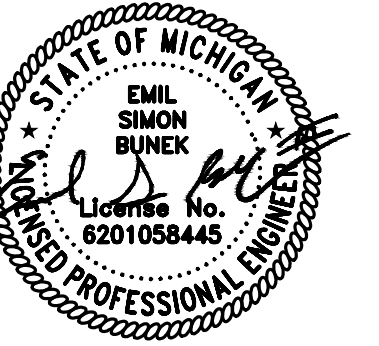


PRELIMINARY SITE PLANS

O'BRIEN - ROCHESTER HILLS

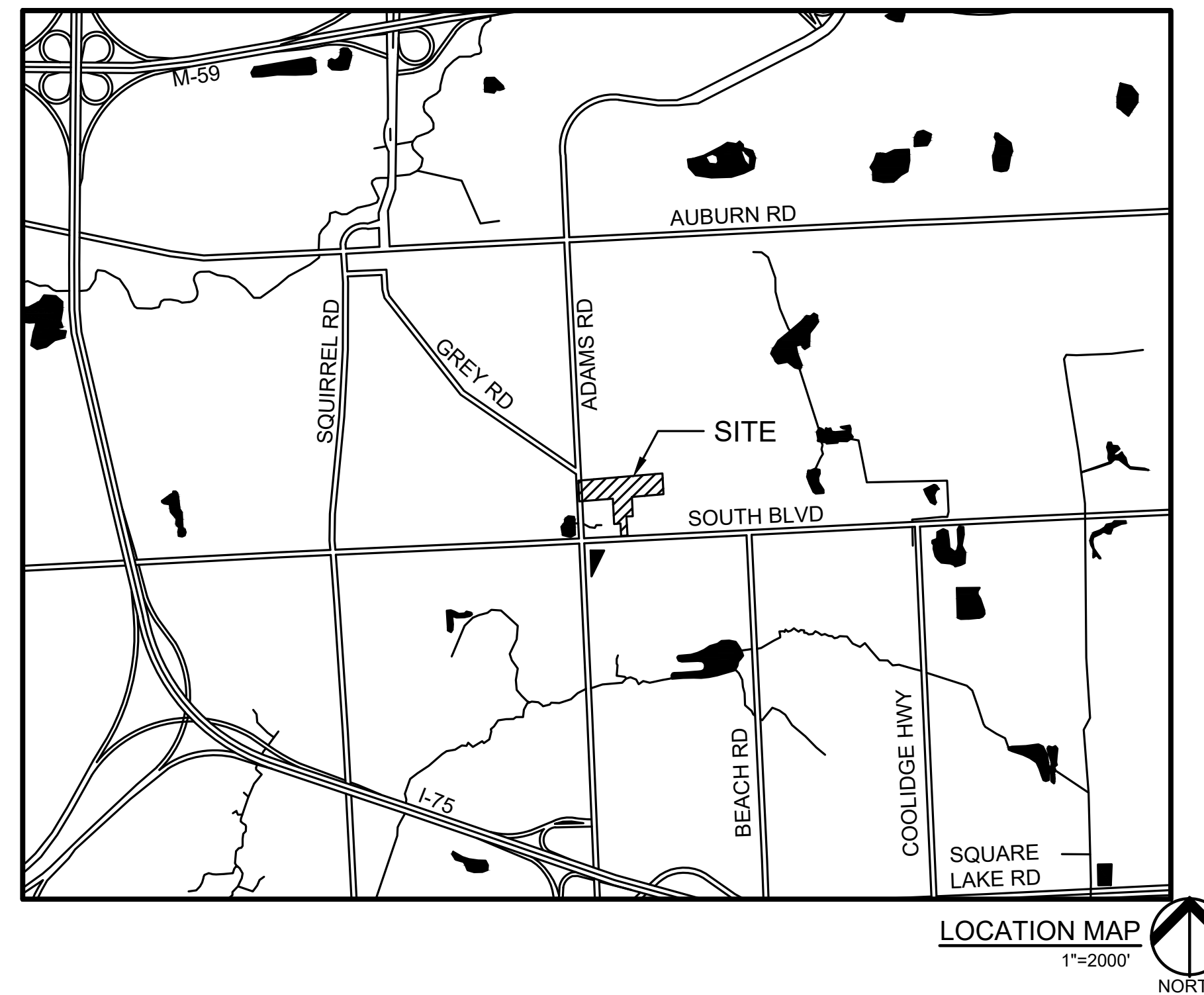
3861 S ADAMS RD

ROCHESTER HILLS, OAKLAND COUNTY MI



Land Use Summary - East Pond		
Must be included on the Stormwater Calculations/O&M Plan Sheet		
Characteristic	Existing Conditions	Proposed Conditions
Total Development Area (ac)	3.69 Acres	3.69 Acres
Impervious Area (ac)	0.00 Acres	1.95 Acres
Total Pervious Area (ac)	3.69 Acres	1.74 Acres
Pervious Area Breakdown by Cover Type		
<i>Meadow/fallow/natural areas (non-cultivated)</i>		
Predominant NRCS Soil Type (A, B, C, or D)	C	C
<i>Improved areas (turf grass, landscape, row crops)</i>		
Predominant NRCS Soil Type (A, B, C, or D)	B	C
Wooded Areas		
Predominant NRCS Soil Type (A, B, C, or D)	C	C
Proposed Pond Area (acres)		0.26 Acres
CPVC Volume <i>Calculated</i> (cubic feet)		10,796 cf
CPVC Volume <i>Provided</i> (cubic feet)		10,796 cf
CPRC Volume <i>Calculated</i> (cubic feet)		15,779 cf
CPRC Volume <i>Provided</i> (cubic feet)		15,779 cf
The Professional Engineer who signs and seals this site plan certifies that the values in this table reflect the WRC stormwater calculations required for this development and that geotechnical investigations were performed that provide conclusive documentation that demonstrates whether infiltration (i.e., CPVC Volume Control) is practicable.		
Calculated Weighted C Factor		0.62

Land Use Summary - West Pond		
Must be included on the Stormwater Calculations/O&M Plan Sheet		
Characteristic	Existing Conditions	Proposed Conditions
Total Development Area (ac)	6.25 Acres	6.25 Acres
Impervious Area (ac)	0.00 Acres	3.60 Acres
Total Pervious Area (ac)	6.25 Acres	2.65 Acres
Pervious Area Breakdown by Cover Type		
<i>Meadow/fallow/natural areas (non-cultivated)</i>		
Predominant NRCS Soil Type (A, B, C, or D)	C	C
<i>Improved areas (turf grass, landscape, row crops)</i>		
Predominant NRCS Soil Type (A, B, C, or D)	B	C
Wooded Areas		
Predominant NRCS Soil Type (A, B, C, or D)	C	C
Proposed Pond Area (acres)		0.43 Acres
CPVC Volume <i>Calculated</i> (cubic feet)		19,171 cf
CPVC Volume <i>Provided</i> (cubic feet)		19,171 cf
CPRC Volume <i>Calculated</i> (cubic feet)		28,019 cf
CPRC Volume <i>Provided</i> (cubic feet)		28,019 cf
The Professional Engineer who signs and seals this site plan certifies that the values in this table reflect the WRC stormwater calculations required for this development and that geotechnical investigations were performed that provide conclusive documentation that demonstrates whether infiltration (i.e., CPVC Volume Control) is practicable.		
Calculated Weighted C Factor		0.65



Sheet List Table	
Sheet Number	Sheet Title
C-0.0	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-1.1	ENLARGED TOPOGRAPHIC SURVEY 1
C-1.2	ENLARGED TOPOGRAPHIC SURVEY 2
C-1.3	ENLARGED TOPOGRAPHIC SURVEY 3
C-1.4	ENLARGED TOPOGRAPHIC SURVEY 4
C-1.5	ENLARGED TOPOGRAPHIC SURVEY 5
C-2.0	FIRE PROTECTION PLAN
C-3.0	PRELIMINARY SITE PLAN
C-3.1	ENLARGED PAVING AND DIMENSION PLAN 1
C-3.2	ENLARGED PAVING AND DIMENSION PLAN 2
C-3.3	ENLARGED PAVING AND DIMENSION PLAN 3
C-3.4	ENLARGED PAVING AND DIMENSION PLAN 4
C-3.5	ENLARGED PAVING AND DIMENSION PLAN 5
C-4.0	PRELIMINARY GRADING PLAN
C-4.1	ENLARGED GRADING PLAN 1
C-4.2	ENLARGED GRADING PLAN 2
C-4.3	ENLARGED GRADING PLAN 3
C-4.4	ENLARGED GRADING PLAN 4
C-4.5	ENLARGED GRADING PLAN 5
C-6.0	PRELIMINARY UTILITY PLAN
C-7.0	SANITARY SEWER STUDY
C-7.1	SANITARY SEWER NARRATIVE
C-8.0	PRELIMINARY DRAINAGE MAP
C-8.1	DRAINAGE CALCULATIONS
C-9.0	NOTES AND DETAILS
C-9.1	NOTES AND DETAILS
C-9.2	NOTES AND DETAILS
L-1.0	PRELIMINARY LANDSCAPE PLAN
L-1.1	ENLARGED LANDSCAPE PLAN - SHEET 1
L-1.2	ENLARGED LANDSCAPE PLAN - SHEET 2
L-1.3	ENLARGED LANDSCAPE PLAN - SHEET 3
L-1.4	ENLARGED LANDSCAPE PLAN - SHEET 4
L-1.5	ENLARGED LANDSCAPE PLAN - SHEET 5
L-1.6	FOUNDATION PLANTING ENLARGEMENT EXHIBITS
L-2.0	LANDSCAPE DETAILS
L-2.1	LANDSCAPE DETAILS
T-1.0	OVERALL TREE PRESERVATION PLAN
T-1.1	TREE PRESERVATION PLAN - SHEET 1
T-1.2	TREE PRESERVATION PLAN - SHEET 2
T-1.3	TREE PRESERVATION PLAN - SHEET 3
T-1.4	TREE PRESERVATION PLAN - SHEET 4
T-1.5	TREE PRESERVATION PLAN - SHEET 5
T-1.6	EXISTING TREE LIST - SHEET 6
T-1.7	EXISTING TREE LIST - SHEET 7
T-1.8	EXISTING TREE LIST - SHEET 8
T-1.9	EXISTING TREE LIST - SHEET 9
T-1.10	EXISTING TREE LIST - SHEET 10
T-1.11	EXISTING TREE LIST - SHEET 11
T-1.12	EXISTING TREE LIST - SHEET 12
T-1.13	EXISTING TREE LIST - SHEET 13
1 OF 2	PHOTOMETRIC PLAN
2 OF 2	PHOTOMETRIC PLAN

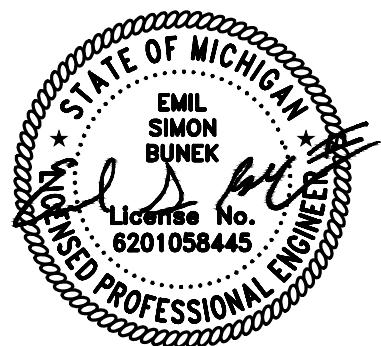
DESIGN TEAM

OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
3880 SOUTH BLVD OWNER LLC 281 ENTERPRISE COURT, SUITE 100 BLOOMFIELD TOWNSHIP, MI CONTACT: TONY PEREZ EMAIL: TPerez@OBRIENCC.COM	PEA GROUP 45 W. GRAND RIVER AVE., STE 501 DETROIT, MI 48226 CONTACT: EMIL S. BUNEK III, PE PHONE: 844.813.2949 EMAIL: EBUNEK@PEAGROUP.COM
ARCHITECT	LANDSCAPE ARCHITECT
KRIEGER KLATT ARCHITECTS 400 E. LINCOLN AVE., SUITE A ROYAL OAK, MI 48067 CONTACT: JASON KRIEGER, R.A. PHONE: 248.414.9270 EMAIL: JASON@KRIEGERKLATT.COM	PEA GROUP 45 W. GRAND RIVER AVE., STE. 501 DETROIT, MI 48226 CONTACT: NOAH BIRMEIN, PLA, ASLA PHONE: 844.813.2949 EMAIL: NBIRMEIN@PEAGROUP.COM

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL
2/3/2026		SITE PLAN APPROVAL
2/3/2026		PRELIMINARY RCOO REVIEW

REVISIONS	
DESCRIPTION	DATE
SPA	2/3/2026
SPA RESUBMITTAL	4/7/2026
SPA RESUBMITTAL	5/15/2026

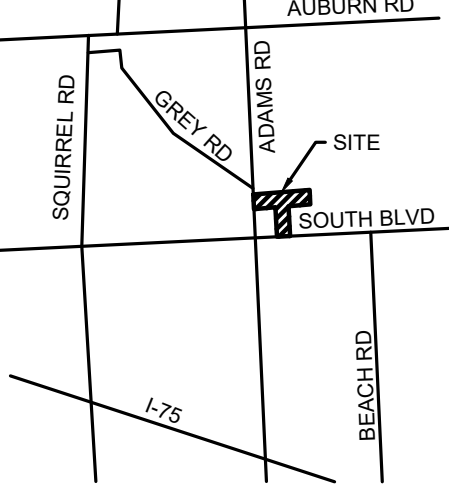




0 25 50 100
SCALE: 1" = 50'



CAUTION!!
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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3881 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO. 25-1486
P.M. ESB
D.N. CNR
DES. JRW
DRAWING NUMBER:

C-1.0



BENCHMARKS
(NAVD 88)
BM #300
ARROW ON HYDRANT ALONG S. ADAMS ROAD
ELEV. - 876.67
BM #301
TOP NUT OF HYDRANT ALONG S. ADAMS ROAD
ELEV. - 867.38
BM #302
ARROW ON HYDRANT ALONG W. SOUTH BLVD
ELEV. - 878.40
BM #303
ARROW ON HYDRANT ALONG W. SOUTH BLVD
ELEV. - 877.72

LEGAL DESCRIPTION
(Per PEA GROUP)
PARCEL 15-31-351-020

BEING PART OF THE WEST 1/2 OF THE SOUTHWEST FRACTIONAL 1/4 SECTION 31, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP, OAKLAND COUNTY, MICHIGAN, ALSO BEING LOT 7 AND PART OF LOTS 6 AND 8 OF "PON-AVON FARMS" A SUBDIVISION PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 31, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP (NOW CITY OF ROCHESTER HILLS), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 59, PAGE 23, OAKLAND COUNTY RECORDS, AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 31; THENCE ALONG THE SOUTH LINE OF SAID SECTION N87°05'45"E 629.16 FEET; THENCE N02°52'43"W 60.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SOUTH BOULEVARD (120 FEET WIDE) ALSO BEING THE POINT OF BEGINNING; THENCE ALONG THE EAST LINE OF LOT 6 OF "PON-AVON FARMS" SUBDIVISION, RECORDED IN LIBER 59, PAGE 23, OAKLAND COUNTY RECORDS N02°52'43"W 195.54 FEET; THENCE ACROSS SAID LOT S85°01'00"W 100.05 FEET; THENCE N02°52'22"W 400.99 FEET TO THE NORTH LINE OF SAID SUBDIVISION; THENCE ALONG SAID LINE S85°07'18"W 529.69 FEET TO THE WEST LINE OF SECTION 31; THENCE ALONG SAID LINE N02°52'45"W 327.66 FEET; THENCE N85°06'52"E 1329.09 FEET; THENCE S02°54'42"E 327.82 FEET TO THE NORTH LINE OF SAID SUBDIVISION; THENCE ALONG SAID LINE S85°07'18"W 499.67 FEET; THENCE ALONG THE EAST LINE OF LOT 8 OF SAID SUBDIVISION S02°53'58"E 303.23 FEET; THENCE ACROSS LOT 8 OF SAID SUBDIVISION S87°05'45"W 99.97 FEET TO THE EAST LINE OF LOT 7 OF SAID SUBDIVISION; THENCE ALONG SAID LINE S02°53'35"E 300.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SOUTH BOULEVARD; THENCE ALONG SAID LINE S87°05'45"W 100.00 FEET TO THE POINT OF BEGINNING, CONTAINING 12.98 ACRES, MORE OR LESS.

BASIS OF BEARING IS THE SOUTH LINE OF SECTION 31 IN STATE PLANE COORDINATES, ZONE 2113, GRID NORTH, WHICH BEARS N87°05'45"E.

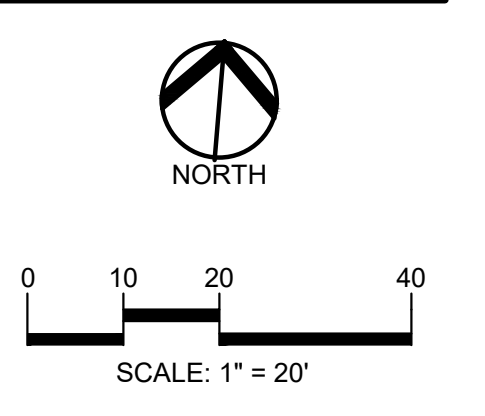
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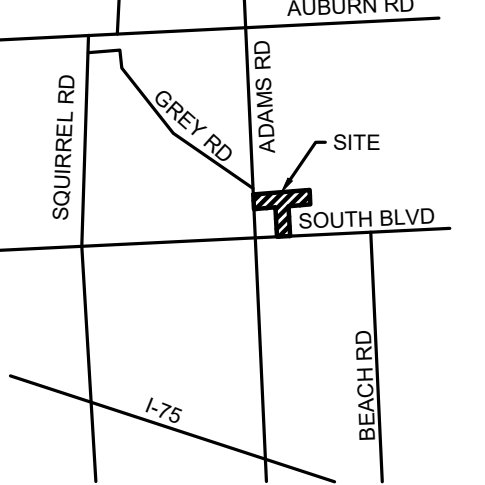
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—UG—CATV—	EX. U.G. CABLE TV & PEDESTAL
—UG—COMM—	EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
—UG—ELEC—	EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
---	EX. GAS LINE
⊙	EX. GAS VALVE & GAS LINE MARKER
⊞	EX. TRANSFORMER & IRRIGATION VALVE
—	EX. WATER MAIN
⊙	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
⊙	EX. WATER VALVE BOX & SHUTOFF
—	EX. SANITARY SEWER
⊙	EX. SANITARY CLEANOUT & MANHOLE
⊙	EX. COMBINED SEWER MANHOLE
—	EX. STORM SEWER
⊙	EX. CLEANOUT & MANHOLE
⊙	EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
⊙	EX. YARD DRAIN, U.G. ROOF DRAIN & DOWNSPOUT
⊙	EX. UNIDENTIFIED STRUCTURE
⊙	EX. MAILBOX, SIGN, LIGHTPOLE & GUARD POST
—	EX. FENCE
—	EX. GUARD RAIL
⊙	EX. DEC. TREE, CONIFEROUS TREE & SHRUB
⊙	EX. TREE TAG & TREE LINE
⊙	EX. SPOT ELEVATION
—	EX. CONTOUR
—	EX. WETLAND
⊙	IRON FOUND / SET
⊙	NAIL FOUND / NAIL & CAP SET
⊙	BRASS PLUG SET
⊙	MONUMENT FOUND / SET
⊙	SECTION CORNER FOUND
⊙	RECORDED / MEASURED / CALCULATED
⊙	GNSS GLOBAL NAVIGATION SATELLITE SYSTEM

CITY FILE #25-0001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS

S:\PROJECTS\2025\25-1486 COMMUNAL ROCHESSTER HILLS\DWG\2 SITE PLAN(C-10)TOPO-25-1486.dwg PLOT DATE: 5/19/2026 BY: Emil S. Binek II



CAUTION!!
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CLIENT
3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3881 S ADAMS RD
 ROCHESTER HILLS, MI

REVISIONS

SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

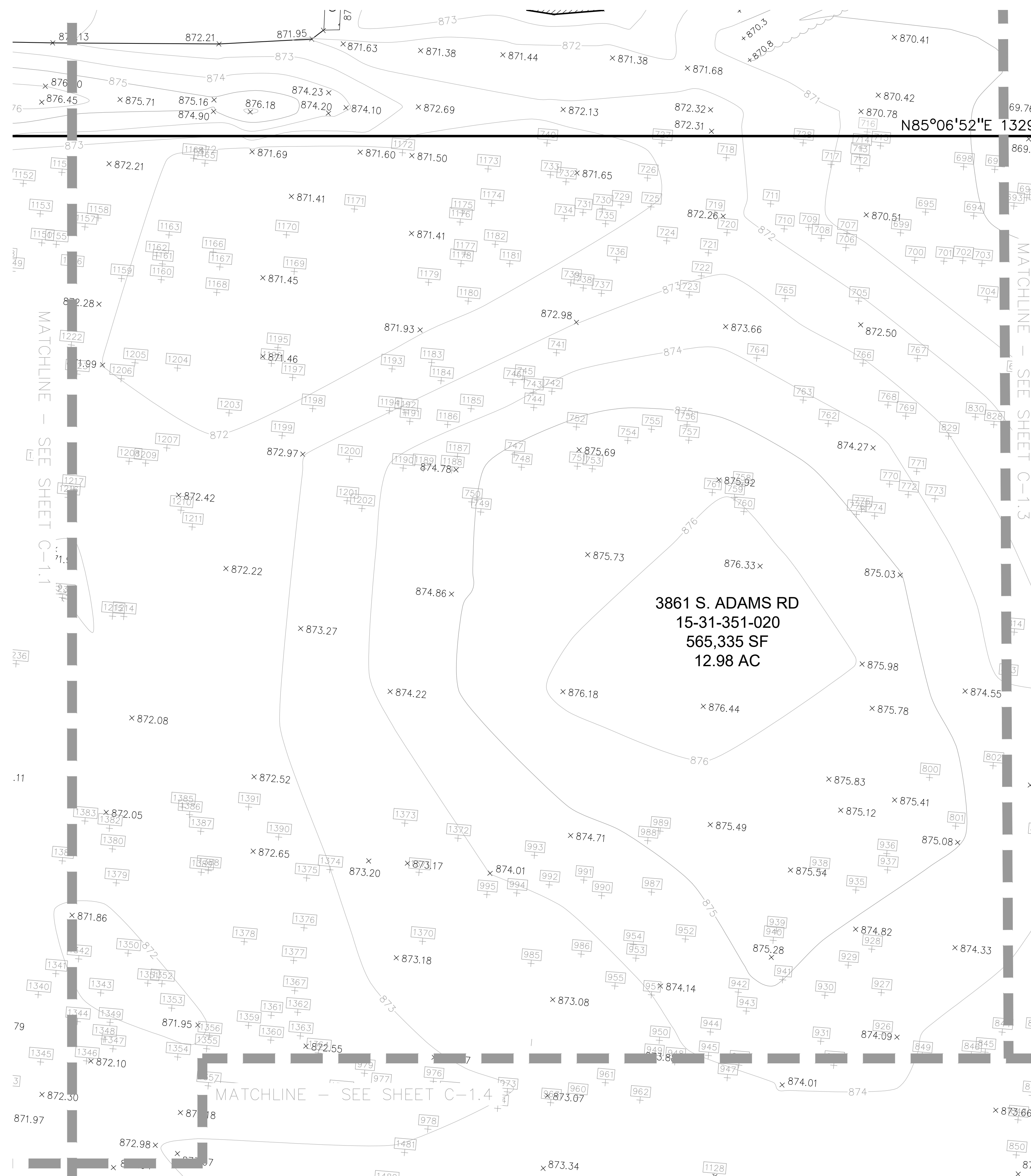
DRAWING TITLE
ENLARGED TOPOGRAPHIC SURVEY 1

PEA JOB NO.	25-1486
P.M.	ESB
DN	CNR
DES.	JRW
DRAWING NUMBER:	

BENCHMARK #301
 OP NUT OF HYD
 ELEVATION 867.38
 NVD 88 DATUM

S:\PROJECTS\2025\25-1486-COMMERCIAL-ROCHESTER-HILLS\DWG\25-1486-01-TOPO-25-1486.dwg PLOT DATE: 5/19/2026 8:07:01 AM E. Binek, II

S:\PROJECTS\2025\25-1486\COMMONSAL\ROCHESTER HILLS\DWG\STATE_PLAN(C-1)\TPO-C-1-1486.dwg PLOT DATE: 5/10/2026 BT: Emil S. Binek, II

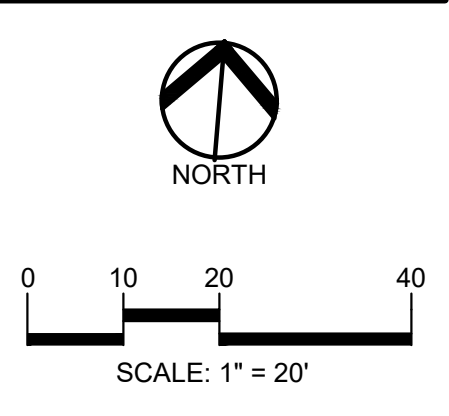
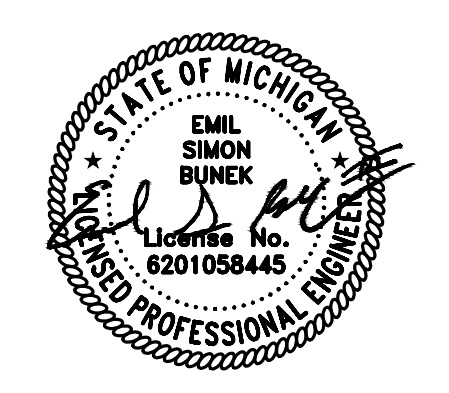


3861 S. ADAMS RD
15-31-351-020
565,335 SF
12.98 AC

LEGEND:

- OH-ELEC- M-O- EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV- EX. U.G. CABLE TV & PEDESTAL
- UG-COMM- EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC- EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- - - EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
- EX. YARD DRAIN, U.G. ROOF DRAIN & DOWNSPOUT
- EX. UNIDENTIFIED STRUCTURE
- EX. MAILBOX, SIGN, LIGHTPOLE & GUARD POST
- EX. FENCE
- EX. GUARD RAIL
- EX. DEC. TREE, CONIFEROUS TREE & SHRUB
- EX. TREE TAG & TREE LINE
- EX. SPOT ELEVATION
- EX. CONTOUR
- EX. WETLAND
- x IRON FOUND / SET
- x NAIL FOUND / NAIL & CAP SET
- x BRASS PLUG SET
- x MONUMENT FOUND / SET
- x SECTION CORNER FOUND
- R M C RECORDED / MEASURED / CALCULATED
- GNS GLOBAL NAVIGATION SATELLITE SYSTEM

PEA GROUP
t: 844.813.2949
www.peagroup.com



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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3861 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS

SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

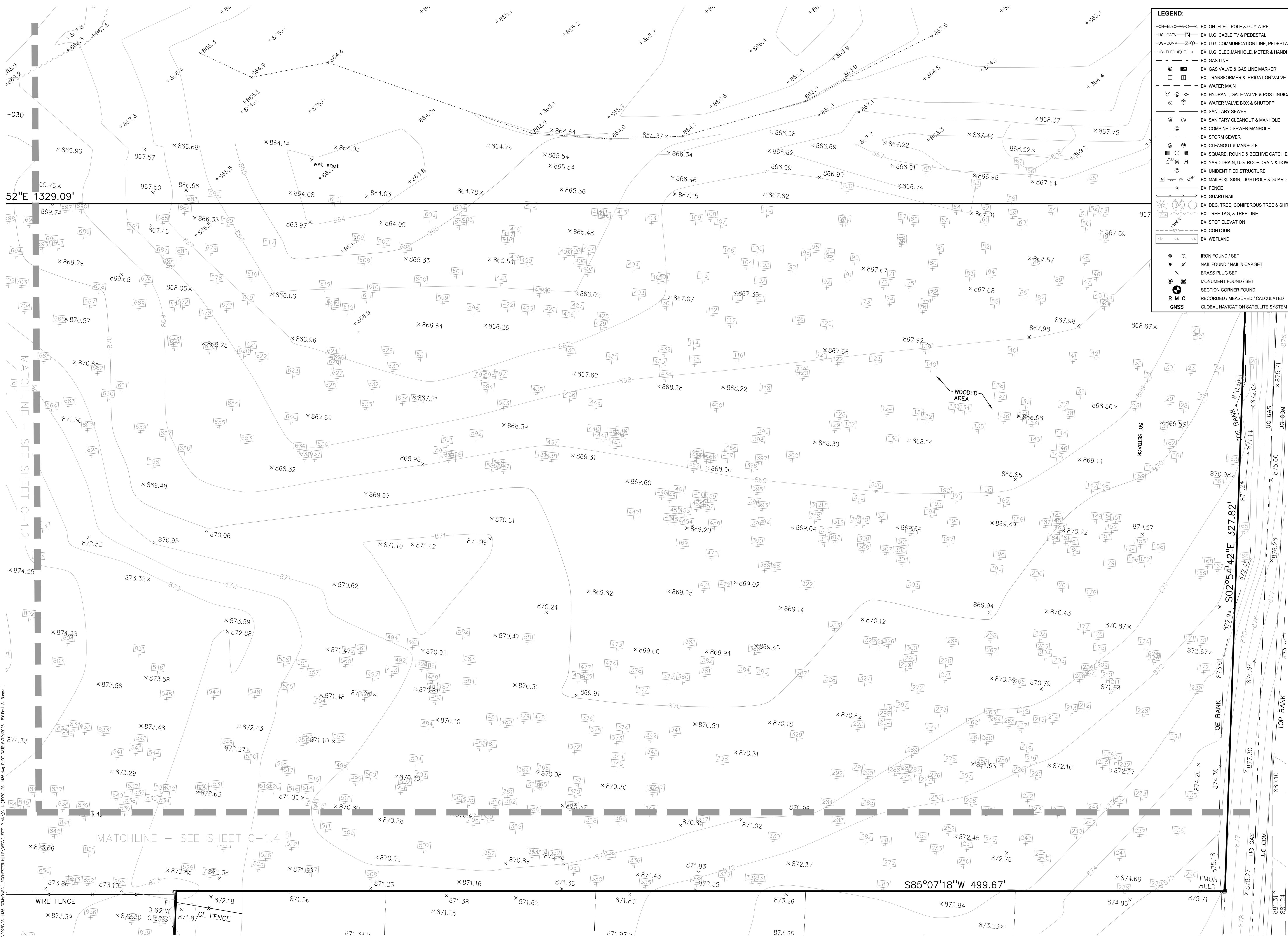
DRAWING TITLE
ENLARGED TOPOGRAPHIC SURVEY 2

PEA JOB NO.	25-1486
P.M.	ESB
DN.	CNR
DES.	JRW

DRAWING NUMBER:

**CITY FILE #25-0001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS**

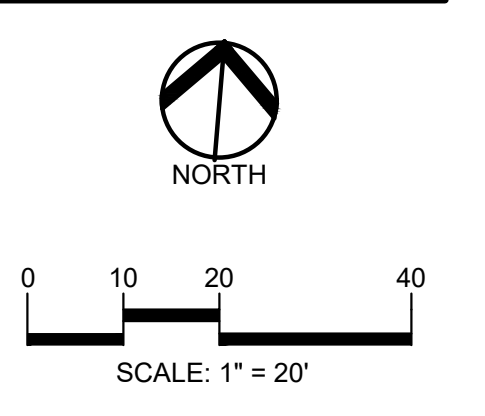
C-1.2



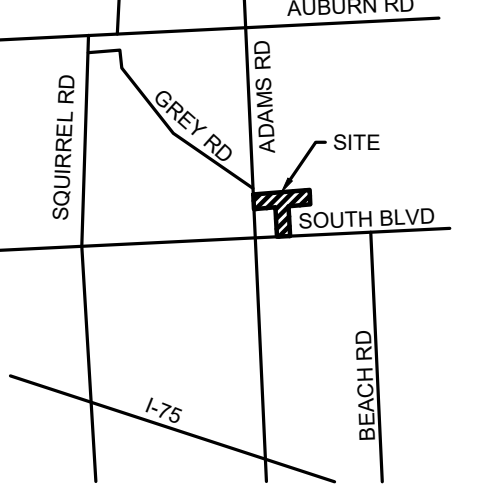
LEGEND:

- OH-ELEC-W-O EX. OH. ELEC. POLE & GUY WIRE
- UC-CATV EX. U.G. CABLE TV & PEDESTAL
- UC-COMM EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC-MH EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
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- EX. SANITARY SEWER
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- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
- EX. YARD DRAIN, U.G. ROOF DRAIN & DOWNSPOUT
- EX. UNIDENTIFIED STRUCTURE
- EX. MAILBOX, SIGN, LIGHTPOLE & GUARD POST
- EX. FENCE
- EX. GUARD RAIL
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- BRASS PLUG SET
- MONUMENT FOUND / SET
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- RECORDED / MEASURED / CALCULATED
- GNSS GLOBAL NAVIGATION SATELLITE SYSTEM

PEA GROUP
 t: 844.813.2949
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CLIENT
3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3881 S ADAMS RD
 ROCHESTER HILLS, MI

REVISIONS

SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

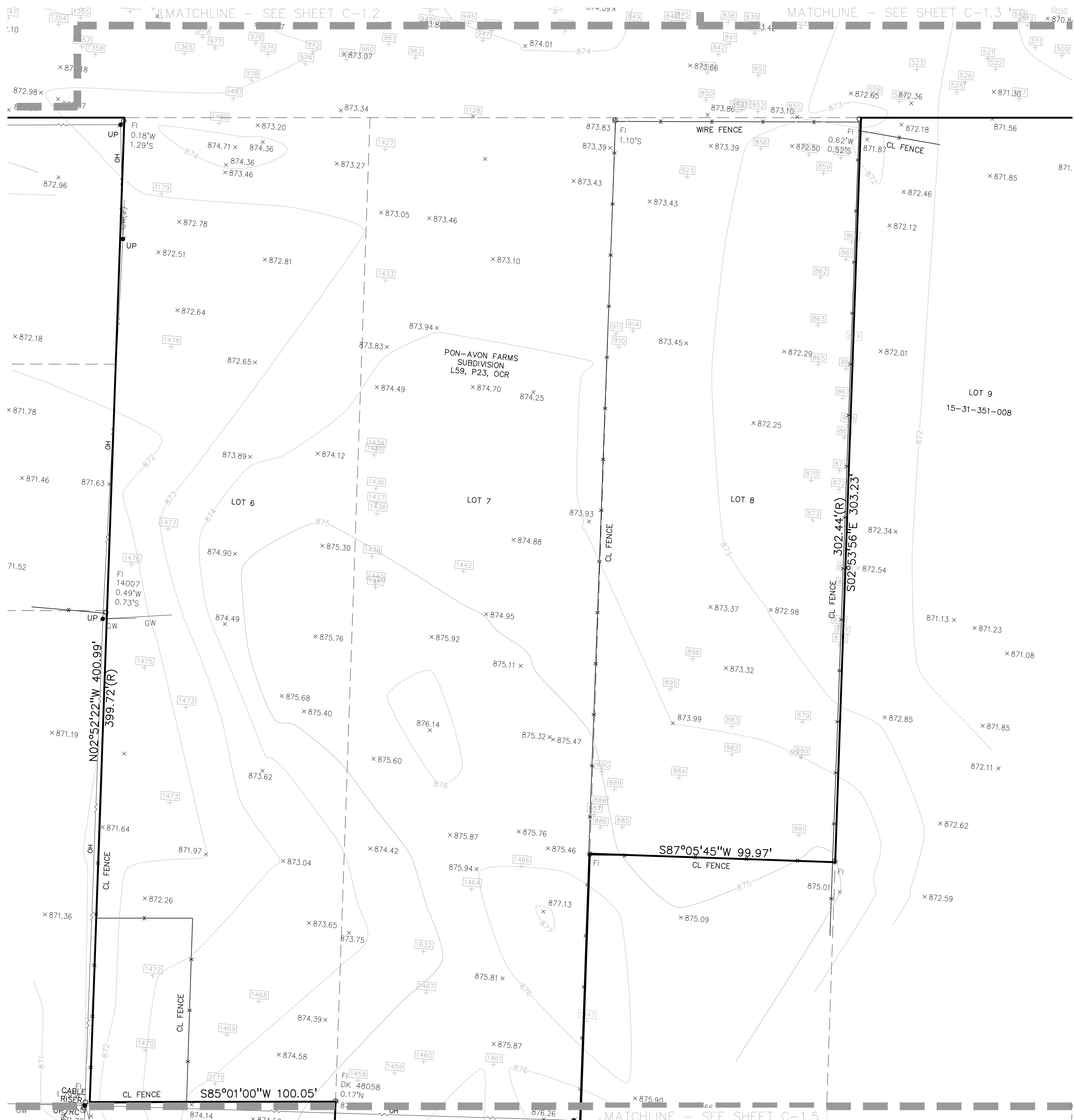
ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

DRAWING TITLE
ENLARGED TOPOGRAPHIC SURVEY 3

PEA JOB NO.	25-1486
P.M.	ESB
DN.	CNR
DES.	JRW
DRAWING NUMBER:	

CITY FILE #25-0001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS

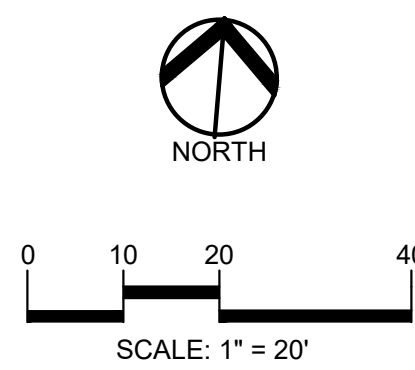
C-1.3



LEGEND:

- OH-ELEC-11-O- EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV- EX. U.G. CABLE TV & PEDESTAL
- UG-COMM- EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC- EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- ⊕ EX. GAS VALVE & GAS LINE MARKER
- ⊞ EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- ⊕ EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- ⊕ EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- ⊕ EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- ⊕ EX. CLEANOUT & MANHOLE
- ⊕ EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
- ⊕ EX. YARD DRAIN, U.G. ROOF DRAIN & DOWNSPOUT
- ⊕ EX. UNIDENTIFIED STRUCTURE
- ⊕ EX. MAILBOX, SIGN, LIGHTPOLE & GUARD POST
- EX. FENCE
- EX. GUARD RAIL
- ⊕ EX. DEC. TREE, CONIFEROUS TREE & SHRUB
- ⊕ EX. TREE TAG, & TREE LINE
- ⊕ EX. SPOT ELEVATION
- EX. CONTOUR
- EX. WETLAND
- ⊕ IRON FOUND / SET
- ⊕ NAIL FOUND / NAIL & CAP SET
- ⊕ BRASS PLUG SET
- ⊕ MONUMENT FOUND / SET
- ⊕ SECTION CORNER FOUND
- ⊕ R M C RECORDED / MEASURED / CALCULATED
- ⊕ GNSS GLOBAL NAVIGATION SATELLITE SYSTEM

PEA GROUP
t: 844.813.2949
www.peagroup.com



811 Know what's below. Call before you dig.

CAUTION!!
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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3881 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
ENLARGED TOPOGRAPHIC SURVEY 4

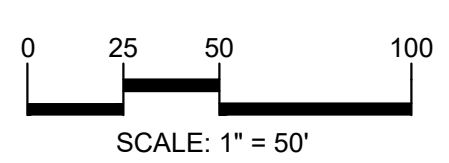
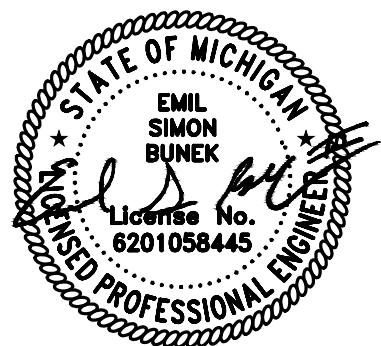
PEA JOB NO.	25-1486
P.M.	ESB
DN.	CNR
DES.	JRW

DRAWING NUMBER:

**CITY FILE #25-0001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS**

C-1.4

S:\PROJECTS\2025\25-1486-COMPASSAL-ROCHESTER-HILLS\DWG\STATE_PLAN\C-1\TOPG-25-1486.dwg PLOT DATE: 5/10/2026 BT: Emil S. Simek, II



CAUTION!!
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CLIENT
3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3881 S ADAMS RD
 ROCHESTER HILLS, MI

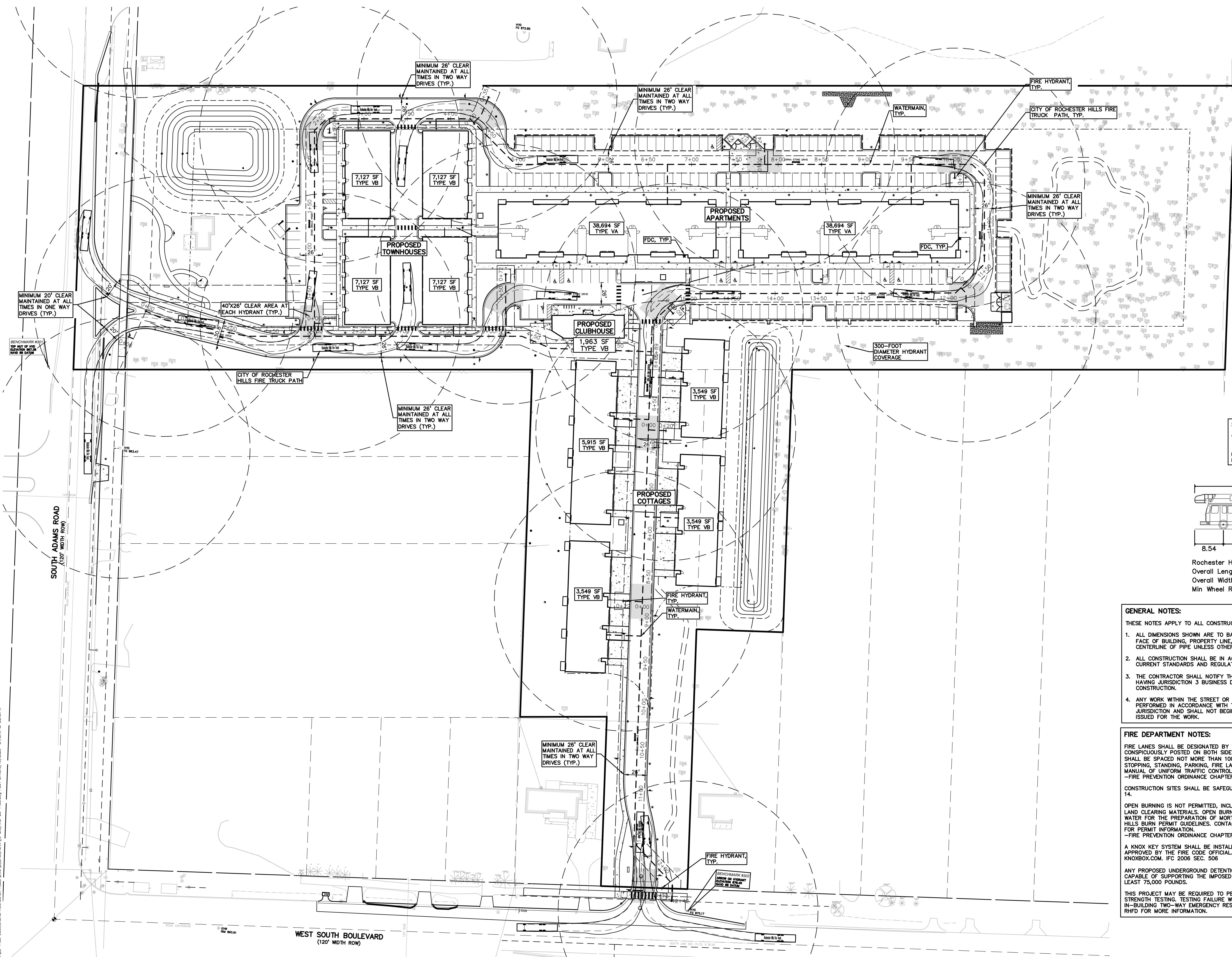
REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

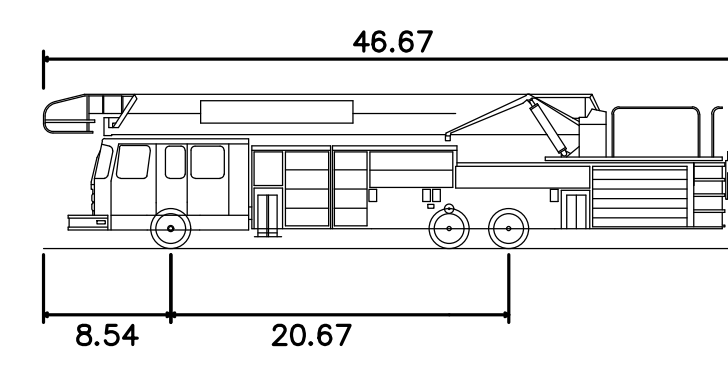
DRAWING TITLE
FIRE PROTECTION PLAN

PEA JOB NO.	25-1486
P.M.	ESB
DN	CNR
DES.	JRW
DRAWING NUMBER:	

C-2.0



SIGN LEGEND:
 'NO PARKING FIRE LANE' SIGN
 REFER TO SHEET C-9.1 DETAIL SHEET FOR FIRE LANE SIGN DETAILS



Rochester Hills Fire Truck
 Overall Length 46.670ft
 Overall Width 8.500ft
 Min Wheel Radius 42.5ft

- GENERAL NOTES:**
 THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCHESTER HILLS CURRENT STANDARDS AND REGULATIONS.
 - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGUN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.

- FIRE DEPARTMENT NOTES:**
 FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE. FIRE LANE SIGNS SHALL BE SPACED NOT MORE THAN 100 FEET APART, AND SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE" IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 -FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 503.
 CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14.
 OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING OF WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION.
 -FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.6.2.3
 A KNOX KEY SYSTEM SHALL BE INSTALLED AT EACH BUILDING IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE KNOXBOX.COM. IFC 2006 SEC. 506
 ANY PROPOSED UNDERGROUND DETENTION/RETENTION SYSTEMS SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
 THIS PROJECT MAY BE REQUIRED TO PERFORM EMERGENCY RADIO SIGNAL STRENGTH TESTING. TESTING FAILURE WILL REQUIRE INSTALLATION OF AN IN-BUILDING TWO-WAY EMERGENCY RESPONDER COMMUNICATION SYSTEM. CONTACT RHFD FOR MORE INFORMATION.

S:\PROJECTS\2025\25-1486 COMMERCIAL ROCHESTER HILLS\DWG\2 SITE PLAN\C-2.0\FIRE-25-1486.dwg PLOT DATE: 6/19/2026 10:11am S. Burock III



0 25 50 100
SCALE: 1" = 50'



CAUTION!!
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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3881 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS

SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
PRELIMINARY SITE PLAN

PEA JOB NO. 25-1486

P.M.	ESB
DN	CNR
DES.	JRW

DRAWING NUMBER:
C-3.0

LEGEND:

[Symbol]	CONCRETE PAVEMENT
[Symbol]	ASPHALT PAVEMENT
[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	REVERSE GUTTER PAN
[Symbol]	SETBACK LINE
[Symbol]	SIGN LIGHTPOLE
[Symbol]	FENCE
[Symbol]	GUARD RAIL

SIGN LEGEND:

NO PARKING FIRE LANE SIGN	1
STOP SIGN	2
BARRIER FREE PARKING SIGN	3
VAN ACCESSIBLE SIGN	4
CROSSWALK SIGN	5
DO NOT ENTER SIGN	6
SIDEWALK ENDS SIGN	7
NO PARKING LOADING ZONE SIGN	8

SITE DATA TABLE:

SITE AREA NET = 12.98 ACRES (565,335 SF.)
GROSS = 13.59 ACRES (591,839 SF.)
ZONING: R4 - ONE FAMILY RESIDENTIAL, FB - FLEXIBLE BUSINESS OVERLAY
PROPOSED USE: MULTIFAMILY RESIDENTIAL

BUILDING INFORMATION:

- MAXIMUM ALLOWABLE BUILDING HEIGHT = 30 FT. (2 STORIES) OR 3 STORIES IF LOT IS GREATER THAN 4 ACRES
- PROPOSED BUILDING HEIGHT = 3 STORY
- BUILDING FOOTPRINT AREA = 82,050 SF.
- MAXIMUM BUILDING LOT COVERAGE = 25%
- PROPOSED LOT COVERAGE = 14.4%

SETBACK REQUIREMENTS:

REQUIRED	PROPOSED
FRONT: ADAMS ROAD	234.71'
FRONT: SOUTH BLVD.	245.92'
REAR: EAST	312.28'
SIDE:	50'

PARKING CALCULATIONS:

COTTAGES:

- 1-2 BEDROOM UNITS = 1.5 SPACES PER UNIT PLUS 0.5 UNCOVERED GUEST SPACES PER UNIT
- PARKING REQUIRED = 16 UNITS X 1.5 = 24 SPACES, 16 UNITS X 0.5 = 8 GUEST SPACES
- TOTAL PARKING REQUIRED = 24 SPACES AND 8 GUEST SPACES

PROPOSED:

- 2 GARAGE SPACES PER UNIT = 32 GARAGE SPACES
- 2 APRON SPACES PER UNIT = 24 GUEST PARKING SPACES

TOWNHOUSES:

- 3 BEDROOM UNITS = 2 SPACES PER UNIT PLUS 0.5 UNCOVERED GUEST SPACES PER UNIT
- PARKING REQUIRED = 20 UNITS X 2 = 40 SPACES, 20 UNITS X 0.5 = 10 GUEST SPACES
- TOTAL PARKING REQUIRED = 40 SPACES AND 10 GUEST SPACES

PROPOSED:

- 2 GARAGE SPACES PER UNIT = 40 GARAGE SPACES
- 10 GUEST PARKING SPACES PROVIDED

APARTMENTS:

- 1-2 BEDROOM UNITS = 1.5 SPACES PER UNIT PLUS 0.5 UNCOVERED GUEST SPACES PER UNIT
- PARKING REQUIRED = 96 UNITS X 1.5 = 144 SPACES, 96 UNITS X 0.5 = 48 GUEST SPACES
- TOTAL PARKING REQUIRED = 144 SPACES AND 48 GUEST SPACES = 192 SPACES

PROPOSED:

- 192 SPACES PROVIDED

NET SURFACE SPACES REQUIRED: 202 SPACES

- 10 GUEST SPACES FOR TOWNHOUSES
- 192 SPACES FOR APARTMENTS
- 202 SURFACE SPACES PROVIDED

ADA PARKING REQUIREMENTS

- 201-300 UNCOVERED SPACES = 4 + 2.33% OF TOTAL PARKING PROVIDED IN LOT
- 202 UNCOVERED SPACES = 4 + (0.0233*202) = 8.7 = 9 ADA SPACES REQUIRED

PROPOSED:

- 9 ADA SPACES PROVIDED

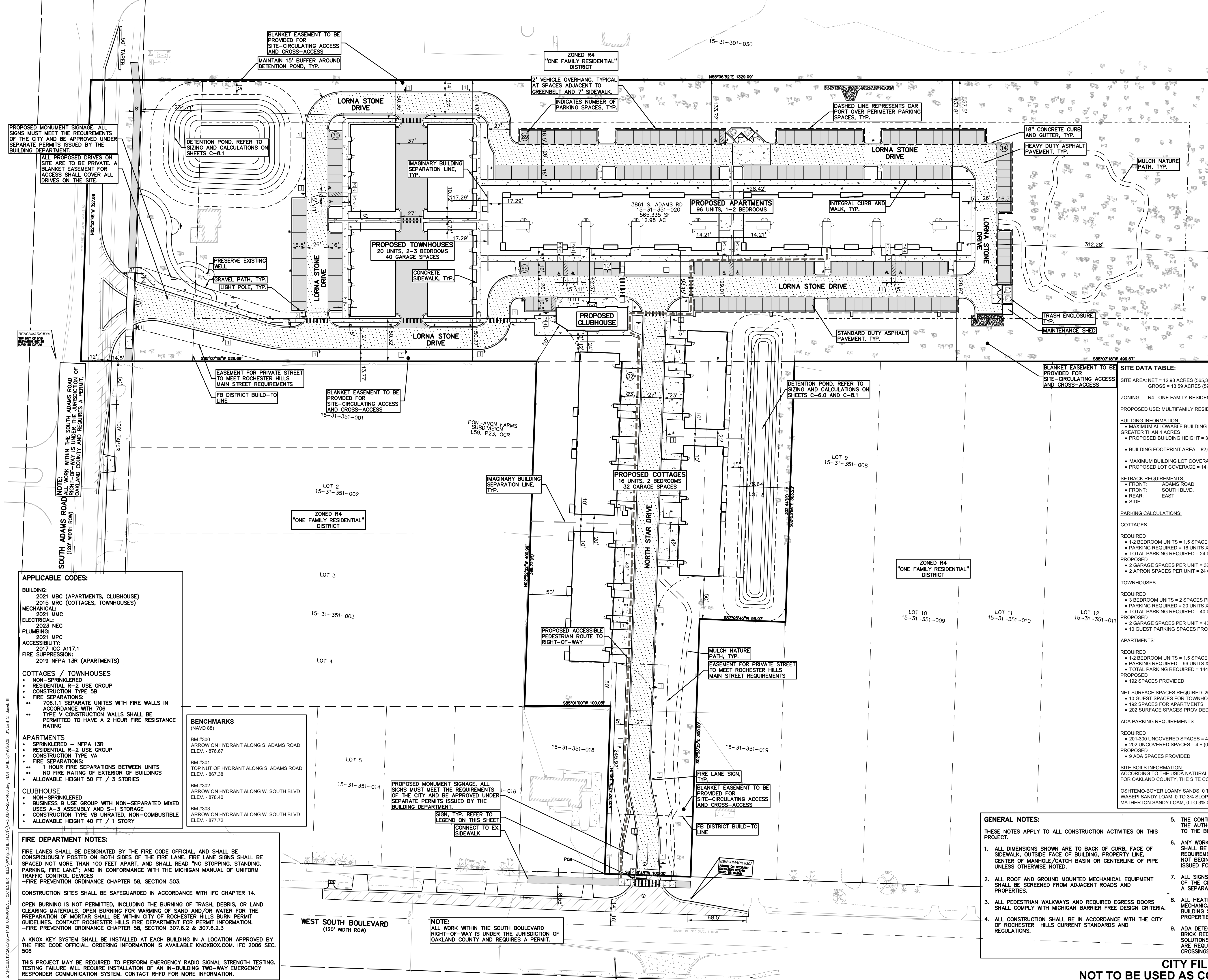
SITE SOILS INFORMATION:
ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR OAKLAND COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:
OSHTEMO-BOYER LOAMY SANDS, 0 TO 6% SLOPES
WASSET SANDY LOAM, 0 TO 3% SLOPES
MATHERTON SANDY LOAM, 0 TO 3% SLOPES

GENERAL NOTES:

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- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- ALL ROOF AND GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM ADJACENT ROADS AND PROPERTIES.
- ALL PEDESTRIAN WALKWAYS AND REQUIRED EGRESS DOORS SHALL COMPLY WITH MICHIGAN BARRIER FREE DESIGN CRITERIA.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS CURRENT STANDARDS AND REGULATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL THE NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
- ALL SIGNS MUST MEET SECTION 138-8.603 AND CHAPTER 134 OF THE CITY CODE OF ORDINANCES AND BE APPROVED UNDER A SEPARATE PERMIT BY THE BUILDING DEPARTMENT.
- ALL HEATING, VENTILATION, AND AIR CONDITIONING MECHANICAL EQUIPMENT LOCATED ON THE EXTERIOR OF THE BUILDING SHALL BE SCREENED FROM ADJACENT STREETS AND PROPERTIES.
- ADA DETECTABLE WARNING PLATES SHALL BE PREFORMED AND BRICK RED IN COLOR. ACCEPTABLE PRODUCTS INCLUDE ADA SOLUTIONS, INC., ARMOR-TILE, EJ OR APPROVED EQUAL. THEY ARE REQUIRED AT ALL PUBLIC AND PRIVATE ROAD PEDESTRIAN CROSSINGS, AND AT SIGNALIZED INTERSECTIONS.

CITY FILE #25-0001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS



PROPOSED MONUMENT SIGNAGE. ALL SIGNS MUST MEET THE REQUIREMENTS OF THE CITY AND BE APPROVED UNDER SEPARATE PERMITS ISSUED BY THE BUILDING DEPARTMENT.

ALL PROPOSED DRIVES ON SITE ARE TO BE PRIVATE. A BLANKET EASEMENT FOR ACCESS SHALL COVER ALL DRIVES ON THE SITE.

BENCHMARK #301
TOP OF CONCRETE CURB AND GUTTER

NOTE: ALL WORK WITHIN THE SOUTH ADAMS ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF OAKLAND COUNTY AND REQUIRES A PERMIT.

APPLICABLE CODES:

- BUILDING:**
- 2021 MBC (APARTMENTS, CLUBHOUSE)
 - 2015 IRC (COTTAGES, TOWNHOUSES)
- MECHANICAL:**
- 2021 MMC
- ELECTRICAL:**
- 2023 NEC
- PLUMBING:**
- 2021 MPC
- ACCESSIBILITY:**
- 2017 ICC A117.1
- FIRE SUPPRESSION:**
- 2019 NFPA 13R (APARTMENTS)
- COTTAGES / TOWNHOUSES**
- NON-SPRINKLERED
 - RESIDENTIAL R-2 USE GROUP
 - CONSTRUCTION TYPE 5B
 - FIRE SEPARATIONS:
 - 706.1.1 SEPARATE UNITS WITH FIRE WALLS IN ACCORDANCE WITH 706
 - TYPE V CONSTRUCTION WALLS SHALL BE PERMITTED TO HAVE A 2 HOUR FIRE RESISTANCE RATING
- APARTMENTS**
- SPRINKLERED - NFPA 13R
 - RESIDENTIAL R-2 USE GROUP
 - CONSTRUCTION TYPE VA
 - FIRE SEPARATIONS:
 - 1 HOUR FIRE SEPARATIONS BETWEEN UNITS
 - NO FIRE RATING OF EXTERIOR OF BUILDINGS
 - ALLOWABLE HEIGHT 50 FT / 3 STORIES
- CLUBHOUSE**
- NON-SPRINKLERED
 - BUSINESS B USE GROUP WITH NON-SEPARATED MIXED USES A-3 ASSEMBLY AND S-1 STORAGE
 - CONSTRUCTION TYPE VB UNRATED, NON-COMBUSTIBLE
 - ALLOWABLE HEIGHT 40 FT / 1 STORY

FIRE DEPARTMENT NOTES:

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-FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 503.

CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14.

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-FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.6.2.3

A KNOX KEY SYSTEM SHALL BE INSTALLED AT EACH BUILDING IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE KNOXBOX.COM, IFC 2006 SEC. 506

THIS PROJECT MAY BE REQUIRED TO PERFORM EMERGENCY RADIO SIGNAL STRENGTH TESTING. TESTING FAILURE WILL REQUIRE INSTALLATION OF AN IN-BUILDING TWO-WAY EMERGENCY RESPONDER COMMUNICATION SYSTEM. CONTACT RHFD FOR MORE INFORMATION.

BENCHMARKS (NAVD 88)

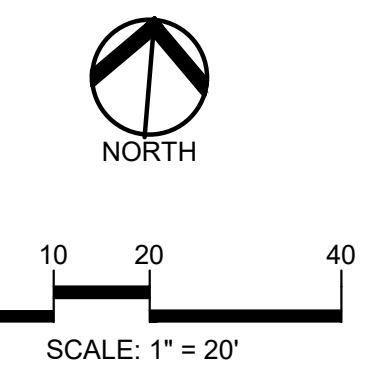
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BM #301	TOP NUT OF HYDRANT ALONG S. ADAMS ROAD ELEV. - 867.38
BM #302	ARROW ON HYDRANT ALONG W. SOUTH BLVD ELEV. - 879.40
BM #303	ARROW ON HYDRANT ALONG W. SOUTH BLVD ELEV. - 877.72

PROPOSED MONUMENT SIGNAGE. ALL SIGNS MUST MEET THE REQUIREMENTS OF THE CITY AND BE APPROVED UNDER SEPARATE PERMITS ISSUED BY THE BUILDING DEPARTMENT.

SIGN, TYP. REFER TO LEGEND ON THIS SHEET

CONNECT TO EX. SIDEWALK

NOTE: ALL WORK WITHIN THE SOUTH ADAMS ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF OAKLAND COUNTY AND REQUIRES A PERMIT.



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CLIENT
3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3881 S ADAMS RD
 ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

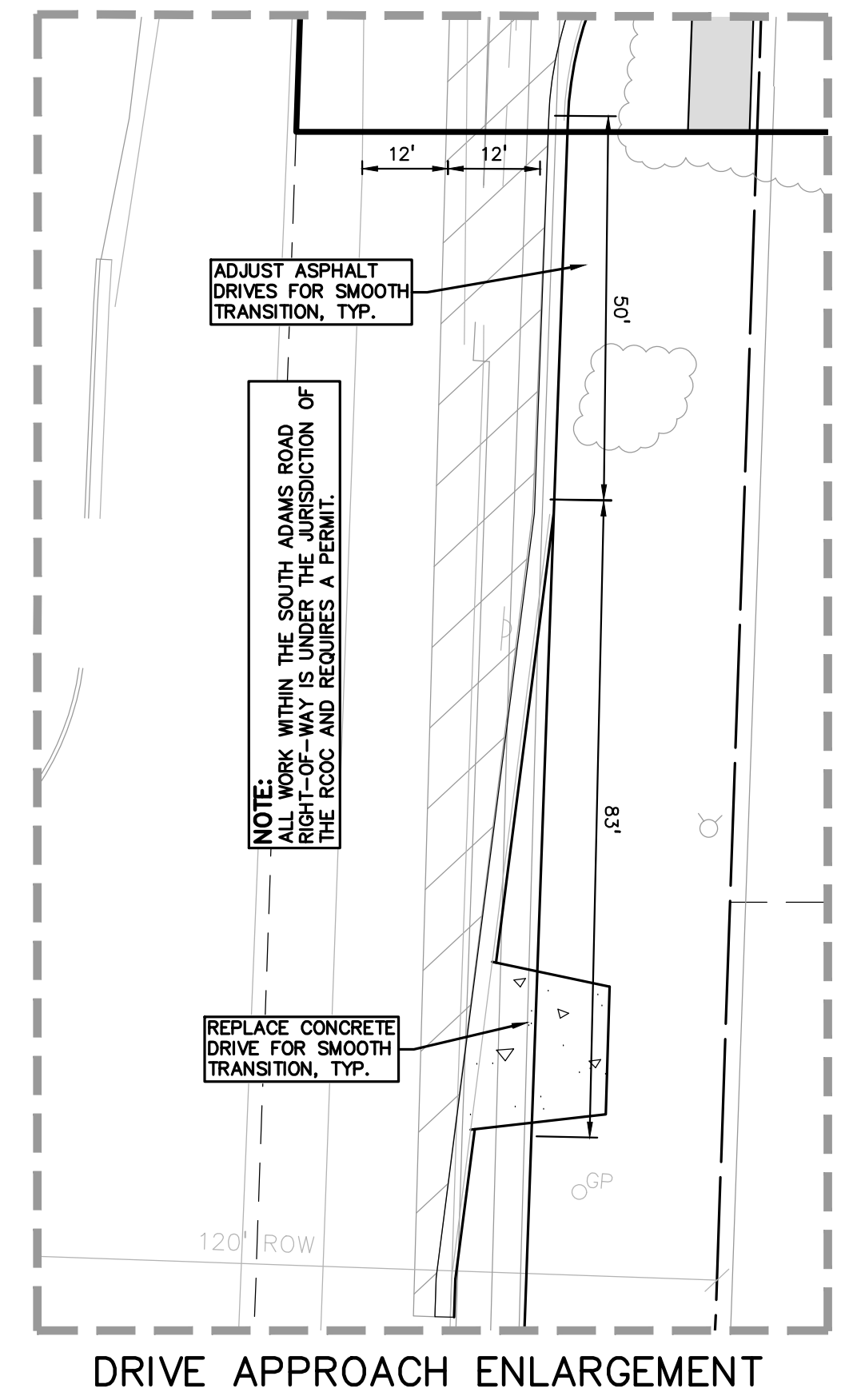
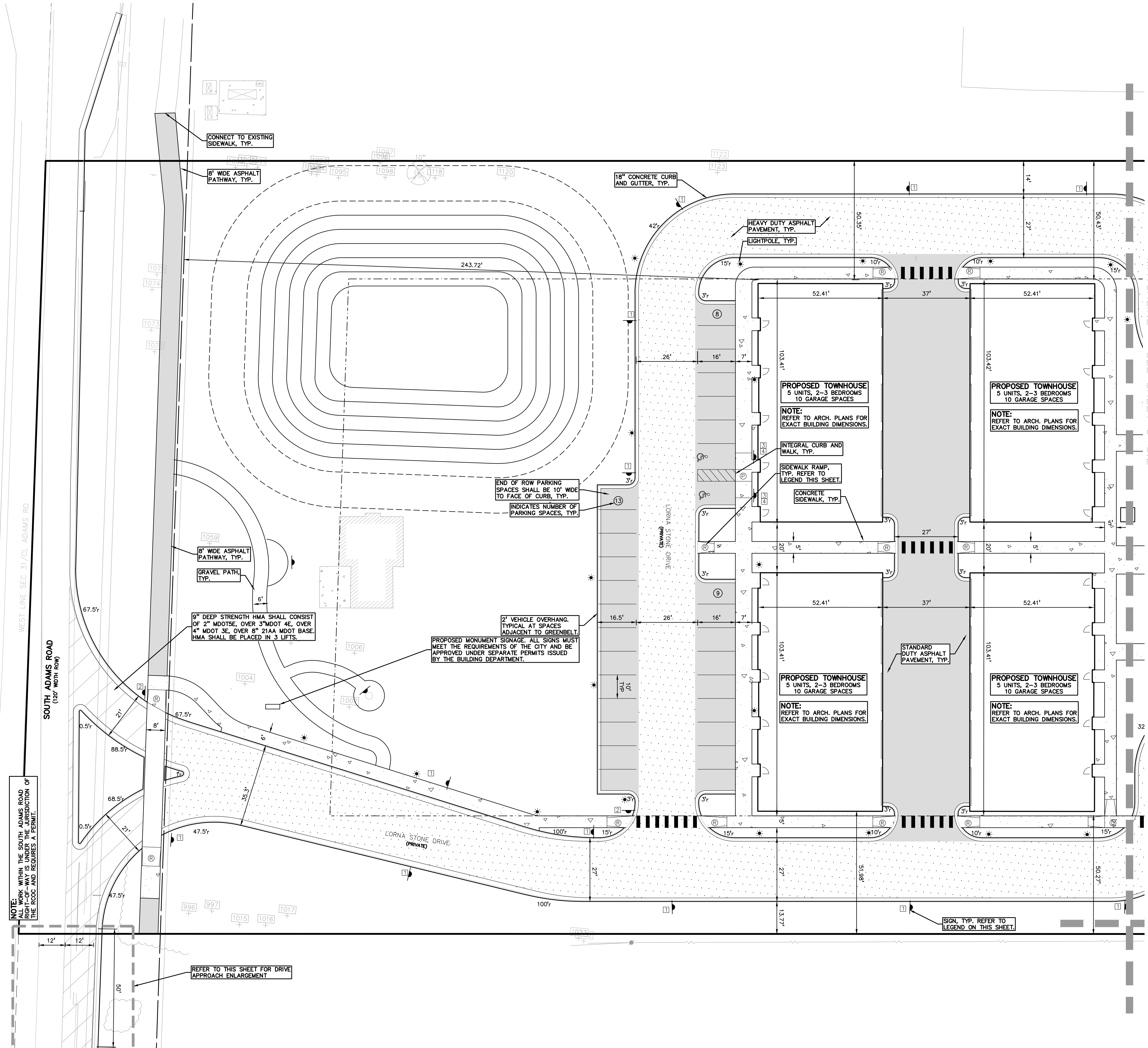
ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

DRAWING TITLE
ENLARGED PAVING AND DIMENSION PLAN 1

PEA JOB NO. 25-1486
 P.M. ESB
 DN. CNR
 DES. JRW
 DRAWING NUMBER:

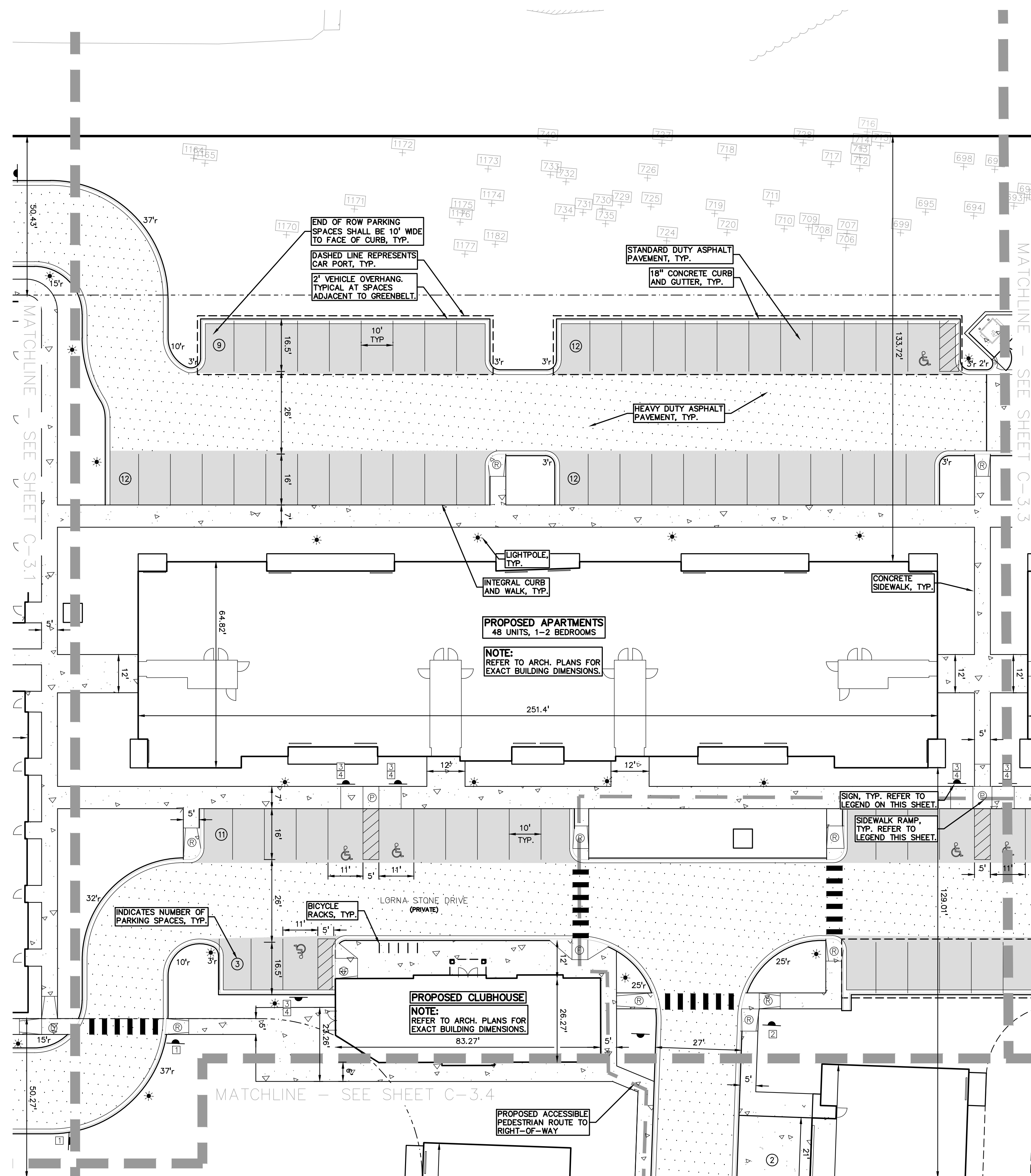
SIDEWALK RAMP LEGEND:	
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SIDEWALK RAMP TYPE 'P'	(Symbol)
SIDEWALK RAMP TYPE 'F'	(Symbol)
SIDEWALK RAMP TYPE 'D'	(Symbol)
CURB DROP ONLY	(Symbol)
REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS	

LEGEND:	
(Symbol)	CONCRETE PAVEMENT
(Symbol)	ASPHALT PAVEMENT
(Symbol)	GRAVEL
(Symbol)	WETLAND
(Symbol)	CONCRETE CURB AND GUTTER
(Symbol)	REVERSE CURB PAN
(Symbol)	SETBACK LINE
(Symbol)	SIGN LIGHTPOLE
(Symbol)	FENCE
(Symbol)	GUARD RAIL



S:\PROJECTS\2025\25-1486 - COMMERCIAL - ROCHESTER HILLS\DWG\2 SITE PLAN\03-1\2025-1486.dwg PLOT DATE: 5/19/2026 BY: Emil S. Bunk III

S:\PROJECTS\2025\25-1486\COMMONSAL\ROCHESTER HILLS\DWG\2 SITE PLAN\C-3\2025-1486.dwg (PLOT DATE: 5/19/2026) (PLOT BY: S. BUNK II)



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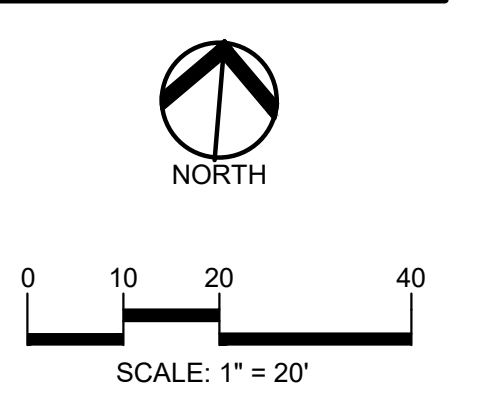
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- GRAVEL
- WETLAND
- CONCRETE CURB AND GUTTER
- REVERSE LUTTER PAN
- SETBACK LINE
- SIGN
- LIGHTPOLE
- FENCE
- GUARD RAIL

SIDEWALK RAMP LEGEND:

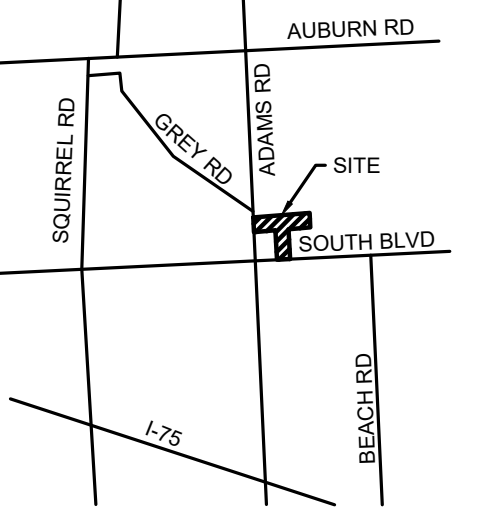
- SIDEWALK RAMP TYPE R
- SIDEWALK RAMP TYPE P
- SIDEWALK RAMP TYPE F
- SIDEWALK RAMP TYPE D
- CURB DROP ONLY

REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

PEA GROUP
 t: 844.813.2949
 www.peagroup.com



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CLIENT
3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3881 S ADAMS RD
 ROCHESTER HILLS, MI

REVISIONS

SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

DRAWING TITLE
ENLARGED PAVING AND DIMENSION PLAN 2

PEA JOB NO.	25-1486
P.M.	ESB
DN.	CNR
DES.	JRW

DRAWING NUMBER:

**CITY FILE #25-0001, SECTION #31
 NOT TO BE USED AS CONSTRUCTION DRAWINGS**

C-3.2



0 10 20 40
 SCALE: 1" = 20'



CAUTION!!
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CLIENT
3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3881 S ADAMS RD
 ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

DRAWING TITLE
ENLARGED PAVING AND DIMENSION PLAN 3

PEA JOB NO. 25-1486
 P.M. ESB
 DN. CNR
 DES. JRW

DRAWING NUMBER:

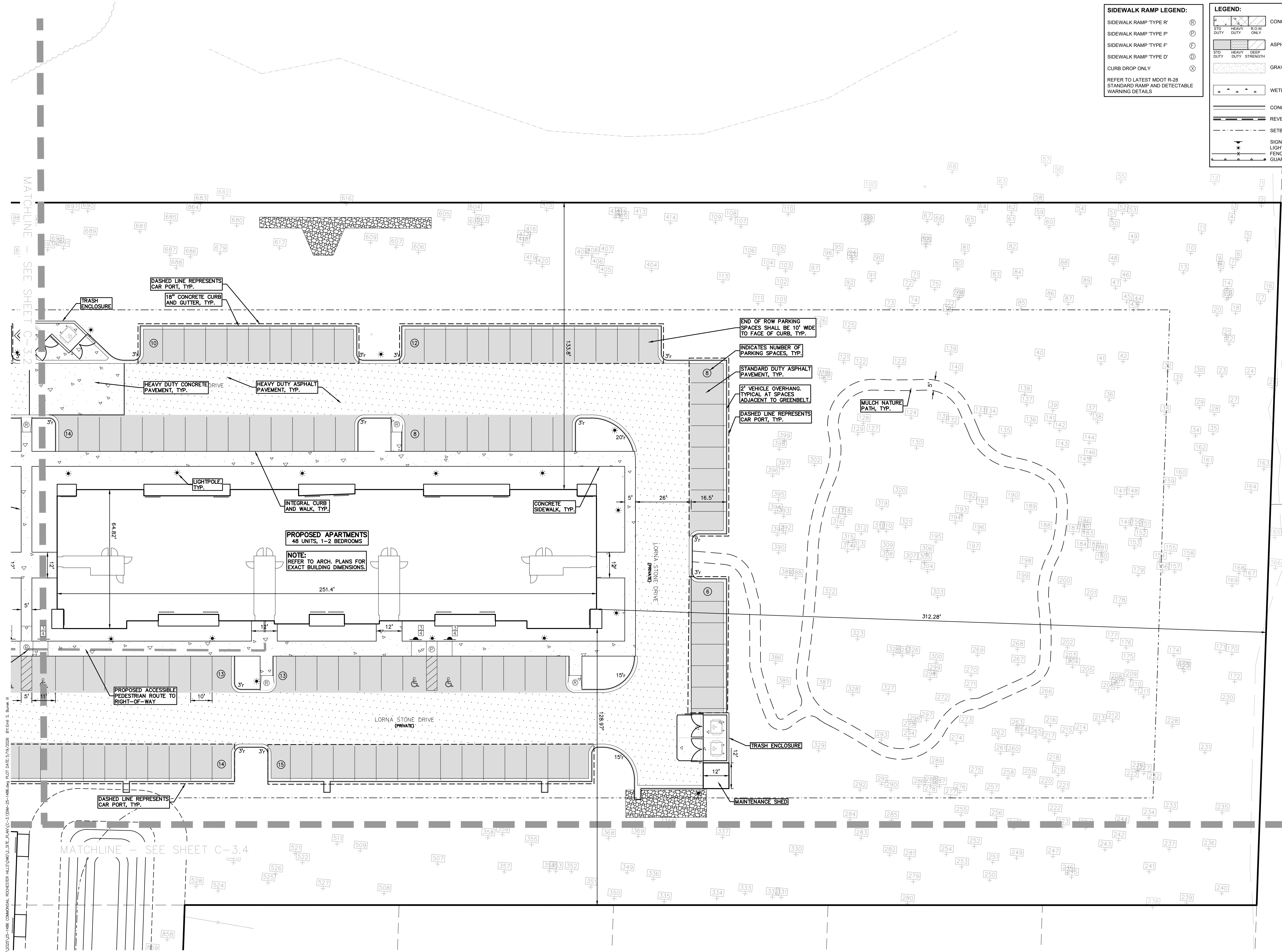
SIDEWALK RAMP LEGEND:

- SIDEWALK RAMP TYPE R
- SIDEWALK RAMP TYPE F
- SIDEWALK RAMP TYPE D
- CURB DROP ONLY

REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

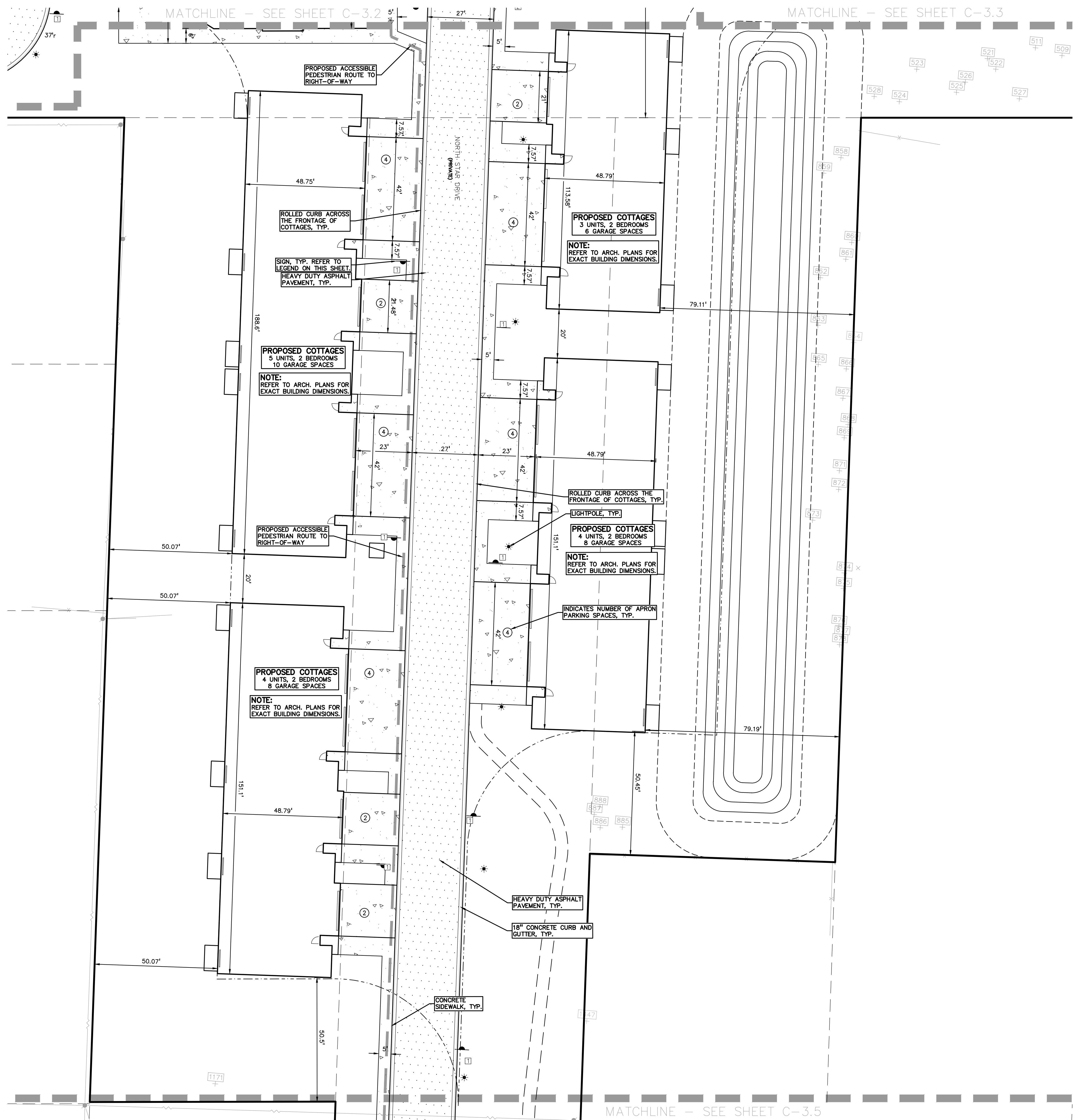
LEGEND:

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- GRAVEL
- WETLAND
- CONCRETE CURB AND GUTTER
- REVERSE GUTTER PAN
- SETBACK LINE
- SIGN LIGHTPOLE
- FENCE
- GUARD RAIL



S:\PROJECTS\2025\25-1486 - COMMERCIAL - ROCHESTER HILLS\DWG\SITE_PLAN\C-3.3\DWG-25-1486.dwg PLOT DATE: 5/19/2026 BY: Emil S. Binek II

S:\PROJECTS\2025\25-1486-COMMONSAL-ROCHESTER HILLS\DWG\2 SITE PLAN\C-3.3\25-1486.dwg (PLOT DATE: 5/19/2026) 8/1/2026 11:58:11 AM



LEGEND:

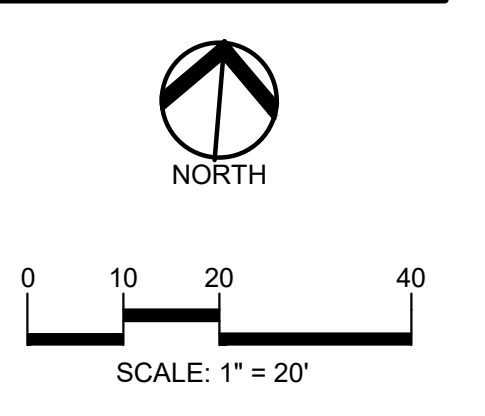
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- GRAVEL
- WETLAND
- CONCRETE CURB AND GUTTER
- REVERSE GUTTER PAN
- SETBACK LINE
- SIGN
- LIGHTPOLE
- FENCE
- GUARD RAIL

SIDEWALK RAMP LEGEND:

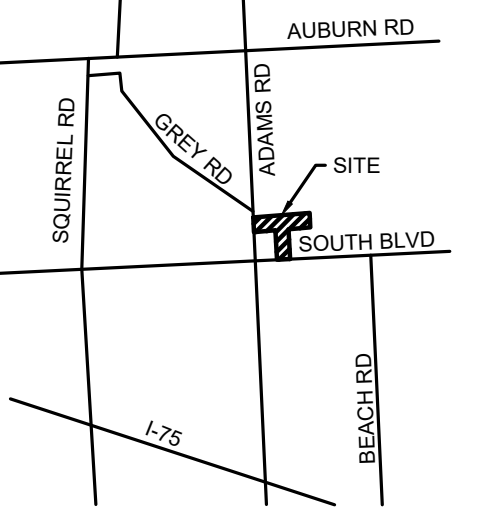
- SIDEWALK RAMP 'TYPE R'
- SIDEWALK RAMP 'TYPE P'
- SIDEWALK RAMP 'TYPE F'
- SIDEWALK RAMP 'TYPE D'
- CURB DROP ONLY

REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

PEA GROUP
 t: 844.813.2949
 www.peagroup.com



CAUTION!!
 THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3881 S ADAMS RD
 ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

DRAWING TITLE
ENLARGED PAVING AND DIMENSION PLAN 4

PEA JOB NO.	25-1486
P.M.	ESB
DN	CNR
DES.	JRW

DRAWING NUMBER:

**CITY FILE #25-0001, SECTION #31
 NOT TO BE USED AS CONSTRUCTION DRAWINGS**

C-3.4



0 10 20 40
SCALE: 1" = 20'



CAUTION!!
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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3881 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
ENLARGED PAVING AND DIMENSION PLAN 5

PEA JOB NO.	25-1486
P.M.	ESB
DN	CNR
DES.	JRW

DRAWING NUMBER:

C-3.5

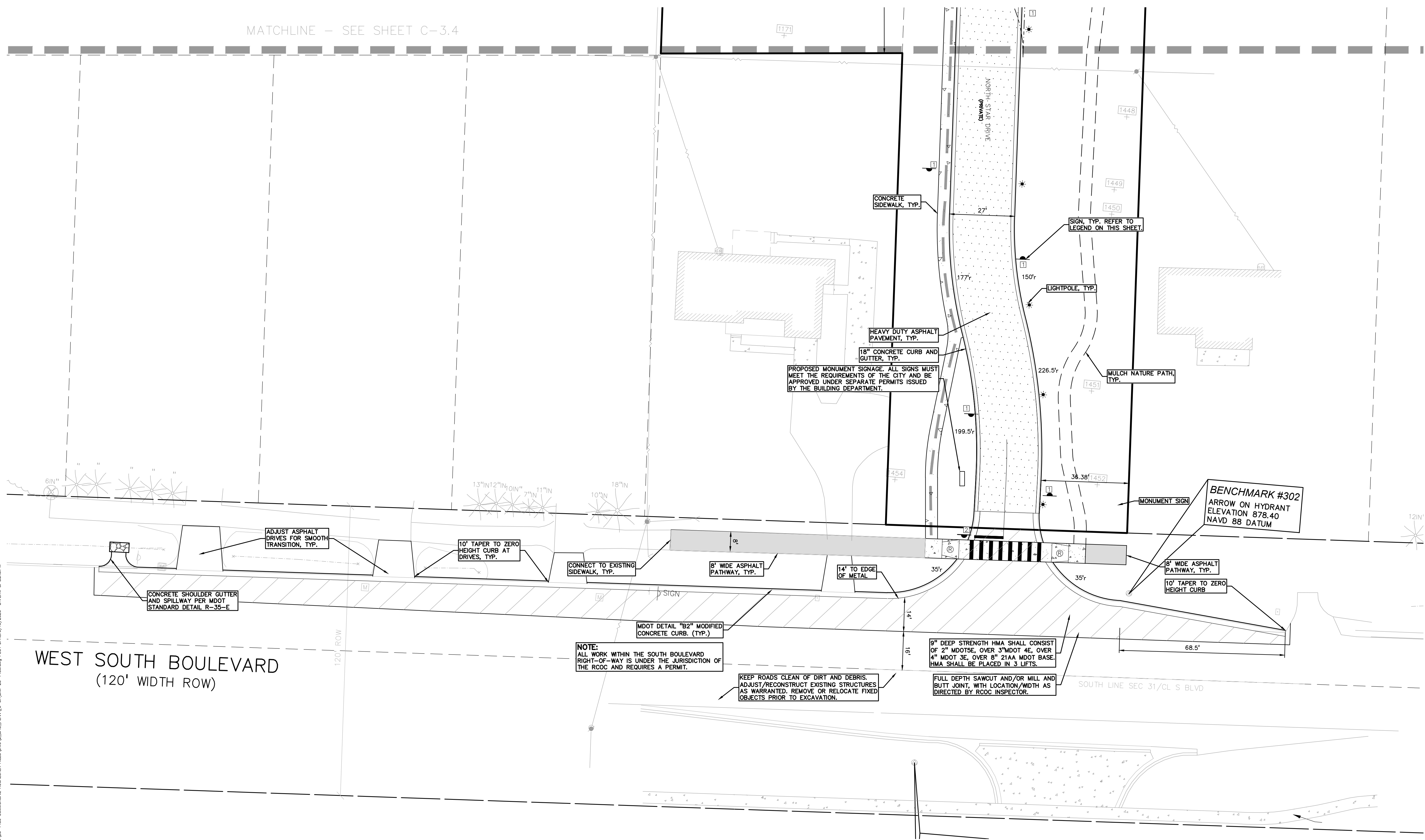
SIDEWALK RAMP LEGEND:

- SIDEWALK RAMP 'TYPE R' (R)
- SIDEWALK RAMP 'TYPE P' (P)
- SIDEWALK RAMP 'TYPE F' (F)
- SIDEWALK RAMP 'TYPE D' (D)
- CURB DROP ONLY (X)

REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

LEGEND:

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- GRAVEL
- WETLAND
- CONCRETE CURB AND GUTTER
- REVERSE GUTTER PAN
- SETBACK LINE
- SIGN
- LIGHTPOLE
- FENCE
- GUARD RAIL



WEST SOUTH BOULEVARD
(120' WIDTH ROW)

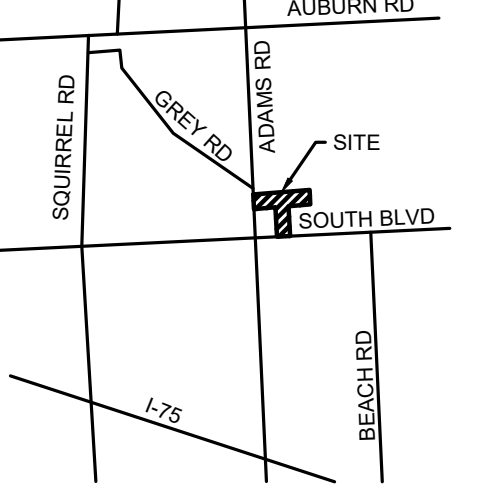
S:\PROJECTS\2025\25-1486 COMMERCIAL ROCHESTER HILLS\DWG\STATE_PLAN\C-3.1\DWG-25-1486.dwg PLOT DATE: 5/19/2026 BY: Emil S. Binek II



0 25 50 100
 SCALE: 1" = 50'



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CLIENT
3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3880 S ADAMS RD
 ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

DRAWING TITLE
PRELIMINARY GRADING PLAN

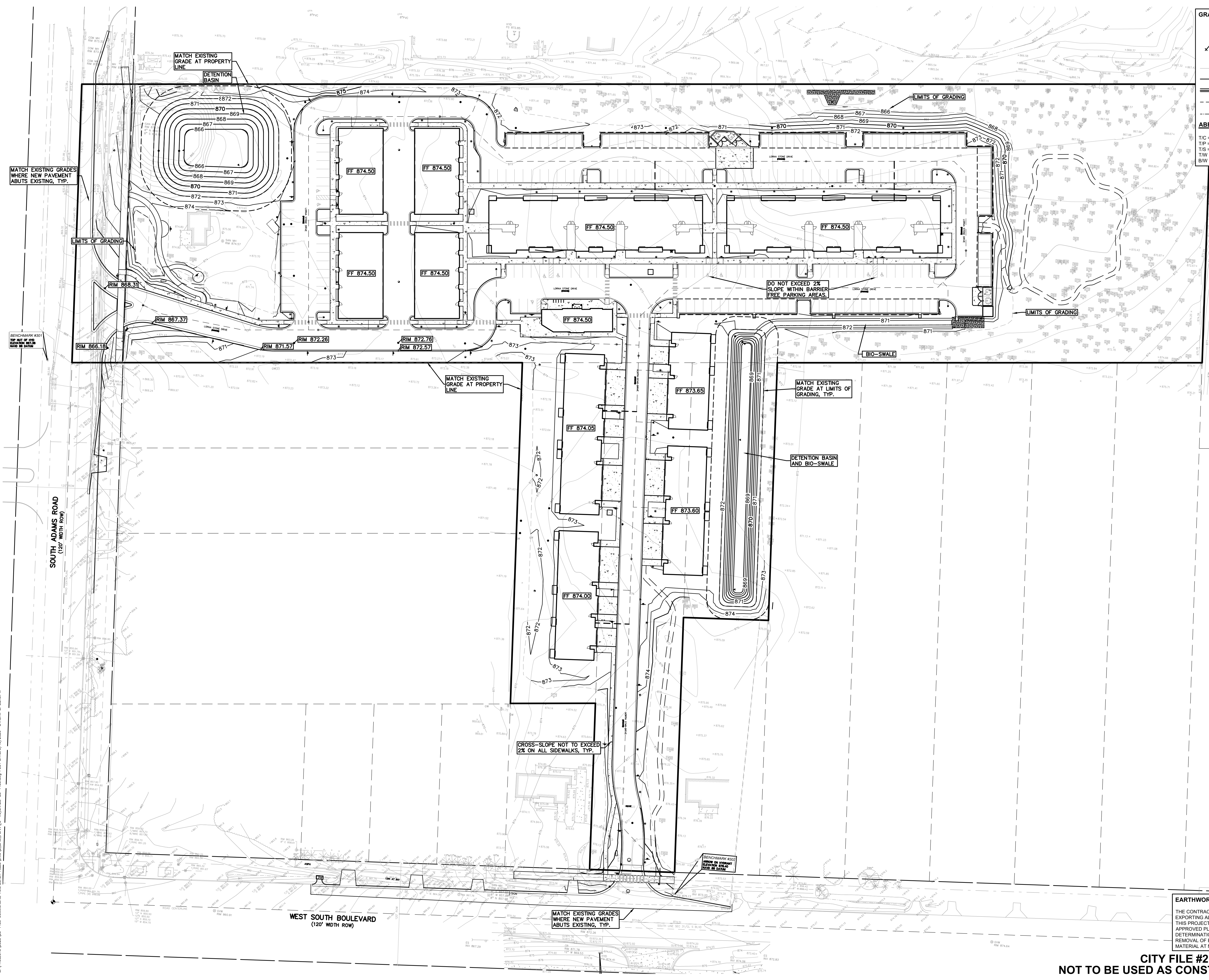
PEA JOB NO. 25-1486
 P.M. ESB
 DN. CNR
 DES. JRW
 DRAWING NUMBER:

- GRADING LEGEND:**
- EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED REVERSE GUTTER PAN
 - PROPOSED RIDGE LINE
 - PROPOSED SWALE/DITCH
- ABBREVIATIONS**
- T/C = TOP OF CURB
 - T/P = TOP OF PAVEMENT
 - T/S = TOP OF SIDEWALK
 - T/W = TOP OF WALL
 - B/W = BOTTOM OF WALL
 - F = FLUSH WALK
 - G = GUTTER GRADE
 - FF = FINISH FLOOR
 - FG = FINISH GRADE
 - RIM = RIM ELEVATION

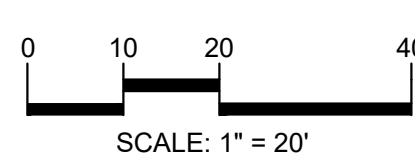
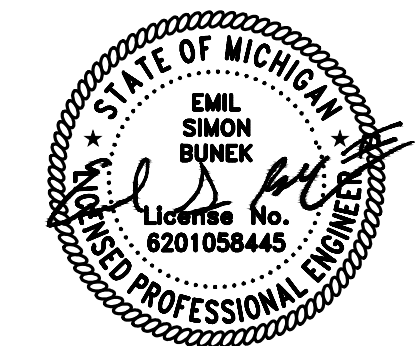
EARTHWORK BALANCING NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

CITY FILE #25-0001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS

C-4.0



S:\PROJECTS\2025\25-1486\COMMONAL\ROCHESTER_HILLS\DWG\2_SITE_PLAN\C-4_02GRADE-25-1486.dwg PLOT DATE: 5/19/2026 BY: EMIL S. BINEK III



CAUTION!!
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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3881 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS

SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
ENLARGED GRADING PLAN 1

PEA JOB NO.	25-1486
P.M.	ESB
DN.	CNR
DES.	JRW
DRAWING NUMBER:	

C-4.1

- GRADING LEGEND:**
- EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED REVERSE GUTTER PAN
 - PROPOSED RIDGE LINE
 - PROPOSED SWALEDITCH
- ABBREVIATIONS**
- T/C = TOP OF CURB
 - T/P = TOP OF PAVEMENT
 - T/S = TOP OF SIDEWALK
 - CURB DROP ONLY
 - F = FLUSH WALK
 - G = GUTTER GRADE
 - FF = FINISH FLOOR
 - FG = FINISH GRADE
 - BW = BOTTOM OF WALL
 - RIM = RIM ELEVATION
- REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS.

- SIDEWALK RAMP LEGEND:**
- SIDEWALK RAMP TYPE 'R'
 - SIDEWALK RAMP TYPE 'F'
 - SIDEWALK RAMP TYPE 'P'
 - SIDEWALK RAMP TYPE 'C'
 - SIDEWALK RAMP TYPE 'D'

EARTHWORK BALANCING NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

LEGAL DESCRIPTION
(Per PEA GROUP)

PARCEL 15-31-351-020

BEING PART OF THE WEST 1/2 OF THE SOUTHWEST FRACTIONAL 1/4, SECTION 31, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP, OAKLAND COUNTY, MICHIGAN, ALSO BEING LOT 7 AND PART OF LOTS 6 AND 8 OF "PON-AVON FARMS" A SUBDIVISION PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 31, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP (NOW CITY OF ROCHESTER HILLS), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 59, PAGE 23, OAKLAND COUNTY RECORDS, AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 31; THENCE ALONG THE SOUTH LINE OF SAID SECTION N87°05'45"E 629.16 FEET; THENCE N02°52'43"W 60.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SOUTH BOULEVARD (120 FEET WIDE) ALSO BEING THE POINT OF BEGINNING; THENCE ALONG THE EAST LINE OF LOT 6 OF PON-AVON FARMS SUBDIVISION, RECORDED IN LIBER 59, PAGE 23, OAKLAND COUNTY RECORDS N02°52'43"W 185.54 FEET; THENCE ACROSS SAID LOT S85°01'00"W 100.05 FEET; THENCE N02°52'22"W 409.99 FEET TO THE NORTH LINE OF SAID SUBDIVISION; THENCE ALONG SAID LINE S85°01'18"W 529.69 FEET TO THE WEST LINE OF SECTION 31; THENCE ALONG SAID LINE N02°52'45"W 327.66 FEET; THENCE N85°06'52"E 1329.09 FEET; THENCE S02°54'42"E 327.82 FEET TO THE NORTH LINE OF SAID SUBDIVISION; THENCE ALONG SAID LINE S85°01'18"W 499.67 FEET; THENCE ALONG THE EAST LINE OF LOT 8 OF SAID SUBDIVISION S02°53'56"E 303.23 FEET; THENCE ACROSS LOT 8 OF SAID SUBDIVISION S87°05'45"W 99.97 FEET TO THE EAST LINE OF LOT 7 OF SAID SUBDIVISION; THENCE ALONG SAID LINE S02°53'55"E 300.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SOUTH BOULEVARD; THENCE ALONG SAID LINE S87°05'45"W 100.00 FEET TO THE POINT OF BEGINNING, CONTAINING 12.98 ACRES, MORE OR LESS.

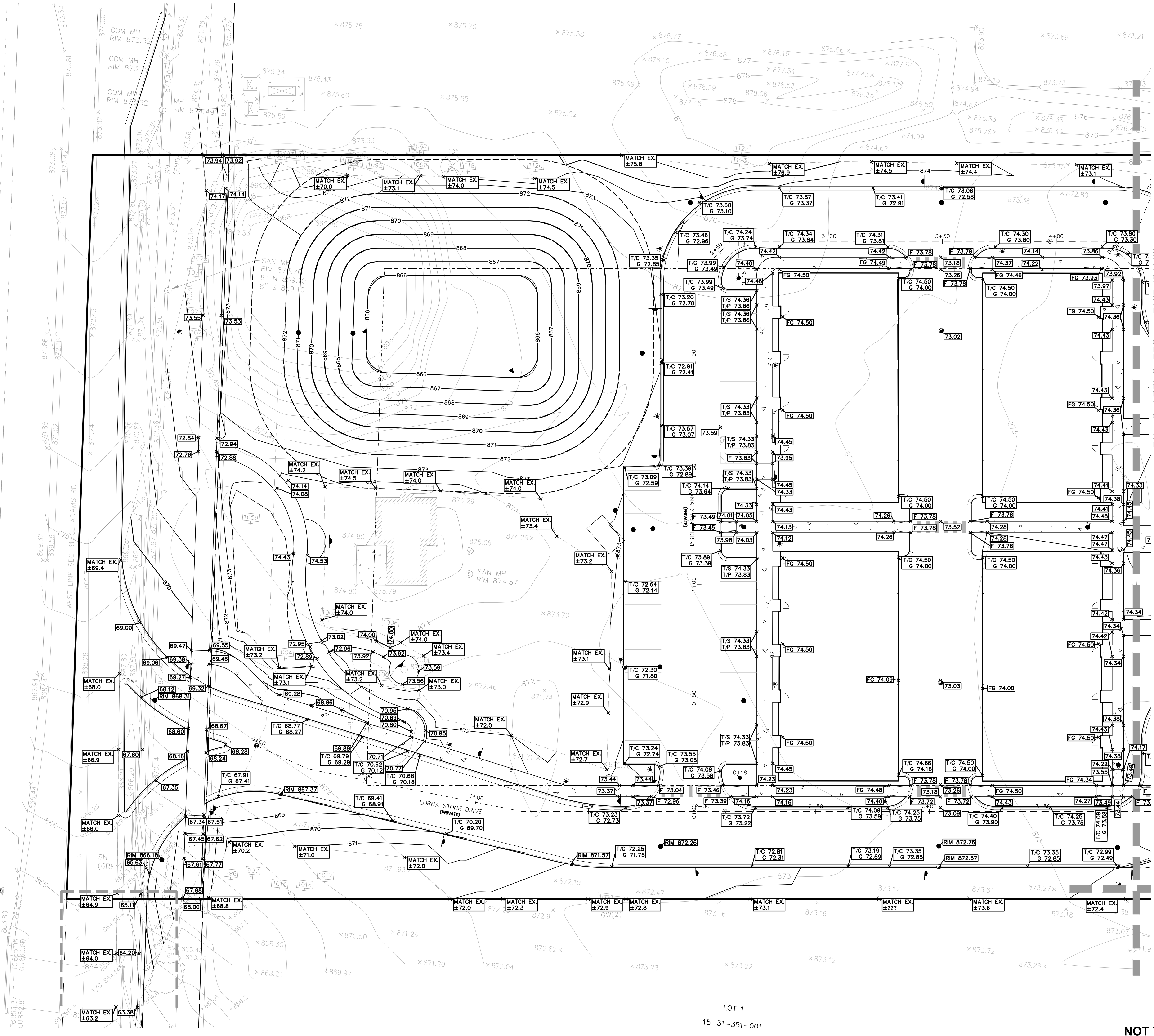
BASIS OF BEARING IS THE SOUTH LINE OF SECTION 31 IN STATE PLANE COORDINATES, ZONE 2113, GRID NORTH, WHICH BEARS N87°05'45"E.

REFERENCE SURVEY: MICHIGAN SURVEYING, INC. ALTA/NSPS LAND TITLE SURVEY, JOB NO. 20-146, DATED JULY 28, 2020.



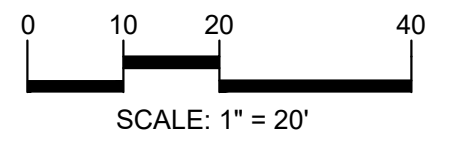
DRIVE APPROACH ENLARGEMENT

CITY FILE #25-0001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS



LOT 1
15-31-351-001

S:\PROJECTS\2025\25-1486-COMPASSION-ROCHESTER-HILLS\DWG\SITE_PLAN\C-4.1\GRADE-25-1486.dwg PLOT DATE: 5/19/2026 BY: Emil S. Binek III



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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3861 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
ENLARGED GRADING PLAN
2

PEA JOB NO.	25-1486
P.M.	ESB
DN	CNR
DES.	JRW
DRAWING NUMBER:	

GRADING LEGEND:

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALEDITCH

SIDEWALK RAMP LEGEND:

- SIDEWALK RAMP TYPE R
- SIDEWALK RAMP TYPE F
- SIDEWALK RAMP TYPE P
- SIDEWALK RAMP TYPE C
- SIDEWALK RAMP TYPE D
- CURB DROP ONLY

REFER TO LATEST MDT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

ABBREVIATIONS

- T/C = TOP OF CURB
- T/P = TOP OF PAVEMENT
- T/W = TOP OF SIDEWALK
- CG = CURB GRADE
- FF = FINISH FLOOR
- FG = FINISH GRADE
- BW = BOTTOM OF WALL
- F = FLUSH WALK
- G = GUTTER GRADE
- FF = FINISH FLOOR
- FG = FINISH GRADE
- RIM = RIM ELEVATION

EARTHWORK BALANCING NOTE:

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LEGAL DESCRIPTION
(Per PEA GROUP)

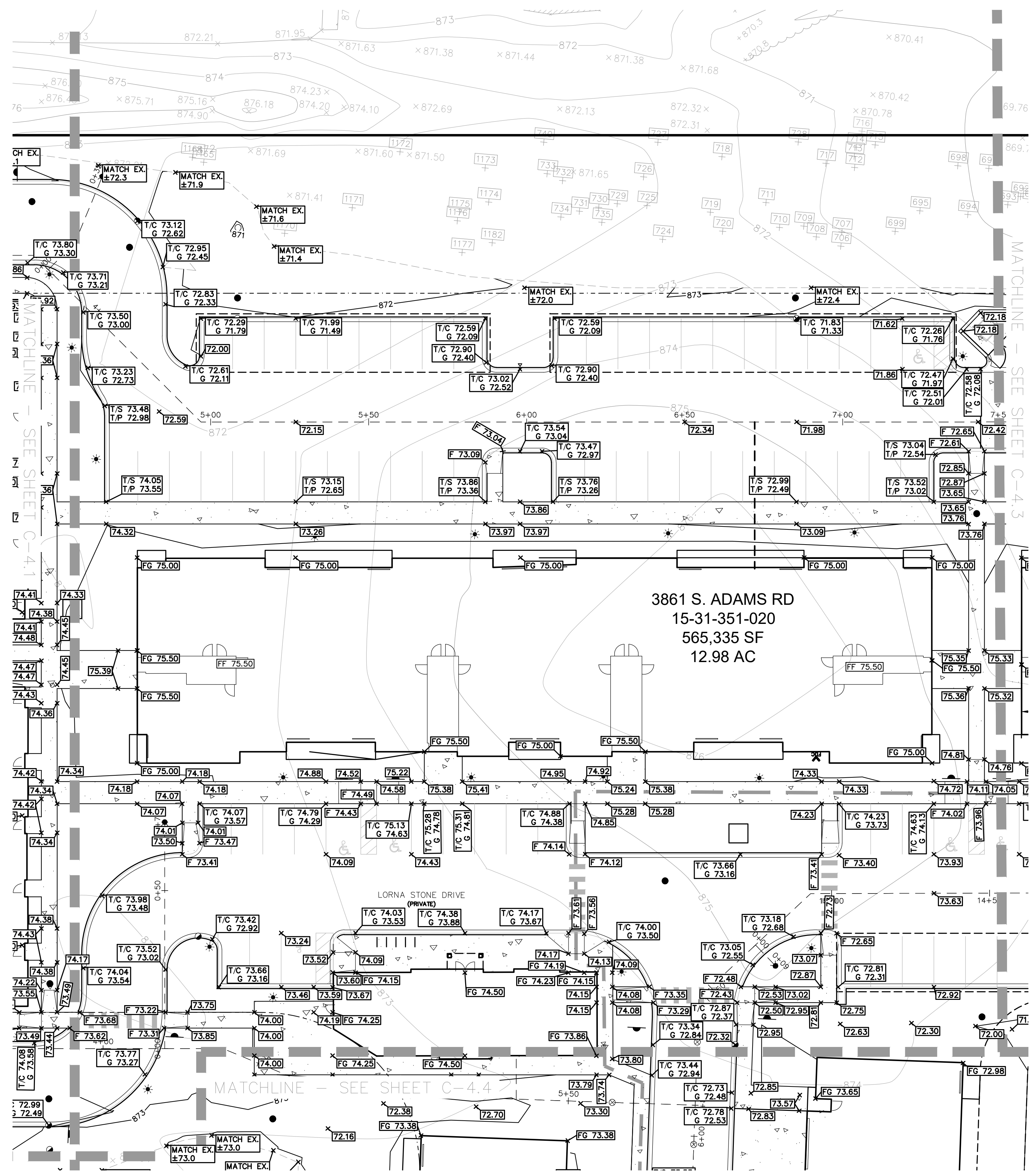
PARCEL 15-31-351-020

BEING PART OF THE WEST 1/2 OF THE SOUTHWEST FRACTIONAL 1/4, SECTION 31, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP, OAKLAND COUNTY, MICHIGAN, ALSO BEING LOT 7 AND PART OF LOTS 6 AND 8 OF "PON-AVON FARMS" A SUBDIVISION PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 31, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP (NOW CITY OF ROCHESTER HILLS), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 59, PAGE 23, OAKLAND COUNTY RECORDS, AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

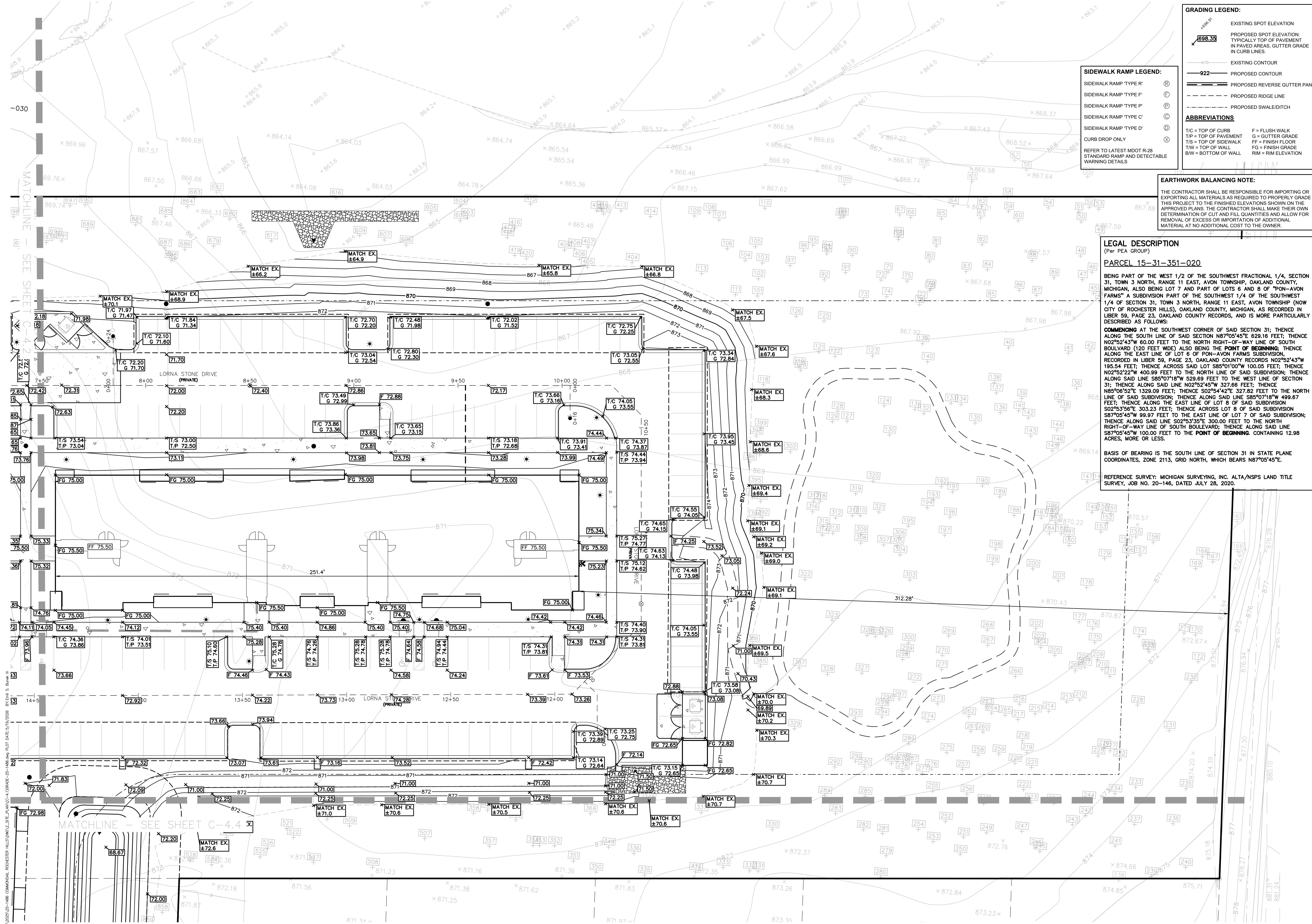
COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 31; THENCE ALONG THE SOUTH LINE OF SAID SECTION N87°05'45"E 628.16 FEET; THENCE N02°52'43"W 60.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SOUTH BOULEVARD (120 FEET WIDE) ALSO BEING THE POINT OF BEGINNING; THENCE ALONG THE EAST LINE OF LOT 6 OF PON-AVON FARMS SUBDIVISION, RECORDED IN LIBER 59, PAGE 23, OAKLAND COUNTY RECORDS N02°52'43"W 185.54 FEET; THENCE ACROSS SAID LOT S85°01'00"W 100.05 FEET; THENCE N02°52'22"W 409.99 FEET TO THE NORTH LINE OF SAID SUBDIVISION; THENCE ALONG SAID LINE S85°07'18"W 529.69 FEET TO THE WEST LINE OF SECTION 31; THENCE ALONG SAID LINE N02°52'45"W 327.66 FEET; THENCE N85°06'52"E 1329.09 FEET; THENCE S02°54'42"E 327.82 FEET TO THE NORTH LINE OF SAID SUBDIVISION; THENCE ALONG SAID LINE S85°07'18"W 499.67 FEET; THENCE ALONG THE EAST LINE OF LOT 8 OF SAID SUBDIVISION S02°53'56"E 303.23 FEET; THENCE ACROSS LOT 8 OF SAID SUBDIVISION S87°05'45"W 99.97 FEET TO THE EAST LINE OF LOT 7 OF SAID SUBDIVISION; THENCE ALONG SAID LINE S02°53'55"E 300.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SOUTH BOULEVARD; THENCE ALONG SAID LINE S87°05'45"W 100.00 FEET TO THE POINT OF BEGINNING, CONTAINING 12.98 ACRES, MORE OR LESS.

BASIS OF BEARING IS THE SOUTH LINE OF SECTION 31 IN STATE PLANE COORDINATES, ZONE 2113, GRID NORTH, WHICH BEARS N87°05'45"E.

REFERENCE SURVEY: MICHIGAN SURVEYING, INC. ALTA/NSPS LAND TITLE SURVEY, JOB NO. 20-146, DATED JULY 28, 2020.



S:\PROJECTS\2025\25-1486-COMMERCIAL-ROCHESTER-HILLS\DWG\STATE_PLAN\C-4.1\GRADE-25-1486.dwg PLOT DATE: 5/19/2026 BY: Emil S. Binek III



GRADING LEGEND:

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALEDITCH

SIDEWALK RAMP LEGEND:

- SIDEWALK RAMP 'TYPE R'
- SIDEWALK RAMP 'TYPE F'
- SIDEWALK RAMP 'TYPE P'
- SIDEWALK RAMP 'TYPE C'
- SIDEWALK RAMP 'TYPE D'
- CURB DROP ONLY

ABBREVIATIONS

- T/C = TOP OF CURB
- T/P = TOP OF PAVEMENT
- T/W = TOP OF SIDEWALK
- CG = CURB GRADE
- FF = FINISH FLOOR
- FG = FINISH GRADE
- FW = FINISH WALK
- GG = GUTTER GRADE
- RM = RIM ELEVATION
- BSW = BOTTOM OF WALL

REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS.

EARTHWORK BALANCING NOTE:

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LEGAL DESCRIPTION
(Per PEA GROUP)

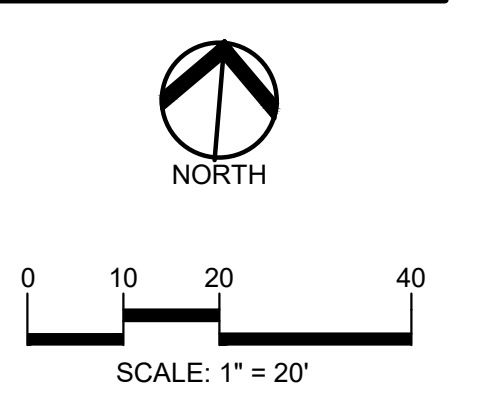
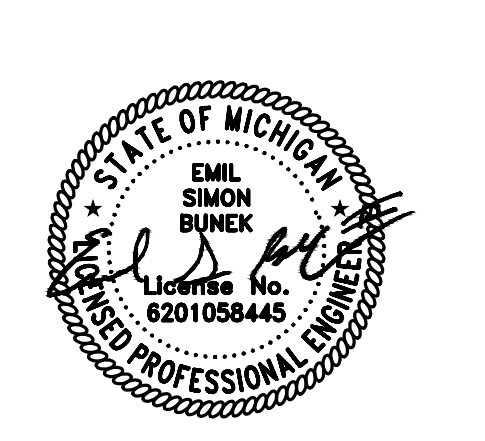
PARCEL 15-31-351-020

BEING PART OF THE WEST 1/2 OF THE SOUTHWEST QUARTER 1/4, SECTION 31, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP, OAKLAND COUNTY, MICHIGAN, ALSO BEING LOT 7 AND PART OF LOTS 8 AND 9 OF "PON-AVON FARMS" A SUBDIVISION PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 31, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP (NOW CITY OF ROCHESTER HILLS), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 59, PAGE 23, OAKLAND COUNTY RECORDS, AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

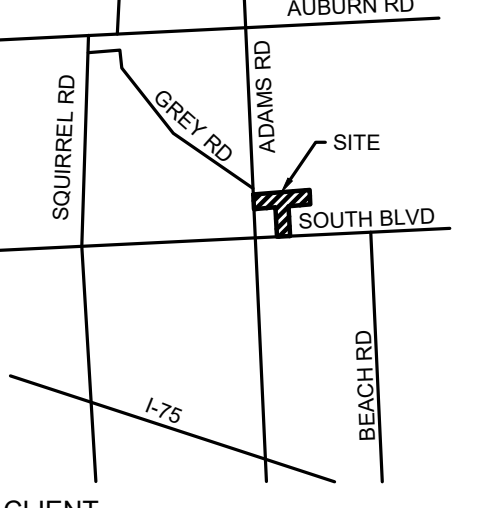
COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 31; THENCE ALONG THE SOUTH LINE OF SAID SECTION 31 N87°05'45"E 629.16 FEET; THENCE N02°52'43"W 60.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SOUTH BOULEVARD (120 FEET WIDE) ALSO BEING THE POINT OF BEGINNING; THENCE ALONG THE EAST LINE OF LOT 6 OF PON-AVON FARMS SUBDIVISION, RECORDED IN LIBER 59, PAGE 23, OAKLAND COUNTY RECORDS N02°52'43"W 185.54 FEET; THENCE ACROSS SAID LOT 8 S85°01'00"W 100.05 FEET; THENCE N02°52'22"W 409.99 FEET TO THE NORTH LINE OF SAID SUBDIVISION; THENCE ALONG SAID LINE S85°07'18"W 529.69 FEET TO THE WEST LINE OF SECTION 31; THENCE ALONG SAID LINE N02°52'45"W 327.66 FEET; THENCE N85°06'52"E 1329.09 FEET; THENCE S02°54'42"E 327.82 FEET TO THE NORTH LINE OF SAID SUBDIVISION; THENCE ALONG SAID LINE S85°07'18"W 499.67 FEET; THENCE ALONG THE EAST LINE OF LOT 8 OF SAID SUBDIVISION S02°53'56"E 303.23 FEET; THENCE ACROSS LOT 8 OF SAID SUBDIVISION S87°05'45"W 99.97 FEET TO THE EAST LINE OF LOT 7 OF SAID SUBDIVISION; THENCE ALONG SAID LINE S02°53'55"E 300.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SOUTH BOULEVARD; THENCE ALONG SAID LINE S87°05'45"W 100.00 FEET TO THE POINT OF BEGINNING, CONTAINING 12.98 ACRES, MORE OR LESS.

BASIS OF BEARING IS THE SOUTH LINE OF SECTION 31 IN STATE PLANE COORDINATES, ZONE 2113, GRID NORTH, WHICH BEARS N87°05'45"E.

REFERENCE SURVEY: MICHIGAN SURVEYING, INC. ALTA/NSPS LAND TITLE SURVEY, JOB NO. 20-146, DATED JULY 28, 2020.



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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3881 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS

SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

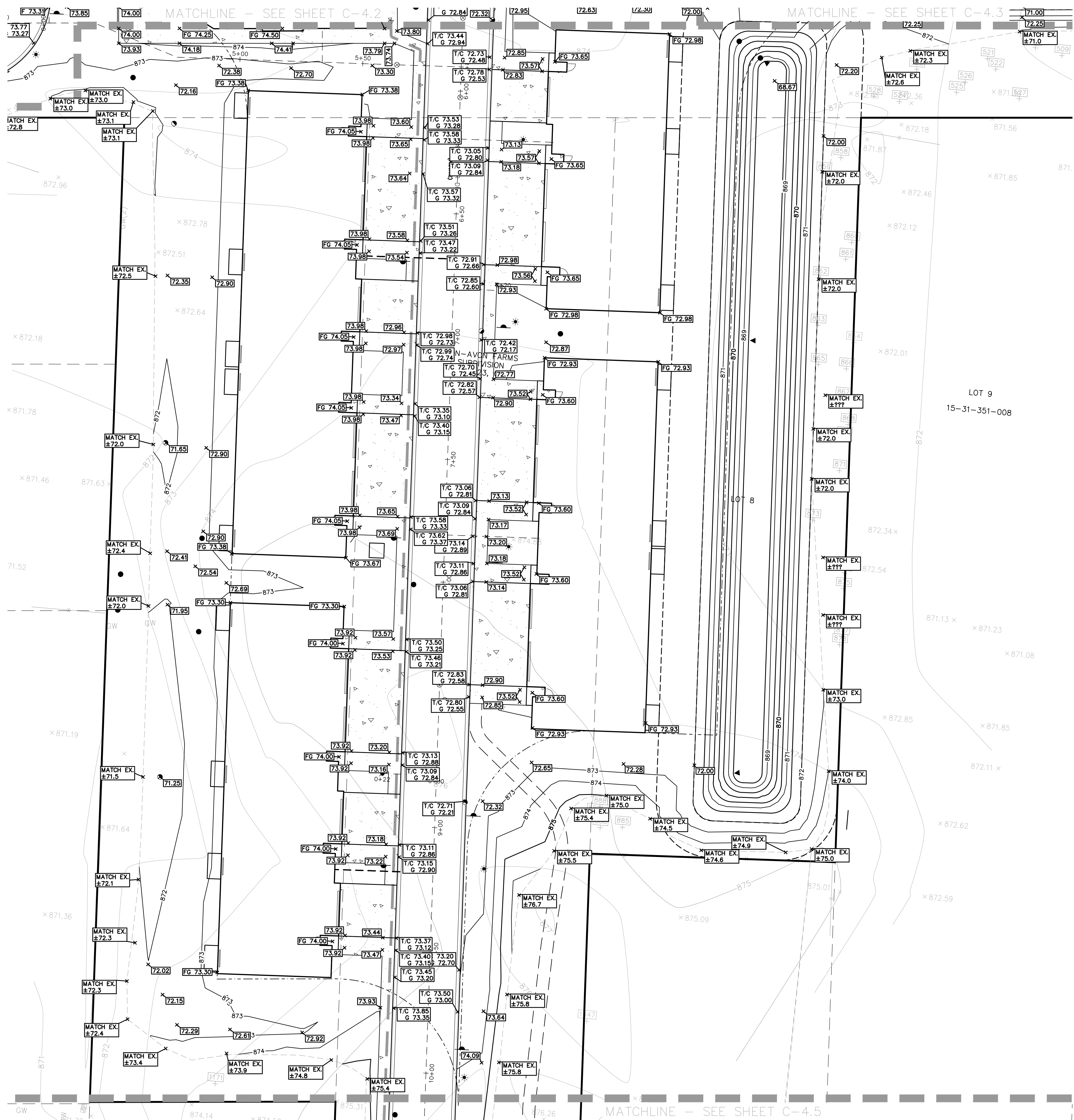
ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
ENLARGED GRADING PLAN
3

PEA JOB NO.	25-1486
P.M.	ESB
DN.	CNR
DES.	JRW
DRAWING NUMBER:	

CITY FILE #25-0001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS

C-4.3



GRADING LEGEND:

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALEDITCH

ABBREVIATIONS

- T/C = TOP OF CURB
- T/P = TOP OF PAVEMENT
- T/S = TOP OF SIDEWALK
- T/W = TOP OF WALL
- B/W = BOTTOM OF WALL
- F = FLUSH WALK
- G = GUTTER GRADE
- FF = FINISH FLOOR
- FG = FINISH GRADE
- RIM = RIM ELEVATION

SIDEWALK RAMP LEGEND:

- SIDEWALK RAMP TYPE 'R'
- SIDEWALK RAMP TYPE 'F'
- SIDEWALK RAMP TYPE 'P'
- SIDEWALK RAMP TYPE 'C'
- SIDEWALK RAMP TYPE 'D'
- CURB DROP ONLY

REFER TO LATEST MDDT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS.

EARTHWORK BALANCING NOTE:

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LEGAL DESCRIPTION
(Per PEA GROUP)

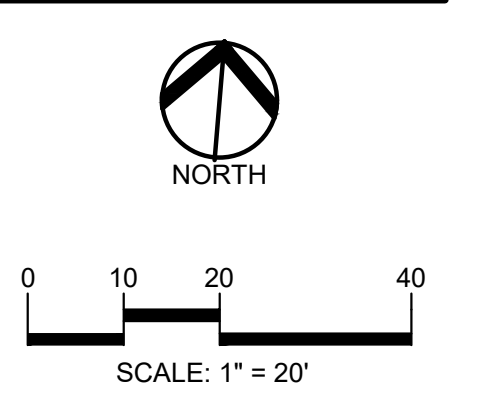
PARCEL 15-31-351-020

BEING PART OF THE WEST 1/2 OF THE SOUTHWEST FRACTIONAL 1/4, SECTION 31, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP, OAKLAND COUNTY, MICHIGAN, ALSO BEING LOT 7 AND PART OF LOTS 8 AND 9 OF "PON-AVON FARMS" A SUBDIVISION PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 31, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP (NOW CITY OF ROCHESTER HILLS), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 59, PAGE 23, OAKLAND COUNTY RECORDS, AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

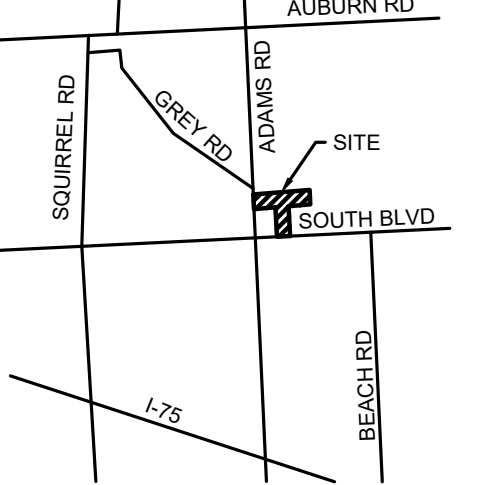
COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 31; THENCE ALONG THE SOUTH LINE OF SAID SECTION 31 N87°05'45"E 629.16 FEET; THENCE N02°52'43"W 60.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SOUTH BOULEVARD (120 FEET WIDE) ALSO BEING THE POINT OF BEGINNING; THENCE ALONG THE EAST LINE OF LOT 6 OF PON-AVON FARMS SUBDIVISION, RECORDED IN LIBER 59, PAGE 23, OAKLAND COUNTY RECORDS N02°52'43"W 185.54 FEET; THENCE ACROSS SAID LOT 8 S85°07'18"W 100.05 FEET; THENCE N02°52'22"W 409.99 FEET TO THE NORTH LINE OF SAID SUBDIVISION; THENCE ALONG SAID LINE S85°07'18"W 529.69 FEET TO THE WEST LINE OF SECTION 31; THENCE ALONG SAID LINE N02°52'45"W 327.66 FEET; THENCE N85°06'52"E 1329.09 FEET; THENCE S02°54'42"E 327.82 FEET TO THE NORTH LINE OF SAID SUBDIVISION; THENCE ALONG SAID LINE S85°07'18"W 498.67 FEET; THENCE ALONG THE EAST LINE OF LOT 8 OF SAID SUBDIVISION S02°53'56"E 303.23 FEET; THENCE ACROSS LOT 8 OF SAID SUBDIVISION S87°05'45"W 99.97 FEET TO THE EAST LINE OF LOT 7 OF SAID SUBDIVISION; THENCE ALONG SAID LINE S02°53'55"E 300.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SOUTH BOULEVARD; THENCE ALONG SAID LINE S87°05'45"W 100.00 FEET TO THE POINT OF BEGINNING, CONTAINING 12.98 ACRES, MORE OR LESS.

BASIS OF BEARING IS THE SOUTH LINE OF SECTION 31 IN STATE PLANE COORDINATES, ZONE 2113, GRID NORTH, WHICH BEARS N87°05'45"E.

REFERENCE SURVEY: MICHIGAN SURVEYING, INC. ALTA/NSPS LAND TITLE SURVEY, JOB NO. 20-146, DATED JULY 28, 2020.



CAUTION!!
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3881 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
ENLARGED PAVING AND DIMENSION PLAN 4

PEA JOB NO.	25-1486
P.M.	ESB
DN.	CNR
DES.	JRW
DRAWING NUMBER:	

CITY FILE #25-0001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS

C-4.4

S:\PROJECTS\2025\25-1486 - COMMERCIAL - ROCHESTER HILLS\DWG\2 SITE PLAN\C-4.1\PAVING-25-1486.dwg PLOT DATE: 5/19/2026 BY: Emil S. Binek III

LEGAL DESCRIPTION
(Per PEA GROUP)

PARCEL 15-31-351-020

BEING PART OF THE WEST 1/2 OF THE SOUTHWEST FRACTIONAL 1/4, SECTION 31, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP, OAKLAND COUNTY, MICHIGAN, ALSO BEING LOT 7 AND PART OF LOTS 6 AND 8 OF "PON-AVON FARMS" A SUBDIVISION PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 31, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP (NOW CITY OF ROCHESTER HILLS), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 59, PAGE 23, OAKLAND COUNTY RECORDS, AND IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 31; THENCE ALONG THE SOUTH LINE OF SAID SECTION N87°05'45"E 629.16 FEET; THENCE N02°52'43"W 60.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SOUTH BOULEVARD (120 FEET WIDE) ALSO BEING THE POINT OF BEGINNING; THENCE ALONG THE EAST LINE OF LOT 6 OF PON-AVON FARMS SUBDIVISION, RECORDED IN LIBER 59, PAGE 23, OAKLAND COUNTY RECORDS N02°52'43"W 195.54 FEET; THENCE ACROSS SAID LOT S85°01'00"W 100.05 FEET; THENCE N02°52'22"W 400.99 FEET TO THE NORTH LINE OF SAID SUBDIVISION; THENCE ALONG SAID LINE S85°01'18"W 529.69 FEET TO THE WEST LINE OF SECTION 31; THENCE ALONG SAID LINE N02°52'40"W 327.86 FEET; THENCE N85°06'52"E 1329.09 FEET; THENCE S02°54'42"E 327.82 FEET TO THE NORTH LINE OF SAID SUBDIVISION; THENCE ALONG SAID LINE S85°01'18"W 499.87 FEET; THENCE ALONG THE EAST LINE OF LOT 8 OF SAID SUBDIVISION S02°53'56"E 303.23 FEET; THENCE ACROSS LOT 8 OF SAID SUBDIVISION S87°05'45"W 99.97 FEET TO THE EAST LINE OF LOT 7 OF SAID SUBDIVISION; THENCE ALONG SAID LINE S02°53'35"E 300.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SOUTH BOULEVARD; THENCE ALONG SAID LINE S87°05'45"W 100.00 FEET TO THE POINT OF BEGINNING. CONTAINING 12.98 ACRES, MORE OR LESS.

BASIS OF BEARING IS THE SOUTH LINE OF SECTION 31 IN STATE PLANE COORDINATES, ZONE 2113, GRID NORTH, WHICH BEARS N87°05'45"E.

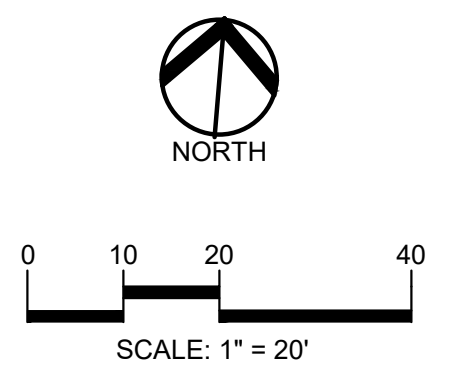
REFERENCE SURVEY: MICHIGAN SURVEYING, INC. ALTA/NSPS LAND TITLE SURVEY, JOB NO. 20-146, DATED JULY 28, 2020.

- GRADING LEGEND:**
- EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED REVERSE GUTTER PAN
 - PROPOSED RIDGE LINE
 - PROPOSED SWALEDITCH
- ABBREVIATIONS**
- T/C = TOP OF CURB
 - T/P = TOP OF PAVEMENT
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 - BW = BOTTOM OF WALL
 - F = FLUSH WALK
 - G = GUTTER GRADE
 - FF = FINISH FLOOR
 - FG = FINISH GRADE
 - RFM = RIM ELEVATION

- SIDEWALK RAMP LEGEND:**
- SIDEWALK RAMP TYPE R
 - SIDEWALK RAMP TYPE F
 - SIDEWALK RAMP TYPE P
 - SIDEWALK RAMP TYPE C
 - SIDEWALK RAMP TYPE D
 - CURB DROP ONLY
 - REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

EARTHWORK BALANCING NOTE:

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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3881 S ADAMS RD
ROCHESTER HILLS, MI

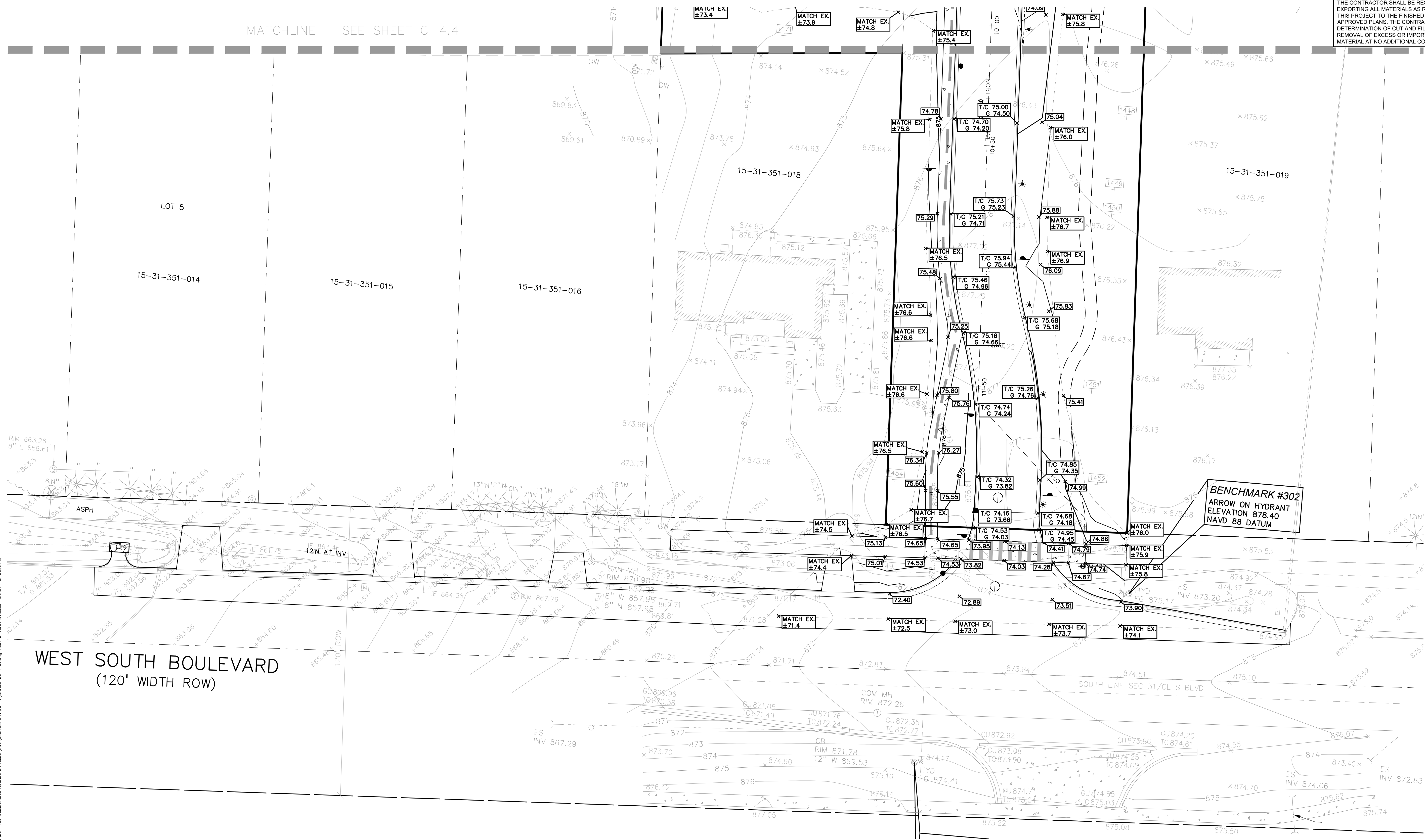
REVISIONS

SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
ENLARGED GRADING PLAN
5

PEA JOB NO.	25-1486
P.M.	ESB
DN	CNR
DES.	JRW
DRAWING NUMBER:	

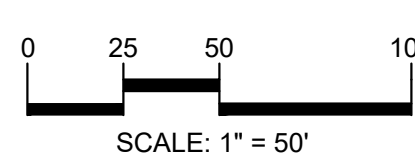
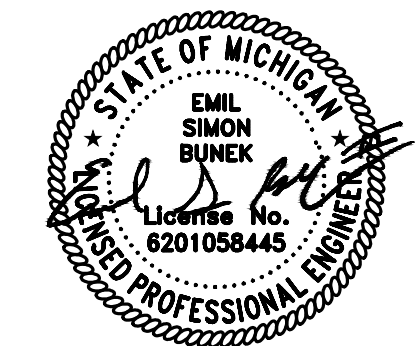


BENCHMARK #302
ARROW ON HYDRANT
ELEVATION 878.40
NAVD 88 DATUM

S:\PROJECTS\2025\25-1486-COMMERCIAL-ROCHESTER HILLS\DWG\STATE_PLAN\C-4.1\GRADE-25-1486.dwg PLOT DATE: 5/19/2026 BY: Emil S. Binek III

CITY FILE #25-0001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS

C-4.5



CAUTION!!
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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3881 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS

SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
PRELIMINARY UTILITY PLAN

PEA JOB NO. 25-1486
P.M. ESB
DN. CNR
DES. JRW
DRAWING NUMBER:

- NOTE:**
CONTRACTOR TO VERIFY ALL QUANTITIES. ANY DEVIATIONS TO THE PLAN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF PEA GROUP FOR VERIFICATION, PRIOR TO BIDDING.
- PREMIUM TRENCH BACKFILL NOTE:**
ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF THE EDGE OF PAVEMENT (OR WITHIN THE 45' LINE OF INFLUENCE OF PAVEMENT) SHALL HAVE M.D.O.T. CLASS II GRANULAR BACKFILL COMPACTED TO 95% MAX. DRY DENSITY (ASTM D-1557).
- SANITARY SEWER NOTE:**
REFER TO SHEETS C-7.0 AND C-7.1 FOR THE SANITARY STUDY AND THE BASIS OF DESIGN.
- DETENTION NOTE:**
STORM WATER IS DETAINED USING A COMBINATION OF TWO DETENTION BASINS AND MAINTAINS EXISTING REGIONAL DRAINAGE PATTERNS. REFER TO SHEETS C-8.0 AND C-8.1 FOR CALCULATIONS.
- UTILITY LEGEND:**
- EX. OH. ELEC. POLE & GUY WIRE
 - EX. U.G. CABLE TV & PEDESTAL
 - EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
 - EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
 - EX. GAS LINE
 - EX. GAS VALVE & GAS LINE MARKER
 - EX. TRANSFORMER & IRRIGATION VALVE
 - EX. WATER MAIN
 - EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
 - EX. WATER VALVE BOX & SHUTOFF
 - EX. SANITARY SEWER
 - EX. SANITARY CLEANOUT & MANHOLE
 - EX. COMBINED SEWER MANHOLE
 - EX. STORM SEWER
 - EX. CLEANOUT & MANHOLE
 - EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
 - EX. YARD DRAIN & ROOF DRAIN
 - EX. UNIDENTIFIED STRUCTURE
 - PROPOSED WATER MAIN
 - PROPOSED HYDRANT AND GATE VALVE
 - PROPOSED TAPPING SLEEVE, VALVE & WELL
 - PROPOSED POST INDICATOR VALVE
 - PROPOSED SANITARY SEWER
 - PROPOSED SANITARY CLEANOUT & MANHOLE
 - PROPOSED STORM SEWER
 - PROPOSED STORM SEWER CLEANOUT & MANHOLE
 - PROPOSED CATCH BASIN, INLET & YARD DRAIN

WATER MAIN BASIS OF DESIGN:
(Unit Factors Based on Oakland County Unit Assignment Factors)

MULTIPLE FAMILY RESIDENCES

RESIDENCES	132
Unit Factor	0.6
REU	79.2
Population (P) (2.44 PEOPLE/EDU)	193.2 People
TOTAL	79.2 REU
	193 People
Average Flow (150 GPCPD)	28,950 G.P.D.
	0.045 C.F.S.
	0.029 M.G.D.
Design Max. Flow = (2*avg)	57900.00 G.P.D.
	0.090 C.F.S.
	0.058 M.G.D.
Building Type =	
Required Fire Flow =	

EAST POND OVERFLOW

REFER TO CALCULATIONS ON SHEET C-8.1

$Q(100 \text{ IN}) = 17.40 \text{ CFS}$

DETENTION BASIN OUTLET PIPE AND OVERFLOW STRUCTURE SIZED TO PASS THE 10-YEAR FLOW RATE.

$Q = CIA$

$C = 0.62$

$I(10) = 4.58 \text{ IN/HR}$

$A = 3.69 \text{ ACRES}$

$Q(10) = 10.48 \text{ CFS}$

REMAINING FLOW = 6.92 CFS

CIPOLLETTI CALCULATIONS FOR TRAPEZOIDAL WEIR REFER TO CALCULATIONS THIS SHEET

DRAINAGE SWALE - 1' DEEP AND 5.5' WIDE
 $Q = 18.5 \text{ CFS}$

OVERFLOW WEIR - 0.5' DEEP AND 10' WIDE
 $Q = 11.9 \text{ CFS}$

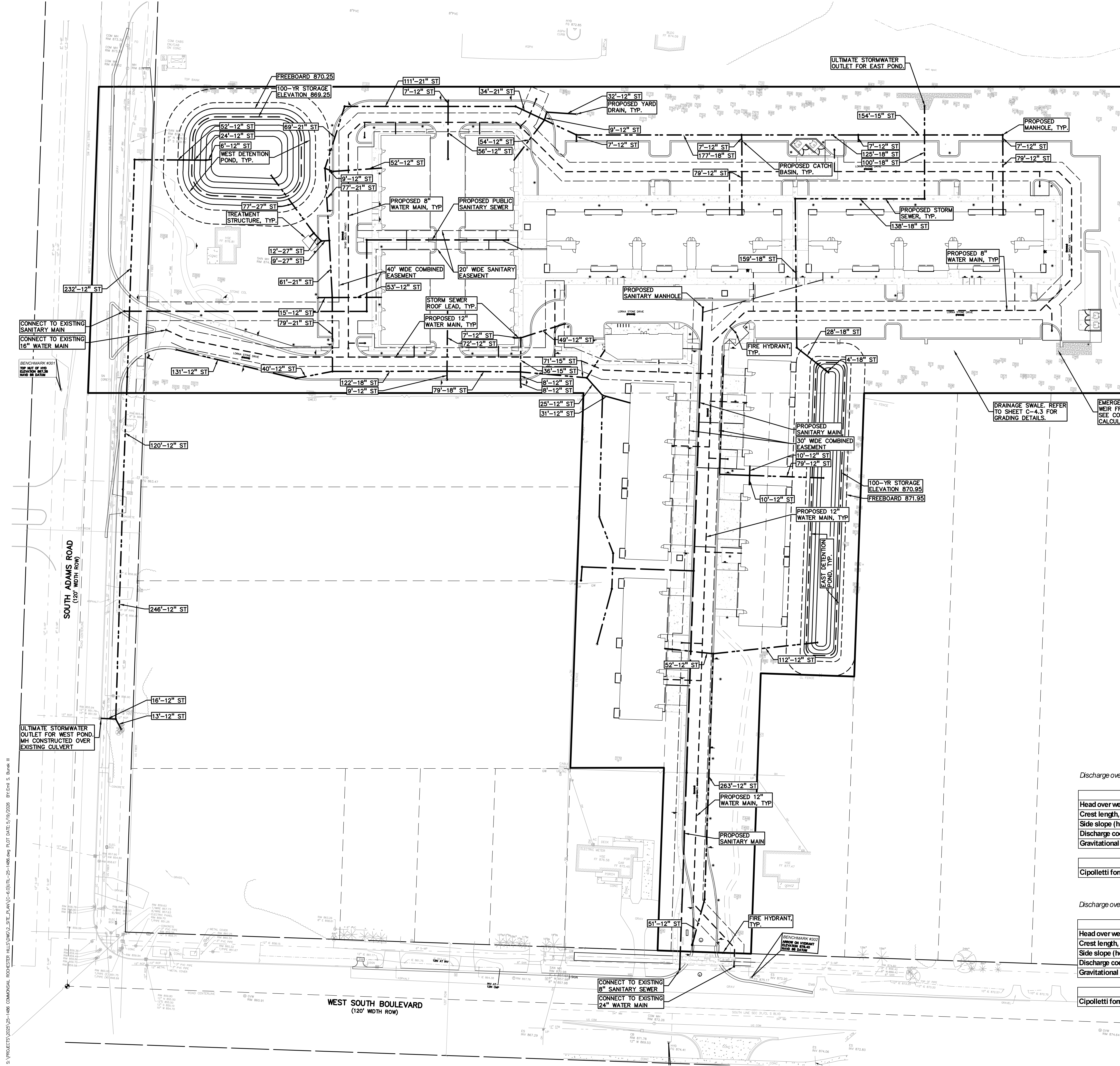
THERE IS SUFFICIENT CAPACITY AVAILABLE FOR THE DIFFERENCE BETWEEN THE 10-YEAR FLOW RATE AND THE 100-YEAR FLOW RATE IN AN EMERGENCY OVERFLOW CONDITION.

Discharge over a trapezoidal (Cipolletti) weir.

Head over weir crest, H	1.000 ft	Vertical depth of water above weir crest
Crest length, L	5.500 ft	Bottom width of the trapezoidal notch
Side slope (horiz: vert), m	0.250 HV	0.25 = Cipolletti (1H:4V)
Discharge coefficient, Cd	0.620	Typical 0.62-0.63 for sharp-crested weirs
Gravitational acceleration, g	32.2 ft/s ²	Standard gravity (imperial units)
Cipolletti formula, Q	18.519 ft ³ /s	$Q = 3.367 \cdot L \cdot H^{1.5}$ (US units, fixed 1:4 side slope)

Discharge over a trapezoidal (Cipolletti) weir.

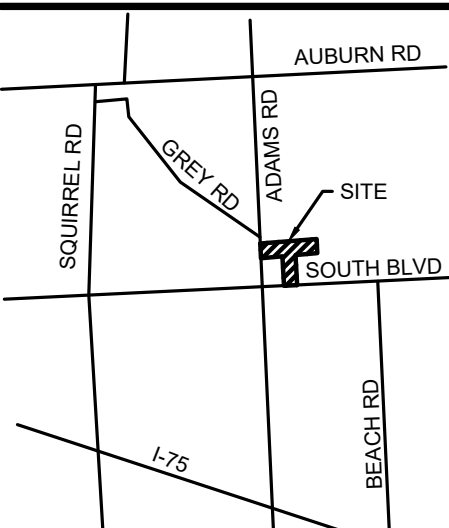
Head over weir crest, H	0.500 ft	Vertical depth of water above weir crest
Crest length, L	10.000 ft	Bottom width of the trapezoidal notch
Side slope (horiz: vert), m	0.250 HV	0.25 = Cipolletti (1H:4V)
Discharge coefficient, Cd	0.620	Typical 0.62-0.63 for sharp-crested weirs
Gravitational acceleration, g	32.2 ft/s ²	Standard gravity (imperial units)
Cipolletti formula, Q	11.904 ft ³ /s	$Q = 3.367 \cdot L \cdot H^{1.5}$ (US units, fixed 1:4 side slope)



S:\PROJECTS\2025\25-1486 COMMERCIAL ROCHESTER HILLS\DWG\2 SITE PLAN(C-6.0).DWG PLOT DATE: 5/19/2026 10:15:53 AM S. Bunk III



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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3881 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
SANITARY SEWER STUDY

PEA JOB NO.	25-1486
P.M.	ESB
DN.	CNR
DES.	JRW
DRAWING NUMBER:	

C-7.0

**SANITARY CAPACITY CALCULATION
POPULATION BASED ON 2.44/UNIT**

SUB	Dist	MH	MH	PIPE SIZE (IN)	PIPE SLOPE	26.3		150		AVG. FLOW (CFS)	PEAK FLOW (CFS)	PIPE CAP. (CFS)	EXTRA CAP. (CFS)	R	A	N	Peaking Factor	
						Area (Acre)	Density /acre	REU	POP. EQUIV.									TOTAL POP.
		34	33	8	0.45	3.3	5.70	19	45.924	45.924	0.007	0.03071	0.961	0.930	0.167	0.349	0.011	4.322
		33	32	8	0.4	2.3	5.70	13	32.008	77.9316	0.012	0.05245	0.906	0.853	0.167	0.349	0.011	4.350
		32	31	8	0.4	13	5.70	74	180.91	258.844	0.04	0.16675	0.906	0.739	0.167	0.349	0.011	4.164
		31	30	8	0.4	4.9	5.70	28	68.19	327.034	0.051	0.21685	0.906	0.689	0.167	0.349	0.011	4.286
		30	29	8	0.4	2.8	5.70	16	38.966	366	0.057	0.24551	0.906	0.660	0.167	0.349	0.011	4.335
		29	28	8	0.4	0	4	0	0	366	0.057	0.25483	0.906	0.651	0.167	0.349	0.011	4.500
		28	27	8	0.4	22.2	N/A	129	314.03	680.028	0.105	0.42822	0.906	0.477	0.167	0.349	0.011	4.070
		27	26	8	1.52	0	4	0	0	680.028	0.105	0.47347	1.765	1.292	0.167	0.349	0.011	4.500
		26	25	8	0.4	0	4	0	0	680.028	0.105	0.47347	0.906	0.432	0.167	0.349	0.011	4.500
		25	24	8	0.4	0	4	0	0	680.028	0.105	0.47347	0.906	0.432	0.167	0.349	0.011	4.500
		24	23	8	0.4	8	4	32	78.08	758.108	0.117	0.50103	0.906	0.405	0.167	0.349	0.011	4.271
		23	22	8	0.4	0	4	0	0	758.108	0.117	0.52783	0.906	0.378	0.167	0.349	0.011	4.500
		22	21	8	0.4	0	4	0	0	758.108	0.117	0.52783	0.906	0.378	0.167	0.349	0.011	4.500
		21	20	8	4.06	0	4	0	0	758.108	0.117	0.52783	2.885	2.358	0.167	0.349	0.011	4.500
		20	19	8	4.06	42.16	N/A	104	254.25	1012.36	0.157	0.64348	2.885	2.242	0.167	0.349	0.011	4.108
		19	18	8	0.4	12.1	4	48	118.1	1130.45	0.175	0.73865	0.906	0.167	0.167	0.349	0.011	4.223
		18	17	8	4.7	4.2	4	17	40.992	1171.44	0.181	0.78506	3.104	2.319	0.167	0.349	0.011	4.331
		17	16	8	2.29	2.4	4	10	23.424	1194.87	0.185	0.80808	2.167	1.359	0.167	0.349	0.011	4.371
		16	15	8	0.5	10.3	4	41	100.53	1295.4	0.2	0.8504	1.013	0.162	0.167	0.349	0.011	4.243
		15	14	8	0.4	0	4	0	0	1295.4	0.2	0.90192	0.906	0.004	0.167	0.349	0.011	4.500
		14	13	8	0.4	0	4	0	0	1295.4	0.2	0.90192	0.906	0.004	0.167	0.349	0.011	4.500
		13	12	15	0.18	custom	4	745.3	1818.5	3113.93	0.482	1.74292	2.748	1.005	0.313	1.227	0.013	3.618
		12	11	15	0.18	0	4	0	0	3113.93	0.482	2.16808	2.748	0.580	0.313	1.227	0.013	4.500
		11	10	15	0.18	0	4	0	0	3113.93	0.482	2.16808	2.748	0.580	0.313	1.227	0.013	4.500
		10	9	15	0.18	custom	4	42	102.48	3216.41	0.498	2.11037	2.748	0.638	0.313	1.227	0.013	4.241
		9	8	15	0.18	3.4	4	14	33.184	3249.59	0.503	2.18589	2.748	0.562	0.313	1.227	0.013	4.348
		8	7	15	0.18	0	4	0	0	3249.59	0.503	2.26254	2.748	0.485	0.313	1.227	0.013	4.500
		7	6	15	0.18	28	4	112	273.28	3522.87	0.545	2.2323	2.748	0.516	0.313	1.227	0.013	4.095
		6	5	15	0.18	9.7	4	39	94.672	3617.54	0.56	2.3788	2.748	0.369	0.313	1.227	0.013	4.250
		5	4	15	0.18	0	4	0	0	3617.54	0.56	2.51873	2.748	0.229	0.313	1.227	0.013	4.500
		4	3	15	0.18	0	4	0	0	3617.54	0.56	2.51873	2.748	0.229	0.313	1.227	0.013	4.500
		3	2	15	0.18	0	4	0	0	3617.54	0.56	2.51873	2.748	0.229	0.313	1.227	0.013	4.500





0 25 50 100
 SCALE: 1" = 50'



CAUTION!!
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CLIENT
3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3881 S ADAMS RD
 ROCHESTER HILLS, MI

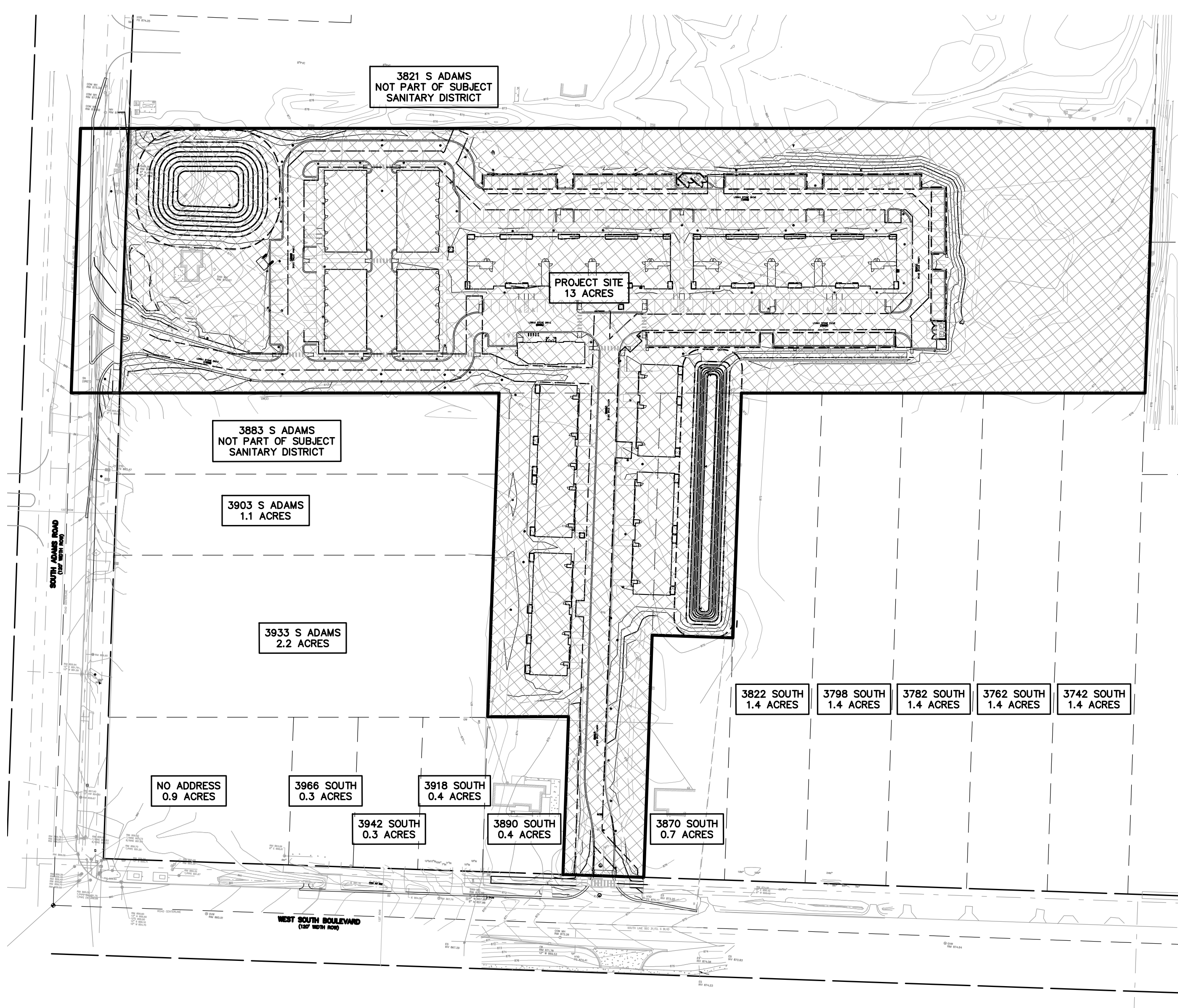
REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

DRAWING TITLE
SANITARY SEWER NARRATIVE

PEA JOB NO.	25-1486
P.M.	ESB
DN.	CNR
DES.	JRW

DRAWING NUMBER:



SANITARY SEWER SERVICE NARRATIVE

EXISTING SANITARY SEWER CAPACITY IS TO BE DIVIDED EVENLY AMONG THE PROPERTIES SHOWN.

THE NET AREA OF THE PROPERTIES IN THIS AREA THAT CONNECT TO THE SEWER IN SOUTH BOULEVARD IS 26.3 ACRES.

THE SANITARY STUDY ON SHEET C-7.0 DETERMINED THAT THERE IS AN AVAILABLE 150 REUS IN THE SEWER CAPACITY. DIVIDING THEM EVENLY AMONG THIS AREA RESULTS IN A DENSITY OF 5.70 REUS PER ACRE.

FOR THE PROJECT SITE, THIS RESULTS IN 74 REUS AVAILABLE FOR THE PROJECT.

THE SANITARY FLOW REQUIRED FOR THE PROJECT IS DIVIDED IN TWO SECTIONS.

THE SOUTH SANITARY SEWER, CONSISTING OF SERVICE FOR THE COTTAGES AND ONE OF THE APARTMENT BUILDINGS, ENCOMPASSES 64 RESIDENCES AND 38.4 REUS. THIS SANITARY SEWER CONNECTS TO THE SUBJECT SEWER IN WEST SOUTH BOULEVARD.

THE WEST SANITARY SEWER, CONSISTING OF SERVICE FOR THE TOWNHOUSES AND ONE OF THE APARTMENT BUILDINGS, ENCOMPASSES 68 RESIDENCES AND 40.8 REUS. THIS SANITARY SEWER CONNECTS TO A SANITARY SEWER IN SOUTH ADAMS ROAD.

WEST SANITARY SEWER BASIS OF DESIGN:	
(Unit Factors Based on Oakland County Unit Assignment Factors)	
MULTIPLE FAMILY RESIDENCES	
RESIDENCES	68
Unit Factor	0.6
REU	40.8
Population (P) (2.44 PEOPLE/EDU)	99.6 People
TOTAL	40.8
REU	100 People
Average Flow (150 GPCPD)	15,000 G.P.D.
	0.023 C.F.S.
	0.015 M.G.D.
Design Max. Flow = (2*avg)	30000.00 G.P.D.
	0.046 C.F.S.
	0.030 M.G.D.
Building Type =	
Required Fire Flow =	

SOUTH SANITARY SEWER BASIS OF DESIGN:	
(Unit Factors Based on Oakland County Unit Assignment Factors)	
MULTIPLE FAMILY RESIDENCES	
RESIDENCES	64
Unit Factor	0.6
REU	38.4
Population (P) (2.44 PEOPLE/EDU)	93.7 People
TOTAL	38.4
REU	94 People
Average Flow (150 GPCPD)	14,100 G.P.D.
	0.022 C.F.S.
	0.014 M.G.D.
Design Max. Flow = (2*avg)	28200.00 G.P.D.
	0.044 C.F.S.
	0.028 M.G.D.
Building Type =	
Required Fire Flow =	

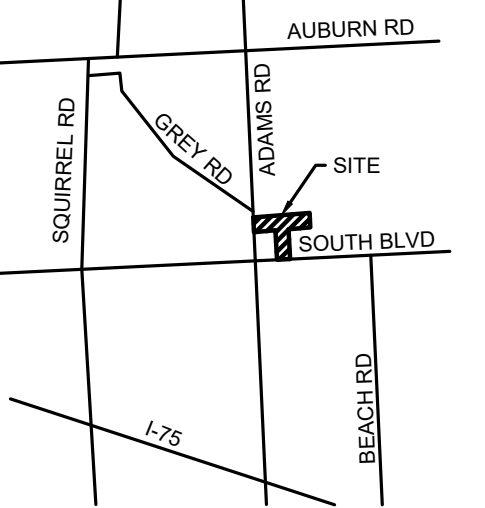
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0 25 50 100
SCALE: 1" = 50'



CAUTION!!
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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3881 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

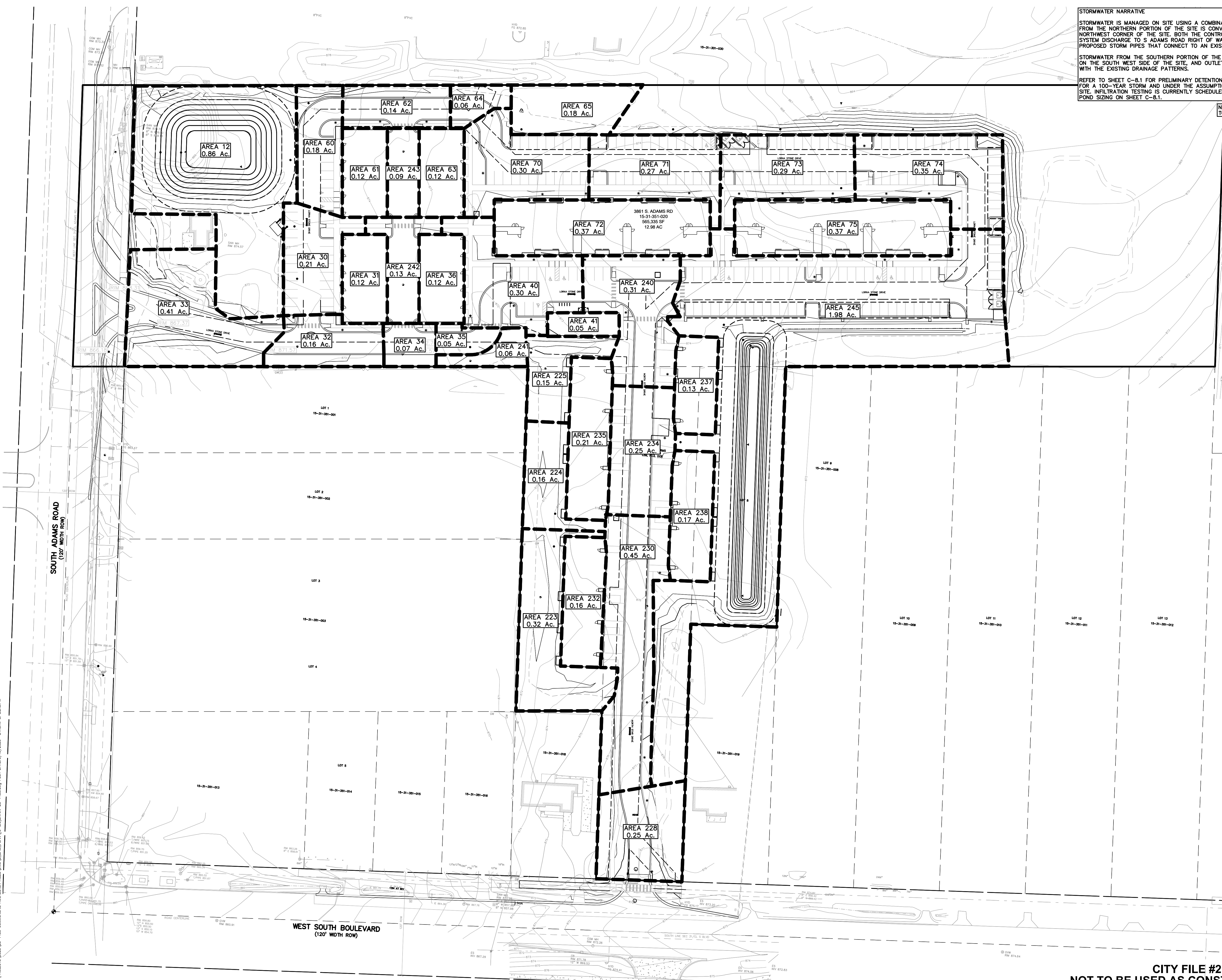
ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
PRELIMINARY DRAINAGE AREA MAP

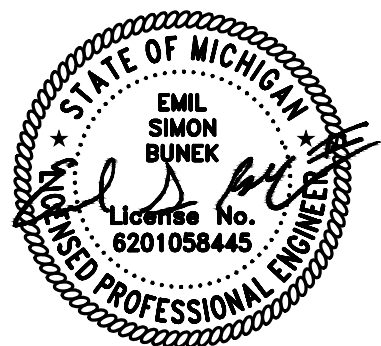
PEA JOB NO.	25-1486
P.M.	ESB
DN.	CNR
DES.	JRW
DRAWING NUMBER:	

STORMWATER NARRATIVE
STORMWATER IS MANAGED ON SITE USING A COMBINATION TWO DETENTION BASINS. STORMWATER FROM THE NORTHERN PORTION OF THE SITE IS CONVEYED TO LARGER DETENTION POND IN THE NORTHWEST CORNER OF THE SITE. BOTH THE CONTROLLED OUTLET AND OVERFLOW FOR THE SYSTEM DISCHARGE TO S ADAMS ROAD RIGHT OF WAY. THE SITE OUTLET CONNECTS TO PROPOSED STORM PIPES THAT CONNECT TO AN EXISTING CATCH BASIN IN S ADAMS ROAD.
STORMWATER FROM THE SOUTHERN PORTION OF THE SITE IS CONVEYED TO THE SMALLER POND ON THE SOUTH WEST SIDE OF THE SITE, AND OUTLETS TO THE NORTH OF THE SITE IN KEEPING WITH THE EXISTING DRAINAGE PATTERNS.
REFER TO SHEET C-8.1 FOR PRELIMINARY DETENTION CALCULATIONS. THE DETENTION IS SIZED FOR A 100-YEAR STORM AND UNDER THE ASSUMPTION THAT NO INFILTRATION IS AVAILABLE ON SITE. INFILTRATION TESTING IS CURRENTLY SCHEDULED TO BE COMPLETED. REFER TO DETENTION POND SIZING ON SHEET C-8.1.

NOTE: DRAINAGE AREA NUMBERS CORRESPOND TO STORM STRUCTURE NUMBERS



S:\PROJECTS\2025\25-1486 COMMERCIAL ROCHESTER HILLS\DWG\2 SITE PLAN\C-8.0\DRN-25-1486.dwg PLOT DATE: 5/19/2026 BY: Emil S. Binek III



0 25 50 100
SCALE: 1" = 50'



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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3881 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS

SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

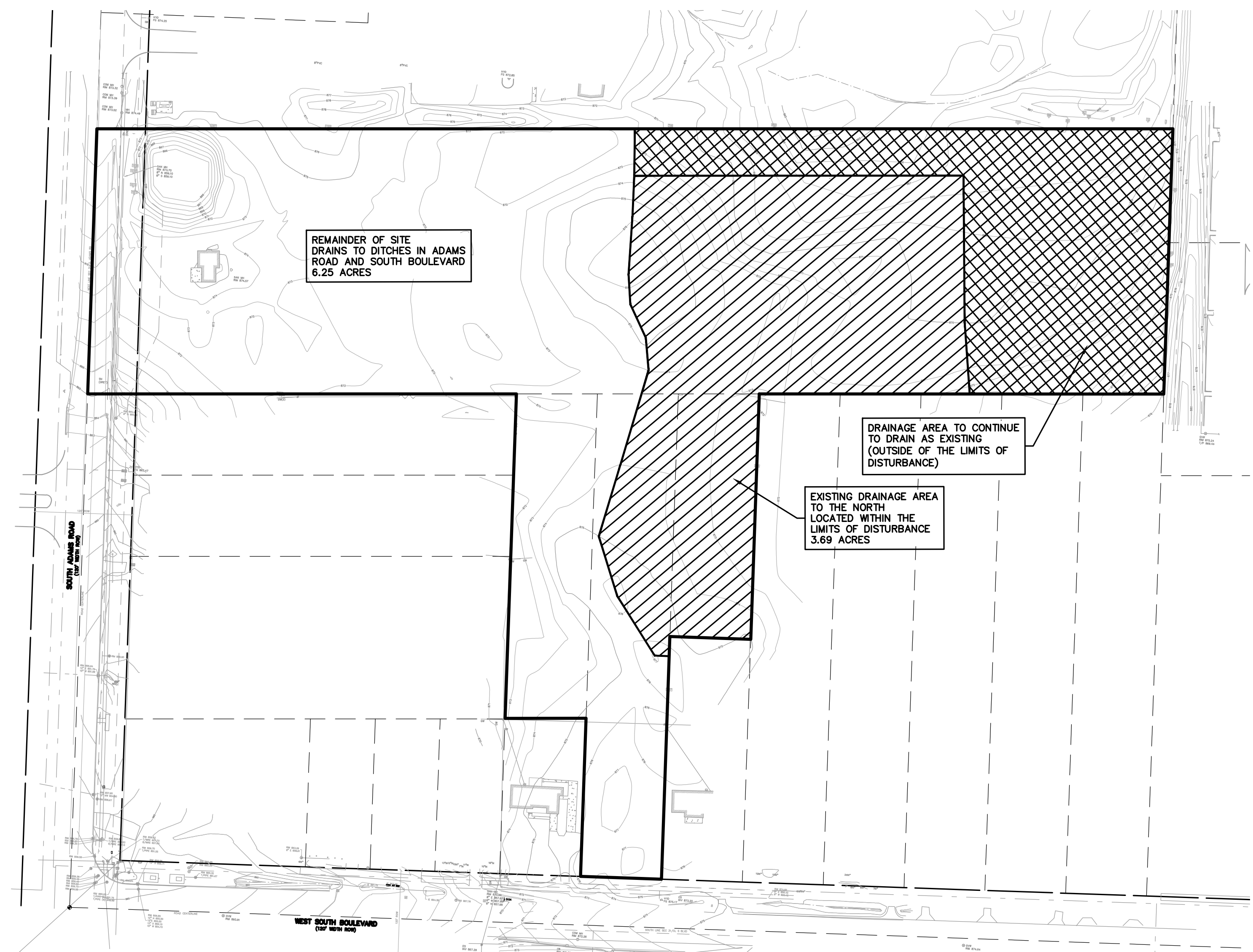
ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
DRAINAGE CALCULATIONS

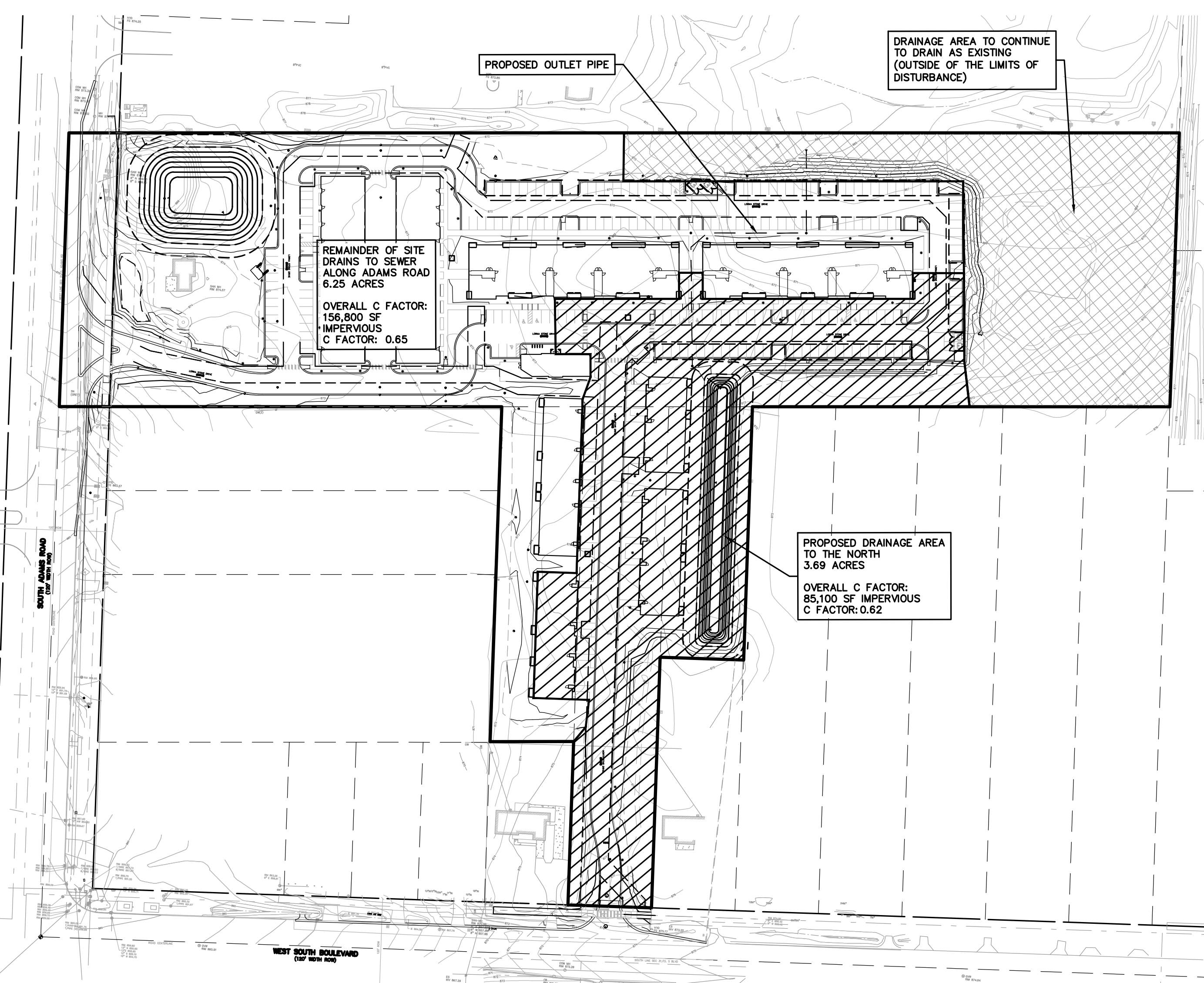
PEA JOB NO. 25-1486
P.M. ESB
DN. CNR
DES. JRW

DRAWING NUMBER:

C-8.1



EXISTING CONDITIONS



PROPOSED CONDITIONS

STORMWATER NARRATIVE
DRAINAGE ON THE PROPERTY IS DIVIDED INTO TWO PONDS, WITH THE DRAINAGE AREAS SIZED TO MAINTAIN EQUIVALENT DRAINAGE AREAS TO EXISTING CONDITIONS.

EACH POND INDEPENDENTLY MEETS ALL OAKLAND COUNTY STORMWATER REQUIREMENTS.

NO REDUCTION IN REQUIRED VOLUME HAS BEEN CREDITED TO EITHER POND FOR INFILTRATION. INFILTRATION TESTING IS CURRENTLY SCHEDULED. IF NO INFILTRATION CAPACITY IS DETERMINED TO BE AVAILABLE, UNDERDRAINS WILL BE ADDED TO THE PONDS TO ENSURE DRAINAGE OF BIOSWALE SOILS.

Time of Concentration (T _c)	15.00 min
Site Area (A)	6.25 acres
Runoff Coefficient (C)	0.65
Rainfall Intensity I = 30.2p ^{0.22} / (T _c + 9.17) ^{0.81} p is the design storm intensity, in years	
I ₁ =	2.29 in/hr
I ₁₀ =	3.80 in/hr
I ₁₀₀ =	6.30 in/hr
Water Quality Volume V _{WQ} = 3630PCA Precipitation Depth, P:	14,747 cf 1.00 inch
Water Quality Rate Q _{WQ} = 30.2CA / (T _c + 9.17) ^{0.81}	9.30 cfs
CPVC: Channel Protection Volume Control Volume V _{CPVC} = 3630PCA Precipitation Depth, P:	19,171 cf 1.30 inch
CPRC: Channel Protection Rate Control Volume: Extended Detention V _{ED} = 6897CA	28,019 cf
Target Dewatering Rate Q _{VED} = V _{ED} / (48*60*60) Q _{VRR} = 1.1055-0.206ln(A) Maximum Q _{VRR} = 1.0 cfs/acre	0.16 cfs 0.73 cfs/acre N/A cfs/acre
Mandated Outflow Rate: Q _{100P} is the lesser of the two rates multiplied by A. Q _{100P} =	N/A cfs/acre 4.55 cfs

WEST POND

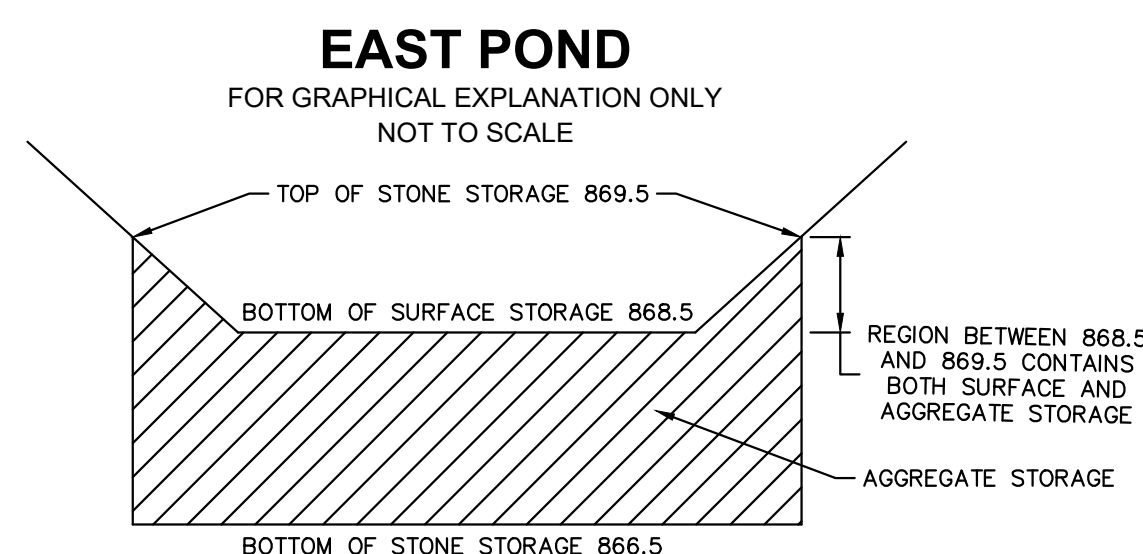
100-Year Runoff Volume V _{100R} = 18985CA	77,127 cf		
Storage Curve Factor for the 100-year Detention Volume Q _{100IN} = C ₁₀₀ 100A R = [0.206 - 0.15ln(Q _{100P} /Q _{100IN})]	25.61 cfs 0.47		
100-Year Runoff Volume V _{100R} = 18985CA	77,127 cf		
Channel Protection Volume Credit V _{VC-CREDIT} is the volume infiltrated (cannot exceed V _{VC}) Infiltration Volume Provided: V _{VC-CREDIT} = V _{100D} = (V _{100R}) - V _{VC-CREDIT}	0 cf 0 cf 35,876 cf		
Storage System Volume The larger of V _{100D} and V _{ED} controls: Dewater at Q _{100P} rate:	35,876 cf 4.55 cfs		
Detention Basin CPRC Storage Elevation: 868.99 Detention Storage Elevation: 869.46 Elev. (ft) Area (sf) Vol. (cf) Total Vol. (cf)	28,019 cf 35,876 cf		
866.00	5,050	0	0
867.00	7,385	6,222	6,222
868.00	10,875	9,130	15,352
869.00	14,653	12,764	28,116
870.00	18,738	16,696	44,812
871.00	0	0	44,812
872.00	0	0	44,812
873.00	0	0	44,812
Provided ED Volume: Bottom Elevation of Pond:	44,812 cf 866.00		

Time of Concentration (T _c)	10.00 min
Site Area (A)	3.69 acres
Runoff Coefficient (C)	0.62
Rainfall Intensity I = 30.2p ^{0.22} / (T _c + 9.17) ^{0.81} p is the design storm intensity, in years	
I ₁ =	2.76 in/hr
I ₁₀ =	4.58 in/hr
I ₁₀₀ =	7.60 in/hr
Water Quality Volume V _{WQ} = 3630PCA Precipitation Depth, P:	8,305 cf 1.00 inch
Water Quality Rate Q _{WQ} = 30.2CA / (T _c + 9.17) ^{0.81}	6.32 cfs
CPVC: Channel Protection Volume Control Volume V _{CPVC} = 3630PCA Precipitation Depth, P:	10,796 cf 1.30 inch
CPRC: Channel Protection Rate Control Volume: Extended Detention V _{ED} = 6897CA	15,779 cf
Target Dewatering Rate Q _{VED} = V _{ED} / (48*60*60) Q _{VRR} = 1.1055-0.206ln(A) Maximum Q _{VRR} = 1.0 cfs/acre	0.09 cfs 0.84 cfs/acre N/A cfs/acre
Mandated Outflow Rate: Q _{100P} is the lesser of the two rates multiplied by A. Q _{100P} =	N/A cfs/acre 3.09 cfs

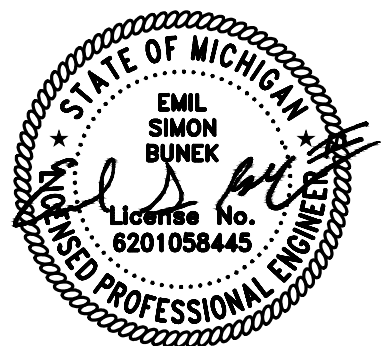
100-Year Runoff Volume V _{100R} = 18985CA	43,434 cf
Storage Curve Factor for the 100-year Detention Volume Q _{100IN} = C ₁₀₀ 100A R = [0.206 - 0.15ln(Q _{100P} /Q _{100IN})]	17.40 cfs 0.47
100-Year Runoff Volume V _{100R} = 18985CA	43,434 cf
Channel Protection Volume Credit V _{VC-CREDIT} is the volume infiltrated (cannot exceed V _{VC}) Infiltration Volume Provided: V _{VC-CREDIT} = V _{100D} = (V _{100R}) - V _{VC-CREDIT}	0 cf 0 cf 20,213 cf
Storage System Volume The larger of V _{100D} and V _{ED} controls: Dewater at Q _{100P} rate:	20,213 cf 3.09 cfs

EAST POND

Detention Basin CPRC Storage Elevation: 870.51 Detention Storage Elevation: 870.95 Elev. (ft) Area (sf) Vol. (cf) Total Vol. (cf)	15,779 cf 20,213 cf		
UNDERGROUND AGGREGATE STORAGE (30% voids)			
866.50	5,872	0	0
867.50	5,872	1,762	1,762
868.50	5,872	1,762	3,523
869.50	5,872	370	3,893
SURFACE STORAGE			
868.50	3,404	0	3,893
869.50	5,872	4,638	8,531
870.50	8,508	7,190	15,721
871.50	11,272	9,890	25,611
872.50	0	0	25,611
873.50	0	0	25,611
Provided ED Volume: Bottom Elevation of Pond:	25,611 cf 866.50		



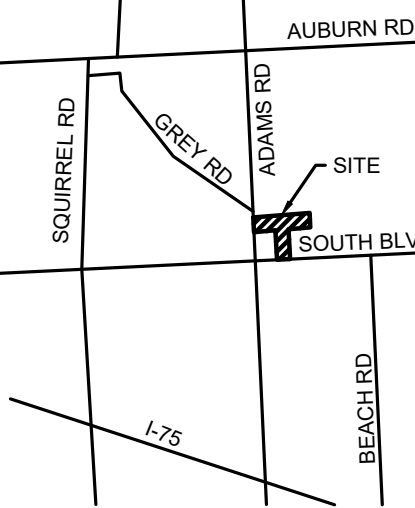
CITY FILE #25-0001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS



0 10 20 40
SCALE: 1" = 20'



CAUTION!!
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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3881 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

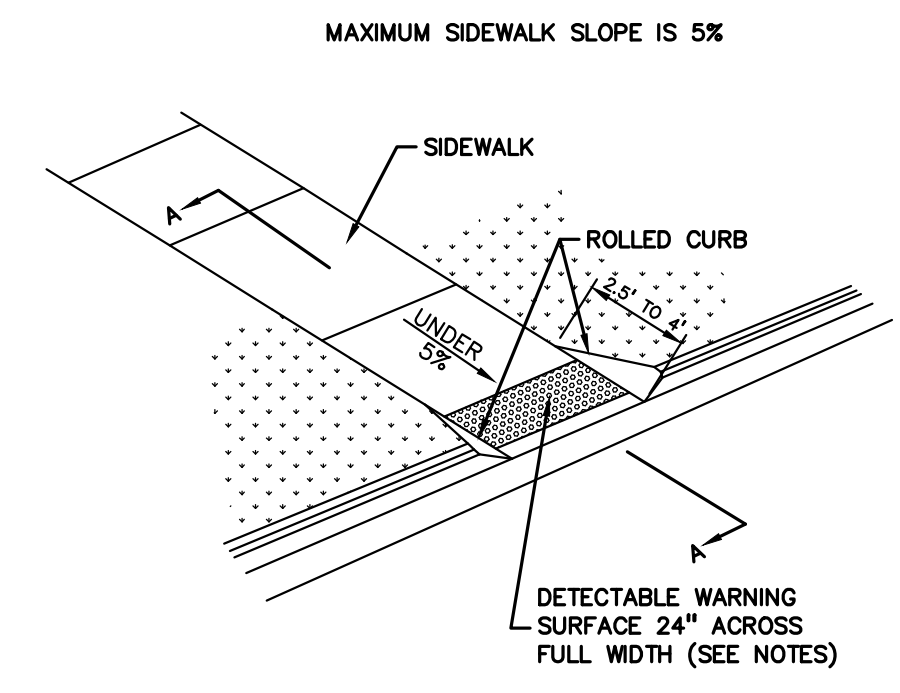
ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
NOTES AND DETAILS

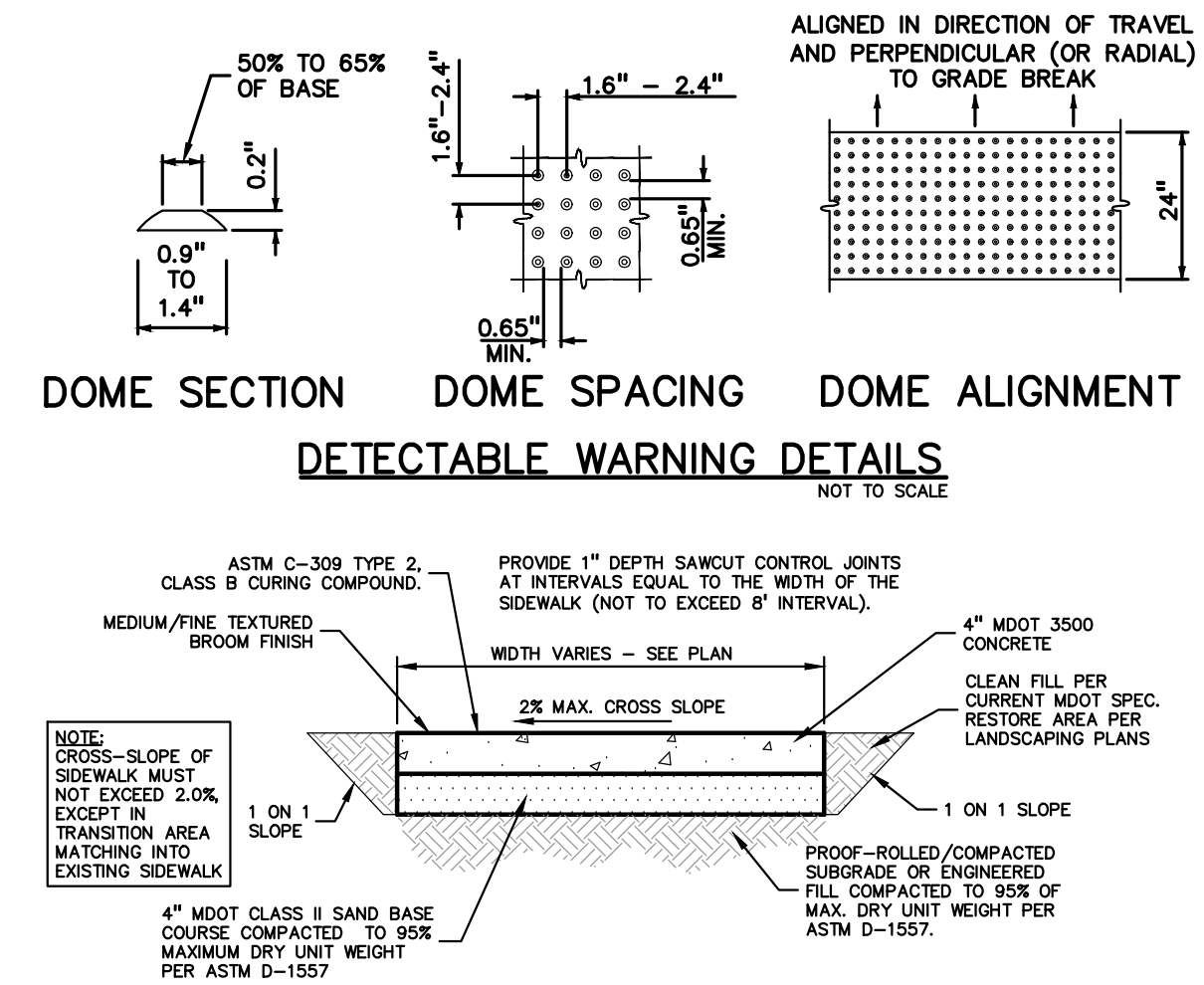
PEA JOB NO.	25-1486
P.M.	ESB
DN.	CNR
DES.	JRW

DRAWING NUMBER:

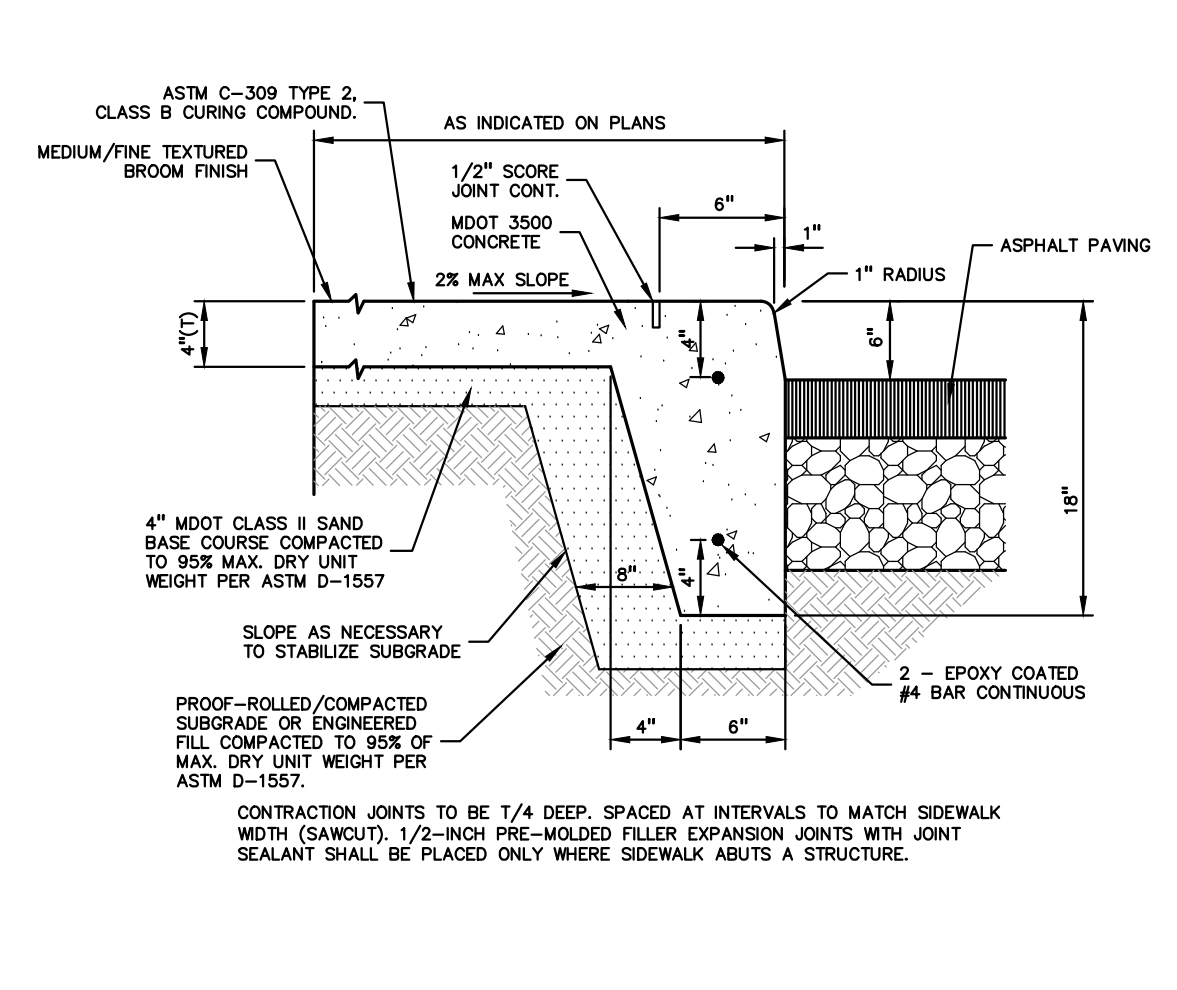
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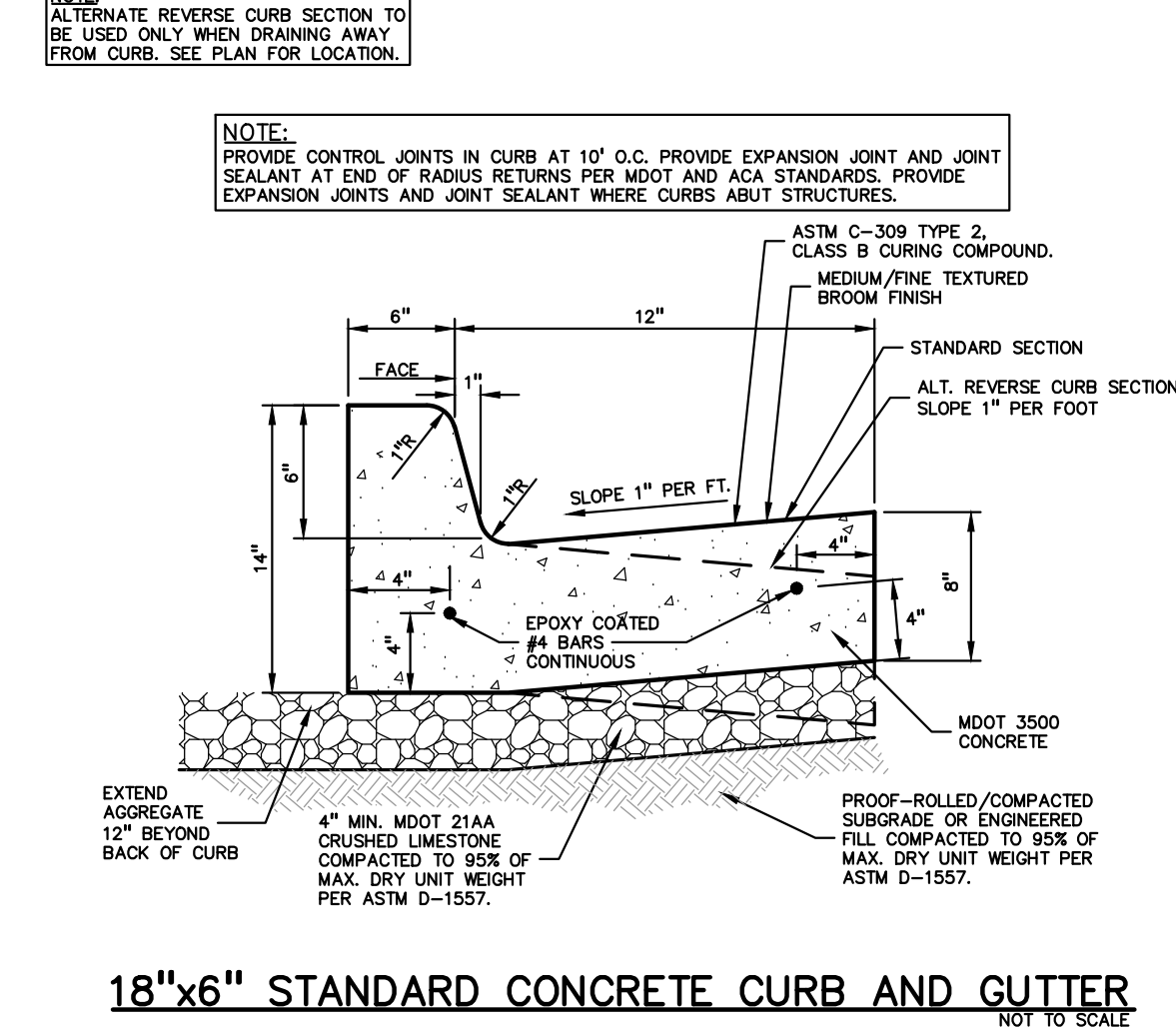
CURB RAMP TYPE X
(CURB CUT)
NOT TO SCALE



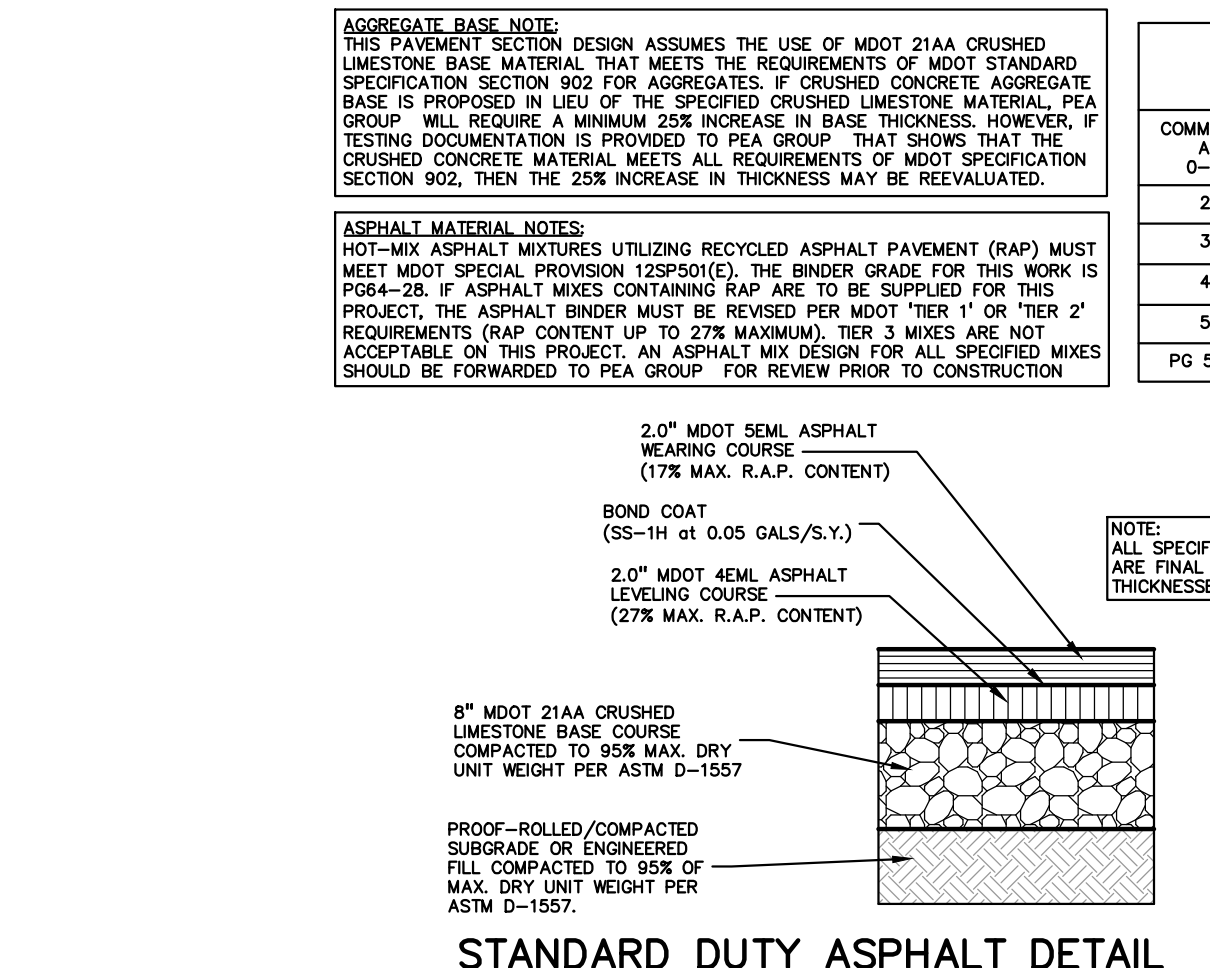
CONCRETE SIDEWALK
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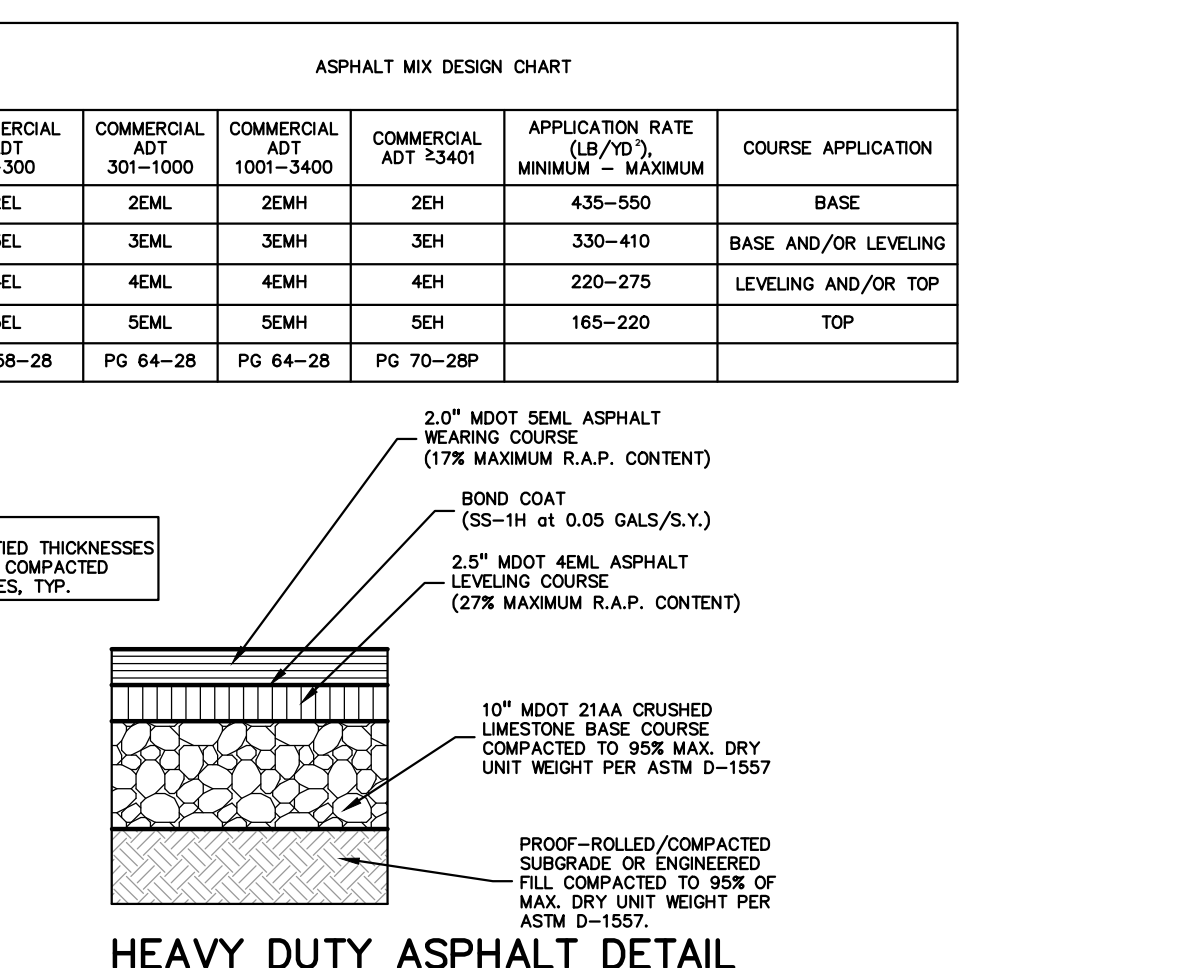
INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



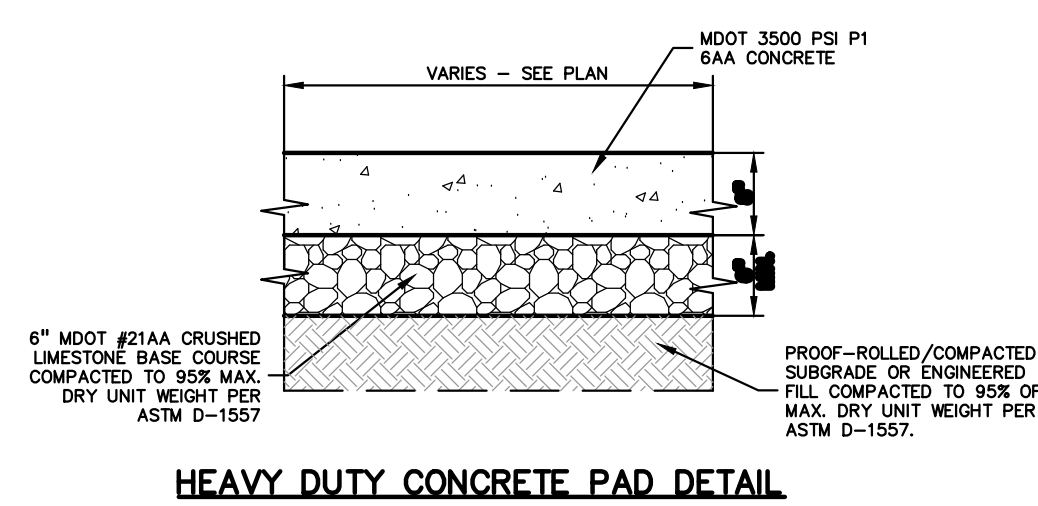
18"x6" STANDARD CONCRETE CURB AND GUTTER
NOT TO SCALE



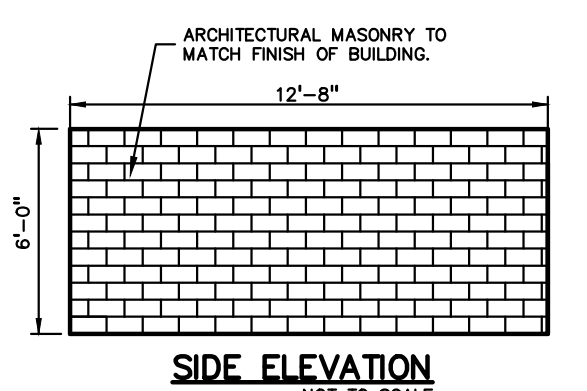
STANDARD DUTY ASPHALT DETAIL
(NOT FOR USE IN THE RIGHT-OF-WAY)
NOT TO SCALE



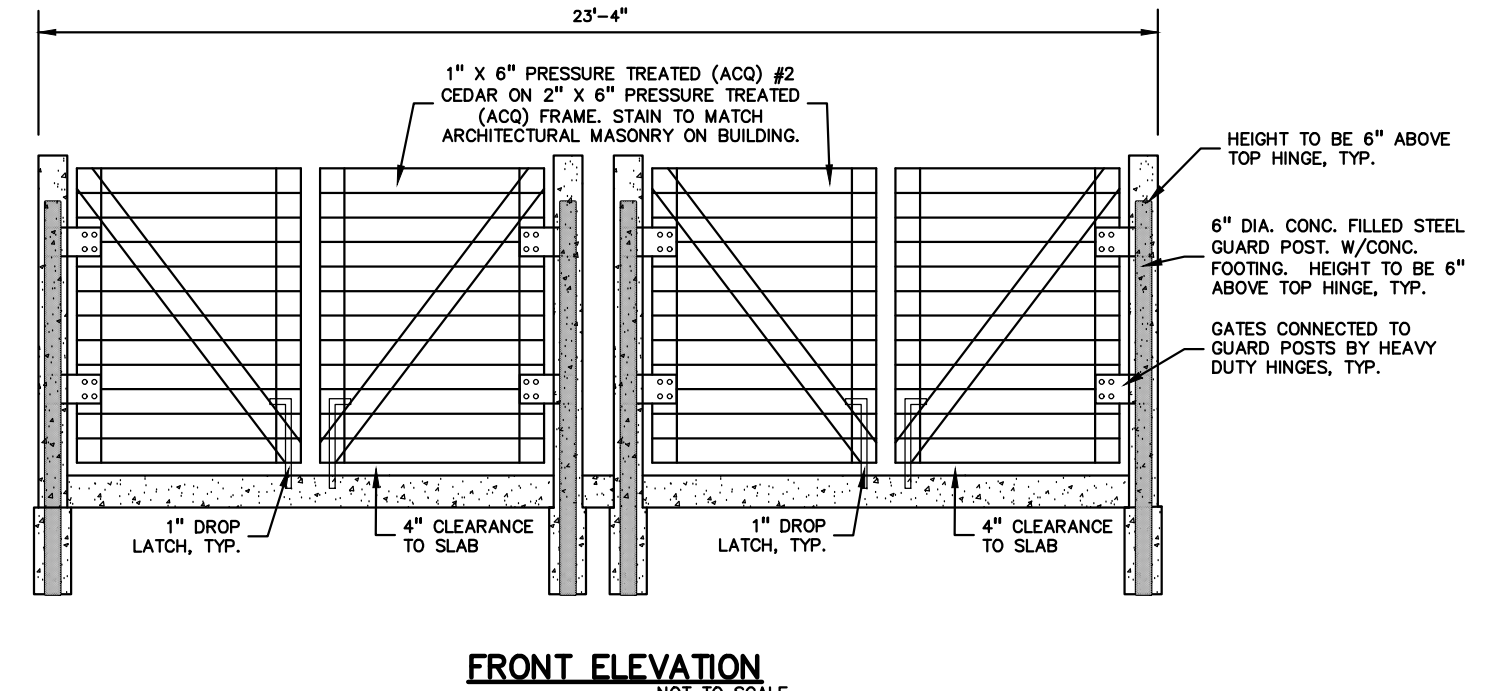
HEAVY DUTY ASPHALT DETAIL
(NOT FOR USE IN THE RIGHT-OF-WAY)
NOT TO SCALE



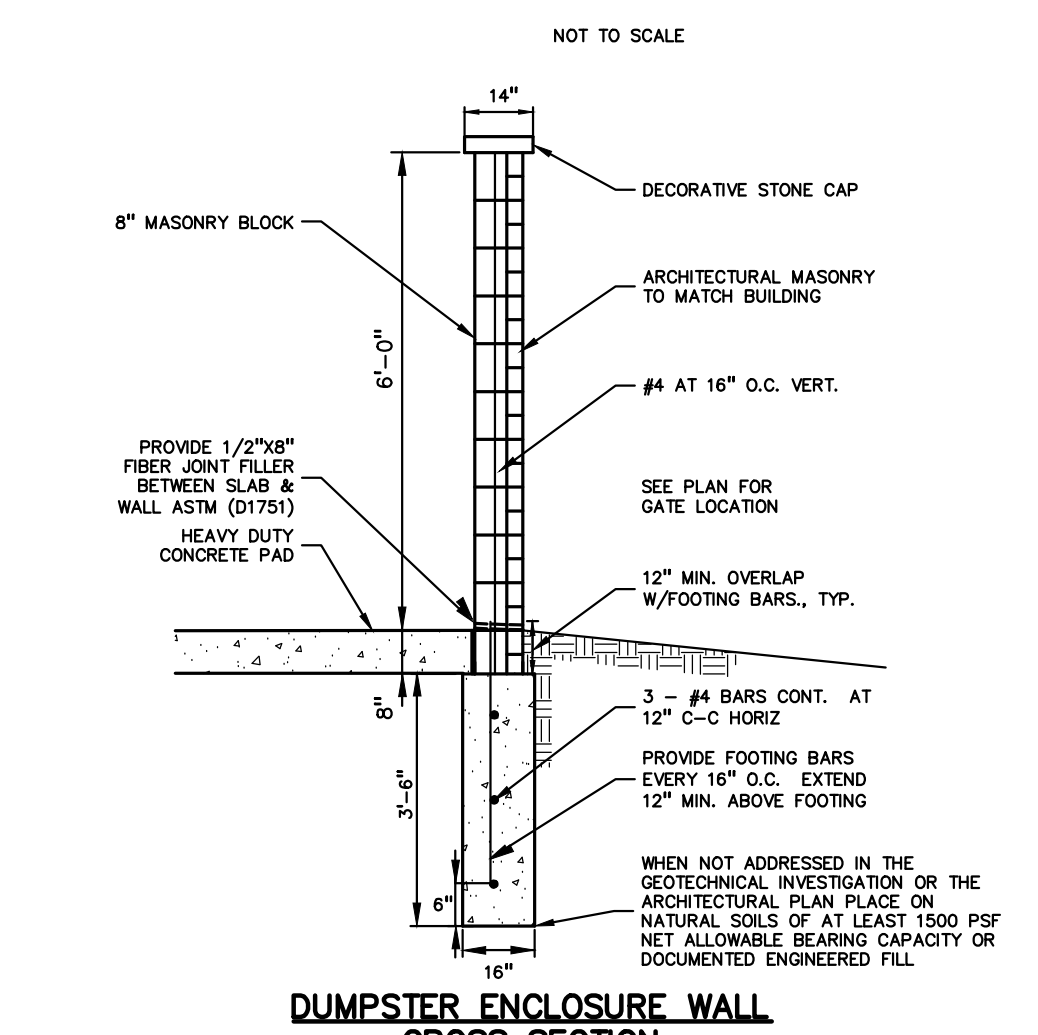
HEAVY DUTY CONCRETE PAD DETAIL
NOT TO SCALE



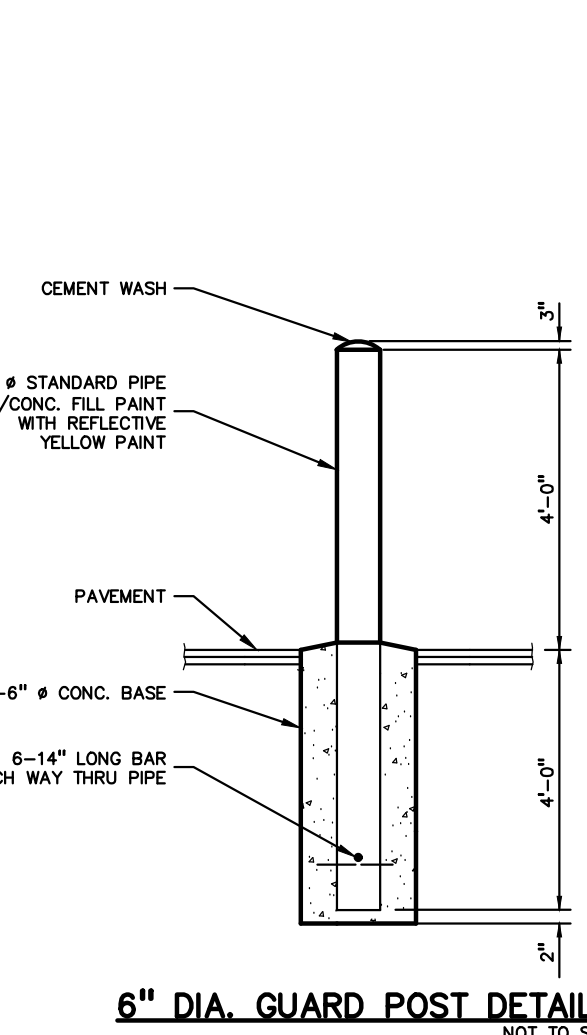
SIDE ELEVATION
NOT TO SCALE



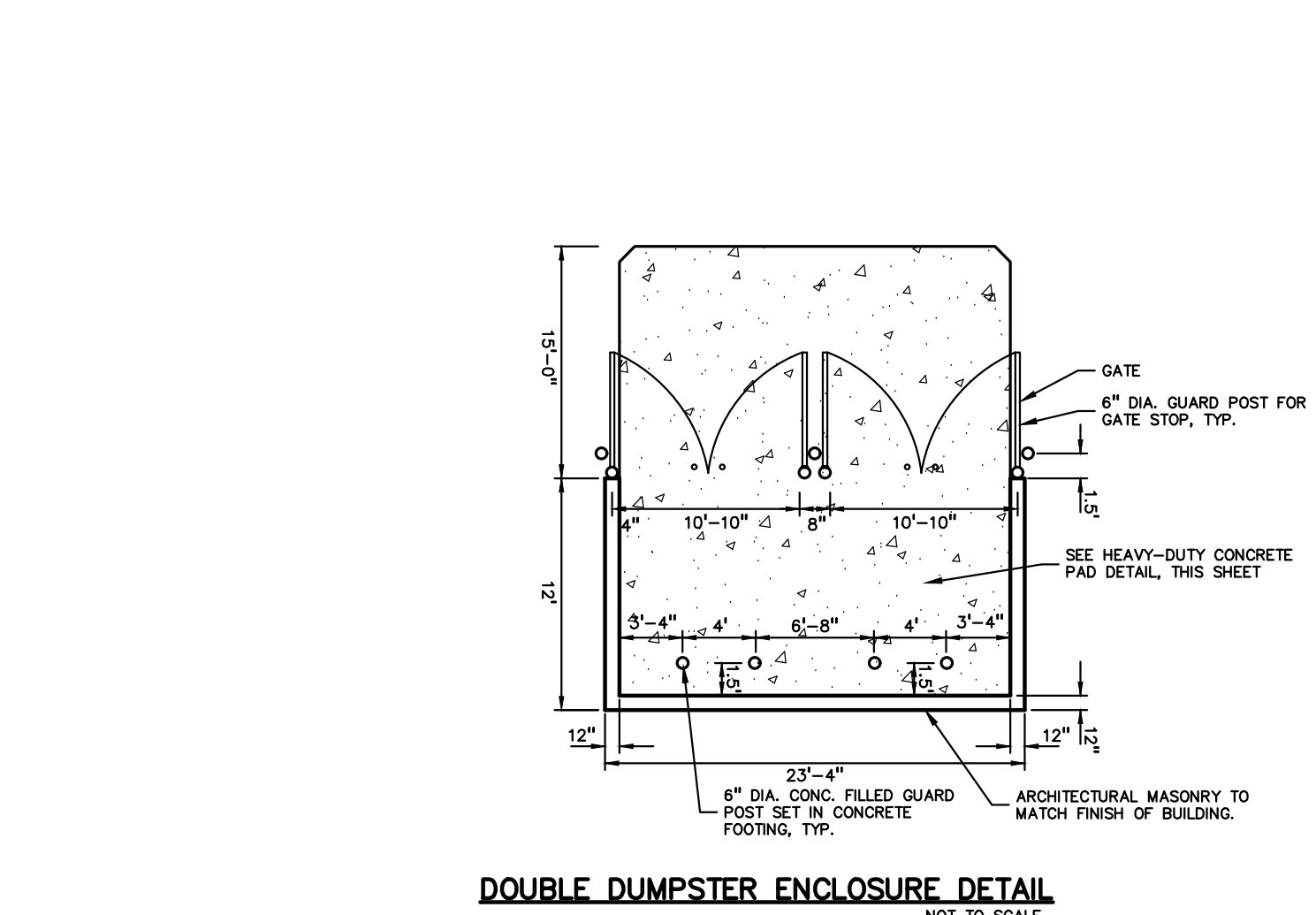
FRONT ELEVATION
NOT TO SCALE



DUMPSTER ENCLOSURE WALL CROSS SECTION
NOT TO SCALE



6" DIA. GUARD POST DETAIL
NOT TO SCALE



DOUBLE DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE

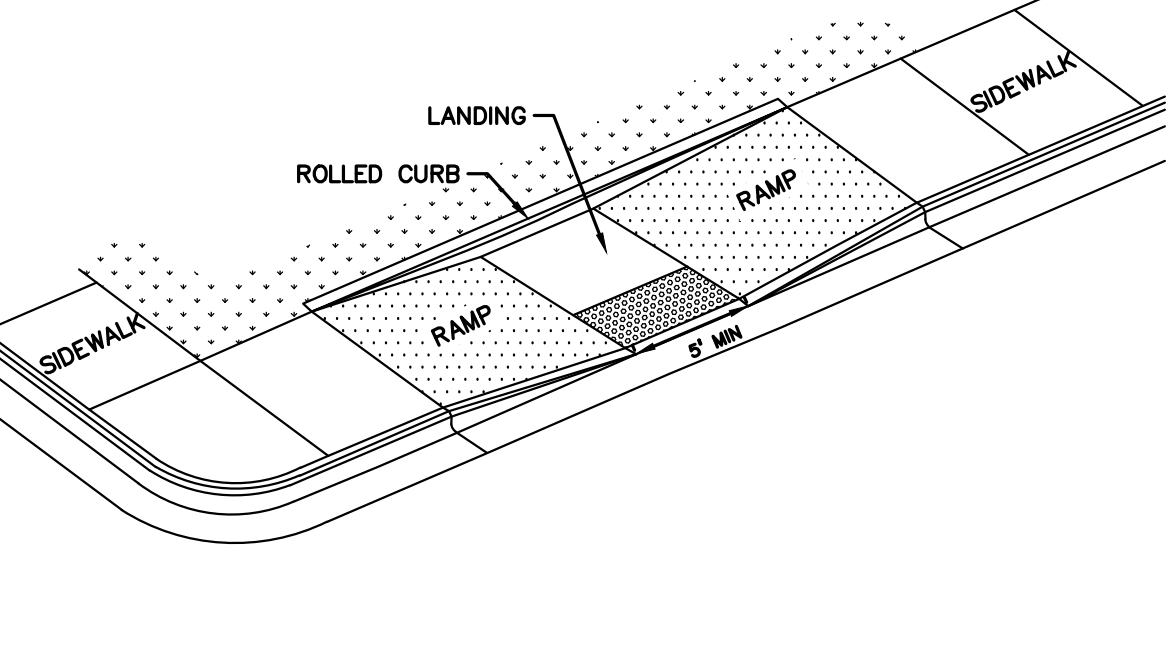
RAMP NOTES:

- SURFACE TEXTURE OF THE RAMP SHALL BE THAT OBTAINED BY A COARSE BROOMING, TRANSVERSE TO THE RUNNING SLOPE.
- SIDEWALK SHALL BE RAMPED WHERE THE DRIVEWAY CURB IS EXTENDED ACROSS THE WALK.
- CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE ON THE RAMP. WHERE CONDITIONS PERMIT, IT IS DESIRABLE THAT THE SLOPE OF THE RAMP BE IN ONLY ONE DIRECTION, PARALLEL TO THE DIRECTION OF TRAVEL.
- RAMP WIDTH SHALL BE INCREASED, IF NECESSARY, TO ACCOMMODATE SIDEWALK SNOW REMOVAL EQUIPMENT NORMALLY USED BY THE MUNICIPALITY.
- WHEN 5' MINIMUM WIDTHS ARE NOT PRACTICABLE, RAMP WIDTH MAY BE REDUCED TO NOT LESS THAN 4' AND LANDINGS TO NOT LESS THAN 4' X 4'.
- CURB RAMPS WITH A RUNNING SLOPE LESS THAN 5% DO NOT REQUIRE A TOP LANDING, HOWEVER, ANY CONTINUOUS SIDEWALK OR PEDESTRIAN ROUTE CROSSING THROUGH OR INTERSECTING THE CURB RAMP MUST INDEPENDENTLY MAINTAIN A CROSS-SLOPE NOT GREATER THAN 2% PERPENDICULAR TO ITS OWN DIRECTION(S) OF TRAVEL.
- DETECTABLE WARNING SURFACE COVERAGE IS 24" MINIMUM IN THE DIRECTION OF RAMP/PATH TRAVEL AND THE FULL WIDTH OF THE RAMP/PATH OPENING EXCLUDING CURBED OR FLARED CURB TRANSITION AREAS. A BORDER OFFSET NOT GREATER THAN 2" MEASURED ALONG THE EDGES OF THE DETECTABLE WARNING IS ALLOWABLE. FOR RADIAL CURB THE OFFSET IS MEASURED FROM THE ENDS OF THE RADII.
- FOR NEW ROADWAY CONSTRUCTION, THE RAMP CROSS-SLOPE MAY NOT EXCEED 2.0% FOR ALTERATIONS TO EXISTING ROADWAYS, THE CROSS-SLOPE MAY BE TRANSITIONED TO MEET AN EXISTING ROADWAY GRADE. THE CROSS-SLOPE TRANSITION SHALL BE APPLIED UNIFORMLY OVER THE FULL LENGTH OF THE RAMP.
- DRAINAGE STRUCTURES SHOULD NOT BE PLACED IN LINE WITH RAMPS. THE LOCATION OF THE RAMP SHOULD TAKE PRECEDENCE OVER THE LOCATION OF THE DRAINAGE STRUCTURE. WHERE EXISTING DRAINAGE STRUCTURES ARE LOCATED IN THE RAMP PATH OF TRAVEL, USE A MANUFACTURER'S ADA COMPLIANT GRATE. OPENINGS SHALL NOT BE GREATER THAN 1/2", ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.
- THE TOP OF THE JOINT FILLER FOR ALL RAMP TYPES SHALL BE FLUSH WITH THE ADJACENT CONCRETE.
- CROSSWALK AND STOP LINE MARKINGS, IF USED, SHALL BE SO LOCATED AS TO STOP TRAFFIC SHORT OF RAMP CROSSINGS. SPECIFIC DETAILS FOR MARKING APPLICATIONS ARE GIVEN IN THE "MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
- FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED ALONG THE ROADSIDE CURB LINE, SHALL BE PROVIDED WHERE AN UNOBSTRUCTED CIRCULATION PATH LATERALLY CROSSES THE CURB RAMP. FLARED SIDES ARE NOT REQUIRED WHERE THE RAMP IS BORDERED BY LANDSCAPING, UNPAVED SURFACE OR PERMANENT FIXED OBJECTS, WHERE THEY ARE NOT REQUIRED, FLARED SIDES CAN BE CONSIDERED IN ORDER TO AVOID SHARP CURB RETURNS AT RAMP OPENINGS.
- DETECTABLE WARNING PLATES MUST BE INSTALLED USING FABRICATED OR FIELD CUT UNITS CAST AND/OR ANCHORED IN THE PAVEMENT TO RESIST SHIFTING OR HEAVING.

GENERAL ADA ACCESSIBILITY NOTES:

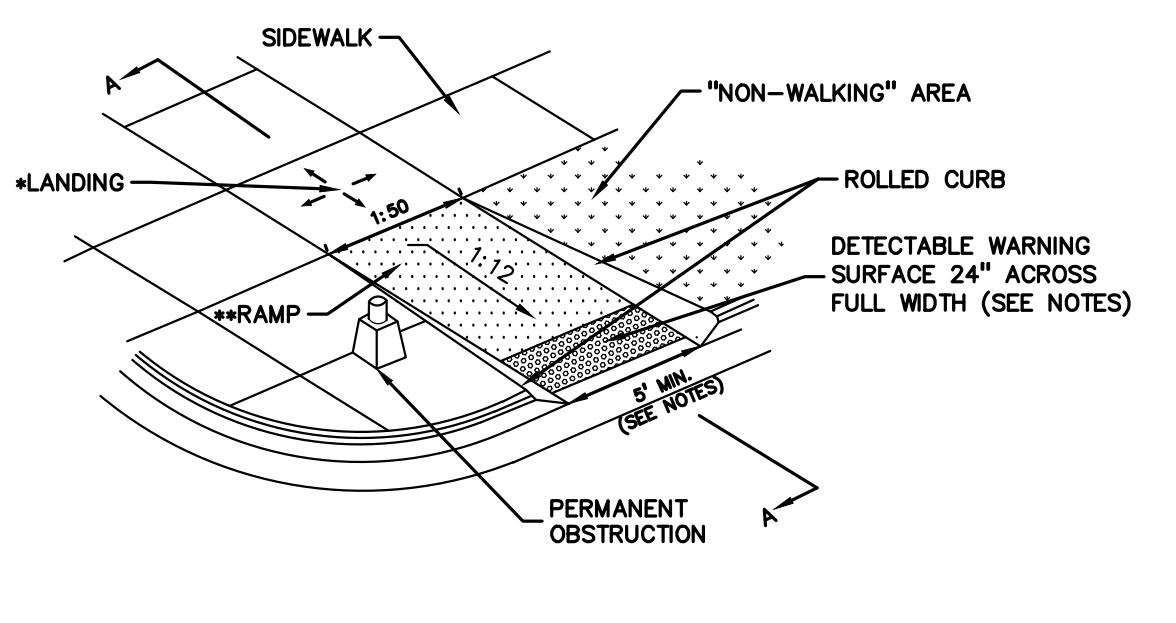
- THE FOLLOWING NOTES PROVIDE AN OUTLINE OF SOME OF THE REQUIREMENTS CONTAINED WITHIN THE "STANDARDS FOR ACCESSIBLE DESIGN - AMERICANS WITH DISABILITIES ACT 2010", AND "ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES", ICC/ANSI A117.1-2009. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE REQUIREMENTS PRESENTED WITHIN THESE DOCUMENTS, WHICH ARE AVAILABLE IN FULL UPON REQUEST.
- AN ACCESSIBLE ROUTE CONSISTS OF WALK SURFACES, CURB RAMPS AND RAMPS. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES, ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS AND SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE BUILDING OR FACILITY ENTRANCE THEY SERVE.
 - THE RUNNING SLOPE OF ALL WALKING SURFACES SHALL NOT EXCEED 5% (1:20) AND THE CROSS-SLOPE SHALL NOT EXCEED 2% (1:48).
 - WALKING SURFACES MUST BE LEVEL WITH PERMITTED VERTICAL CHANGES IN LEVEL NOT TO EXCEED 1/4" OR BEVELED CHANGES IN LEVEL NOT TO EXCEED 1/2". REFER TO DETAIL DET-8 THIS SHEET. ANY CHANGE IN LEVEL GREATER THAN 1/2" MUST BE RAMPED.
 - TURNING SPACES ALONG ACCESSIBLE ROUTES MUST BE AT LEAST 5 FEET WIDE IN ALL DIRECTIONS AND NOT EXCEED 2% SLOPE (1:48) IN ANY DIRECTION.
 - ACCESSIBLE ROUTES WILL BE DESIGNED TO BE A MINIMUM OF 5 FEET WIDE. THE MINIMUM CLEAR WIDTH IS 3 FEET.
 - RAMPS ALONG ACCESSIBLE ROUTES WILL HAVE A RUNNING SLOPE GREATER THAN 5% (1:20) AND LESS THAN 8.3% (1:12).
 - THE CROSS-SLOPE OF RAMP RUNS SHALL NOT EXCEED 2% (1:48).
 - THE MINIMUM CLEAR WIDTH OF ANY RAMP IS 36 INCHES.
 - THE MAXIMUM RISE FOR ANY RAMP (NOT INCLUDING CURB RAMPS) SHALL NOT EXCEED 30 INCHES. LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF EACH RAMP. LANDINGS SHALL HAVE A CROSS-SLOPE NOT EXCEEDING 2% (1:48), SHALL BE 5 FEET LONG AND AT LEAST AS WIDE AS THE RAMP CLEAR WIDTH. IF THERE IS A CHANGE OF DIRECTION AT A LANDING, THEN THE LANDING MUST BE AT LEAST 5 FEET WIDE AND 5 FEET LONG.
 - HANDRAILS ARE REQUIRED FOR ANY RAMP (NOT INCLUDING CURB RAMPS) WITH A RISE GREATER THAN 6 INCHES. ALL HANDRAILS ARE REQUIRED TO HAVE EDGE PROTECTION UNLESS ADJOINING ANOTHER ACCESS POINT OR IF THE VERTICAL DROP-OFF AT THE EDGE OF THE RAMP DOES NOT EXCEED 1/2" IN 10 FEET. EDGE PROTECTION CAN BE PROVIDED BY MEANS OF A 4" MIN. CURB OR BARRIER.
 - CURB RAMPS ALONG ACCESSIBLE ROUTES SHALL NOT BE STEEPER THAN 8.3% (1:12). APPROACHING SLOPES TO THE RAMP CANNOT EXCEED 5%, WHICH INCLUDES SIDEWALKS, PAVEMENT, GUTTERS ETC.
 - IF CURB RAMP SIDES ARE FLARED, THE FLARES SHALL NOT BE STEEPER THAN 10% (1:10).
 - LANDINGS ARE REQUIRED AT THE TOP OF ALL CURB RAMPS. THE CLEAR LENGTH OF THE LANDING SHALL BE A MINIMUM OF 36" AND WILL BE AS WIDE AS THE CURB RAMP.
 - CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
 - HANDRAILS ARE NOT REQUIRED ON CURB RAMPS.
 - WHERE DETECTABLE WARNING IS REQUIRED AT CURB RAMPS, THE DETECTABLE WARNING SHALL BE 24" MINIMUM IN DEPTH AND SHALL EXTEND THE FULL WIDTH OF THE RAMP. THE DETECTABLE WARNING SHALL BE LOCATED SO THE EDGE NEAREST IN THE CURB IS 6 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE CURB LINE.
 - ACCESSIBLE PARKING SPACES ON SITE SHALL BE PROVIDED AS REQUIRED IN SECTION 502 OF THE ADA IF THE SITE HAS MORE THAN ONE PARKING FACILITY. EACH FACILITY IS REQUIRED TO MEET THESE REQUIREMENTS SEPARATELY. THE REQUIRED NUMBER OF SPACES SHALL BE BASED ON THE TOTAL NUMBER OF PARKING SPACES IN EACH PARKING FACILITY ON SITE.
 - FOR EVERY SIX OR FRACTION OF SIX ACCESSIBLE PARKING SPACES, ONE VAN ACCESSIBLE SPACE SHALL BE PROVIDED.
 - ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO A BUILDING ENTRANCE. IF THERE IS MORE THAN ONE ACCESSIBLE ENTRANCE, PARKING SHALL BE DISPERSED ALONG THE SHORTEST ACCESSIBLE ROUTE TO THE ACCESSIBLE ENTRANCES.
 - ADA ACCESSIBLE CAR PARKING SPACES SHALL BE A MINIMUM OF 8 FEET WIDE WITH AN ACCESS AISLE 5 FEET WIDE MINIMUM. VAN ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 11 FEET WIDE WITH A 5' WIDE ACCESS AISLE. VAN ACCESSIBLE SPACES ARE ALSO ACCEPTABLE WITH AN 8 FOOT WIDTH AND 8 FOOT WIDE ACCESS AISLE. THE ACCESS AISLE IN ALL CASES MUST EXTEND THE FULL LENGTH OF THE PARKING SPACE.
 - SURFACE SLOPES WITHIN THE PARKING SPACES AND AISLES SHALL NOT EXCEED 2% (1:48).
 - ACCESSIBLE AREAS INCLUDING PARKING SPACES, AISLES AND PATHWAYS, REQUIRE A MINIMUM VERTICAL CLEARANCE OF 98 INCHES.
 - ACCESSIBLE PARKING SPACES ARE REQUIRED TO BE IDENTIFIED BY SIGNS. THE SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN PARKING SPACES ARE REQUIRED TO BE DESIGNATED AS "VAN ACCESSIBLE". REFER TO DETAILS ON THIS SHEET.

- MAXIMUM LANDING SLOPE IS 1:48 (2.08%) IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' X 5'. SEE NOTES.
- MAXIMUM RAMP CROSSING SLOPE IS 1:48 (2.08%), RUNNING SLOPE 5% - 7% (8.33% MAXIMUM). SEE NOTES.

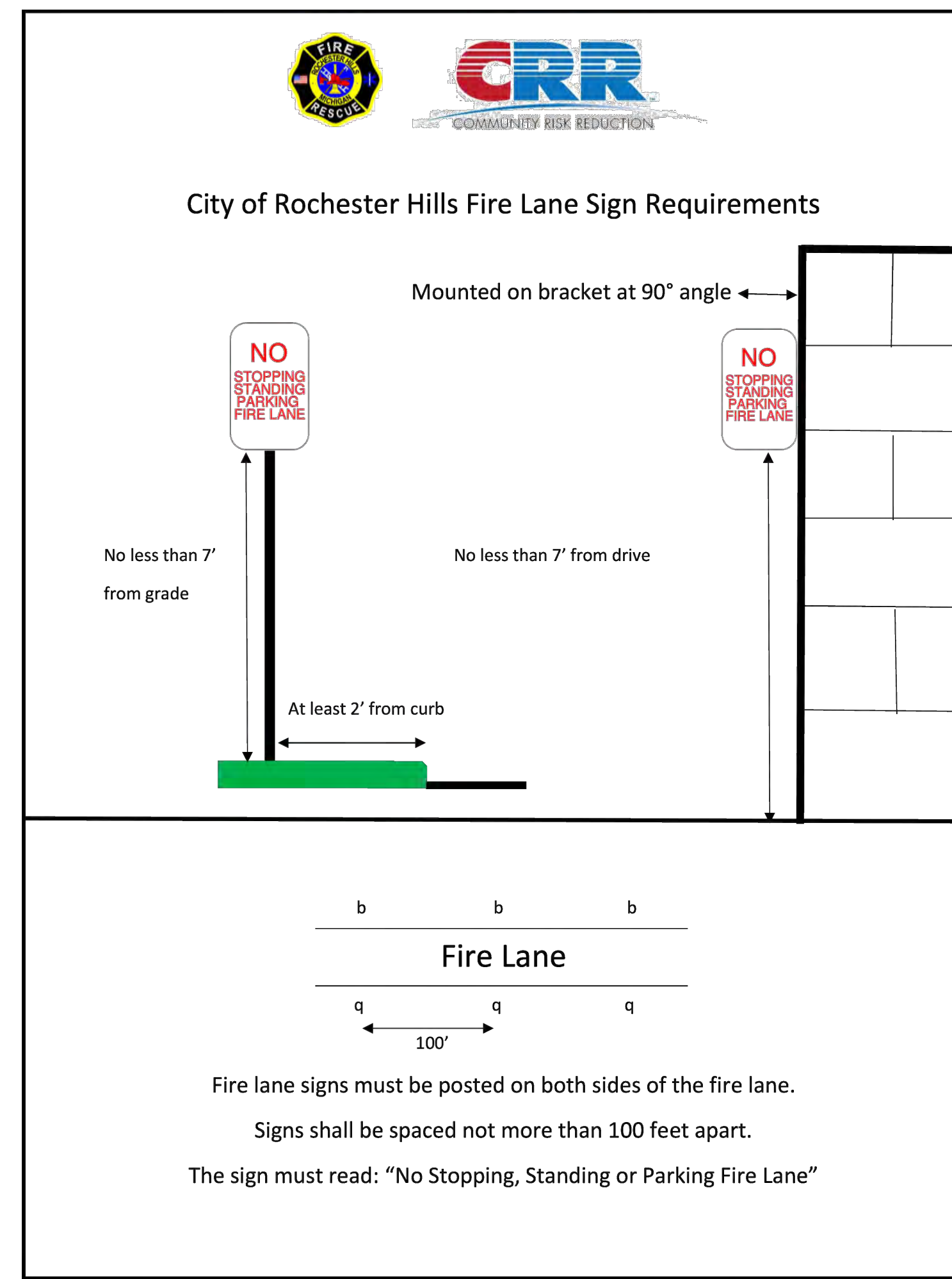
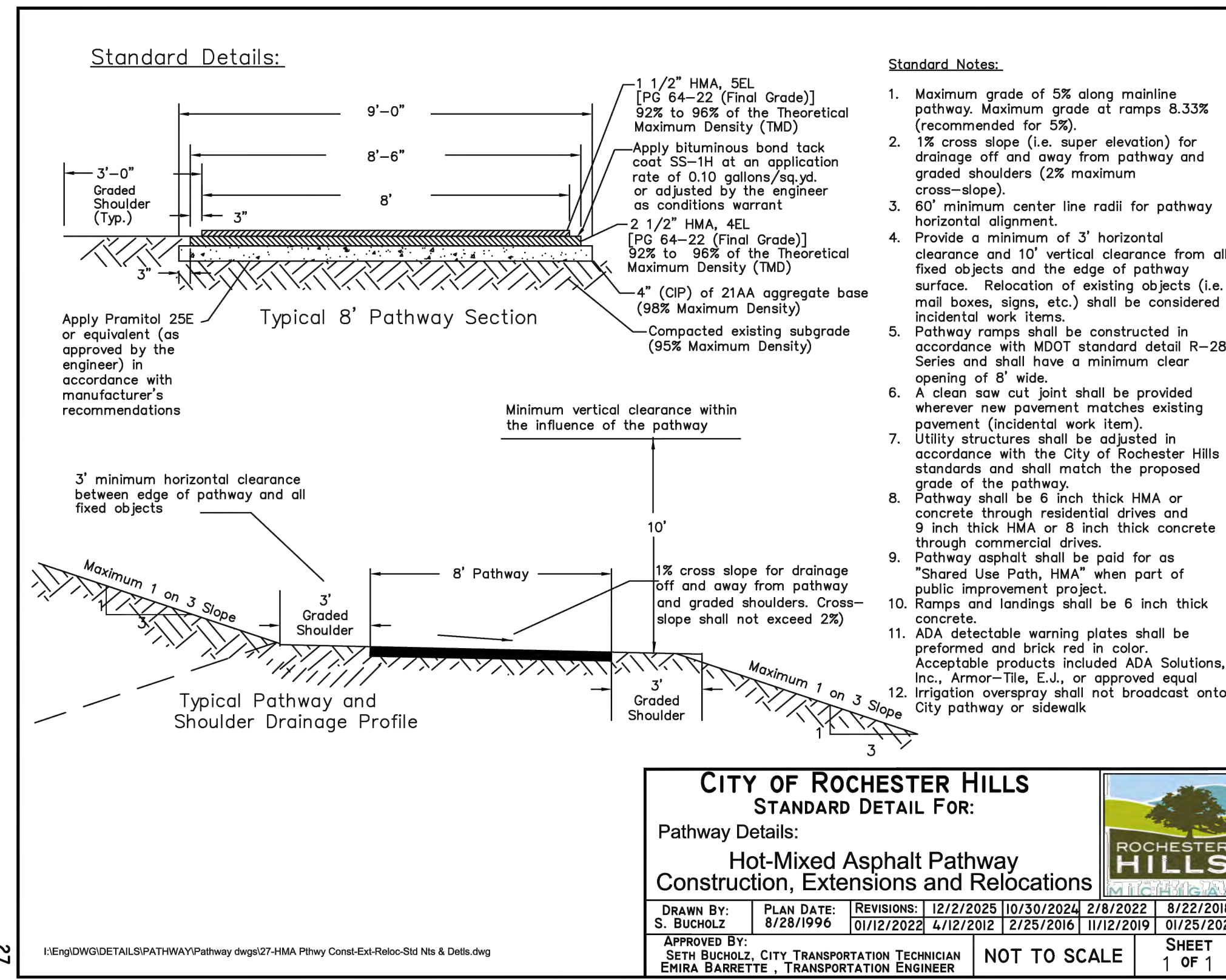


CURB RAMP TYPE P1
(PARALLEL RAMP)
DO NOT USE IN AREAS WHERE PONDING MAY OCCUR
NOT TO SCALE

- MAXIMUM LANDING SLOPE IS 1:48 (2.08%) IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' X 5'. SEE NOTES.
- MAXIMUM RAMP CROSSING SLOPE IS 1:48 (2.08%), RUNNING SLOPE 5% - 7% (8.33% MAXIMUM). SEE NOTES.

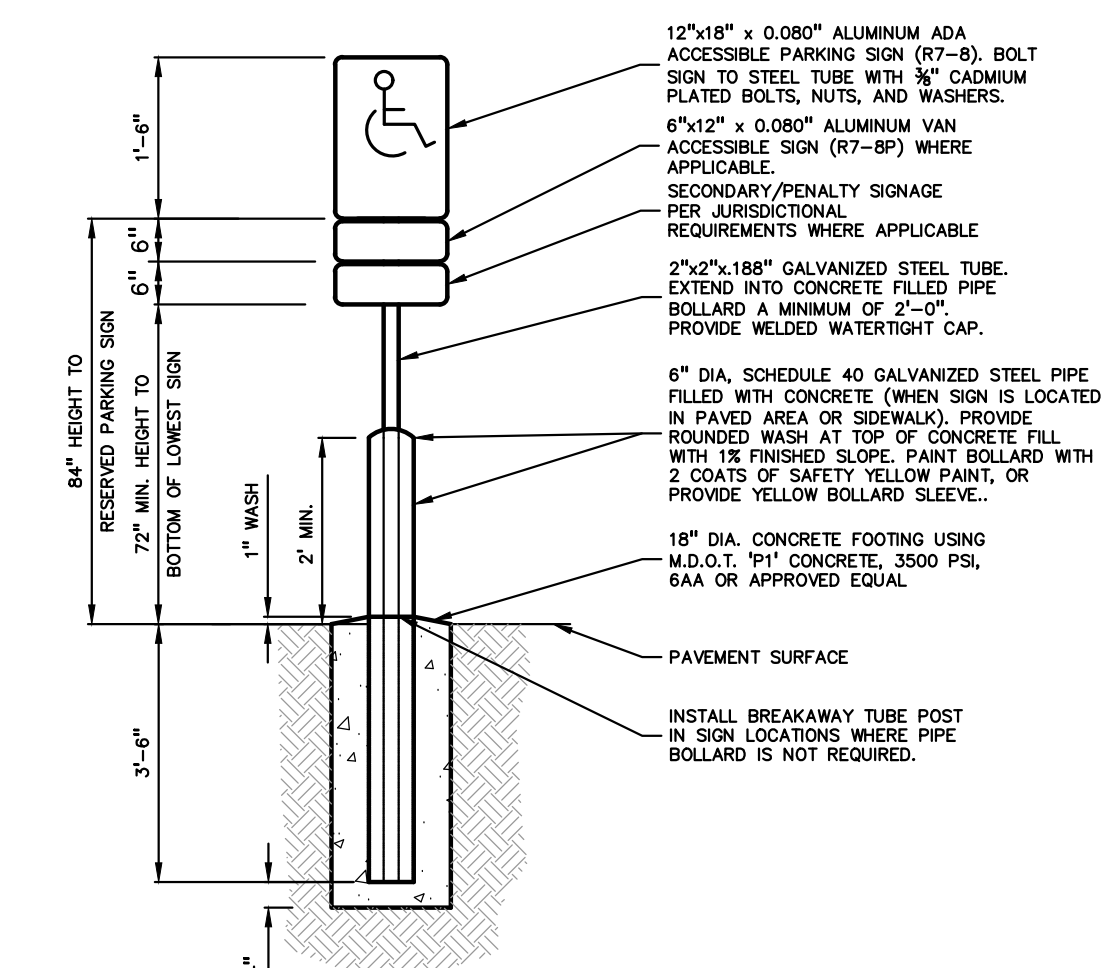


CURB RAMP TYPE R
(ROLLED SIDES)
NOT TO SCALE



ADA ACCESSIBLE SIGN NOTES:

- ONE SIGN IS REQUIRED AT EACH ADA ACCESSIBLE PARKING SPACE.
- ALL SIGNS SHALL COMPLY WITH THE LATEST STANDARDS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
- WHEN TWO ADA ACCESSIBLE PARKING SPACES ARE ADJACENT AND FACING EACH OTHER, TWO SIGNS ARE REQUIRED, BUT CAN BE MOUNTED ON THE SAME POST.
- SIGN POSTS SHALL BE 2" NOM. SQUARE 14-GAUGE GALVANIZED STEEL TUBE WITH 7/16" HOLES AT 1" CENTERS. POSTS SHALL TELESCOPE INSIDE ANCHOR POSTS A MINIMUM OF 12".
- ANCHOR POSTS SHALL BE 2.25" NOM. SQUARE 12-GAUGE GALVANIZED STEEL POST, A MINIMUM OF 3 FEET LONG.
- IF THESE NOTES AND DETAILS CONFLICT WITH LOCAL CODES AND ORDINANCES, THE STRICTER REQUIREMENT SHOULD BE USED.
- ALTERNATE MATERIALS MAY BE USED IF IN COMPLIANCE WITH ADA GUIDELINES AND LOCAL REQUIREMENTS.



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 LICENSE NO. 6201058445
 PROFESSIONAL ENGINEER

811 Know what's below. Call before you dig.

CAUTION!!
 THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATION AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3881 S ADAMS RD
 ROCHESTER HILLS, MI

REVISIONS

SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

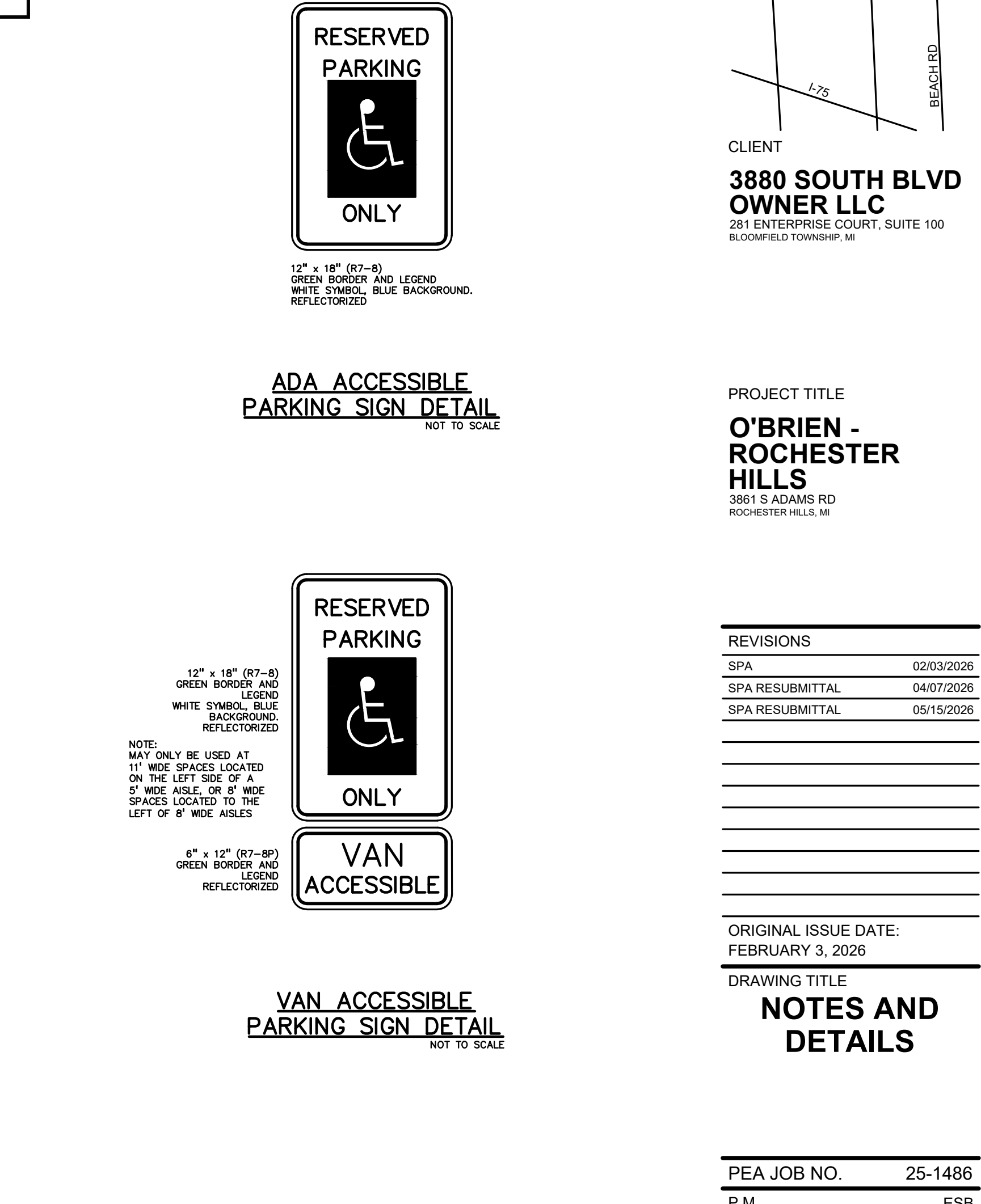
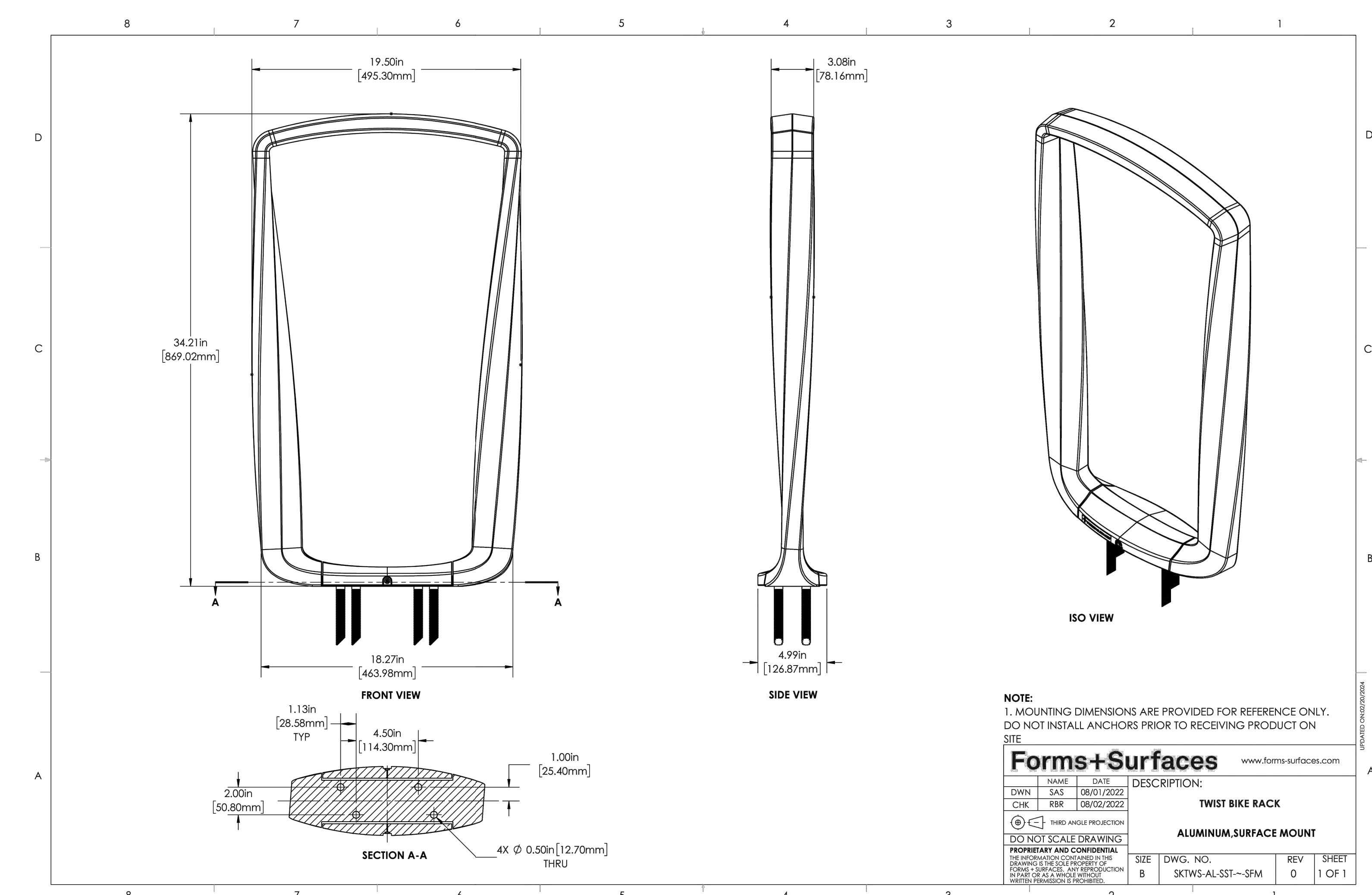
ORIGINAL ISSUE DATE:
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DRAWING TITLE
NOTES AND DETAILS

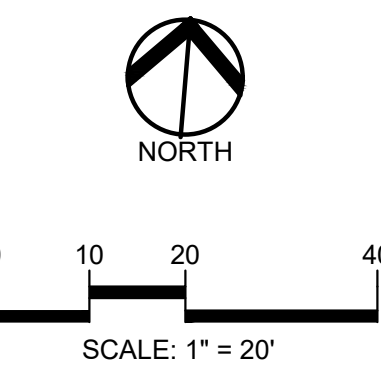
PEA JOB NO. 25-1486

P.M. ESB
 DN. CNR
 DES. JRW

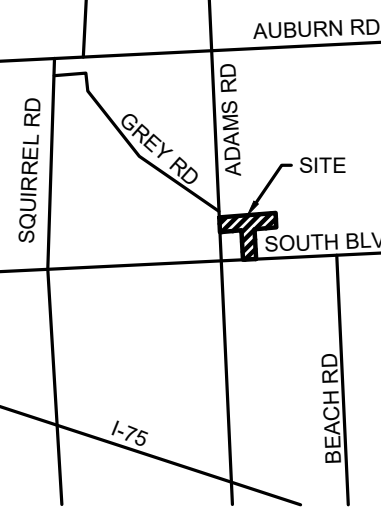
DRAWING NUMBER:
C-9.1



S:\PROJECTS\2025\25-1486-COMMUNAL-ROCHESTER-HILLS\DWG\25-1486-01-01-DETAIL-C-9.1-01.DWG PLOT DATE: 5/19/2026 BPE:Emi S. Bune II



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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3881 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
NOTES AND DETAILS

PEA JOB NO.	25-1486
P.M.	ESB
DN	CNR
DES.	JRW
DRAWING NUMBER:	

MAXIMUM LANDING SLOPE IS 2.1% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

MAXIMUM RAMP CROSS SLOPE IS 2.1%. RUNNING SLOPE 5% - 7% (0.3% MAXIMUM). SEE NOTES.

CURB RAMP TYPE R (PARALLEL RAMP)

CURB RAMP TYPE F (FLARED SIDES, TWO RAMPS SHOWN)

APPROVED BY: [Signature]
DIRECTOR, BUREAU OF PUBLIC SAFETY

APPROVED BY: [Signature]
DIRECTOR, BUREAU OF DEVELOPMENT

MDOT
Michigan Department of Transportation

STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS
R-28-K
SHEET 1 OF 7

MAXIMUM LANDING SLOPE IS 2.1% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

MAXIMUM RAMP CROSS SLOPE IS 2.1%. RUNNING SLOPE 5% - 7% (0.3% MAXIMUM). SEE NOTES.

CURB RAMP TYPE RF (ROLLED / FLARED SIDES)

SECTION A-A

CURB TYPE	MAXIMUM RISE (INCHES)	A	B
B1	1/2	1	1
B2	3/4	1	1
B3	1	1	1
D1	1/2	1	1
D2	3/4	1	1
D3	1	1	1
C1	1/2	1/2	1/2
C2	3/4	1/2	1/2
C3	1	1/2	1/2
C4	1/2	1/2	1/2
C5	1	1/2	1/2
F1	1/2	1	1
F2	3/4	1	1
F3	1	1	1
F4	1/2	1	1
F5	1	1	1
F6	1	1	1

FOR CURB TYPES SEE STANDARD PLAN R-33-SERIES

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STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS
R-28-K
SHEET 2 OF 7

MAXIMUM LANDING SLOPE IS 2.1% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

MAXIMUM RAMP CROSS SLOPE IS 2.1%. RUNNING SLOPE 5% - 7% (0.3% MAXIMUM). SEE NOTES.

CURB RAMP TYPE P (PARALLEL RAMP)
DO NOT USE IN AREAS WHERE PONDING MAY OCCUR

CURB RAMP TYPE C (COMBINATION RAMP)

CURB RAMP TYPE M (MEDIAN ISLAND)

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Michigan Department of Transportation

STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS
R-28-K
SHEET 3 OF 7

MAXIMUM LANDING SLOPE IS 2.1% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

MAXIMUM RAMP CROSS SLOPE IS 2.1%. RUNNING SLOPE 5% - 7% (0.3% MAXIMUM). SEE NOTES.

CURB RAMP TYPE D (DEPRESSED CORNER)
USE ONLY WHEN INDEPENDENT DIRECTIONAL RAMPS CAN NOT BE CONSTRUCTED FOR EACH CROSSING DIRECTION

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STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS
R-28-K
SHEET 4 OF 7

LOCATE THE DETECTABLE WARNING SURFACE SO THAT THE EDGE NEAREST THE RAIL CROSSING IS 2' MINIMUM AND 10' MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL. DO NOT PLACE DETECTABLE WARNING ON RAILROAD CROSSING MATERIAL.

DETECTABLE WARNING AT RAILROAD CROSSING

LOCATE THE DETECTABLE WARNING SURFACE SO THAT THE EDGE NEAREST THE SHOULDER IS 2' MINIMUM AND 10' MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL. DO NOT PLACE DETECTABLE WARNING ON RAILROAD CROSSING MATERIAL.

DETECTABLE WARNING AT FLUSH SHOULDER OR ROADWAY

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STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS
R-28-K
SHEET 5 OF 7

5.0% MAX RUNNING SLOPE BEYOND BOTTOM GRADE BREAK. SEE SECTION B-B.

WHERE EITHER END OF THE BOTTOM GRADE BREAK IS MORE THAN 5' FROM THE BACK OF CURB, LOCATE THE DETECTABLE WARNING AT THE BACK OF CURB. (DOOR ORIENTATION IS NOT SIGNIFICANT ON RADIUS)

CURB RAMP LOCATED IN RADIUS (TYPE R SHOWN) (GRADE BREAK OFFSET GREATER THAN 5')

CURB RAMP PERPENDICULAR TO RADIAL CURB (TYPE F SHOWN)

CURB RAMP PERPENDICULAR TO RADIAL CURB WHEN THE CROSOWALK AND CURB RAMP ARE NOT ALIGNED

WHERE BOTH ENDS OF THE BOTTOM GRADE BREAK ARE WITHIN 5' OF THE BACK OF CURB, LOCATE THE DETECTABLE WARNING ON THE RAMP SURFACE AT THE BOTTOM GRADE BREAK

CURB RAMP PERPENDICULAR TO TANGENT CURB (TYPE F AND TYPE RF SHOWN) (GRADE BREAK OFFSET LESS THAN 5')

CURB RAMP LOCATED IN RADIUS (TYPE R SHOWN) (GRADE BREAK OFFSET LESS THAN 5')

SECTION B-B CURB RAMP ORIENTATION

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Michigan Department of Transportation

STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS
R-28-K
SHEET 6 OF 7

50% TO 60% OF BASE

1.8" - 2.4"

ALIGN IN DIRECTION OF TRAVEL, PERPENDICULAR (OR RADIAL) TO GRADE BREAK

DETECTABLE WARNING DETAILS

LEGEND

- SLOPED SURFACE
- DETECTABLE WARNING
- "NON-WALKING" AREA
- CROSOWALK MARKING
- PREFERRED LOCATION OF DRAINAGE INLET (TYP)
- ALTERNATE LOCATION OF DRAINAGE INLET (TYP)

NOTES:

APPLY DETAILS SPECIFIED ON THIS PLAN TO ALL CONSTRUCTION, RECONSTRUCTION, OR ALTERATION OF STREETS, CURBS, OR SIDEWALKS IN THE PUBLIC RIGHT OF WAY.

LOCATE CURB RAMPS AS SPECIFIED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

PROVIDE RAMPS AT ALL CORNERS OF AN INTERSECTION WHERE THERE IS EXISTING OR PROPOSED SIDEWALK AND CURB. PROVIDE RAMPS AT MARKED AND/OR SIGNALIZED MID-BLOCK CROSSINGS.

PROVIDE SURFACE TEXTURE TO THE RAMP BY COARSE BROOMING, TRANSVERSE TO THE RUNNING SLOPE.

RAMP THE SIDEWALK WHERE THE DRIVEWAY CURB IS EXTENDED ACROSS THE WALK.

ENSURE A UNIFORM GRADE ON THE RAMP. SLOPE THE RAMP IN ONLY ONE DIRECTION, PARALLEL TO THE DIRECTION OF TRAVEL, WHERE CONDITIONS PERMIT.

INCREASE RAMP WIDTH IF NECESSARY, TO ACCOMMODATE SIDEWALK SNOW REMOVAL EQUIPMENT NORMALLY USED BY THE MUNICIPALITY.

REDUCE RAMP WIDTH TO NOT LESS THAN 4' AND LANDINGS TO NOT LESS THAN 4' x 4' WHEN 2' MINIMUM WIDTHS ARE NOT FEASIBLE.

CURB RAMPS WITH A RUNNING SLOPE < 4% DO NOT REQUIRE A TOP LANDING. HOWEVER, FOR ANY CONTINUOUS SIDEWALK OR PEDESTRIAN ROUTE CROSSING THROUGH OR INTERSECTING THE CURB RAMP, INDEPENDENTLY MAINTAIN A CROSS SLOPE NOT GREATER THAN 2.1% PERPENDICULAR TO ITS OWN DIRECTION(S) OF TRAVEL.

ENSURE DETECTABLE WARNING SURFACE COVERS A MINIMUM OF 24" IN THE DIRECTION OF RAMPWAY TRAVEL AND THE FULL WIDTH OF THE RAMPWAY OPENING, EXCLUDING CURBS OR FLARED CURB TRANSITION AREAS. IF A BORDER IS DESIRED, OFFSET THE BORDER 2" MAXIMUM ALONG THE EDGES OF THE DETECTABLE WARNING. FOR RADIAL CURB, MEASURE THE OFFSET FROM THE ENDS OF THE RAMP.

DO NOT EXCEED A RAMP CROSS SLOPE OF 2.1% FOR NEW ROADWAY CONSTRUCTION. FOR ALTERATIONS TO EXISTING ROADWAYS, TRANSITION THE CROSS SLOPE TO MEET AN EXISTING ROADWAY GRADE. APPLY THE CROSS SLOPE TRANSITION UNIFORMLY OVER THE FULL LENGTH OF THE RAMP.

THE MAXIMUM RUNNING SLOPE OF 0.3% IS RELATIVE TO A FLAT (0%) REFERENCE. HOWEVER, NO RAMP OR SERIES OF RAMPS IS REQUIRED TO EXCEED 15 FEET IN LENGTH, NOT INCLUDING LANDINGS OR TRANSITIONS.

DO NOT PLACE DRAINAGE STRUCTURES IN LINE WITH RAMPS. GIVE PREFERENCE TO THE LOCATION OF THE RAMP OVER THE LOCATION OF THE DRAINAGE STRUCTURE. WHERE EXISTING DRAINAGE STRUCTURES ARE LOCATED IN THE RAMPWAY OF TRAVEL, USE A MANUFACTURED, ADA COMPLIANT GRATE. LIMIT OPENINGS TO 1/2" OR LESS. PLACE ELONGATED OPENINGS SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.

ENSURE THE TOP OF THE JOINT FILLER (FOR ALL RAMP TYPES) IS FLUSH WITH THE ADJACENT CONCRETE.

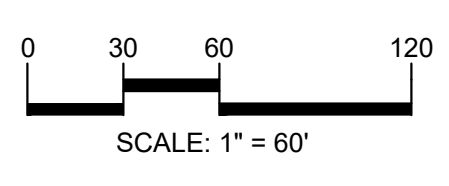
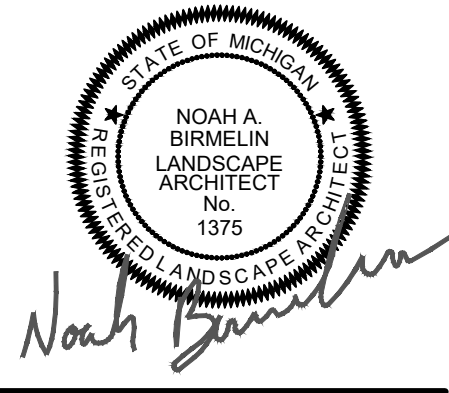
LOCATE CROSOWALK AND STOP LINE MARKINGS TO STOP TRAFFIC SHORT OF RAMP CROSSINGS. SEE THE "MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" FOR SPECIFIC DETAILS FOR MARKING APPLICATIONS.

PROVIDE FLARED SIDES WITH A MAXIMUM SLOPE OF 10%, MEASURED ALONG THE ROADSIDE CURB LINE, WHERE AN UNRESTRICTED CIRCULATION PATH LATERALLY CROSSES THE CURB RAMP. FLARED SIDES ARE NOT REQUIRED WHERE THE RAMP IS BORDERED BY LANDSCAPING, MARKED SURFACE OR PERMANENT FIXED OBJECTS WHERE NOT REQUIRED, CONSIDER FLARED SIDES IN ORDER TO AVOID SHARP CURB RETURN AT RAMP OPENINGS.

INSTALL DETECTABLE WARNING PLATES USING FABRICATED OR FIELD CUT IRON CAST AND/OR ANCHORED IN THE PAVEMENT TO RESIST SHIFTING OR HEAVING.

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Michigan Department of Transportation

STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS
R-28-K
SHEET 7 OF 7



CAUTION!!
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3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3881 S ADAMS RD
 ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

DRAWING TITLE
PRELIMINARY LANDSCAPE PLAN

PEA JOB NO.	25-1486
P.M.	ESB
DN	JRG
DES.	NAB

DRAWING NUMBER:

- KEY:**
- = INTERIOR PARKING LOT TREES
 - = REPLACEMENT TREES
 - = RIGHT-OF-WAY LANDSCAPE TREES
 - = FRONT YARD OVERLAY TREES
 - = BUFFER TREES
 - = MINOR STREET TREES
 - = STORMWATER MANAGEMENT
 - = SHRUBS
 - = LOW PROFILE PRAIRIE SEED MIX REFER TO SHEET L-2.0 FOR PLANT LIST
 - = SWALE SEED MIX REFER TO SHEET L-2.0 FOR PLANT LIST
 - = STORMWATER SEED MIX REFER TO SHEET L-2.0 FOR PLANT LIST
 - = IRRIGATED SOD LAWN
 - = IRRIGATED SEED LAWN
 - = PERENNIALS
 - = CRUSHED STONE PATHWAY
 - = MULCH PATHWAY
 - = FOUNDATION PLANTINGS TO BE DETAILED DURING CONSTRUCTION DRAWINGS
 - = EXISTING TREES TO REMAIN

LANDSCAPE CALCULATIONS:
 PER CITY OF ROCHESTER HILLS ZONING ORDINANCE

INTERIOR PARKING LOT LANDSCAPE (SECTION 138-12.301 A.)
 REQUIRED: 5% OF THE TOTAL VEHICULAR AREA, 136,425 SF = 6,822 SF/150 SF= 45 TREES
 PROVIDED: 45 TREES PROVIDED. 12,807 SF OF INTERIOR LANDSCAPE AREA.

PERIMETER PARKING LOT LANDSCAPE (SECTION 138-12.301 B.)
 REQUIRED: PERIMETER LANDSCAPING SHALL BE PROVIDED ALONG THE EDGE OF ANY PARKING LOT FACING AND LOCATED 100 FEET OF A PUBLIC RIGHT-OF-WAY
 PARKING FROM ADAMS ROAD IS 140 LF FROM THE R.O.W. AND PERIMETER PARKING IS NOT REQUIRED.
 PARKING FROM SOUTH BOULEVARD IS 660 LF FROM THE R.O.W. AND PERIMETER PARKING IS NOT REQUIRED.

REPLACEMENT TREES (SECTION 126-397)
 REQUIRED: 1,149 REQUIRED TREES SEE SHEET T-1.0 FOR REPLACEMENT CALCS.
 PROVIDED: 143, 2" DEC., ORN. AND EVG. TREES PROVIDED. REMAINING 1,006 TREES TO BE PAID INTO THE TREE FUND. 1,006 * \$454/TREE = \$456,724

RIGHT OF WAY LANDSCAPE (SECTION 138-12.304)
 REQUIRED: 1 DEC./ 35 LF, 1 ORN / 60 LF
 ADAMS: 328/ 35 = 9 DEC. 328/ 60 = 5 ORN.
 S. BOULEVARD: 100/ 35 = 3 DEC. 100/ 60 = 2 ORN.
 PROVIDED: 9 EXISTING TREES AND 5 PROPOSED ORN. TREES ALONG ADAMS AND 2 EXISTING TREES, 1 DEC., 2 ORN. TREES ALONG S BOULEVARD.

FRONT YARD IN FB OVERLAY DISTRICT (SECTION 138-8.602)
 REQUIRED:
 ARTERIAL STREET - 2 DEC., 4 ORN., 12 SHRUBS/ 100 FT.
 ADAMS: 328 LF = 7 DEC., 13 ORN., 39 SHRUBS
 MINOR STREET - 3 ORN., 8 SHRUBS/ 100 FT.
 NORTH-SOUTH 672 LF: 20 ORN. AND 54 SHRUBS
 PROVIDED:
 ADAMS: 7 DEC., 13 ORN., 44 SHRUBS
 NORTH-SOUTH: 20 ORN. AND 54 SHRUBS

BUFFER LANDSCAPE (SECTION 138-12.300)
 REQUIRED:
 BUFFER C- 2 DEC., 1.5 ORN., 4 EVG. AND 6 SHRUBS/ 100 FT.
 NORTH-1,269 FT./ 100 = 25 DEC., 19 ORN., AND GREEN WALL OF EVGS, AS AN OPAQUE SCREEN 6' HT. WITHIN 3 YEARS OF PLANTING.
 EAST: 930 FT./ 100 = 19 DEC., 14 ORN., 37 EVG. AND 56 SHRUBS
 SOUTH-1,169 LF/ 100 = 24 DEC. 18 ORN., AND A GREEN WALL OF EVGS, AS AN OPAQUE SCREEN 6' HT. WITHIN 3 YEARS OF PLANTING.
 WEST: 597 FT./ 100 = 12 DEC., 9 ORN., 24 EVG. AND 36 SHRUBS

PROVIDED:
 NORTH: 158 EXISTING TREES, AND A GREEN WALL OF 76 EVG. TREES AS AN OPAQUE SCREEN 6' HT. WITHIN 3 YEARS OF PLANTING.
 EAST: 40 EXISTING TREES, 37 EVG. AND 57 SHRUBS
 SOUTH: 33 EXISTING TREES, 9 ORN., AND A GREEN WALL OF 80 EVGS. TREES AS AN OPAQUE WALL SCREEN 6' HT. WITHIN 3 YEARS OF PLANTING
 WEST: 12 DEC., 9 ORN., 24 EVG. AND 36 SHRUBS

MINOR STREET LANDSCAPE
 REQUIRED: 1 DEC./ 35 LF.
 NORTH-SOUTH: 672 LF/ 35 = 19 TREES ON EACH SIDE.
 PROVIDED: 38 DEC. TREES

STORMWATER MANAGEMENT POND LANDSCAPING (SECTION 138-12.304)
 REQUIRED:
 TYPE A PERIMETER GREENBELT BUFFER - 1.5 DEC., 0 ORN., 1 EVG. AND 4 SHRUBS/ 100 FT.
 NORTH BASIN: 460 LF / 100 = 7 DEC., 0 ORN., 5 EVG., AND 19 SHRUBS
 SOUTH BASIN: 720 LF / 100 = 11 DEC., 0 ORN., 1 EVG., AND 29 SHRUBS
 PROVIDED:
 NORTH BASIN: 7 DEC., 0 ORN., 5 EVG., AND 19 SHRUBS
 SOUTH BASIN: 11 DEC., 0 ORN., 7 EVG., AND 29 SHRUBS

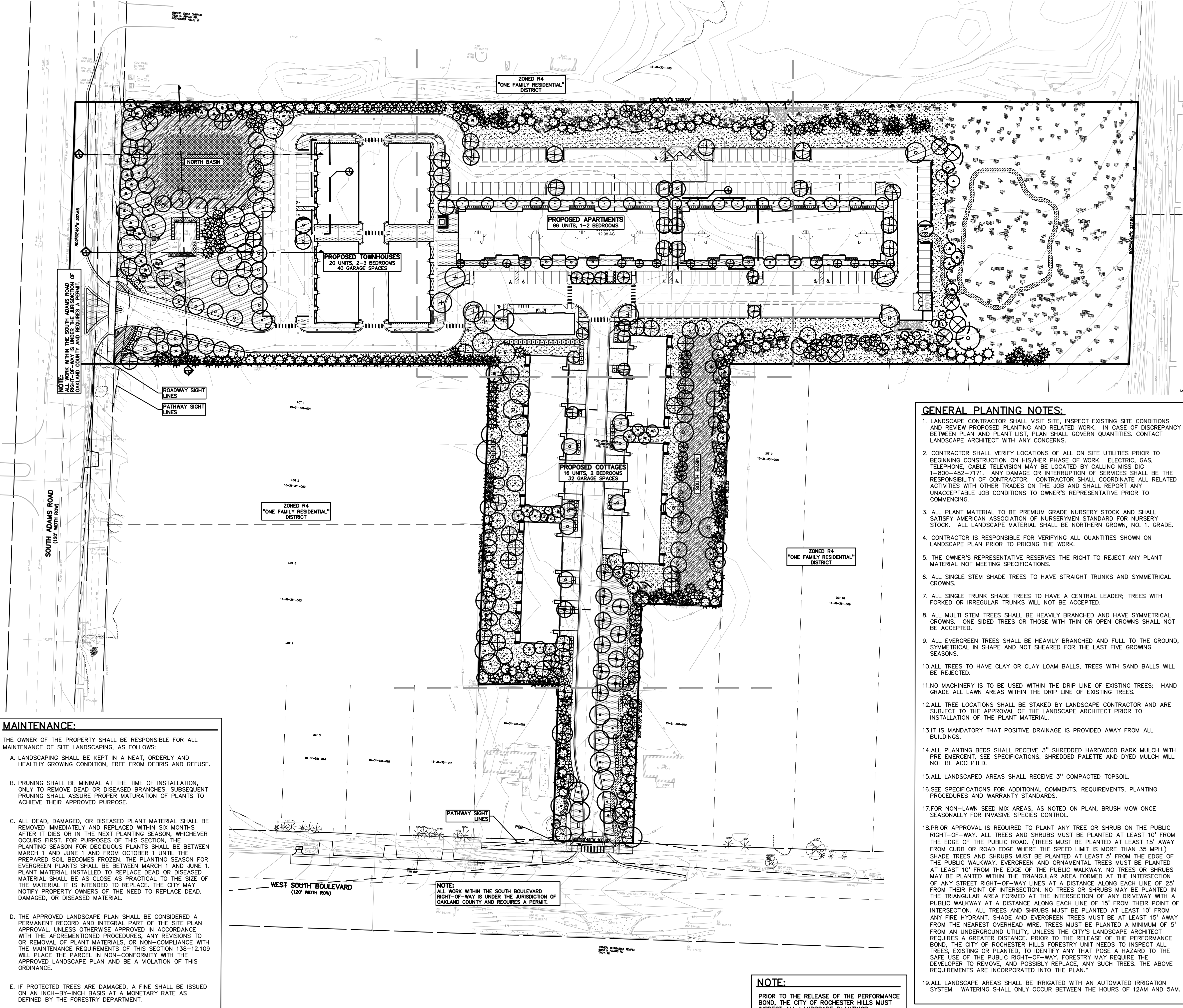
GENERAL PLANTING NOTES:

1. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
3. ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
5. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
6. ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
7. ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
8. ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
9. ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
10. ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
11. NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
12. ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
13. IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
14. ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT. SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
15. ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
16. SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
17. FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
18. PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB ON THE PUBLIC RIGHT-OF-WAY. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC ROAD. (TREES MUST BE PLANTED AT LEAST 15' AWAY FROM CURB OR ROAD EDGE WHERE THE SPEED LIMIT IS MORE THAN 35 MPH.) SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY. NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY LINES AT A DISTANCE ALONG EACH LINE OF 25' FROM THEIR POINT OF INTERSECTION. NO TREES OR SHRUBS MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC WALKWAY AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE HYDRANT. SHADE AND EVERGREEN TREES MUST BE AT LEAST 15' AWAY FROM THE NEAREST OVERHEAD WIRE. TREES MUST BE PLANTED A MINIMUM OF 5' FROM AN UNDERGROUND UTILITY, UNLESS THE CITY'S LANDSCAPE ARCHITECT REQUIRES A GREATER DISTANCE. PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS FORESTRY UNIT NEEDS TO INSPECT ALL TREES, EXISTING OR PLANTED, TO IDENTIFY ANY THAT POSE A HAZARD TO THE SAFE USE OF THE PUBLIC RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE, AND POSSIBLY REPLACE, ANY SUCH TREES. THE ABOVE REQUIREMENTS ARE INCORPORATED INTO THE PLAN.
19. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATED IRRIGATION SYSTEM. WATERING SHALL ONLY OCCUR BETWEEN THE HOURS OF 12AM AND 5AM.

NOTE:
 PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS MUST INSPECT ALL LANDSCAPE PLANTINGS.

MAINTENANCE:

- THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE LANDSCAPING, AS FOLLOWS:
- A. LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.
 - B. PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION. ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
 - C. ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SIX MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE. THE CITY MAY NOTIFY PROPERTY OWNERS OF THE NEED TO REPLACE DEAD, DAMAGED, OR DISEASED MATERIAL.
 - D. THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL. UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE FOREMENTIONED PROCEDURES, ANY REVISIONS TO OR REMOVAL OF PLANT MATERIALS, OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF THIS SECTION 138-12.109 WILL PLACE THE PARCEL IN NON-COMPLIANCE WITH THE APPROVED LANDSCAPE PLAN AND BE A VIOLATION OF THIS ORDINANCE.
 - E. IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.



S:\PROJECTS\2025\25-1486 COMMOBIAL ROCHESTER HILLS\DWG\25_SITE_PLAN\L-00_LANDSCAPE PLAN-25-1486.dwg PLOT DATE: 5/19/2026 BY: EMB S. Bunkle III

PLANT SCHEDULE L-1.1

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	DESIGNATION	REMARKS
DECIDUOUS TREES								
ARR3	7	ACER RUBRUM 'REDPOINTE'	REDPOINTE MAPLE	3" CAL.	B&B	PER PLAN	NATIVE	
AS2	2	ACER SACCHARINUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2" CAL.	B&B	PER PLAN	NATIVE	SINGLE-STEM
BN2	6	BETULA NIGRA	RIVER BIRCH	2" CAL.	B&B	PER PLAN	NATIVE	
LT3	1	LIRIODENDRON TULIPIFERA	TULIP POPLAR	3" CAL.	B&B	PER PLAN	NATIVE	
NS2	2	NYSSA SYLVATICA	TUPELO	2" CAL.	B&B	PER PLAN	NATIVE	
NS3	4	NYSSA SYLVATICA	TUPELO	3" CAL.	B&B	PER PLAN	NATIVE	
QB3	3	QUERCUS BICOLOR	SWAMP WHITE OAK	3" CAL.	B&B	PER PLAN	NATIVE	
QM2	3	QUERCUS MACROCARPA	BURR OAK	2" CAL.	B&B	PER PLAN	NATIVE	
QM3	3	QUERCUS MACROCARPA	BURR OAK	3" CAL.	B&B	PER PLAN	NATIVE	
QP3	14	QUERCUS ROBUR X BICOLOR 'LONG'	REGAL PRINCE OAK	3" CAL.	B&B	PER PLAN	NATIVE	
	45	SUBTOTAL:						
EVERGREEN TREES								
AC10	21	ABIES CONCOLOR	WHITE FIR	10' HT.	B&B	PER PLAN	NON-NATIVE	
PGD10	20	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	10' HT.	B&B	PER PLAN	NATIVE	
PS10	11	PINUS STROBUS	EASTERN WHITE PINE	10' HT.	B&B	PER PLAN	NATIVE	
TSC10	10	TSUGA CANADENSIS	EASTERN HEMLOCK	10' HT.	B&B	PER PLAN	NATIVE	
	62	SUBTOTAL:						
ORNAMENTAL TREES								
AL10	5	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	10' HT.	B&B	PER PLAN	NATIVE	MULTI-TRUNK
AL8	4	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	8' HT.	B&B	PER PLAN	NATIVE	MULTI-TRUNK
CC2	2	CERCIS CANADENSIS	EASTERN REDBUD	2" CAL.	B&B	PER PLAN	NATIVE	
CC3	4	CERCIS CANADENSIS	EASTERN REDBUD	3" CAL.	B&B	PER PLAN	NATIVE	
CC8	1	CERCIS CANADENSIS	EASTERN REDBUD	8' HT.	B&B	PER PLAN	NATIVE	MULTI-TRUNK
MP3	3	MALLUS X 'PRAIRIFIRE'	PRAIRIFIRE CRABAPPLE	3" CAL.	B&B	PER PLAN	NON-NATIVE	
MRR3	2	MALLUS X 'ROYAL RAINBOWS'	ROYAL RAINBOWS CRABAPPLE	3" CAL.	B&B	PER PLAN	NON-NATIVE	
SR3	5	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	3" CAL.	B&B	PER PLAN	NON-NATIVE	
	27	SUBTOTAL:						

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	DESIGNATION	REMARKS
SHRUBS								
CSK24	13	CORNUS STOLONIFERA 'KELSEY'	KELSEY'S DWARF RED TWIG DOGWOOD	24" HT.	B&B OR CONT.	4" O.C.	NATIVE	
FM24	7	FOTHERGILLA MAJOR 'MOUNT AIRY'	MOUNT AIRY FOTHERGILLA	24" HT.	B&B OR CONT.	36" O.C.	NATIVE	
HL30	12	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	30" HT.	B&B OR CONT.	4" O.C.	NON-NATIVE	
HL30	12	HYDRANGEA PANICULATA 'LIMELIGHT'	LIMELIGHT PANICLE HYDRANGEA	30" HT.	B&B OR CONT.	6" O.C.	NON-NATIVE	
HW24	6	ILEX VERTICILLATA 'WINTER RED'	WINTER RED WINTERBERRY	24" HT.	B&B OR CONT.	6" O.C.	NATIVE	
RPK24	4	RHUS AROMATICA 'GRO-LAW'	GRO-LAW FRAGRANT SUMAC	24" SPRD.	B&B OR CONT.	4" O.C.	NATIVE	
RPK24	6	ROSA X 'RADCON'	PINK KNOCK OUT ROSE	24" HT.	B&B OR CONT.	36" O.C.	NON-NATIVE	
TM24	19	TAXUS X MEDIA 'DENSIFORMIS'	DENSE ANGLO-JAPANESE YEW	24" HT.	B&B OR CONT.	42" O.C.	NON-NATIVE	
	79	SUBTOTAL:						
PERENNIALS								
AF	34	ATHYRIUM FILIX-FEMINA	COMMON LADY FERN	1 GAL.	POT	24" O.C.	NON-NATIVE	
NFW	42	NEPETA X FASSISSINI 'WALKER'S LOW'	WALKER'S LOW CATMINT	1 GAL.	POT	24" O.C.	NON-NATIVE	
PAB	128	PENNISSETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	1 GAL.	POT	12" O.C.	NON-NATIVE	
SS	24	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM	1 GAL.	POT	24" O.C.	NATIVE	
VC	1,417	VINCA MINOR	COMMON PERIWINKLE	1 GAL.	POT	9" O.C.	NON-NATIVE	
	1,945	SUBTOTAL:						
SOD/SEED								
TLP	5,038 SF	TURF SEED LOW-PROFILE PRAIRIE SEED MIX			SEED			
TSS	6,518 SF	TURF SEED STORMWATER SEED MIX			SEED			
TSW	4,133 SF	TURF SEED SWALE SEED MIX			SEED			
TS2	1,884 SF	TURF SOD			SOD			
	17,373 SF	SUBTOTAL:						

KEY:

- = INTERIOR PARKING LOT TREES
- = REPLACEMENT TREES
- = RIGHT-OF-WAY LANDSCAPE TREES
- = FRONT YARD OVERLAY TREES
- = BUFFER TREES
- = MINOR STREET TREES
- = STORMWATER MANAGEMENT
- = SHRUBS
- = LOW PROFILE PRAIRIE SEED MIX REFER TO SHEET L-2.0 FOR PLANT LIST
- = SWALE SEED MIX REFER TO SHEET L-2.0 FOR PLANT LIST
- = STORMWATER SEED MIX REFER TO SHEET L-2.0 FOR PLANT LIST
- = IRRIGATED SOD LAWN
- = IRRIGATED SEED LAWN
- = PERENNIALS
- = MULCH PATHWAY
- = CRUSHED STONE PATHWAY
- = FOUNDATION PLANTINGS TO BE DETAILED DURING CONSTRUCTION DRAWINGS
- = EXISTING TREES TO REMAIN

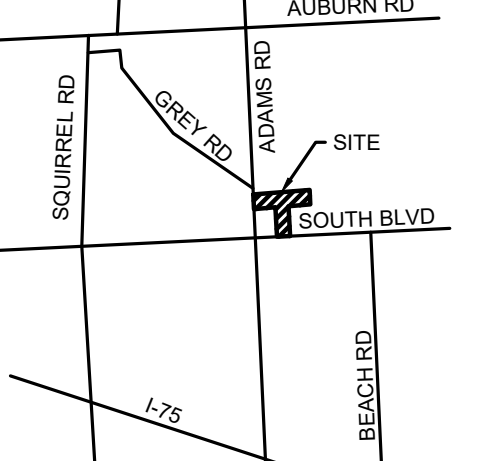
PEA GROUP
 t: 844.813.2949
 www.peagroup.com

STATE OF MICHIGAN
 NOAH A. BIRMELEN
 LANDSCAPE ARCHITECT
 No. 1375
 Noah BirmeLEN

NORTH
 0 10 20 40
 SCALE: 1" = 20'

811 Know what's below. Call before you dig.

CAUTION!!
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3881 S ADAMS RD
 ROCHESTER HILLS, MI

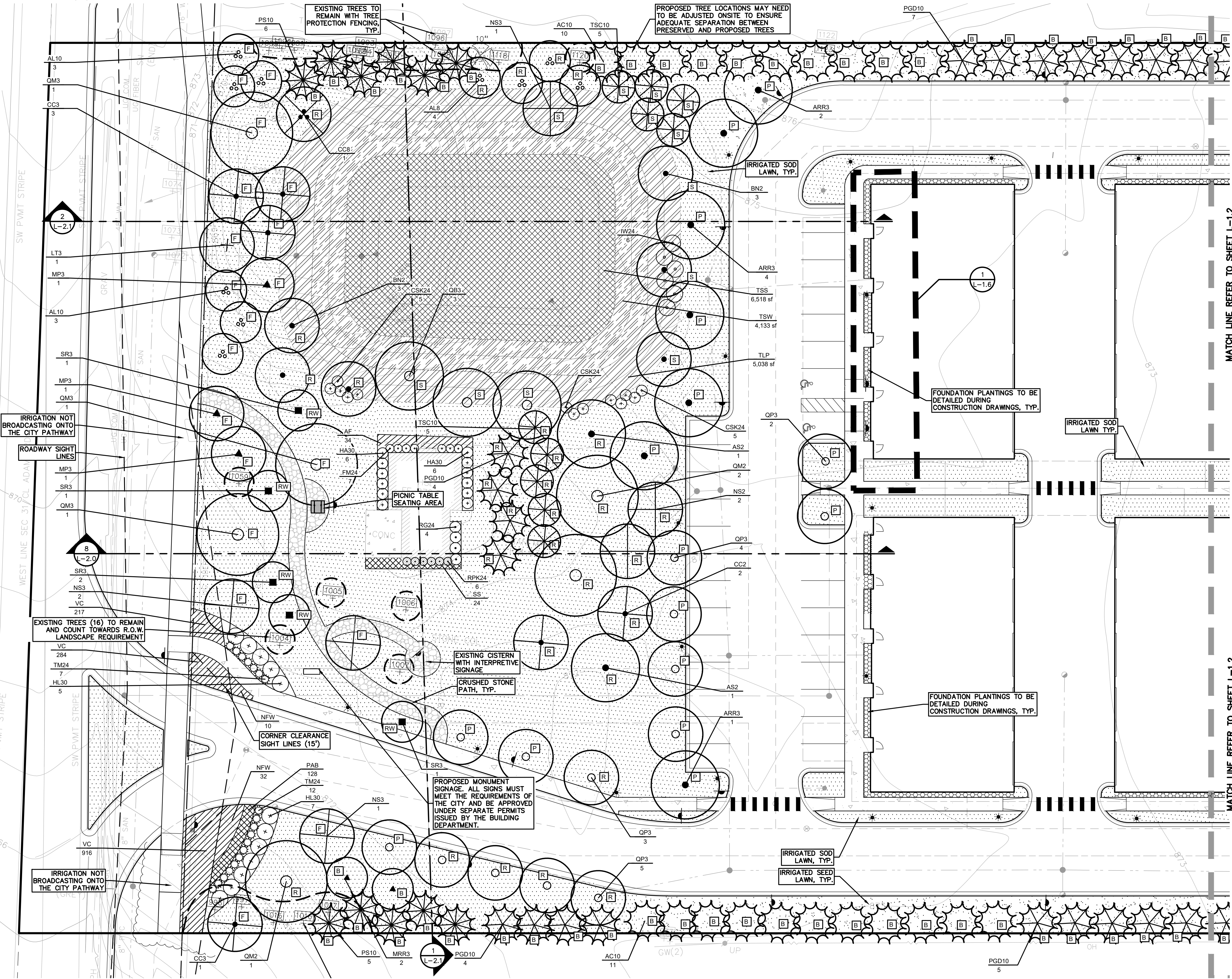
REVISIONS

SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

DRAWING TITLE
ENLARGED LANDSCAPE PLAN - SHEET 1

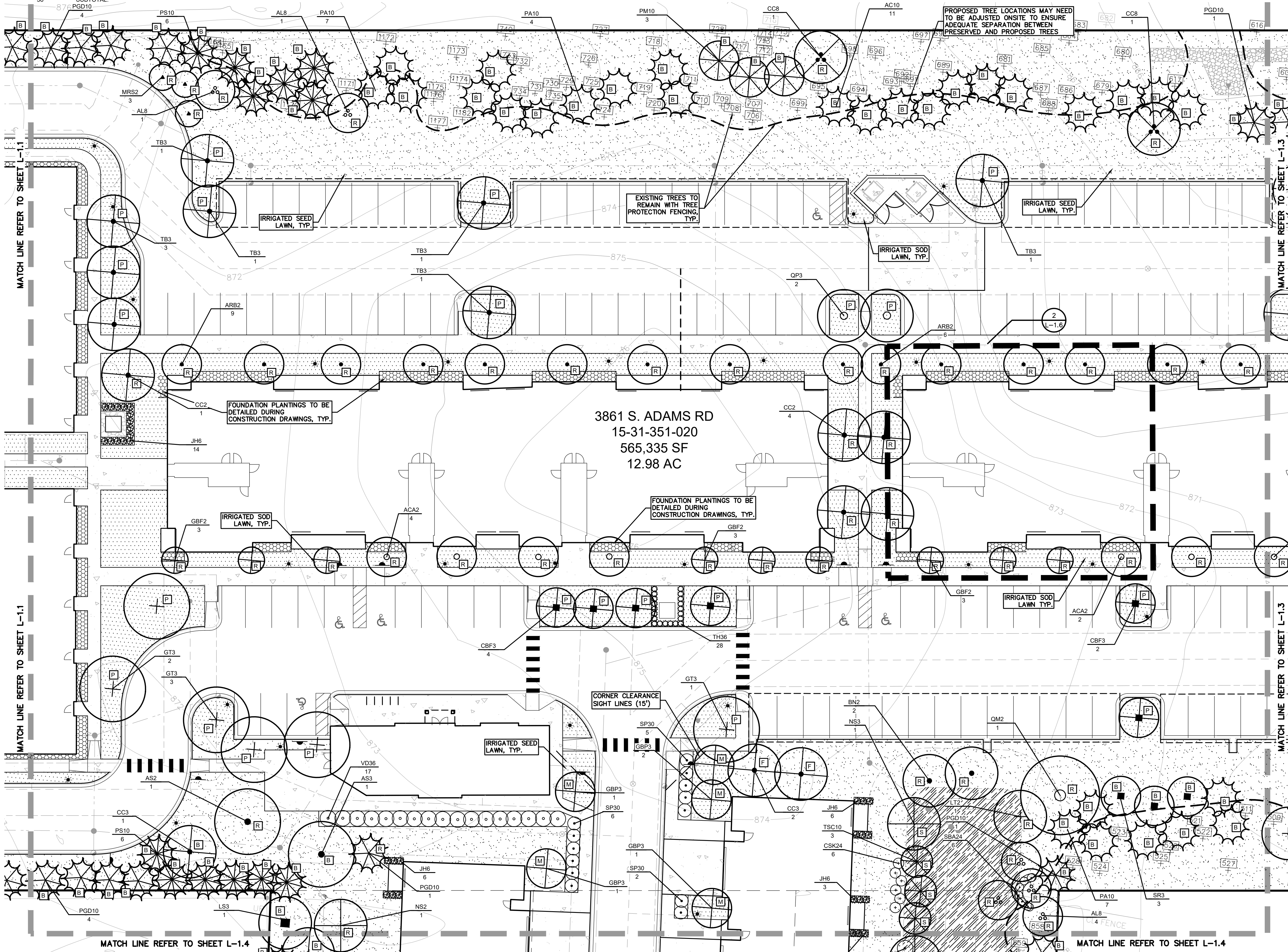
PEA JOB NO. 25-1486
 P.M. ESB
 DN. JRG
 DES. NAB
 DRAWING NUMBER:



PLANT SCHEDULE L-1.2

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	DESIGNATION	REMARKS
DECIDUOUS TREES								
ARB2	15	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	2" CAL.	B&B	PER PLAN	NATIVE	
AS2	1	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2" CAL.	B&B	PER PLAN	NATIVE	
AS3	1	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	3" CAL.	B&B	PER PLAN	NATIVE	
BN2	2	BETULA NIGRA	RIVER BIRCH	2" CAL.	B&B	PER PLAN	NATIVE	SINGLE-STEM
CBF3	6	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEAN	3" CAL.	B&B	PER PLAN	NON-NATIVE	
GBF2	9	GINKGO BILOBA 'FASTIGIATA'	FASTIGIATE MAIDENHAIR TREE	2" CAL.	B&B	PER PLAN	NON-NATIVE	
GBP3	5	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	3" CAL.	B&B	PER PLAN	NON-NATIVE	MALE ONLY
GT3	6	GLEDITSIA TRIACANTHOS 'NERMIS' SKYCOLE'	SKYLINE HONEY LOCUST	3" CAL.	B&B	PER PLAN	NATIVE	
LS3	1	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	3" CAL.	B&B	PER PLAN	NON-NATIVE	
LT2	1	LIRIODENDRON TULIPIFERA	TULIP POPLAR	2" CAL.	B&B	PER PLAN	NATIVE	
NS2	1	NYSSA SYLVATICA	TUPELO	2" CAL.	B&B	PER PLAN	NATIVE	
NS3	1	NYSSA SYLVATICA	TUPELO	3" CAL.	B&B	PER PLAN	NATIVE	
QM2	1	QUERCUS MACROCARPA	BURR OAK	2" CAL.	B&B	PER PLAN	NATIVE	
QP3	2	QUERCUS ROBUR X BICOLOR 'LONG'	REGAL PRINCE OAK	3" CAL.	B&B	PER PLAN	NATIVE	
TB3	8	TILIA AMERICANA 'BOULEVARD'	BOULEVARD AMERICAN LINDEN	3" CAL.	B&B	PER PLAN	NATIVE	
	60	SUBTOTAL:						
EVERGREEN TREES								
AC10	11	ABIES CONCOLOR	WHITE FIR	10' HT.	B&B	PER PLAN	NON-NATIVE	
PA10	18	PICEA ABIES	NORWAY SPRUCE	10' HT.	B&B	PER PLAN	NATIVE	
PGD10	11	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	10' HT.	B&B	PER PLAN	NATIVE	
PS10	12	PINUS STROBUS	EASTERN WHITE PINE	10' HT.	B&B	PER PLAN	NATIVE	
PM10	3	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	10' HT.	B&B	PER PLAN	NATIVE	
TSC10	3	TSUGA CANADENSIS	EASTERN HEMLOCK	10' HT.	B&B	PER PLAN	NATIVE	
	58	SUBTOTAL:						

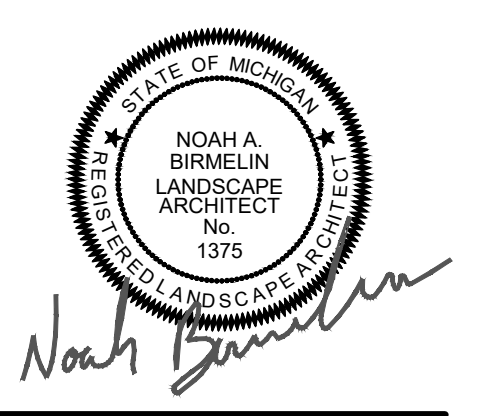
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	DESIGNATION	REMARKS
ORNAMENTAL TREES								
ACA2	6	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	2" CAL.	B&B	PER PLAN	NATIVE	
AL8	6	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	8' HT.	B&B	PER PLAN	NATIVE	MULTI-TRUNK
CC2	5	CERCIS CANADENSIS	EASTERN REDBUD	2" CAL.	B&B	PER PLAN	NATIVE	
CC3	3	CERCIS CANADENSIS	EASTERN REDBUD	3" CAL.	B&B	PER PLAN	NATIVE	
CC8	2	CERCIS CANADENSIS	EASTERN REDBUD	8' HT.	B&B	PER PLAN	NATIVE	MULTI-TRUNK
MRS2	3	MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	2" CAL.	B&B	PER PLAN	NON-NATIVE	
SR3	3	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	3" CAL.	B&B	PER PLAN	NON-NATIVE	
	28	SUBTOTAL:						
SHRUBS								
CSK24	6	CORNUS STOLONIFERA 'KELSEY'	KELSEY'S DWARF RED TWIG DOGWOOD	24" HT.	B&B OR CONT.	4" O.C.	NATIVE	
JH6	29	JUNIPERUS CHINENSIS 'HETZLI COLUMNARIS'	HETZLI COLUMN JUNIPER	6' HT.	B&B	36" O.C.	NON-NATIVE	
SBA24	6	SPIRAEA X BUXALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIRAEA	24" HT.	B&B OR CONT.	36" O.C.	NON-NATIVE	
SP30	13	SYRINGA PATULA 'MISS KIM'	MISS KIM KOREAN LILAC	2.5' HT.	B&B OR CONT.	5" O.C.	NON-NATIVE	
TH36	28	TAXUS X MEDIA 'HICKSII'	HICKS ANGLo-JAPANESE YEW	3' HT.	B&B OR CONT.	30" O.C.	NON-NATIVE	
VD36	17	VIBURNUM DENTATUM 'ARROWWOOD'	ARROWWOOD VIBURNUM	36" HT.	B&B OR CONT.	6" O.C.	NATIVE	
	99	SUBTOTAL:						
SOD/SEED								
TS	37,331 SF	TURF SEED			SEED			
TS2	11,732 SF	TURF SOD			SOD			
	49,063 SF	SUBTOTAL:						



KEY:

- [P] = INTERIOR PARKING LOT TREES
- [R] = REPLACEMENT TREES
- [RW] = RIGHT-OF-WAY LANDSCAPE TREES
- [F] = FRONT YARD OVERLAY TREES
- [B] = BUFFER TREES
- [M] = MINOR STREET TREES
- [S] = STORMWATER MANAGEMENT
- [SHRUBS] = SHRUBS
- [LAWNS] = LOW PROFILE PRAIRIE SEED MIX REFER TO SHEET L-2.0 FOR PLANT LIST
- [SWALE] = SWALE SEED MIX REFER TO SHEET L-2.0 FOR PLANT LIST
- [STORMWATER] = STORMWATER SEED MIX REFER TO SHEET L-2.0 FOR PLANT LIST
- [IRRIGATED SOD] = IRRIGATED SOD LAWN
- [IRRIGATED SEED] = IRRIGATED SEED LAWN
- [PERENNIALS] = PERENNIALS
- [MULCH] = MULCH PATHWAY
- [CRUSHED STONE] = CRUSHED STONE PATHWAY
- [FOUNDATION] = FOUNDATION PLANTINGS TO BE DETAILED DURING CONSTRUCTION DRAWINGS
- [EXISTING] = EXISTING TREES TO REMAIN

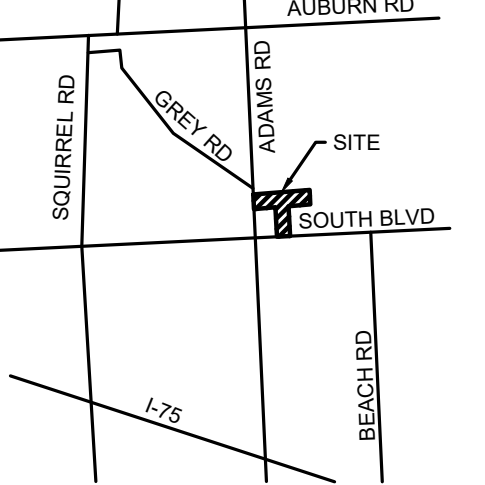
PEA GROUP
t: 844.813.2949
www.peagroup.com



NORTH
0 10 20 40
SCALE: 1" = 20'

811 Know what's below. Call before you dig.

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CLIENT
3880 SOUTH BLVD OWNER LLC
281 ENTERPRISE COURT, SUITE 100
BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
3861 S ADAMS RD
ROCHESTER HILLS, MI

REVISIONS	DATE
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
FEBRUARY 3, 2026

DRAWING TITLE
ENLARGED LANDSCAPE PLAN - SHEET 2

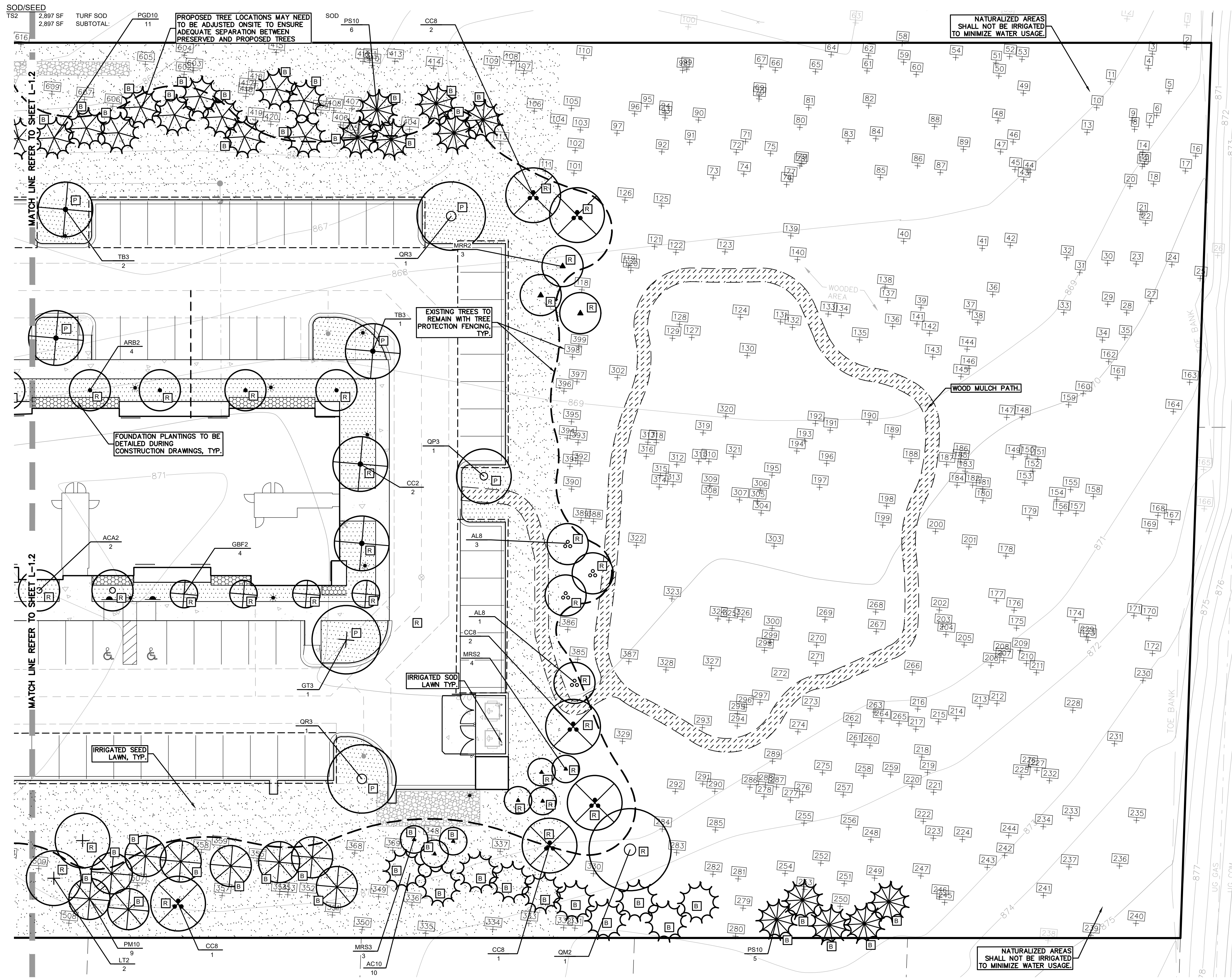
PEA JOB NO.	25-1486
P.M.	ESB
DN.	JRG
DES.	NAB
DRAWING NUMBER:	

CITY FILE #25-0001, SECTION #31
NOT TO BE USED AS CONSTRUCTION DRAWINGS

L-1.2

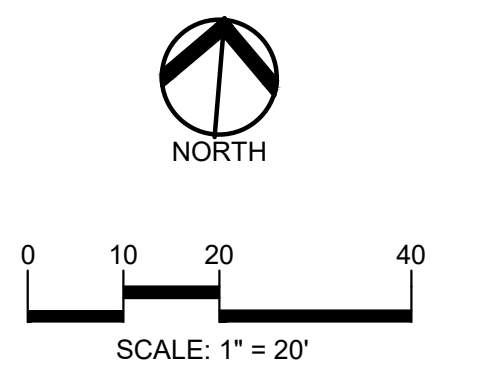
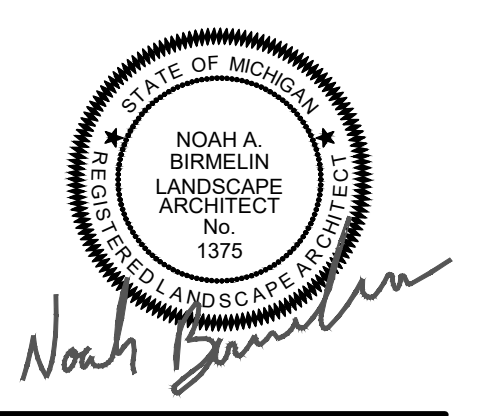
PLANT SCHEDULE L-1.3

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	DESIGNATION	REMARKS
DECIDUOUS TREES								
ARB2	4	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	2" CAL.	B&B		PER PLAN	NATIVE
GBF2	4	GINKGO BILOBA 'FASTIGIATA'	FASTIGIATE MAIDENHAIR TREE	2" CAL.	B&B		PER PLAN	NON-NATIVE
GT3	1	GLEDITSIA TRIACANTHOS 'INERMIS' SKYCOLE'	SKYLINE® HONEY LOCUST	3" CAL.	B&B		PER PLAN	NATIVE
LT2	2	LIRIODENDRON TULIPIFERA	TULIP POPLAR	2" CAL.	B&B		PER PLAN	NATIVE
QM2	1	QUERCUS MACROCARPA	BURR OAK	2" CAL.	B&B		PER PLAN	NATIVE
QP3	1	QUERCUS ROBUR X BICOLOR 'LONG'	REGAL PRINCE® OAK	3" CAL.	B&B		PER PLAN	NATIVE
QR3	2	QUERCUS RUBRA	RED OAK	3" CAL.	B&B		PER PLAN	NATIVE
TB3	3	TILIA AMERICANA 'BOULEVARD'	BOULEVARD AMERICAN LINDEN	3" CAL.	B&B		PER PLAN	NATIVE
	18	SUBTOTAL:						
EVERGREEN TREES								
ACT10	10	ABIES CONCOLOR	WHITE FIR	10' HT.	B&B		PER PLAN	NON-NATIVE
PGD10	11	PICEA GLAUCOA 'DENSATA'	BLACK HILLS SPRUCE	10' HT.	B&B		PER PLAN	NATIVE
PS10	11	PINUS STROBIS	EASTERN WHITE PINE	10' HT.	B&B		PER PLAN	NATIVE
PM10	9	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	10' HT.	B&B		PER PLAN	NATIVE
	41	SUBTOTAL:						
ORNAMENTAL TREES								
ACA2	2	AMELANCHIER CANADENSIS	SHADBLow SERVICEBERRY	2" CAL.	B&B		PER PLAN	NATIVE
AL8	4	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	8" HT.	B&B		PER PLAN	NATIVE
CC2	2	CERCIS CANADENSIS	EASTERN REDBUD	2" CAL.	B&B		PER PLAN	NATIVE
CC8	6	CERCIS CANADENSIS	EASTERN REDBUD	8" HT.	B&B		PER PLAN	NATIVE
MRS2	4	MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	2" CAL.	B&B		PER PLAN	NON-NATIVE
MRS3	3	MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	3" CAL.	B&B		PER PLAN	NON-NATIVE
MRR2	3	MALUS X 'ROYAL RAINDROPS'	ROYAL RAINDROPS CRABAPPLE	2" CAL.	B&B		PER PLAN	NON-NATIVE
	24	SUBTOTAL:						

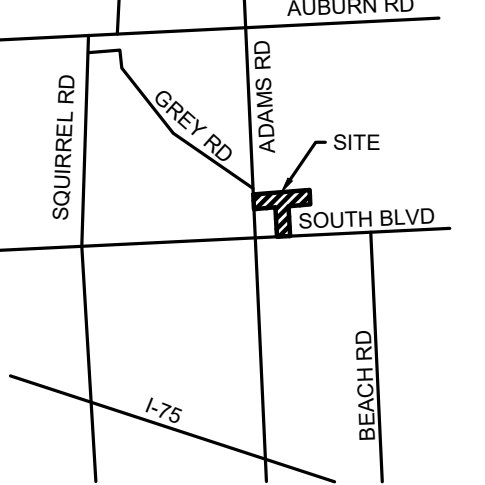


KEY:

- [P] = INTERIOR PARKING LOT TREES
- [R] = REPLACEMENT TREES
- [RW] = RIGHT-OF-WAY LANDSCAPE TREES
- [F] = FRONT YARD OVERLAY TREES
- [B] = BUFFER TREES
- [M] = MINOR STREET TREES
- [S] = STORMWATER MANAGEMENT
- [SHRUBS] = SHRUBS
- [LAWNS] = LOW PROFILE PRAIRIE SEED MIX REFER TO SHEET L-2.0 FOR PLANT LIST
- [SWALES] = SWALE SEED MIX REFER TO SHEET L-2.0 FOR PLANT LIST
- [STORMWATER] = STORMWATER SEED MIX REFER TO SHEET L-2.0 FOR PLANT LIST
- [IRRIGATED SOD] = IRRIGATED SOD LAWN
- [IRRIGATED SEED] = IRRIGATED SEED LAWN
- [PERENNIALS] = PERENNIALS
- [MULCH PATHWAY] = MULCH PATHWAY
- [CRUSHED STONE] = CRUSHED STONE PATHWAY
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ORIGINAL ISSUE DATE:
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DRAWING TITLE
ENLARGED LANDSCAPE PLAN - SHEET 3

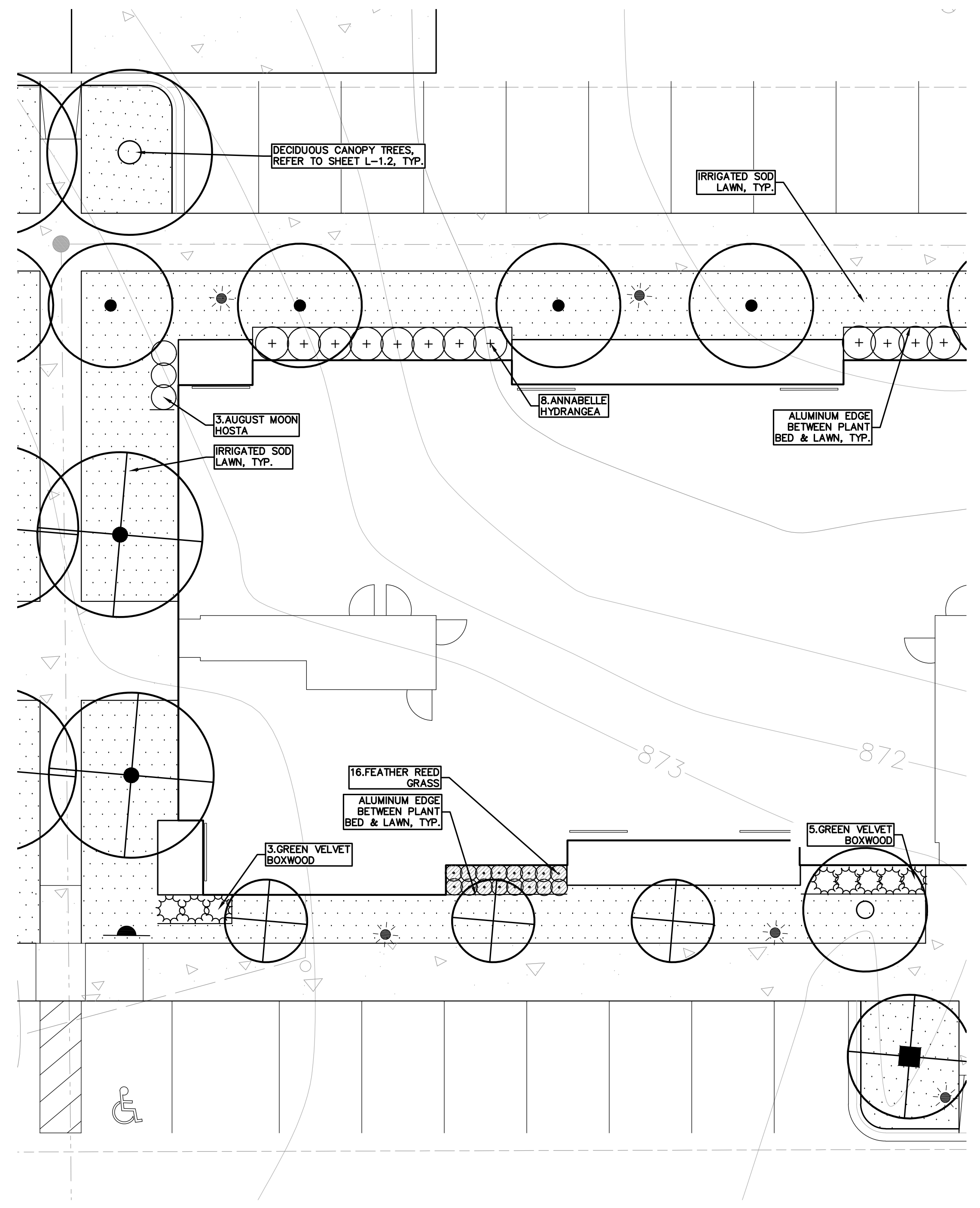
PEA JOB NO.	25-1486
P.M.	ESB
DN	JRG
DES.	NAB
DRAWING NUMBER:	

CITY FILE #25-0001, SECTION #31
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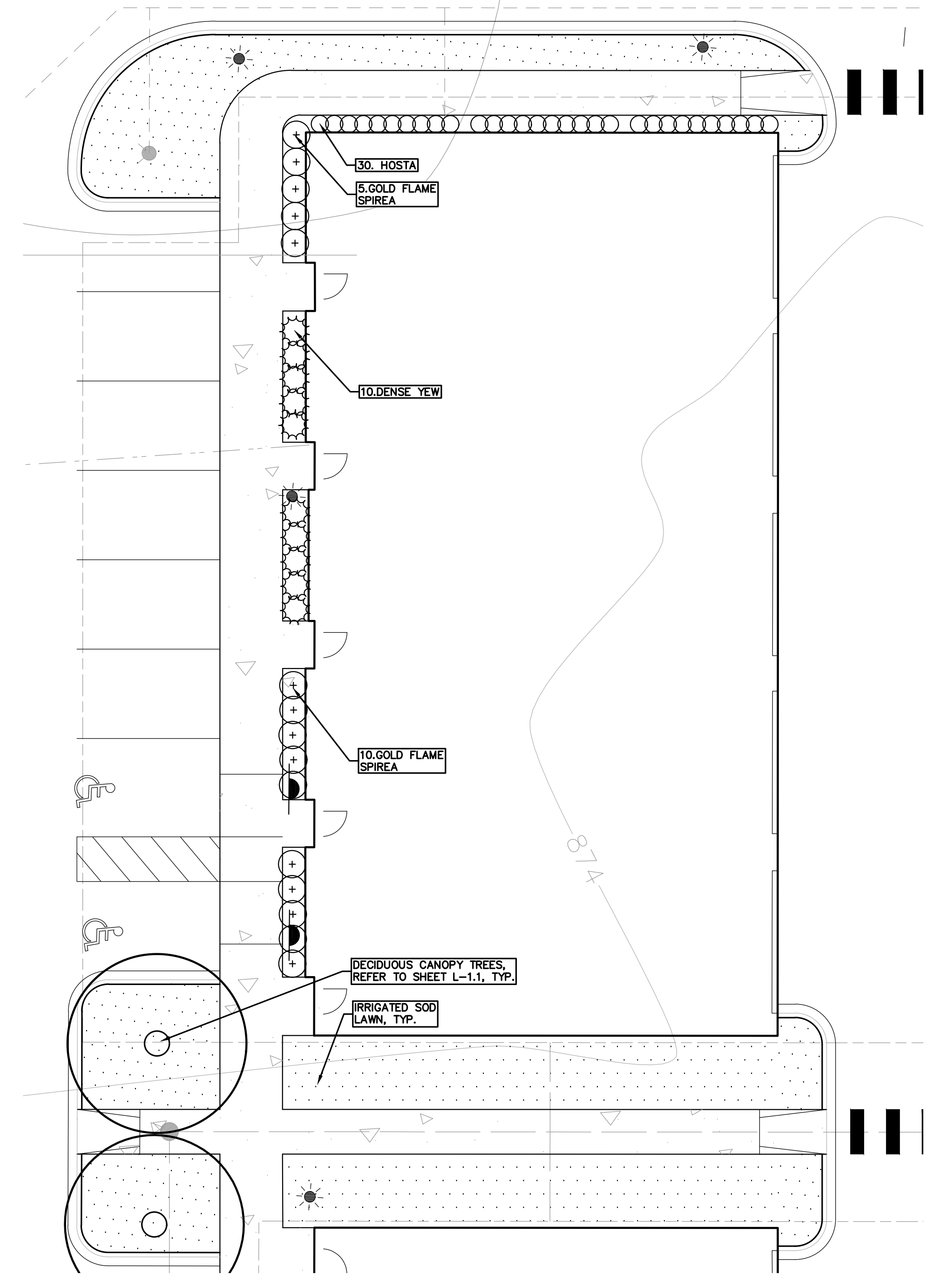
L-1.3

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S:\PROJECTS\2025\25-1486-COMMERCIAL-ROCHESTER HILLS\DWG\LANDSCAPE PLAN\25-1486.dwg PLOT DATE: 5/19/2026 8:15:58 AM S. Bunk



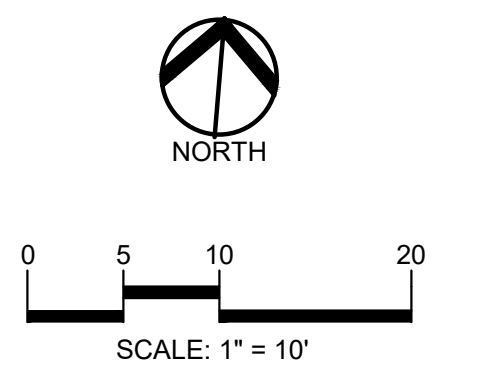
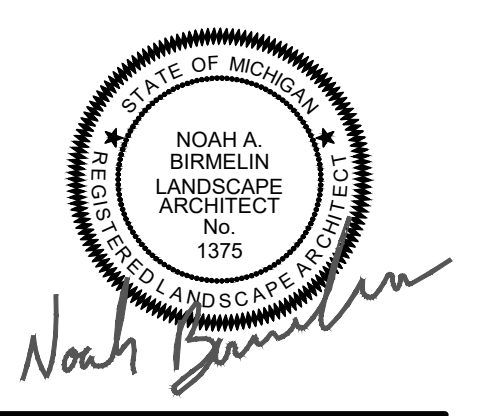
2 TYPICAL FOUNDATION PLANTING PLAN ENLARGEMENT EXHIBIT
SCALE: 1" = 10'-0"



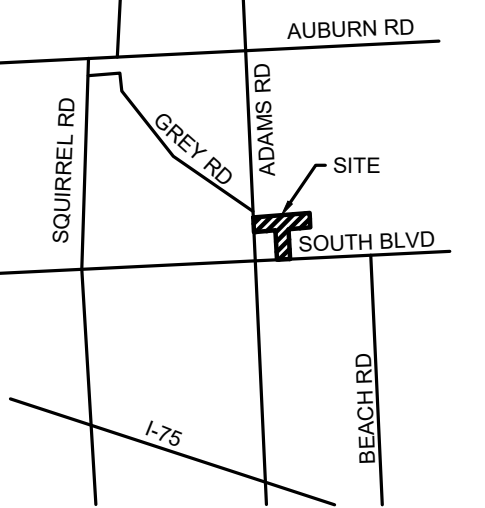
1 TYPICAL FOUNDATION PLANTING PLAN ENLARGEMENT EXHIBIT
SCALE: 1" = 10'-0"

KEY:

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- = STORMWATER SEED MIX REFER TO SHEET L-2.0 FOR PLANT LIST
- = IRRIGATED SOD LAWN
- = IRRIGATED SEED LAWN
- = PERENNIALS
- = MULCH PATHWAY
- = CRUSHED STONE PATHWAY
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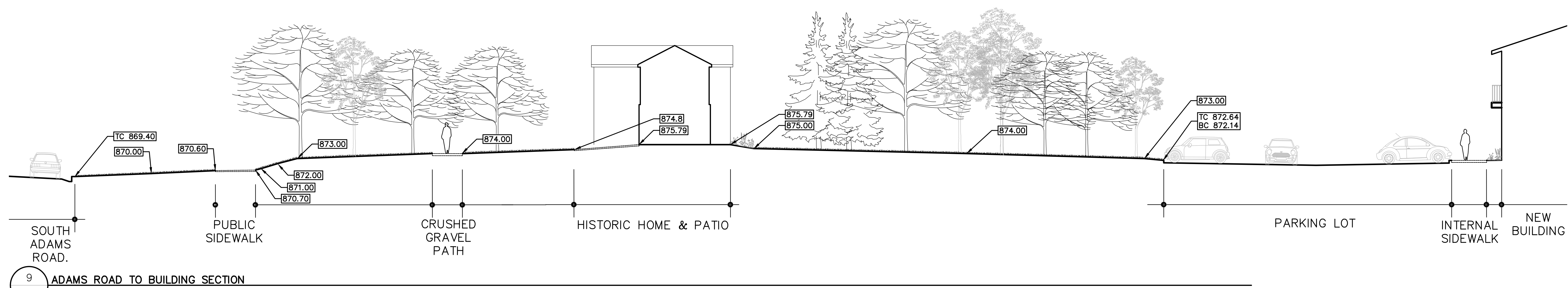
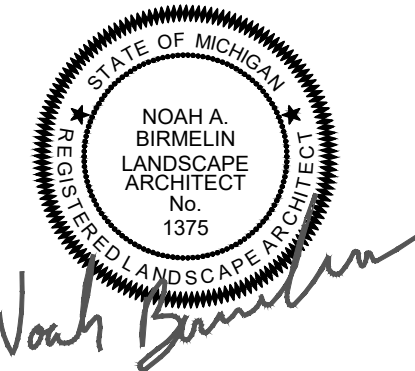
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3881 S ADAMS RD
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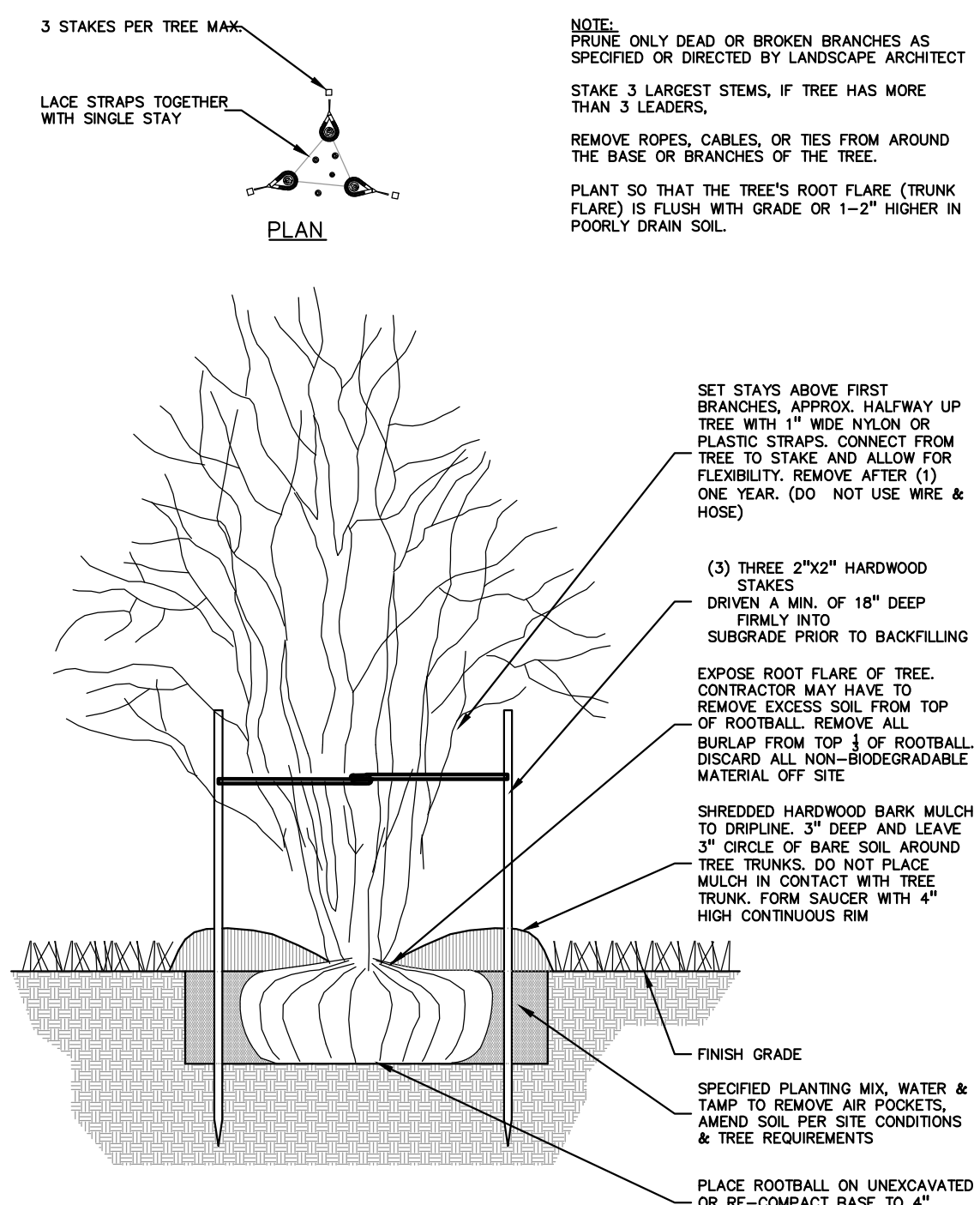
DRAWING TITLE
FOUNDATION PLANTING ENLARGEMENT EXHIBITS - SHEET 6

PEA JOB NO.	25-1486
P.M.	ESB
DN	JRG
DES.	NAB
DRAWING NUMBER:	

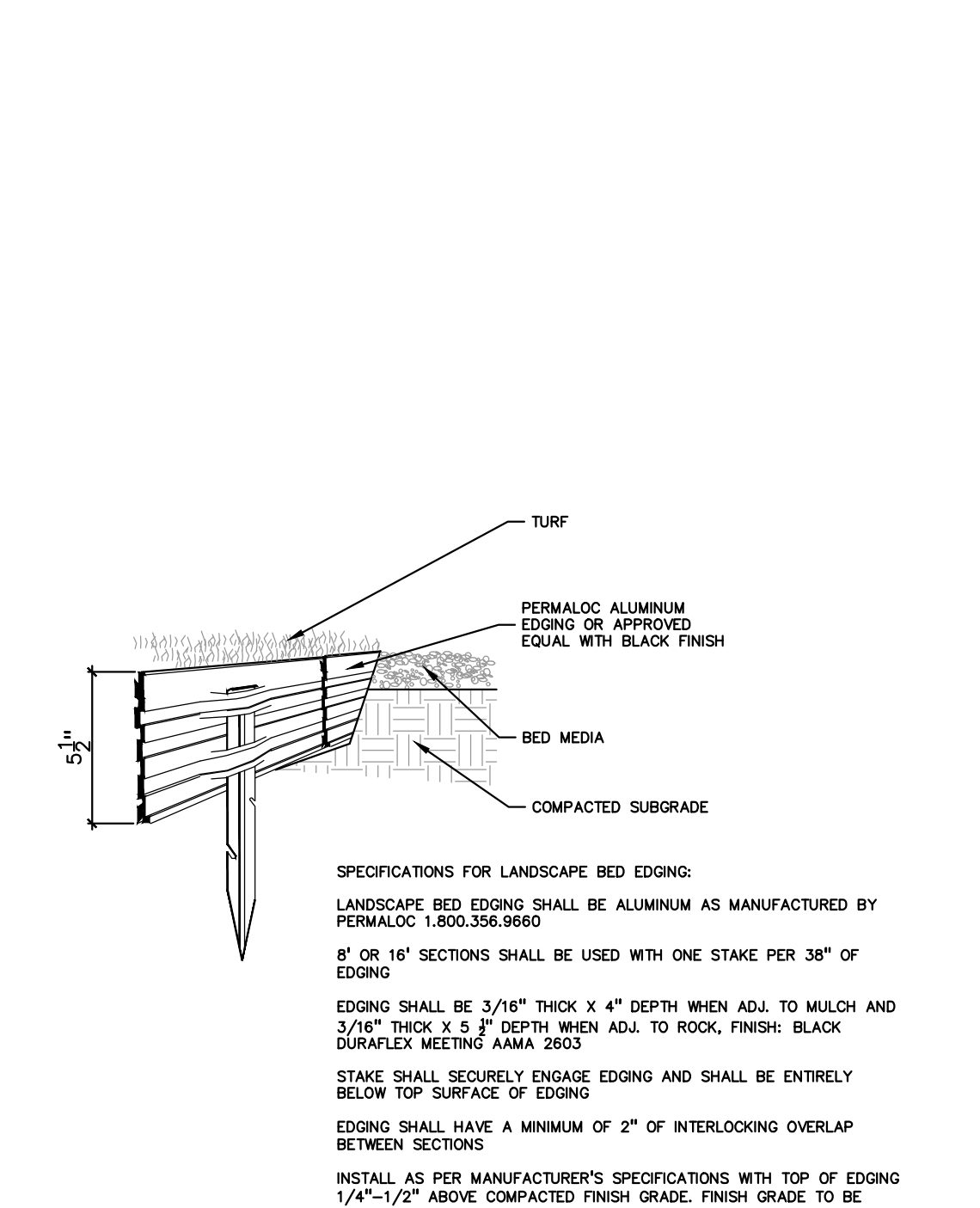


9 ADAMS ROAD TO BUILDING SECTION
SCALE: 1" = 10'-0"

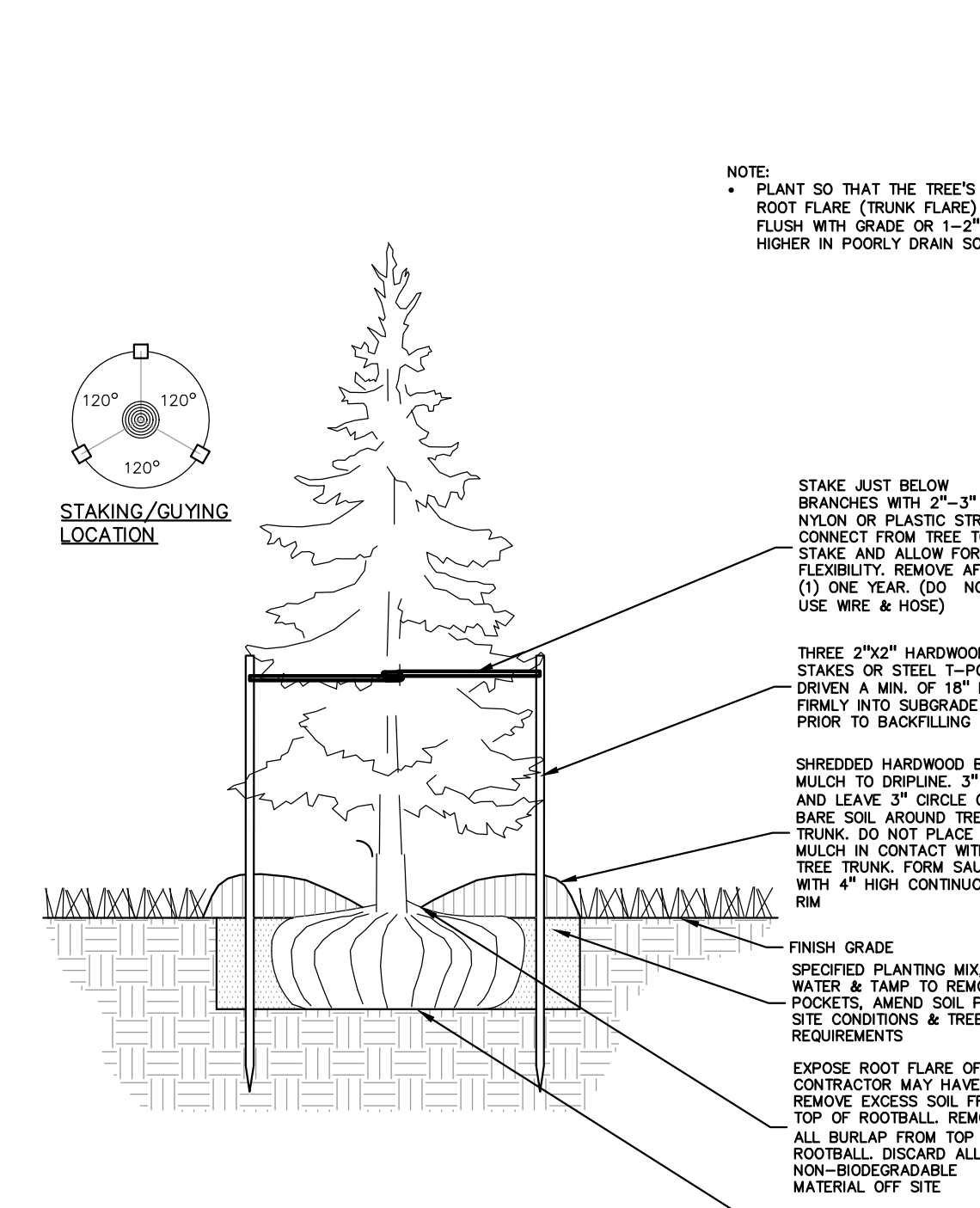
Low-profile Prairie Seed Mix		Swale Seed Mix	
Botanical Name	Common Name	Botanical Name	Common Name
<i>Bouteloua curtipendula</i>	Side Oats Grama	<i>Andropogon gerardii</i>	Big Bluestem
<i>Carex spp.</i>	Prairie Carex Mix	<i>Carex comosa</i>	Bristly Sedge
<i>Elymus canadensis</i>	Canada Wild Rye	<i>Carex cristatella</i>	Crested Oval Sedge
<i>Koeleria pyramidata</i>	June Grass	<i>Carex lasiocarpa</i>	Bottlebrush Sedge
<i>Panicum virgatum</i>	Switch Grass	<i>Carex spp.</i>	Prairie Sedge Mix
<i>Schizachyrium scoparium</i>	Little Bluestem	<i>Carex vulpinoidea</i>	Brown Fox Sedge
Permanent Grasses:		<i>Elymus virginicus</i>	Virginia Wild Rye
<i>Avena sativa</i>	Common Oat	<i>Cynodon dactylon</i>	Fowl Manna Grass
<i>Lolium multiflorum</i>	Annual Rye	<i>Panicum virgatum</i>	Switch Grass
Temporary Cover:		<i>Scirpus atrovirens</i>	Dark Green Rush
<i>Avena sativa</i>	Common Oat	<i>Scirpus cyperinus</i>	Wool Grass
<i>Lolium multiflorum</i>	Annual Rye	<i>Spartina pectinata</i>	Prairie Cord Grass
Forbs:		Temporary Cover:	
<i>Amorpha canescens</i>	Lead Plant	<i>Avena sativa</i>	Common Oat
<i>Asteraceae cynifolia</i>	Thimbleweed	<i>Lolium multiflorum</i>	Annual Rye
<i>Asclepias syriaca</i>	Common Milkweed	Forbs:	
<i>Asclepias tuberosa</i>	Butterfly Milkweed	<i>Arisma spp.</i>	Water Plantain (Various Mix)
<i>Baptisia alba</i>	White Wild Indigo	<i>Asclepias incarnata</i>	Swamp Milkweed
<i>Chamaecrista fasciculata</i>	Partridge Pea	<i>Carex lasiocarpa</i>	Tall Coreopsis
<i>Coreopsis lanceolata</i>	Sand Coreopsis	<i>Eutrochium maculatum</i>	Spotted Joe-Pye Weed
<i>Coreopsis palmata</i>	Prairie Coreopsis	<i>Iris virginica</i>	Blue Flag
<i>Dalea candida</i>	White Prairie Clover	<i>Liatris spicata</i>	Marsh Blazing Star
<i>Dalea purpurea</i>	Purple Prairie Clover	<i>Lobelia cardinalis</i>	Cardinal Flower
<i>Desmanthus illinoensis</i>	Illinois Sensitive Plant	<i>Lobelia siphilitica</i>	Great Blue Lobelia
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	<i>Lycopus americanus</i>	Common Water Horehound
<i>Eryngium yuccifolium</i>	Rattlesnake Master	<i>Pycnanthemum virginicum</i>	Common Mountain Mint
<i>Lespedeza capitata</i>	Round-Head Bush Clover	<i>Rudbeckia triloba</i>	Brown-Eyed Susan
<i>Liatris aspera</i>	Rough Blazing Star	<i>Sagittaria latifolia</i>	Common Arrowhead
<i>Lupinus perennis</i>	Wild Lupine	<i>Senna hebecarpa</i>	Wild Senna
<i>Monarda fistulosa</i>	Wild Bergamot	<i>Stiphidium tenuiflorum</i>	Prairie Dock
<i>Oligoneuron rigidum</i>	Stiff Goldenrod	<i>Symphoricarpos novae-angliae</i>	New England Aster
<i>Parthenium integrifolium</i>	Wild Quinine	<i>Verbena hastata</i>	Blue Vervain
<i>Penstemon digitalis</i>	Foxglove Beard Tongue	<i>Zizia aurea</i>	Golden Alexanders
<i>Penstemon hirsutus</i>	Hairy Beard Tongue		
<i>Pycnanthemum virginicum</i>	Common Mountain Mint		
<i>Rudbeckia grandis</i>	Black-Eyed Susan		
<i>Rudbeckia hirta</i>	Sweet Black-Eyed Susan		
<i>Rudbeckia subtomentosa</i>	Prairie Dock		
<i>Siphium angustifolium</i>	Yellow Comfrey		
<i>Solidago speciosa</i>	Shiny Goldenrod		
<i>Symphoricarpos ericoides</i>	Heath Aster		
<i>Symphoricarpos laevis</i>	Smooth Blue Aster		
<i>Symphoricarpos novae-angliae</i>	New England Aster		
<i>Tradescantia virginiana</i>	Common Spiderwort		
<i>Verbena stricta</i>	Hoary Vervain		
<i>Veronica sp.</i>	Ironweed (Various Mix)		
<i>Vernonia virginiana</i>	Culvers Root		



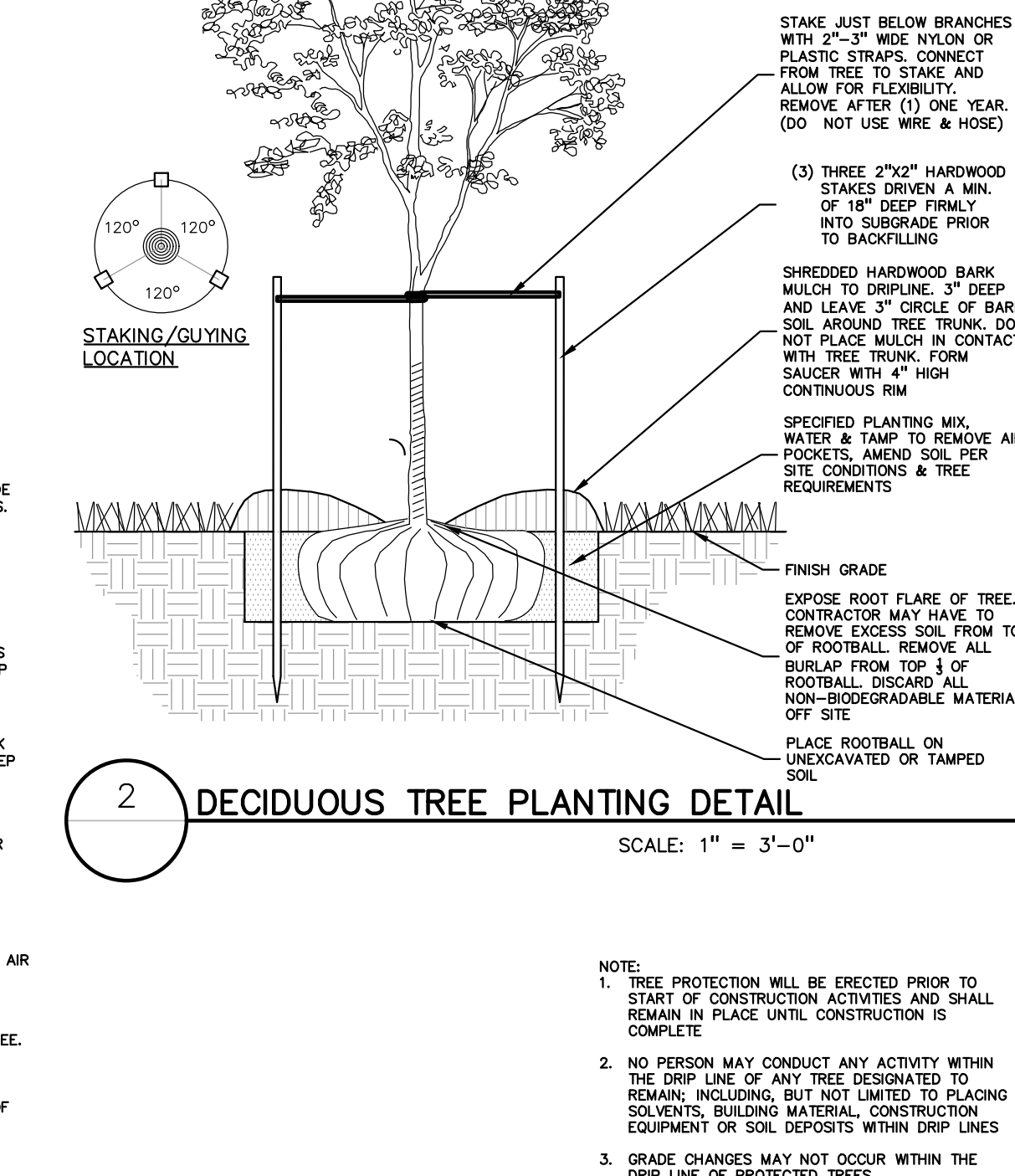
8 MULTI-STEM TREE PLANTING DETAIL
SCALE: 1" = 1'-0"



6 ALUMINUM EDGE DETAIL
NOT TO SCALE

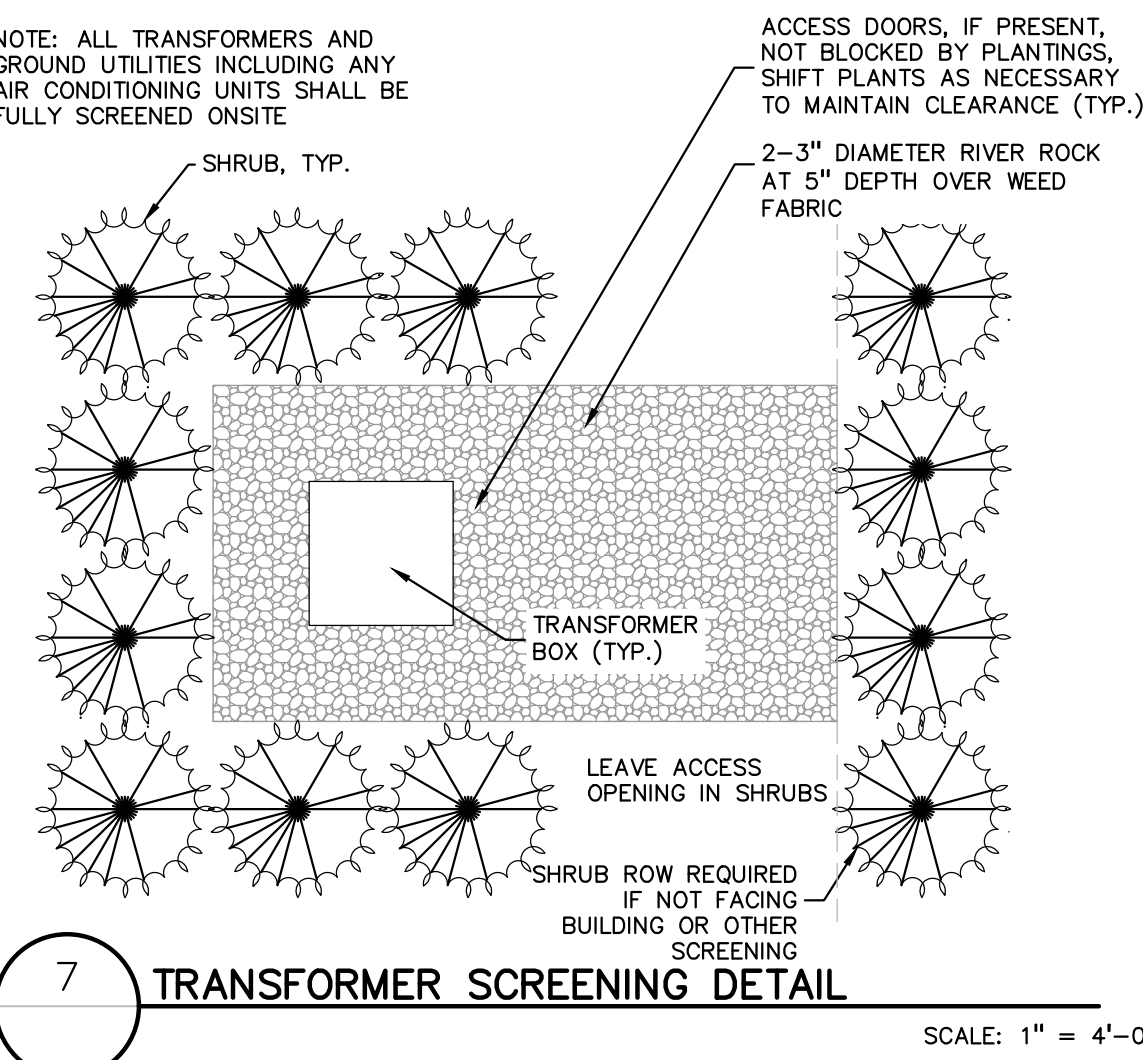


4 EVERGREEN TREE PLANTING DETAIL
SCALE: 1" = 3'-0"

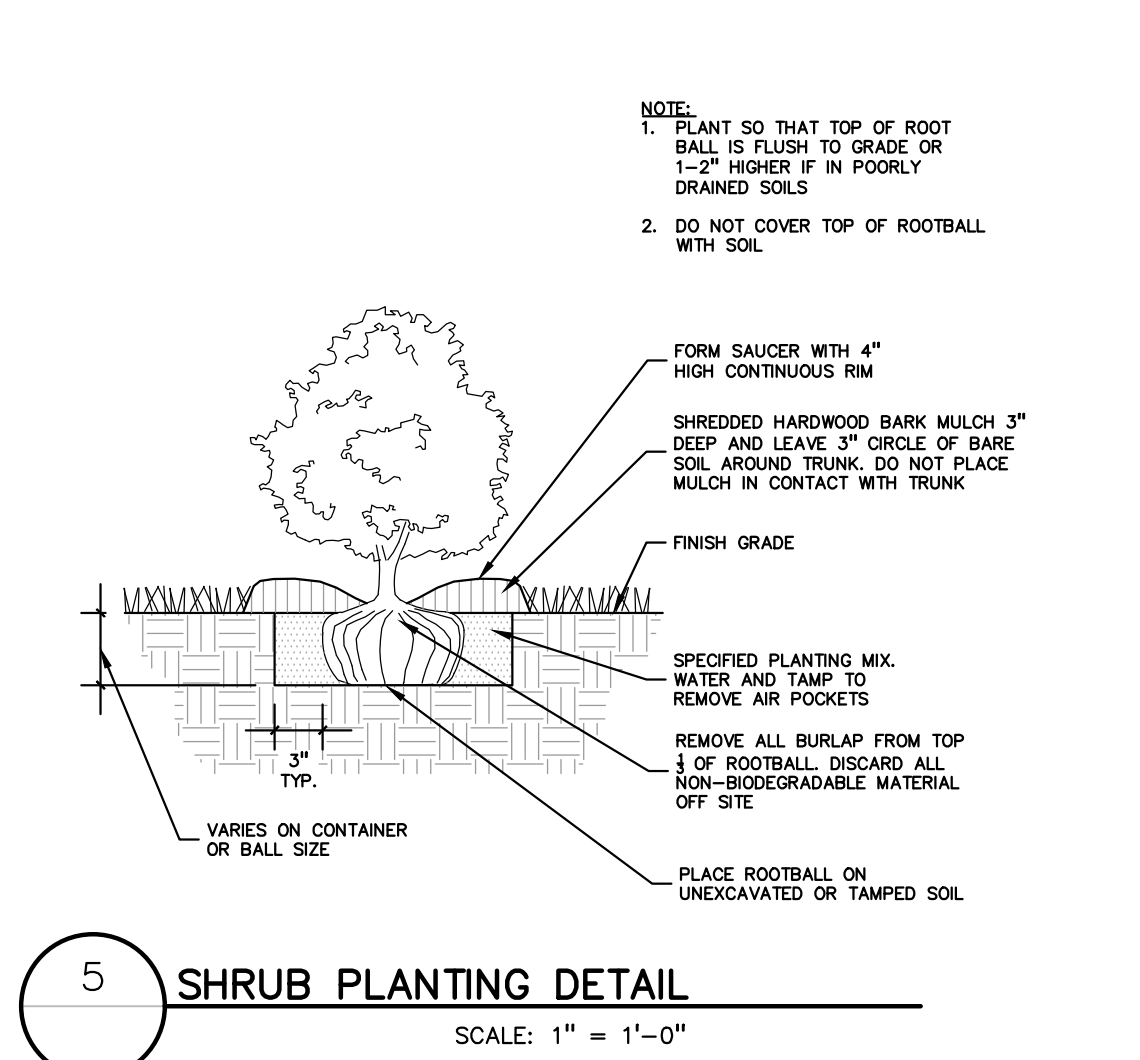


2 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1" = 3'-0"

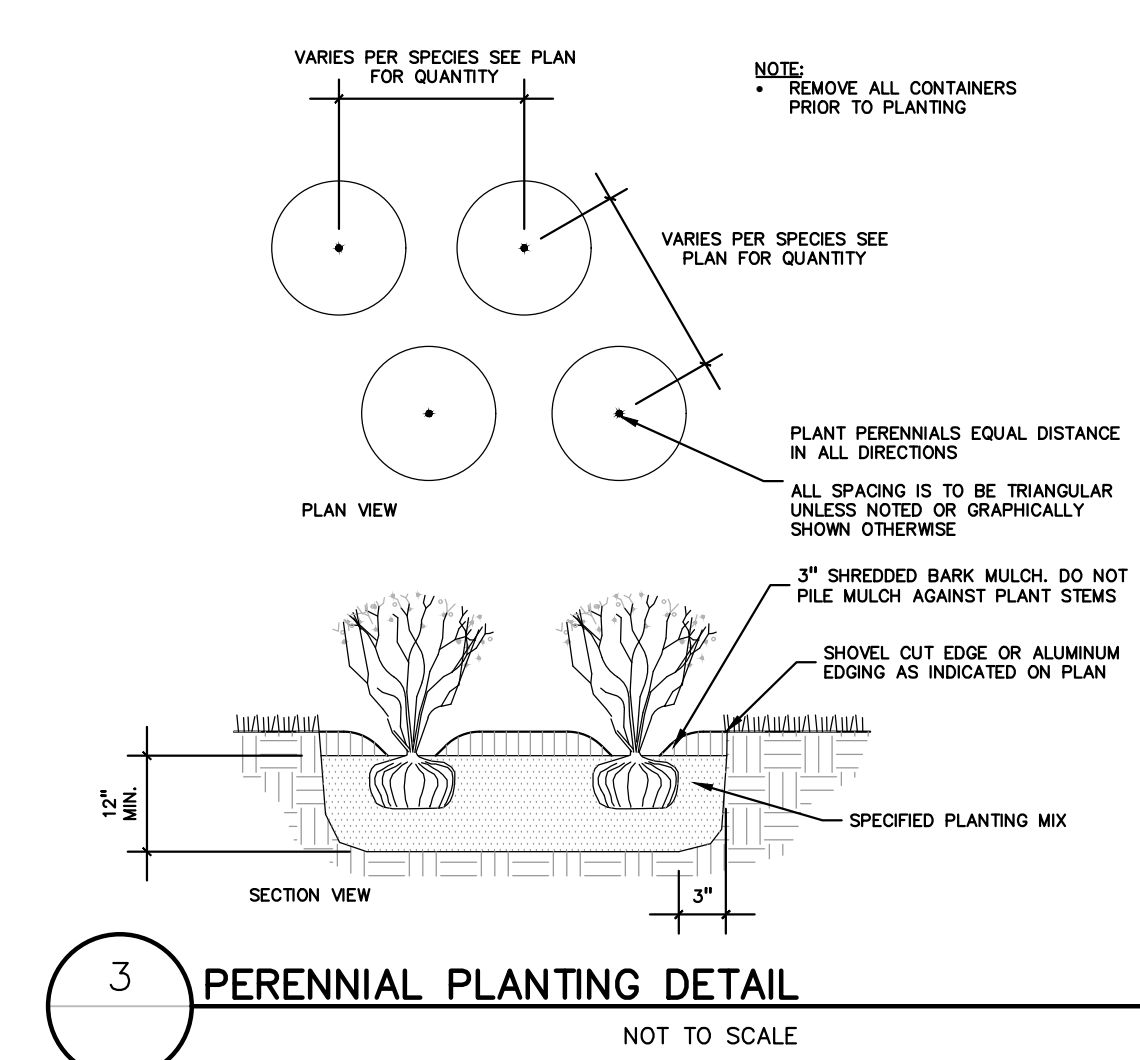
Stormwater Seed Mix		Common Name	
Botanical Name	Common Name	Botanical Name	Common Name
<i>Boboschoenus fluviatilis</i>	River Bulrush	<i>Water Plantain (Various Mix)</i>	
<i>Carex cristatella</i>	Crested Oval Sedge	<i>Swamp Milkweed</i>	
<i>Carex lasiocarpa</i>	Bottlebrush Sedge	<i>Bidens (Various Mix)</i>	
<i>Carex vulpinoidea</i>	Brown Fox Sedge	<i>Senecioideae</i>	
<i>Elymus virginicus</i>	Virginia Wild Rye	<i>Blue Flag</i>	
<i>Cynodon dactylon</i>	Fowl Manna Grass	<i>Common Water Horehound</i>	
<i>Juncus effusus</i>	Common Rush	<i>Morleya flower</i>	
<i>Leersia oryzoides</i>	Rice Cut Grass	<i>Ridge's Goldenrod</i>	
<i>Panicum virgatum</i>	Switch Grass	<i>Ditch Stonecrop</i>	
<i>Schoenoplectus tabernaemontani</i>	Softstem Bulrush	<i>Pinkweed (Various Mix)</i>	
<i>Scirpus atrovirens</i>	Dark Green Rush	<i>Sweet Black-Eyed Susan</i>	
<i>Scirpus cyperinus</i>	Wool Grass	<i>Brown-Eyed Susan</i>	
Temporary Cover:		<i>Wild Senna</i>	
<i>Avena sativa</i>	Common Oat	<i>New England Aster</i>	
<i>Lolium multiflorum</i>	Annual Rye	<i>Purple Meadow Rue</i>	
Forbs & Shrubs:			
<i>Arisma spp.</i>	Water Plantain (Various Mix)		
<i>Asclepias incarnata</i>	Swamp Milkweed		
<i>Bidens spp.</i>	Bidens (Various Mix)		
<i>Helianthus autumnalis</i>	Snecioideae		
<i>Iris virginica</i>	Blue Flag		
<i>Lycopus americanus</i>	Common Water Horehound		
<i>Mimulus ringens</i>	Morleya flower		
<i>Oligoneuron rigidum</i>	Ridge's Goldenrod		
<i>Pentstemon sedocoides</i>	Ditch Stonecrop		
<i>Polygonum spp.</i>	Pinkweed (Various Mix)		
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan		
<i>Rudbeckia triloba</i>	Brown-Eyed Susan		
<i>Sagittaria latifolia</i>	Common Arrowhead		
<i>Senna hebecarpa</i>	Wild Senna		
<i>Symphoricarpos novae-angliae</i>	New England Aster		
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue		



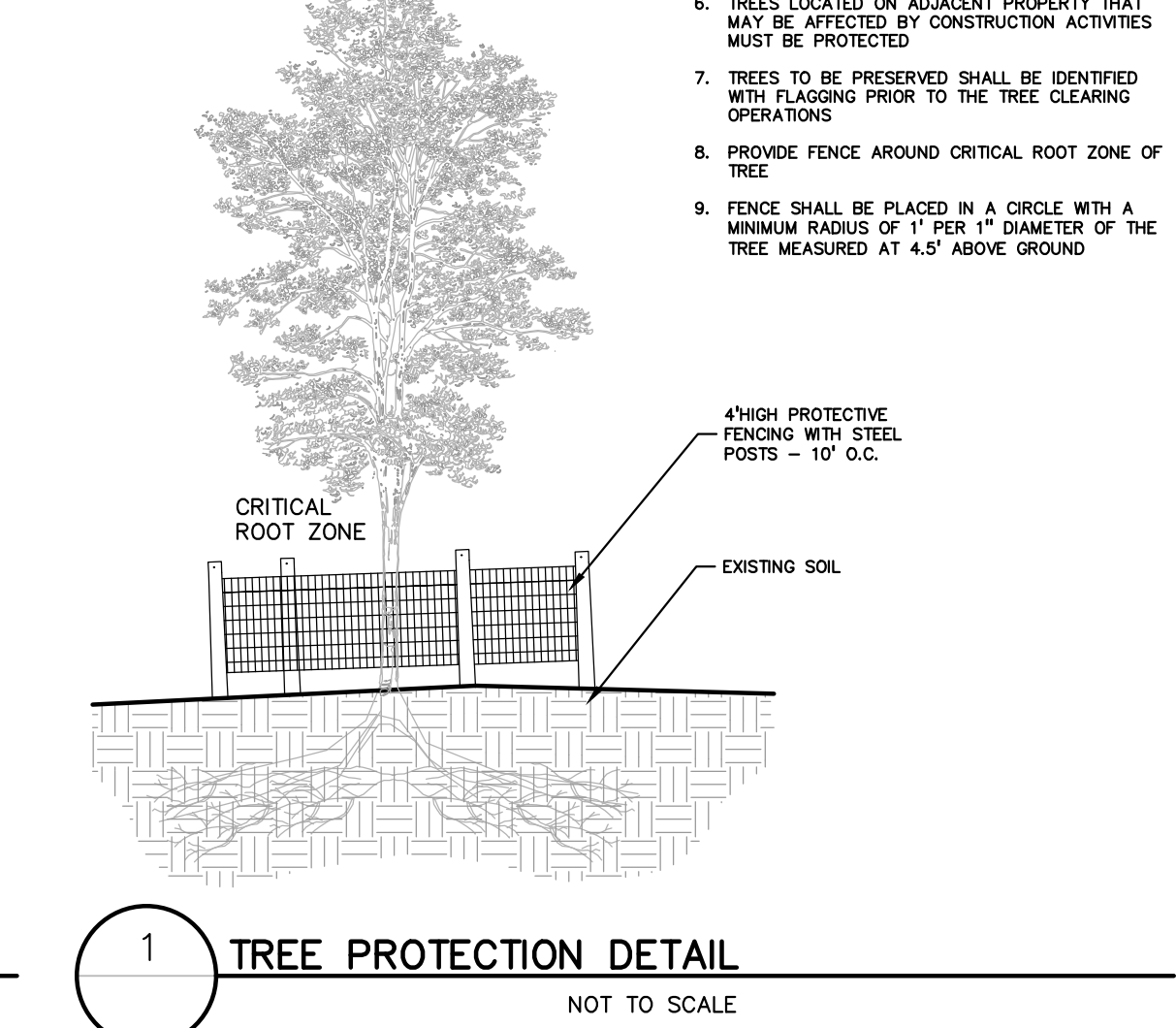
7 TRANSFORMER SCREENING DETAIL
SCALE: 1" = 4'-0"



5 SHRUB PLANTING DETAIL
SCALE: 1" = 1'-0"



3 PERENNIAL PLANTING DETAIL
NOT TO SCALE

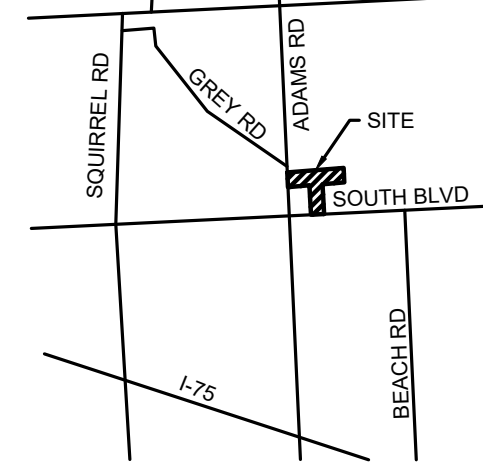


1 TREE PROTECTION DETAIL
NOT TO SCALE

- NOTE:
- PLANT SO THAT THE TREE'S ROOT FLARE (TRUNK FLARE) IS FLUSH WITH GRADE OR 1-2" HIGHER IN POORLY DRAIN SOIL.
 - SECURE TREE WRAP WITH BIODEGRADABLE MATERIAL AT TOP & BOTTOM, REMOVE AFTER FIRST WINTER. PRUNE ONLY DEAD, BROKEN BRANCHES AS DIRECTED BY LANDSCAPE ARCHITECT.



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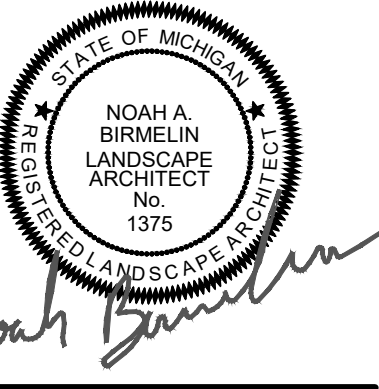
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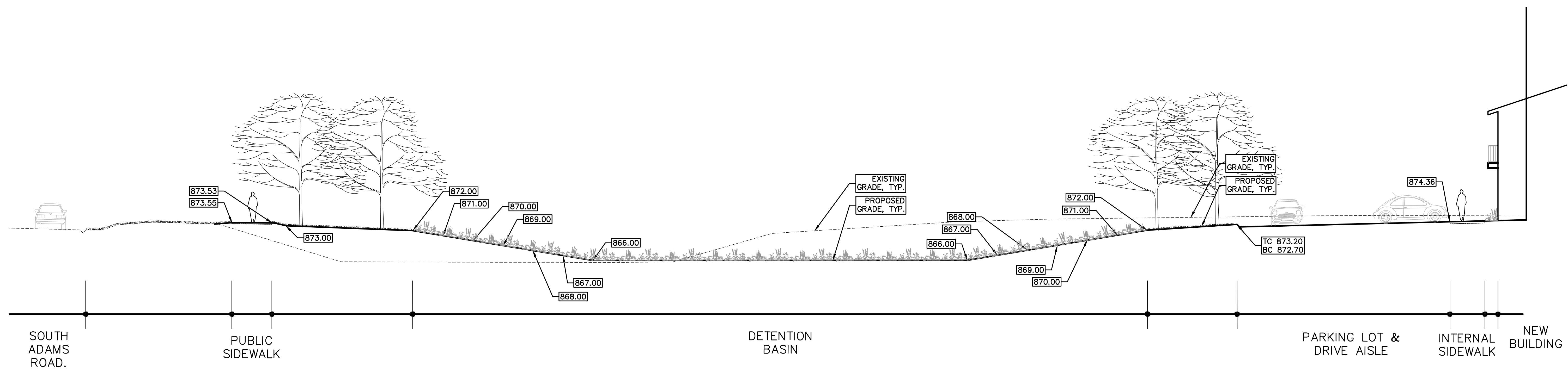
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SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

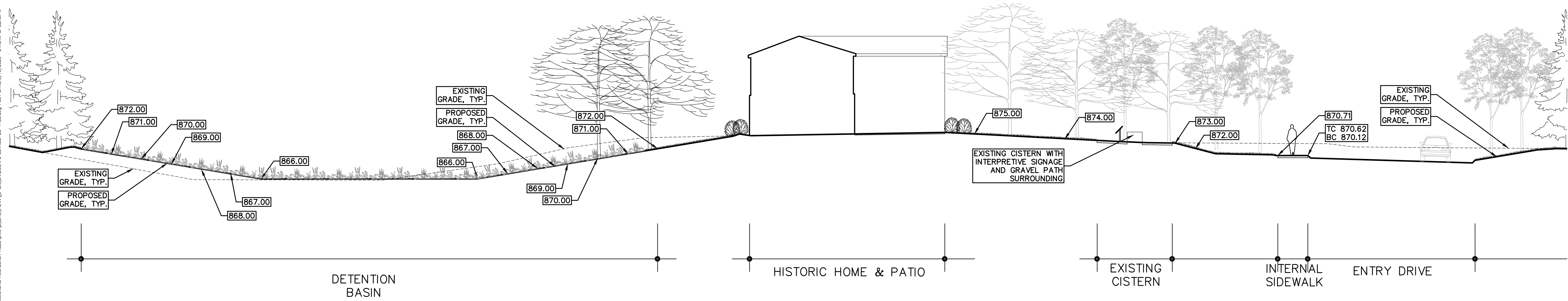
ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

DRAWING TITLE
LANDSCAPE DETAILS

PEA JOB NO.	25-1486
P.M.	ESB
DN.	JRG
DES.	NAB
DRAWING NUMBER:	



2 EAST-WEST SECTION
 SCALE: 1" = 10'-0"






1 NORTH-SOUTH PROPERTY LINE SECTION
 SCALE: 1" = 10'-0"

S:\PROJECTS\2025\25-1486 COMMERCIAL ROCHESTER HILLS\DWG\LANDSCAPE DETAILS-25-1486.dwg PLOT DATES: 5/19/2026 BY: ENH S. Bunk II


S:\PROJECTS\2025\25-1486 COMMERCIAL ROCHESTER HILLS\DWG\25-1486-001-01-01 TREE PRESERVATION PLAN-25-1486.dwg PLOT DATE: 5/19/2026 8:15:58 AM S. Burck III

KEY:

-  = EXISTING TREE / TAG TO BE REMOVED
-  = OFF SITE TREE NOT COUNTED TOWARDS CALCULATIONS
-  = EXISTING TREES TO REMAIN WITH TREE PROTECTION FENCE

PEA GROUP
 t: 844.813.2949
 www.peagroup.com

STATE OF MICHIGAN
 NOAH A. BIRMELEN
 LANDSCAPE ARCHITECT
 No. 1375
Noah BirmeLEN


 NORTH

0 25 50 100
 SCALE: 1" = 50'

811 Know what's below. Call before you dig.

CAUTION!!
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE OR OTHER RESPONSIBILITY IS MADE AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3881 S ADAMS RD
 ROCHESTER HILLS, MI

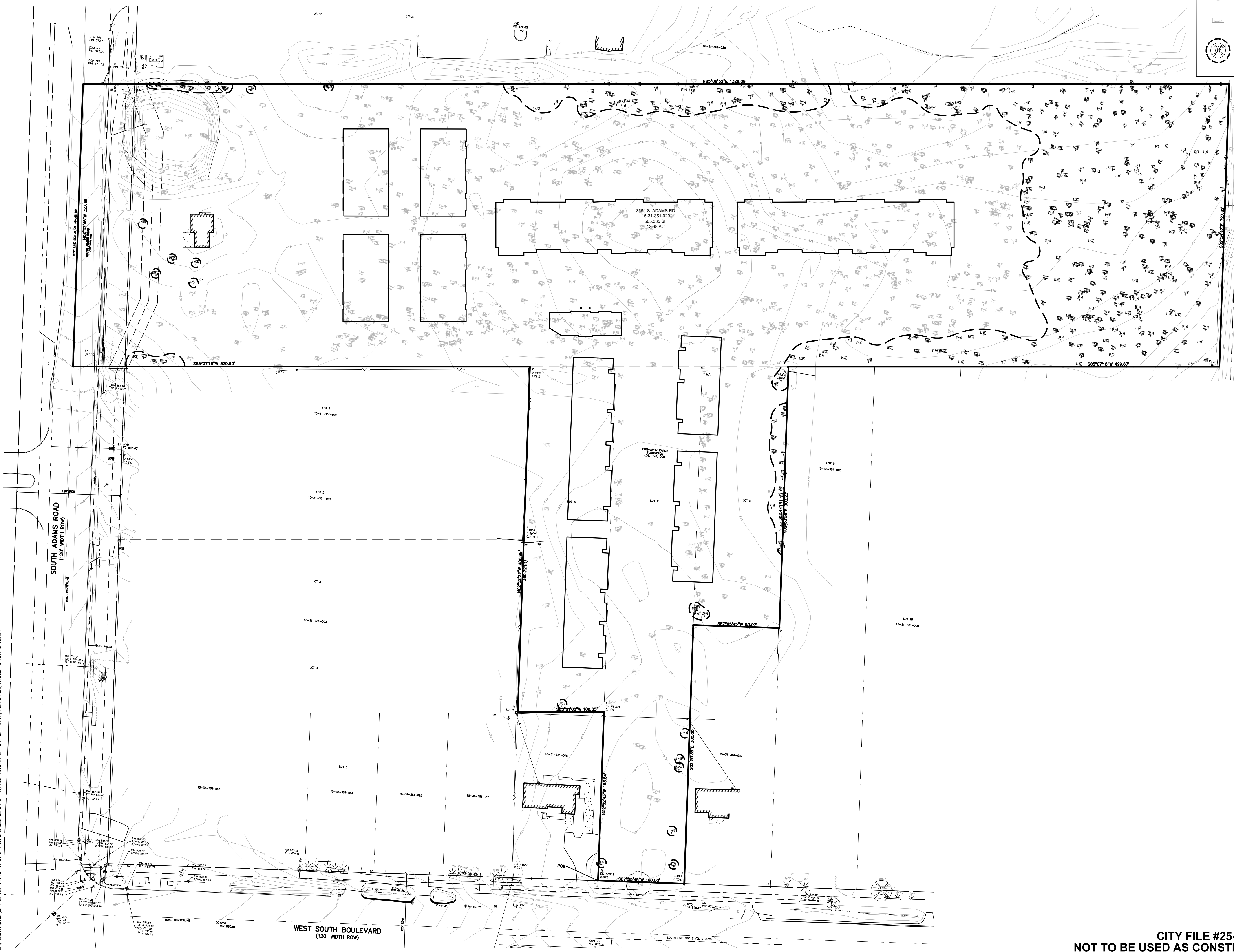
REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

DRAWING TITLE
OVERALL TREE PRESERVATION PLAN

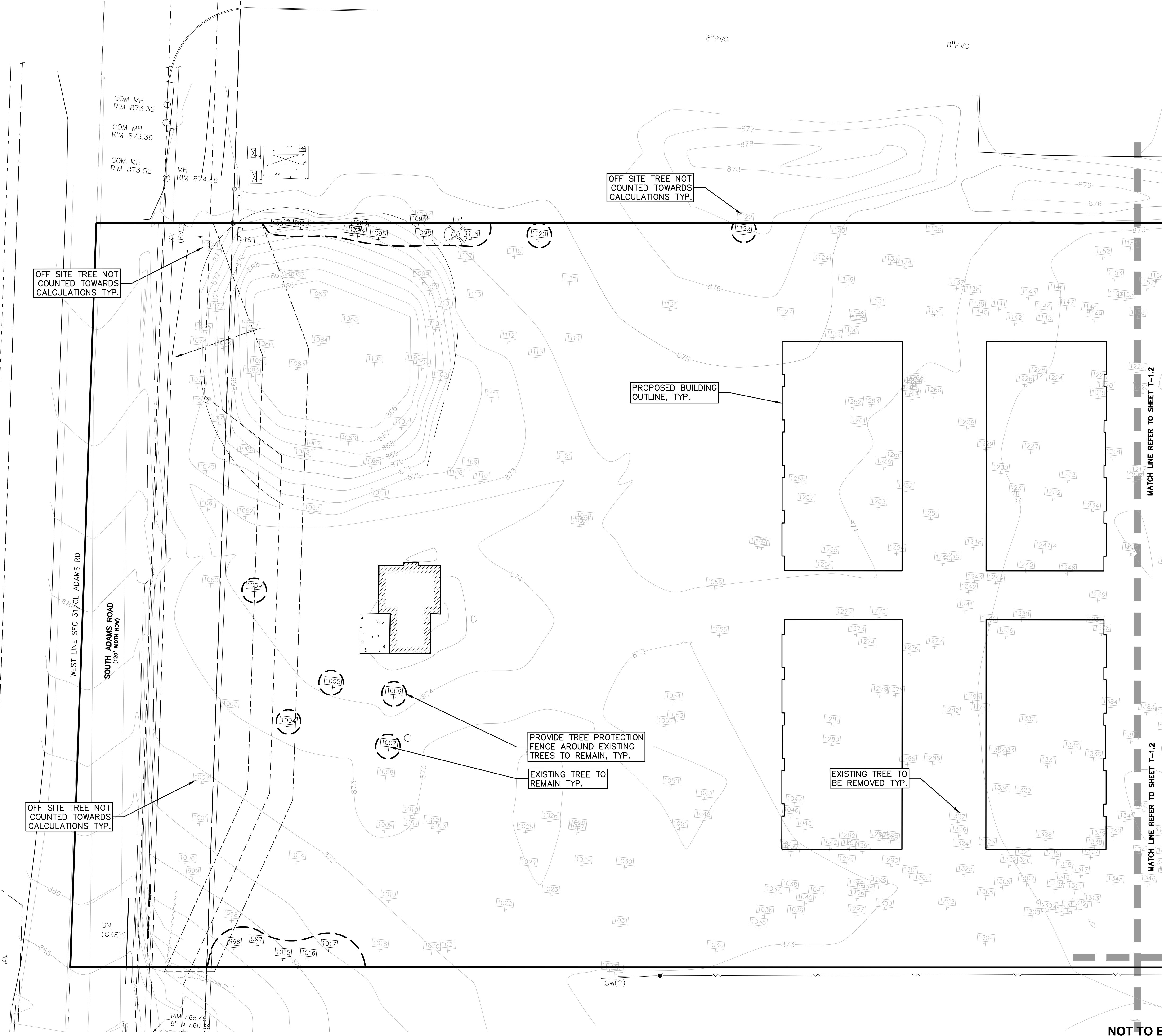
PEA JOB NO.	25-1486
P.M.	ESB
DN.	JRG
DES.	NAB
DRAWING NUMBER:	

T-1.0



**CITY FILE #25-0001, SECTION #31
 NOT TO BE USED AS CONSTRUCTION DRAWINGS**

S:\PROJECTS\2025-25-1486-COMMERCIAL-ROCHESTER HILLS\DWG\SITE_PLAN\T-107 TREE PRESERVATION PLAN-25-1486.dwg PLOT DATE: 5/19/2026 8:15:58 AM S. Bunk III



KEY:

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STATE OF MICHIGAN
 NOAH A. BIRNBAUM
 LANDSCAPE ARCHITECT
 No. 1375
 Noah Birnbaum

NORTH

0 10 20 40
 SCALE: 1" = 20'

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CLIENT
3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3881 S ADAMS RD
 ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

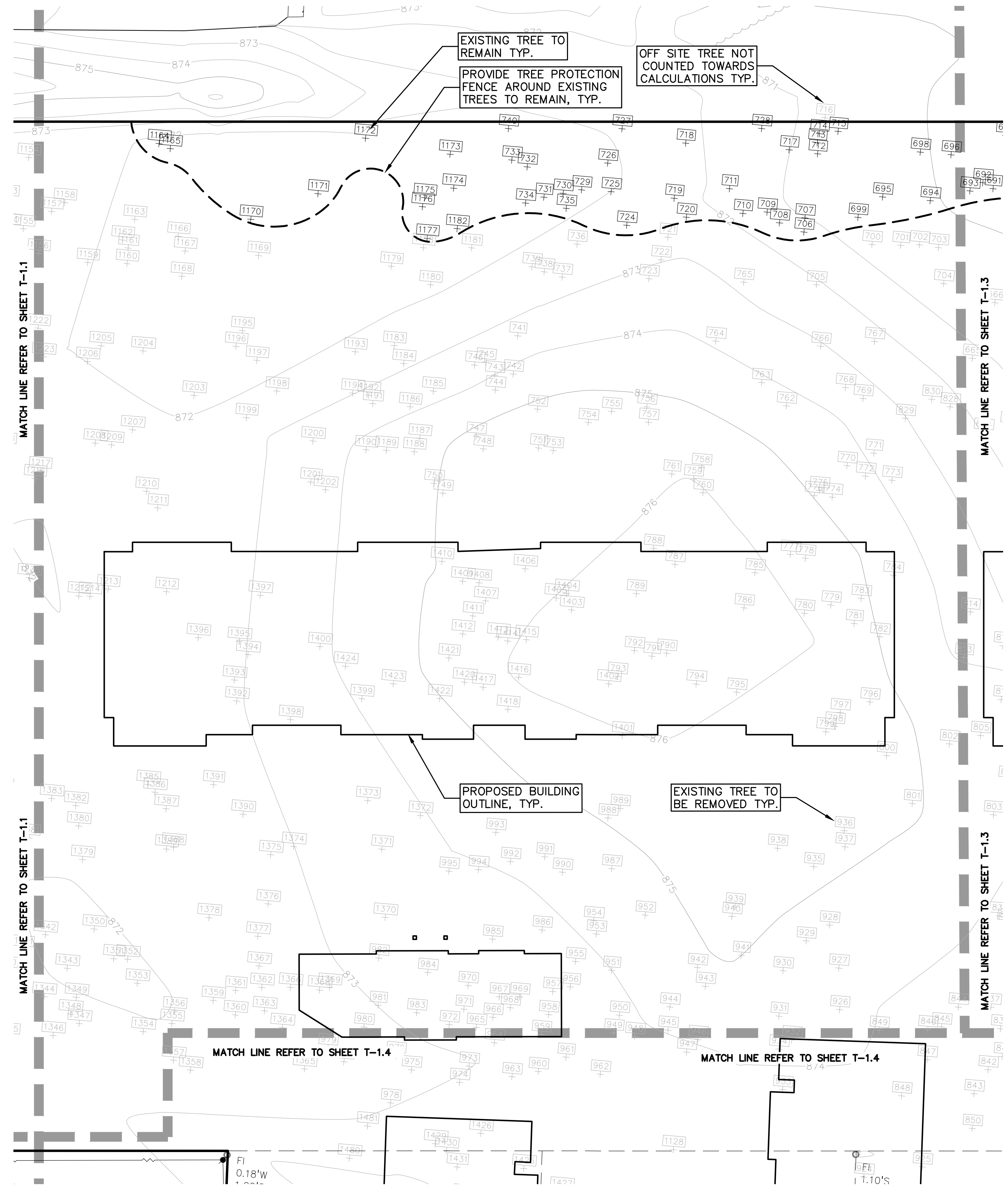
DRAWING TITLE
TREE PRESERVATION PLAN - SHEET 1

PEA JOB NO.	25-1486
P.M.	ESB
DN	JRG
DES.	NAB
DRAWING NUMBER:	

CITY FILE #25-0001, SECTION #31
 NOT TO BE USED AS CONSTRUCTION DRAWINGS

T-1.1

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STATE OF MICHIGAN
 NOAH A. BIRNBAUM
 LANDSCAPE ARCHITECT
 No. 1375
Noah Birnbaum

NORTH

0 10 20 40
 SCALE: 1" = 20'

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CLIENT
3880 SOUTH BLVD OWNER LLC
 281 ENTERPRISE COURT, SUITE 100
 BLOOMFIELD TOWNSHIP, MI

PROJECT TITLE
O'BRIEN - ROCHESTER HILLS
 3881 S ADAMS RD
 ROCHESTER HILLS, MI

REVISIONS	
SPA	02/03/2026
SPA RESUBMITTAL	04/07/2026
SPA RESUBMITTAL	05/15/2026

ORIGINAL ISSUE DATE:
 FEBRUARY 3, 2026

DRAWING TITLE
TREE PRESERVATION PLAN - SHEET 2

PEA JOB NO.	25-1486
P.M.	ESB
DN.	JRG
DES.	NAB
DRAWING NUMBER:	