



SYDNEY A. KANAN  
ENGINEER  
No. 6201068842  
LICENSED PROFESSIONAL ENGINEER

## DEVELOPMENT TEAM

## APPLICANT

GRANDVIEW OF ROCHESTER HILLS, LLC  
2465 23 MILE ROAD  
SHELBY TOWNSHIP, MICHIGAN 48315  
CONTACT: VITO MUNACO  
PHONE: 248.840.0600

## ENGINEER

ANDERSON, ECKSTEIN & WESTRICK, INC.  
51301 SCHOENHERR ROAD  
SHELBY TWP., MI 48315  
PHONE: 586-726-1234

## PROJECT NARRATIVE

THE PROPOSED AUBURN ROAD DEVELOPMENT IS A 17-UNIT RESIDENTIAL COMMUNITY ON AN APPROXIMATE 5.6-ACRE UNDEVELOPED PARCEL, LOCATED IN SECTION 28 IN THE CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN. THE SUBJECT PARCEL IS LOCATED ON THE NORTH SIDE OF AUBURN ROAD, EAST OF CROOKS ROAD. THE SUBJECT SITE IS CURRENTLY ZONED R-4 WITH MR OVERLAY.

CURRENTLY THE PROPERTY IS UNDEVELOPED AND DOES NOT CONTAIN ANY BUILDINGS OR ACCESSORY STRUCTURES. THE PROPERTY HAS MINIMAL TOPOGRAPHIC CHANGE AND FEATURES A WETLAND (OTY REGULATED) AND A WOODED AREA NEAR THE NORTH PROPERTY LINE. THE EAST AND WEST PROPERTY LINES ABUT THE SAME ZONING DESIGNATION (R-4 WITH MR OVERLAY). THE NORTH PROPERTY LINE IS ADJACENT TO INDUSTRIAL ZONED PROPERTY AND AUBURN RD RUNS ALONG THE PROPERTY'S SOUTH PROPERTY LINE.

IN AN EFFORT TO BE MINDFUL OF EXISTING NEIGHBORS AND NATURAL FEATURES EXISTING TREES AND WETLANDS HAVE BEEN PRESERVED TO THE EXTENT POSSIBLE. A DENSE LANDSCAPE BORDER HAS BEEN PROPOSED ON THE EAST AND WEST PROPERTY LINES NOT ONLY PROVIDING A VISUAL AND PHYSICAL SCREEN FROM ADJACENT PROPERTY LINES BUT ALSO A GROWTH-ALREADY PLEASING VIEW FOR POTENTIAL RESIDENTS. DUE TO THE FLAT NATURE OF THE SITE EARTH MOVING OPERATIONS CAN BE KEPT TO A MINIMUM.

THIS DEVELOPMENT WILL PROVIDE A SMALL NEIGHBORHOOD FEEL IN AN AREA CLOSE TO AMENITIES AND MASTER PLANNED TO BE DEVELOPED AS PROPOSED. THESE 17 PROPOSED HOMES WILL BE HIGHLY SOUGHT AFTER IN THE COMMUNITY AND CAN SET THE PRECEDENT FOR FUTURE DEVELOPMENTS PROPOSED IN THE MR OVERLAY DISTRICT.

EXISTING CONDITIONS AND NATURAL FEATURES  
THE EXISTING SITE IN THE AREA OF PROPOSED DEVELOPMENT IS UPLAND AND GENERALLY IS RELATIVELY FLAT. THE PROPOSED DEVELOPMENT AREA IS GENERALLY LOCATED IN THE OPEN SPACE IN THE SOUTH PORTION OF THE SITE.

THE WETLANDS AND EXISTING TREES ARE THE PRIMARY NATURAL FEATURES ON THE SITE. THE PROPOSED DEVELOPMENT WILL OCCUR ON THE UPLAND AREA AS TO MINIMIZE IMPACTS TO THESE FEATURES, INCLUDING THE TREES, IMPACTING ONLY AS NECESSARY FOR PRIMARY SITE INFRASTRUCTURE.

LAND USE  
THE PROPOSED LAND USE WILL BE SINGLE FAMILY, FOR-SALE, RESIDENTIAL HOMES. THIS USE CONFORMS TO THE CURRENT MR ZONING WHICH ALLOWS FOR RESIDENTIAL USE IN THIS AREA. THE DEVELOPMENT PLAN PROPOSES A DENSITY OF 3.39 DU/AC.

PHASING  
THE INFRASTRUCTURE FOR THE DEVELOPMENT IS PLANNED TO BE CONSTRUCTED IN ONE PHASE. THE SITE PLAN APPROVAL IS TARGETED FOR WINTER 2025 AND CONSTRUCTION TARGETED FOR 2025. FULL-BUILDOUT AND OCCUPANCY OF ALL OF THE BUILDINGS IS TARGETED FOR 2026.

UTILITIES  
WATER AND SANITARY SEWER SERVICE WILL BE PROVIDED BY PUBLIC SEWER AND WATER IN THE AREA. EXTENSIONS TO THE EXISTING MAINS WILL BE CONSTRUCTED ON-SITE IN ACCORDANCE WITH CITY STANDARDS AND PLACED WITHIN A PUBLIC EASEMENT. THE PROPOSED SANITARY IS ANTICIPATED TO CONNECT TO THE EXISTING SEWER WITHIN THE AUBURN ROAD RIGHT-OF-WAY. THE PROPOSED WATER IS ANTICIPATED TO CONNECT TO THE EXISTING SYSTEM AT AN EXISTING VALVE ALONG AUBURN ROAD. REFUSE COLLECTION IS PROPOSED TO BE CURB SIDE VIA INDIVIDUAL CONTAINERS FOR EACH UNIT.

STORMWATER MANAGEMENT  
STORMWATER COLLECTION, TREATMENT AND STORAGE FOR THIS DEVELOPMENT WILL BE PROVIDED IN A PROPOSED DETENTION BASIN LOCATED AS SHOWN ON THE PLAN. THE BASIN WILL BE DESIGNED AND APPROVED IN ACCORDANCE WITH CITY AND COUNTY STANDARDS TO ACCOMMODATE RUNOFF FROM THE PROPOSED DEVELOPMENT AREA. THE DETENTION POND WILL OUTLET AT A RESTRICTED RATE INTO THE EXISTING PUBLIC STORMWATER CONVEYANCE SYSTEM SOUTH OF THE DEVELOPMENT AREA.

## PROPERTY LEGAL DESCRIPTION

TAX ID: 15-28-300-059

SCHEDULE C DESCRIPTION PER COMMITMENT FOR TITLE INSURANCE ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ISSUING AGENT: CHIRCO TITLE AGENCY, INC., COMMITMENT NO.: C-171738, COMMITMENT DATE: OCTOBER 4, 2021:

THE LAND IS DESCRIBED AS FOLLOWS:

A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 28, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT IN THE CENTER OF AUBURN AVENUE HIGHWAY, SO CALLED, SAID POINT BEING DISTANT 2,122 FEET EAST OF THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 28, CITY OF ROCHESTER HILLS; THENCE NORTH 832 FEET TO THE NORTH LINE OF THE ALFRED LESAGE FARM; THENCE EASTERLY ALONG THE NORTHERLY LINE 314.40 FEET; THENCE SOUTH 832 FEET TO THE CENTER OF AUBURN AVENUE HIGHWAY; THENCE WEST ALONG THE CENTER OF SAID HIGHWAY 314.40 FEET TO THE POINT OF BEGINNING.

ALSO DESCRIBED AS:  
THE EAST 314.40 FEET OF WEST 2437.25 FEET OF THE SOUTH 832 FEET OF THE SOUTHWEST 1/4 OF SECTION 28, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN.

EXCEPT  
PART OF THE SOUTHWEST 1/4 OF SECTION 28, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SECTION 28; THENCE NORTH 89 DEGREES 52 MINUTES 00 SECONDS EAST 2121.20 FEET ALONG THE SOUTH LINE OF SECTION 28, CENTERLINE OF AUBURN ROAD (33 FEET HALF WIDTH) FOR A POINT OF BEGINNING; THENCE NORTH 01 DEGREE 11 MINUTES 37 SECONDS WEST 60.01 FEET TO THE NORTH RIGHT OF WAY OF AUBURN ROAD (60 FEET HALF WIDTH); THENCE NORTH 89 DEGREES 52 MINUTES 00 SECONDS WEST 00 SECONDS 37 SECONDS EAST 314.23 FEET ALONG THE NORTH RIGHT OF WAY OF AUBURN ROAD (60 FEET HALF WIDTH); THENCE SOUTH 01 DEGREE 10 MINUTES 52 SECONDS WEST 60.01 FEET TO THE SOUTH LINE OF SECTION 28 AND CENTERLINE OF AUBURN ROAD (60 FEET HALF WIDTH); THENCE SOUTH 89 DEGREES 52 MINUTES 00 SECONDS WEST 314.23 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPT  
PART OF THE SOUTHWEST 1/4 OF SECTION 28, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SECTION 28; THENCE NORTH 89 DEGREES 52 MINUTES 00 SECONDS EAST 2121.20 FEET ALONG THE SOUTH LINE OF SECTION 28, CENTERLINE OF AUBURN ROAD (33 FEET HALF WIDTH); THENCE NORTH 01 DEGREE 11 MINUTES 37 SECONDS WEST 60.01 FEET TO THE NORTH RIGHT OF WAY OF AUBURN ROAD (60 FEET HALF WIDTH); THENCE NORTH 89 DEGREES 52 MINUTES 00 SECONDS EAST 12.03 FEET ALONG THE NORTH RIGHT OF WAY OF AUBURN ROAD (60 FEET HALF WIDTH) FOR THE POINT OF BEGINNING; THENCE NORTH 01 DEGREE 10 MINUTES 52 SECONDS WEST 574.76 FEET; THENCE 20.96 FEET ALONG THE ARC OF A 13.50 FOOT RADIUS CURVE TO THE LEFT, A CENTRAL ANGLE OF 88 DEGREES 57 MINUTES 08 SECONDS AND A CHORD BEARING NORTH 45 DEGREES 39 MINUTES 26 SECONDS WEST 18.92 FEET; THENCE SOUTH 89 DEGREES 52 MINUTES 00 SECONDS WEST 11.30 FEET; THENCE NORTH 01 DEGREES 11 MINUTES 37 SECONDS WEST 60.01 FEET; THENCE NORTH 89 DEGREES 52 MINUTES 00 SECONDS WEST 18.32 FEET; THENCE SOUTH 01 DEGREE 10 MINUTES 52 SECONDS WEST 556.38 FEET TO THE NORTH RIGHT OF WAY LINE OF AUBURN ROAD (60 FEET HALF WIDTH); THENCE SOUTH 89 DEGREES 52 MINUTES 00 SECONDS WEST 60.01 FEET ALONG THE NORTH RIGHT OF WAY OF AUBURN ROAD (60 FEET HALF WIDTH) TO THE POINT OF BEGINNING.

## MODIFICATION OF STANDARDS REQUEST

1.) MIXED RESIDENTIAL OVERLAY – PARCEL AREA  
AS SPECIFIED IN SECTION 138-6.502.A, A DEVELOPMENT USING THE MIXED RESIDENTIAL OPTION MAY ONLY OCCUR ON A PARCEL WITH A MINIMUM AREA OF TEN ACRES LOCATED IN A MIXED RESIDENTIAL OVERLAY DISTRICT, UNLESS THE MINIMUM AREA REQUIREMENT IS MODIFIED BY THE PLANNING COMMISSION. THE GROSS AREA OF THE PROPOSED DEVELOPMENT IS APPROXIMATELY SIX (6) ACRES. WHILE THE ACREAGE CRITERIA MAY NOT BE MET, THE DENSITY IS. THE TABLE IN SECTION 138-6.502.B INDICATES THE REQUIRED MAXIMUM DWELLING UNITS PER ACRE ARE 4.25 FOR A R-4 DISTRICT. THE PROPOSED DENSITY OF 3.21 DWELLING UNITS PER ACRE FALLS BELOW THIS REQUIREMENT, AS WELL AS THE R-3 DISTRICT REQUIREMENT OF 3.45. THIS RESULTS IN MORE OPEN SPACE AND CONSERVED SPACE. APPROXIMATELY 2 ACRES OF OPEN SPACE IS BEING PROVIDED WITH THE CURRENT DESIGN, EXCEEDING THE REQUIRED 0.28 ACRES BY A LARGE MARGIN.

2.) MIXED RESIDENTIAL OVERLAY – GARAGES & UNENCLOSED FRONT PORCHES  
THE PROPOSED HOME LAYOUTS SUPPLIED IN THE PRELIMINARY SITE PLAN INDICATE THE GARAGE EXCEEDING THE STANDARDS AS DESCRIBED IN THE ROCHESTER HILLS ORDINANCE (SECTION 138-6.502.G) AND FRONT PORCH FOOTPRINTS NOT HAVING THE REQUIRED SQUARE FOOTAGE (SECTION 138-6.502.H).

OVERALL, THESE HOME LAYOUTS HAVE BEEN DEVELOPED AND SELECTED BASED ON THE DEMANDS OF MODERN HOME BUYER AND THE PRESENT MARKET TRENDS. FOR THE PORCHES, IT HAS BEEN OBSERVED THAT THERE IS A CLEAR DESIRE (75%-80% OF HOME BUYERS) PREFER A SUNROOM AND/OR A REAR DECK IN LIEU OF A LARGER FRONT PORCH. ADDITIONALLY, THE TYPICAL ACTIVE ADULT REQUIRES A MAIN FLOOR OWNER'S SUITE. THIS INCLUSION HAS WARRANTED THE FOOTPRINT OF MODERN HOMES TO CHANGE AND THUS IMPACT THE LOCATION OF THE GARAGE IN COMPARISON TO THE FRONT BUILDING WALL. THE PROPOSED HOME LAYOUTS WILL HAVE THE FRONT ENTRY GARAGE NO FURTHER THAN 5 FEET BEHIND THE FRONT BUILDING WALL. WE REQUEST THAT THE PLANNING COMMISSION PLEASE CONSIDER AND UNDERSTAND THE DESIRES OF THE CURRENT HOME BUYER.

Provide a topo survey sheet  
with professional surveyor  
seal and signature.

## PRELIMINARY SITE PLAN

## GRANDVIEW

SINGLE-FAMILY CONDOMINIUM COMMUNITY  
ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

## SP Site Plan

## WP Wetland Permit

18,267 square feet of  
permanent wetland impactNFSM Natural Features  
Setback Modification336 linear feet of natural features setback  
modification.

## PCM Planning Commission Modification

## LB Landscape Bond

Landscape Bond = \$153,412.00 plus  
applicable fees

## BP Building Permit

## TRP Tree Removal Permit

## LIP Land Improvement Permit

## Site Data

ACREAGE: 6.0 ACRES  
GROSS: 0.4 ACRES  
AUBURN ROAD ROW: 5.6 ACRES  
NET: 0.8 ACRES  
WETLAND: 4.9 ACRES  
ACTIVE: 0.0 ACRES  
EXISTING ZONING: R-4 WITH MR OVERLAY  
MASTER PLANNED ZONING: R-4 WITH MR OVERLAY  
PROPOSED ZONING: R-4 WITH MR OVERLAY

TOTAL PROPOSED UNITS: 18

DENSITY: ALLOWED\* 4.25 DU/AC  
PROPOSED\*\* 3.21 DU/AC (NET DEVELOPMENT AREA)\*6.00 AC (GROSS) - 0.4 R.O.W. AC = 5.6 (NET AREA)  
\*\*17 UNITS / 5.6 AC = 3.03 DU/ACREOPEN SPACE: REQUIRED 0.24 AC (5% OF 4.9)  
PROPOSED 0.27 AC

FLOOR AREA: 1,702 SF/UNIT = 30,636 SF TOTAL

BUILDING HEIGHT: TWO STORIES (30' MAX HEIGHT)

PERIMETER SETBACKS: REQUIRED 35'  
PROPOSED 115'SIDE: 15'(20' TOTAL)  
PROPOSED 37'REAR: 60'  
PROPOSED 170'

ROAD LENGTH = 798 LF

## GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CITY OF ROCHESTER HILLS'S CURRENT STANDARDS AND SPECIFICATIONS, UNLESS OTHERWISE APPROVED IN THE PRO AGREEMENT.
- THE CONTRACTOR MUST OBTAIN A PERMIT FROM MDOT FOR ANY WORK WITHIN THE RIGHT-OF-WAY OF AUBURN ROAD.
- ALL PAVEMENT MARKINGS, TRAFFIC CONTROL SIGNS, AND PARKING SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE DEVELOPMENT IS PLANNED TO BE CONSTRUCTED IN ONE PHASE.
- CITY OF ROCHESTER HILLS WILL BE RESPONSIBLE FOR IMPROVEMENTS AND/OR MAINTENANCE OF THE PUBLIC STREETS CONTAINED WITHIN THE PROPERTY DESCRIBED IN THIS PLAN.
- ALL SIGNS SHALL MEET THE ROCHESTER HILLS CITY REQUIREMENTS AND BE APPROVED UNDER SEPARATE PERMITS ISSUED BY THE BUILDING DEPARTMENT.

## FIRE DEPARTMENT NOTES

- ALL FIRE HYDRANTS AND WATER MAINS SHALL BE INSTALLED AND IN SERVICE PRIOR TO ABOVE FOUNDATION BUILDING CONSTRUCTION AS EACH PHASE IS BUILT.
- FIRE APPARATUS ACCESS ROADS TO BE DESIGNED TO SUPPORT THE LOAD OF A 75,000 LB FIRE APPARATUS AND BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES.
- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14.
- OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC 307.6.2 AND 307.6.2.3

## PERMITS AND SUBMITTALS

CITY OF ROCHESTER HILLS

ROCHESTER HILLS FIRE DEPARTMENT

OAKLAND COUNTY WRC - SOIL EROSION

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)

EGLE - SANITARY SEWER PERMIT

EGLE - WATER MAIN PERMIT

MDOT - ROAD PERMIT

SUBMITTAL DATE

APPROVAL DATE

11/21/2025  
10/19/2025  
07/28/2025  
04/19/2025  
05/31/2023  
02/10/2023  
DATE SUBMITTALS/REVISIONSWETLAND UPDATE  
WETLAND UPDATE  
SITE PLAN RESUBMITTAL  
SITE PLAN RESUBMITTAL  
SITE PLAN RESUBMITTAL  
SITE PLAN RESUBMITTAL

PROJECT NAME: GRANDVIEW CONDOMINIUM COMMUNITY

SHEET TITLE: COVER SHEET

CLIENT: GRANDVIEW OF ROCHESTER, LLC

DRAWN BY: CONSTRUCTION DATE: OCTOBER 2022

SCALE: AS NOTED

DATE: OCTOBER 2022

SIGNATURE: 811

Know what's below. Call 72 hours before you dig.

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THE CONTRACTOR. NO GUARANTEE IS MADE AS TO THE COMPLETENESS OR ACCURACY THEREOF.

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DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO.: 1645-0005

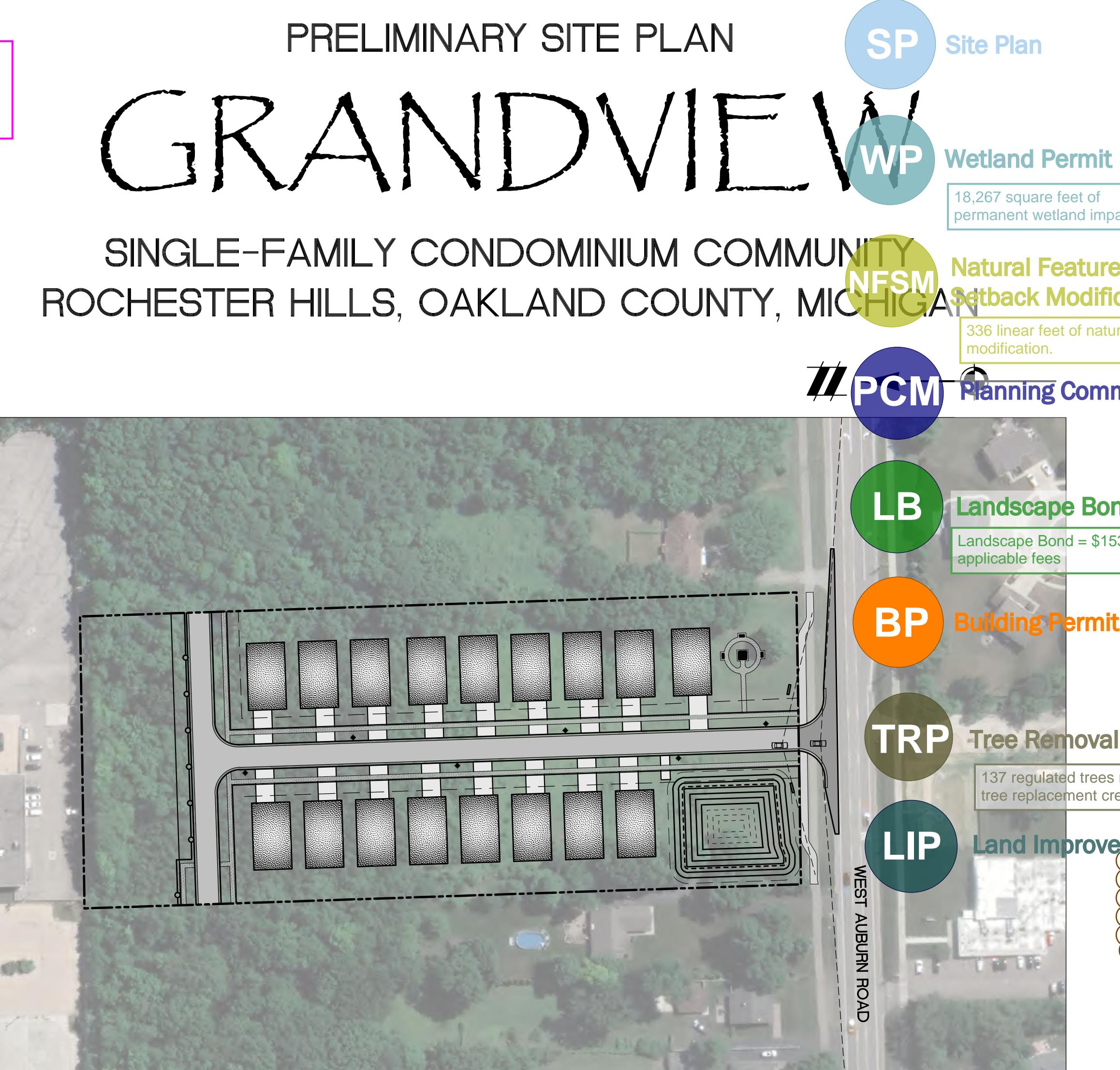
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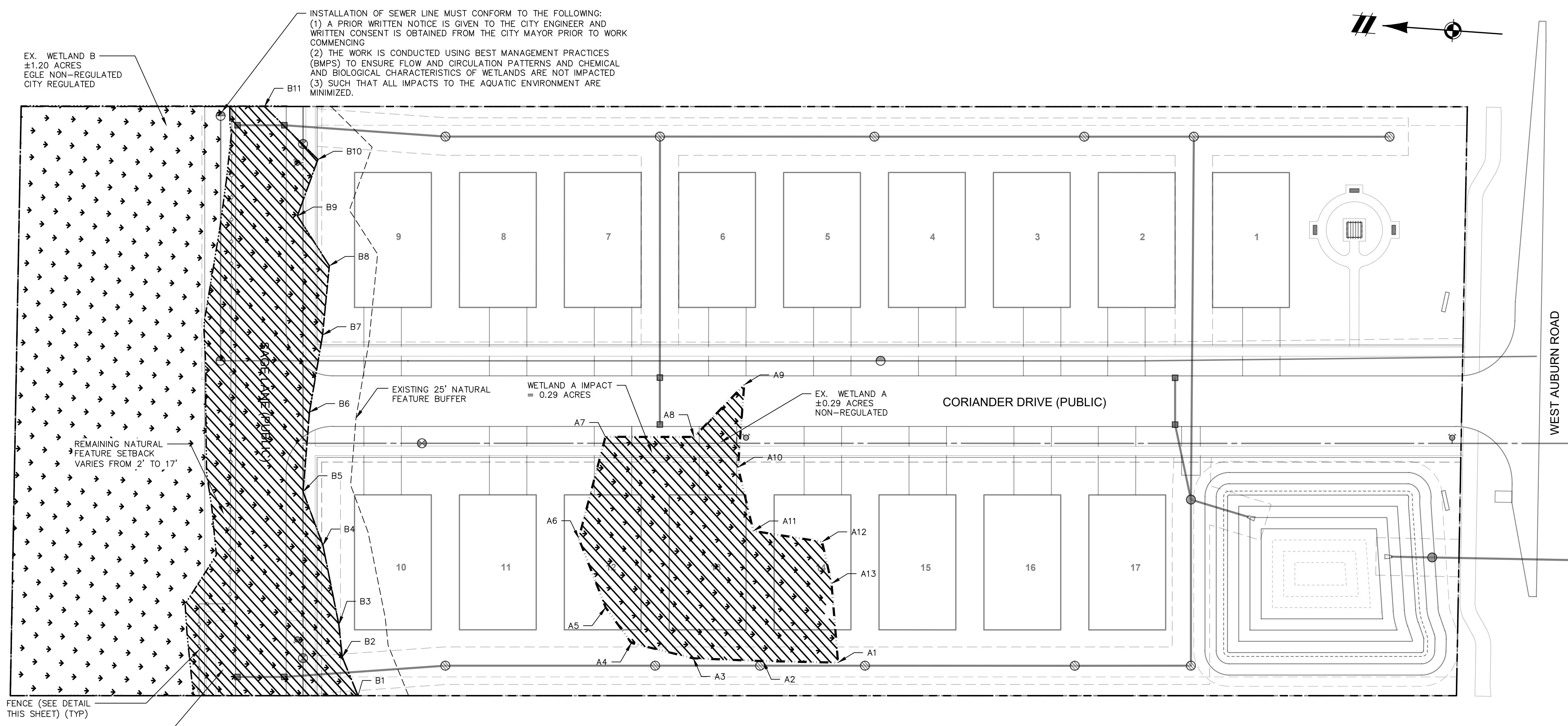
SHEET NO. 1

CITY FILE #23-0022 SECTION #28

NOT TO BE USED AS CONSTRUCTION DRAWINGS






 SYDNEY A. KANAN  
 ENGINEER  
 No. 6201068842

 11/21/2025  
 07/28/2025  
 09/11/2025  
 05/31/2025  
 02/10/2023  
 DATE  
 WETLAND UPDATE  
 SITE PLAN RESUBMITTAL  
 SITE PLAN RESUBMITTAL  
 SITE PLAN RESUBMITTAL  
 SITE PLAN RESUBMITTAL  
 SUBMITTALS/REVISIONS

 PROJECT NAME:  
**GRANDVIEW  
 CONDOMINIUM  
 COMMUNITY**

 SHEET TITLE:  
 WETLAND

**WETLAND NOTES**  
 WETLAND DELINEATION OF THE WETLANDS SHOWN PER RECENT WETLAND DELINEATION AND HABITAT ASSESSMENT REPORT  
 PREPARED BY ASTI ENVIRONMENTAL, LLC, DATED AUGUST 21, 2025

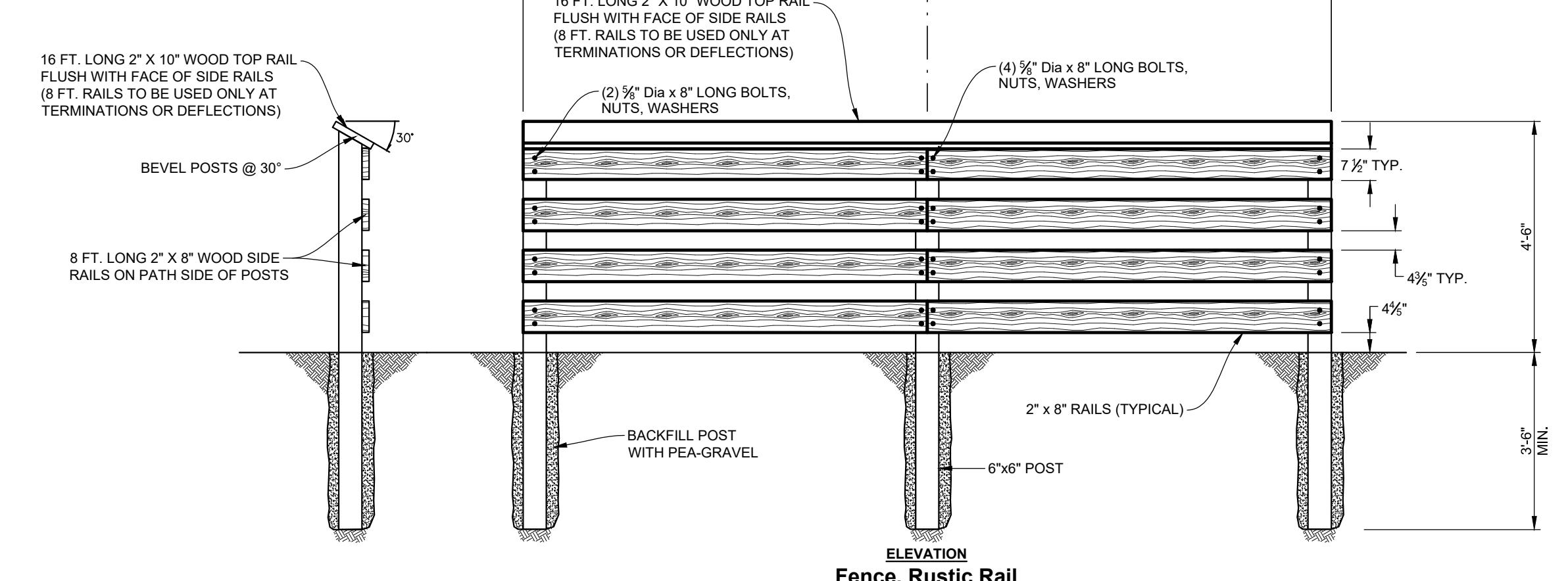
**WP** Wetland Permit

 18,267 square feet of  
 permanent wetland impact

**WETLAND AND NATURAL FEATURE IMPACTS TABLE**

Wetland	Wetland Area (sf)	Wetland Area (acre)	EGLE Regulated	City Regulated	Wetland Impact Area (sf)	Wetland Impact Area (acre)	25' Setback Lineal Feet Impact
B	50,645	1.2	No	Yes	18267	0.42	336
A	12,468	0.29	No	No	12468	0.29	N/A
Total	63,113	1.49			30735	0.71	336

**NFSM** Natural Features  
 Setback Modification

 336 linear feet of natural features setback  
 modification.

**LEGEND**

—	BOUNDARY LINE
—	EXISTING EASEMENT
—	SECTION LINE
—	BOUNDARY/PROPERTY LINE
—	SECTION CORNER
○	EXISTING SIGN
□	EXISTING UTILITY RISER
■	EXISTING MAILBOX
○	EXISTING LIGHT POLE
○	EXISTING WELL
○	EXISTING HYDRANT
○	EXISTING SANITARY MANHOLE
○	EXISTING CATCH BASIN/INLET
○	EXISTING END SECTION
○	EXISTING GUY LINE
○	EXISTING BUILDING
○	EXISTING SOIL TYPE
○	EXISTING TREE
○	EXISTING TREE TO BE REMOVED
○	EXISTING WETLAND
○	EXISTING WETLAND IMPACT

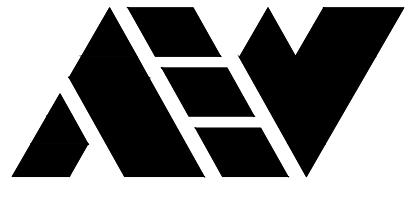
1645-0005

M116451645-0005.DWG\civil\01\_TREE SURVEY.DWG

SHEET NO.

2A





ANDERSON, ECKSTEIN AND  
WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234  
Shelby Township Fax 586 726 8780  
Michigan 48315

www.aewinc.com

ENGINEERING STRONG COMMUNITIES



06/19/2025 SITE PLAN RESUBMITTAL  
05/31/2023 SITE PLAN RESUBMITTAL  
02/10/2023 SITE PLAN RESUBMITTAL

DATE SUBMITTALS/REVISIONS

PROJECT NAME:

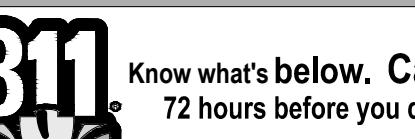
## GRANDVIEW CONDOMINIUM COMMUNITY

SHEET TITLE:

### TREE LISTING

CLIENT: GRAND VIEW OF ROCHESTER, LLC

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: NAC	CHECKED BY: JLA	DATE: OCTOBER 2022
SCALE: NONE		



Know what's below. Call 72 hours before you dig.

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PROJECT NO. 1645-0005

M:\1645\1645-0005\DWG\CIVIL\01\_TREE SURVEY.DWG  
03A Tree Listing-11202025 9:25:30 AM

PROJECT: J2023-0022\PS2023-0010

REVISION: Revision #6

RECEIVED: 11/24/2025



3A

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Tag No.	Scientific Name	Common Name	DBH1	DBH2	DBH3	TOTAL DBH	Condition	Location 1	Location 2	Specimen Tree?	Removing
8001	Acer saccharum	Sugar maple	10.8	12.0	10.3	33.1	Fair	On Site			
8002	Acer saccharum	Sugar maple	7.5			7.5	Fair	On Site			
8003	Acer negundo	Box elder	6.8	6.4		13.2	Poor	On Site		X	
8004	Quercus rubra	Red oak	54.3			54.3	Fair	Off Site		X	
8005	Acer negundo	Box elder	10.2	7.4	6.5	24.1	Poor	On Site		X	
8006	Populus deltoides	Eastern cottonwood	7.7			7.7	Fair	On Site		X	
8007	Juglans nigra	Black walnut	15.4			15.4	Fair	Off Site			
8008	Tilia americana	American basswood	8.8			8.8	Fair	Off Site			
8009	Tilia americana	American basswood	9.1			9.1	Fair	Off Site			
8010	Juglans nigra	Black walnut	15.4			15.4	Fair	On Site			
8011	Juglans nigra	Black walnut	11.1			11.1	Fair	Off Site			
8012	Juglans nigra	Black walnut	17.9			17.9	Fair	Off Site			
8013	Morus Alba	White mulberry	7.8			7.8	Poor	Off Site			
8014	Quercus rubra	Red oak	8.9			8.9	Fair	Off Site			
8015	Juglans nigra	Black walnut	9.0	8.9		17.9	Fair	On Site		X	
8016	Populus tremuloides	Quaking aspen	9.3			9.3	Fair	Off Site			
8017	Populus tremuloides	Quaking aspen	10.0			10	Fair	On Site		X	
8018	Quercus alba	Red oak	16.7			16.7	Fair	Off Site			
8019	Carya cordiformis	Bitternut hickory	11.0			11	Fair	Off Site			
8020	Carya cordiformis	Bitternut hickory	24.3			24.3	Fair	Off Site		X	
8021	Ulmus americana	American elm	9.6			9.6	Fair	Off Site			
8022	Carya ovata	Shagbark hickory	18.7			18.7	Fair	Off Site		X	
8023	Quercus rubra	Red oak	8.4			8.4	Fair	Off Site			
8024	Quercus rubra	Red oak	12.4			12.4	Fair	Off Site			
8025	Carya ovata	Shagbark hickory	21.0		21	Fair	On Site		X		
8026	Ulmus americana	American elm	7.0			7	Fair	On Site		X	
8027	Acer rubrum	Red maple	6.8			6.8	Fair	Off Site			
8028	Carya cordiformis	Bitternut hickory	9.6			9.6	Fair	Off Site			
8029	Carya cordiformis	Bitternut hickory	8.9			8.9	Poor	Off Site			
8030	Carya cordiformis	Bitternut hickory	6.7			6.7	Fair	Off Site			
8031	Ulmus americana	American elm	6.6			6.6	Fair	On Site			
8032	Tilia americana	American basswood	7.0			7	Fair	Off Site			
8033	Quercus rubra	Red oak	15.9			15.9	Fair	On Site		X	
8034	Quercus rubra	Red oak	15.7			15.7	Fair	On Site		X	
8035	Quercus rubra	Red oak	9.7			9.7	Fair	On Site		X	
8036	Carya cordiformis	Bitternut hickory	10.9			10.9	Fair	On Site			
8037	Carya cordiformis	Bitternut hickory	9.0			9	Fair	Off Site			
8038	Carya cordiformis	Bitternut hickory	10.3			10.3	Fair	On Site			
8039	Tilia americana	American basswood	13.7			13.7	Fair	On Site		X	
8040	Juglans nigra	Black walnut	11.1			11.1	Fair	On Site		X	
8041	Quercus rubra	Red oak	10.3			10.3	Fair	On Site			
8042	Carya cordiformis	Bitternut hickory	7.2			7.2	Fair	Off Site			
8043	Carya cordiformis	Bitternut hickory	7.9			7.9	Fair	On Site		X	
8044	Carya cordiformis	Bitternut hickory	9.8			9.8	Fair	On Site			
8045	Juglans nigra	Black walnut	10.2			10.2	Fair	On Site		X	
8046	Carya cordiformis	Bitternut hickory	7.7			7.7	Fair	On Site			
8047	Tilia americana	American basswood	8.8			8.8	Fair	On Site			
8048	Carya cordiformis	Bitternut hickory	13.3			13.3	Fair	On Site		X	
8049	Carya cordiformis	Bitternut hickory	8.8			8.8	Fair	On Site			
8050	Carya cordiformis	Bitternut hickory	11.6			11.6	Fair	Off Site			
8051	Carya cordiformis	Bitternut hickory	11.9			11.9	Fair	Off Site			
8052	Carya cordiformis	Bitternut hickory	8.2			8.2	Fair	Off Site			
8053	Carya cordiformis	Bitternut hickory	6.6			6.6	Fair	Off Site			
8054	Carya cordiformis	Bitternut hickory	10.3			10.3	Fair	Off Site			
8055	Carya cordiformis	Bitternut hickory	11.1			11.1	Fair	On Site		X	
8056	Carya cordiformis	Bitternut hickory	16.7			16.7	Fair	Off Site			
8057	Carya cordiformis	Bitternut hickory	16.5			16.5	Fair	Off Site			
8058	Carya ovata	Shagbark hickory	11.6			11.6	Fair	Off Site			
8059	Tilia americana	American basswood	12.9			12.9	Fair	Off Site			
8060	Tilia americana	American basswood	6.8			6.8	Fair	Off Site			
8061	Tilia americana	American basswood	17.4			17.4	Fair	Off Site			
8062	Tilia americana	American basswood	8.6			8.6	Fair	Off Site			
8063	Carya cordiformis	Bitternut hickory	6.1			6.1	Fair	Off Site			
8064	Carya cordiformis	Bitternut hickory	7.3			7.3	Fair	Off Site			
8065	Carya cordiformis	Bitternut hickory	7.8			7.8	Fair	Off Site			
8066	Carya cordiformis	Bitternut hickory	7.9			7.9	Fair	Off Site			
8067	Acer saccharum	Sugar maple	6.2			6.2	Fair	On Site			
8068	Acer saccharum	Silver maple	7.3			7.3	Fair	On Site			
8069	Carya cordiformis	Bitternut hickory	8.9			8.9	Fair	On Site			
8070	Ostrya virginiana	Eastern hopbeam	6.1			6.1	Fair	On Site			
8071	Carya cordiformis	Bitternut hickory	7.3			7.3	Fair	On Site</td			



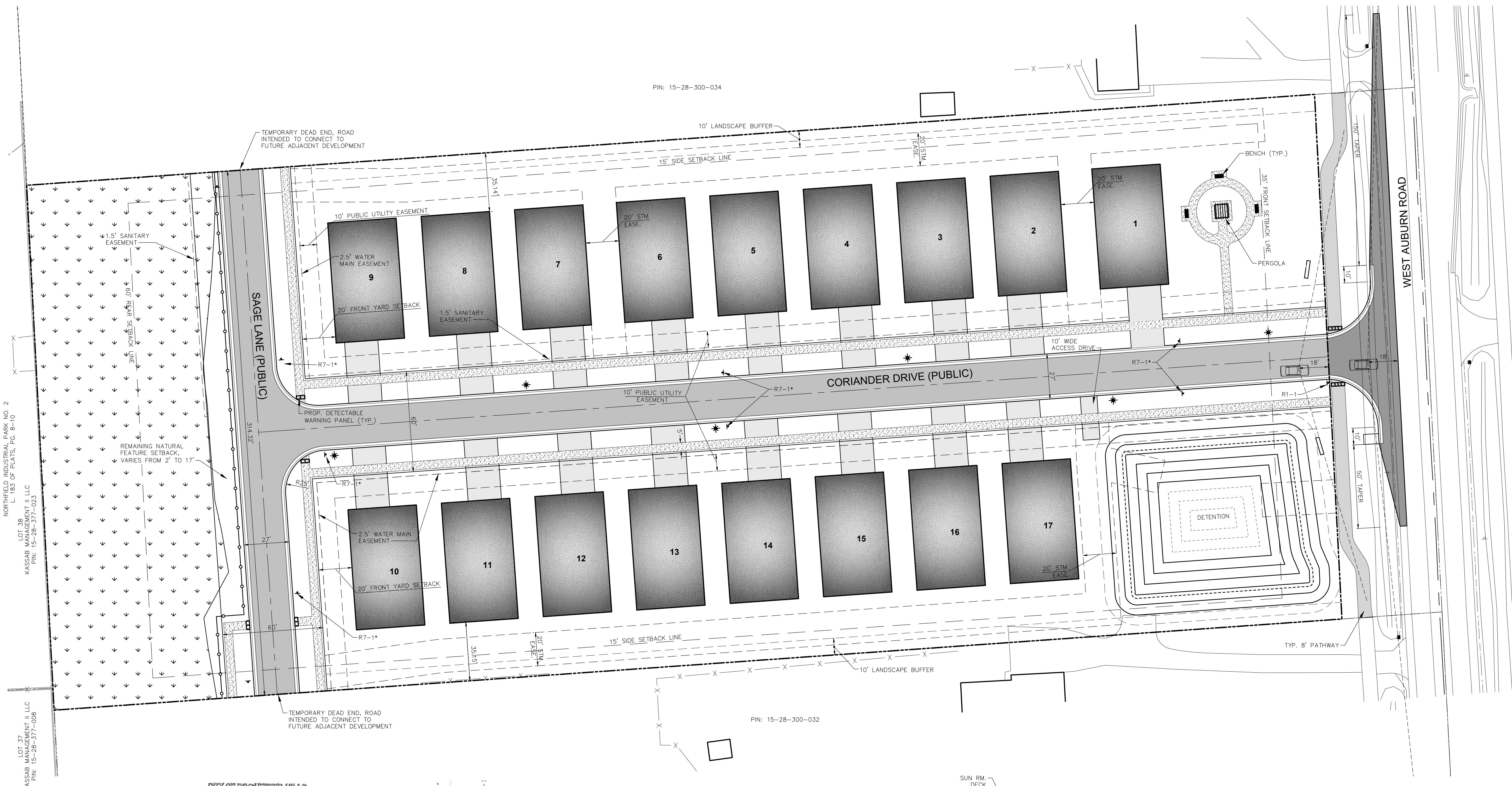
SYDNEY A. KANAN  
ENGINEER  
No. 6201068842

06/19/2025  
05/23/2023  
02/10/2023  
DATE SUBMITTALS/REVISIONS

PROJECT NAME: GRANDVIEW CONDOMINIUM COMMUNITY

SHEET TITLE:

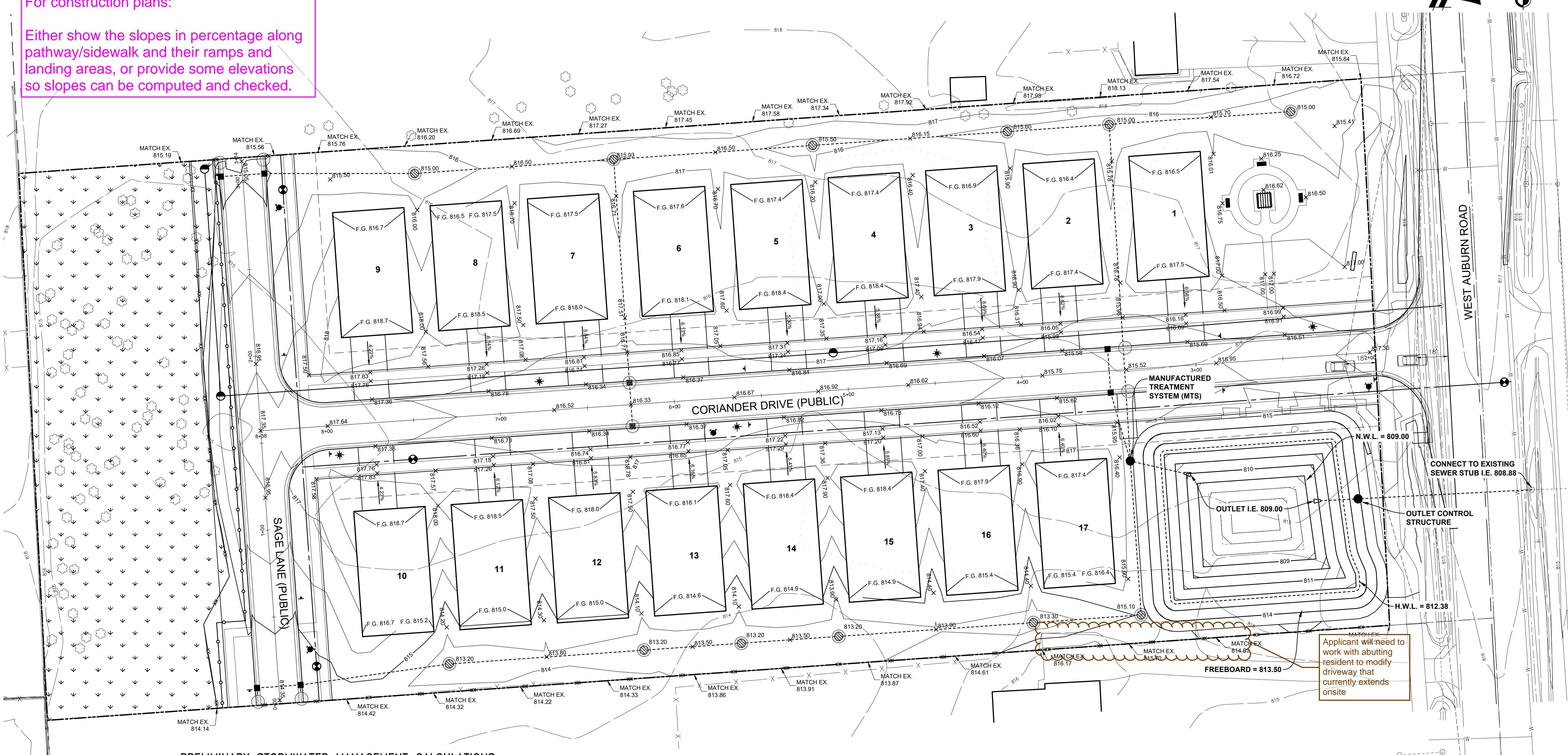
## OVERALL DEVELOPMENT PLAN





For construction plans:

Either show the slopes in percentage along pathway/sidewalk and their ramps and landing areas, or provide some elevations so slopes can be computed and checked.



#### PRELIMINARY STORMWATER MANAGEMENT CALCULATIONS

##### OCWRC DETENTION CALCULATIONS

###### Part B: Determination of Surface Runoff

Total Site Area:  $A = 5.57 \text{ ac}$   
 Wetland Area:  $A = 0.72 \text{ ac}$   
 Total Site Area to Pond:  $A = 4.85 \text{ ac}$   
 Runoff Coefficient:  $C = 0.54$   
 Time of Concentration:  $T_c = 20.00 \text{ min}$   
 Rainfall Return Period:  $p = 100 \text{ years}$   
 Rainfall Depth:  $p_{100} = 5.40 \text{ inch}$   
 Rainfall Intensity (Eq. III-7):  $I = 5.23 \text{ in/hr} = 30.2p^{0.22}/(I_c + 9.17)^{0.81}$   
 Peak Runoff (Eq. III-1):  $Q = 13.80 \text{ cfs} = C^*A$   
 Volume (Eq. III-3):  $V = 51,724 \text{ cft} = 3.630p^*C^*A$

###### Part D: Channel Protection Volume Control

Required CPCV Volume (Eq. III-9):  $V_{CPCV} = 12,452 \text{ cft} = 4,719C^*A$   
 Required MEP Area:  $A_{MEP} = 14,539 \text{ sf} = 0.15^*A_{MEP}$   
 Preserved Wetland Area:  $W_{Wetland} = 33,105 \text{ sf}$   
 MEP Credit Area:  $A_{Credit} = 16,553 \text{ sf} = 50\%W_{Wetland}$

###### Part E: Water Quality Control

Required Water Quality Volume (Eq. III-17):  $V_{WQ} = 9,579 \text{ cft} = 3,630C^*A$

###### Option 1: Manufactured Treatment System (MTS)

Water Quality Rate (Eq. III-18):  $Q_{WQ} = 5.19 \text{ cfs} = C^*A^*(30.20/(I_c + 9.17)^{0.81})$

###### Option 2: Forebay

Required Forebay Volume (Eq. III-19):  $V_f = 1,438 \text{ cft} = 545C^*A$

###### Part F: Channel Protection Rate Control: Extended Detention

Required Extended Detention Volume (per RH 4-6):  $V_{ED} = 18,199 \text{ cft} = 6,897C^*A$

Head:  $h_{ED} = 3.18 \text{ ft} = Z_{ED} - Z_{ED}$   
 Required No. of 1-inch Holes (Eq. III-22):  $H_{ED} = 2 \text{ ft} = V_{ED}/(4,666H_{ED}^{0.90})$

##### Part G: Detention and Flood Control Facilities

100-Year Post Development Flow Rate (Eq. III-23):  $Q_{100y} = 13.80 \text{ cfs} = C^*A$   
 Variable Release Rate (Eq. III-25):  $Q_{Var} = 0.780 \text{ cfs/ac} = 1.1055 \cdot [20.6^*ln(A)]$   
 100-Year Post Development Peak Discharge:  $Q_{100y} = 3.78 \text{ cfs} = Q_{Var}$   
 Storage Curve Factor (Eq. III-26):  $R = 0.40 = 0.206 \cdot [0.15^*ln(Q_{100y}/Q_{100y})]$   
 100-Year Post Development Runoff Volume (Eq. III-27):  $V_{100y} = 50.09 \text{ cft} = 18.995^*C^*A$   
 100-Year Detention Volume (Eq. III-28):  $V_{100y} = 20,043 \text{ cft} = V_{100y}R \cdot V_{CPCV}$

##### OUTLET DESIGN CALCULATIONS

###### Orifice 1: Extended Detention Volume Orifice Sizing (Dewatered in 48 Hours)

Number of Holes:  $N = 1$   
 Selected Diameter of Holes:  $D_o = 1.5 \text{ in} @ Elevation 809.00$   
 Orifice Area:  $A = 0.01 \text{ sf}$   
 Actual Release Rate (Extended Detention):  $Q_{Outf1} = 0.11 \text{ cfs} = 0.62^*A^*((2^*g^*h_{ED})^{0.5})$   
 Actual Release Time (Extended Detention):  $T_{ED} = 46.42 \text{ hr} = [V_{ED}]/(Q_{Outf1} \cdot 3600)$

###### Orifice 2: Detention and Flood Control Facilities

Orifice Requirements:  $Q_{100y} = 3.78 \text{ cfs}$   
 100-Year Post Development Peak Discharge:  $Q_{100y} = 3.67 \text{ cfs} = Q_{100y} - Q_{Outf1}$   
 Flow Allowable (Flood Control):  $Z_{100y} = 812.38$   
 Storage Elevation (Flood Control):  $Z_{Out} = 809.00$   
 Head (Flood Control):  $h_{ED} = 3.38 \text{ ft} = Z_{100y} - Z_{Out}$   
 Orifice Area Required:  $A_o = 0.40 \text{ sf} = Q_{100y}/(0.62^*(2^*g^*h_{ED})^{0.5})$

###### Orifice Selection

Number of Holes:  $N = 2$   
 Required Diameter of Holes:  $D_o = 6.07 \text{ in}$   
 Selected Diameter of Holes:  $D_o = 5 \text{ in} @ Elevation 812.38$   
 Orifice Area:  $A = 0.27 \text{ sf}$

Actual Release Rate (Flood Control):  $Q_{Outf2} = 2.49 \text{ cfs} = 0.62^*A^*((2^*g^*h_{ED})^{0.5})$   
 Actual Release Time (Flood Control):  $T_{ED} = 2.23 \text{ hr} = [V_{ED}]/(Q_{Outf2} \cdot 3600)$

Is  $Q_{Outf2}$  less than  $Q_{100y}$ ?

Yes Acceptable

##### DETENTION FOND

Elevation	Depth (ft)	Area (sf)	Volume (cft)	Volume (cft)
814	1.00	13,250	37,910	V <sub>100y</sub> = 20,043
813	1.00	10,700	25,957	V <sub>ED</sub> = 18,199
812	1.00	8,375	22,444	
811	1.00	6,299	9,131	
810	1.00	4,515	5,382	
809	1.00	3,032	3,749	

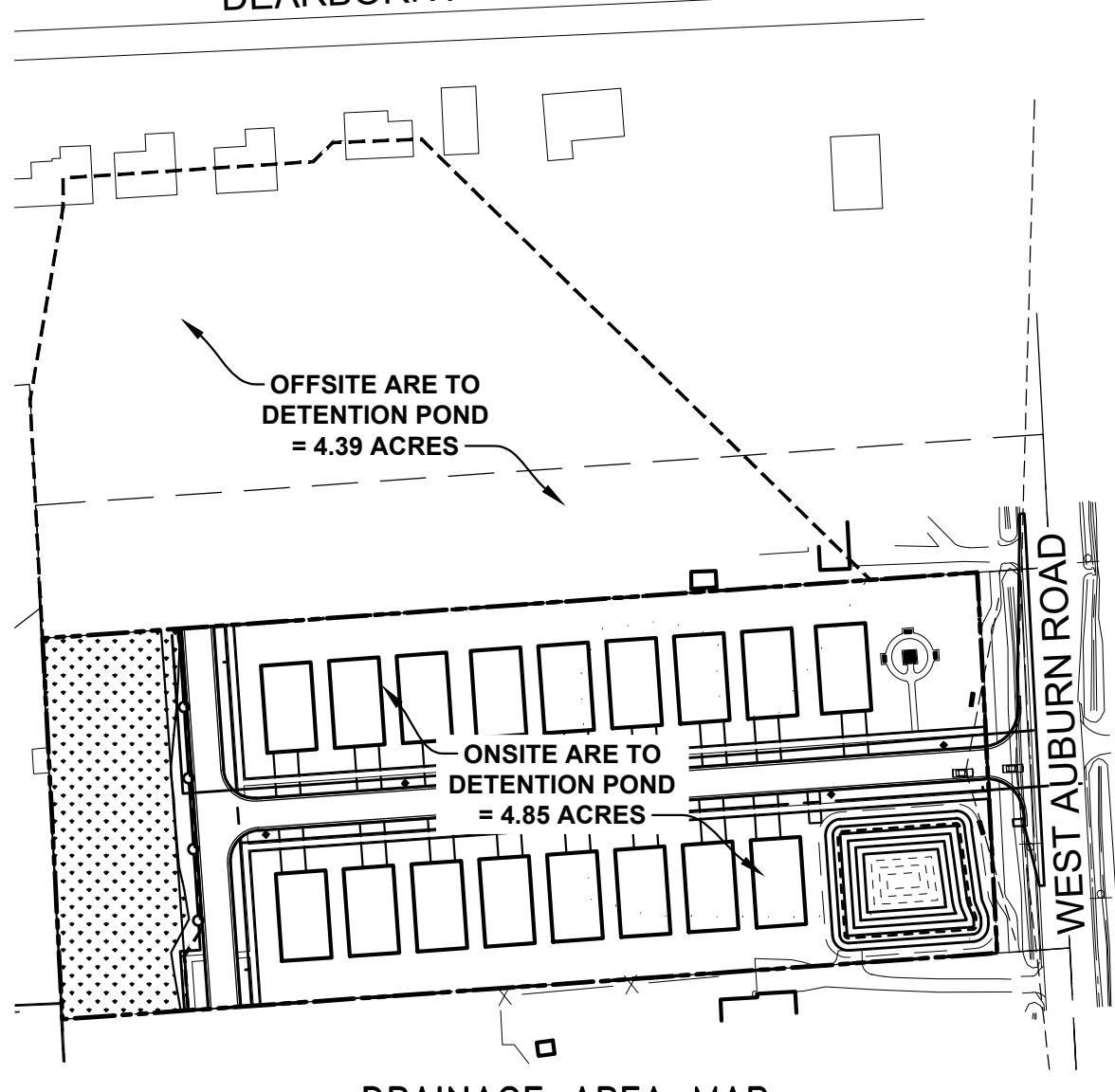
##### Weighted C Calculations

Type	Area	C-Factor
Impervious	2.23	0.95
Pervious	2.62	0.20
Total	4.85	0.54

##### GRADING NOTES

1. THE DEVELOPER IS RESPONSIBLE FOR RESOLVING ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES WHICH ARE A RESULT OF THE DEVELOPER'S ACTIVITIES.
2. SNOWFENCE SHALL BE INSTALLED AT THE BUFFER LINE PRIOR TO ANY GRADING ON-SITE AND SHALL REMAIN IN PLACE AND MAINTAINED PROPERLY DURING THE DURATION OF THE PROJECT. NO GRADING OR DISTURBANCE SHALL BE MADE IN THE BUFFER ZONE.
3. PROPOSED GRADING SHOWN ON THIS PLAN IS CONCEPTUAL IN NATURE, TO DEMONSTRATE GENERAL DRAINAGE AND AREAS OF CUT AND FILL. SITE GRADING WILL BE DESIGNED IN MORE DETAIL DURING THE SITE PLAN AND ENGINEERING STAGES OF THE PROJECT.

#### DEARBORN AVENUE



#### DRAINAGE AREA MAP

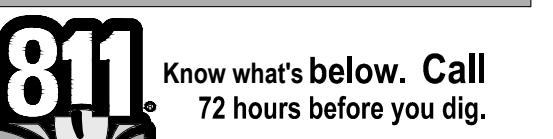
SCALE: 1"=150'

##### LEGEND

Boundary Line	-----
Property Line	-----
EXIST. ROADS	----
EXIST. CONTOUR	----
EXIST. FENCE	----
EXIST. GRAVEL	----
EXIST. STORM SEWER	----
EXIST. BUILDING	----
EXIST. WETLAND	----
EXIST. SIGN	----
EXIST. CATCH BASIN	----
EXIST. END SECTION	----
PROP. CONTOUR	----
PROP. RIGHT OF WAY	----
PROP. BACK OF CURB	----
PROP. SETBACK	----
PROP. SIDEWALK	----
PROP. BUILDING	----
PROP. STORM SEWER	----
PROP. SANITARY	----
PROP. 8" WATER MAIN	----
PROP. END SECTION	----
PROP. CATCH BASIN/INLET	----
PROP. STORM MANHOLE	----
PROP. FIRE HYDRANT	----
PROP. VALVE	----
PROP. SANITARY MANHOLE	----
PROP. INLET FILTER	----
PROP. SILT FENCE	----
PROP. DRAINAGE AREA	----

CLIENT: GRANDVIEW OF ROCHESTER, LLC

DRAWN BY: CHECKED BY: DATE:  
 NAC JLA OCTOBER 2022  
 SCALE: 1" = 30'  
 0 15 30 60



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITIES. NO WARRANTY IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL ENCOUNTER VARIOUS UTILITIES. THE COSTS FOR LOCATING, VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY.

DURING CONSTRUCTION, THE CONTRACTOR SHALL EXTREME CAUTION WHEN OPERATING NEAR ANY AND OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO. 1645-0005

M116451645-0005.DWG/CIVIL/SITE PLAN06\_GRADING.DWG

06\_Grading-11/20/2025 9:29 AM

SHEET NO.

6

CITY FILE #23-0022 SECTION #28

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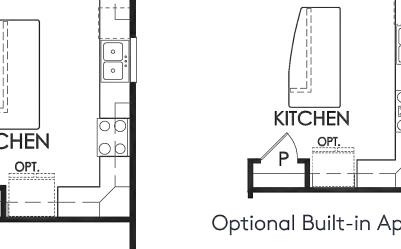
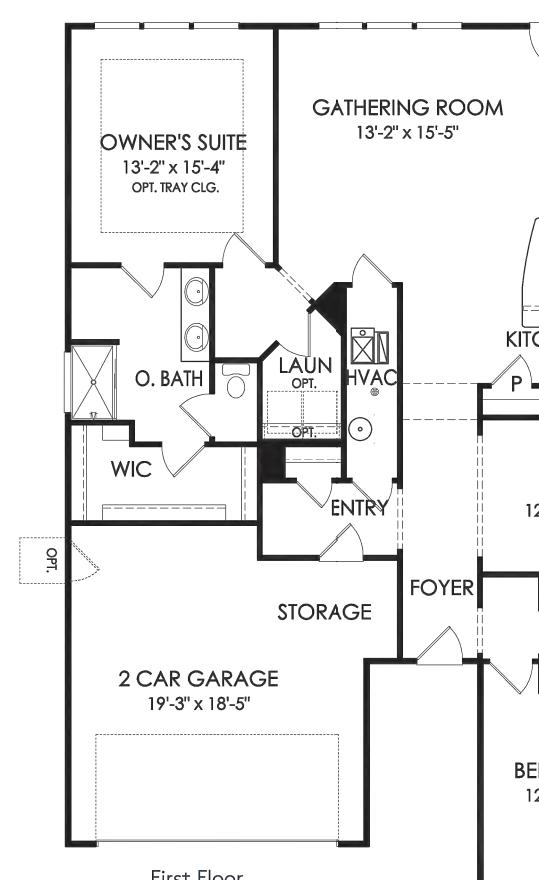




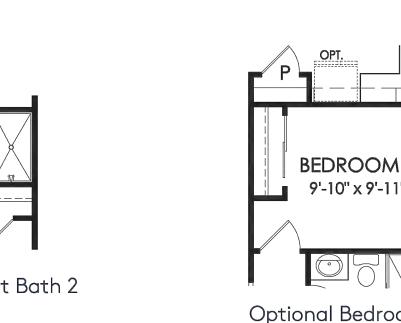


Abbeyville | First Floor Options

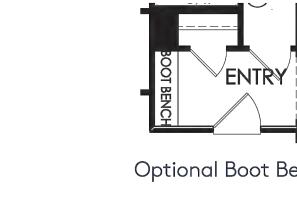
cottages at gregory meadows



Optional Door at Flex



Optional Bedroom 3



Additional first floor options on next page

This floor plan is for illustrative purposes only. The elevation you select and local building regulations may require changes to the floorplan options shown above. Dimensions, specifications, and options are subject to change without notice. Square footages are approximate. Elevations are the artist's conception and are not intended to show specific detailing. Images are for illustrative purposes only and are not intended to be an actual representation of any particular home, community, neighborhood or the completed improvements being offered. Speak to a sales consultant for complete details.  
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Bedrock | First Floor Options

cottages at gregory meadows



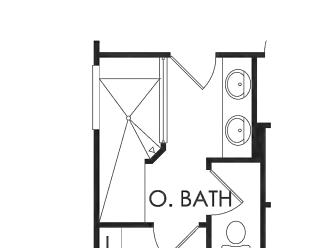
Optional Owner's Suite Bay



Fireplace Option



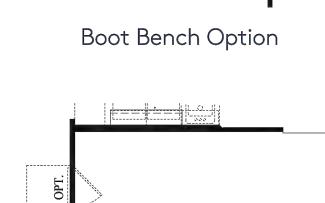
Optional Owner's Bath 3



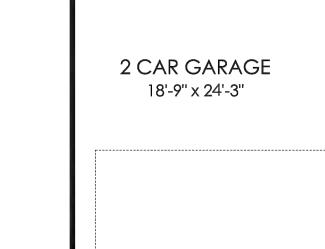
Optional Owner's Bath 5



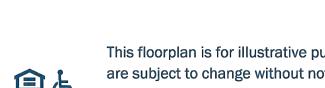
Optional Built-in Appliances



Optional Door at Flex



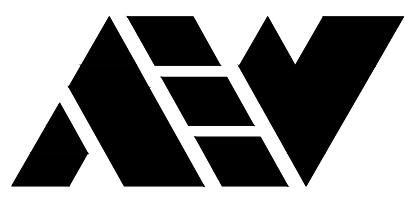
Optional Boot Bench



Opt. Garage Extension

Additional first floor options on next page

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ANDERSON, ECKSTEIN AND WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

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Shelby Township  
Michigan 48315  
Phone 586 726 1234  
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www.aewinc.com

ENGINEERING STRONG COMMUNITIES



06/19/2025  
05/31/2023  
02/10/2023  
DATE  
SUBMITTALS/REVISIONS

PROJECT NAME:

GRANDVIEW  
CONDOMINIUM  
COMMUNITY

SHEET TITLE:

ILLUSTRATIVE  
ELEVATIONS

CLIENT:

GRAND VIEW OF ROCHESTER, LLC

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY:	CHECKED BY:	DATE:
NAC	JLA	OCTOBER 2022
SCALE:		
NONE		



KNOW WHAT'S BELOW. CALL  
72 HOURS BEFORE YOU DIG.

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY, AS DISCLOSED BY RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITIES AND COMPANIES. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

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DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO.

1645-0005

M116451645-0005(DWG)CIVIL-SITE PLAN09\_DETAILS.DWG  
(8) Elevations - 10/19/2025 2:10:03 PM

REVISION: Revision #6  
SHEET NO.RECEIVED:11/24/2025  
PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT

8

CITY FILE #23-0022 SECTION #28  
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Abbeyville Exteriors | Cottages at Gregory Meadows



Abbeyville - Exterior 31



Abbeyville - Exterior 32



Abbeyville - Exterior 33



Abbeyville - Exterior HR2U



Abbeyville - Exterior NC2L



Abbeyville - Exterior NC2S



Bedrock Exteriors | Cottages at Gregory Meadows



Bedrock - Exterior HR2J



Bedrock - Exterior LC2K



Bedrock - Exterior HR3M



Bedrock - Exterior LC2G



Bedrock - Exterior LC2N



Bedrock - Exterior HR2T

**ABBEYVILLE – SINGLE FAMILY**  
TYPICAL ELEVATIONS SHOWN – FOR REPRESENTATIVE PURPOSES ONLY

A MINIMUM OF THREE OF THE FOLLOWING SHALL BE INCLUDED FOR EACH ELEVATION: DORMERS, GABLES, RECESSED ENTRIES, UNENCLOSED FRONT PORCHES, ARCHITECTURAL PILLARS AND BAY WINDOWS.

**BEDROCK – SINGLE FAMILY**  
TYPICAL ELEVATIONS SHOWN – FOR REPRESENTATIVE PURPOSES ONLY

A MINIMUM OF THREE OF THE FOLLOWING SHALL BE INCLUDED FOR EACH ELEVATION: DORMERS, GABLES, RECESSED ENTRIES, UNENCLOSED FRONT PORCHES, ARCHITECTURAL PILLARS AND BAY WINDOWS.



PROJECT: J2023 0022/PSI2023 0010

REVISION: Revision #6

SHEET NO.

RECEIVED:11/24/2025

PLANNING &amp; ECONOMIC DEVELOPMENT DEPARTMENT

CITY FILE #23-0022 SECTION #28

NOT TO BE USED AS CONSTRUCTION DRAWINGS


 SYDNEY A.  
 KANAN  
 ENGINEER  
 No.  
 6201068842



**LANDSCAPE NOTES**

- ALL PLANTS SHALL BE NORTH MIDWEST AMERICAN REGION GROWN, NO.1 GRADE PLANT MATERIALS, AND SHALL BE TRUE TO NAME, FREE FROM PHYSICAL DAMAGE AND WIND BURN.
- PLANTS SHALL BE FULL, WELL-BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.
- ALL TREES SHALL BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST TWO (2) FULL YEARS FOLLOWING CITY APPROVAL.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK.
- PROVIDE CLEAN BACKFILL SOIL, USING MATERIAL STOCKPILED ON SITE, SOIL SHOULD BE FREE OF ANY DEBRIS, FOREIGN MATERIAL, AND STONE.
- "AGIFORM" TABS OR SIMILAR SLOW-RELEASE FERTILIZER SHALL BE ADDED TO THE PLANTING POTS BEFORE BEING BACKFILLED.
- AMENDED PLANTING MIX SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND AND 1/3 PEAT, MIXED WELL AND SPREAD TO THE DEPTH AS INDICATED IN PLANTING DETAILS.
- ALL PLANTINGS SHALL BE MULCHED PRIOR TO PLANTING DETAILS LOCATED ON THIS SHEET.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK SOWN ON THE LANDSCAPE DRAWINGS AND SPECIFICATIONS.
- NO SCAFFOLDING OR CHANGES IN LOCATION OF PLANT TYPES SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT AND CITY.
- THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND THE FIELD CONDITIONS PRIOR TO INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN THE VERTICAL CONDITIONS THROUGHOUT THE GUARANTEED PERIOD.
- THE LANDSCAPE ARCHITECT SHALL HAVE THE RIGHT, AT ANY STAGE OF THE INSTALLATION, TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS, IF REQUESTED BY OWNER.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING PLANT QUANTITIES TO ENSURE QUANTITIES ON DRAWINGS AND PLANT LIST ARE THE SAME IN THE EVENT OF A DISCREPANCY, THE QUANTITIES ON THE PLANS SHALL PREVAIL.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL AREAS DISTURBED DURING CONSTRUCTION, THROUGHOUT THE CONTRACT LIMITS.
- A PRE-EMERGENCY WEED CONTROL AGENT, "GREEN" OR EQUAL, SHALL BE APPLIED TO THE SURFACE TOP OF ALL MULCHING IN PLANTING BEDS.
- ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN UNDERGROUND AUTOMATIC SPRINKLER SYSTEM.
- SOD SHALL BE TWO YEAR OLD "BARON/CHERIADEPH" KENTUCKY BLUE GRASS GROWN IN A SOD NURSERY ON LOAM SOIL.
- ALL GROUND MOUNTED UTILITIES SHALL BE FULLY SCREENED FROM VIEW.
- ALL LANDSCAPE REQUIRED PURSUANT TO CITY OF ROCHESTER HILLS CODES AND ORDINANCES SHALL BE MAINTAINED IN PERPETUITY.

**MAINTENANCE NOTES**

## SECTION 13B-12.109—MAINTENANCE

THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE LANDSCAPING, AS FOLLOWS:

A. LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITIONS, FREE FROM DEBRIS.

B. PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.

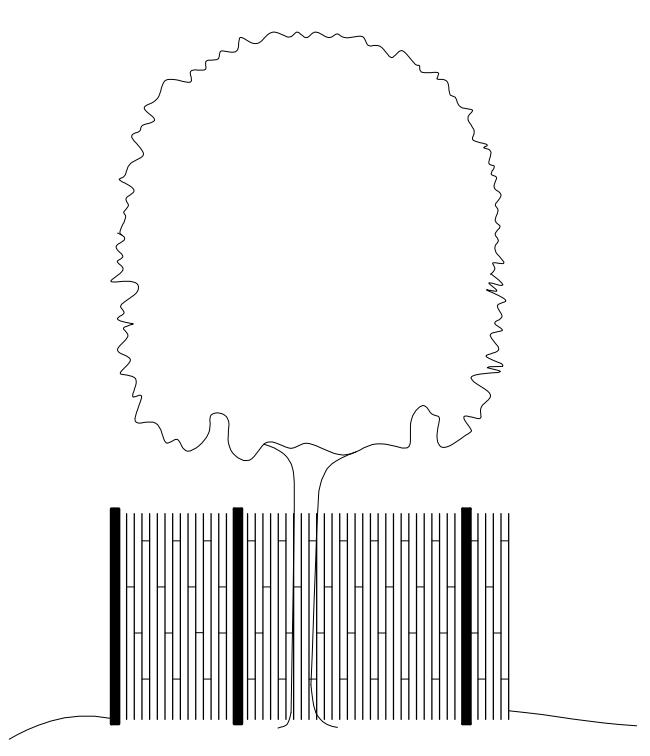
C. ALL DEAD, DAMAGED OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND FROM OCTOBER UNTIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF INTENDED TO REPLACE. THE CITY MAY NOTIFY PROPERTY OWNERS OF THE NEED TO REPLACE DEAD MATERIAL.

D. THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART APPROVAL, UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE AFOREMENTIONED PROCEDURES, AN REMOVAL OF PLANT MATERIALS, OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF THIS WILL PLACE THE PARCEL IN NON-COM conFORMITY WITH THE APPROVED LANDSCAPE PLAN AND WILL BE A ORDINANCE.

E. IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH BASIS AT MONETARY BY THE FORESTRY DEPARTMENT.

FENCE SHALL BE LOCATED AT THE OUTER PERIMETER OF THE SPREAD OF THE PLANTING BEDS AND CLOSER ONLY AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.

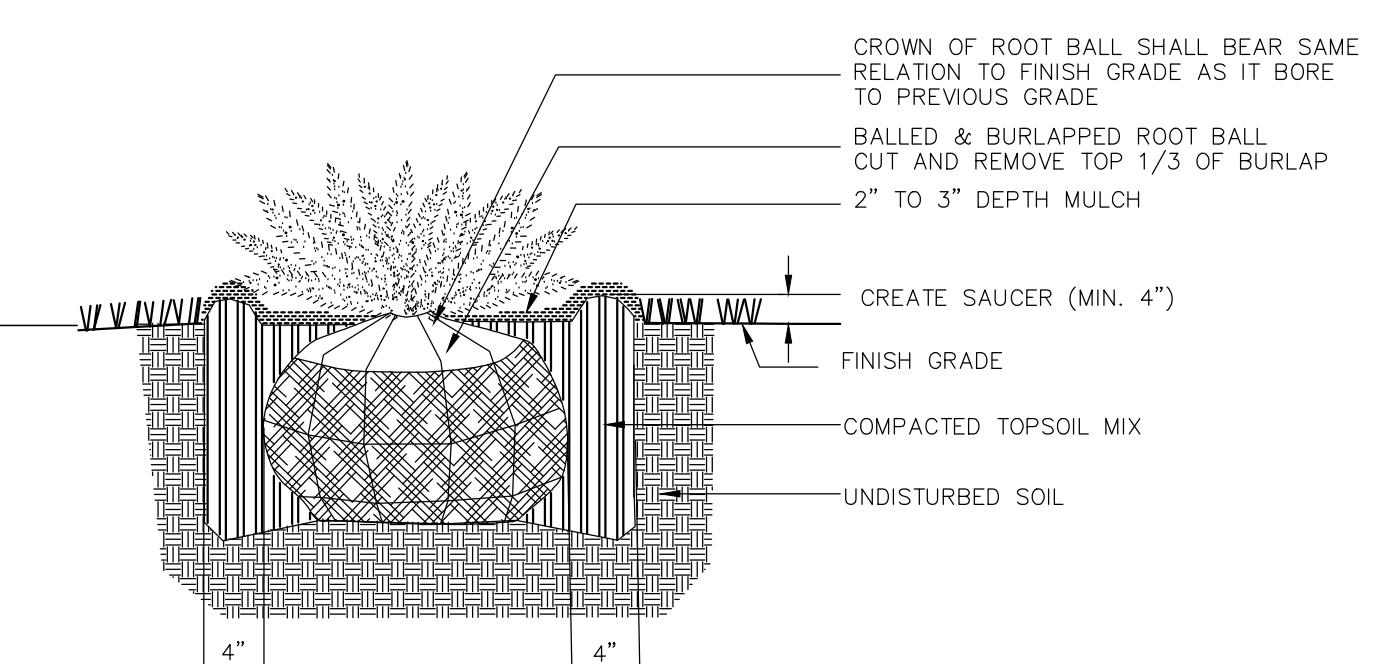
ELEVATION


**TREE PROTECTION FENCE DETAIL**

NO SCALE

**TREE PROTECTION NOTES:**

- ALL TREES TO BE REMOVED WILL BE IDENTIFIED BY RED FLAGGING.
- PROTECTIVE FENCING IS TO BE ERECTED PRIOR TO ANY EARTHWORK OR CONSTRUCTION AND IS TO REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED.
- ALL DEBRIS, FILL, EQUIPMENT OR MATERIAL IS TO BE KEPT CLEAR OF AREA WITH PROTECTIVE FENCE. NO LEAVES, STICKS, OR OTHER MATERIALS FOR STORAGE OR DISPOSAL OF ANY MATERIAL WITHIN THE Drip LINE OF ANY TREES TO BE SAVED.


**SHRUB PLANTING DETAIL**

NO SCALE

**ADDITIONAL NOTES**

- ALL LANDS UNDERGROUND.
- ISLANDS SHALL BE FULL, WELL-BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.
- PLANTS SHALL BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST TWO (2) FULL YEARS FOLLOWING CITY APPROVAL.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK.
- PROVIDE CLEAN BACKFILL SOIL, USING MATERIAL STOCKPILED ON SITE, SOIL SHOULD BE FREE OF ANY DEBRIS, FOREIGN MATERIAL, AND STONE.
- "AGIFORM" TABS OR SIMILAR SLOW-RELEASE FERTILIZER SHALL BE ADDED TO THE PLANTING POTS BEFORE BEING BACKFILLED.
- AMENDED PLANTING MIX SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND AND 1/3 PEAT, MIXED WELL AND SPREAD TO THE DEPTH AS INDICATED IN PLANTING DETAILS.
- ALL PLANTINGS SHALL BE MULCHED PRIOR TO PLANTING DETAILS LOCATED ON THIS SHEET.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK SOWN ON THE LANDSCAPE DRAWINGS AND SPECIFICATIONS.
- NO SCAFFOLDING OR CHANGES IN LOCATION OF PLANT TYPES SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT AND CITY.
- THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND THE FIELD CONDITIONS PRIOR TO INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL AREAS DISTURBED DURING CONSTRUCTION, THROUGHOUT THE CONTRACT LIMITS.
- A PRE-EMERGENCY WEED CONTROL AGENT, "GREEN" OR EQUAL, SHALL BE APPLIED TO THE SURFACE TOP OF ALL MULCHING IN PLANTING BEDS.
- ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH AN UNDERGROUND AUTOMATIC SPRINKLER SYSTEM.
- SOD SHALL BE TWO YEAR OLD "BARON/CHERIADEPH" KENTUCKY BLUE GRASS GROWN IN A SOD NURSERY ON LOAM SOIL.
- ALL GROUND MOUNTED UTILITIES SHALL BE FULLY SCREENED FROM VIEW.
- ALL LANDSCAPE REQUIRED PURSUANT TO CITY OF ROCHESTER HILLS CODES AND ORDINANCES SHALL BE MAINTAINED IN PERPETUITY.

 Use the standard below for  
 mountable C&G

NOTES

1. EJ 7065 Casting

2. 30" B-2 MODIFIED CURB &amp; GUTTER

3. 30" B-2 MODIFIED REVERSE GUTTER

4. 30" B-2 MODIFIED Curb &amp; Gutter

5. 30" B-2 MODIFIED Curb &amp; Gutter

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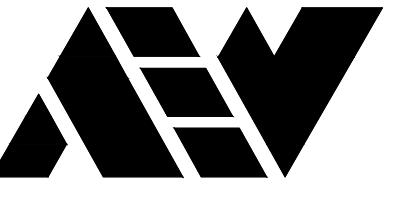
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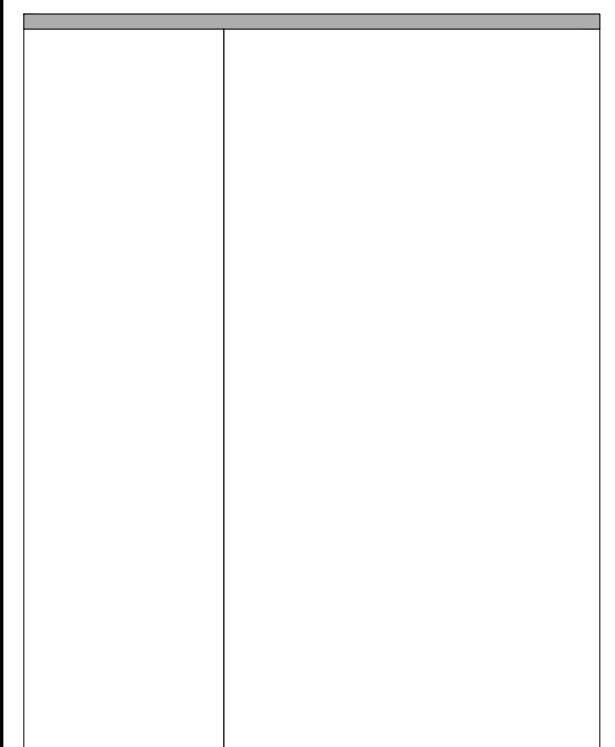
ANDERSON, ECKSTEIN AND  
WESTRICK, INC.

CIVIL ENGINEERS SURVEYORS ARCHITECTS

51301 Schoenherr Road Phone 586 726 1234  
Shelby Township Fax 586 726 8780  
Michigan 48315

www.aewinc.com

ENGINEERING STRONG COMMUNITIES



05/19/2025 SITE PLAN RESUBMITTAL  
02/10/2023 SITE PLAN RESUBMITTAL  
DATE SUBMITTALS/REVISIONS

PROJECT NAME: GRANDVIEW CONDOMINIUM COMMUNITY

## SIDEWALK DETAILS

CLIENT: GRAND VIEW OF ROCHESTER, LLC

<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONSTRUCTION	<input type="checkbox"/> RECORD
DRAWN BY: NAC	CHECKED BY: JLA	DATE: OCTOBER 2022
SCALE: NONE		



UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY. AS DISCLOSED BY RECORDS PROVIDED BY THE OWNER, THE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE INACCURACY OF THE INFORMATION PROVIDED. NO LIABILITY IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND FACILITIES (IN CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT ALL UTILITIES THAT ARE ENCOUNTERED. ALL COSTS FOR UTILITY LOCATION, VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY.

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND ALL OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO. 1645-0005

M:116451645-0005(DWG/CIVIL/SITE PLANO9\_DETAILS.DWG  
10 Walk-10/15/2025 214 PM

RECEIVED: 11/24/2025

REVISION: Revision #

SHEET NO.

CITY FILE #23-0022 SECTION #28

NOT TO BE USED AS CONSTRUCTION DRAWINGS

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HOLOPHANE  
LIGHTING SOLUTIONS

AUCL3

Utility Arlington Series Luminaire Full Cutoff LED3



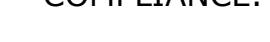
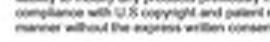
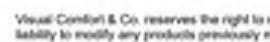
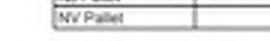
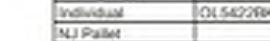
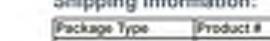
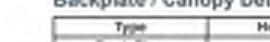
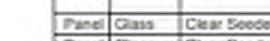
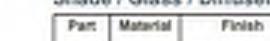
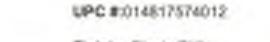
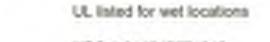
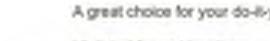
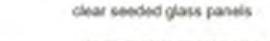
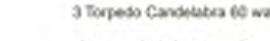
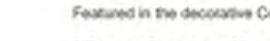
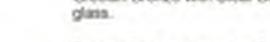
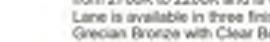
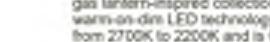
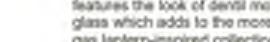
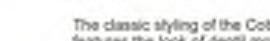
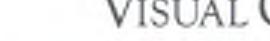
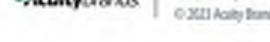
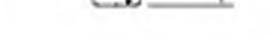
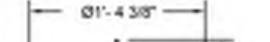
Catalog Number	
Name	

**Mechanical**  
- All light Al 6061 anodized fixture mounted fixture and photovoltaic panel are held in place by a single bolt.  
- Hidden hinge door allowing the door to swing open and close.  
- Optional internal or external NEMA twist lock photocell that will turn the fixture on and off when there is no light to wash the door for internal versions.  
- 3.15" x 0.2" pole base.  
- Decorative door cover contains stainless steel hinge while the door is made of aluminum.  
- Polyester powder coat paint to ensure maximum durability and resistance to the elements.  
- A finish that achieves a color change rating of 0.9 per ASTM D1746 after over 2,000 hours exposure in a salt fog chamber.  
- UL 94V-0 flame rating and IEC 60068-2-22 MIL-STD-883C.  
- UL, IEC, IMC/ASCE/IRC paint colors are Super Durable Ceramic.

**Electrical**  
- Surge protection: ASCE/IEEE C-21.1-1807/NAI.  
- Surge protection: 2000V per IEC61672-2-211.  
- Quick disconnect connector for ease of installation.

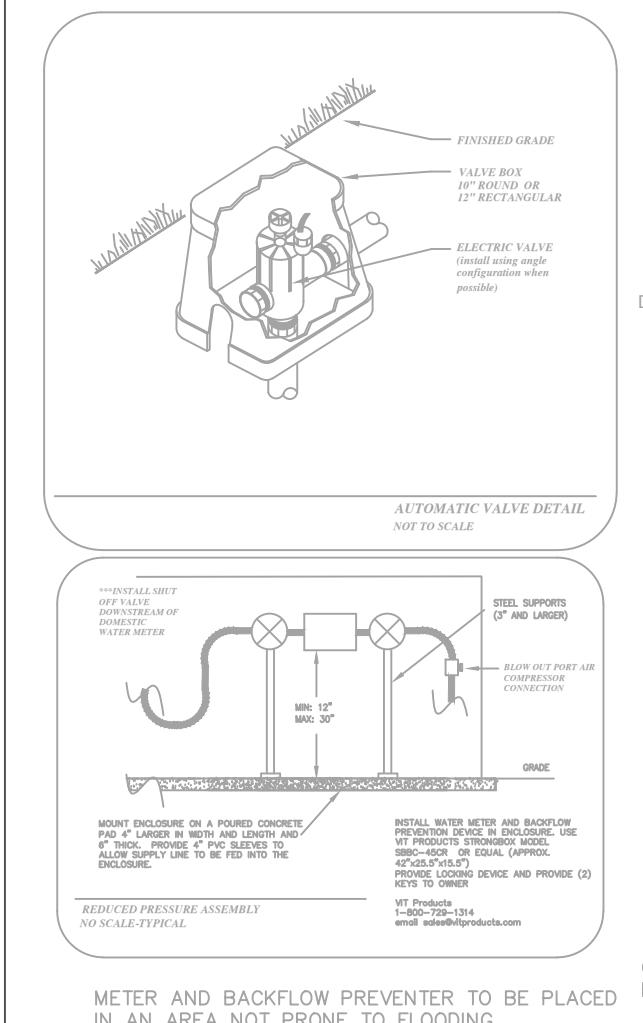
- Three pole terminal block is standard, with optional prewired leads for ease of installation.  
- LED circuit board located at the top cover.  
- 2700K, 3000K, 4000K CCT.  
- 7000K Standard.

**Control**  
- LED Application Output (LED module)- Optional device that adjusts the light output and optical settings to user specific requirements.  
- LED module is pre-wired to the fixture.



COORDINATE ALL COMMUNICATION WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.  
IRRIGATION CONTRACTOR RESPONSIBLE FOR CONTACTING THE CITY REGARDING WATER MAIN TAP PRIOR TO CONSTRUCTION. ENSURE WATER MAIN TAP AND SERVICE LINE INSTALLATION MEETS OWNER'S REPRESENTATIVES PROJECT SCHEDULING. CITY TO PERFORM TAP INTO EXISTING WATER MAIN AND INSTALL NEW SERVICE LINE TO LOCATION SHOWN. SEE DETAIL THIS SHEET. IRRIGATION CONTRACTOR RESPONSIBLE FOR ALL PERMITS, FEES AND SCHEDULING WITH THE CITY. ACTUAL SADDLE TEE TAP AND SERVICE LEAD TO BE INSTALLED BY CITY. ALL WORK TO BE IN COMPLIANCE WITH CITY'S STANDARDS. DAMAGE TO EXISTING SURFACES CORRECTED AT CONTRACTORS EXPENSE.  
COORDINATE WATER METER LOCATION WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLING. INSTALL METER, BACKFLOW PREVENTION AND ENCLOSURE. ALL WORK TO BE IN COMPLIANCE WITH THE CITY.  
BACKFLOW REQUIREMENTS

- Required RPZ must be ASSE 1013 listed as a complete assembly including shutoff valves.
- Assembly required to be installed by a licensed plumbing contractor.
- Plumbing permit is required prior to installation.
- New assembly must be tested after installation by a licensed plumber also ASSE 5110 Certified to test.
- Results must be recorded on the City test report form with a copy sent to the Water & Sewer Division.
- RPZ must be installed not less than 12-inches above FINISHED GRADE measured from the bottom of the pressure relieve valve.
- Assemblies must be in compliance with the Michigan Plumbing Code, manufacturer installation instructions including winterization and ASSE listing approvals for orientation, valves, etc.



METER AND BACKFLOW PREVENTER TO BE PLACED IN AN AREA NOT PRONE TO FLOODING

CONTRACTOR MUST INSTALL METER AND BACKFLOW PREVENTER. OWNER IS RESPONSIBLE FOR METER AND BACKFLOW PREVENTER. IT IS RECOMMENDED THAT THE CITY PLACE METER AND BACKFLOW PREVENTER INSIDE CABINET PROVIDED THE CITY HAS ACCESS.

BLOW OFF RISERS ON WATER SERVICE LINES ARE NOT ALLOWED

SYSTEM NEEDS TO BE PUMPED OUT FROM METER BACK TO STOP (CURB) BOX.

IT IS THE OWNER'S RESPONSIBILITY (NOT THE CITY'S) TO REMOVE METER DURING WINTER MONTHS TO AVOID DAMAGE TO THE METER.

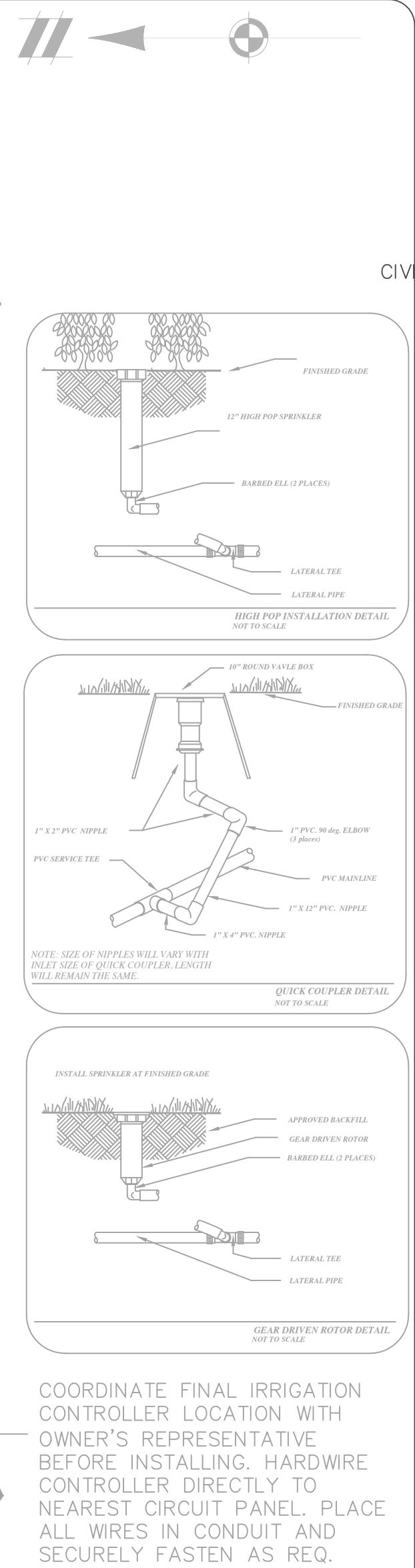
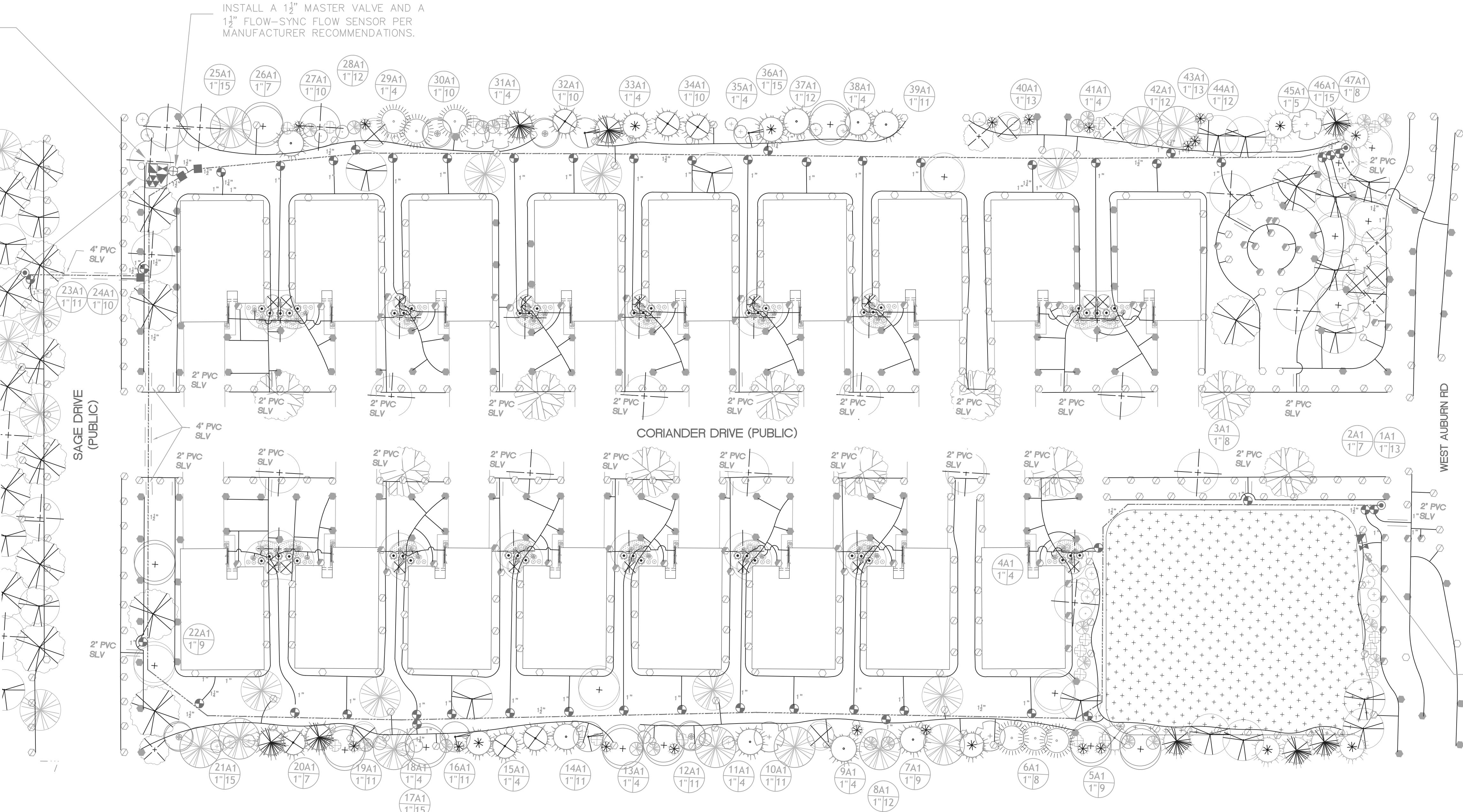
WATER TAP

ALL WATER TAPS 2" AND SMALLER ARE MADE BY THE CITY

WATER SPRINKLER TAPS ARE SHORT TAPS ONLY UNLESS APPROVED BY THE CITY

ALL STOP (CURB) BOXES WILL BE INSTALLED WITHIN 10' OF THE WATER MAIN UNLESS APPROVED BY THE CITY

THE CONTRACTOR IS RESPONSIBLE FOR FULL CLEANUP AND RESTORATION RESULTING FROM A SERVICE LINE INSTALLATION FOR IRRIGATION PURPOSE.



COORDINATE FINAL IRRIGATION CONTROLLER LOCATION WITH OWNER'S REPRESENTATIVE BEFORE INSTALLING. HARDWIRE CONTROLLER DIRECTLY TO NEAREST CIRCUIT PANEL. PLACE ALL WIRES IN CONDUIT AND SECURELY FASTEN AS REQ. COORDINATE CONNECTION TO 120V POWER PRIOR TO CONSTRUCTION. IRRIGATION CONTRACTOR RESPONSIBLE FOR CONNECTION.

DATE

SITE PLAN RESUBMITTAL  
05/19/2025  
05/31/2023  
02/10/2023

SITE PLAN RESUBMITTAL  
SUBMITTALS/REVISIONS

DATE

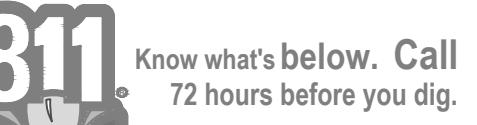
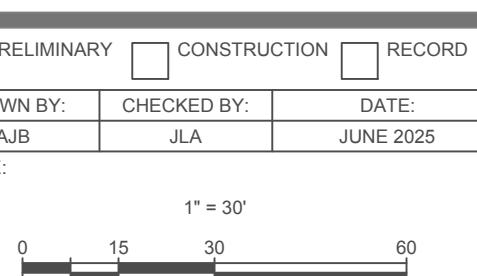
PROJECT NAME:

## GRANDVIEW CONDOMINIUM COMMUNITY

SHEET TITLE:

## IRRIGATION PLAN

CLIENT: GRAND VIEW OF ROCHESTER, LLC



KNOW WHAT'S BELOW. CALL 72 HOURS BEFORE YOU DIG.

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF EXISTING FACILITIES ONLY. AS DISCLOSED IN RECORDS PROVIDED TO THIS FIRM FROM THE VARIOUS UTILITIES, NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF THESE PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. DURING THE CONSTRUCTION, THE CONTRACTOR SHALL PROTECT AND SUPPORT THE UTILITIES THAT ENCOUNTERED. THE COSTS FOR UTILITIES LOCATION VERIFICATION, SUPPORT AND PROTECTION SHALL BE INCLUDED IN THE PROPOSED PAY ITEM CONFLICTING WITH THAT UTILITY.

DURING CONSTRUCTION, THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR ANY AND OVERHEAD AND / OR BURIED UTILITIES.

PROJECT NO. 1645-0005

REVISION: Revision #5  
RECEIVED: 11/24/2025

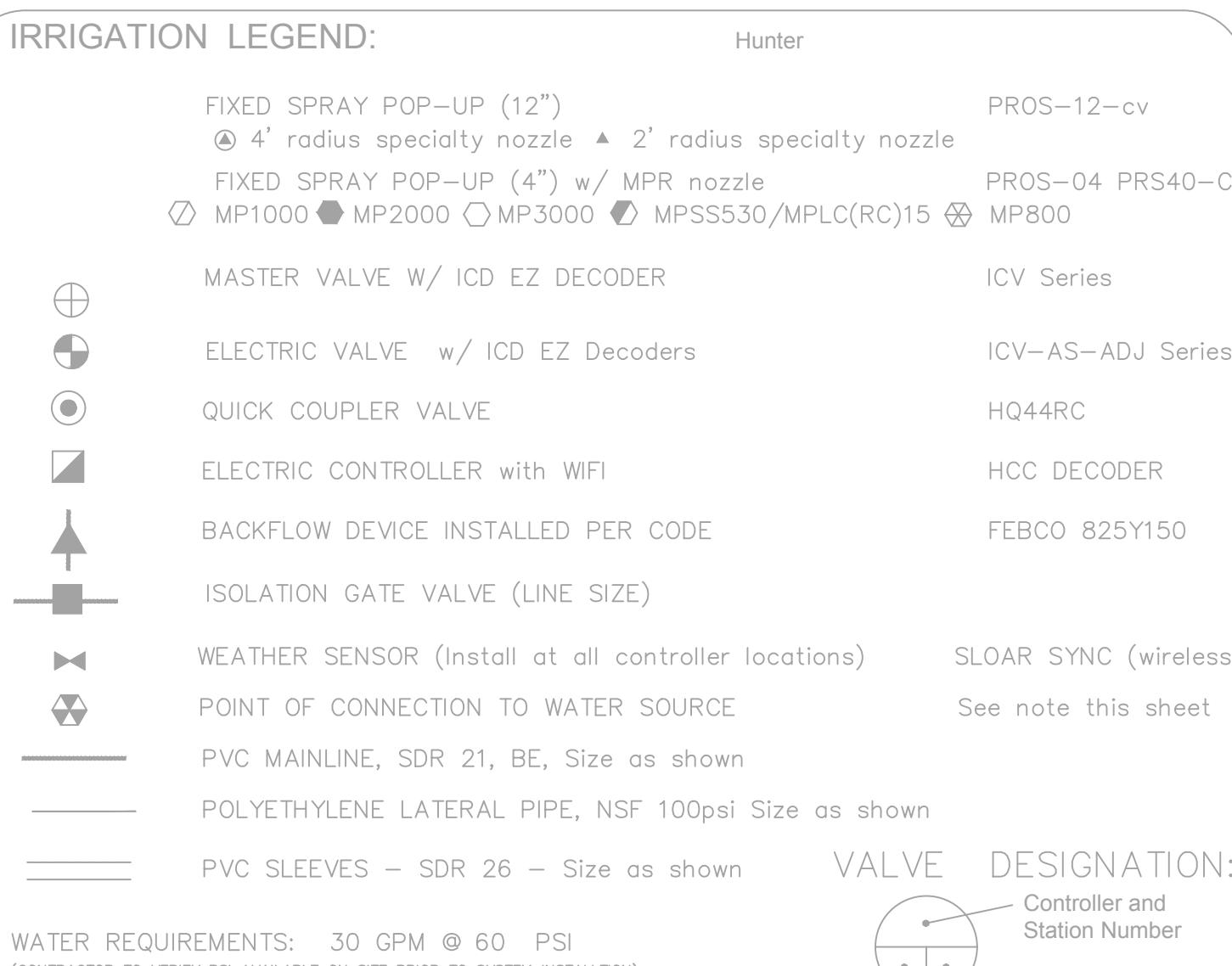
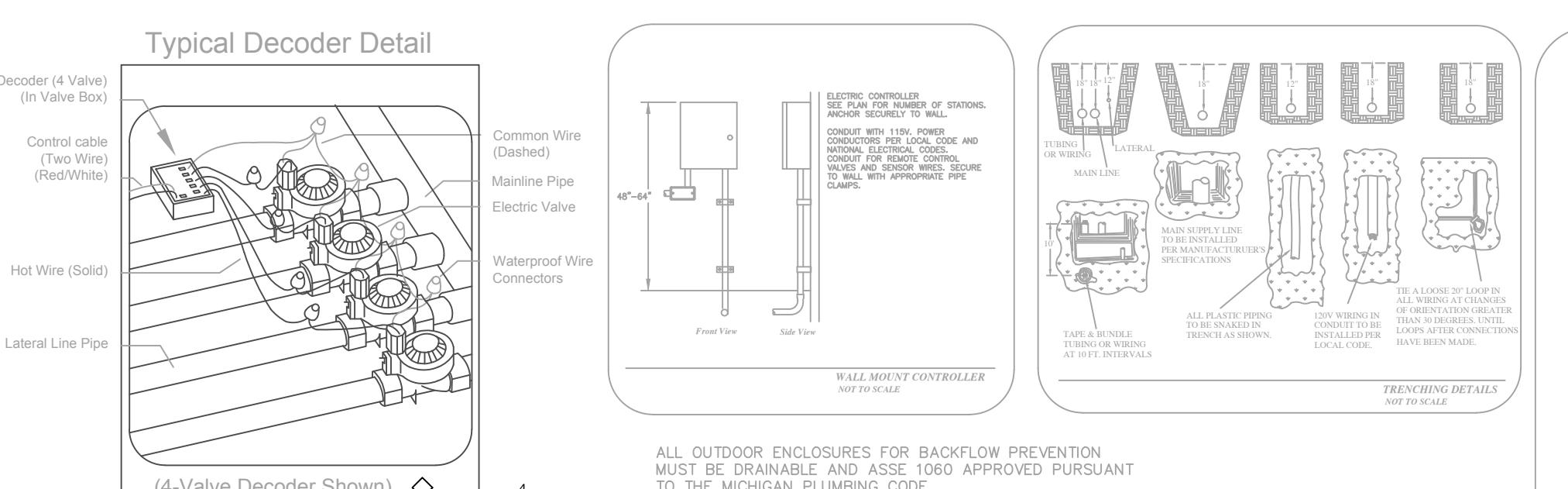
PLANNING & ECONOMIC DEVELOPMENT DEPARTMENT  
2428 Chippewa Trail  
Hastings, MI 49058  
Tel. (248) 789-0330  
email: abarnes@qdassets.org  
www.qdassets.org

SHEET NO.

CITY FILE #23-0022 SECTION #28  
NOT TO BE USED AS CONSTRUCTION DRAWINGS

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IRR 1



NOTES:

- Refer to the specifications for installation details and descriptions, as well as, construction methods which will be accepted.
- All work shall be in compliance with all local, state, and federal codes and ordinances.
- All electrical connections shall be made using 3m DBY-6 splice kits.
- All control wiring downstream of the controller shall be 14AWG HUNTER IDWIRE - RED UL approved for direct bury.
- Pipe routing is schematic. All heads are to be field adjusted to within 2' to take into consideration any obstruction. Final head placements are subject to the landscape architect's approval.
- All sprinkler heads shall be mounted on 2 elbow poly swing joints as specified.
- Contractor to verify final controller location with owner's authorized representative prior to installation.
- All pipe not sized downstream of control valve is 1".
- All sleeves shall be PVC (see specifications).
- Irrigation contractor's point of connection to water source shall be as noted on this sheet.
- Isolate and connect to indicated water source.
- 120v power to the controller locations should be provided others. Coordinate with owner's representative. Hardwire controller directly to nearest circuit panel. Place all wires in conduit per code.
- Design pressure does not take into account seasonal supply fluctuations. Periods of drought may cause temporary pressure losses to the city water supply resulting in inadequate irrigation system performance. Irrigation design is based on normal weather conditions and typical municipal water supply abilities.
- Irrigation contractor shall be responsible for determining and maintaining the irrigation schedule during the project construction and throughout the length of the warranty period.
- The irrigation schedule shall deliver 1" of precipitation per week +/- natural rainfall quantities for turf grass.
- Landscape material shall receive adjusted amounts of precipitation to maintain proper plant health.
- Landscape and turf grass shall be irrigated separately.
- Rotors and spray zones may not be combined to operate at the same time.
- When specified, follow manufacturer's product recommendations concerning proper installation of water flow sensors. Allow proper straight pipe distances before and after flow sensors.

VALVE DESIGNATION: Controller and Station Number, Valve Size, Gallons Per Minute

WATER REQUIREMENTS: 30 GPM @ 60 PSI  
(CONTRACTOR TO VERIFY PSI AVAILABLE ON SITE PRIOR TO SYSTEM INSTALLATION)

PIPE SIZE CHART  
0-12 GPM = 1" DIAMETER POLY PIPE  
12-24 GPM = 1 1/4" DIAMETER POLY PIPE  
24-30 GPM = 1 1/2" DIAMETER POLY PIPE  
30-60 GPM = 2" DIAMETER POLY PIPE

IRRIGATION NOTE:  
ALL LANDSCAPE AREAS, INCLUDING THOSE WITHIN THE R.O.W. SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL OPERATE IN COMPLIANCE WITH LOCAL STANDARDS AND SEASONAL RESTRICTIONS. SPRINKLER HEADS SHALL BE LOCATED FOR LAWN AREAS AND PLANTING BEDS. IRRIGATION SHALL BE DESIGNED IN THE MOST EFFICIENT MANNER NECESSARY TO FULLY IRRIGATE ALL PLANTING AREAS.

