15 30 60



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (ON CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY).

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO.

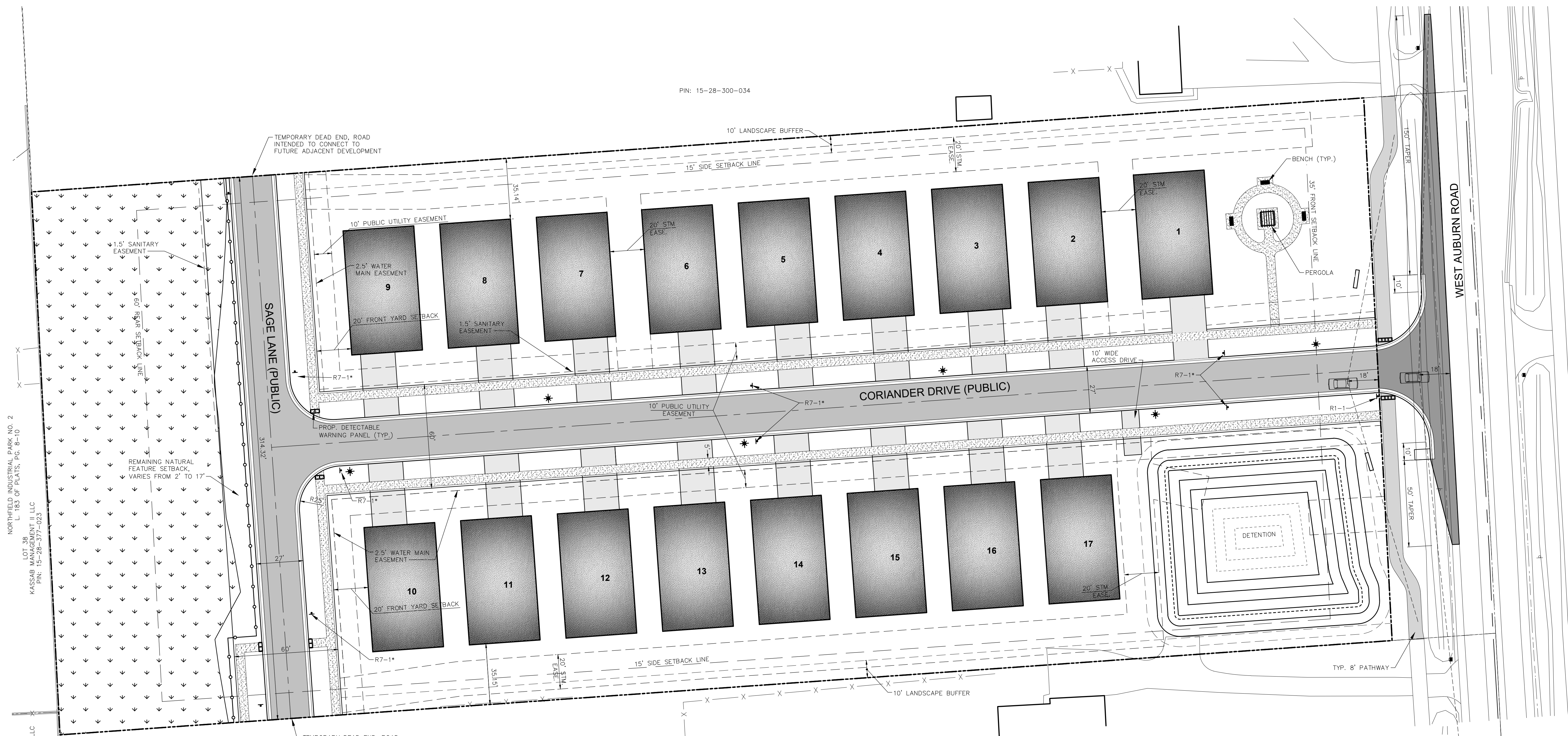
1645-0005

M:\1645\1645-0005\DWG\CIVIL\SITE PLAN\04_LAYOUT.DWG
04_Layout-11/20/2025 9:26:35 AM

SHEET NO.

4

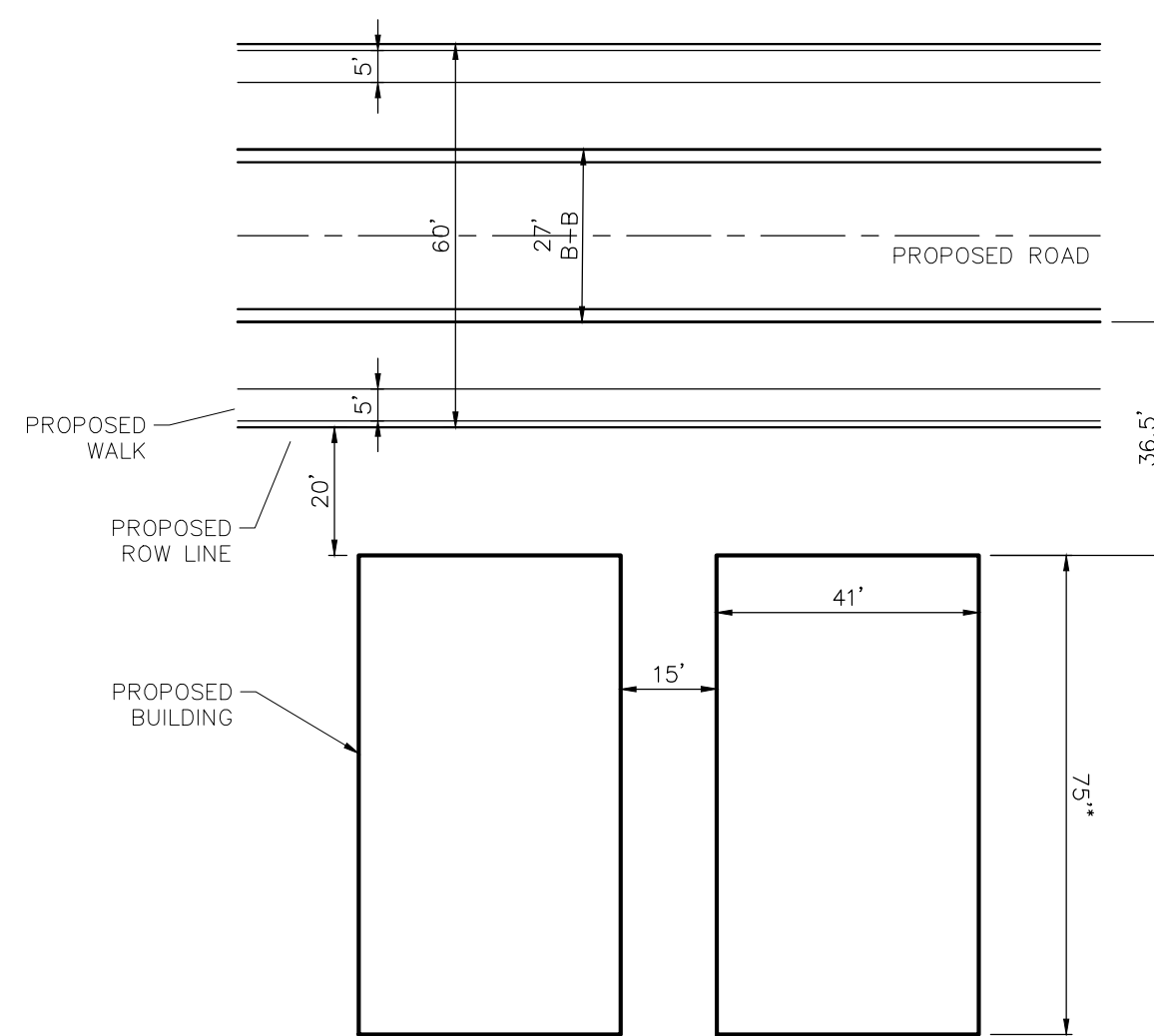
COPYRIGHT, 2022, ANDERSON, ECKSTEIN AND WESTRICK, INC.



CITY OF ROCHESTER HILLS HYDRANT FLOW TEST

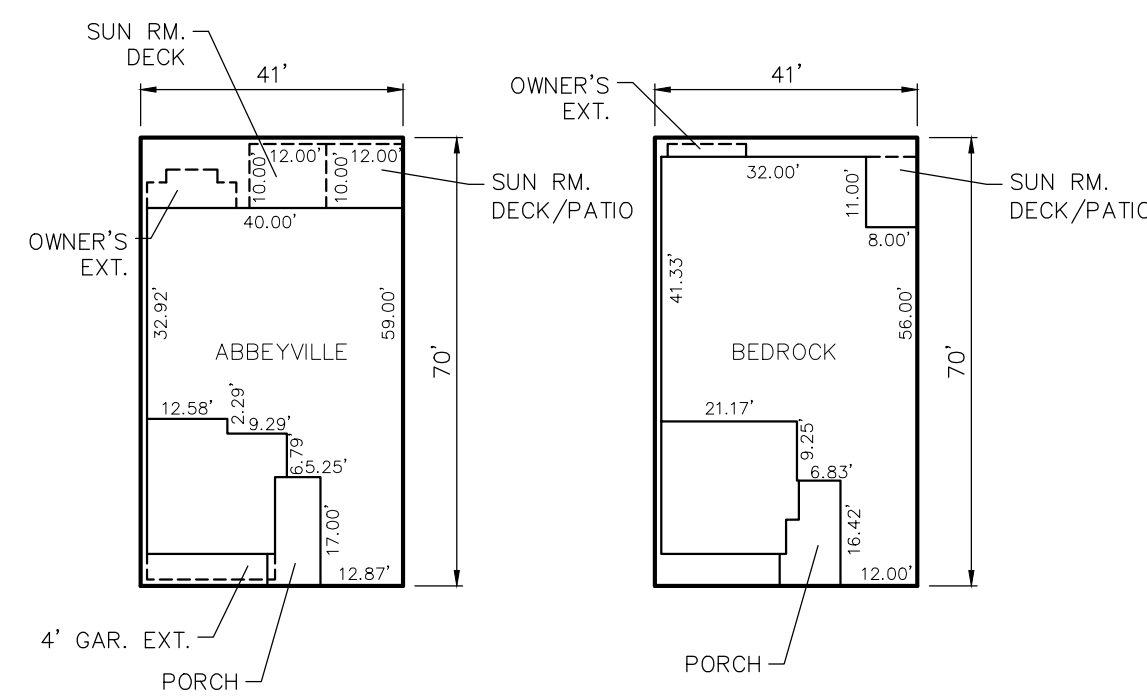
Date: 6/2/2023 Time: 9:00AM Test Performed By: W. RYAN M. GREENAWALD
Location: 1549 WEST AUBURN Calculations Performed By: WINNIE SYKES

Number of Hydrants Flowing: 1
Number of Outlets Open: 2
Size of Outlet, D (inches): 2 1/2
Friction Loss Coefficient, K: 9
Static Pressure, P_s (psi): 71
Residual Pressure, P_r (psi): 63
Pitot Pressure, P_p (psi): 34
Residual Flow, Q_r (GPM): 1958/1625 * Q_r = 28,889 GPM (P_r - P_s)^{0.848}
Flow Flow at 20 psi, Q₂₀ (GPM): 5397/4420 * Q₂₀ = 5397 GPM (P_r - P_s)^{0.848}
Supply Main Size (inches hydrant):
* Multiplied by .83 per NFPA 241
Drawing of Flow Test Site (Indicate location of flow & test hydrant):



TYPICAL UNIT SPACING DETAIL
SCALE: 1" = 30'

*DEPENDENT ON UNIT OPTIONS SELECTED



TYPICAL UNIT DETAIL:
SCALE: 1" = 30'

NOTES:

1. PROPOSED SIDEWALK AND RAMPS SHALL CONFORM TO ADA REQUIREMENTS.
2. PROPOSED SIDEWALKS WITHIN THE DEVELOPMENT SHALL BE 5' WIDE CONCRETE.
3. EACH UNIT WILL HAVE SPACE ALLOCATED FOR A MINIMUM FOUR (4) PARKING SPACES - PROVIDED BY A MINIMUM TWO-CAR GARAGE, PLUS TWO SPACES IN EACH DRIVEWAY (MINIMUM 20-FOOT LONG).
4. AN 8-FOOT WIDE PATHWAY TO BE PROVIDED ALONG SITE FRONTAGE.
5. THE TOTAL PROPOSED FLOOR SQUARE FOOTAGE OF EACH DWELLING UNIT IS 2,870 SQUARE FEET.
6. ALL ON-SITE SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE MUTCD.
7. LANDSCAPE BUFFERS WILL BE PROVIDED ON THE SIDES OF THE DEVELOPMENT AS SHOWN BUFFERING THE PROPERTY FROM THE ADJACENT USES.
8. THE DEVELOPMENT WILL CONTAIN PUBLIC ROADS. THE PROPOSED CONNECTION WILL BE COORDINATED WITH MDOT.



LEGEND

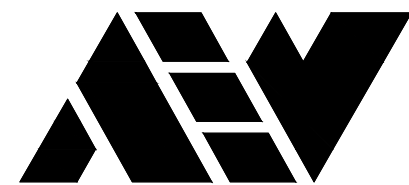
--- BOUNDARY LINE	---
- - - EXIST. EASEMENT	- - -
--- SECTION LINE	---
--- BOUNDARY/PROPERTY LINE	---
--- EXIST. SETBACK	---
--- EXIST. TREE LINE	---
--- EXIST. CURB AND GUTTER	---
--- EXIST. FENCE	---
--- EXIST. GRAVEL	---
--- EXIST. BUILDING	---
--- PROP. SETBACK	---
--- PROP. BUILDING	---
--- PROP. BACK OF CURB	---
--- PROP. R.O.W.	---
--- PROP. PHASE	---
--- PROP. LOT LINE	---
--- PROP. CONCRETE	---
--- PROP. ASPH.	---
--- PROP. LIGHT POLE	---
--- PROP. SIGN	---

CITY FILE #23-0022 SECTION #28

NOT TO BE USED AS CONSTRUCTION DRAWINGS



PROJECT: 2023-0022 / PSP2023-0010
REVISION: Revision #6
REVISED: 11/24/2025
PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT



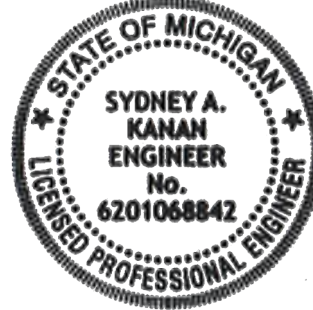
ANDERSON, ECKSTEIN AND
WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

www.aewinc.com

ENGINEERING STRONG COMMUNITIES



[Signature]

05/19/2025	SITE PLAN RESUBMITTAL
05/31/2023	SITE PLAN RESUBMITTAL
02/10/2023	SITE PLAN RESUBMITTAL
DATE	SUBMITTALS/REVISIONS

PROJECT NAME:

**GRANDVIEW
CONDOMINIUM
COMMUNITY**

SHEET TITLE:

UTILITY PLAN

CLIENT:

GRAND VIEW OF ROCHESTER, LLC

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: NAC	CHECKED BY: JLA	DATE: OCTOBER 2022
SCALE: 1" = 30'		



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES, (ON CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY).

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO.

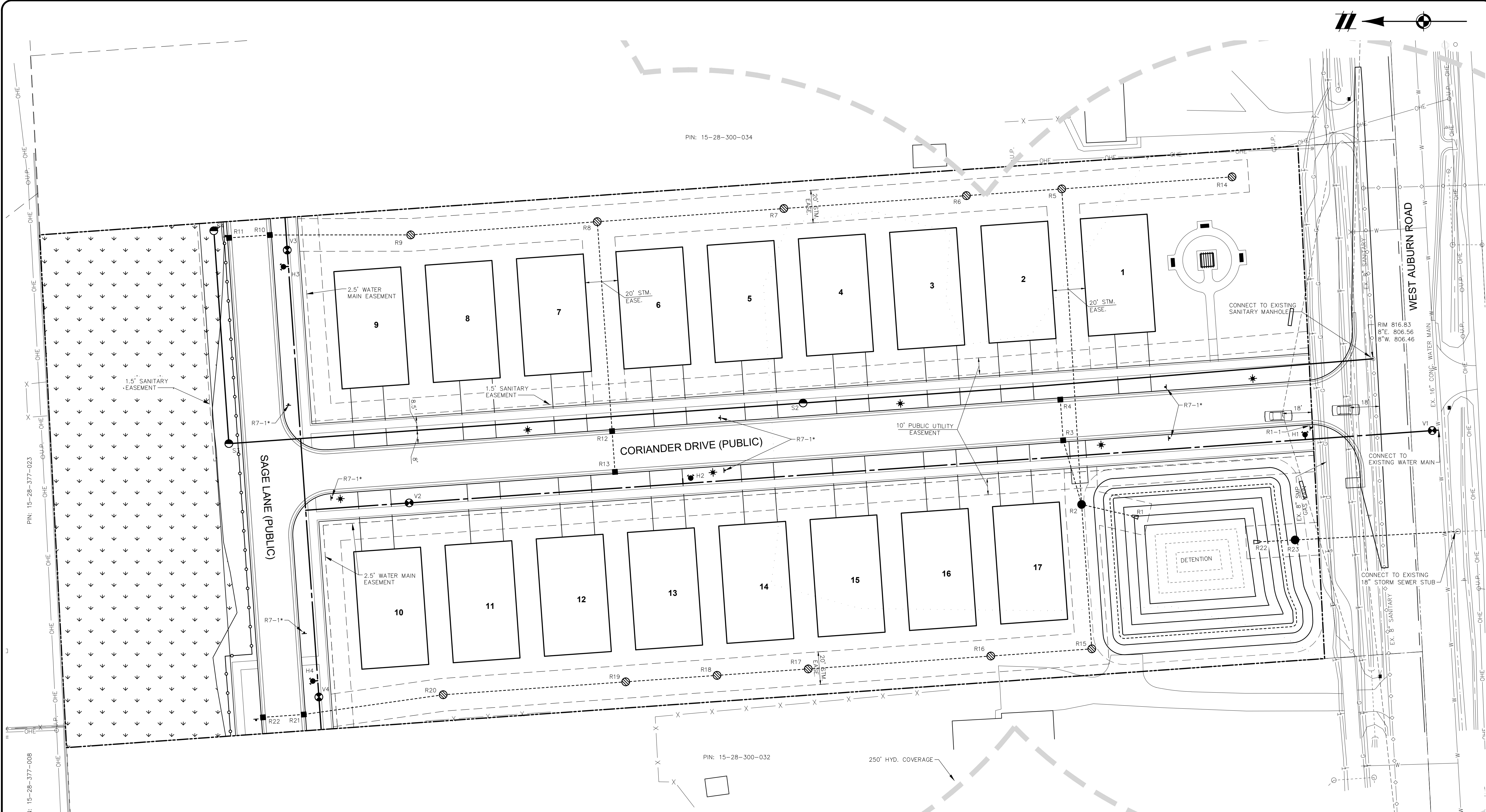
1645-0005

M:\1645\1645-0005\DWG\CIVIL\SITE PLAN\05_UTILITY.DWG
05_UTILITY-11/20/2025 9:28:48 AM

SHEET NO.

5

COPYRIGHT, 2022, ANDERSON, ECKSTEIN AND WESTRICK, INC.



SANITARY BASIS OF DESIGN

INITIAL AND ULTIMATE

NUMBER OF SINGLE FAMILY UNITS = 17 REV'S
POPULATION = (2.44 PEOPLE/UNIT)(17 UNITS) = 42 PEOPLE

AVERAGE FLOW = 42 PEOPLE x 100 GPCPD = 4,200 GPD

PEAKING FACTOR = $18 + \sqrt{0.042} = 4.33$
 $4 + \sqrt{0.042}$

PEAK FLOW = (4,200 GPD)(4.33) = 18,200 GPD
= 0.0282 CFS

CAPACITY OF 10" TRUSS @ 0.40% = 1.39 CFS
THEREFORE, THE PROPOSED 10" SANITARY SEWER HAS
ADEQUATE CAPACITY.

GENERAL UTILITY NOTES

1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF ROCHESTER HILLS STANDARDS AND SPECIFICATIONS.
2. ALL PROPOSED WATERMAIN SHALL BE 8" D.I. PIPE CLASS 54.
3. WATER LEADS TO BE 1" DIAMETER OR AS SPECIFIED BY ARCHITECT.
4. 8 INCH SANITARY MAINS SHALL BE PVC TRUSS PIPE.
5. 6 INCH SANITARY LEADS SHALL BE A MINIMUM SDR 23.5.
6. SANITARY LEADS WILL BE BURIED AT LEAST 5 FEET DEEP WHERE UNDER THE INFLUENCE OF PAVEMENT.

LEGEND

BOUNDARY LINE	PROF. BUILDING
EXIST. EASEMENT	PROF. BACK OF CURB
SECTION LINE	PROF. R.O.W.
BOUNDARY/PROPERTY LINE	PROF. EASEMENT
EXIST. SETBACK	PROF. DETENTION BASIN
EXIST. CURB AND GUTTER	PROF. SIDEWALK
EXIST. FENCE	PROF. WATERMAIN
EXIST. GRAVEL	PROF. SANITARY SEWER
EXIST. BUILDING	PROF. STORM SEWER
EXIST. WATER MAIN	PROF. HYD COVER
EXIST. SANITARY SEWER	PROF. WATER VALVE
801	PROF. FIRE HYDRANT
800	PROF. END SECTION
EXIST. 1' CONTOUR	PROF. CATCH BASIN/INLET
EXIST. 5' CONTOUR	PROF. STORM MANHOLE
EXIST. HYDRANT COVER	PROF. SANITARY MANHOLE
EXIST. FIRE HYDRANT	
EXIST. TEE	
PROF. BUILDING	

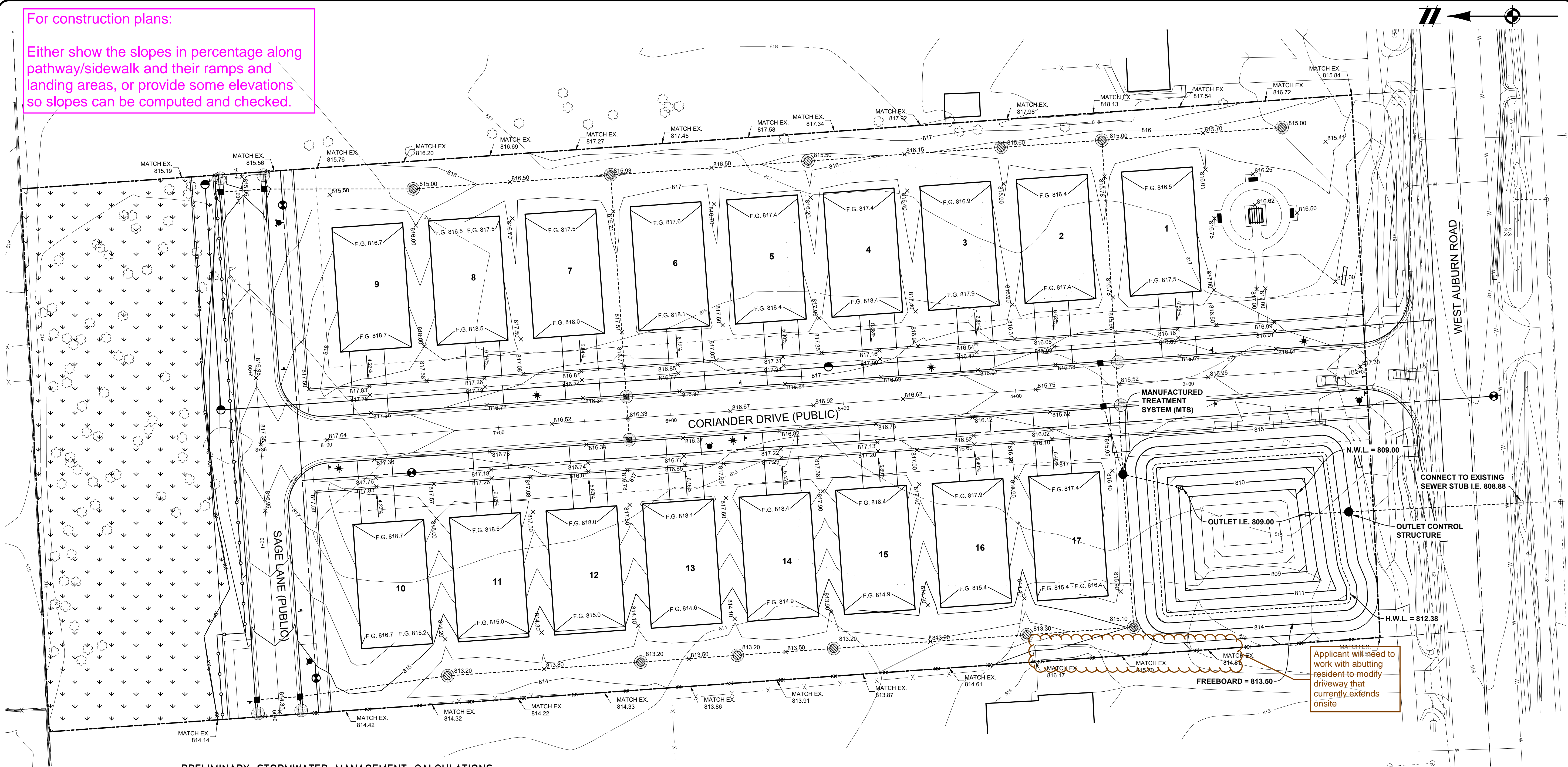


PROJECT: 2023-0022/PSD2023-0010
REVISION: Revision #6
RECEIVED: 11/24/2025
PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT

CITY FILE #23-0022 SECTION #28
NOT TO BE USED AS CONSTRUCTION DRAWINGS

For construction plans:

Either show the slopes in percentage along pathway/sidewalk and their ramps and landing areas, or provide some elevations so slopes can be computed and checked.



PRELIMINARY STORMWATER MANAGEMENT CALCULATIONS

OCWRC DETENTION CALCULATIONS

Part B: Determination of Surface Runoff

Total Site Area	A = 5.57	ac	
Welland Area	A = 0.72	ac	
Total Site Area to Pond	A = 4.85	ac	
Runoff Coefficient	C = 0.54		
Time of Concentration	T _c = 20.00	min	
Rainfall Return Period	p = 100	years	
Rainfall Depth	p ₁₀₀ = 5.40	inch	
Rainfall Intensity [Eq. II-7]	I = 5.23	in/hr	$= 30.2p^{0.22}/(T_c + 9.17)^{0.81}$

Peak Runoff [Eq. II-1]	Q = 13.80	cfs	= C*PA
Volume [Eq. II-3]	V = 51,724	cf	= 3.630p*C*A

Part D: Channel Protection Volume Control

Required CPVC Volume [Eq. II-9]	V _{CPVC} = 12,452	cf	= 4.719p*C*A
Required MEP Area	A _{MEP} = 14,539	sf	= 0.15*A _{MEP}
Preserved Welland Area	W _{MEP} = 33,105	sf	
MEP Credit Area	A _{CREDIT} = 16,553	sf	50%*W _{MEP}

Part E: Water Quality Control

Required Water Quality Volume [Eq. II-17]	V _{WQ} = 9,579	cf	= 3.630p*C*A
---	-------------------------	----	--------------

Option 1: Manufactured Treatment System (MTS)

Water Quality Rate [Eq. II-18]	Q _{WQ} = 5.19	cfs	= C*A*(30.20/(T _c + 9.17) ^{0.81})
--------------------------------	------------------------	-----	--

Option 2: Forebay

Required Forebay Volume [Eq. II-19]	V _f = 1,438	cfs	= 545p*C*A
-------------------------------------	------------------------	-----	------------

Part F: Channel Protection Rate Control: Extended Detention

Required Extended Detention Volume (per RH 4.4)	V _{ED} = 18,199	cf	= 6.897p*C*A
---	--------------------------	----	--------------

Head	H _{ED} = 3.18	ft	= Z _{ED} -Z _{out}
Required No. of 1-inch Holes [Eq. II-22]	H _{ED} = 2		= V _{ED} /(4.666p*H _{ED} ^{0.5})

Part G: Detention and Flood Control Facilities

100-Year Post Development Flow Rate [Eq. II-23]	Q ₁₀₀ = 13.80	cfs	= C*PA
Variable Release Rate [Eq. II-25]	Q _{VAR} = 0.780	cfs/ac	= 1.1055*(204*ln[A])
100-Year Post Development Peak Discharge	Q _{100P} = 3.78	cfs	= Q _{VAR} *A
Storage Curve Factor [Eq. II-26]	R = 0.40		= 0.206*(0.15*ln[Q _{100P} /Q ₁₀₀])

100-Year Post Development Runoff Volume [Eq. II-27]	V _{100P} = 50.096	cf	= 18.985p*C*A
100-Year Detention Volume [Eq. II-28]	V _{100D} = 20.043	cf	= V _{100P} *R-V _{100P}

OUTLET DESIGN CALCULATIONS

Orifice 1: Extended Detention Volume Orifice Sizing (Dewatered in 48 Hours)

Number of Holes	N = 1		
Selected Diameter of Holes	D _o = 1.5	in	@ Elev. 809.00
Orifice Area	A = 0.01	sf	
Actual Release Rate (Extended Detention)	Q _{ACT ED} = 0.11	cfs	= 0.62*A _o *(2p*g*H _{ED}) ^{0.5}
Actual Release Time (Extended Detention)	T _{ED} = 46.42	hr	= [V _{ED}]/[Q _{ACT ED} *3600]

Orifice 2: Detention and Flood Control Facilities

Orifice Requirements			
100-Year Post Development Peak Discharge	Q _{100P} = 3.78	cfs	
Flow Allowable (Flood Control)	Q _{100F} = 3.67	cfs	= Q _{100P} -Q _{ACT ED}
Storage Elevation (Flood Control)	Z _{100F} = 812.38		
Outlet Elevation	Z _{out} = 809.00		
Head (Flood Control)	H _{100F} = 3.38	ft	= Z _{100F} -Z _{out}
Orifice Area Required	A _o = 0.40	sf	= Q _{100F} /[0.62*(2p*g*H _{100F}) ^{0.5}]

Orifice Selection

Number of Holes	N = 2		
Required Diameter of Holes	D _o = 6.07	in	
Selected Diameter of Holes	D _o = 5	in	@ Elev. 812.38
Orifice Area	A = 0.27	sf	

Actual Release Rate (Flood Control)	Q _{ACT FC} = 2.49	cfs	= 0.62*A _o *(2p*g*H _{100F}) ^{0.5}
Actual Release Time (Flood Control)	T _{FC} = 2.23	hr	= [V _{ED}]/[Q _{ACT FC} *3600]

Is Q_{ACT FC} less than Q_{100F}? Yes Acceptable

DETENTION POND

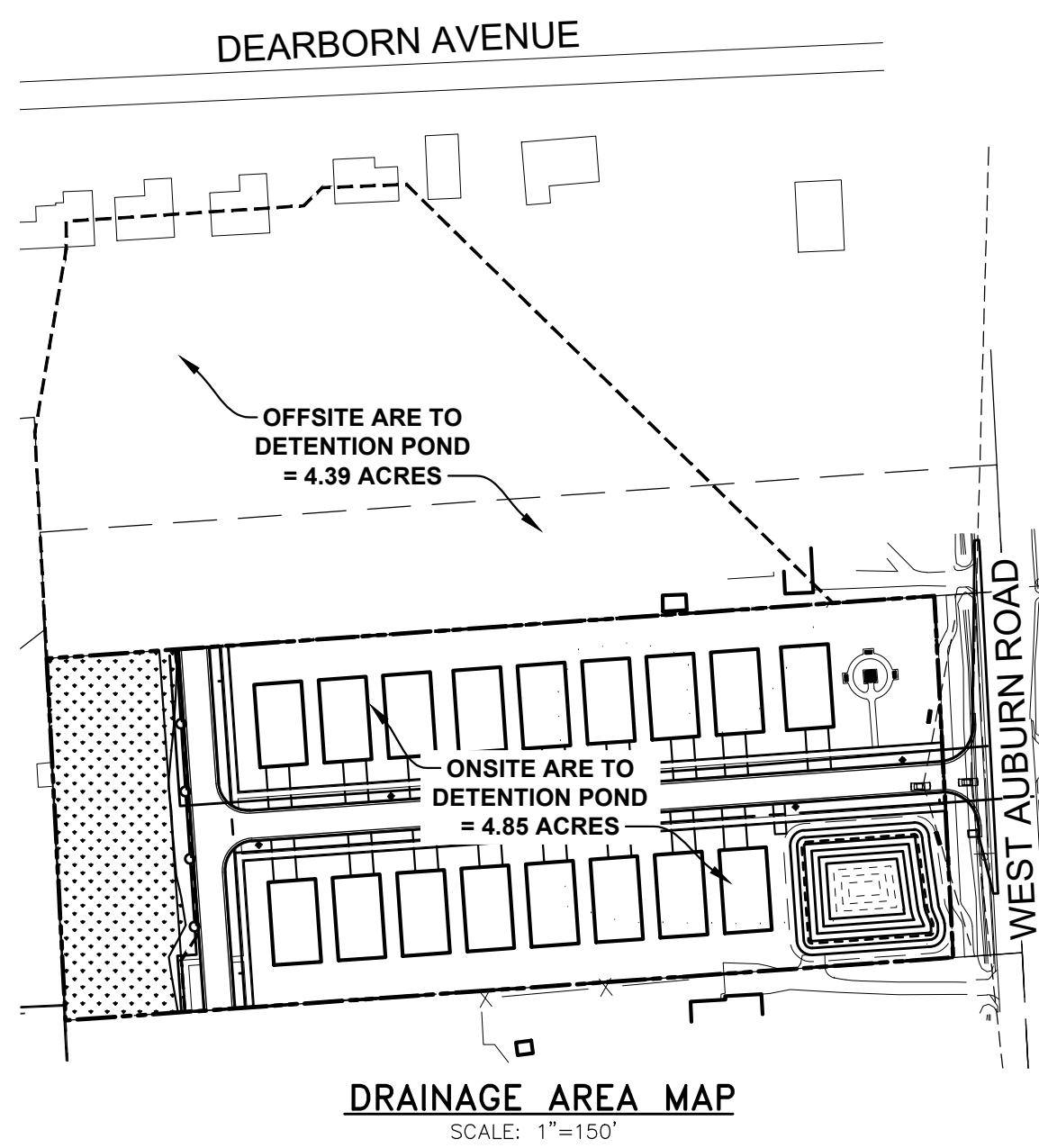
Elevation	Depth (ft)	Area (sf)	Volume (cf)	± Volume (cf)
814		13,250	11,952	37,910
813	1.00	10,700	9,514	25,957
812	1.00	8,375	7,312	16,444
811	1.00	6,299	5,382	9,131
810	1.00	4,515	3,749	
809	1.00	3,032		

V _{100D}	20.043	812.38
V _{ED}	18,199	812.18

Type	Area	C-Factor
Impervious	2.23	0.95
Previous	2.62	0.30
Total	4.85	0.54

GRADING NOTES

- THE DEVELOPER IS RESPONSIBLE FOR RESOLVING ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH ARE A RESULT OF THE DEVELOPER'S ACTIVITIES.
- SNOWFENCE SHALL BE INSTALLED AT THE BUFFER LINE PRIOR TO ANY GRADING ON-SITE AND SHALL REMAIN IN PLACE AND MAINTAINED PROPERLY DURING THE DURATION OF THE PROJECT. NO GRADING OR DISTURBANCE SHALL BE MADE IN THE BUFFER ZONE.
- PROPOSED GRADING SHOWN ON THIS PLAN IS CONCEPTUAL IN NATURE, TO DEMONSTRATE GENERAL DRAINAGE AND AREAS OF CUT AND FILL. SITE GRADING WILL BE DESIGNED IN MORE DETAIL DURING THE SITE PLAN AND ENGINEERING STAGES OF THE PROJECT.



LEGEND

BOUNDARY LINE	PROPERTY LINE	EXIST. ROADS	EXIST. CONTOUR	EXIST. FENCE	EXIST. GRAVEL	EXIST. STORM SEWER
EXIST. BUILDING	EXIST. WETLAND	EXIST. SIGN	EXIST. CATCH BASIN	EXIST. END SECTION	PROP. CONTOUR	PROP. RIGHT OF WAY
PROP. BACK OF CURB	PROP. SETBACK	PROP. SIDEWALK	PROP. BUILDING	PROP. STORM SEWER	PROP. SANITARY	PROP. 8" WATER MAIN
PROP. END SECTION	PROP. CATCH BASIN/INLET	PROP. STORM MANHOLE	PROP. FIRE HYDRANT	PROP. VALVE	PROP. SANITARY MANHOLE	PROP. INLET FILTER
PROP. SILT FENCE	PROP. DRAINAGE AREA					

Applicant will need to work with abutting resident to modify driveway that currently extends onsite



ANDERSON, ECKSTEIN AND WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road
Shelby Township
Michigan 48315

Phone 586 726 1234
Fax 586 726 8780

www.aewinc.com

ENGINEERING STRONG COMMUNITIES



Star logo

05/19/2025	SITE PLAN RESUBMITTAL
05/31/2023	SITE PLAN RESUBMITTAL
02/19/2023	SITE PLAN RESUBMITTAL
DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	

GRANDVIEW CONDOMINIUM COMMUNITY

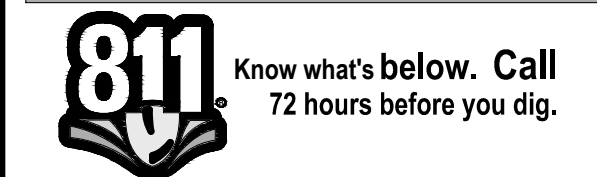
SHEET TITLE:

GRADING AND STORMWATER MANAGEMENT PLAN

CLIENT:

GRAND VIEW OF ROCHESTER, LLC

PRELIMINARY	CONSTRUCTION	RECORD
DRAWN BY:	CHECKED BY:	DATE:
NAC	JLA	OCTOBER 2022
SCALE:		
0 15 30 60		



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY).

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO.

1645-0005

M:\1645\1645-0005\DWG\CIVIL\SITE PLAN\06_GRADING.DWG

06_Grading-11/20/2025 9:28:43 AM

SHEET NO.

6

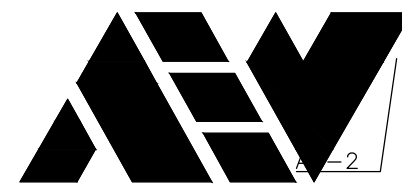
CITY FILE #23-0022 SECTION #28

NOT TO BE USED AS CONSTRUCTION DRAWINGS



PROJECT: 2023-0022/PS/2023-0010
REVISION: Revision #6
RECEIVED: 11/24/2025

COPYRIGHT, 2022, ANDERSON, ECKSTEIN AND WESTRICK, INC.



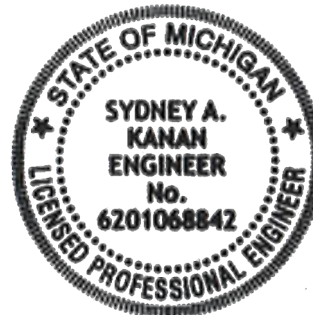
ANDERSON, ECKSTEIN AND WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

www.aewinc.com

ENGINEERING STRONG COMMUNITIES



SYDNEY A. KAHAN
ENGINEER
No. 620068942
LICENSED PROFESSIONAL ENGINEER

07/28/2025	SITE PLAN RESUBMITTAL
05/19/2025	SITE PLAN RESUBMITTAL
05/31/2023	SITE PLAN RESUBMITTAL
02/10/2023	SITE PLAN RESUBMITTAL
DATE	SUBMITTALS/REVISIONS

PROJECT NAME:

GRANDVIEW CONDOMINIUM COMMUNITY

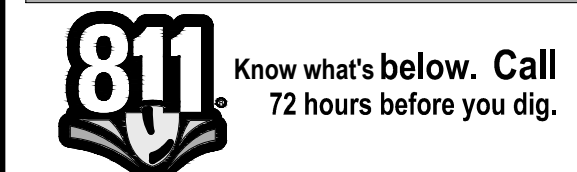
SHEET TITLE:

CONCEPTUAL LANDSCAPE PLAN

CLIENT:

GRAND VIEW OF ROCHESTER, LLC

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: NAC	CHECKED BY: JLA	DATE: OCTOBER 2022
SCALE:	1" = 30'	0 15 30 60



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY. AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY).

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO.

1645-0005

M:\1645\1645-0005\DWG\CIVIL\SITE PLAN\07_Landscape-11/20/2025 9:30 AM.dwg
07_Landscape-11/20/2025 9:30 AM.dwg

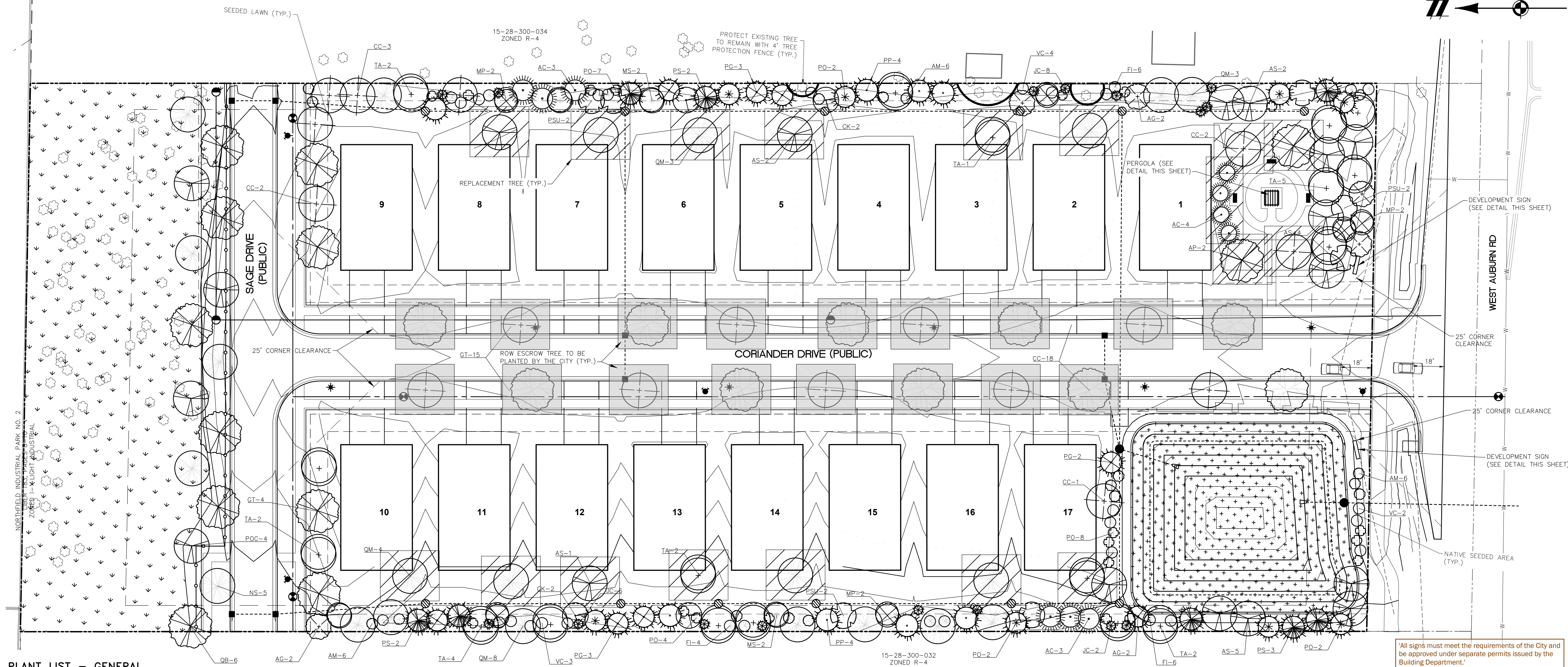
SHEET NO.

7










CITY FILE #23-0022 SECTION #28






NOT TO BE USED AS CONSTRUCTION DRAWINGS

COPYRIGHT, 2022, ANDERSON, ECKSTEIN AND WESTRICK, INC.



PLANT LIST - GENERAL

SYMBOL	KEY	CORIANDE SAGE TREE	ESCROW TREE	AUBURN RD TREE	EAST BUFFER TREE	WEST BUFFER TREE	REGULATED REPLACEMENT TREE	DETENTION / FOREWAY	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE	PRICE	TOTAL	
PROPOSED DECIDUOUS TREES															
	AS			4	2		3	5	14	Acer saccharum	Sugar Maple	2" cal B&B	\$425.00	\$5,950.00	
	AP	4					2		6	Acer platanoides	Crimson King Maple	2" cal B&B	\$425.00	\$2,550.00	
	CC	3	8		3		2	1	17	Carpinus caroliniana	European Hornbeam	2" cal B&B	\$300.00	\$5,100.00	
	GT	1	9						10	Gleditsia tricanthos 'Inermis'	Thornless Honeylocust	2" cal B&B	\$300.00	\$3,000.00	
	QM				3	8	7		18	Quercus macrocarpa	Bur Oak	2" cal B&B	\$425.00	\$7,650.00	
	TA	2		5	2	4	3	2	18	Tilia americana	Basswood	2" cal B&B	\$300.00	\$5,400.00	
	QB	5							6	Quercus bicolor	Swamp White Oak	2" cal B&B	\$350.00	\$2,100.00	
	NS	5							5	Nyssa sylvatica	Black Gum	2" cal B&B	\$350.00	\$1,750.00	
	POC	4							4	Platanus occidentalis	Sycamore	2" cal B&B	\$35.00	\$140.00	
		25	17	9	10	12	17	8	98						\$33,640.00

PROPOSED EVERGREEN TREES														
	AC			3	3	4		10	Abies concolor	Concolor Fir	10" hgt B&B	\$300.00	\$3,000.00	
	PG			3	3		2	8	Picea glauca	Black Hills Spruce	10" hgt B&B	\$300.00	\$2,400.00	
	PP			4	4			8	Picea pungens	Colorado Blue Spruce	10" hgt B&B	\$300.00	\$2,400.00	
	PO			2	2		2	6	Picea omorika	Serbian Spruce	10" hgt B&B	\$300.00	\$1,800.00	
	PS			2	2		3	7	Pinus strobus	White Pine	10" hgt B&B	\$300.00	\$2,100.00	
		0	0	0	14	14	4	7	39					\$11,700.00

PROPOSED ORNAMENTAL TREES															
⊗	AG			2	2	2			6	Amenanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2" cal B&B	\$200.00	\$1,200.00	
⊗	CK				2	2			4	Cornus Kousa 'Chinensis'	Chinese Dogwood	2" cal B&B	\$200.00	\$800.00	
⊗	MP			2	2	2			6	Malus 'Prairifire'	Prairifire Crab	2" cal B&B	\$200.00	\$1,200.00	
⊗	MS				2	2			4	Magnolia stellata 'Centennial'	Centennial Star Magnolia	2" cal B&B	\$200.00	\$800.00	
⊕	PSU			2	2	2			6	Prunus subhirtella	Weeping Higan Cherry	2" cal B&B	\$200.00	\$1,200.00	
		0	0	6	10	10	0	0	26						\$5,200.00

PROPOSED SHRUBS														
○ AM				6	6		6	18	Aronia melanocarpa 'Autumn Magic'	Black Autumn Magic Aronia	30" hgt B&B	\$50.00	\$900.00	
○ FI					6	6		18	Forsythia x intermedia 'Lynwood'	Lynwood Forsythia	30" hgt B&B	\$50.00	\$900.00	
● JC					8	6		2	16	Juniperus chinensis 'Sea Green'	Sea Green Juniper	30" hgt B&B	\$50.00	\$900.00
○ PQ					7	4		8	19	Physocarpus opulifolius 'Amber Jubilee'	Amber Jubilee Ninebark	30" hgt B&B	\$50.00	\$950.00
○ VC					4	3		2	9	Viburnum carlesii 'Koreanspice'	Koreanspice Viburnum	30" hgt B&B	\$50.00	\$450.00
				0	0	0	31	25	0	24	80			\$4,000.00

SEED/TREE FUND											
Basin/Forebay Seed Mix					1890 SY		Native Lo Pro Detention/Floodplain Mix (add in Annual Rye)	Rate: 14lbs/Acre	\$4.00/SY		\$7,560.00
Lawn Seed					5804 SY		MDOT THM Mix	Rate: 220lbs/Acre	\$4.00/SY		\$23,216.00
Irrigation System											\$20,000.00
Tree Fund (ROW Escrow)					17		Trees to be planted by the City in the Public Row ROW (1 per Lot)		\$334.00		\$5,678.00
Tree Fund (Replacement Requirement)					127		Needed to Satisfy the Replacement Tree Requirement		\$334.00		\$42,418.00
											\$98,872.00

NOTES:

- SEE SHEET 09 FOR LANDSCAPE NOTES AND DETAILS
- ALL SIGNS SHALL MEET THE REQUIREMENTS OF ROCHESTER HILLS AND BE APPROVED UNDER SEPARATE PERMIT, ISSUED BY THE BUILDING DEPARTMENT
- ALL PROPOSED PLANTINGS SHALL BE PLANTED BY THE DEVELOPER PRIOR TO C OF O.



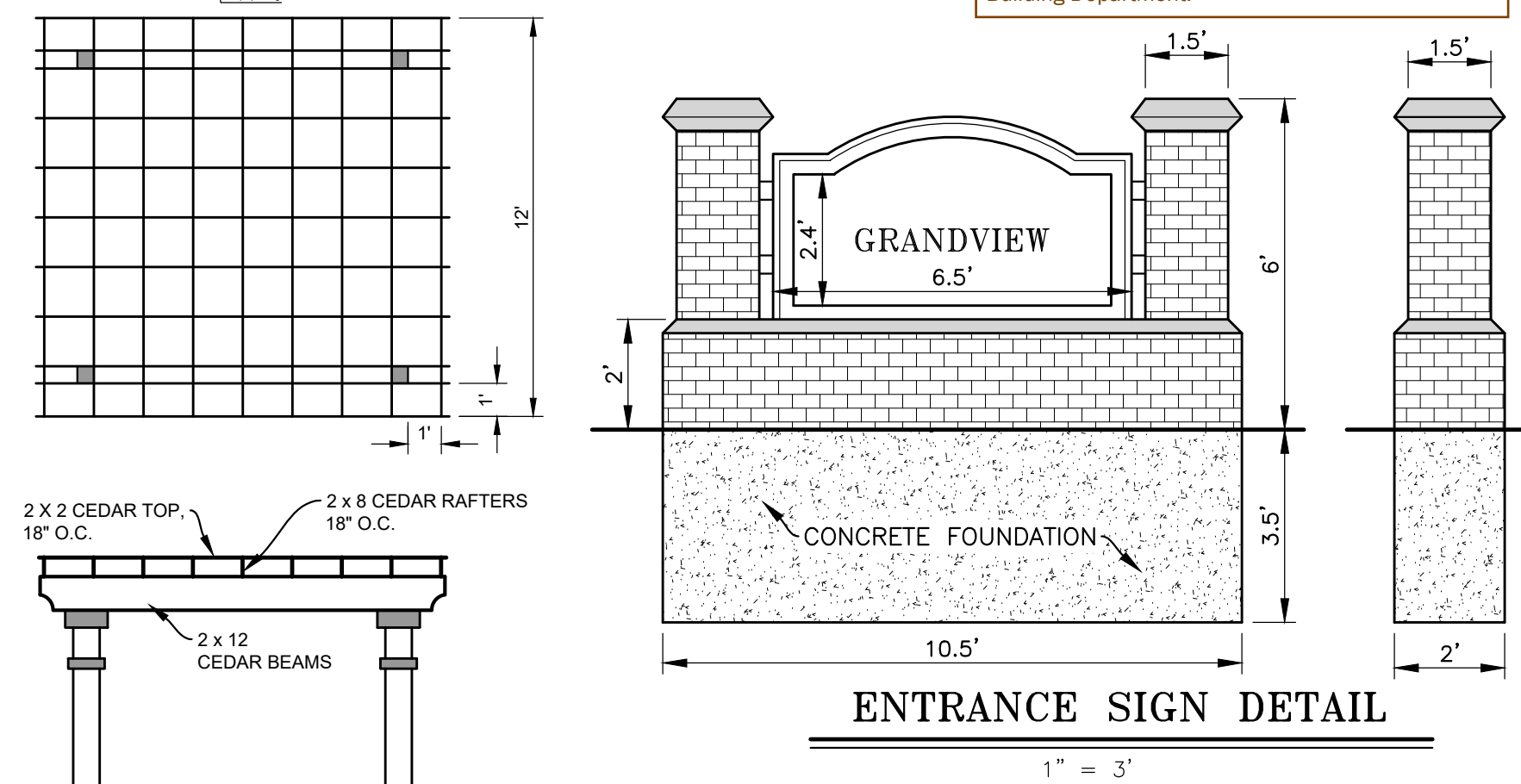
Landscape Bond

Landscape Bond = \$153,412.00 plus applicable fees

LANDSCAPE REQUIREMENTS

LANDSCAPE REQUIREMENTS			
Tree Replacements	Total Removed	Required	Provided
	137 Trees	139 Tree (See Sheet 03 for Calculation Breakdown)	21 Trees Provided @ 2" cal (118 Into Tree Fund)
ROW Trees	Location	Required	Provided
	Auburn Road	1 Deciduous Tree/35 LF 314/35 = 10 Trees 1 Ornamental Tree/60 LF 314/60 LF = 6 Trees	1 Existing Tree 9 Deciduous Trees 6 Ornamental
Escrow Trees	Escrow Trees	1 Tree/Lot @ 17 Lots = 17 Trees	17 Trees
	Along Interior Roads (Coriander and Sage)	1,290 LF (total for both sides of road) 1,290 / 35 LF = 51 Trees - Escrow Trees = 34 Trees	25 Deciduous Trees (9 Into Tree Fund)
East Buffer	Buffer Length	Required Buffer Type "B"	Provided Buffer Type "B"
	614 LF (measured from Auburn ROW to Sage ROW)	2 Deciduous Trees/100 LF = 13 2 Evergreen Trees/100 LF = 13 1.5 Ornamental Tree/100 LF = 10 4 Shrubs/100 LF = 25	15 Deciduous Trees (5 Existing) 14 Evergreen Trees 10 Ornamental Trees 31 Shrubs
West Buffer	473 LF (measured from detention pond to Sage ROW)	2 Deciduous Trees/100 LF = 10 2 Evergreen Trees/100 LF = 10 1.5 Ornamental Tree/100 LF = 7 4 Shrubs/100 LF = 19	16 Deciduous Trees (5 Existing) 14 Evergreen Trees 10 Ornamental Trees 25 Shrubs
	Total Length	1.5 Deciduous Trees/100 LF = 7 Trees 1 Evergreen Tree/100 LF = 5 Trees 4 Shrubs/100 LF = 18 Shrubs	8 Deciduous Trees 5 Evergreen Trees 18 Shrubs
Detention Basin and Open Space	450 LF (perimeter)		

* 5 existing trees are being preserved and are of the required size to satisfy part of this requirement



PERGOLA DETAILS

NOT TO SCALE

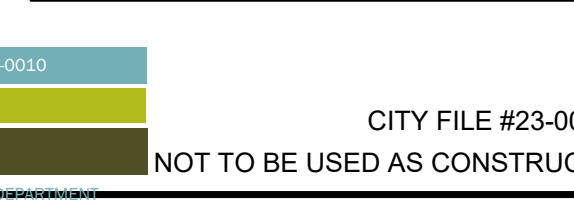
PLANT LIST - LOT

SYMBOL	KEY	PER LOT	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE	PRICE	TOTAL
PROPOSED DECIDUOUS TREES								
CK	1	18	18	Cornus Kousa	Kousa Dogwood	2" cal B&B	\$425.00	\$7,650.00
PROPOSED ORNAMENTAL TREES								
VC	1	18	18	Viburnum Carlesii	Korean Spice Viburnum	3" cal B&B	\$200.00	\$3,600.00
PROPOSED SHRUBS								
BM	3	54	54	Buxus M. "Green Mountain"	Green Mountain Boxwood	30" cal B&B	\$50.00	\$2,700.00
SG	3	54	54	Spiraea Japonica "Goldmound"	Goldmound Spiraea	30" high cont.	\$50.00	\$2,700.00
PAL	4	72	72	Pennisetum Alopecuroides "Little Bunny"	Little Bunny Fountain Grass	#1 cont.	\$30.00	\$2,160.00
SED	9	162	162	Sedum Spectabile "Neon"	Neon Sedum	#1 cont.	\$30.00	\$4,860.00
PAH	1	18	18	Pennisetum Alopecuroides "Hamel"	Dwarf Fountain Grass	#3 cont.	\$30.00	\$540.00
PAC	2	36	36	Pachysandra Terminalis "Green Carpet"	Green Carpe Pachysandra	32/#flat	\$30.00	\$1,080.00
								\$14,040.00



PROJECT: 12023-0022/RSP2023-0010
REVISION: Revision #6
RECEIVED: 11/24/2025

TYPICAL LOT LANDSCAPING



LANDSCAPE NOTES

1. ALL PLANTS SHALL BE NORTH MIDWEST AMERICAN REGION GROWN, NO.1 GRADE PLANT MATERIALS, AND SHALL BE TRUE TO NAME, FREE FROM PHYSICAL DAMAGE AND WIND BURN.
2. PLANTS SHALL BE FULL, WELL-BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.
3. PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.
4. ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST TWO (2) FULL YEARS FOLLOWING CITY APPROVAL.
5. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK.
6. PROVIDE CLEAN BACKFILL SOIL, USING MATERIAL STOCKPILED ON SITE. SOIL SHALL BE SCREENED AND FREE OF ANY DEBRIS, FOREIGN MATERIAL, AND STONE.
7. "AGRIFORM" TABS OR SIMILAR SLOW-RELEASE FERTILIZER SHALL BE ADDED TO THE PLANTING PUTS BEFORE BEING BACKFILLED.
8. AMENDED PLANTING MIX SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND AND 1/3 PEAT, MIXED WELL AND SPREAD TO THE DEPTH AS INDICATED IN PLANTING DETAILS.
9. ALL PLANTINGS SHALL BE MULCHED PER PLANTING DETAILS LOCATED ON THIS SHEET.
10. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK SHOWN ON THE LANDSCAPE DRAWINGS AND SPECIFICATIONS.
11. NO SUBSTITUTIONS OR CHANGES OF LOCATION OR PLANT TYPES SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT AND CITY.
12. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND THE FIELD CONDITIONS PRIOR TO INSTALLATION.
13. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN THE VERTICAL CONDITIONS THROUGHOUT THE GUARANTEED PERIOD.
14. THE LANDSCAPE ARCHITECT SHALL HAVE THE RIGHT, AT ANY STAGE OF THE INSTALLATION, TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS, IF REQUESTED BY OWNER.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING PLANT QUANTITIES TO ENSURE QUANTITIES ON DRAWINGS AND PLANT LIST ARE THE SAME. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES ON THE PLANS SHALL PREVAIL.
16. THE LANDSCAPE CONTRACTOR SHALL SEED AND MULCH OR SOD (AS INDICATED ON PLANS) ALL AREAS DISTURBED DURING CONSTRUCTION, THROUGHOUT THE CONTRACT LIMITS.
17. A PRE-EMERGENT WEED CONTROL AGENT, "PREN" OR EQUAL, SHALL BE APPLIED UNIFORMLY ON TOP OF ALL MULCHING IN PLANTING BEDS.
18. ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN UNDERGROUND AUTOMATIC SPRINKLER SYSTEM.
19. SOD SHALL BE TWO YEAR OLD "BARON/CHERIEADELPHI" KENTUCKY BLUE GRASS, GROWN IN A SOD NURSERY ON LOAM SOIL.
20. ALL GROUND MOUNTED UTILITIES SHALL BE FULLY SCREENED FROM VIEW.
21. ALL LANDSCAPING REQUIRED PURSUANT TO CITY OF ROCHESTER HILLS CODES AND ORDINANCES SHALL BE MAINTAINED IN PERPETUITY.

MAINTENANCE NOTES

SECTION 138-12.109- MAINTENANCE

THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE LANDSCAPING, AS FOLLOWS:

A. LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITIONS, FREE FROM DEBRIS.

B. PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.

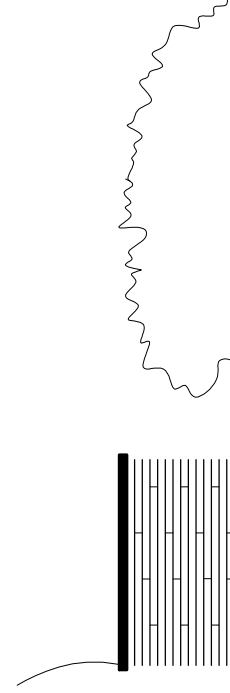
C. ALL DEAD, DAMAGED OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SECTION, SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND FROM OCTOBER UNTIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. INTENDED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF MATERIAL TO REPLACE. THE CITY MAY NOTIFY PROPERTY OWNERS OF THE NEED TO REPLACE DEAD DA MATERIAL.

D. THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF ANY RECORD. APPROVAL, UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE AFOREMENTIONED PROCEDURES, AN REMOVAL OF PLANT MATERIALS, OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF THIS PLAN WILL PLACE THE PARCEL IN NON-COMFORMITY WITH THE APPROVED LANDSCAPE PLAN AND WILL BE AN ORDINANCE.

E. IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH BASIS AT MONETARY DISCRETION OF THE FORESTRY DEPARTMENT.

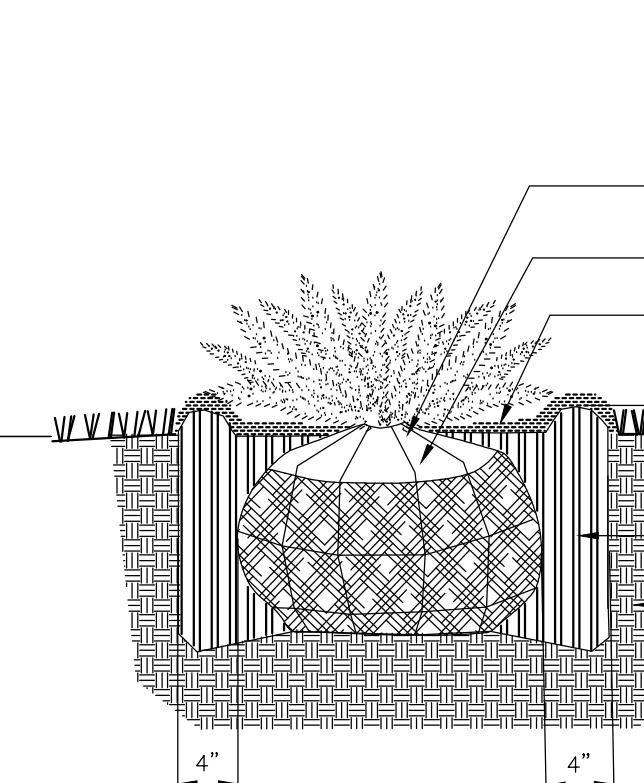
ELEVATION

PLAN



TREE PROTECTION FENCE DETAIL

NO SCALE



- NOTES:
1. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING
 2. WATER SHRUB THOROUGHLY SUBSEQUENT TO INSTALLATION

SHRUB PLANTING DETAIL

NO SCALE



ADDITIONAL NOTES

1. ALL LANDS UNDERGROUND
2. ISLANDS SH
3. OWNER SH
4. DUE TO UTI
5. PRIOR TO
6. ROCHES
7. EXISTING
8. SAFE USE
9. DEVELOP
10. THE REQUI
11. PRIOR AP
12. PUBLIC RI
13. FROM THE
14. 15' AWAY
15. MORE TH
16. AT LEAST
17. BE AT LE
18. BE PLANT
19. THE CITY
20. NO SUBS
21. THE REQUI
22. MADE WIT
23. ROCHES
24. HAS FIN
25. AND MA
26. TO RE
27. RE
28. THE DE
29. ARCHIT
30. TO RE
31. EXISTING
32. TR
33. 11. IRR
34. ACCORD
35. IRRIGATION
36. PATHWAYS

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg

NOT TO SCALE

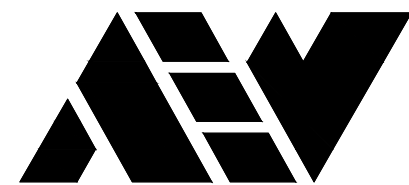
SHEET 1 OF 1

CITY OF ROCHESTER HILLS

STANDARD DETAIL FOR:

30" Mountable Concrete Curb & Gutter

1:\Eng\DWG\DETAILS\SPATHWAY\Pathway.dwg 027-HMA Pthwy Const-Est-Rokoc-Rid Nls & Dets.dwg



ANDERSON, ECKSTEIN AND
WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Fax 586 726 8780
Michigan 48315

www.aewinc.com

ENGINEERING STRONG COMMUNITIES



[Signature]

05/18/2025 02/10/2023	SITE PLAN RESUBMITTAL SITE PLAN RESUBMITTAL
DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	
GRANDVIEW CONDOMINIUM COMMUNITY	
SHEET TITLE:	
SIDEWALK DETAILS	
CLIENT: GRAND VIEW OF ROCHESTER, LLC	
PRELIMINARY <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> RECORD <input type="checkbox"/>	
DRAWN BY: NAC	CHECKED BY: JLA
DATE: OCTOBER 2022	
SCALE: NONE	

GRANDVIEW CONDOMINIUM COMMUNITY

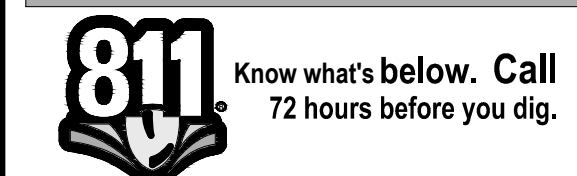
SHEET TITLE:

SIDEWALK DETAILS

CLIENT:

GRAND VIEW OF ROCHESTER, LLC

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: NAC	CHECKED BY: JLA	DATE: OCTOBER 2022
SCALE: NONE		



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY).

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO.

1645-0005



PROJECT: 10223-0022/PS/2025-0010

REVISION: Revision #6

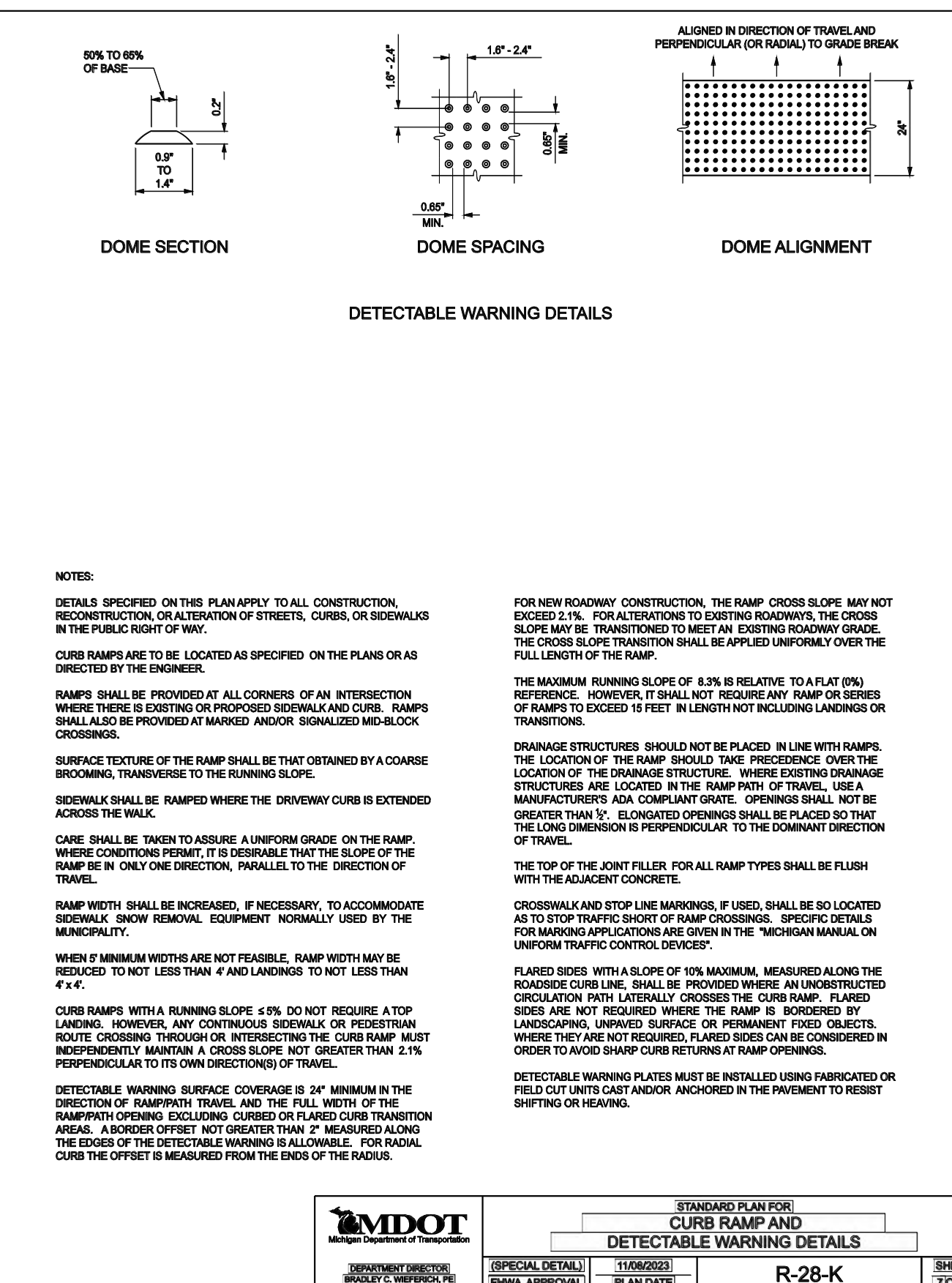
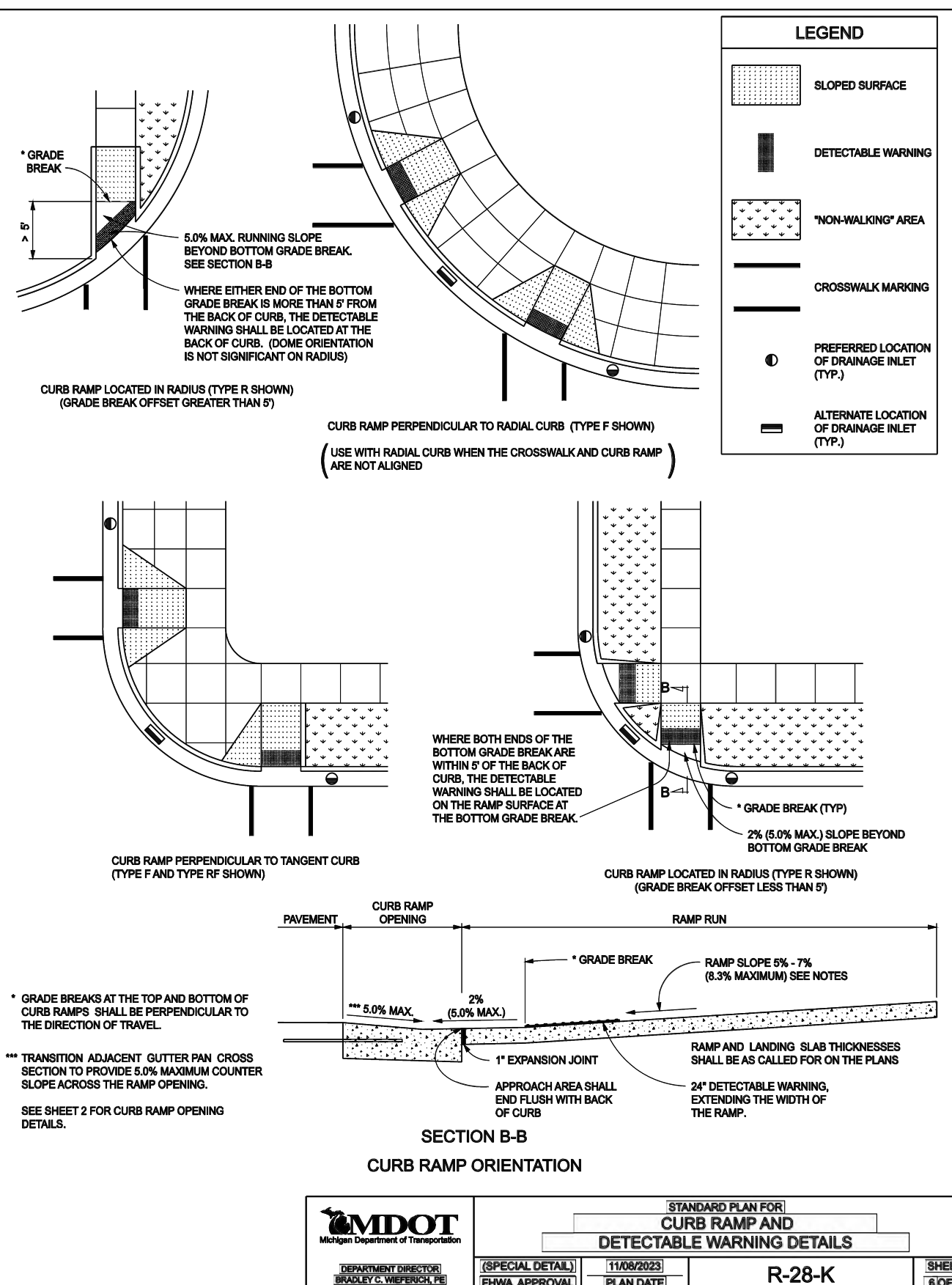
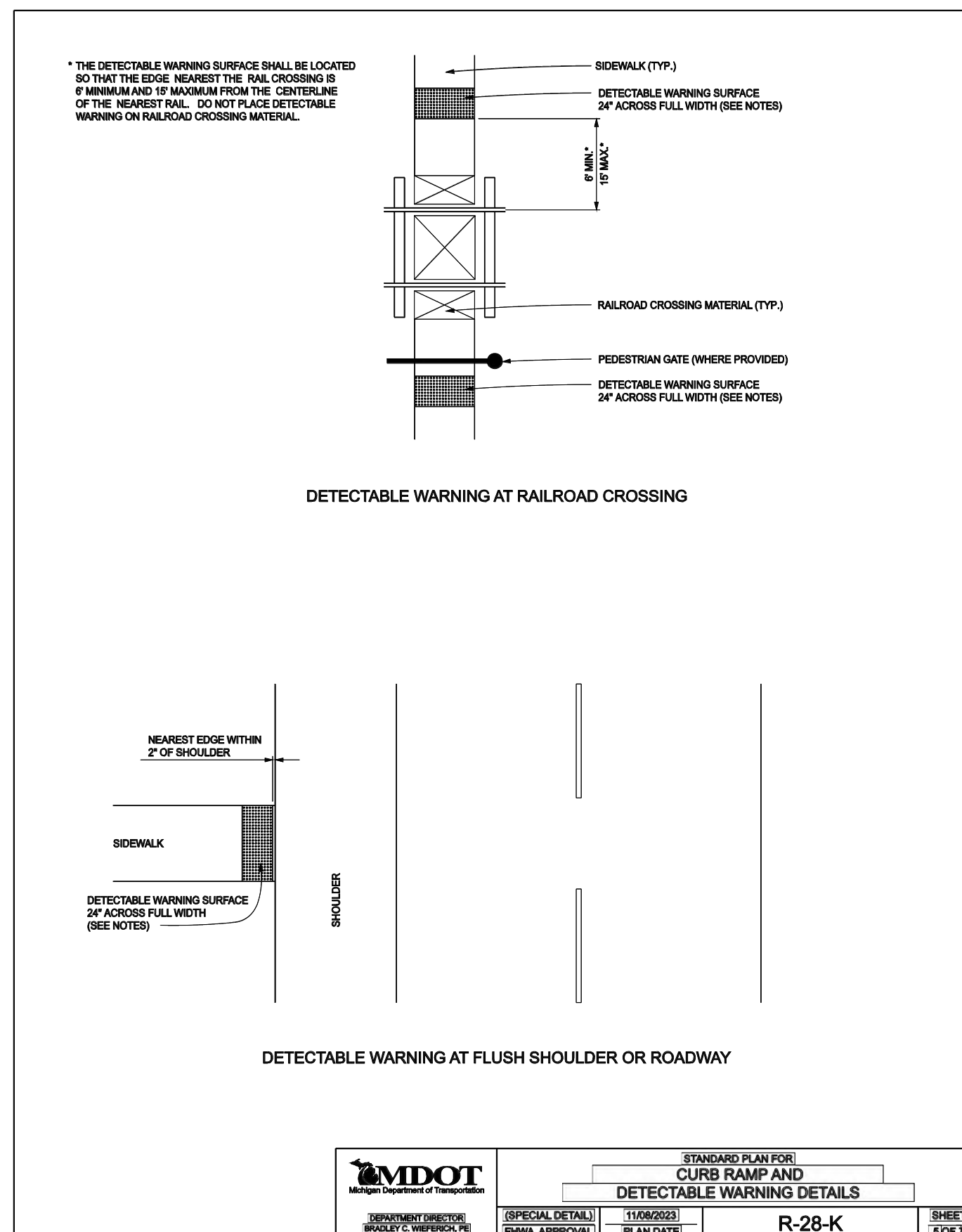
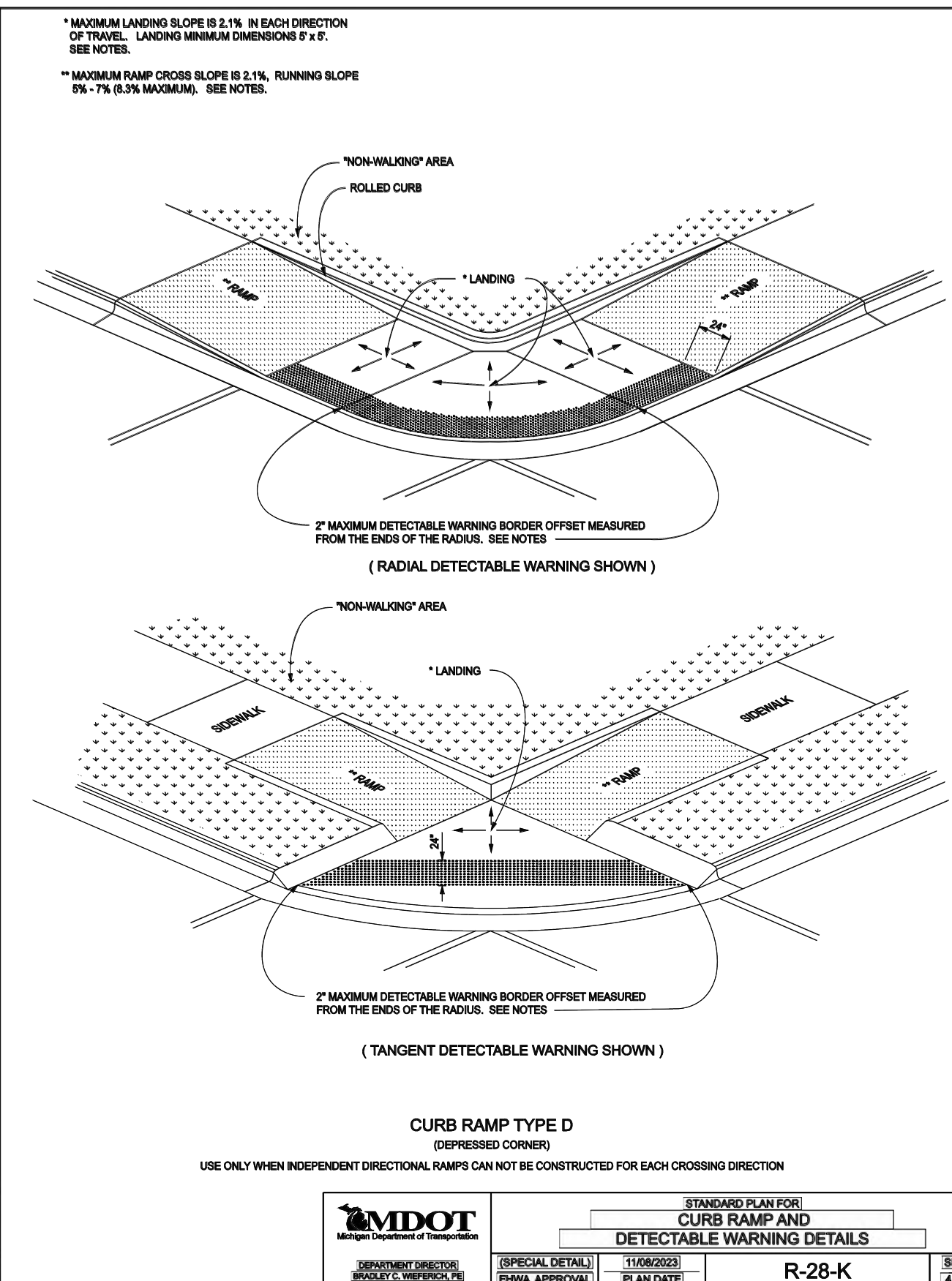
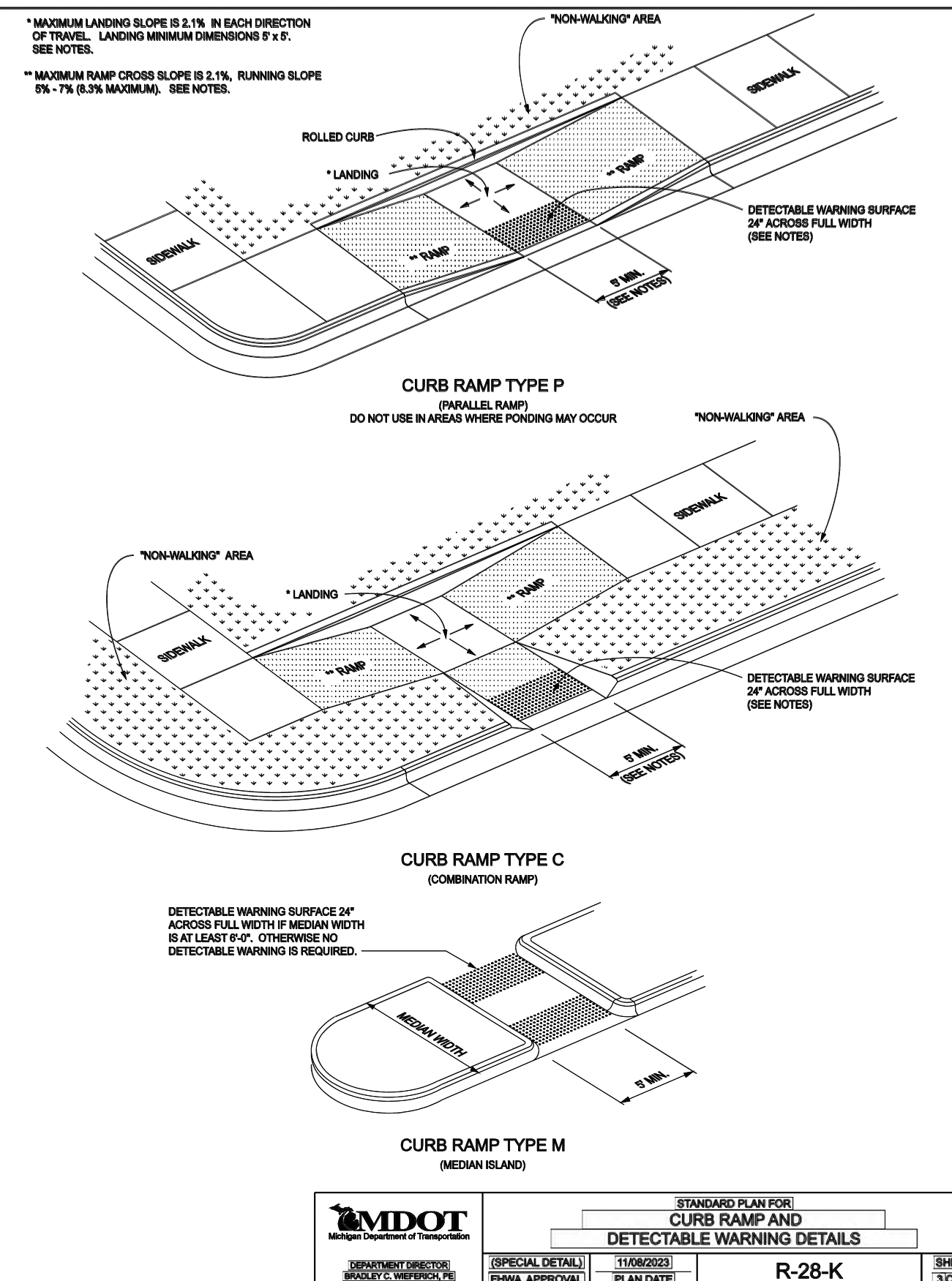
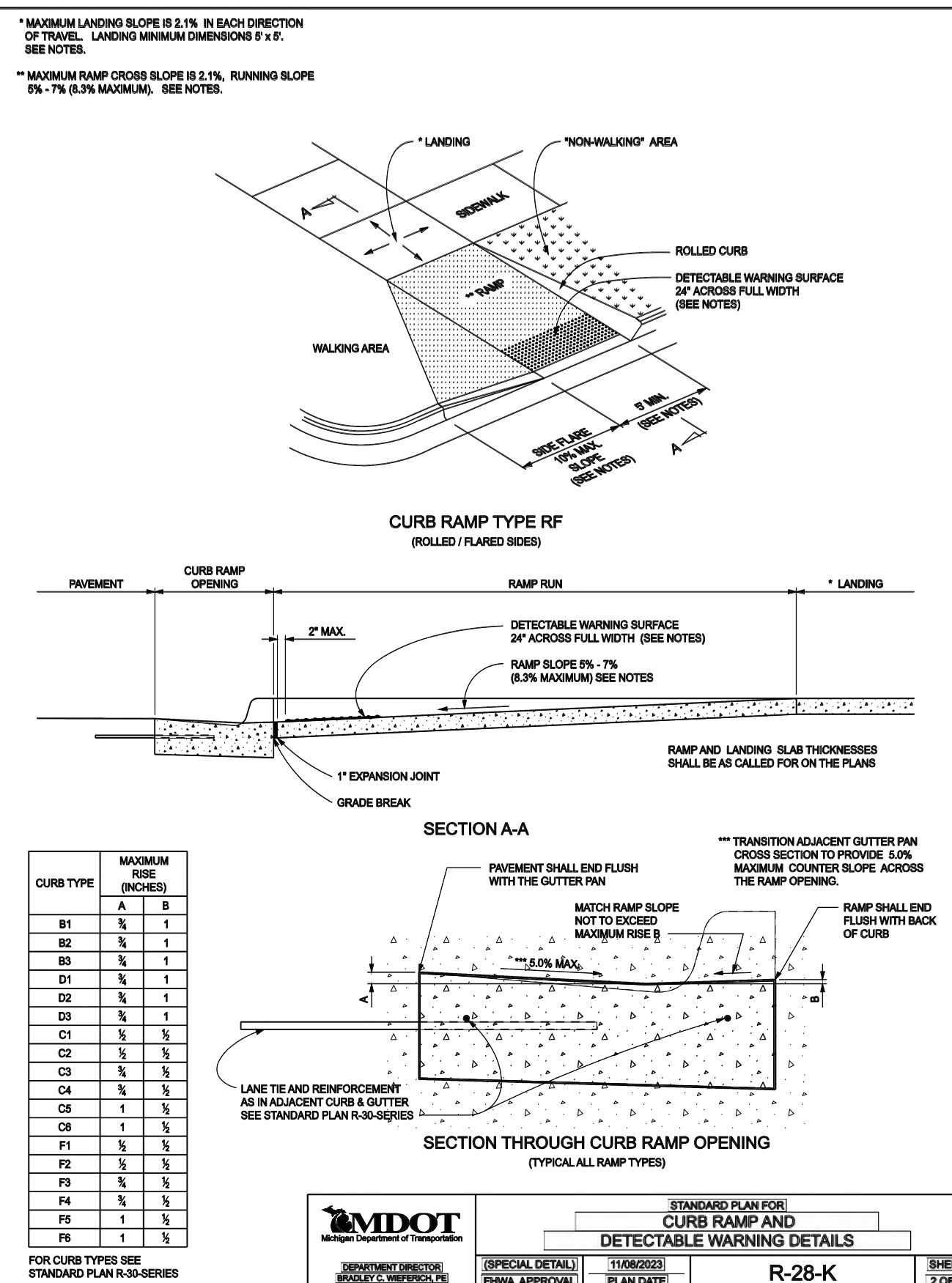
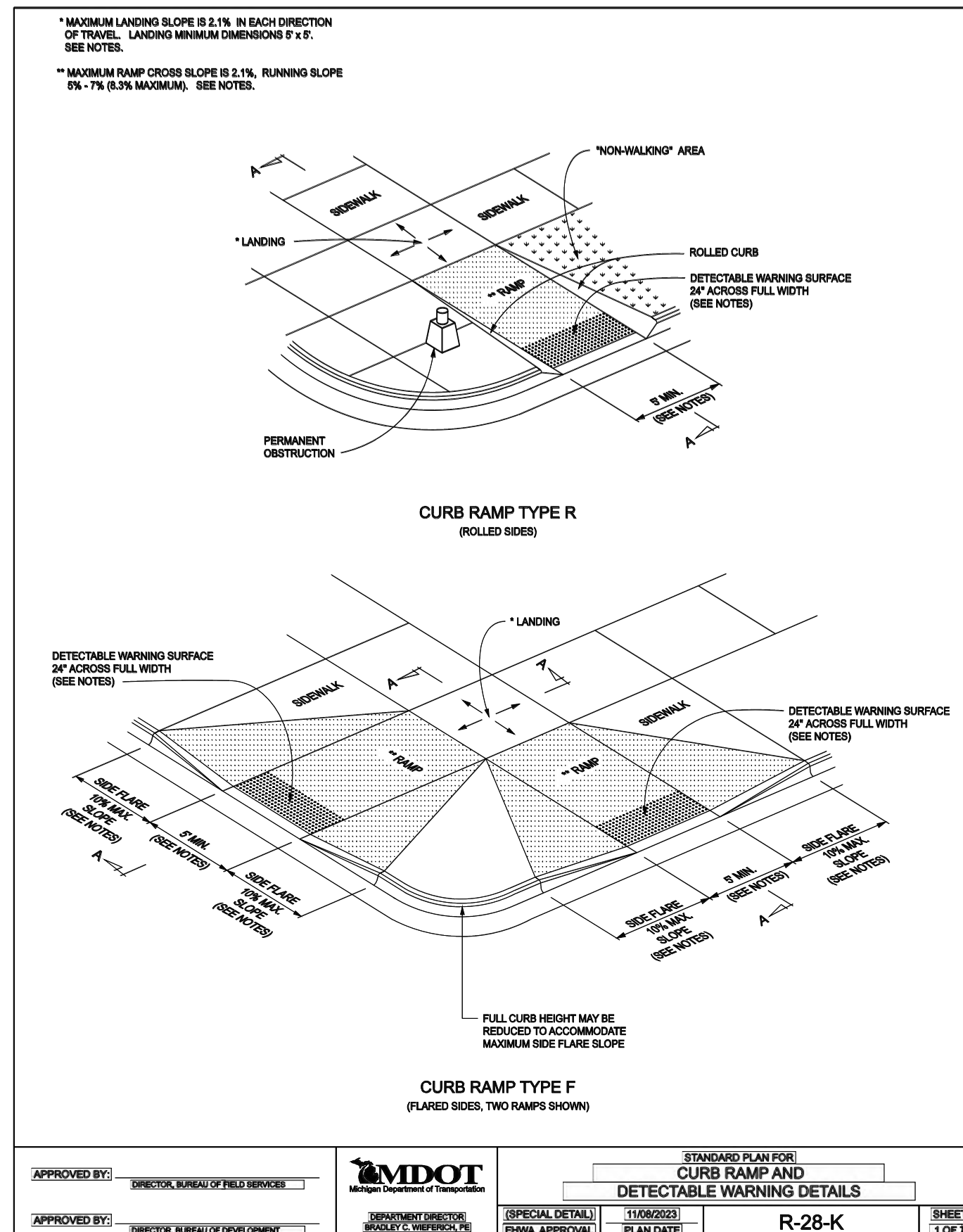
RECEIVED: 11/24/2025

PLANNING & ECONOMIC DEVELOPMENT

CITY FILE #23-0022 SECTION #28

NOT TO BE USED AS CONSTRUCTION DRAWINGS

COPYRIGHT, 2022, ANDERSON, ECKSTEIN AND WESTRICK, INC.



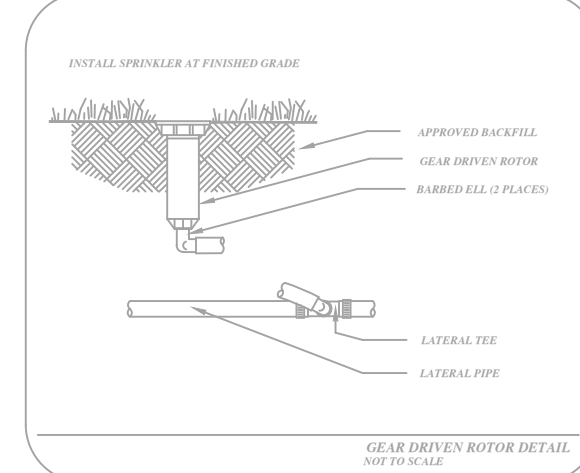
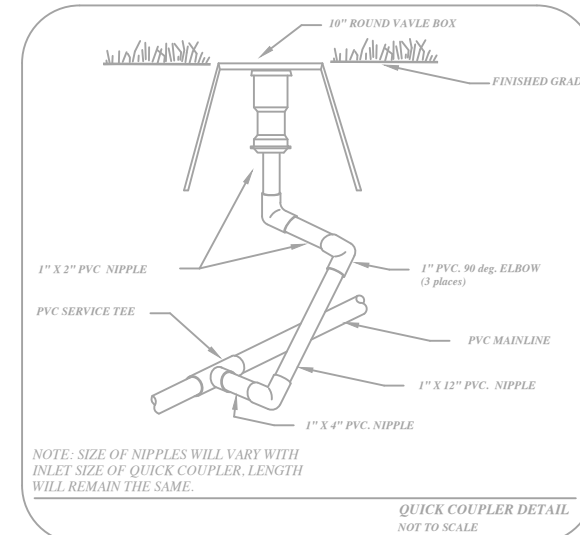
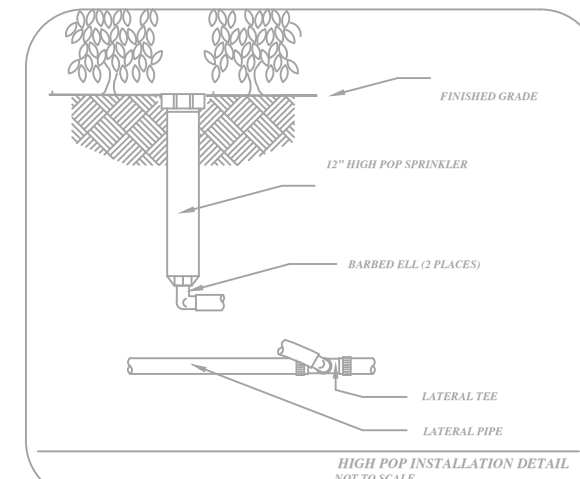
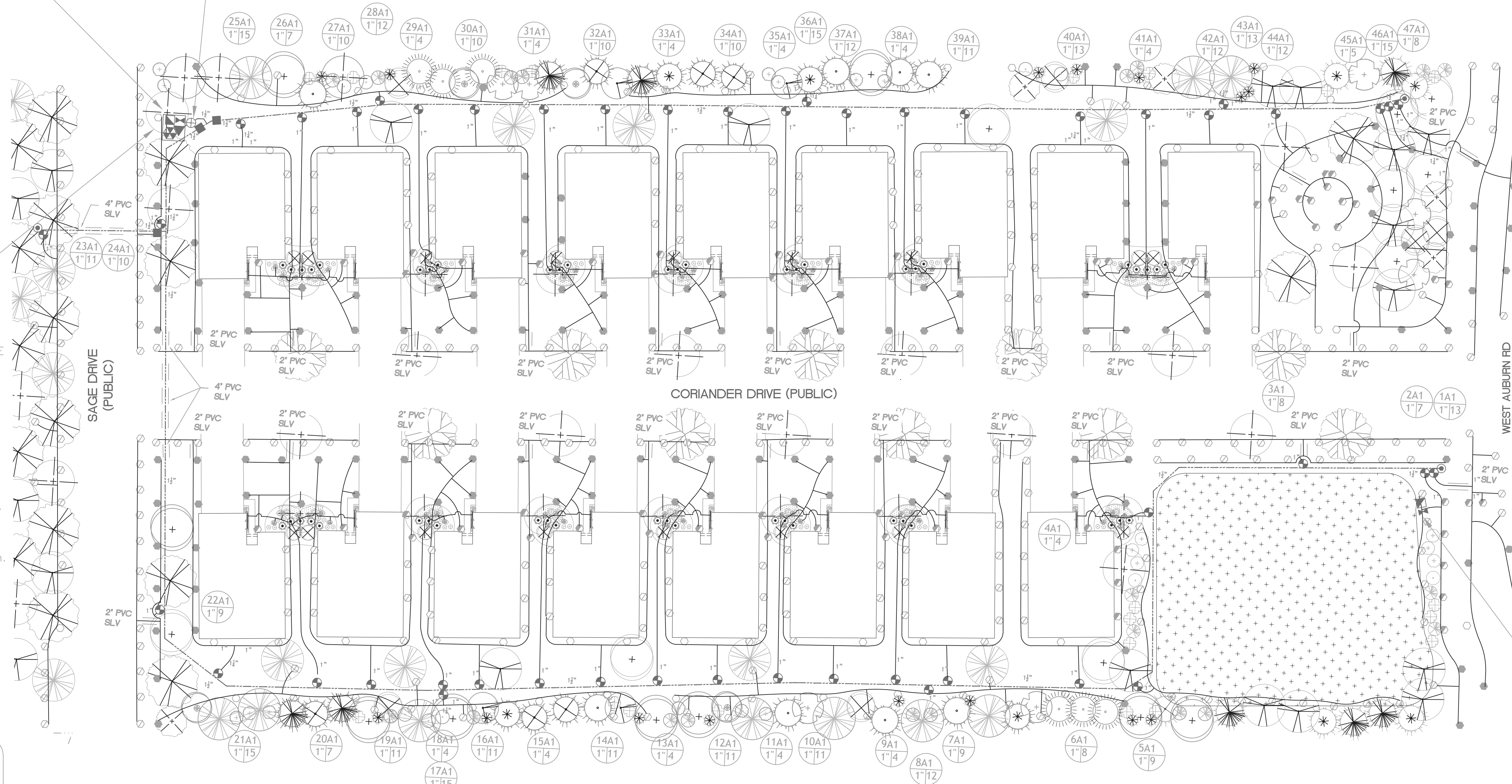
Add any crosswalk marking details here.

COORDINATE ALL COMMUNICATION WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. IRRIGATION CONTRACTOR RESPONSIBLE FOR CONTACTING THE CITY REGARDING WATER MAIN TAP PRIOR TO CONSTRUCTION. ENSURE WATER MAIN TAP AND SERVICE LINE INSTALLATION MEETS OWNER'S REPRESENTATIVES PROJECT SCHEDULING. CITY TO PERFORM TAP INTO EXISTING WATER MAIN AND INSTALL NEW SERVICE LINE TO LOCATION SHOWN. SEE DETAIL THIS SHEET.. IRRIGATION CONTRACTOR RESPONSIBLE FOR ALL PERMITS, FEES AND SCHEDULING WITH THE CITY. ACTUAL SADDLE TEE TAP AND SERVICE LEAD TO BE INSTALLED BY CITY. ALL WORK TO BE IN COMPLIANCE WITH CITY'S STANDARDS. DAMAGE TO EXISTING SURFACES CORRECTED AT CONTRACTORS EXPENSE.

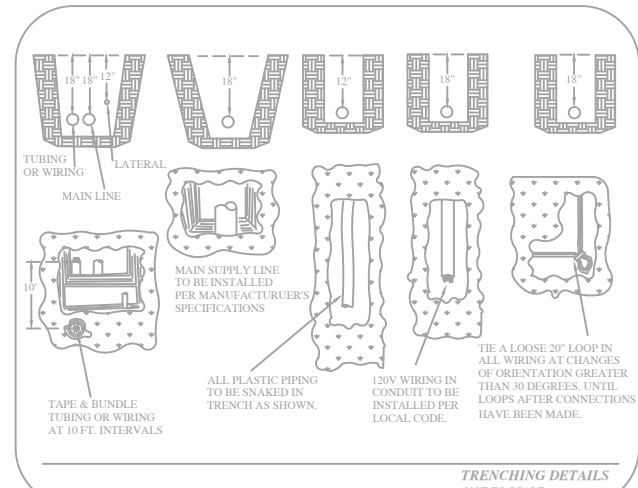
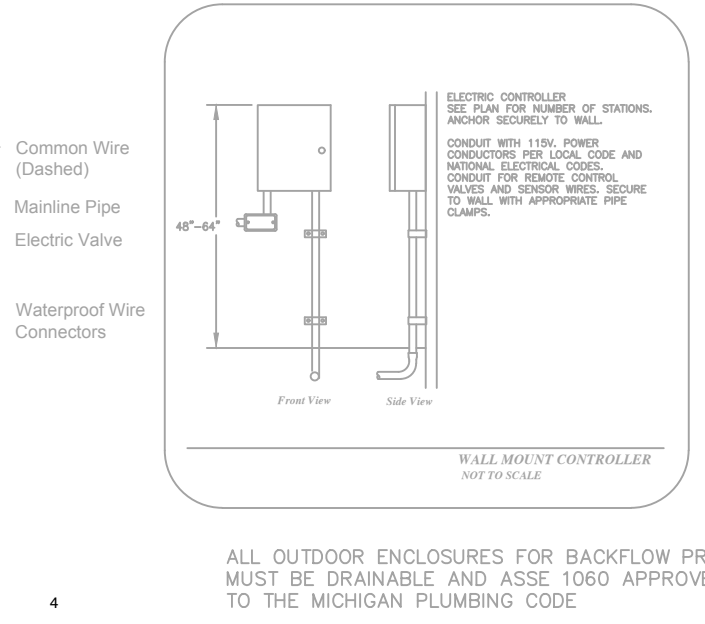
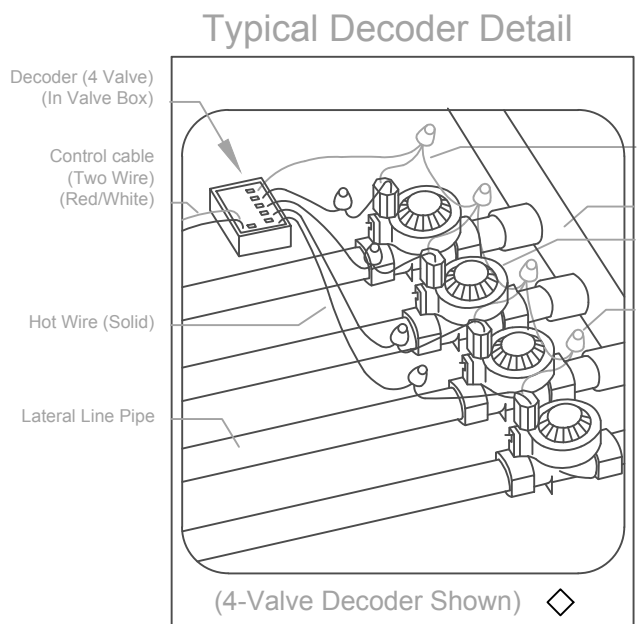
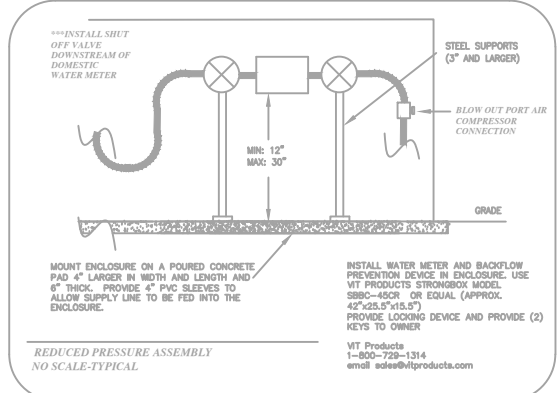
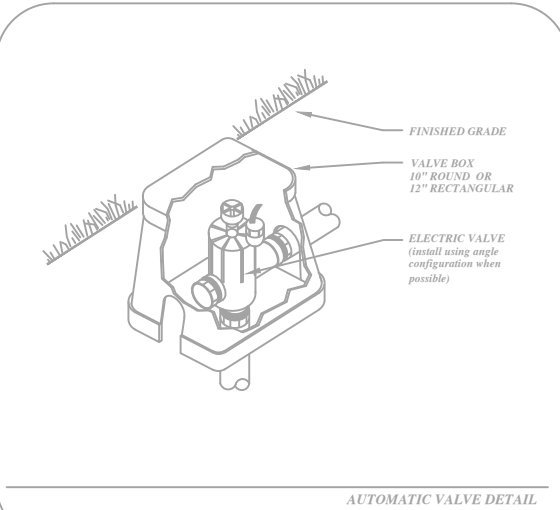
COORDINATE WATER METER LOCATION WITH OWNER REPRESENTATIVE PRIOR TO INSTALLING. INSTALL METER, BACKFLOW PREVENTION AND ENCLOSURE. ALL WORK TO BE IN COMPLIANCE WITH THE CITY. BACKFLOW REQUIREMENTS

1. Required RPZ must be ASSE 1013 listed as a complete assembly including shutoff valves.
2. Assembly required to be installed by a licensed plumbing contractor.
3. Plumbing permit is required prior to installation.
4. New assembly must be tested after installation by a licensed plumber also ASSE 5110 Certified to test.
5. Results must be recorded on the City test report form with a copy sent to the Water & Sewer Division.
6. RPZ must be installed not less than 12-inches above FINISHED GRADE measured from the bottom of the pressure relieve valve.
7. Assemblies must be in compliance with the Michigan Plumbing Code, manufacturer installation instructions including winterization and ASSE listing approvals for orientation, valves, etc.

INSTALL A 1½" MASTER VALVE AND A 1½" FLOW-SYNC FLOW SENSOR PER MANUFACTURER RECOMMENDATIONS.



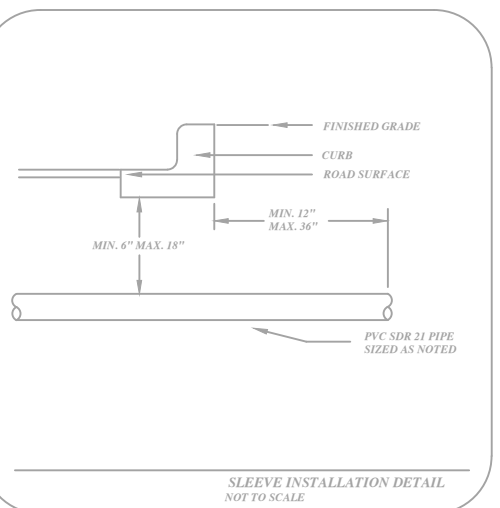
COORDINATE FINAL IRRIGATION CONTROLLER LOCATION WITH OWNER'S REPRESENTATIVE BEFORE INSTALLING. HARDWIRE CONTROLLER DIRECTLY TO NEAREST CIRCUIT PANEL. PLACE ALL WIRES IN CONDUIT AND SECURELY FASTEN AS REQ. COORDINATE CONNECTION TO 120V POWER PRIOR TO CONSTRUCTION. IRRIGATION CONTRACTOR RESPONSIBLE FOR CONNECTION.



ALL OUTDOOR ENCLOSURES FOR BACKFLOW PREVENTION MUST BE DRAINABLE AND ASSE 1060 APPROVED PURSUANT TO THE MICHIGAN PLUMBING CODE. INSTALL WATER METER AND BACKFLOW PREVENTION DEVICE IN ENCLOSURE. USE VIT PRODUCTS STRONGBOX MODEL SBBC-45CR OR EQUAL (APPROX. 42"x25.5"x15.5") PROVIDE LOCKING DEVICE AND PROVIDE (2) KEYS TO OWNER.

VIT Products
1-800-729-1314
email sales@vitproducts.com

MOUNT ENCLOSURE IN A POURED CONCRETE PAD 4" LARGER IN WIDTH AND LENGTH AND 6" THICK. PROVIDE 4" PVC SLEEVES TO ALLOW SUPPLY LINE TO BE FED INTO THE ENCLOSURE.



IRRIGATION LEGEND:

FIXED SPRAY POP-UP (12") 4" radius specialty nozzle	PROS-12-cv
FIXED SPRAY POP-UP (4") w/ MPR nozzle MP1000 ● MP2000 ○ MP3000 ● MPSS530/MPLC(RC)15 ⚙ MP800	PROS-04 PRS40-CV
MASTER VALVE W/ ICD EZ DECODER	ICV Series
ELECTRIC VALVE w/ ICD EZ Decoders	ICV-AS-ADJ Series
QUICK COUPLER VALVE	HQ44RC
ELECTRIC CONTROLLER WITH WIFI	HCC DECODER
BACKFLOW DEVICE INSTALLED PER CODE	FEBCO 825Y150
ISOLATION GATE VALVE (LINE SIZE)	
WEATHER SENSOR (Install at all controller locations)	SLOAR SYNC (wireless)
POINT OF CONNECTION TO WATER SOURCE	See note this sheet
PVC MAINLINE, SDR 21, BE, Size as shown	
POLYETHYLENE LATERAL PIPE, NSF 100psi Size as shown	
PVC SLEEVES - SDR 26 - Size as shown	
VALVE DESIGNATION: Controller and Station Number Valve Size Gallons Per Minute	
WATER REQUIREMENTS: 30 GPM @ 60 PSI (CONTRACTOR TO VERIFY PSI AVAILABLE ON SITE PRIOR TO SYSTEM INSTALLATION)	

NOTES:

1. Refer to the specifications for installation details and descriptions, as well as, construction methods which will be accepted.
2. All work shall be in compliance with all local, state, and federal codes and ordinances.
3. All electrical connections shall be made using 3m DBY-6 splice kits.
4. All control wiring downstream of the controller shall be 14AWG HUNTER IDWIRE - RED UL approved for direct bury.
5. Pipe routing is schematic. All heads are to be field adjusted to within 2' to take into consideration any obstruction. Final head placements are subject to the landscape architects approval.
6. All sprinkler heads shall be mounted on 2 elbow poly swing joints as specified.
7. Contractor to verify final controller location with owner's authorized representative prior to installation.
8. All pipe not sized downstream of control valve is 1".
9. All sleeves shall be PVC (see specifications).
10. Irrigation contractor's point of connection to water source shall be as noted on this sheet.
11. Locate and connect to indicated water source.
12. 120v power to the controller locations should be provided others. Coordinate with owner's representative. Hardwire controller directly to nearest circuit panel. Place all wires in conduit per code.
13. Design pressure does not take into account seasonal supply fluctuations. Periods of drought may cause temporary pressure losses to the city water supply resulting in inadequate irrigation system performance. Irrigation design is based on normal weather conditions and typical municipal water supply abilities.
14. Irrigation contractor shall be responsible for determining and maintaining the irrigation schedule during the project construction and throughout the length of the warranty period.
15. The irrigation schedule shall deliver 1" of precipitation per week +/- natural rainfall quantities for turf grass.
16. Landscape material shall receive adjusted amounts of precipitation to maintain proper plant health.
17. Landscape and turf grass shall be irrigated separately.
18. Rotors and spray zones may not be combined to operate at the same time.
19. When specified, follow manufacturer's product recommendations concerning proper installation of water flow sensors. Allow proper straight pipe distances before and after flow sensors.

CONTRACTOR MUST INSTALL METER AND BACKFLOW PREVENTER. OWNER IS RESPONSIBLE FOR METER AND BACKFLOW PREVENTER. IT IS RECOMMENDED THAT OWNER PLACE METER AND BACKFLOW PREVENTER INSIDE CABINET PROVIDED THE CITY HAS ACCESS.

BLOW OFF RISERS ON WATER SERVICE LINES ARE NOT ALLOWED. SYSTEM NEEDS TO BE PUMPED OUT FROM METER BACK TO STOP (CURB) BOX.

IT IS THE OWNERS RESPONSIBILITY (NOT ENGINEER) GRADE TO REMOVE METER DURING WINTER MONTHS TO AVOID DAMAGE TO THE METER.

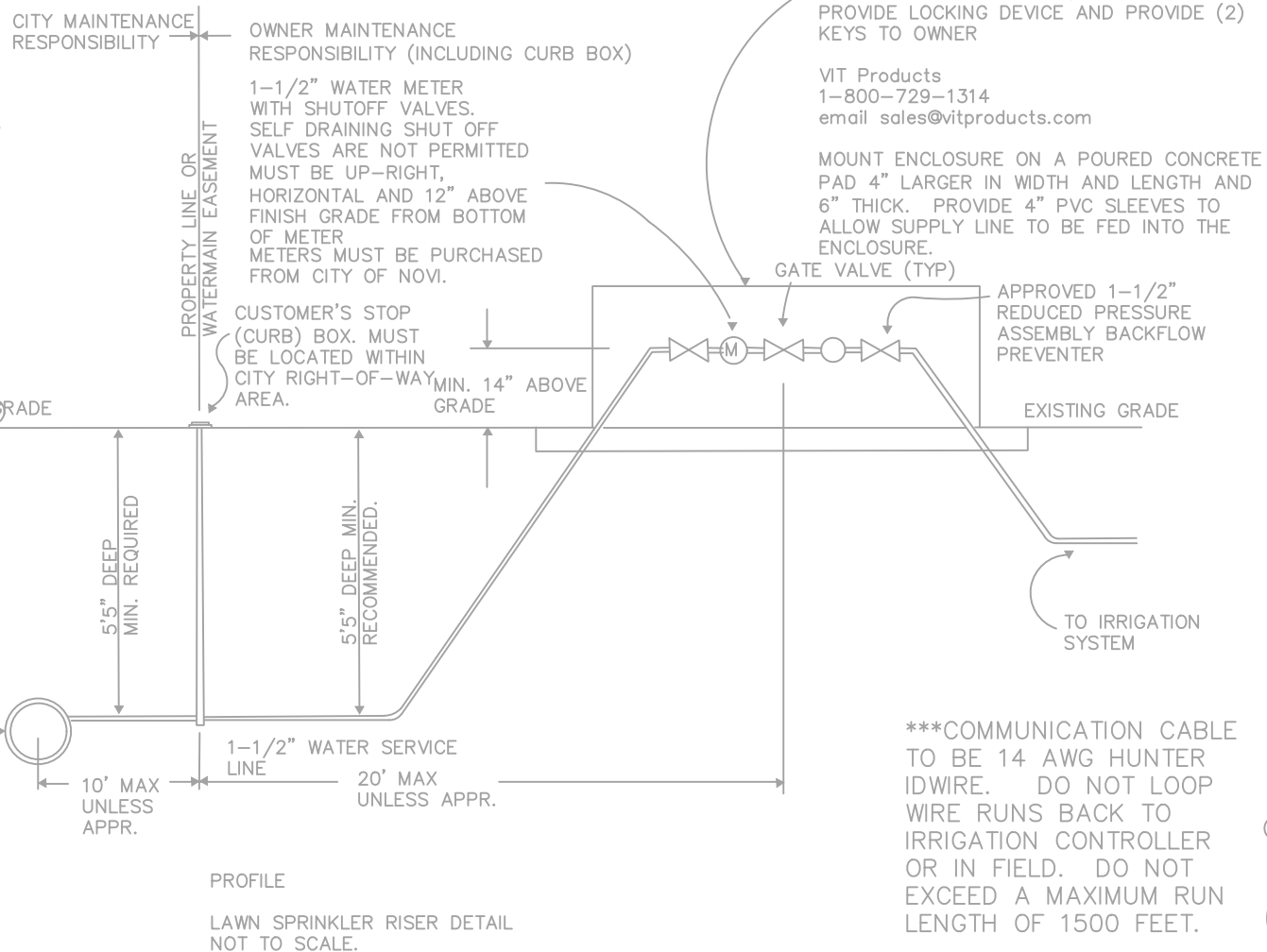
WATER TAP

ALL WATER TAPS 2" AND SMALLER ARE MADE BY THE CITY.

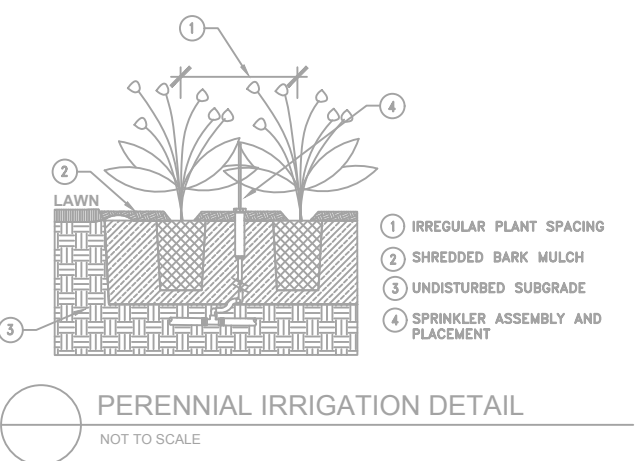
WATER SPRINKLER TAPS ARE SHORT TAPS ONLY UNLESS APPROVED BY THE CITY.

ALL STOP (CURB) BOXES WILL BE INSTALLED WITHIN 10' OF THE WATER MAIN UNLESS APPROVED BY THE CITY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL CLEANUP AND RESTORATION RESULTING FROM A SERVICE LINE INSTALLATION FOR IRRIGATION PURPOSES.



***COMMUNICATION CABLE TO BE 14 AWG HUNTER IDWIRE. DO NOT LOOP WIRE RUNS BACK TO IRRIGATION CONTROLLER OR IN FIELD. DO NOT EXCEED A MAXIMUM RUN LENGTH OF 1500 FEET.



PIPE SIZE CHART

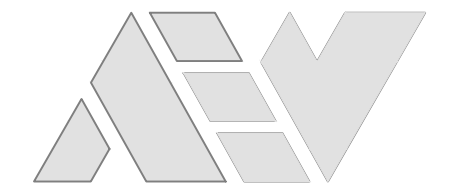
0-12 GPM = 1" DIAMETER POLY PIPE
12-24 GPM = 1 ¼" DIAMETER POLY PIPE
24-30 GPM = 1 1/2" DIAMETER POLY PIPE
30-60 GPM = 2" DIAMETER POLY PIPE

IRRIGATION NOTE:

ALL LANDSCAPE AREAS, INCLUDING THOSE WITHIN THE R.O.W. SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL OPERATE IN COMPLIANCE WITH LOCAL STANDARDS AND SEASONAL RESTRICTIONS. SEPARATE ZONES SHALL BE PROVIDED FOR LAWN AREAS AND PLANTING BEDS. IRRIGATION SHALL BE DESIGNED IN THE MOST EFFICIENT MANNER NECESSARY TO FULLY IRRIGATE ALL PLANTING AREAS.



CITY FILE #23-0022 SECTION #28
NOT TO BE USED AS CONSTRUCTION DRAWINGS



ANDERSON, ECKSTEIN AND WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234
Shelby Township Michigan 48315 Fax 586 726 8780

www.aewinc.com

ENGINEERING STRONG COMMUNITIES

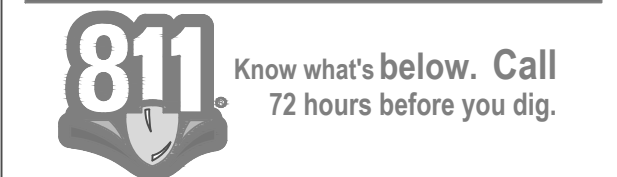


05/19/2025	SITE PLAN RESUBMITTAL
05/31/2023	SITE PLAN RESUBMITTAL
02/02/2023	SITE PLAN RESUBMITTAL
DATE	SUBMITTALS/REVISIONS
PROJECT NAME:	
GRANDVIEW CONDOMINIUM COMMUNITY	
SHEET TITLE:	

IRRIGATION PLAN

CLIENT: GRAND VIEW OF ROCHESTER, LLC

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: AJB	CHECKED BY: JLA	DATE: JUNE 2025
SCALE: 1" = 30'		



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. (ALL COSTS FOR UTILITY LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY).

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO. 1645-0005

VOLUME 1: 11/03/2023 PLAN REVIEW: ECKSTEIN AND WESTRICK/GRANDVIEW IRRIGATION/03/08/2023
OB IRRIGATION: 6/27/2025 8:19:37 AM

SHEET NO.

IRR 1