

NOTE: ADDITIONAL EXIT AND EMERGENCY LIGHTING MAY BE REQUIRED BY THE BUILDING OFFICIAL. PROVIDE UNIT PRICING TO ADD AND / OR DELETE EXIT AND EMERGENCY LIGHTING FIXTURES.

OCCUPANCY LOAD ANALYSIS

(MBC TABLE 1004.1.2)

USE	AREA	LOAD FACTOR	OCCUPANTS
ASSEMBLY AREAS			
UNCONCENTRATED	TABLES	15 NET	74
FIXED SEATING	WAITING	ACTUAL	8
STANDING	WAITING	5 NET	7
FIXED SEATING	BAR	ACTUAL	21
FIXED SEATING	BOOTH	ACTUAL	12
HOSTESS, KITCHEN & DISH	KITCHEN	200	4
KITCHEN EXPO	KITCHEN	ACTUAL	3
BAR	BAR	200	2
MEZZANINE (FUTURE KITCHEN)	MEZZ	200	3
MEZZANINE (BREAK AREA)	MEZZ	ACTUAL	2
INDOOR/OUTDOOR WAIT STAFF		ACTUAL	10
TOTAL:			146

ISSUED FOR	DATE
REVIEW	01.17.2022
SPA REVIEW	05.11.2022
REVIEW	06.06.2022
REVIEW	06.15.2022
SPA REVIEW	07.22.2022
SPA REVIEW	02.15.2023
SPA REVIEW	03.28.2023

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APRI
 PLAN DESIGN BUILD
 ARCHITECTURAL PLANNERS INCORPORATED
 5101 Williams Lake Road, Waterford, MI 48329
 PH: 248.674.1340 www.apri.com

STATE OF MICHIGAN
 ALAN SCOTT HALL
 ARCHITECT
 No. 1301989071
 LICENSED ARCHITECT

REGISTERED DESIGN PROFESSIONAL
 IN RESPONSIBLE CHARGE:
ALAN SCOTT HALL
 LICENSED ARCHITECT
 NO: 1301989071

JOB NAME:
**TENANT IMPROVEMENTS FOR:
 JUAN BLANCO'S TACOS + TEQUILA**

LOCATION:
**1655 E. AUBURN ROAD
 ROCHESTER HILLS, MI 48307**

DRAWN BY:
 BCB

CHECKED BY:
 ASH

SCALE:
 AS NOTED

JOB NO:
 JWRH 2021-20

**ACCESSIBILITY
 &
 LIFE SAFETY PLAN**

A001

SEATING COUNT (INTERIOR)

(2) CHAIR - TABLE	0	=	0
(4) CHAIR - TABLE	12	=	48
(6) CHAIR - TABLE	0	=	0
BAR SEATING	21	=	21
BOOTH SEATING	3	=	12
TABLE / BENCH SEATING	3	=	12
TOTAL DINING:			93

SEATING COUNT (EXTERIOR)

(4) CHAIR - TABLE	21	=	84
WAIT SEATING	6	=	10
TOTAL DINING:			94

ACCESSIBILITY COUNT (INTERIOR)

TOTAL TABLES PROVIDED	=	18
TOTAL SEATS PROVIDED	=	93
		5% (SEATS REQ. MIN.)
NO. OF ACCESSIBLE SEATS REQUIRED	=	5 SEATS (OR 4.65%)

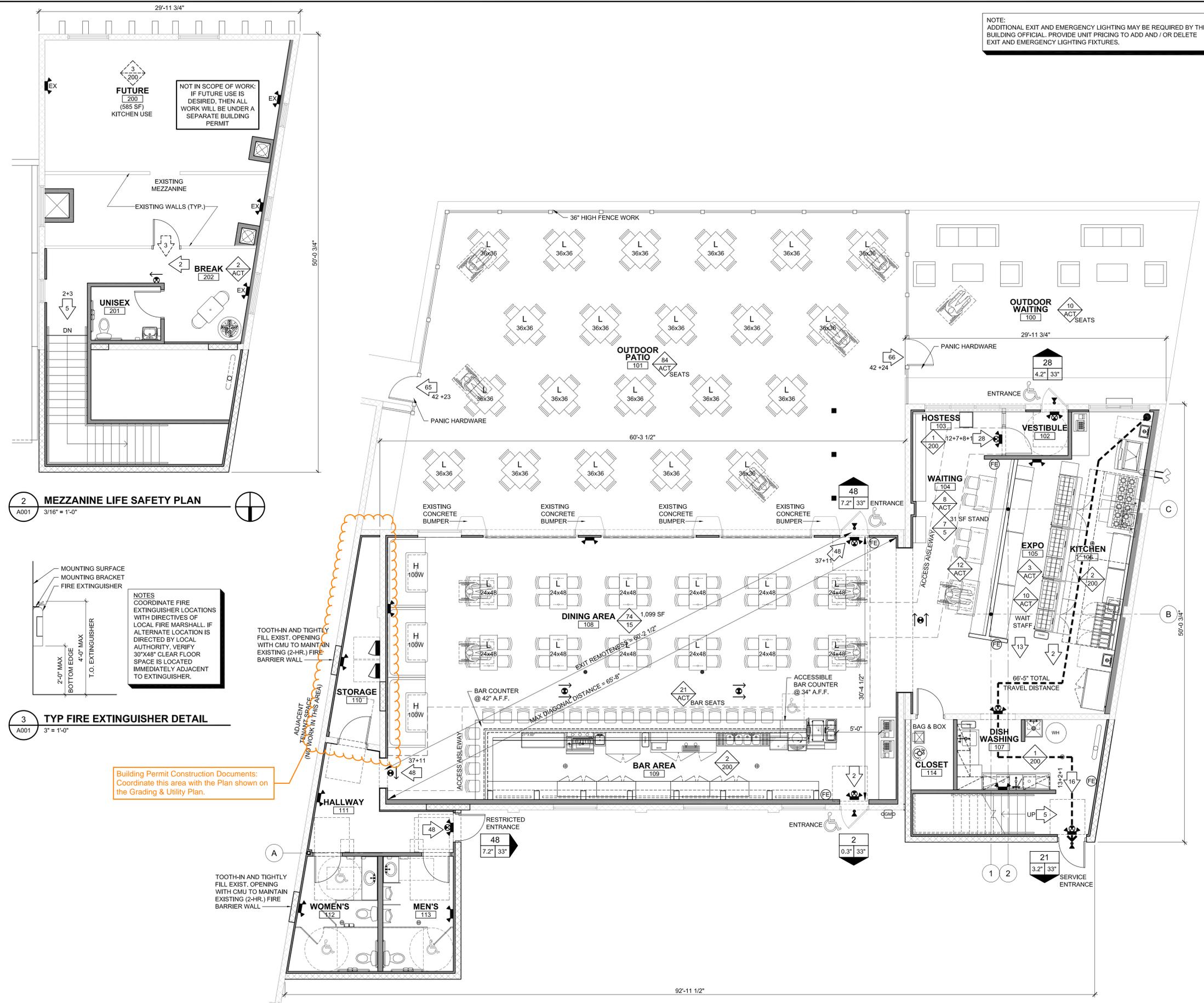
ACCESSIBILITY COUNT (EXTERIOR)

TOTAL TABLES PROVIDED	=	21
TOTAL SEATS PROVIDED	=	94
		5% (SEATS REQ. MIN.)
NO. OF ACCESSIBLE SEATS REQUIRED	=	5 SEATS (OR 4.7%)

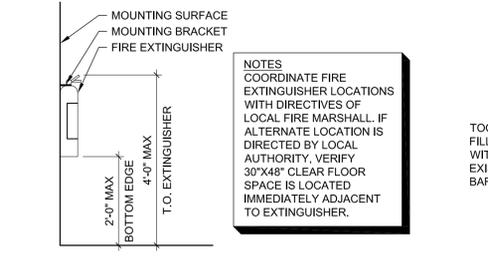
- ### LIFE SAFETY LEGEND
- NUMBER OF CALCULATED OCCUPANTS
 MAX. CODE ALLOWANCE PER OCC.
 200 S.F. (gross) - KITCHEN (commercial)
 ACT - ACTUAL NUMBER OF OCCUPANTS
 - COMMON PATH OF TRAVEL
 - 2A-10B-C 5lb. DRY CHEMICAL FIRE EXTINGUISHER.
 SEE 04/A001 FOR MOUNTING HEIGHT.
 (COORD FINAL LOCATION W/ BUILDING DEPT)
 - NUMBER EGRESS EXIT TOTAL OCCUPANTS
 CLEAR WIDTH PROVIDED
 - MIN. REQUIRED DOOR WIDTH:
 NO. OF OCC x 0.15' (SUPPRESSED) OR
 NO. OF OCC x 0.2' (NOT SUPPRESSED)
 - NEW EXIT SIGN, CONFIRM LOCATION
 REQUIREMENTS W/ FIRE MARSHAL
 - NEW EMERGENCY LIGHT
 - NEW EMERGENCY COMBO LIGHT
 - EXTERIOR REMOTE LIGHT

- ### FURNITURE LEGEND
- L INDICATES LO-TOP TABLE
 - H INDICATES HI-TOP TABLE
 - INDICATES TABLE SIZE (IN INCHES)

- ### GENERAL NOTES
- THE BUILDING ENTRANCE SHALL BE ACCESSIBLE FROM THE PARKING LOT OR NEAREST STREET BY MEANS OF A WALK UNINTERRUPTED BY STEPS OR ABRUPT CHANGES IN GRADE, AND AT LEAST TWO ACCESSIBLE MEANS OF EGRESS SHALL BE PROVIDED WHEN MORE THAN ONE MEANS OF EGRESS IS REQUIRED BY THE BUILDING CODE.
 - ACCESSIBLE RESTROOM FACILITIES SHALL BE PROVIDED FOR THIS OCCUPANCY AS REQUIRED UNDER THE AMERICANS WITH DISABILITIES ACT. G.C. TO VERIFY COMPLIANCE.
 - ALL EGRESS DOORS SHALL BE SIDE HINGED SWINGING TYPES. ALL DOORS SHALL SWING IN THE DIRECTION OF EGRESS AND TWO EXITS ARE REQUIRED WHEN SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS. ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. ALL DOORS SHALL HAVE A MINIMUM CLEAR OPENING OF NOT LESS THAN 32 INCHES.
 - DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. G.C. TO VERIFY THAT CODE COMPLIANT PANIC BARS ARE IN PLACE AND FULLY OPERATIONAL ON EXTERIOR EGRESS DOORS.



2 MEZZANINE LIFE SAFETY PLAN
 A001 3/16" = 1'-0"



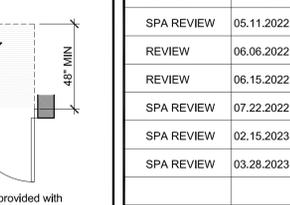
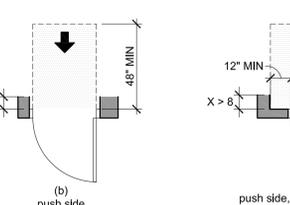
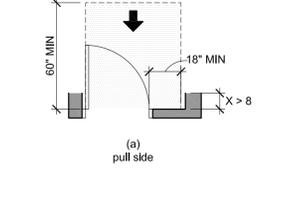
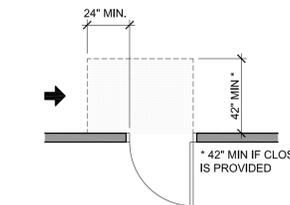
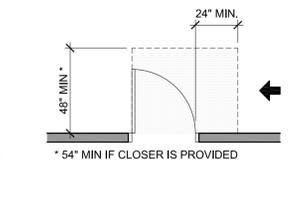
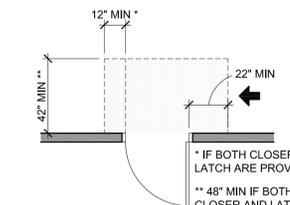
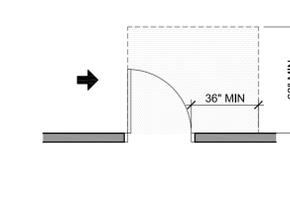
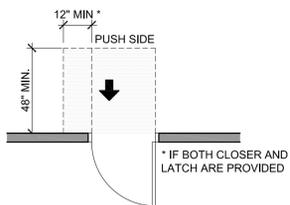
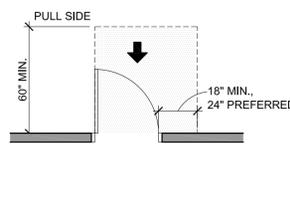
3 TYP FIRE EXTINGUISHER DETAIL
 A001 3" = 1'-0"

1 FIRST FLOOR LIFE SAFETY PLAN
 A001 3/16" = 1'-0"

ROCHESTER HILLS MICHIGAN

JNRA2022-0001
 PSP2022-0009
 Revision #3

Received
 5/10/2023
 City of Rochester Hills
 Planning & Economic
 Development

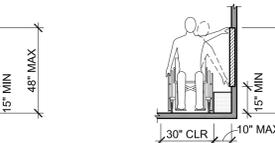
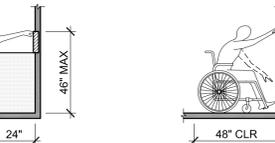
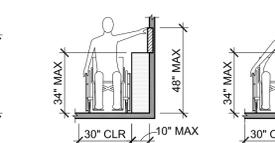
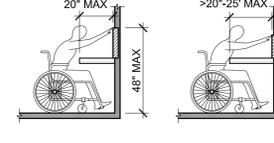
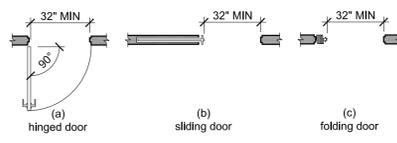
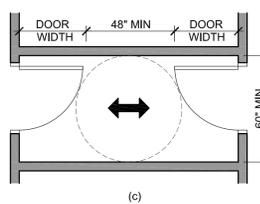
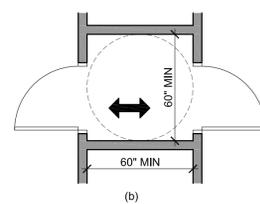
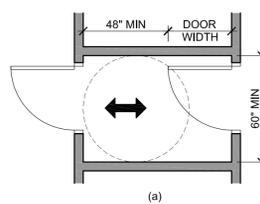


FRONT APPROACHES - SWINGING DOORS

HINGE SIDE APPROACHES - SWINGING DOORS

LATCH SIDE APPROACHES - SWINGING DOORS

MANEUVERING CLEARANCES AT RECESSED DOORS AND GATES



TWO DOORS IN SERIES OR GATES IN SERIES

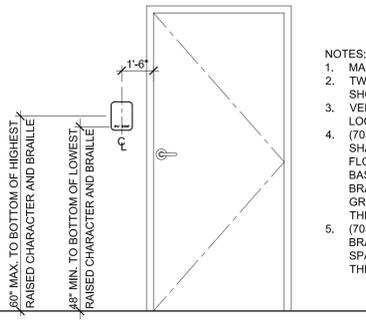
CLEAR WIDTH OF DOORWAYS

OBSTRUCTED HIGH FORWARD REACH

OBSTRUCTED HIGH SIDE REACH

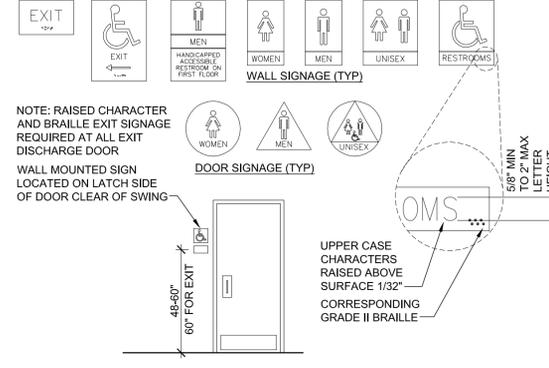
UNOBSTRUCTED FORWARD REACH

UNOBSTRUCTED SIDE REACH



- NOTES:
1. MANUFACTURER / MODEL: CAL-TOYAL / MH-68 WITH BRAIL
 2. TWO PLATES THIS SIZE FOR PUBLIC TOILETS, ONE AS SHOWN, THE OTHER SIMILAR FOR "MEN".
 3. VERIFY AND MEET ACCESSIBILITY CODE STANDARDS OF LOCAL JURISDICTION.
 4. (703.4.1) RAISED CHARACTER AND BRAILLE ON SIGNS SHALL BE LOCATED 48" MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST RAISED CHARACTER AND BRAILLE AND 60" MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST RAISED CHARACTER AND BRAILLE.
 5. (703.4.2) SIGNS CONTAINING RAISED CHARACTER AND BRAILLE SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18" MINIMUM BY 18" MINIMUM IS CENTERED ON THE RAISED CHARACTER AND BRAILLE.

LOCATION OF RAISED CHARACTER AND BRAILLE SIGNS AT DOORS



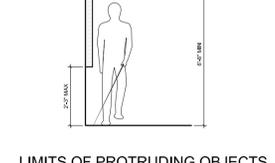
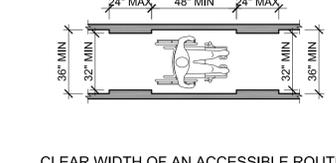
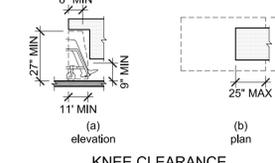
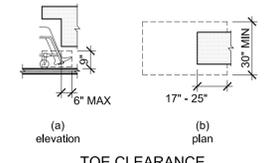
NOTE: RAISED CHARACTER AND BRAILLE EXIT SIGNAGE REQUIRED AT ALL EXIT DISCHARGE DOOR

WALL MOUNTED SIGN LOCATED ON LATCH SIDE OF DOOR CLEAR OF SWING

UPPER CASE CHARACTERS RAISED ABOVE SURFACE 1/32" CORRESPONDING GRADE II BRAILLE

56" MIN TO 2" MAX LETTER HEIGHT

BARRIER FREE SIGNAGE

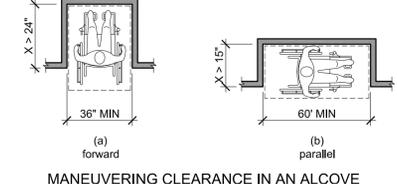
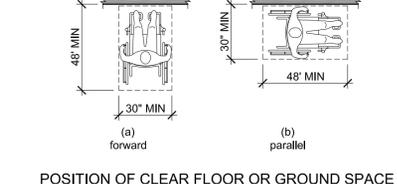
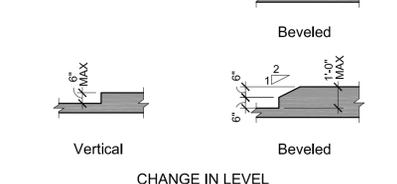


TOE CLEARANCE

KNEE CLEARANCE

CLEAR WIDTH OF AN ACCESSIBLE ROUTE

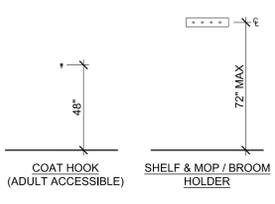
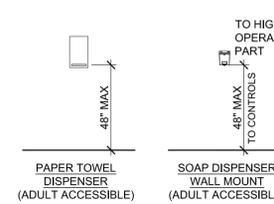
LIMITS OF PROTRUDING OBJECTS



CHANGE IN LEVEL

POSITION OF CLEAR FLOOR OR GROUND SPACE

MANEUVERING CLEARANCE IN AN ALCOVE



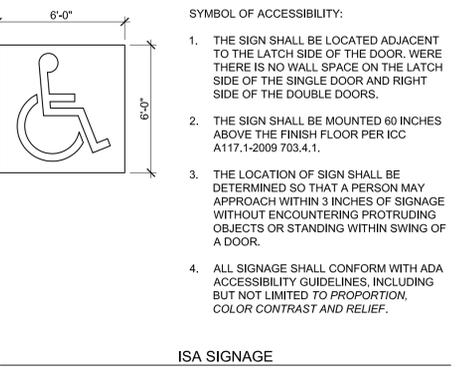
PAPER TOWEL DISPENSER (ADULT ACCESSIBLE)

SOAP DISPENSER WALL MOUNT (ADULT ACCESSIBLE)

COAT HOOK (ADULT ACCESSIBLE)

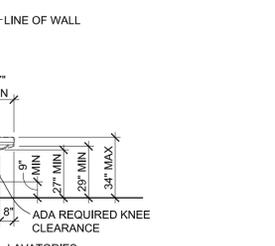
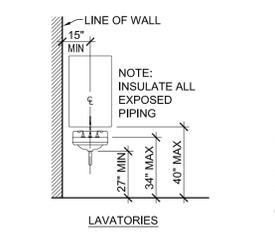
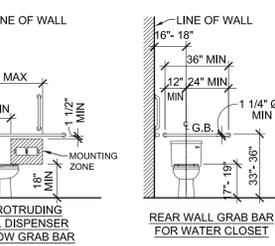
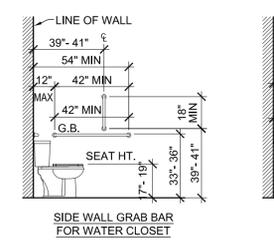
SHELF & MOP / BROOM HOLDER

WALL MOUNTED BABY CHANGER



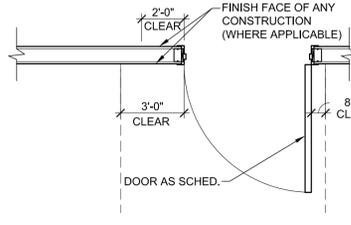
- SYMBOL OF ACCESSIBILITY:
1. THE SIGN SHALL BE LOCATED ADJACENT TO THE LATCH SIDE OF THE DOOR, WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF THE SINGLE DOOR AND RIGHT SIDE OF THE DOUBLE DOORS.
 2. THE SIGN SHALL BE MOUNTED 60 INCHES ABOVE THE FINISH FLOOR PER ICC A117.1-2009 703.4.1.
 3. THE LOCATION OF SIGN SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN SWING OF A DOOR.
 4. ALL SIGNAGE SHALL CONFORM WITH ADA ACCESSIBILITY GUIDELINES, INCLUDING BUT NOT LIMITED TO PROPORTION, COLOR CONTRAST AND RELIEF.

ISA SIGNAGE



GENERAL BARRIER-FREE NOTES

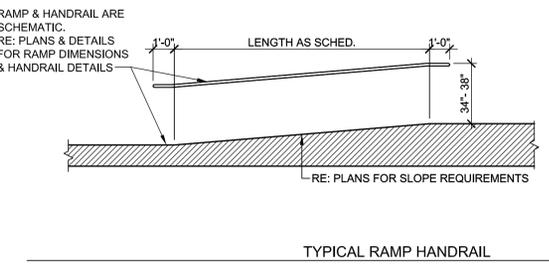
1. ALL CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE (1) HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
2. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN FIVE (5) POUNDS.
3. UNLESS NOTED OTHERWISE, ALL FIXTURES AND CONTROLS SHALL BE MOUNTED SUCH THAT THE UNOBSTRUCTED FORWARD AND SIDE REACH SHALL BE NO HIGHER THAN 48" AND NO LOWER THAN 15" ABOVE THE GROUND OR FLOOR LEVEL.
4. THE STRUCTURAL STRENGTH FOR ALL SEATS AND GRAB BARS SHALL BE SUCH THAT THE ALLOWABLE STRESS IN BENDING, SHEAR, AND TENSION IS NOT EXCEEDED FOR MATERIALS USED WHERE A VERTICAL OR HORIZONTAL FORCE OF 250 POUNDS IS APPLIED AT ANY POINT ON THE SEAT, GRAB BAR, FASTENER MOUNTING DEVICE, OR SUPPORTING STRUCTURE.
5. ALL DIMENSIONS AND MOUNTING HEIGHTS SHALL CONFORM TO ICC/ANSI A117.1-2009 AND MICHIGAN BARRIER FREE DESIGN LAW.



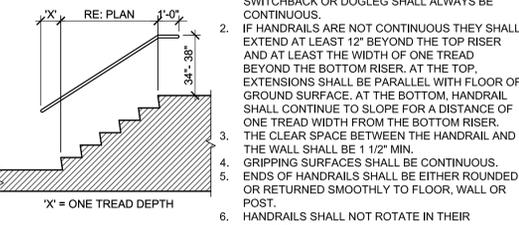
NOTE: CONTRACTOR SHALL CONFIRM COMPLIANCE OF EACH DOOR CLEARANCE PRIOR TO THE LAYOUT OR INSTALLATION OF ANY WALL, CASEWORK OR OTHER ITEM WHICH MAY ENCRoACH INTO THE REQUIRED CLEARANCES PRIOR TO PROCEEDING WITH THE WORK WHICH AFFECTS THE CLEARANCE OF THE DOOR(S) IN QUESTION. IF WORK CONTINUES PRIOR TO NOTIFYING THE ARCHITECT, THE CONTRACTOR SHALL MODIFY THE DOOR LOCATION OR ADJACENT ITEMS AS NECESSARY TO ACHIEVE THE REQUIRED CLEARANCE WITH NO ADDITIONAL COST TO TENANT.

NOTE: REFER TO FLOOR PLAN FOR WALL TYPES.

DOOR CLEARANCE



TYPICAL RAMP HANDRAIL



TYPICAL STAIR HANDRAIL

- NOTE:
1. HANDRAILS SHALL EXTEND AT LEAST 12" BEYOND THE TOP AND BOTTOM OF THE RAMP SEGMENT & SHALL BE PARALLEL WITH THE FLOOR OR GROUND SURFACE.
 2. THE CLEAR SPACE BETWEEN THE HANDRAIL AND THE WALL SHALL BE 1 1/2" MIN.
 3. GRIPPING SURFACES SHALL BE CONTINUOUS. ENDS OF HANDRAIL SHALL BE EITHER ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST.
 4. HANDRAILS SHALL NOT ROTATE IN THEIR FITTINGS.
 5. HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF RAMP SEGMENTS.

P11 - D:\BIDDING\ACTIVEL\2021-20\JUAN BLANCO'S - SHOP DRAWINGS - SHOP DRAWINGS - CAD\A002 - ARCH ACCESSIBILITY DETAILS\A002.31\2023.12.04.PDF

ISSUED FOR	DATE
REVIEW	01.17.2022
SPA REVIEW	05.11.2022
REVIEW	06.06.2022
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STATE OF MICHIGAN
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REGISTERED DESIGN PROFESSIONAL
 IN RESPONSIBLE CHARGE:
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 LICENSED ARCHITECT
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JOB NAME:
**TENANT IMPROVEMENTS FOR:
 JUAN BLANCO'S TACOS + TEQUILA**

LOCATION:
**1655 E. AUBURN ROAD
 ROCHESTER HILLS, MI 48307**

DRAWN BY:
 BCB

CHECKED BY:
 ASH

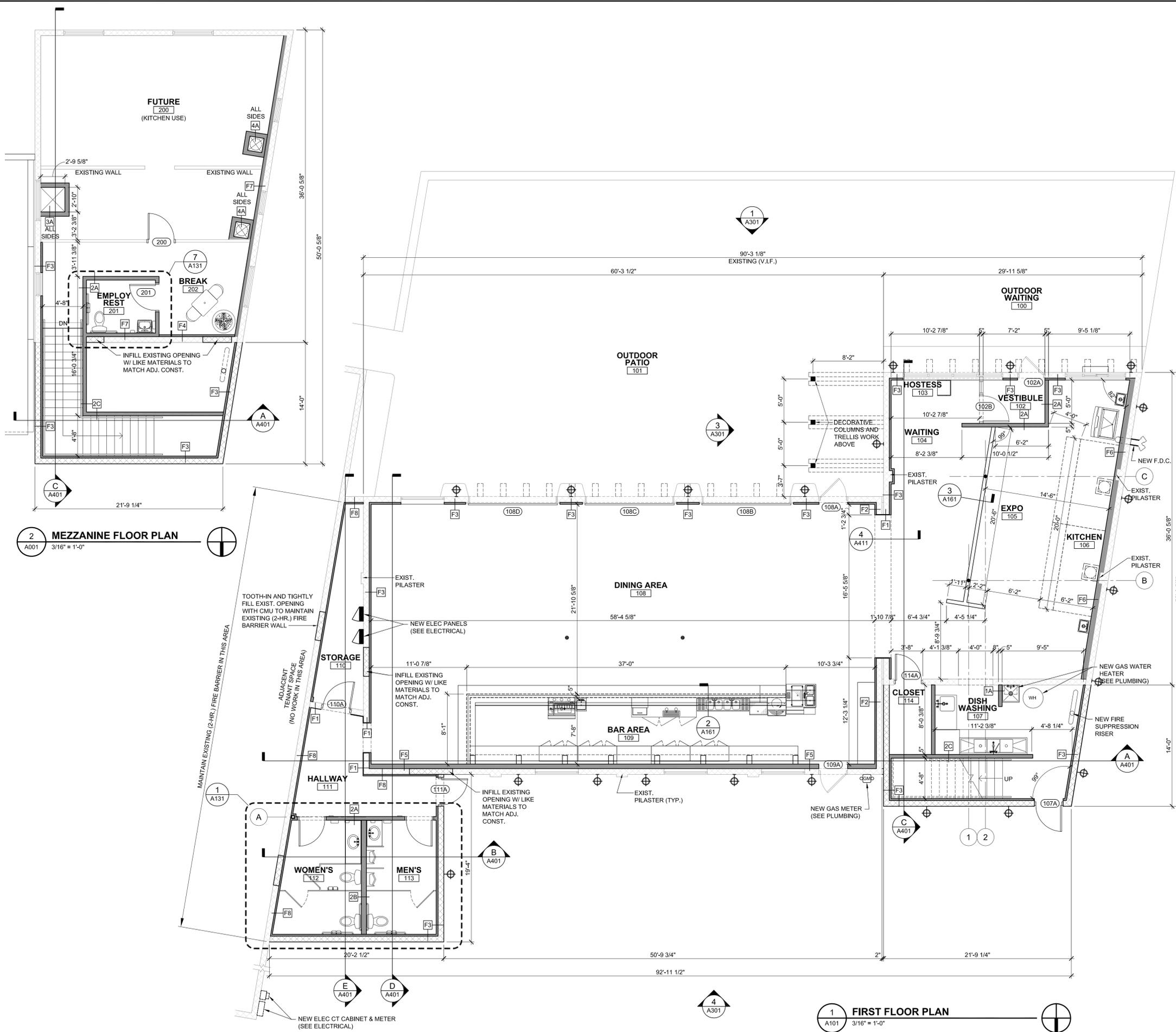
SCALE:
 AS NOTED

JOB NO:
 JWRH 2021-20

**ACCESSIBILITY
 DETAILS**

A002

P11 - JEREBONS ACTIVELY JWRH 2021-20 JUAN BLANCO'S - ROCHESTER HILLS 15 CAD - PDF - DRAWINGS - SHOP DRAWINGS - CADV101 - JWRH-FLOOR PLAN DWG 13/12/2023 12:28 PM



WALL LEGEND

	EXISTING STUD WALLS TO REMAIN
	EXISTING CMU WALLS TO REMAIN
	NEW METAL STUD WALL - EXTEND WALL TO DECK
	NEW PARTIAL HEIGHT WALLS
	NEW CMU WALLS

DOOR LEGEND

	DOOR MARK
	EXISTING DOOR TO REMAIN (SEE DOOR SCHEDULE)
	NEW DOOR (SEE DOOR SCHEDULE)

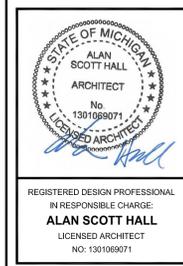
- GENERAL CONSTRUCTION NOTES**
- DO NOT SCALE DRAWINGS. NECESSARY DIMENSIONS ARE GIVEN. DIMENSIONS ARE TO BE VERIFIED IN THE FIELD FOR EXISTING CONDITIONS. DISCREPANCIES OR QUESTIONS REGARDING DIMENSIONS SHOULD BE DIRECTED TO THE ATTENTION OF THE ARCHITECT.
 - THE FLOOR PLAN IS A COMPOSITE DRAWING OF THE EXISTING BUILDING AND NEW CONSTRUCTION. THE EXISTING IS INDICATED IN LIGHTER LINE OR OUTLINE FORM. NEW CONSTRUCTION IS SHOWN BY A HEAVIER LINE WEIGHT AND IDENTIFIED BY LABEL, NOTE, MATERIAL PATTERN OR REFERENCED DRAWINGS. DEMOLITION IS SHOWN BY DASHED LINES.
 - THE EXISTING LAYOUT AND DIMENSIONS SHOWN ARE APPROXIMATE AND SHOULD BE USED FOR BIDDING PURPOSES ONLY. ACTUAL, FIELD VERIFICATION OF ALL EXISTING CONDITIONS SHALL BE UTILIZED PRIOR TO LAYOUT AND INSTALLATION OF ANY NEW CONSTRUCTION.
 - ALL WORK PROVIDED AND INSTALLED BY THE CONTRACTORS SHALL MEET THE LATEST EDITIONS OF ALL STATE, LOCAL, FEDERAL, AND N.E.C. REGULATIONS AND CODES.
 - ALL INTERIOR DIMENSIONS ARE TO FINISH FACE OF GYP. BD. (TYPICAL, UNLESS NOTED OTHERWISE).
 - ALL INTERIOR PARTITIONS ARE 3-5/8" METAL STUDS AT 16" O.C. W/ 5/8" GYP. BD. EACH SIDE (TYP., UNLESS NOTED OTHERWISE).
 - ALL PENETRATIONS OF FIRE WALLS SHALL BE PROPERLY FINISHED AND PROTECTED IN ACCORDANCE WITH U.L. SPECIFICATIONS.
 - OCCUPIED ROOMS ARE TO COMPLY WITH BARRIER-FREE REQUIREMENTS.
 - PROVIDE BARRIER FREE BUILDING SIGNAGE AT ENTRANCES AND TOILET ROOMS AS PER "MICHIGAN BARRIER - FREE" DESIGN REQUIREMENTS (SEE SHEET A002).
 - PATCH ALL REMAINING WALLS, FLOORS AND CEILINGS AT DEMOLITION LOCATIONS TO MATCH EXISTING OR PREPARE TO RECEIVE NEW FINISHES AND TEXTURES AS REQUIRED.
 - ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE, SECTIONS 801 THROUGH 808.
 - CONTRACTOR IS TO COORDINATE ALL WALL, CEILING, FLOOR, ETC. FINISHES, LOCATIONS AND MATERIAL SPECIFICATIONS WITH TENANT PRIOR TO CONSTRUCTION.
 - PROVIDE WALL REINFORCEMENT IN STUD WALLS FOR ATTACHMENT OF ALL RESTROOM ACCESSORIES, SHELVING, FURNITURE, TELEVISION BRACKETS, ETC., INCLUDING TENANT SUPPLIED AND INSTALLED UNITS (COORDINATE W/ TENANT). COMBUSTIBLE MATERIALS ARE ALLOWABLE.
 - ALL SERVICE COUNTERS AND DISPENSING AREAS SHALL HAVE A PORTION A MINIMUM OF 36" WIDE AND MAXIMUM 34" ABOVE FINISH FLOOR (48" A.F.F. MAXIMUM REACH HEIGHT) FOR BARRIER FREE ACCESS (SEE INTERIOR ELEVATIONS SHEET A501).
 - FURNISHING LOCATIONS AND SIZES SHOWN ARE FOR REFERENCE ONLY. EXACT LOCATIONS AND SIZES ARE TO BE FIELD VERIFIED WITH TENANT.
 - CONTRACTOR SHALL VERIFY AND COORDINATE THE LOCATIONS, ELEVATIONS, AND CONFIGURATIONS OF ALL MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS TO BE PROVIDED. POTENTIAL INTERFERENCES SHOULD BE DIRECTED TO THE ATTENTION OF THE ARCHITECT.
 - PLUMBING, MECHANICAL AND ELECTRICAL CONTRACTORS SHALL BE RESPONSIBLE FOR THE APPLICATIONS AND FEES FOR ANY REQUIRED PERMITS AND DRAWINGS.

- QUALITY ASSURANCE NOTES**
- ALL WORK SHALL BE DONE ACCORDING TO APPLICABLE BUILDING CODES AND ORDINANCES AS WELL AS THE BEST PRACTICE AND STANDARDS OF THE TRADE. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING PROPER PERMITS AND PAYING ALL APPLICABLE FEES.
 - THE CONTRACT DOCUMENTS DO NOT ATTEMPT TO DIVIDE AND ASSIGN WORK TO THE SUBCONTRACTORS. VERIFY WITH THE CONTRACTOR ASSIGNMENTS OF WORK, ESPECIALLY THOSE ITEMS WHICH COULD BE ASSIGNED TO VARIOUS SUBCONTRACTORS.
 - EACH SUBCONTRACTOR IS SOLELY RESPONSIBLE TO BE INFORMED, TO PROVIDE FOR AND MAINTAIN SAFETY OF OPERATING EQUIPMENT AND HANDLING OF MATERIALS. THE CONTRACTOR SHALL COMPLY WITH SAFETY STANDARDS OF OSHA, MIOSHA AND ANY OTHER STANDARD ENFORCEABLE BY LAW.

ISSUED FOR

ISSUED FOR	DATE
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SPA REVIEW	05.11.2022
REVIEW	06.06.2022
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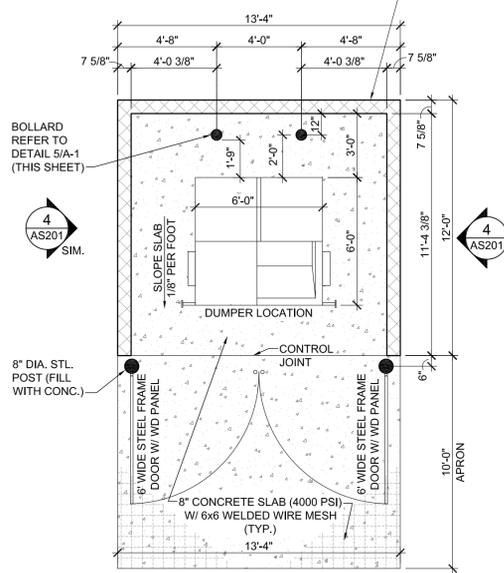
TENANT IMPROVEMENTS FOR:
JUAN BLANCO'S TACOS + TEQUILA
 LOCATION:
1655 E. AUBURN ROAD
ROCHESTER HILLS, MI 48307

DRAWN BY: BCB
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SCALE: AS NOTED
JOB NO: JWRH 2021-20
FLOOR PLAN

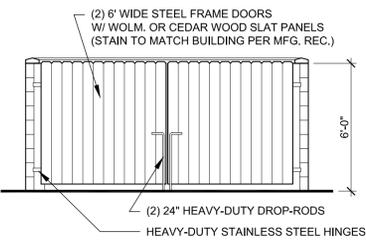
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 PSP2022-0009
 Revision #3
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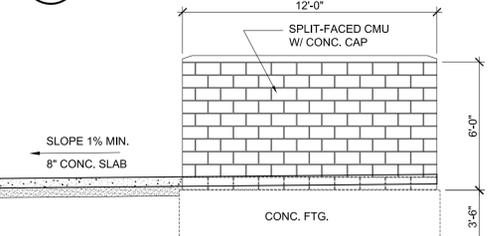
NOTE:
ENCLOSURE HEIGHT = 6'-0"
DUMPSTER ENCLOSURE TO BE MADE OF
8" SPLIT-FACED MASONRY.
(COMPLEMENTARY COLOR WITH BUILDING)



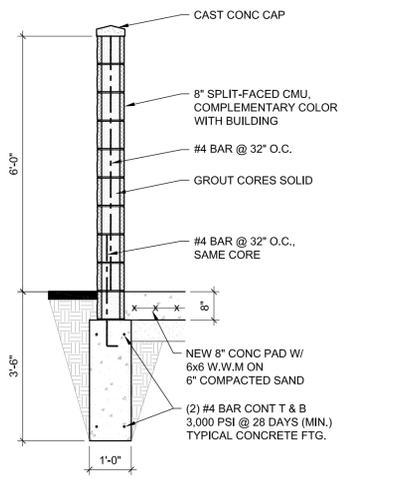
6 DUMPSTER ENCLOSURE PLAN DETAIL
AS201 1/4" = 1'-0"



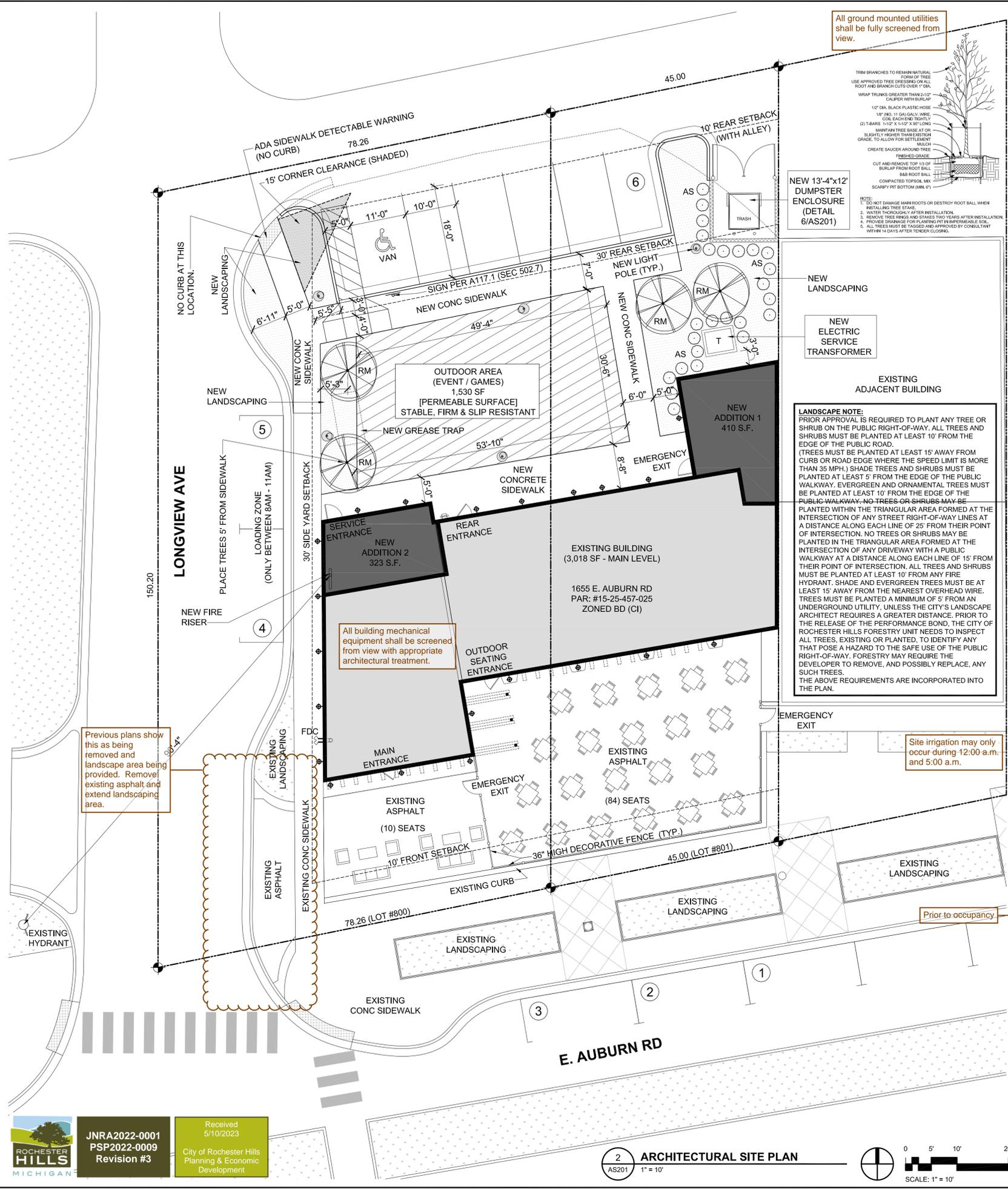
5 DUMPSTER ENCLOSURE GATE ELEVATION
AS201 1/4" = 1'-0"



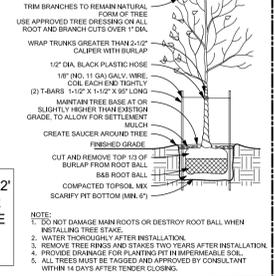
4 DUMPSTER ENCLOSURE SIDE ELEVATION
AS201 1/4" = 1'-0"



3 DUMPSTER WALL SECTION (TYP.)
AS201 1/2" = 1'-0"



All ground mounted utilities shall be fully screened from view.



NEW 13'-4"x12' DUMPSTER ENCLOSURE (DETAIL 6/AS201)

LANDSCAPE NOTE:
PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB ON THE PUBLIC RIGHT-OF-WAY. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC ROAD.
(TREES MUST BE PLANTED AT LEAST 15' AWAY FROM CURB OR ROAD EDGE WHERE THE SPEED LIMIT IS MORE THAN 35 MPH.) SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY. NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY LINES AT A DISTANCE ALONG EACH LINE OF 25' FROM THEIR POINT OF INTERSECTION. NO TREES OR SHRUBS MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC WALKWAY AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE HYDRANT. SHADE AND EVERGREEN TREES MUST BE AT LEAST 15' AWAY FROM THE NEAREST OVERHEAD WIRE. TREES MUST BE PLANTED A MINIMUM OF 5' FROM AN UNDERGROUND UTILITY. UNLESS THE CITY'S LANDSCAPE ARCHITECT REQUIRES A GREATER DISTANCE, PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS FORESTRY UNIT NEEDS TO INSPECT ALL TREES, EXISTING OR PLANTED, TO IDENTIFY ANY THAT POSE A HAZARD TO THE SAFE USE OF THE PUBLIC RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE, AND POSSIBLY REPLACE, ANY SUCH TREES.
THE ABOVE REQUIREMENTS ARE INCORPORATED INTO THE PLAN.

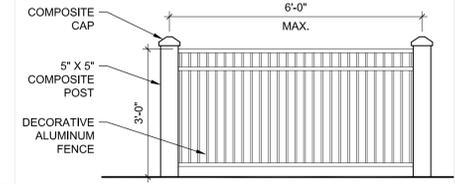
- ### GENERAL SITE CONSTRUCTION NOTES
- DO NOT SCALE DRAWINGS. NECESSARY DIMENSIONS ARE GIVEN. DIMENSIONS ARE TO BE VERIFIED IN THE FIELD FOR EXISTING CONDITIONS. DISCREPANCIES OR QUESTIONS REGARDING DIMENSIONS SHOULD BE DIRECTED TO THE ATTENTION OF THE ARCHITECT.
 - ALL WORK PROVIDED AND INSTALLED BY THE CONTRACTORS SHALL MEET THE LATEST EDITIONS OF ALL STATE, LOCAL, FEDERAL, AND N.E.C. REGULATIONS AND CODES.
 - CONTRACTOR SHALL IDENTIFY PLANNED SITE ACCESS, EQUIPMENT ACCESS, TEMPORARY PARKING AREAS, MATERIAL STORAGE AREAS, AND DEMOLITION FOR APPROVAL BY OWNER.
 - LOCATE ALL UTILITIES BY HAND EXCAVATION OR IN AN APPROVED MANNER AND PROVIDE PROPER PROTECTION FROM DAMAGE.
 - NOTIFY OWNER AND CONTACT ALL APPROPRIATE UTILITY COMPANIES PRIOR TO WORK OR DISRUPTION OF SERVICE.
 - ALL NEW SIDEWALKS AND PATIOS SHALL NOT HAVE A CROSS SLOPE GREATER THAN 2% IN EITHER DIRECTION.

- ### PARKING CALCULATIONS
- (1) ACCESSIBLE PARKING SPACE REQUIRED: (1) ACCESSIBLE PARKING SPACE PROVIDED.
 - THE SITE IS APPROXIMATELY 378 FEET +/- FROM A PUBLIC PARKING LOT.
 - PARKING MAY BE REDUCED BY 20%.
 - ON-STREET PARKING MAY COUNT TOWARDS REQUIRED PARKING SPACES.
 - (1) PARKING SPACE IS REQUIRED PER 400 SF OF BUILDING.
- TOTAL BUILDING SF = 3,751 FIRST FLOOR + 965 MEZZ. = 4,716 SF
TOTAL PARKING = 4,716 SF / 400 = 12 PARKING SPACES REQ. ALSO ALLOWED TO BE 20% LESS = (10) PARKING SPACES ARE REQUIRED
- (6) PARKING SPACES (INCLUDING ONE ADA SPACE) IS PROVIDED ON-SITE
(5) SPACES ARE PROVIDED ON-STREET
(TWO OF WHICH HAVE LIMITED USE FOR SCHEDULED LOADING ZONE TIMES)
- (11) TOTAL PARKING SPACES ARE AVAILABLE.

PLANTING SCHEDULE

SYMBOL	COMMON NAME	SYMBOL	QTY.	BOTANICAL NAME	HEIGHT
(RM)	AMERICAN RED MAPLE	RM	4	ACER RUBRUM 'BRANDYWINE'	6'-7'
(AS)	EMERALD GREEN ARBORVITAE SHRUB	AS	25	THUJA OCCIDENTALIS 'SMARAGD'	7'-7' (MIN.)

- ### LANDSCAPE NOTES
- ALL PLANT MATERIAL SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN, INC. (AA) STANDARD FOR NURSERY STOCK.
 - NO PLANTING (BUSHES, TREES, FLOWERS, OR SOD) SHALL BE INSTALLED PRIOR TO ALL IRRIGATION SYSTEMS IN PLACE.
 - PLANTING SCHEDULES:
 - 1) DECIDUOUS MATERIAL SHALL BE PLANTED FROM MARCH 15 FOR SPRING PLANTING AND FROM OCTOBER 1 UNTIL THE GROUND FREEZES FOR FALL PLANTING.
 - 2) EVERGREEN MATERIAL SHALL BE PLANTED FROM MARCH 1 THROUGH MAY 31 FOR SPRING PLANTING AND FROM AUGUST 1 THROUGH SEPTEMBER 30 FOR ALL FALL PLANTING.
 - PROVIDE WEED MAT FOR GREENBELT AND FOUNDATION PLANTINGS.
 - ALL PLANTING BEDS ARE TO BE EDGED. RECOMMENDED EITHER "RYERSON STEEL" EDGING OR "BLACK DIAMOND" PLASTIC EDGING.
 - ALL NEW LANDSCAPE AREAS ARE TO BE IRRIGATED.
 - INSTALLATION, LANDSCAPING SHALL BE INSTALLED IN A SOUND, WORKMANLIKE MANNER TO ENSURE THE CONTINUED GROWTH OF HEALTHY PLANT MATERIAL.
 - MULCH. ALL TREES AND SHRUBS SHALL BE MULCHED WITH FOUR (4) INCHES OF SHREDDED HARDWOOD BARK AT THE TIME OF PLANTING. ALTERNATIVE MULCHES, SUCH AS GRAVEL, STONE, PAVERS, OR OTHER NON-LIVING MATERIAL, SHALL BE OF ADEQUATE DEPTH TO ENSURE TOTAL COVERAGE AND SHALL BE PLACED ON A NON-BIODEGRADABLE WEED BARRIER. THE USE OF ALTERNATIVE MULCHES IS SUBJECT TO APPROVAL BY THE OWNER.
 - STAKING. EVERGREEN AND ORNAMENTAL TREES SHALL BE STAKED FOR ONE YEAR, OR UNTIL ESTABLISHED. STAKES ARE TO BE REMOVED UPON THE OCCURRENCE OF EITHER EVENT.
 - INSTALLATION OF GRASS AREAS, LOTS OR PARCELS SHALL BE SEEDED OR SODDED WITHIN NINETY (90) DAYS AFTER OCCUPANCY.
 - PROTECTION FROM VEHICLES. LANDSCAPE AREAS SHALL BE ELEVATED ABOVE THE PAVEMENT TO A HEIGHT ADEQUATE TO PROTECT THE PLANTS FROM SNOW REMOVAL, SALT, AND OTHER HAZARDS.
 - MAINTENANCE. LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY, NEAT, AND ORDERLY APPEARANCE. FREE FROM WEEDS, REFUSE, AND DEBRIS. PLANTINGS SHALL BE CONTINUOUSLY MAINTAINED IN A SOUND, HEALTHY, AND VIGOROUS GROWING CONDITION PER THE APPROVED LANDSCAPE PLAN.
 - UNHEALTHY OR DEAD MATERIAL. ALL UNHEALTHY AND DEAD PLANT MATERIAL SHALL BE REPLACED IMMEDIATELY UPON NOTICE FROM THE BUILDING OFFICIAL, UNLESS THE SEASON IS NOT APPROPRIATE FOR PLANTING, IN WHICH CASE SUCH PLANT MATERIAL SHALL BE REPLACED AT THE BEGINNING OF THE NEXT PLANTING SEASON.



1 DECORATIVE FENCE DETAIL (TYP.)
AS201 SCALE: 1/2" = 1'-0"

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STATE OF MICHIGAN
ALAN SCOTT HALL
ARCHITECT
No. 1391098071
LICENSED ARCHITECT

REGISTERED DESIGN PROFESSIONAL
IN RESPONSIBLE CHARGE:
ALAN SCOTT HALL
LICENSED ARCHITECT
No. 1301098071

JOB NAME:
**TENANT IMPROVEMENTS FOR:
JUAN BLANCO'S TACOS + TEQUILA**

LOCATION:
**1655 E. AUBURN ROAD
ROCHESTER HILLS, MI 48307**

DRAWN BY:
BCB

CHECKED BY:
ASH

SCALE:
AS NOTED

JOB NO:
JWRH 2021-20

ARCHITECTURAL
SITE PLAN

AS201

ROCHESTER HILLS MICHIGAN

JNRA2022-0001
PSP2022-0009
Revision #3

Received
5/10/2023

City of Rochester Hills
Planning & Economic
Development

2 ARCHITECTURAL SITE PLAN
AS201 SCALE: 1" = 10'

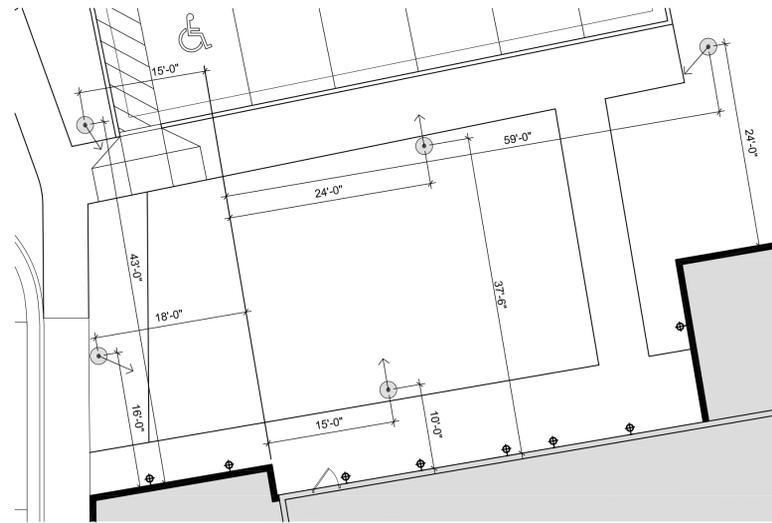
1 DECORATIVE FENCE DETAIL (TYP.)
AS201 SCALE: 1/2" = 1'-0"

LIGHTING FIXTURE SCHEDULE												
MARK	SYMBOL	DESCRIPTION	MANUFACTURER	MODEL # / COLOR	QTY	MOUNTING	LAMP VOLT	LAMP TYPE	LIGHT LOSS FACTOR	LAMP TYPE	PHOTOMETRIC LUMINOUS FLUX	REMARKS
A-1	⊕	WALL SCNCE	CREE INC. (BULB)	A19-60W-P1-27K-E26-U1 (BRONZE FIXTURE)	4	WALL	120V/277V	9.5W LED	0.80	3000K	879 LM	MOUNT 8'-8" A.F.F. TO CENTER OF FIXTURE
A-2	⊕	WALL SCNCE	CREE INC. (BULB)	A19-60W-P1-27K-E26-U1 (BRONZE FIXTURE)	17	WALL	120V/277V	9.5W LED	0.80	3000K	879 LM	MOUNT 7'-0" A.F.F. TO CENTER OF FIXTURE
B-1	⊙	15'-0" HIGH PARKING LOT POLE LIGHT	WESTGATE MFG	GPX-18-18W-MCTP-A2	3	BASE	120V/277V	18W LED	0.80	3000K	2700 LM	POST DISK LIGHT WITH TWIN ARM
B-2	⊙	20'-0" HIGH PARKING LOT POLE LIGHT	WESTGATE MFG	GPX-18-18W-MCTP-A2	1	BASE	120V/277V	18W LED	0.80	3000K	2700 LM	POST DISK LIGHT WITH TWIN ARM
B-3	⊙	20'-0" HIGH PARKING LOT POLE LIGHT	WESTGATE MFG	GPX-18-30W-MCTP-A2	1	BASE	120V/277V	30W LED	0.80	3000K	4500 LM	POST DISK LIGHT WITH TWIN ARM

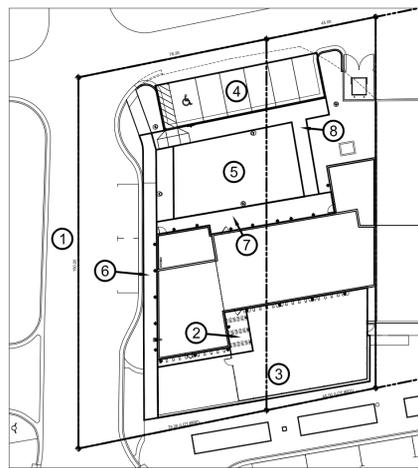
PHOTOMETRIC STATISTICS SCHEDULE							
ZONE NO.	Name	MIN	MAX	AVG	MIN / AVG	MIN / MAX	AVG / MIN (REQ = < 4)
①	OVERALL SITE PROPERTY LINES	0.022 FC	3.99 FC	1.13 FC	-	-	-
②	BUILDING ENTRY SIDEWALK	1.12 FC	2.38 FC	1.74 FC	0.645	0.470	1.55
③	FRONT OUTDOOR SEATING AREA	**0.050 FC	**1.92 FC	**0.52 FC	-	-	**CITY STREET LIGHTS OMITTED
④	REAR PARKING AREA	0.34 FC	3.39 FC	1.32 FC	0.255	0.099	3.88
⑤	REAR ACTIVITY AREA	1.18 FC	3.91 FC	2.55 FC	0.465	0.302	2.16
⑥	SIDE BUILDING ENTRANCE ALONG LONGVIEW AVE	1.29 FC	3.49 FC	2.20 FC	0.586	0.369	1.70
⑦	REAR BUILDING ENTRY SIDEWALK	1.14 FC	3.99 FC	2.99 FC	0.382	0.286	2.62
⑧	REAR PARKING BUILDING ENTRY SIDEWALK	1.18 FC	3.84 FC	2.57 FC	0.458	0.306	2.18

NOTE:
ALL EXTERIOR LIGHTING SHALL INCORPORATE AUTOMATIC TIMERS AND SHALL BE TURNED OFF BETWEEN THE HOURS OF MIDNIGHT AND SUNRISE, EXCEPT FOR LIGHTING NECESSARY FOR SECURITY PURPOSES OR ACCESSORY TO A USE THAT CONTINUES AFTER MIDNIGHT.

All fixtures shall comply with Illuminating Engineering Society of North America standards.



4 SITE LIGHT POLE - LAYOUT PLAN
AS401 SCALE: 1" = 10'-0"



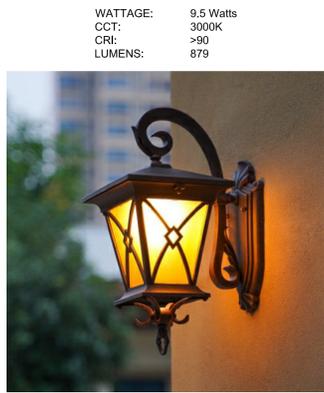
4 PHOTOMETRIC LIGHTING ZONE DIAGRAM
AS401 SCALE: N.T.S.



TWIN ARM Mount

WATTAGE: 18 & 30 Watts
CCT: 3000K
CRI: >70
LUMENS: 2700 & 4500
DIMMING: 0-10V

3 POLE MOUNTED LED PARKING LIGHT
AS401 SCALE: N.T.S. LIGHT FIXTURE "B"



WATTAGE: 9.5 Watts
CCT: 3000K
CRI: >90
LUMENS: 879

2 TYPICAL WALL SCNCE (FULLY SHIELDED)
AS401 SCALE: N.T.S. LIGHT FIXTURE "A"



1 SITE LIGHTING PHOTOMETRIC PLAN
AS401 SCALE: 1" = 10'-0"



ROCHESTER HILLS MICHIGAN
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DRAWN BY: BCB
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SCALE: AS NOTED
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SITE LIGHTING PHOTOMETRIC PLAN

AS401



JUAN BLANCO'S - FACADE CONCEPT

1655 E. Auburn Road, Rochester Hills, MI 48307

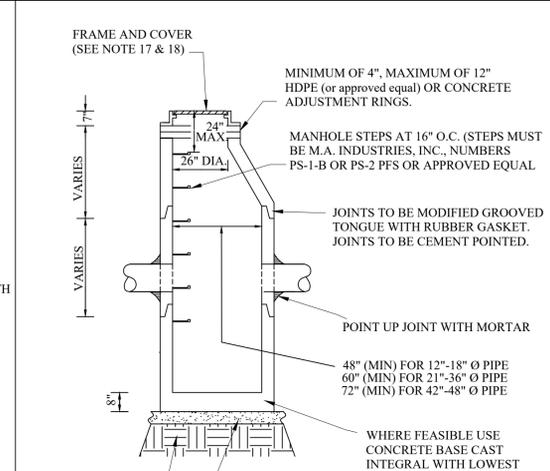
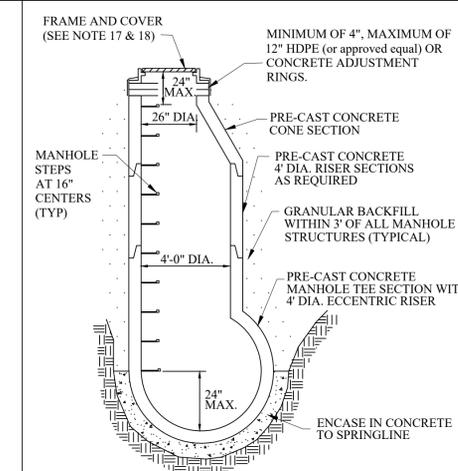
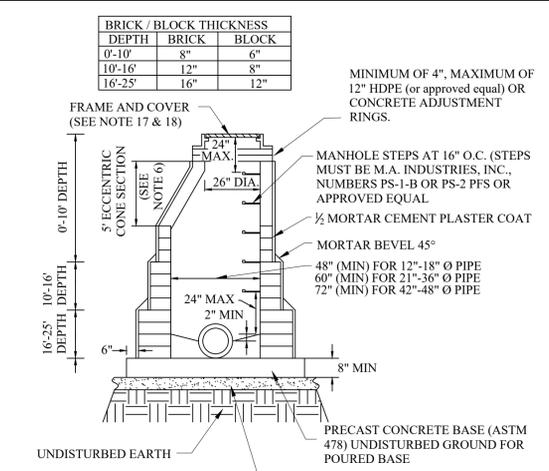
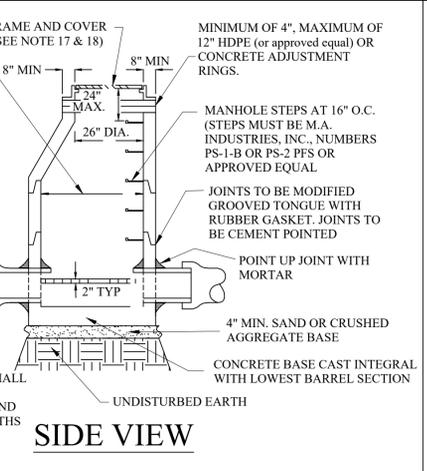
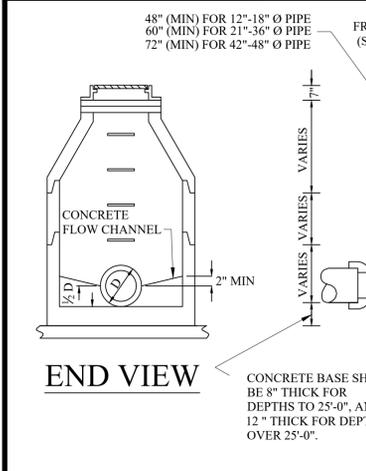


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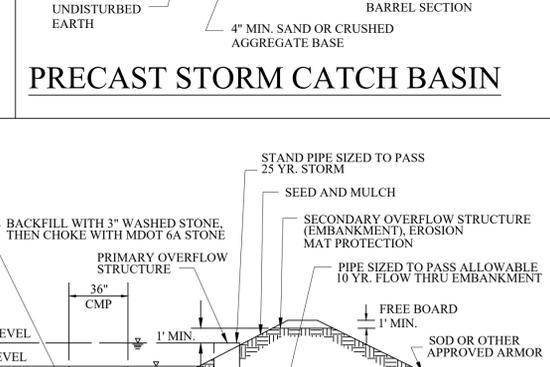
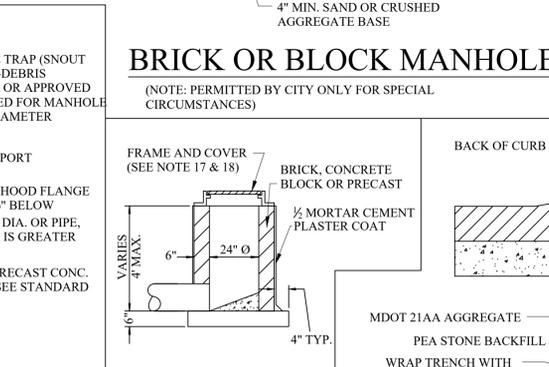
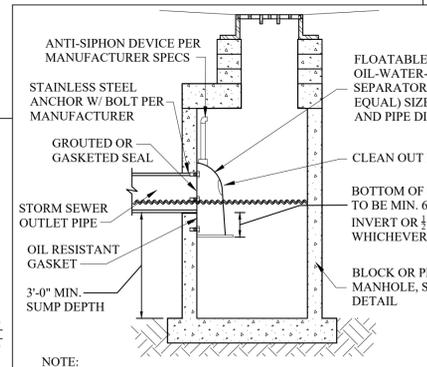
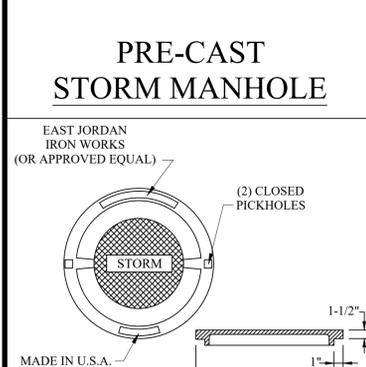
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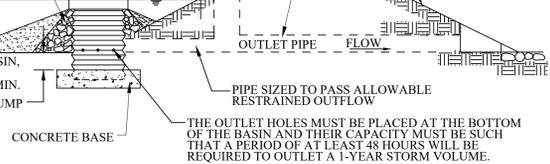
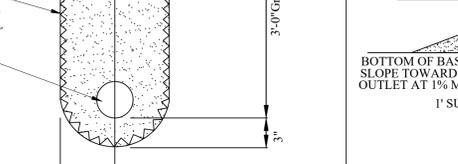
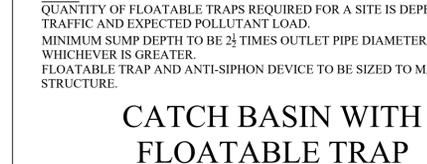
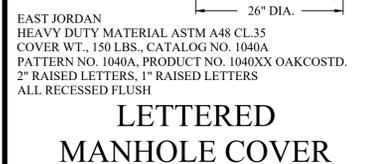
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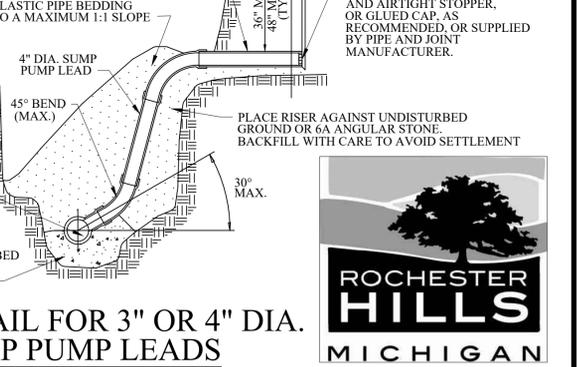
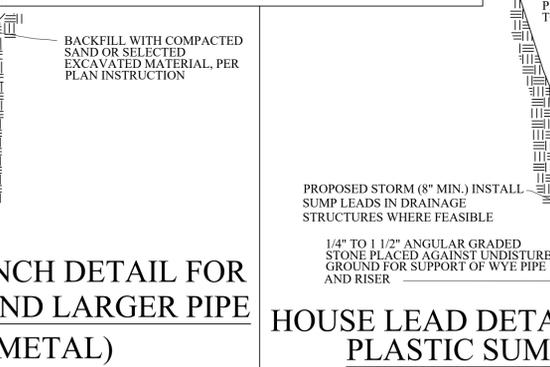
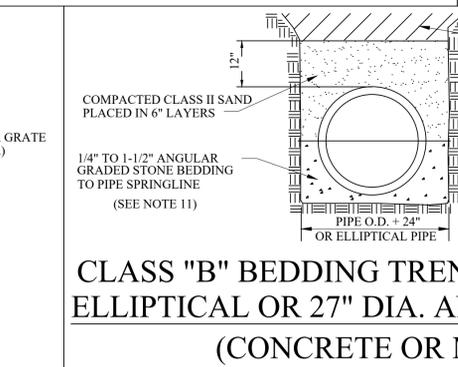
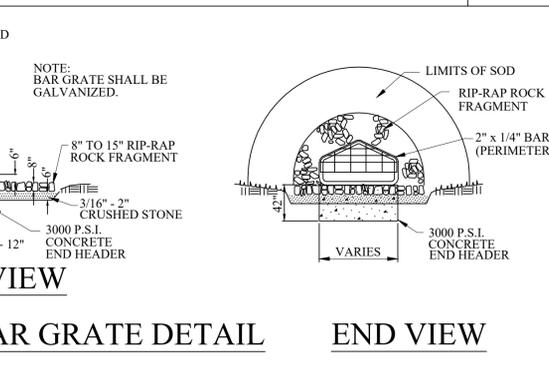
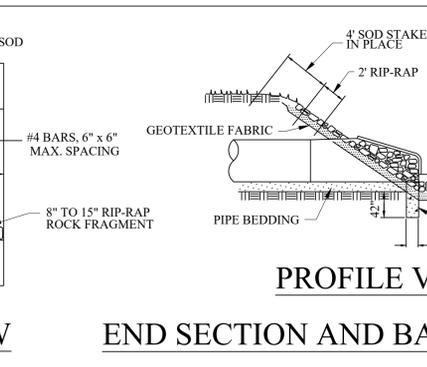
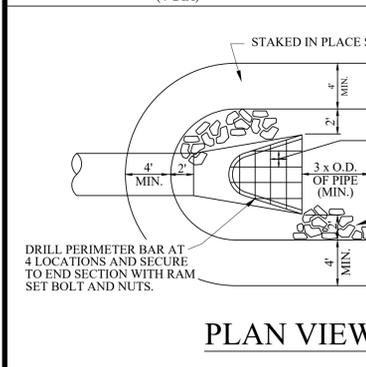
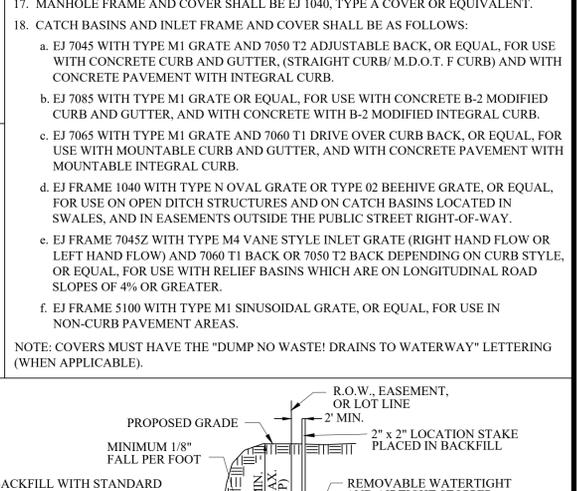
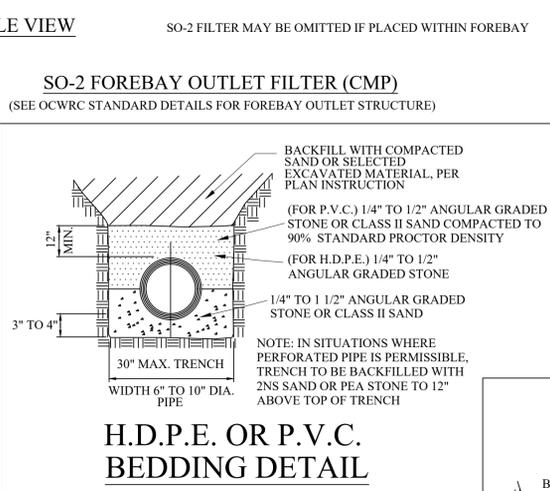
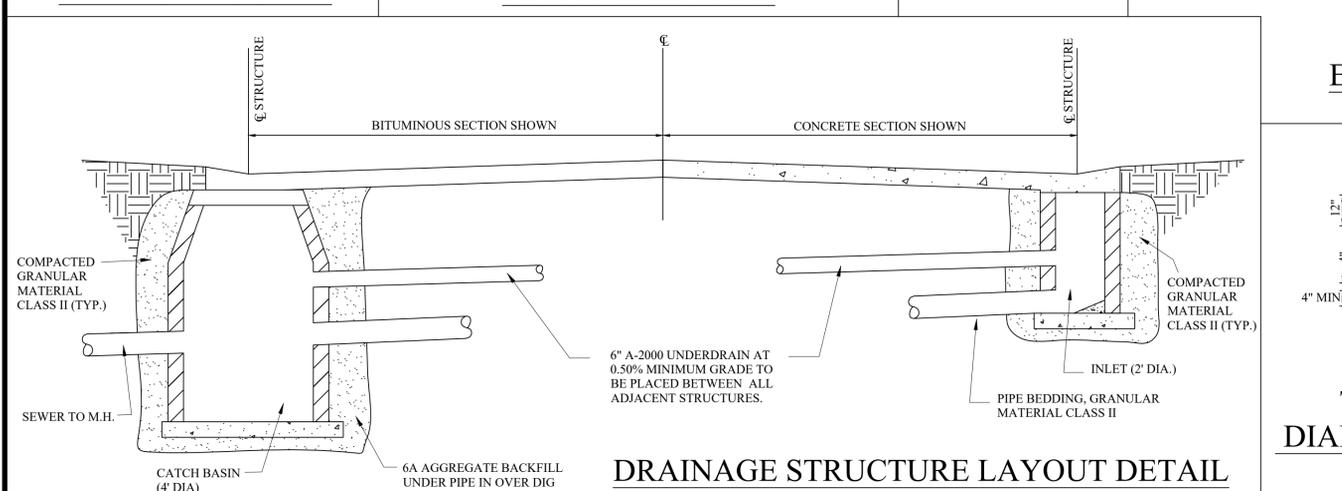
- ### GENERAL NOTES:
- ALL EXISTING AND NEW STORM SYSTEMS SHALL BE CLEANED AND FLUSHED ONCE SITE IS 90% BUILT OUT AND VEGETATED. SEDIMENT, ROCK, AND OTHER DEBRIS SHALL BE COLLECTED AND DISPOSED OF IN A PROPER MANNER. IN NO CASE SHALL DEBRIS BE FLUSHED DOWN A STORM OR SANITARY SEWER FOR DISPOSAL. ALL DAMAGED IRRIGATION AND HOUSE DRAINAGE PIPE, DRAIN TILES, SEWER LATERALS AND CULVERTS SHALL BE REPAIRED EXPEDITIOUSLY. DEBRIS COLLECTED SHALL BE DISPOSED IN A COMMERCIAL LANDFILL OR OTHER APPROVED LOCATION.
 - STORM SEWER PIPE SHALL BE OF SIZE AND TYPE NOTED ON THE APPROVED PLANS.
 - REINFORCED CONCRETE PIPE (RCP) SHALL BE MODIFIED GROOVED TONGUE JOINTS WITH O-RING TYPE RUBBER GASKET, PER ASTM C443.
 - ALL CATCH BASIN LEADS AND INLET LEADS SHALL BE ASTM C76-CLASS IV PIPE.
 - MINIMUM PIPE SIZE FOR SEWERS, CATCH BASIN LEADS, AND INLET LEADS SHALL BE 12" NOMINAL INTERNAL DIAMETER.
 - ECCENTRIC CONES SHALL BE PROVIDED ON ALL STRUCTURES, REGARDLESS OF THE MATERIAL USED. PRECAST REINFORCED CONCRETE MANHOLE, BLOCK, OR BRICK TO PROVIDE A TRUE VERTICAL FACE FOR PLACEMENT OF MANHOLE STEPS.
 - THE INSIDE JOINTS OF PIPES SIZES 42" AND LARGER DIAMETER SHALL BE POINTED UP WITH MORTAR UPON COMPLETION OF BACKFILLING OPERATIONS.
 - ALL PIPES SHALL HAVE CLASS, LOT NUMBER, AND DATE OF MANUFACTURE CONSPICUOUSLY MARKED ON EACH LENGTH BY MANUFACTURER.
 - ALL END SECTIONS 18" AND LARGER SHALL BE PROVIDED WITH A GALVANIZED BAR SCREEN.
 - PRECAST REINFORCED CONCRETE SECTIONS SHALL CONFORM TO ASTM 2478.
 - IN DRY, STABLE SOILS, PEASTONE (EQUIVALENT TO M.D.O.T. 34R SPECIFICATIONS) MAY BE SUBSTITUTED FOR THE STANDARD BEDDING. IF THE TRENCH IS WET OR UNSTABLE A GEOTEXTILE FABRIC MUST BE USED TO LINE THE TRENCH PRIOR TO THE PLACEMENT OF THE 2NS SAND, PEASTONE, OR 1/4" - 1-1/2" ANGULAR GRADED STONE.
 - SCHEDULE INSPECTIONS 48 HOURS PRIOR TO START OF CONSTRUCTION BY CALLING THE CITY'S INSPECTION LINE AT 248-841-2510. FULL TIME INSPECTION SHALL BE REQUIRED FOR ALL UNDERGROUND STORM SEWER CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT MISS DIG 72 HOURS BEFORE CONSTRUCTION AT (811) TO LOCATE EXISTING UNDERGROUND UTILITIES.
 - PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL HAVE IN HIS POSSESSION A CURRENT SOIL EROSION CONTROL PERMIT AS ISSUED BY THE OCWRC.
 - MINIMUM SUMP DEPTH IS 2' FOR CATCH BASINS, MINIMUM SUMP DEPTH IS 3' FOR CATCH BASINS WITH FLOATABLE TRAP INSTALLATIONS.
 - AS A MEANS OF INSURING PROPER INSTALLATION OF THE STORM SEWER PIPE, AT THE DISCRETION OF THE CITY ENGINEER, THE CONTRACTOR SHALL VIDEO INSPECT, ACCORDING TO THE CITY OF ROCHESTER HILLS VIDEO INSPECTION STANDARDS, 100% OF THE STORM SEWER PIPE 12" AND LARGER IN DIAMETER. IF VIDEO INSPECTION IS REQUIRED BY THE CITY ENGINEER THE CONTRACTOR SHALL PROVIDE 24 HOURS NOTICE TO THE CITY OF ROCHESTER HILLS PRIOR TO VIDEO INSPECTION, SO A REPRESENTATIVE MAY BE PRESENT. ROCHESTER HILLS WILL BE PROVIDED WITH A DIGITAL COPY OF THE VIDEO INSPECTION AND LOG IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS VIDEO INSPECTION STANDARDS.



- PROJECTS THAT THE CITY ENGINEER MAY IMPOSE THESE REQUIREMENTS ARE:
 - ALL PUBLIC PROJECTS OR PROJECTS BEING CONSTRUCTED ON PUBLIC PROPERTY.
 - ANY PROJECT INVOLVING A DEVELOPMENT, SUBDIVISION, SITE CONDOMINIUM, CONDOMINIUM, OR ASSOCIATION.
 - ANY PROJECT THAT WILL RESULT IN MORE THAN ONE OWNER RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE COMPLETE STORM DRAINAGE SYSTEM.



- ### COVERS FOR MANHOLES, CATCH BASINS, AND INLETS
- MANHOLE FRAME AND COVER SHALL BE EJ 1040, TYPE A COVER OR EQUIVALENT.
 - CATCH BASINS AND INLET FRAME AND COVER SHALL BE AS FOLLOWS:
 - EJ 7045 WITH TYPE M1 GRATE AND 7050 T2 ADJUSTABLE BACK, OR EQUAL, FOR USE WITH CONCRETE CURB AND GUTTER, (STRAIGHT CURB/M.D.O.T. F CURB) AND WITH CONCRETE PAVEMENT WITH INTEGRAL CURB.
 - EJ 7085 WITH TYPE M1 GRATE OR EQUAL, FOR USE WITH CONCRETE B-2 MODIFIED CURB AND GUTTER, AND WITH CONCRETE WITH B-2 MODIFIED INTEGRAL CURB.
 - EJ 7065 WITH TYPE M1 GRATE AND 7060 T1 DRIVE OVER CURB BACK, OR EQUAL, FOR USE WITH MOUNTABLE CURB AND GUTTER, AND WITH CONCRETE PAVEMENT WITH MOUNTABLE INTEGRAL CURB.
 - EJ FRAME 1040 WITH TYPE N OVAL GRATE OR TYPE O2 BEEHIVE GRATE, OR EQUAL, FOR USE ON OPEN DITCH STRUCTURES AND ON CATCH BASINS LOCATED IN SWALES, AND IN EASEMENTS OUTSIDE THE PUBLIC STREET RIGHT-OF-WAY.
 - EJ FRAME 7045Z WITH TYPE M4 VANE STYLE INLET GRATE (RIGHT HAND FLOW OR LEFT HAND FLOW) AND 7060 T1 BACK OR 7050 T2 BACK DEPENDING ON CURB STYLE, OR EQUAL, FOR USE WITH RELIEF BASINS WHICH ARE ON LONGITUDINAL ROAD SLOPES OF 4% OR GREATER.
 - EJ FRAME 5100 WITH TYPE M1 SINUSOIDAL GRATE, OR EQUAL, FOR USE IN NON-CURB PAVEMENT AREAS.
- NOTE: COVERS MUST HAVE THE "DUMP NO WASTE! DRAINS TO WATERWAY" LETTERING (WHEN APPLICABLE).



REVISIONS	DATE	APPROVED BY

APPROVED BY
CITY COUNCIL, DATE: _____

PREPARED BY ENGINEERING DIVISION
DEPARTMENT OF PUBLIC SERVICES

NOTIFY ROCHESTER HILLS
ENGINEERING DEPARTMENT
@ 248-841-2510 48 HRS. PRIOR
TO START OF
CONSTRUCTION

City of Rochester Hills
1000 Rochester Hills Drive, Rochester Hills, Michigan 48309

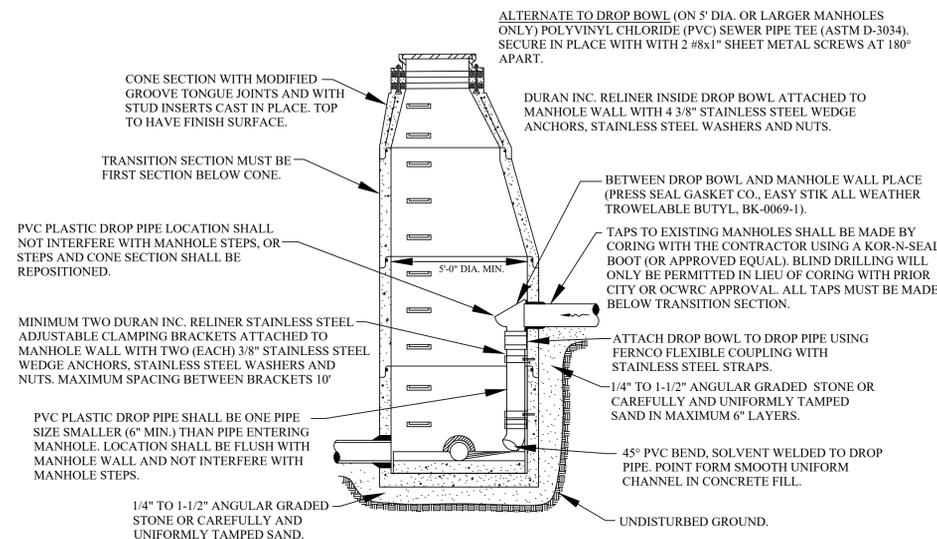
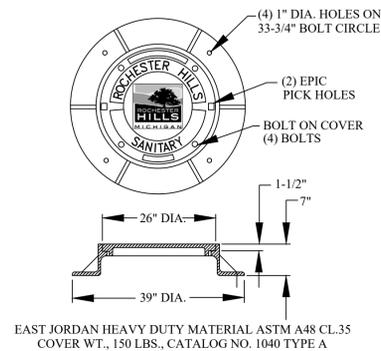
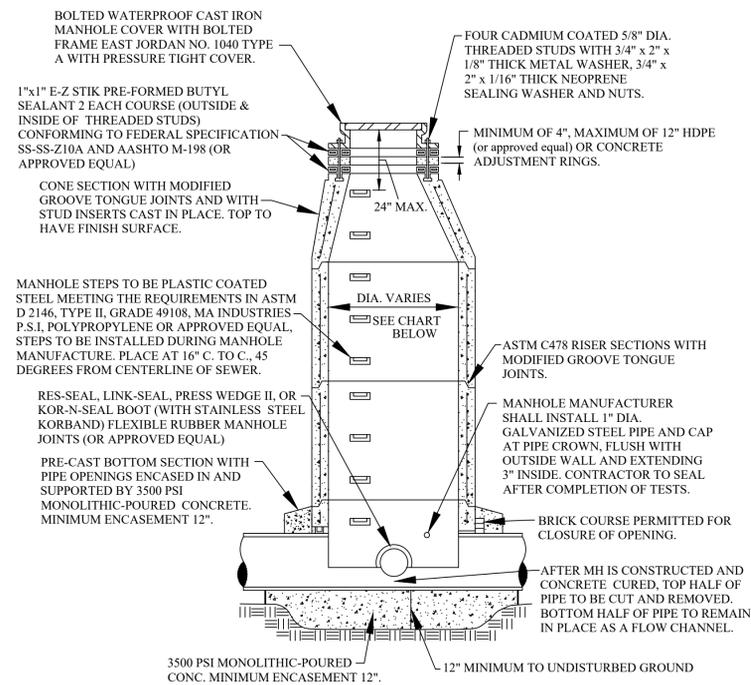
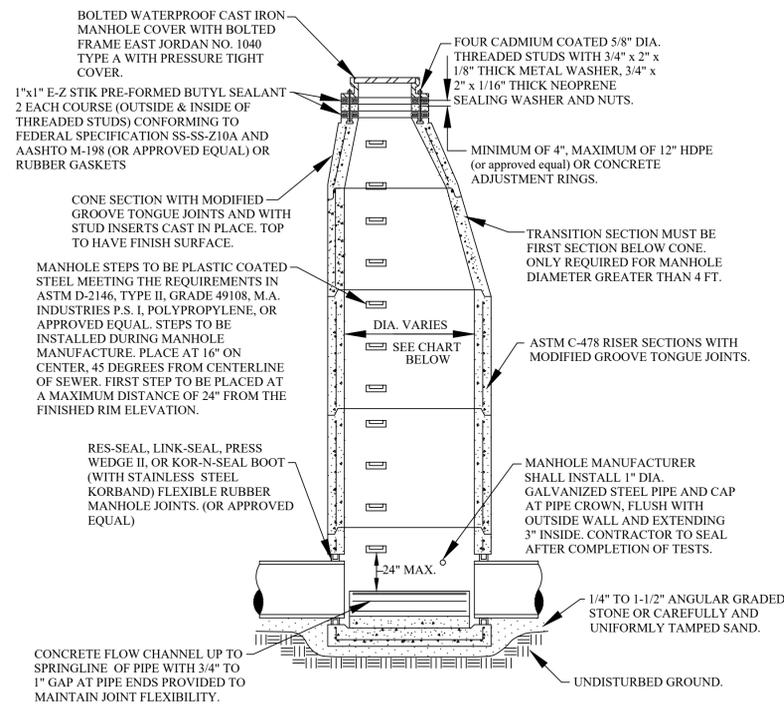
**STORM SYSTEM
STANDARD DETAILS**

NOT TO SCALE
DATE: 1/10/2019
SHEET 1 OF 1



SANITARY SEWER CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER HILLS AND THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER (OCWRC). ALL SANITARY SEWER CONSTRUCTION SHALL HAVE FULL-TIME INSPECTION SUPERVISED BY THE CITY OF ROCHESTER HILLS INSPECTION SERVICES.
- NO SEWER INSTALLATION SHALL HAVE AN INFILTRATION EXCEEDING 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE IN A 24 HOUR PERIOD, AND NO SINGLE RUN OF SEWER BETWEEN MANHOLES SHALL EXCEED 100 GALLONS PER INCH DIAMETER PER MILE. AIR TESTS IN LIEU OF INFILTRATION TESTS SHALL BE AS SPECIFIED IN THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER STANDARDS. PRELIMINARY-AIR TESTS ARE WITNESSED BY THE CITY AND FINAL AIR TESTS ARE WITNESSED BY BOTH THE CITY AND THE OCWRC. ONLY PIPE AND PIPE JOINTS APPROVED BY THE CITY MAY BE USED FOR SANITARY SEWER CONSTRUCTION.
- LOCATED IN THE FIRST MANHOLE UPSTREAM FROM THE POINT OF ALL CONNECTIONS TO AN EXISTING SEWER, OR EXTENSION, A TEMPORARY 12-INCH DEEP SUMP SHALL BE PROVIDED IN THE FIRST MANHOLE ABOVE THE CONNECTION WHICH WILL BE FILLED IN AFTER SUCCESSFUL COMPLETION OF ANY ACCEPTANCE TEST UP TO THE STANDARD FILLET PROVIDED FOR THE FLOW CHANNEL. A WATERTIGHT BULKHEAD SHALL BE PROVIDED ON THE DOWNSTREAM SIDE OF THE SUMP MANHOLE.
- AT ALL TIMES WHEN LAYING OF NEW PIPE IS NOT ACTUALLY IN PROGRESS, THE UPSTREAM OPEN END OF THE PIPE SHALL BE CLOSED BY TEMPORARY WATERTIGHT PLUGS OR BY OTHER APPROVED MEANS. IF WATER IS IN THE TRENCH WHEN WORK IS RESUMED, THE PLUG SHALL NOT BE REMOVED UNTIL THE DANGER OF WATER ENTERING THE PIPE HAS PASSED. ALL MAIN LINE PIPE SHALL BE LAID WITH A PIPE LASER BEAM FOR LINE AND GRADE. A TARGET MUST BE INSTALLED AT THE END OF THE PIPE BEING LAID.
- SELF-LEVELING ACCESS ASSEMBLY STRUCTURES SHALL BE USED FOR ADJUSTING STRUCTURES WITHIN ASPHALT AND CONCRETE PAVEMENT.
- ALL SEWER PIPE SHALL BE INSTALLED IN CLASS "B" BEDDING OR BETTER.
- ALL NEW MANHOLES SHALL HAVE CITY APPROVED FLEXIBLE, WATERTIGHT SEALS WHERE PIPES PASS THROUGH WALLS. MANHOLES SHALL BE OF PRE CAST SECTIONS WITH MODIFIED GROOVE TONGUE AND BUTYL TYPE JOINTS. PRE CAST MANHOLE CONE SECTIONS SHALL BE CITY APPROVED MODIFIED ECCENTRIC CONE TYPE. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS.
- AT ALL CONNECTIONS TO MANHOLES IN ALL SEWERS, OR EXTENSIONS, DROP CONNECTIONS WILL BE REQUIRED WHEN THE DIFFERENCE IN INVERT ELEVATIONS EXCEEDS 18 INCHES.
- GROUND WATER, STORM WATER, CONSTRUCTION WATER, DOWN SPOUT DRAINAGE OR WEEP TILE DRAINAGE SHALL NOT BE ALLOWED TO ENTER ANY SANITARY SEWER INSTALLATION.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG THREE (3) DAYS IN ADVANCE (811) FOR THE LOCATION OF UNDERGROUND PIPELINE AND CABLE FACILITIES AND SHALL ALSO NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK.
- AN 18 INCH MINIMUM VERTICAL SEPARATION AND A 10 FOOT MINIMUM HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN SANITARY SEWER AND ALL OTHER UTILITIES.
- AS A MEANS OF INSURING PROPER INSTALLATION OF THE SANITARY SEWER PIPE, THE CONTRACTOR SHALL VIDEO INSPECT, ACCORDING TO THE CITY OF ROCHESTER HILLS VIDEO INSPECTION STANDARDS, 100% OF THE SANITARY SEWER PIPE. THE CONTRACTOR SHALL PROVIDE 24 HOURS NOTICE TO THE CITY OF ROCHESTER HILLS PRIOR TO VIDEO INSPECTION, SO A REPRESENTATIVE MAY BE PRESENT. ROCHESTER HILLS WILL BE PROVIDED WITH A DIGITAL COPY OF THE VIDEO INSPECTION AND LOG IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS INSPECTION STANDARDS.



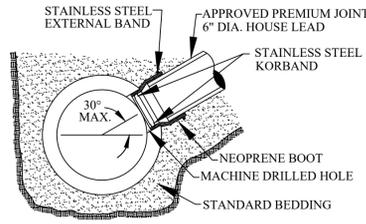
SANITARY SEWER MATERIALS

- THE FOLLOWING MATERIALS MAY BE USED FOR PUBLIC SANITARY SEWER CONSTRUCTION, APPROVED PIPE MATERIALS MUST CONFORM TO STANDARDS ADOPTED BY THE OFFICE OF THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER:
 - FOR SEWERS 8" TO 15" TO BE PVC TRUSS PIPE, ASTM D-2680, WITH GASKET JOINTS, OTHER TYPES OF PIPE AS APPROVED BY CITY ENGINEER.
 - FOR 6" SEWER LEADS SHALL BE SOLID WALLED PVC, SDR 23.5, ASTM D-3034 OR PVC SCHEDULE 40 SOLID WALLED, ASTM D-2665. PIPE SHALL HAVE A MINIMUM PIPE STIFFNESS OF 150 P.S.I., AND A MINIMUM DEFLECTION OF 15% AT FAILURE. THE SEWER LEAD MATERIAL SHALL BE COMPATIBLE WITH SEWER MAIN MATERIAL.
 - FOR SEWERS GREATER THAN 15" TO BE REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO THE CURRENT ASTM D C76 WALL B. JOINTS SHALL BE SYNTHETIC RUBBER AND MEET OR EXCEED THE REQUIREMENTS ESTABLISHED BY ASTM 361.

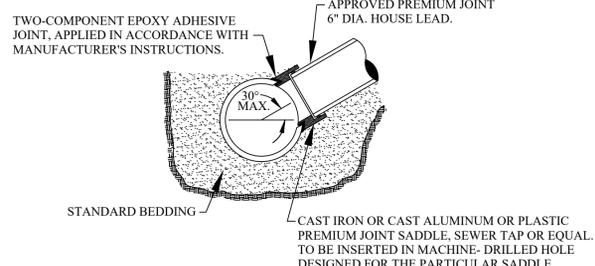


CITY OF ROCHESTER HILLS GRAVITY BUILDING LEAD REQUIREMENTS AND DETAILS

- ALL BUILDING LEAD WORK MUST BE PERFORMED UNDER THE CITY OF ROCHESTER HILLS INSPECTION.
- FOR ALL CITY OF ROCHESTER HILLS SYSTEMS CALL 248-841-2510 48-HOURS PRIOR TO SCHEDULING INSPECTION.
FOR ALL OCWRC-OPERATED SYSTEMS, CALL 248-858-1110 48-HOURS IN ADVANCE PRIOR TO SCHEDULING INSPECTION.
- SANITARY SEWER MAY NOT BE USED AS A DE-WATERING OUTLET.
- FITTINGS SHALL BE OF THE SAME MATERIAL AS THE PIPE. FERNCO STRONGBACK COUPLING (OR APPROVED EQUAL) IF DISSIMILAR PIPES ARE CONNECTED. IF DISSIMILAR FITTINGS MUST BE USED, TRANSITION CEMENT/GLUE IS REQUIRED.
- APPROVED BUILDING LEAD PIPE FOR GRAVITY SEWER LEADS:
 - PVC PLASTIC, ASTM D3034, SDR 23.5
 - SOLID WALL PVC SCHEDULE 40, ASTM D-2665
 - ANY DEVIATIONS FROM ABOVE SPECIFICATIONS REQUIRES APPROVAL BY CITY ENGINEER.
- FOR 6" LEADS A CLEANOUT MUST BE INSTALLED EVERY 100 FT. FOR 4" LEADS A CLEANOUT MUST BE INSTALLED EVERY 50 FT. 90° BENDS NOT ALLOWED EXCEPT FROM THE HORIZONTAL TO THE VERTICAL WITHIN 5 FEET OF THE BUILDING.

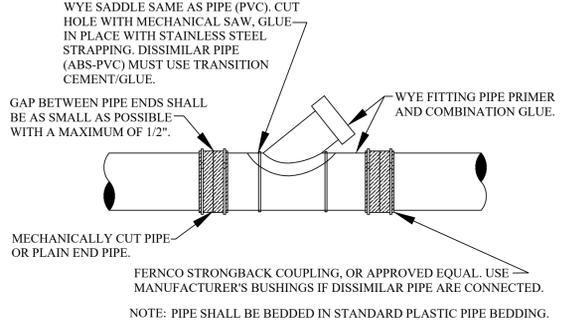


KOR-N-TEE TAP FOR CONCRETE PIPE



NOTE: SURFACE OF MAIN SEWER SHALL BE CLEANED WITH AN ABRASIVE GRINDER PRIOR TO EPOXY APPLICATION. DUE TO VARIATION OF SET-UP TIME OF EPOXY ADHESIVE WITH TEMPERATURE, ANCHOR STRAPS SHALL BE USED TO SECURE SADDLE IN POSITION IN COLD WEATHER OR WHENEVER WORK IS TO PROCEED PRIOR TO COMPLETE CURE OF EPOXY.

SEWER TAP-OVER 12" MAIN SEWER PIPES VITRIFIED CLAY



WYE SADDLE OR WYE PIPE INSERTION WITH FLEXIBLE COUPLINGS (RIGID PIPE)

CITY OF ROCHESTER HILLS SANITARY SEWER SYSTEM AS-BUILT DRAWING SPECIFICATIONS

IN AREAS WHERE SANITARY SEWER SYSTEMS ARE OPERATED AND MAINTAINED BY THE CITY OF ROCHESTER HILLS DEPARTMENT OF PUBLIC SERVICES, PRELIMINARY ACCEPTANCE OF THE SANITARY SEWER SYSTEM MUST BE RENDERED BY THE DEPARTMENT OF PUBLIC SERVICES, BEFORE THE SYSTEM CAN BE USED FOR THE SERVICE INTENDED.

ONE ITEM REQUIRED FOR PRELIMINARY ACCEPTANCE SHALL BE THE SUBMISSION OF AS-BUILT DRAWINGS TO THE CITY OF ROCHESTER HILLS ENGINEERING DIVISION, BY THE DESIGN ENGINEER. AS-BUILT DRAWINGS SHALL BE DEFINED AS AND CONTAIN THE FOLLOWING INFORMATION:

- FINAL AS-BUILT DRAWINGS SHALL BE PROVIDED IN REPRODUCIBLE PDF FORMAT VIA DIGITAL STORAGE MEDIA. XEROX OR ANY HEAT PROCESS REPRODUCTIONS WILL NOT BE ACCEPTED.
- ALONG WITH THE PDF PLAN SET PROVIDE TWO (2) SETS OF BLACK-LINED DRAWINGS AND THE PLANS ON ELECTRONIC MEDIA IN AUTOCAD FORMAT (LATEST VERSION).
- THE COVER SHEET SHALL BE SEALED BY THE PROJECT DESIGN ENGINEER, ALONG WITH THE FOLLOWING CERTIFICATION STATEMENT.

I HEREBY CERTIFY THAT OUR FIRM HAS PREPARED THESE AS-BUILT DRAWINGS OF THE IMPROVEMENTS AS CONSTRUCTED, AND THAT TO THE BEST OF MY KNOWLEDGE THOSE IMPROVEMENTS NOTED AS "AS BUILT" WERE CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS, AND ALSO THAT THE SANITARY SEWER AND STRUCTURES, AS CONSTRUCTED, LIE WITHIN THE EASEMENT DESCRIPTIONS REQUIRED BY THE CITY OF ROCHESTER HILLS.

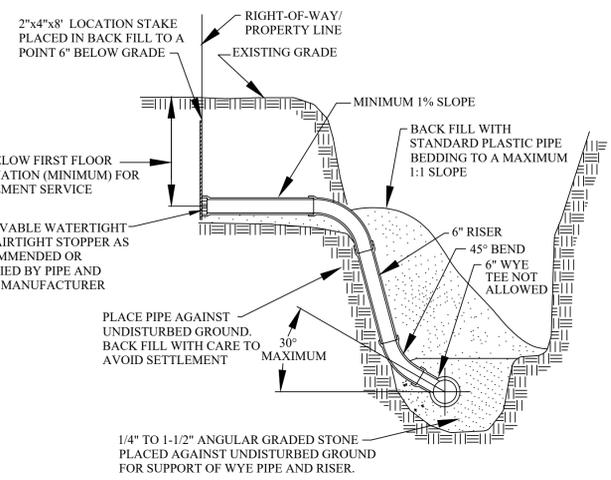
(COMPANY NAME)

(ENGINEER'S SIGNATURE)

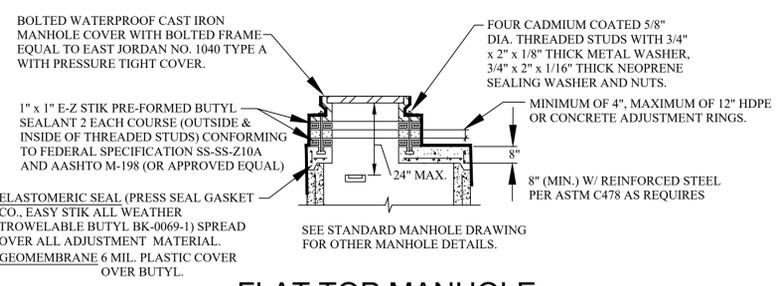
PROFESSIONAL ENGINEER NO. _____

ENGINEER SEAL

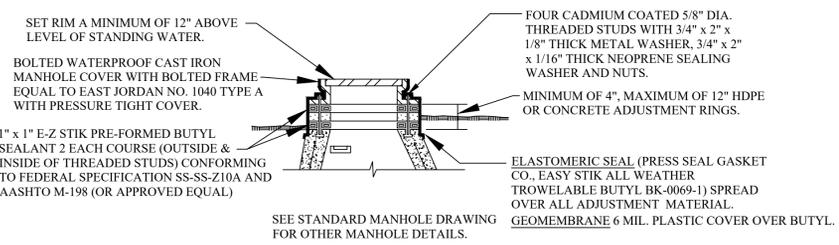
- THE MAXIMUM SCALE SHALL BE ONE (1) INCH EQUALS FIFTY (50) FEET.
- THE SIZE, LENGTH, CLASS AND MANUFACTURER OF PIPE INSTALLED SHALL BE INDICATED.
- THE SIZE, MANUFACTURER AND MODEL NUMBERS OF ALL VALVES AND PUMPS INSTALLED SHALL BE INDICATED.
- A TOTAL AS-BUILT DRAWING QUANTITY LIST SHALL BE INCLUDED.
- THE LOCATIONS SHALL BE SHOWN ON THE PLANS WITH AN ACCURACY OF ONE (1) FOOT.
- THE OFFSET OF THE SANITARY MAIN FROM PROPERTY LINES SHALL BE INDICATED.
- ALL MANHOLES, VALVE WELLS, PUMPS AND ALL SANITARY SYSTEM APPURTENANCES SHALL BE LOCATED FROM TWO FIXED OBJECTS (MANHOLES, BUILDING CORNERS ETC.).
- ALL UNDERGROUND APPURTENANCES, SUCH AS TFC/ARV WELLS, METER PITS, GRINDER PUMPS AND PUMP STATION PITS, ETC. SHALL BE LOCATED FROM THE NEAREST MANHOLE THAT IS CONNECTED TO THE SAME SANITARY MAIN AS THE APPURTENANCE.
- THE ACCURATE LOCATION OF ALL UTILITY CROSSINGS WHERE THE VERTICAL SEPARATION IS LESS THAN 18" SHALL BE NOTED.
- AS-BUILTS SHALL BE PREPARED IN ACCORDANCE WITH CITY OF ROCHESTER HILLS AS-BUILT GUIDELINES AS PROVIDED AT THE PRE-CONSTRUCTION MEETING.



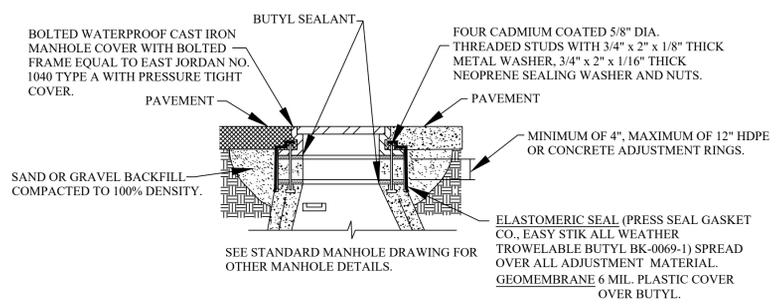
HOUSE LEAD DETAIL



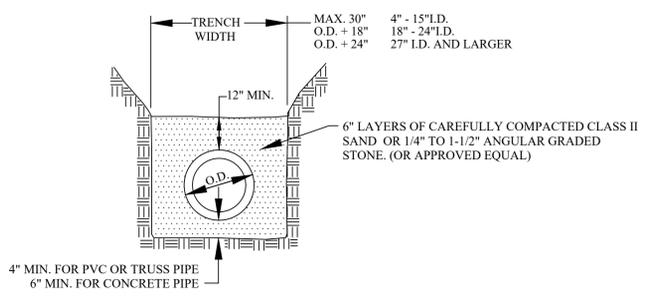
FLAT TOP MANHOLE



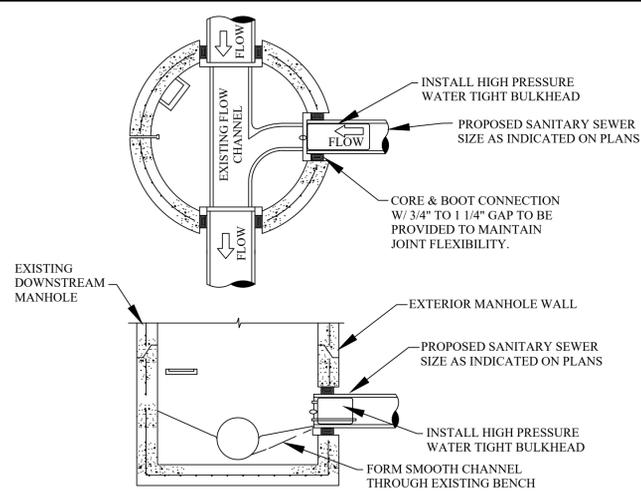
ADJUSTMENT DETAIL FOR MANHOLE TOPS WITHIN FLOOD PRONE AREAS



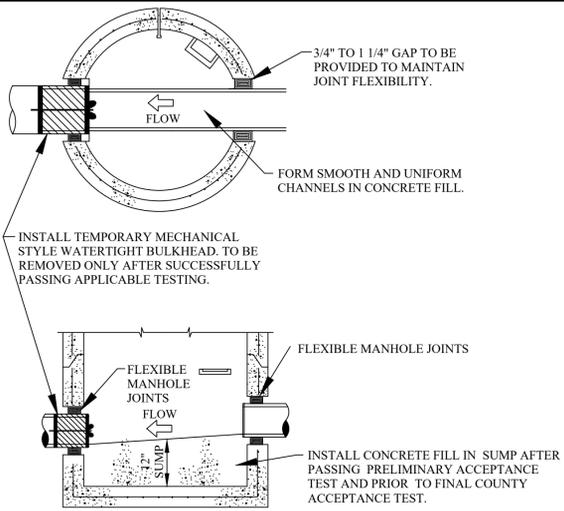
ADJUSTMENT DETAIL MANHOLE TOPS WITHIN PAVEMENT AREAS



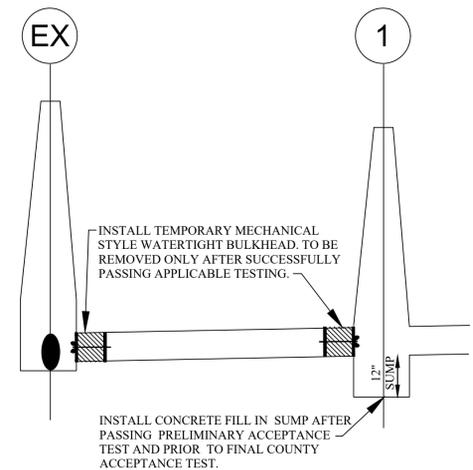
STANDARD BEDDING (CLASS B)



TESTING BULKHEAD IN EXISTING MANHOLE



FIRST MANHOLE UPSTREAM FROM SANITARY TAP



PROFILE OF BULKHEADS AND ONE FOOT SUMP

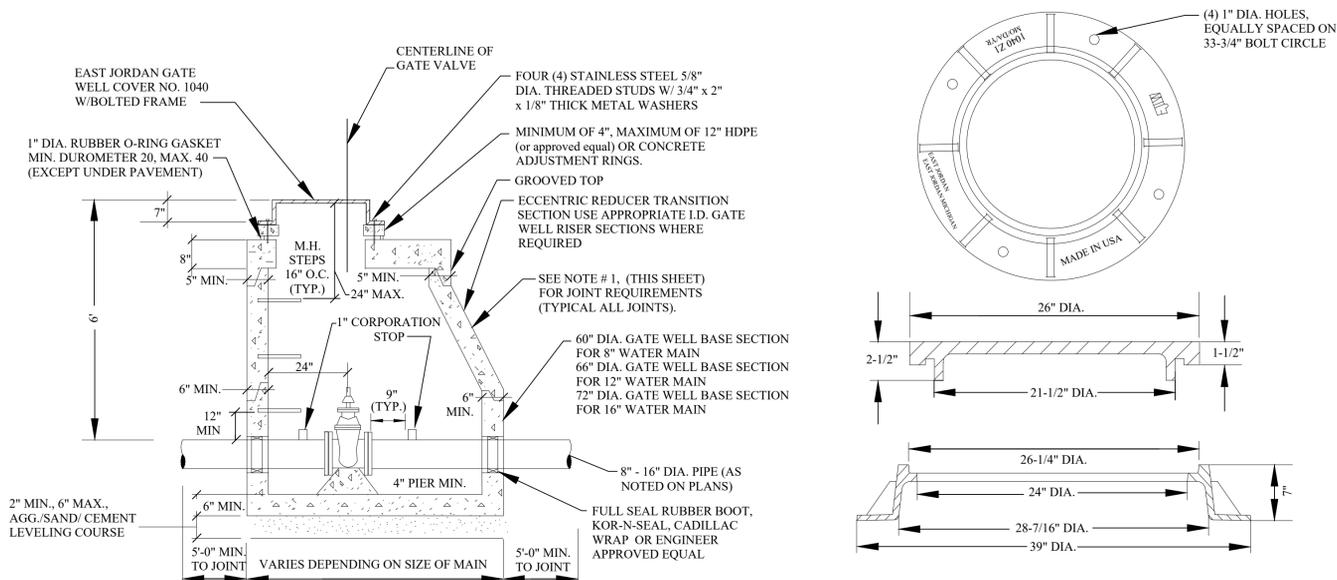
REVISIONS	DATE	APPROVED BY
WYE SADDLE REVISION	12-22-22	CITY COUNCIL, DATE: SEPTEMBER 23, 2019
PREPARED BY ENGINEERING DIVISION DEPARTMENT OF PUBLIC SERVICES		

NOTIFY ROCHESTER HILLS ENGINEERING DIVISION @ 248-841-2510 48 HRS. PRIOR TO START OF CONSTRUCTION

City of Rochester Hills
1000 Rochester Hills Drive, Rochester Hills, Michigan 48309

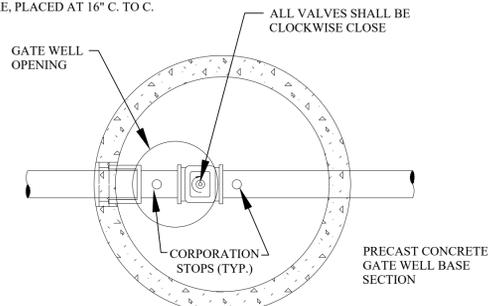
SANITARY SEWER STANDARD DETAILS

NOT TO SCALE	DATE: 1/10/2019
SHEET 2 OF 2	

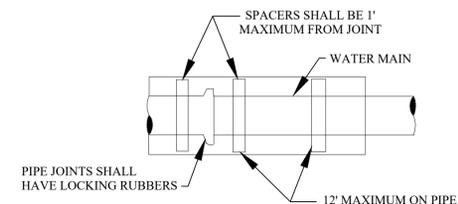


ALL GATE WELLS

MANHOLE STEPS TO BE PLASTIC COATED STEEL MEETING THE REQUIREMENTS IN ASTM D 2146, TYPE II, GRADE 49108. MA. INDUSTRIES P.S.I. POLYPROPYLENE OR APPROVED EQUAL. STEPS TO BE INSTALLED DURING MANHOLE MANUFACTURE, PLACED AT 16" C. TO C.



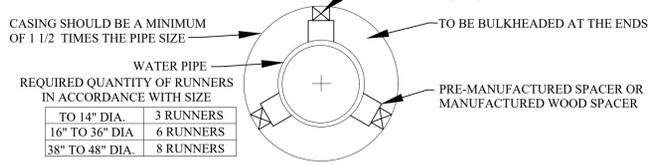
GATE WELL (TYPICAL)



WATER MAIN IN CASING SECTION

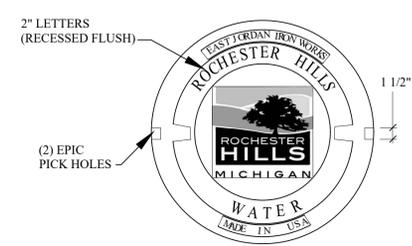
UNLESS OTHERWISE SPECIFIED, MINIMUM CASING PIPE SHALL BE ASTM A-139 GRADE B, WALL THICKNESS AS FOLLOWS:

NOMINAL SIZE	MINIMUM WALL THICKNESS
8" - 42"	0.375
48" - 60"	0.500

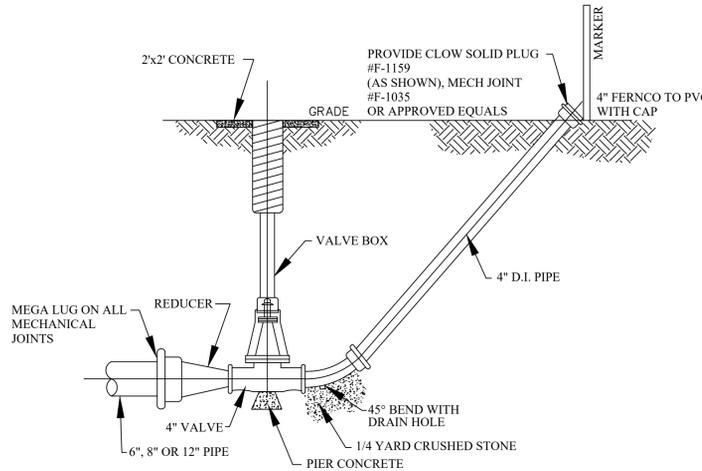


SUPPORT FOR WATER MAIN CONSTRUCTED IN CASING PIPE

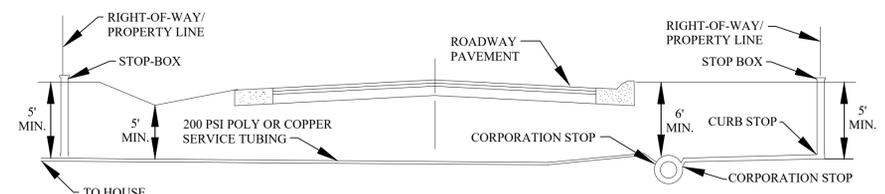
FRAME



LETTERING LAYOUT FOR GATE WELL COVERS

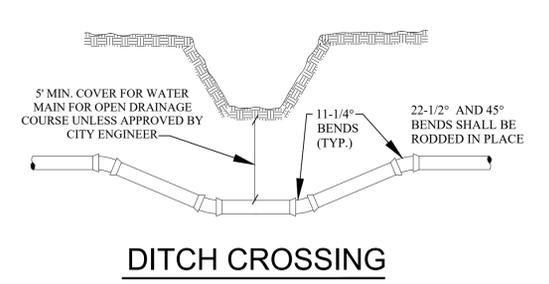


DETAIL OF 4" BLOWOFF

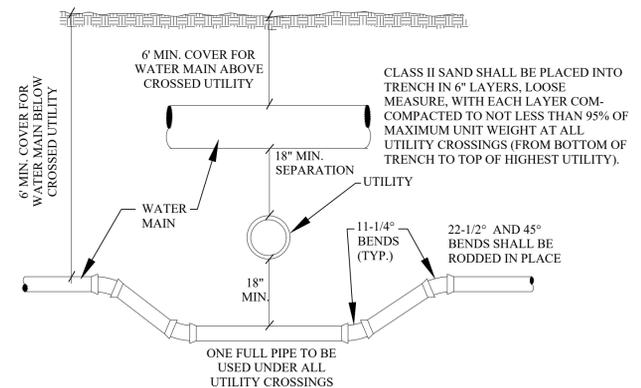


TYPICAL PUBLIC ROAD WATER SERVICE CONNECTION

NOTES:
1. WATER SERVICE SHUT-OFF TO BE PLACED AT PROPERTY LINE.
2. LATERAL LOCATION SHALL BE AS REQUESTED BY THE ABUTTING PROPERTY OWNER.
3. ROCHESTER HILLS DPS PERFORMS SERVICE LEAD TAPS UP TO 2" DIAMETER.

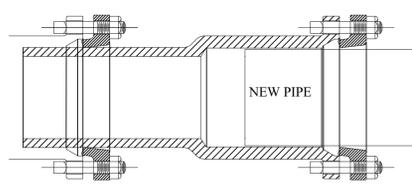


DITCH CROSSING

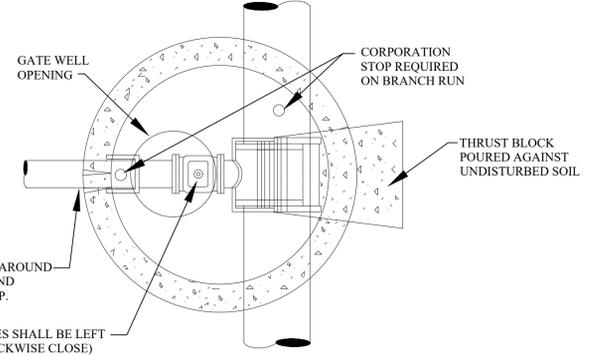


UTILITY CROSSING

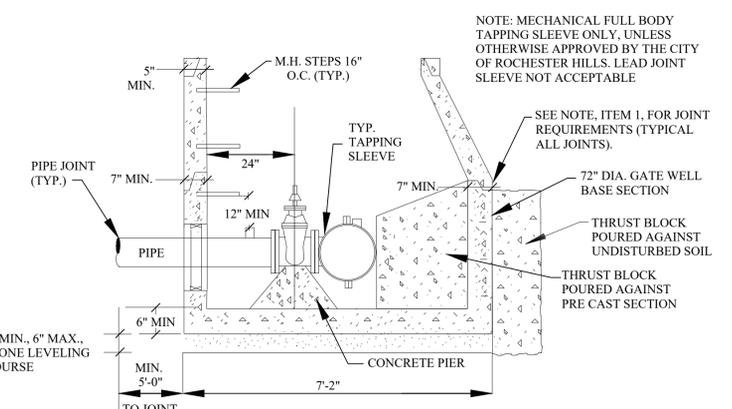
EAST JORDAN MJ x PE DUAL-PURPOSE CUTTING-IN SLEEVE OR APPROVED EQUAL



BOTTLE SLEEVE



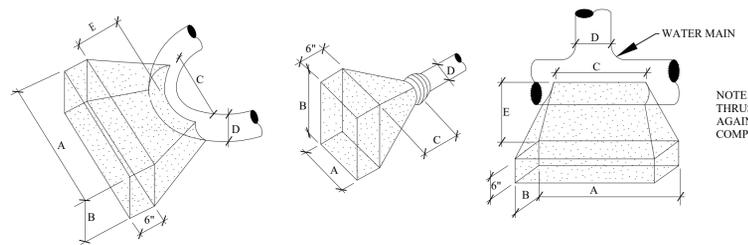
PLAN TAPPING SLEEVE VALVE & WELL (TYPICAL)



TAPPING SLEEVE, VALVE AND WELL (TYPICAL)

NOTES:

- ALL PRECAST CONCRETE GATE WELL SECTIONS SHALL BE MANUFACTURED TO CONFORM WITH A.S.T.M. C478, STANDARD SPECIFICATIONS FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS. EXCEPT WALL THICKNESS SHALL BE AS SHOWN ON THESE DETAILS. ALL JOINTS FOR PRECAST CONCRETE GATE WELL SECTIONS SHALL BE "MODIFIED GROOVE TONGUE" WITH GASKET MANUFACTURED TO CONFORM WITH A.S.T.M. C 443, STANDARD SPECIFICATION FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE USING RUBBER GASKETS.
- CONTRACTOR SHALL INSTALL VALVES, TAPPING SLEEVES AND GATE WELL STRUCTURES IN STRICT COMPLIANCE WITH MEASUREMENTS PROVIDED ON SHEET 16.c. 2-4" BETWEEN GATE WELL WALL & CENTERLINE OF OPERATING NUT TO ALLOW PROPER OPERATION OF VALVE THROUGH GATE WELL OPENING. FAILURE TO DO SO WILL REQUIRE CONTRACTOR TO CORRECT AT HIS EXPENSE.
- TAPPING SLEEVES SHALL BE MANUFACTURED BY ROMAC INDUSTRIES; MUELLER; EAST JORDAN; SMITH-BLAIR OR APPROVED EQUAL AND APPROVED BY THE CITY OF ROCHESTER HILLS. FULL BODY SLEEVES MUST BE USED EXCEPT FOR REINFORCED CONCRETE PRESSURE PIPE OR A.C. PIPE.
- FOR ALL PIPE USE A 1" CORPORATION STOP. NO CORPS SHALL BE USED IN CONCRETE PRESSURE PIPE.
- RUBBER O-RINGS SHALL NOT BE USED IN PAVEMENT.



FOR 90° BENDS OR SMALLER

D	A	B	C	E MIN.
20"	8"	6.5"	3.5"	2.5"
16"	6"	4"	2.5"	2"
12"	4"	3"	2"	1.75"
10"	3"	3"	2"	1.75"
8"	3"	2"	2"	1.5"
6"	2"	1.5"	2"	1.25"

FOR PLUGS

D	A	B	C MIN.
20"	7"	5"	2.5"
16"	4'-10"	4'-10"	2"
12"	4'-4"	3"	1'-9"
10"	3"	2"	1'-6"
8"	2'-10"	2'-6"	1'-6"
6"	1'-6"	1'-6"	3"

FOR TEES

D	A	B	C	E MIN.
20"	6.5"	4.5"	3.5"	3"
16"	4'-8"	4'-8"	2.5"	2.75"
12"	4"	3"	2.5"	2.5"
10"	3"	2"	2"	2.25"
8"	2'-6"	2"	2"	2.25"
6"	2"	2"	2"	2.25"

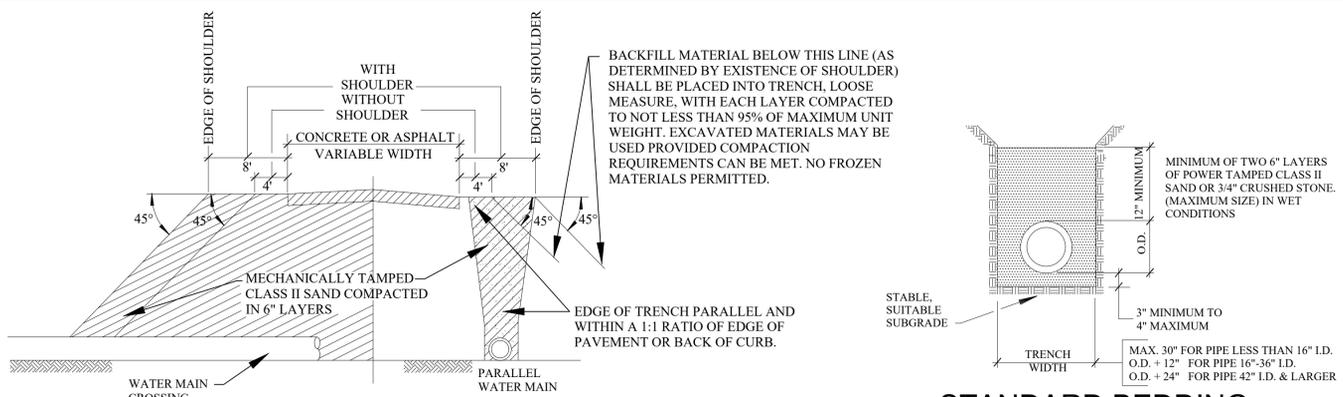


REVISIONS	DATE	APPROVED BY	NOTIFY ROCHESTER HILLS ENGINEERING DIVISION @ 248-841-2510 48 HRS. PRIOR TO START OF CONSTRUCTION
		CITY COUNCIL, DATE: SEPTEMBER 23, 2019	
		PREPARED BY ENGINEERING DIVISION DEPARTMENT OF PUBLIC SERVICES	

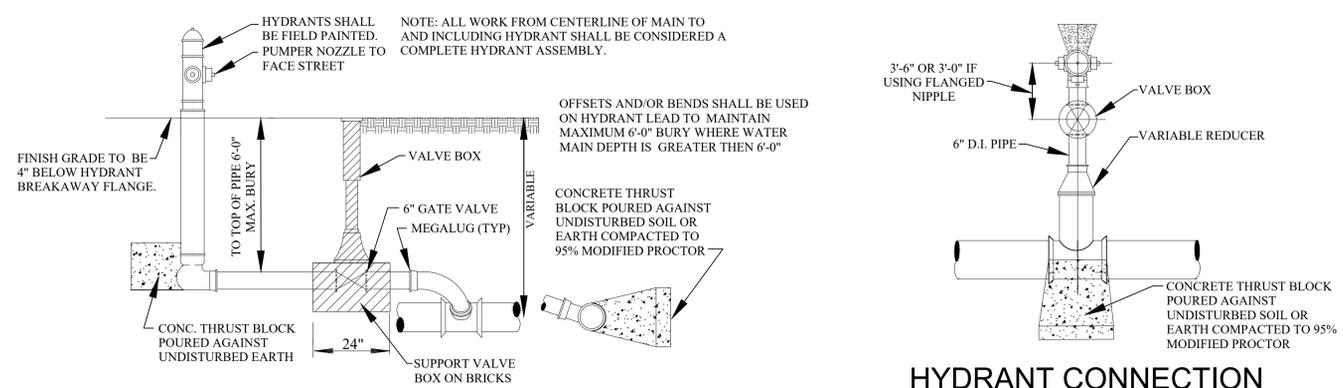
City of Rochester Hills
1000 Rochester Hills Drive, Rochester Hills, Michigan 48309

WATER MAIN STANDARD DETAILS

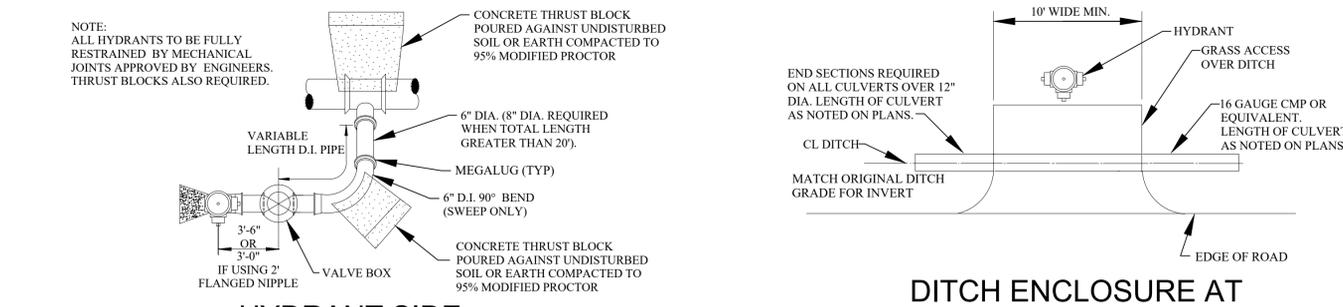
NOT TO SCALE	DATE: 1/10/2018
SHEET 1 OF 2	REV 04/22/2022



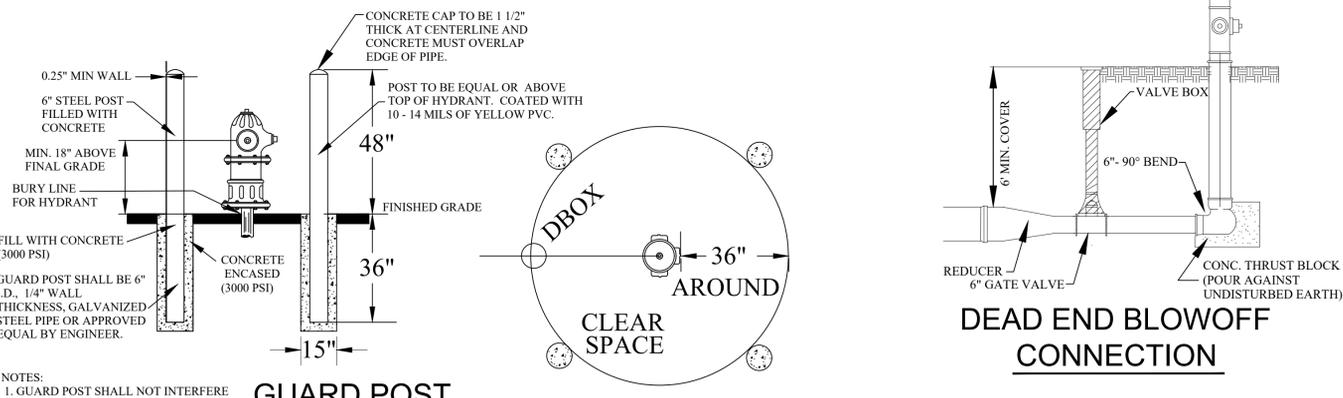
MINIMUM BACKFILL UNDER OR WITHIN PAVEMENT INFLUENCE



HYDRANT CONNECTION (TYPICAL)



HYDRANT SIDE OUTLET OPTION



HYDRANT & BLOWOFF DETAILS

GENERAL NOTES

1. ALL CONSTRUCTION PROCEDURES AND MATERIALS SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER HILLS.
2. A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED BY THE CITY OF ROCHESTER HILLS AND HELD PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR MUST CONTACT MISS DIG (811) AT LEAST THREE WORKING DAYS PRIOR TO THE START OF CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS. ALL UTILITIES SHALL BE STAKED BEFORE CONSTRUCTION BEGINS.
4. ALL WATER MAIN EASEMENTS SHALL BE PROVIDED PRIOR TO CONSTRUCTION AND ACCEPTANCE OF THE WATER DISTRIBUTION SYSTEM.
5. WATER MAINS SHALL BE CONSTRUCTED WITH A MINIMUM COVER OF 6 FEET BELOW FINISHED GRADES, INCLUDING OPEN DRAINAGE COURSES.
6. ALL TRENCHES UNDER OR WITHIN A 1:1 RATIO OF EXISTING OR PROPOSED PAVEMENT OR DRIVEWAYS, SHALL BE BACKFILLED WITH COMPACTED CLASS II SAND TO GRADE (95% MAXIMUM UNIT DENSITY).
7. WHERE TWO UTILITIES CROSS, PROVIDE CLASS II BACKFILL MATERIAL IN SIX (6) INCH COMPACTED LAYERS TO TOP OF HIGHEST UTILITY.
8. WHERE WATER MAINS DIP UNDER OTHER UTILITIES, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE CONSTRUCTED WITH 11-1/4" VERTICAL BENDS, 22 1/2" OR 45" BENDS MUST BE RODDED AND PROPERLY ANCHORED.
9. ALL PRECAST CONCRETE GATE WELL SECTIONS SHALL BE IN ACCORDANCE WITH A.S.T.M. C478, STANDARD SPECIFICATIONS FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS. WALL THICKNESS SHALL BE AS SHOWN ON THESE DETAILS. ALL JOINTS FOR PRECAST CONCRETE GATE WELL SECTIONS SHALL BE "MODIFIED GROOVE TONGUE" WITH GASKET MANUFACTURED TO CONFORM WITH A.S.T.M. C 443, STANDARD SPECIFICATION FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE USING RUBBER GASKETS.
10. CONTRACTOR SHALL INSTALL VALVES, TAPPING SLEEVES AND GATE WELL STRUCTURES IN STRICT COMPLIANCE WITH MEASUREMENTS PROVIDED ON SHEET 1 (2'-0" BETWEEN GATE WELL WALL & CENTERLINE OF OPERATING NUT) TO ALLOW PROPER OPERATION OF VALVE THROUGH GATE WELL OPENING.
11. ALL CROSS-CONNECTION CONTROL DEVICES SHALL BE INSTALLED AS REQUIRED BY THE ROCHESTER HILLS PLUMBING INSPECTOR AND IN ACCORDANCE WITH THE STANDARDS OF THE OAKLAND COUNTY WATER RESOURCE COMMISSIONER OPERATION AND MAINTENANCE DIVISION AND THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY, DIVISION OF DRINKING WATER AND RADIOLOGICAL PROTECTION.
12. ALL WATER SERVICE CONNECTIONS TWO (2) INCHES AND SMALLER SHALL BE MADE BY THE CITY OF ROCHESTER HILLS, DEPARTMENT OF PUBLIC SERVICES AFTER WATER MAIN ACCEPTANCE AND APPLICABLE PERMITS ARE OBTAINED.
13. ALL FITTINGS AND BENDS SHOULD BE BLOCKED IN ACCORDANCE WITH THRUST BLOCK DETAILS, UNLESS ALTERNATE THRUST RESTRAINT SYSTEM, AS INDICATED PLANS AND SPECIFICATIONS, IS APPROVED BY THE CITY OF ROCHESTER HILLS DEPARTMENT OF PUBLIC SERVICE.

WATER MAIN MATERIALS NOTES

1. TEMPORARY CONNECTIONS, WHICH MAY BE MADE FOR CHLORINATING AND FLUSHING PURPOSES, SHALL INCLUDE A TESTABLE DOUBLE CHECK VALVE BACKFLOW PREVENTER WITH CURRENT CERTIFICATION.
2. CORPORATION STOPS USED FOR INSERTION INTO MAINS SHALL BE FORD TYPE B-44. ALL STOPS SHALL HAVE BRONZE CAST BODIES, KEYS, STEM WASHERS AND NUTS. INLET THREADS SHALL CONFORM TO THE LATEST VERSION OF AWWA C800.
3. ALL DUCTILE IRON PIPE (D.I.P.) WATER MAIN SHALL BE DESIGNED FOR 150 PSI MINIMUM WORKING PRESSURE. A ZINC COATING WITH CLASS 52 MAY BE PROPOSED AND IS SUBJECT TO FINAL DECISION FOR APPROVAL BY THE CITY ENGINEER.
4. THE DUCTILE IRON PIPE TO BE FURNISHED AND DELIVERED UNDER THIS SPECIFICATION SHALL MEET ALL THE REQUIREMENTS OF THE CURRENT AWWA C151 (ANSI A21.5), EXCEPT AS OTHERWISE SPECIFIED HEREIN. PIPE SHALL BE DOUBLE CEMENT-LINED AND SEAL COATED WITH AN APPROVED BITUMINOUS SEAL COAT IN ACCORDANCE WITH AWWA C104 (ANSI A21.4).
5. DUCTILE IRON PIPE SHALL BE CLASS 54 FOR SIZES THREE (3) INCH THROUGH TWENTY (20) INCHES SIZE. TWENTY-FOUR (24) INCH AND LARGER SHALL BE CLASS 55 DUCTILE IRON PIPE.
6. PIPES TWENTY-FOUR (24) INCHES AND LARGER IN NOMINAL DIAMETER SHALL MEET ALL THE REQUIREMENTS OF THE CURRENT AWWA C100 FOR DUCTILE IRON WATER PIPE.
7. MECHANICAL JOINTS FOR DUCTILE IRON WATER MAIN SHALL BE IN ACCORDANCE WITH AWWA C111 (ANSI A21.11).
8. FLANGE JOINTS FOR DUCTILE IRON WATER MAIN SHALL BE IN ACCORDANCE WITH AWWA C110 (ANSI A21.10).
9. FITTINGS FOR DUCTILE IRON PIPE SHALL BE DUCTILE IRON AND SHALL MEET REQUIREMENTS OF AWWA C110 (ANSI A21.10) OR AWWA C153 (ANSI A21.53). DUCTILE IRON FITTINGS SHALL BE RATED FOR 350 PSI. PIPE SIZES TWENTY-FOUR (24) INCH DIAMETER AND LESS, AND 250 PSI FOR PIPE SIZES OVER TWENTY-FOUR (24) INCH DIAMETER. DUCTILE IRON FLANGE FITTINGS SHALL BE RATED FOR 250 PSI FOR ALL PIPE DIAMETERS.
10. ALL DUCTILE IRON PIPE, FITTINGS AND HYDRANTS SHALL BE ENCASED WITH POLYETHYLENE ENCASEMENT IN ACCORDANCE WITH THE REQUIREMENTS OF A.N.S.I./A.W.W.A. STANDARD SPECIFICATION D1248 AND AWWA C105. POLYETHYLENE TUBE MATERIAL SHALL HAVE A THICKNESS OF .008" (8-MILS). ADHESIVE TAPE SHALL BE A GENERAL PURPOSE ADHESIVE TAPE 2" WIDE AND APPROXIMATELY 10-MILS THICK, SUCH AS SCOTCHRAP, NO.50, POLYKEN NO. 900, OR TAPECOAT CT.

VALVE AND SLEEVE NOTES

1. GATE VALVES, SIZES THREE (3) INCH THROUGH SIXTEEN (16) INCH AND TAPPING VALVES SHALL MEET THE CITY OF ROCHESTER HILLS STANDARD AS DETAILED WITH NON-RISING STEM. (EAST JORDAN, AMERICAN FLOW CONTROL, MUELLER)
2. ALL IN LINE GATE VALVES EIGHT (8) INCH AND LARGER SHALL BE IN WELLS. SPECIFICATIONS SHALL INCLUDE THE DIRECTION OF OPERATION OF ALL VALVES (CLOCKWISE CLOSURE). VALVE BOX USE TO BE APPROVED BY ENGINEERING DIVISION.
3. ALL GATE WELL COVERS SHALL BE CITY OF ROCHESTER HILLS STANDARD AS DETAILED.
4. ALL GATE VALVES WITH OPERATING NUTS AT A DISTANCE GREATER THAN FIVE (5) FEET BELOW GROUND SURFACE SHALL BE PROVIDED WITH AN EXTENSION STEM. THE LENGTH OF THE EXTENSION STEM SHALL REACH WITHIN FIVE (5) FEET FROM THE GROUND SURFACE. WHEN AN EXTENSION STEM IS USED, IT SHALL BE HELD IN PLACE BY AN EXTENSION STEM GUIDE SUITABLY FASTENED TO THE WALL OF THE GATE WELL. THE EXTENSION STEM SHALL BE MECHANICALLY ATTACHED TO THE OPERATING NUT. DETAILS OF THE EXTENSION SYSTEM AND THE METHOD OF INSTALLATION SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
5. BUTTERFLY VALVES SHALL BE USED FOR VALVES GREATER THAN 16-INCH DIAMETER AND SHALL BE MODEL 2F11 AS MANUFACTURED BY HENRY PRATT COMPANY OR APPROVED EQUAL.
6. TAPPING VALVES SHALL BE SERIES "A" AS MANUFACTURED BY EAST JORDAN OR RESILIENT SEATED GATE VALVES AS APPROVED BY THE CITY OF ROCHESTER HILLS ENGINEERING SERVICES.
7. TAPPING SLEEVES SHALL BE MANUFACTURED BY ROMAC INDUSTRIES; MUELLER; EAST JORDAN; SMITH-BLAIR OR APPROVED EQUAL AND APPROVED BY THE CITY OF ROCHESTER HILLS. FULL BODY SLEEVES MUST BE USED EXCEPT FOR REINFORCED CONCRETE PRESSURE PIPE OR A.C. PIPE.

HYDRANT REQUIREMENTS

1. ALL HYDRANTS SHALL BE CONSTRUCTED WITH A SIX (6) INCH COMPANION GATE VALVE IN A THREE (3) PIECE, ADJUSTABLE DUCTILE IRON VALVE BOX, WHICH SHALL INCLUDE A FIVE AND ONE-QUARTER (5-1/4) INCH SCREW SHAFT. VALVE BOXES SHALL BE SERIES 6860 AS MANUFACTURED BY TYLER PIPE OR APPROVED EQUAL.
2. ALL HYDRANTS SHALL BE EAST JORDAN NO. 5-BR-250 TRAFFIC MODEL, OR CITY APPROVED EQUAL. SELF-DRAINING HYDRANTS SHALL NOT BE USED. HYDRANTS SHALL HAVE BREAKAWAY FLANGE.
3. ALL HYDRANTS SHALL BE PAINTED RED ABOVE GROUND WITH A FINISH COAT OF RUST-OLEUM SAFETY RED OR APPROVED EQUAL. HYDRANT CAPS SHALL BE PAINTED SAME COLOR AS THE HYDRANT.
4. ALL FIRE HYDRANT JOINTS SHALL BE TOTALLY RESTRAINED BY THE USE OF RESTRAINED JOINT. THRUST BLOCKS ARE ALSO REQUIRED.

ACCEPTANCE OF NEW WATER MAINS

1. PRIOR TO WATER MAIN ACCEPTANCE THE FOLLOWING CONDITIONS MUST BE MET: 1) PRESSURE TESTING AND BACTERIA TESTING MUST BE COMPLETED IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS 2) ALL EASEMENT AND RIGHT-OF-WAY ACQUISITION MUST BE ACCEPTED BY THE CITY OF ROCHESTER HILLS ENGINEERING SERVICES 3) THE CITY OF ROCHESTER HILLS MUST BE PROVIDED WITH THE BILL OF SALE AND 4) ALL MYLAR "AS-BUILT DRAWINGS" MUST BE ACCEPTED AND APPROVED BY THE CITY OF ROCHESTER HILLS, ENGINEERING SERVICES. THE CITY OF ROCHESTER HILLS INSPECTION DIVISION MUST WITNESS THE CONNECTION OF THE WATER MAIN TO THE EXISTING WATER MAIN, AFTER WHICH RESIDENTIAL AND COMMERCIAL TAPS WILL BE ALLOWED.
2. THE CONTRACTOR SHALL NOTIFY THE CITY OF ROCHESTER HILLS, INSPECTION DEPARTMENT (248.841.2510) FOR PRESSURE TESTING, BACTERIOLOGICAL SAMPLING, CONNECTIONS TO EXISTING WATER MAIN AND FINAL FIELD REVIEW. A FORTY-EIGHT (48) HOUR ADVANCE NOTICE IS REQUIRED.
3. THE CONTRACTOR SHALL DISINFECT AND PRESSURE TEST ALL NEW WATER MAIN IN ACCORDANCE WITH ROCHESTER HILLS STANDARDS. THE WATER MAIN SHALL PASS A 150 PSI PRESSURE TEST FOR A TWO (2) HOUR PERIOD. WATER LOSS SHALL NOT EXCEED A RATE OF 11.65 U.S. GALLONS PER INCH DIAMETER PER MILE OF WATER MAIN IN TWENTY-FOUR (24) HOURS.
4. WHERE CONTRACTOR SUPPLIED GAUGES ARE REQUIRED, MINIMUM SIZE SHALL BE 3 1/2" DIAMETER OR LARGER GRADUATED IN ONE (1) OR TWO (2) POUND INCREMENTS FROM 1 TO 160 P.S.I. OR HIGHER AND HAVE CURRENT CERTIFICATION.
5. PRESSURE TESTING AND BACTERIA TESTING MUST BE COMPLETED AND APPROVED PRIOR TO CONNECTING TO THE EXISTING WATER MAIN.

CITY OF ROCHESTER HILLS WATER SYSTEMS AS-BUILT DRAWING SPECIFICATIONS

IN AREAS WHERE WATER SYSTEMS ARE OPERATED AND MAINTAINED BY THE CITY OF ROCHESTER HILLS DEPARTMENT OF PUBLIC SERVICES, FINAL ACCEPTANCE OF THE WATER SYSTEM MUST BE RENDERED BY THE DEPARTMENT OF PUBLIC SERVICES, BEFORE THE SYSTEM CAN BE USED FOR THE SERVICE INTENDED.

ONE ITEM REQUIRED FOR FINAL ACCEPTANCE SHALL BE THE SUBMISSION OF AS-BUILT DRAWINGS TO THE CITY OF ROCHESTER HILLS, DPS, BY THE DESIGN ENGINEER. AS-BUILT DRAWINGS SHALL BE DEFINED AS AND CONTAIN THE FOLLOWING INFORMATION:

1. FINAL AS-BUILT DRAWINGS SHALL BE PROVIDED IN REPRODUCIBLE PDF FORMAT VIA DIGITAL STORAGE MEDIA. XEROX OR ANY HEAT PROCESS REPRODUCTIONS WILL NOT BE ACCEPTED.
2. ALONG WITH THE PDF PLAN SET PROVIDE TWO (2) SETS OF BLACK-LINED DRAWINGS AND THE PLANS ON ELECTRONIC MEDIA IN AUTOCAD FORMAT (LATEST VERSION).
3. EACH AND EVERY SHEET SHALL BE SEALED BY THE DESIGN ENGINEER, ALONG WITH THE FOLLOWING CERTIFICATION STATEMENT ON THE COVER SHEET:

I HEREBY CERTIFY THAT OUR FIRM HAS PREPARED THESE AS-BUILT DRAWINGS OF THE IMPROVEMENTS AS CONSTRUCTED, AND THAT TO THE BEST OF MY KNOWLEDGE THOSE IMPROVEMENTS NOTED AS "AS BUILT" WERE CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS; AND ALSO THAT THE WATER MAIN AND STRUCTURES, AS CONSTRUCTED, LIE WITHIN THE EASEMENT DESCRIPTIONS REQUIRED BY THE CITY OF ROCHESTER HILLS.

(COMPANY NAME)

(ENGINEER'S SIGNATURE)

PROFESSIONAL ENGINEER NO. _____

ENGINEER SEAL

4. THE MAXIMUM SCALE SHALL BE ONE (1) INCH EQUALS FIFTY (50) FEET.
5. THE SIZE, LENGTH, CLASS AND MANUFACTURER OF PIPE INSTALLED SHALL BE INDICATED.
6. THE SIZE, BRAND AND MODEL NUMBERS OF ALL VALVES AND HYDRANTS INSTALLED SHALL BE INDICATED.
7. A TOTAL AS-BUILT DRAWING QUANTITY LIST SHALL BE INCLUDED, AS WELL AS AN AS-BUILT DRAWING QUANTITY LIST ON EACH INDIVIDUAL SHEET.
8. THE LOCATIONS SHALL BE SHOWN ON THE PLANS WITH AN ACCURACY OF ONE (1) FOOT.
9. THE OFFSET OF THE WATER MAIN FROM PROPERTY LINES SHALL BE INDICATED.
10. ALL GATE VALVE WELLS, HYDRANTS AND ALL WATER SYSTEM APPURTENANCES SHALL BE LOCATED FROM TWO FIXED OBJECTS (MANHOLES, BUILDING CORNERS ECT.).
11. ALL UNDERGROUND APPURTENANCES, SUCH AS GATE VALVE WELLS, METER PITS, PRESSURE REDUCING VALVE PITS, ETC. SHALL BE LOCATED FROM THE NEAREST HYDRANT THAT IS CONNECTED TO THE SAME WATER MAIN AS THE APPURTENANCE.
12. THE LOCATION AND SIZE OF EVERY RESTRAINED JOINT SHALL BE NOTED.
13. THE ACCURATE LOCATION OF ALL UTILITY CROSSINGS WHERE THE VERTICAL SEPARATION, IS LESS THAN 18" SHALL BE NOTED.
14. AS-BUILT SHALL BE PREPARED IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS AS-BUILT GUIDELINES AS PROVIDED AT THE PRE-CONSTRUCTION MEETING.

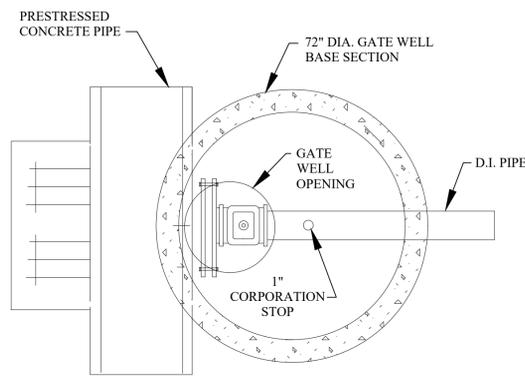
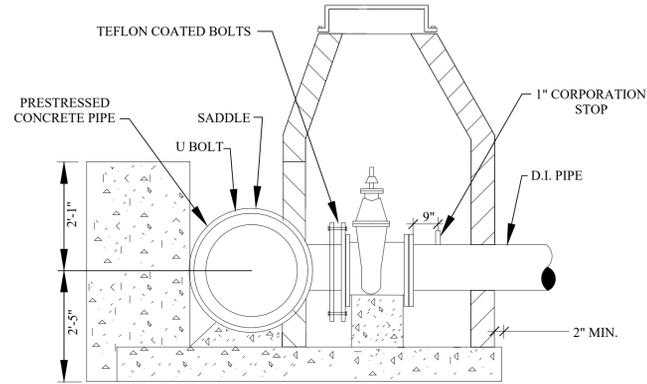


REVISIONS	DATE	APPROVED BY CITY COUNCIL, DATE: SEPTEMBER 23, 2019	NOTIFY ROCHESTER HILLS ENGINEERING DIVISION @ 248-841-2510 48 HRS. PRIOR TO START OF CONSTRUCTION
		PREPARED BY ENGINEERING DIVISION DEPARTMENT OF PUBLIC SERVICES	

City of Rochester Hills
1000 Rochester Hills Drive, Rochester Hills, Michigan 48309

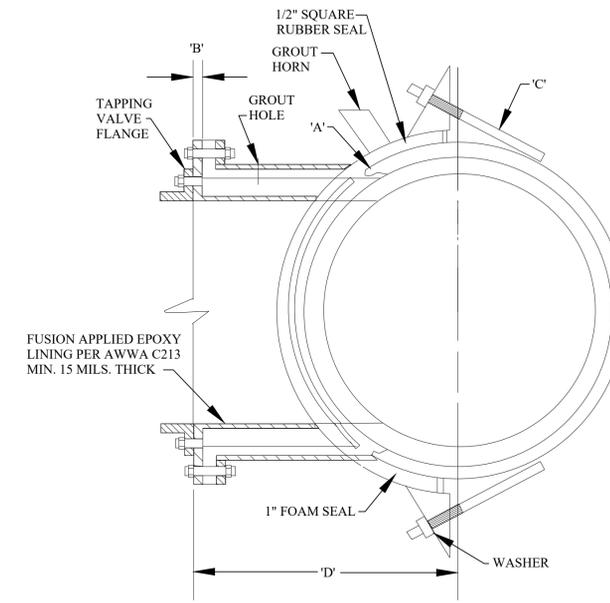
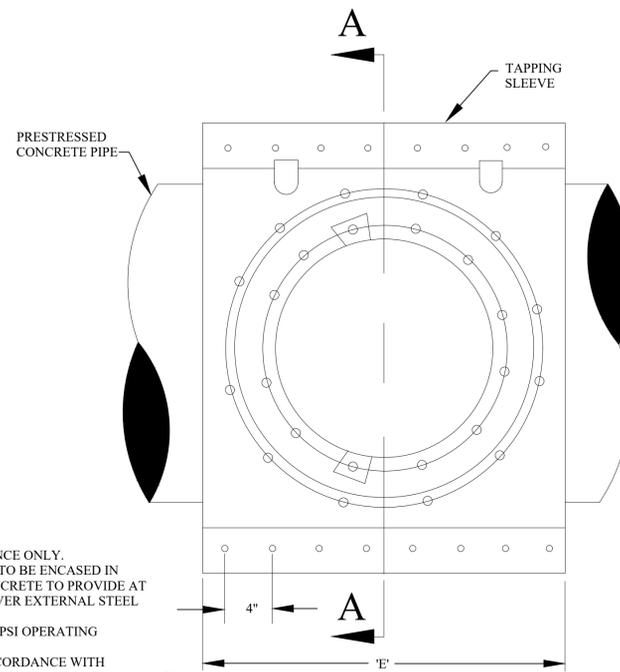
**WATER MAIN
STANDARD DETAILS**

NOT TO SCALE	DATE: 1/10/2019
SHEET 2 OF 2	



- NOTES: 1) THESE DIMENSIONS ARE FOR REFERENCE ONLY.
 2) ENTIRE SADDLE, INCLUDING STRAPS, TO BE ENCASED IN PORTLAND CEMENT MORTAR OR CONCRETE TO PROVIDE AT LEAST ONE (1) INCH OF THICKNESS OVER EXTERNAL STEEL SURFACES PRIOR TO BACKFILLING.
 3) TAP SADDLES ARE DESIGNED FOR 150 PSI OPERATING PRESSURE.
 4) FLANGE DRILLED AND TAPPED IN ACCORDANCE WITH AWWA C207 CLASS D, CENTERING RING CONFORMS TO MSS-SP 60.
 5) GROUT SHALL SET A MINIMUM OF TWENTY-FOUR (24) HOURS PRIOR TO PRESSURE TESTING.

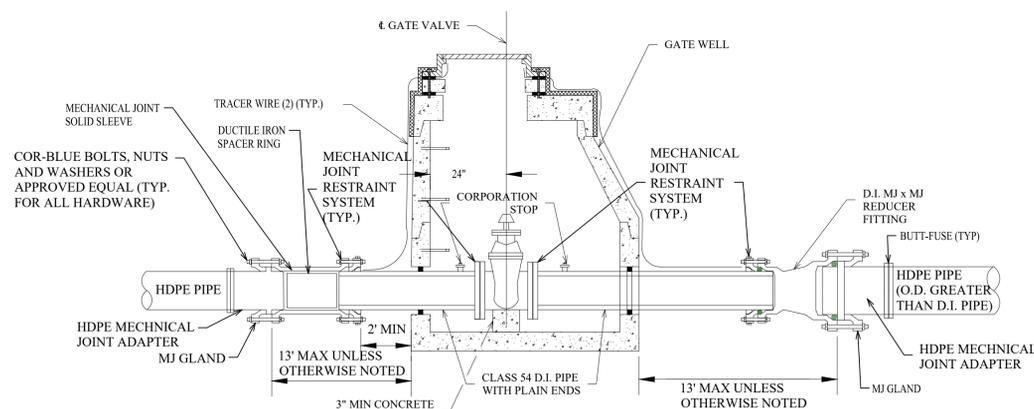
CONCRETE PRESSURE TAP VALVE & WELL ASSEMBLY W/ CONCRETE ENCASEMENT



SECTION A-A

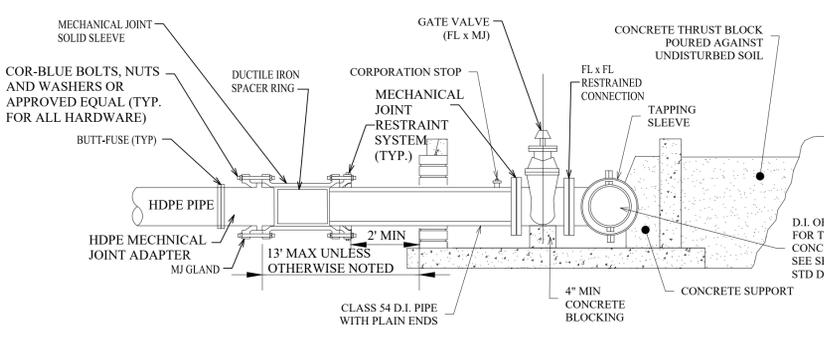
PIPE SIZE X TAP SIZE	A	B	C	D	E
16" X 4"	1/4"	7/8"	6	14-1/16"	24"
16" X 6"	1/4"	1-1/8"	6	14-5/16"	24"
16" X 8"	1/4"	1-1/8"	6	14-5/16"	24"
16" X 10"	1/4"	1-3/8"	7	14-9/16"	28"
16" X 12"	1/4"	1-3/8"	8	14-9/16"	32"
20" X 4"	1/4"	7/8"	6	16-1/2"	24"
20" X 6"	1/4"	1-1/8"	6	16-1/2"	24"
20" X 8"	1/4"	1-1/8"	6	16-1/2"	24"
20" X 10"	1/4"	1-3/8"	7	17"	28"
20" X 12"	1/4"	1-3/8"	8	17"	32"
24" X 4"	1/4"	7/8"	6	18-3/4"	24"
24" X 6"	1/4"	1-1/8"	6	19"	24"
24" X 8"	1/4"	1-1/8"	6	19"	24"
24" X 10"	1/4"	1-3/8"	7	19-1/4"	28"
24" X 12"	1/4"	1-3/8"	8	19-1/4"	32"
30" X 4"	1/4"	7/8"	6	22-1/8"	24"
30" X 6"	1/4"	1-1/8"	6	22-3/8"	24"
30" X 8"	1/4"	1-1/8"	6	22-3/8"	24"
30" X 10"	1/4"	1-3/8"	7	22-5/8"	28"
30" X 12"	1/4"	1-3/8"	8	22-5/8"	32"
36" X 4"	1/4"	7/8"	6	25-1/2"	24"
36" X 6"	1/4"	1-1/8"	6	25-3/4"	24"
36" X 8"	1/4"	1-1/8"	7	25-3/4"	28"
36" X 10"	1/4"	1-3/8"	8	26"	32"
36" X 12"	1/4"	1-3/8"	9	26"	36"
42" X 4"	1/4"	7/8"	6	28-7/8"	24"
42" X 6"	1/4"	1-1/8"	7	29-1/8"	28"
42" X 8"	1/4"	1-1/8"	8	29-1/8"	32"
42" X 10"	3/8"	1-3/8"	9	29-3/8"	36"
42" X 12"	3/8"	1-3/8"	10	29-3/8"	40"
48" X 4"	3/8"	7/8"	7	32-1/4"	28"
48" X 6"	3/8"	1-1/8"	7	32-1/2"	28"
48" X 8"	3/8"	1-1/8"	7	32-1/2"	28"
48" X 10"	3/8"	1-3/8"	7	32-3/4"	28"
48" X 12"	3/8"	1-3/8"	9	32-3/4"	36"

CONCRETE TAPPING SLEEVE DETAILS



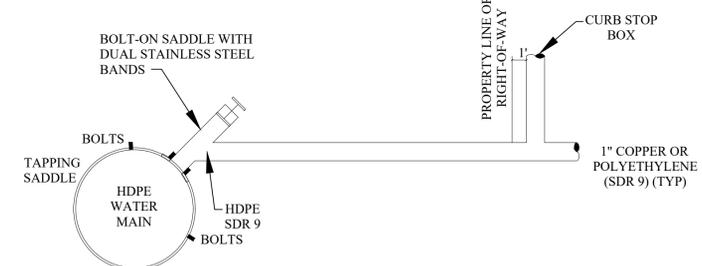
TYPICAL HDPE CONNECTION TO GATE VALVE

- NOTES:
 1. WHERE GATE VALVE IS IN LINE WITH THE HDPE WATER MAIN, INSTALL D.I. PIPE THROUGH GATE WELL MAKING CONNECTION TO HDPE PIPE OUTSIDE OF GATE WELL AS SHOWN.
 2. TRACER WIRES SHALL BE INSTALLED ALONG THE OUTSIDE OF THE GATE WELL AND BENEATH THE FRAME AND COVER.

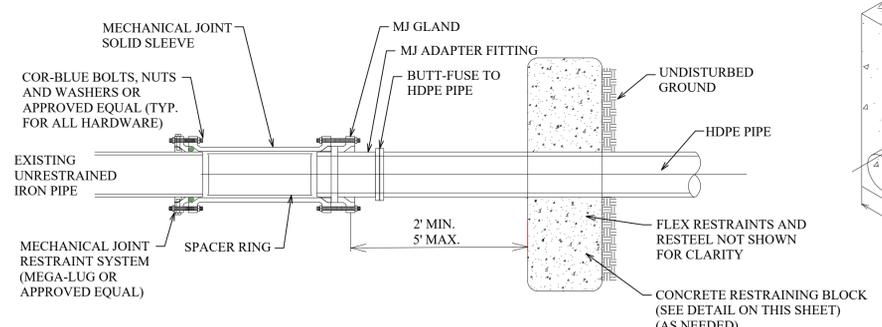


HDPE TAPPING SLEEVE, VALVE & WELL

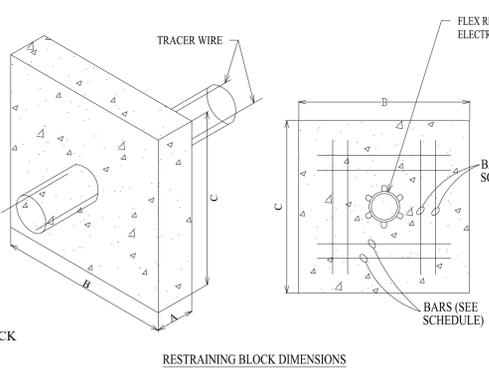
- NOTES:
 1. SEE SHEET 1 OF THE WATER MAIN STANDARD DETAIL SHEETS FOR GENERAL TAPPING SLEEVE VALVE AND WELL DETAILS.
 2. TAPPING SLEEVES FOR HDPE PIPE REQUIRE AN OUTLET SEAL GASKET AND SPRING WASHERS IN ADDITION TO THE REQUIREMENTS DETAILED IN SHEET 2 (JCM 452, ROMAC S8TH OR APPROVE EQUAL).



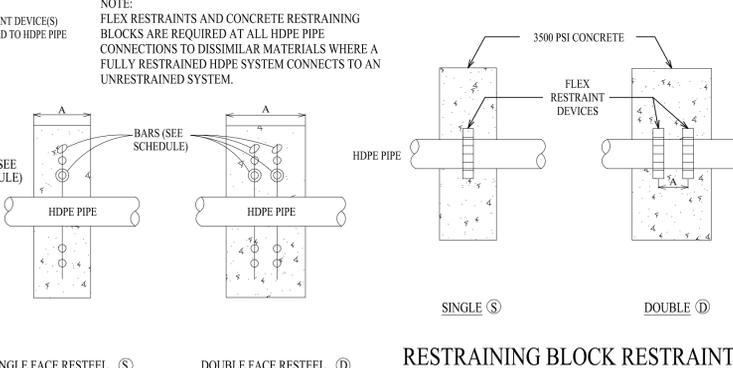
HOUSE LEAD DETAIL HDPE TO COPPER OR POLYETHYLENE (SDR 9)



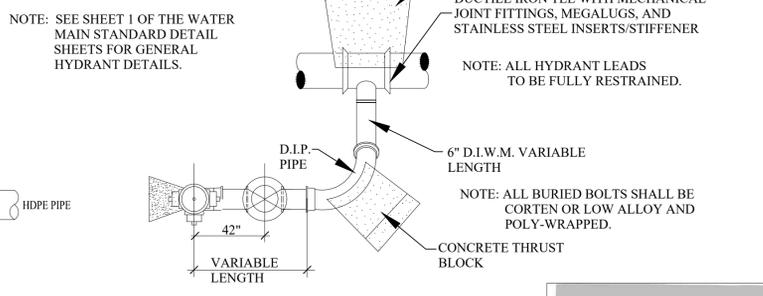
HDPE TO EXISTING WATER MAIN TRANSITION



RESTRAINING BLOCK RESTEEL



RESTRAINING BLOCK RESTRAINTS



PLAN HYDRANT SIDE OUTLET

- NOTE: SEE SHEET 1 OF THE WATER MAIN STANDARD DETAIL SHEETS FOR GENERAL HYDRANT DETAILS.
 NOTE: ALL HYDRANT LEADS TO BE FULLY RESTRAINED.
 NOTE: ALL BURIED BOLTS SHALL BE CORTEN OR LOW ALLOY AND POLY-WRAPPED.

REVISIONS	DATE
REVISED HDPE TO EX. WM TRANSITION	3/28/2023

APPROVED BY
 CITY COUNCIL, DATE: SEPTEMBER 23, 2019
 PREPARED BY ENGINEERING DIVISION
 DEPARTMENT OF PUBLIC SERVICES

NOTIFY ROCHESTER HILLS
 ENGINEERING DIVISION @
 248-841-2510 48 HRS. PRIOR
 TO START OF
 CONSTRUCTION

City of Rochester Hills
 1000 Rochester Hills Drive, Rochester Hills, Michigan 48309

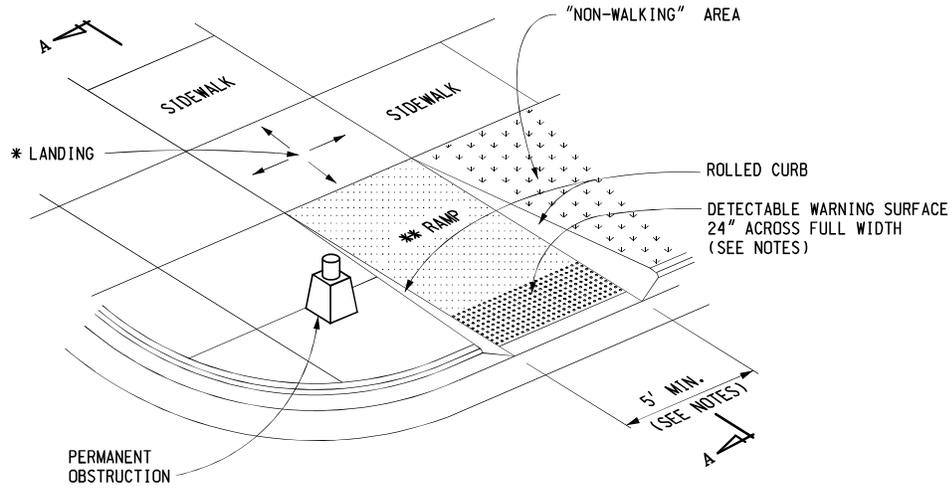
**WATER MAIN
 SPECIAL DETAILS**

NOT TO SCALE	DATE: 1/10/2019
SHEET 1 OF 1	REV 12/10/2021

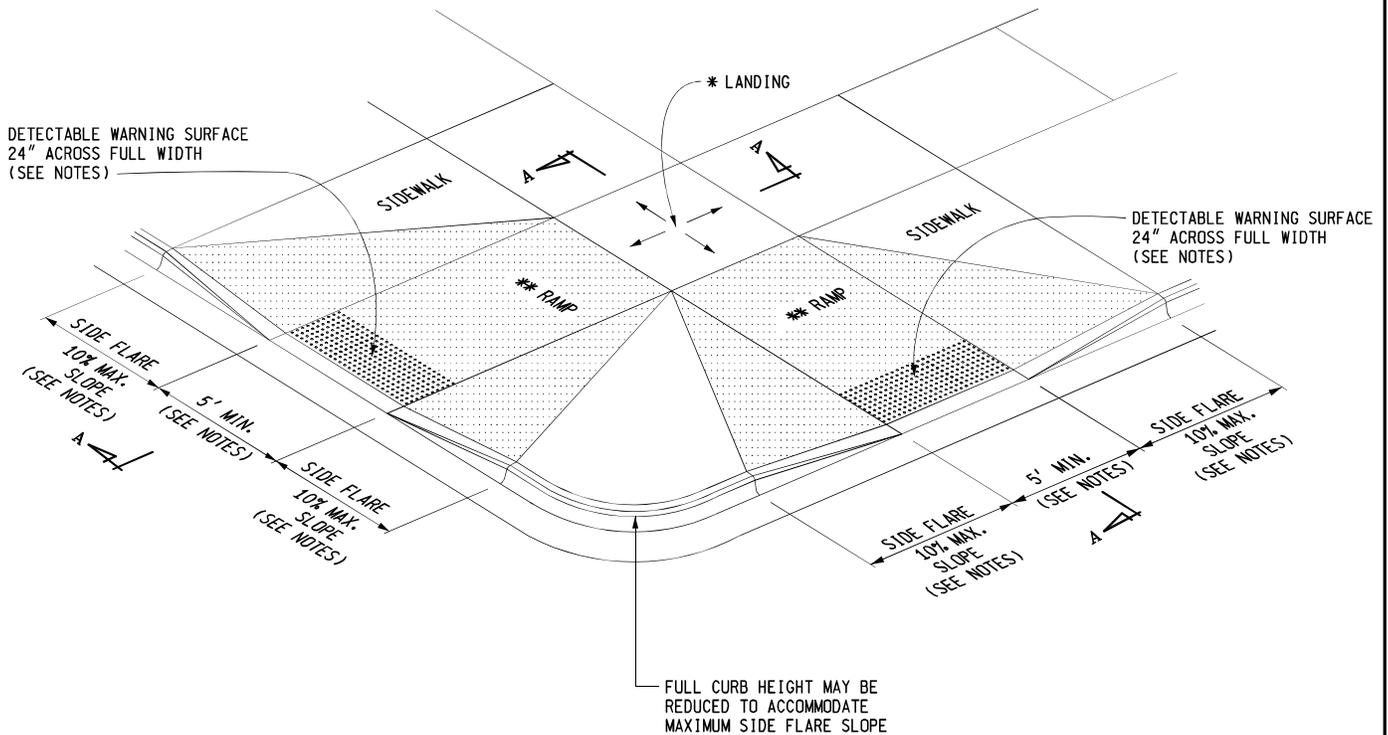


* MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

** MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



CURB RAMP TYPE R
(ROLLED SIDES)



CURB RAMP TYPE F
(FLARED SIDES, TWO RAMPS SHOWN)



PREPARED BY
DESIGN DIVISION

DRAWN BY: B.L.T.

CHECKED BY: W.K.P.

DEPARTMENT DIRECTOR
Paul C. Ajegba

APPROVED BY: Gregg Brunner, P.E. Gregg Brunner
Oct 14 2021 12:32 PM
DIRECTOR, BUREAU OF FIELD SERVICES

APPROVED BY: Bradley C. Wiefelrich Bradley C. Wiefelrich
Oct 14 2021 11:01 AM
DIRECTOR, BUREAU OF DEVELOPMENT

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF DEVELOPMENT STANDARD PLAN FOR

**CURB RAMP AND
DETECTABLE WARNING DETAILS**

4-7-2022
F.H.W.A. APPROVAL

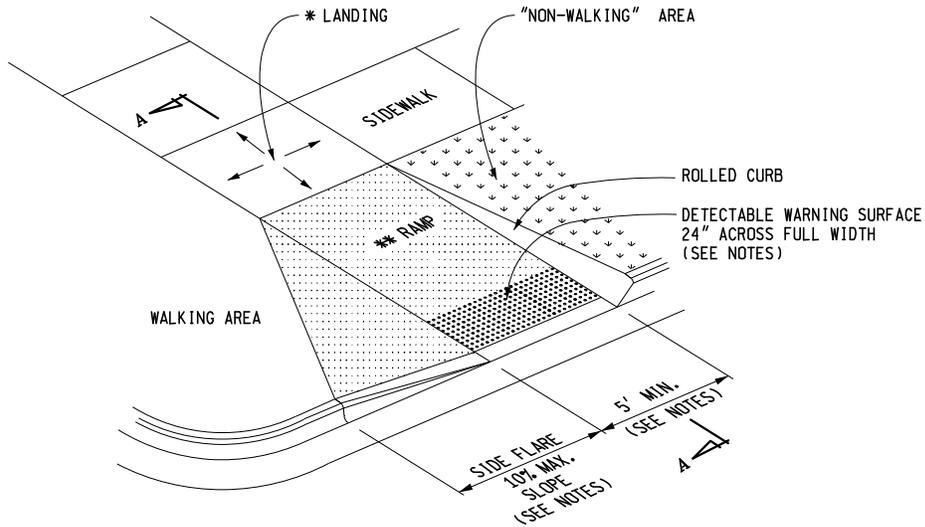
5-8-2020
PLAN DATE

R-28-J

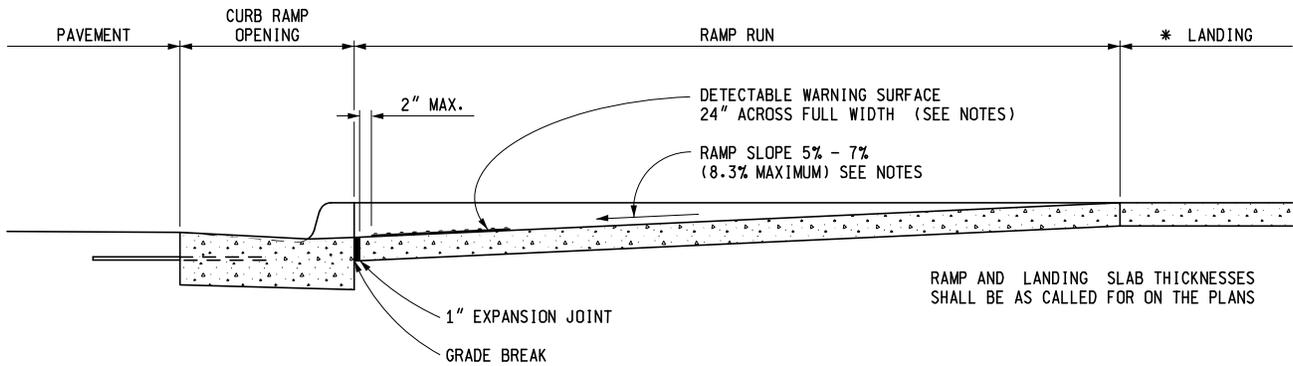
SHEET
1 OF 7

* MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

** MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



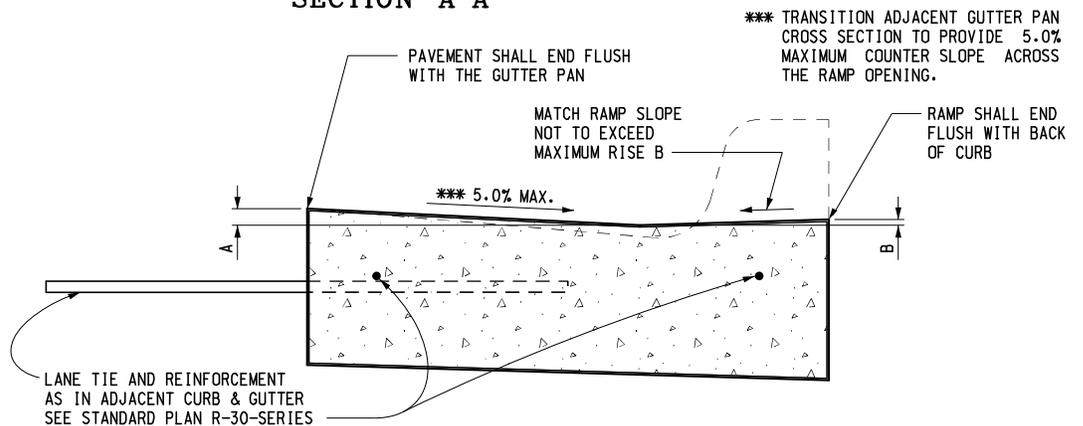
CURB RAMP TYPE RF
(ROLLED / FLARED SIDES)



SECTION A-A

CURB TYPE	MAXIMUM RISE (INCHES)	
	A	B
B1	3/4	1
B2	3/4	1
B3	3/4	1
D1	3/4	1
D2	3/4	1
D3	3/4	1
C1	1/2	1/2
C2	1/2	1/2
C3	3/4	1/2
C4	3/4	1/2
C5	1	1/2
C6	1	1/2
F1	1/2	1/2
F2	1/2	1/2
F3	3/4	1/2
F4	3/4	1/2
F5	1	1/2
F6	1	1/2

FOR CURB TYPES SEE STANDARD PLAN R-30-SERIES



SECTION THROUGH CURB RAMP OPENING
(TYPICAL ALL RAMP TYPES)

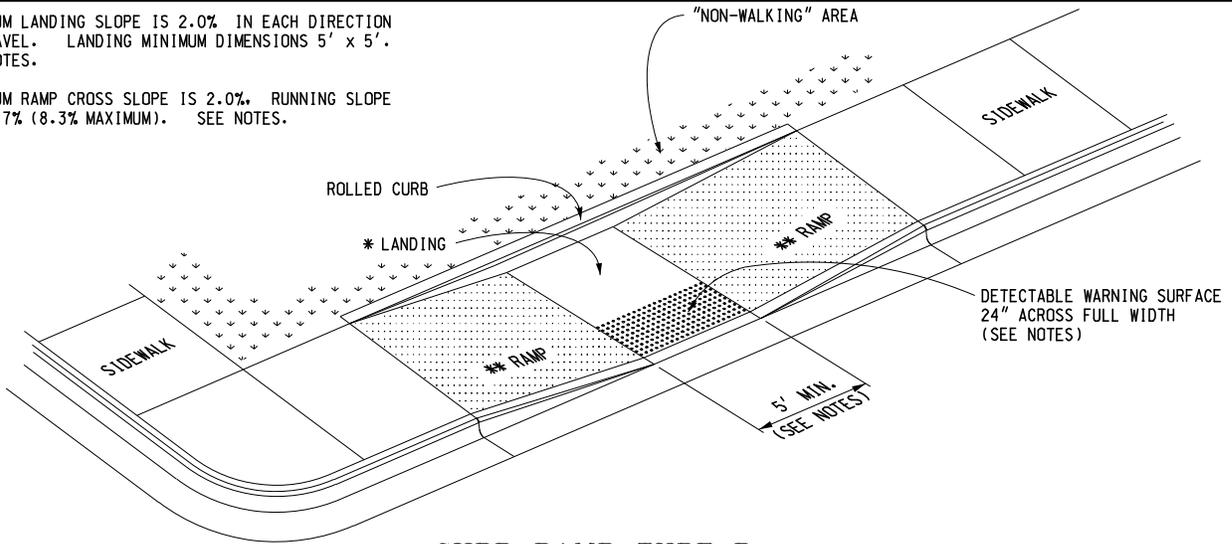
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF DEVELOPMENT STANDARD PLAN FOR

**CURB RAMP AND
DETECTABLE WARNING DETAILS**

4-7-2022 F.H.W.A. APPROVAL	5-8-2020 PLAN DATE	R-28-J	SHEET 2 OF 7
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* MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

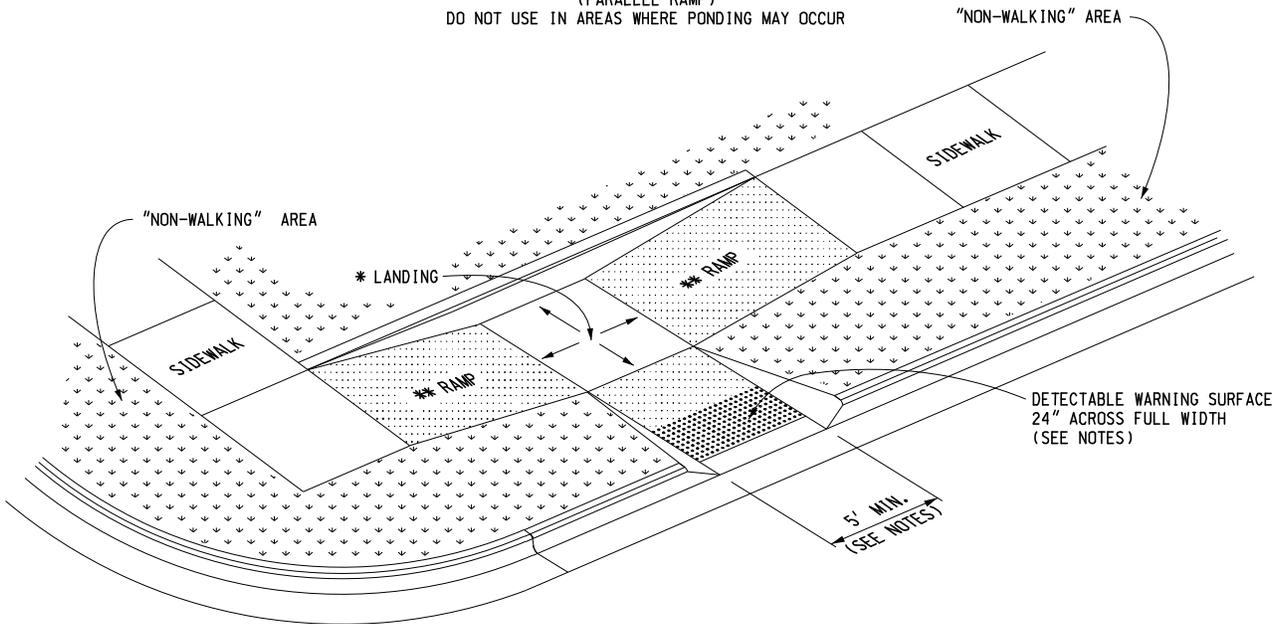
** MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



CURB RAMP TYPE P

(PARALLEL RAMP)

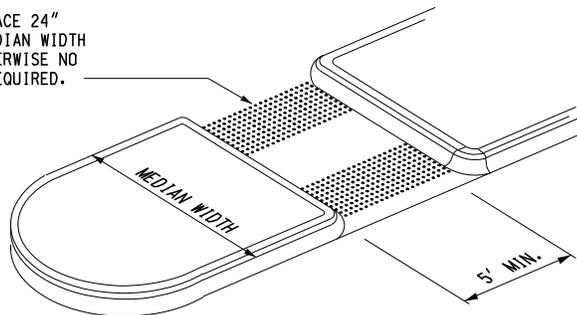
DO NOT USE IN AREAS WHERE PONDING MAY OCCUR



CURB RAMP TYPE C

(COMBINATION RAMP)

DETECTABLE WARNING SURFACE 24" ACROSS FULL WIDTH IF MEDIAN WIDTH IS AT LEAST 6'-0". OTHERWISE NO DETECTABLE WARNING IS REQUIRED.



CURB RAMP TYPE M

(MEDIAN ISLAND)

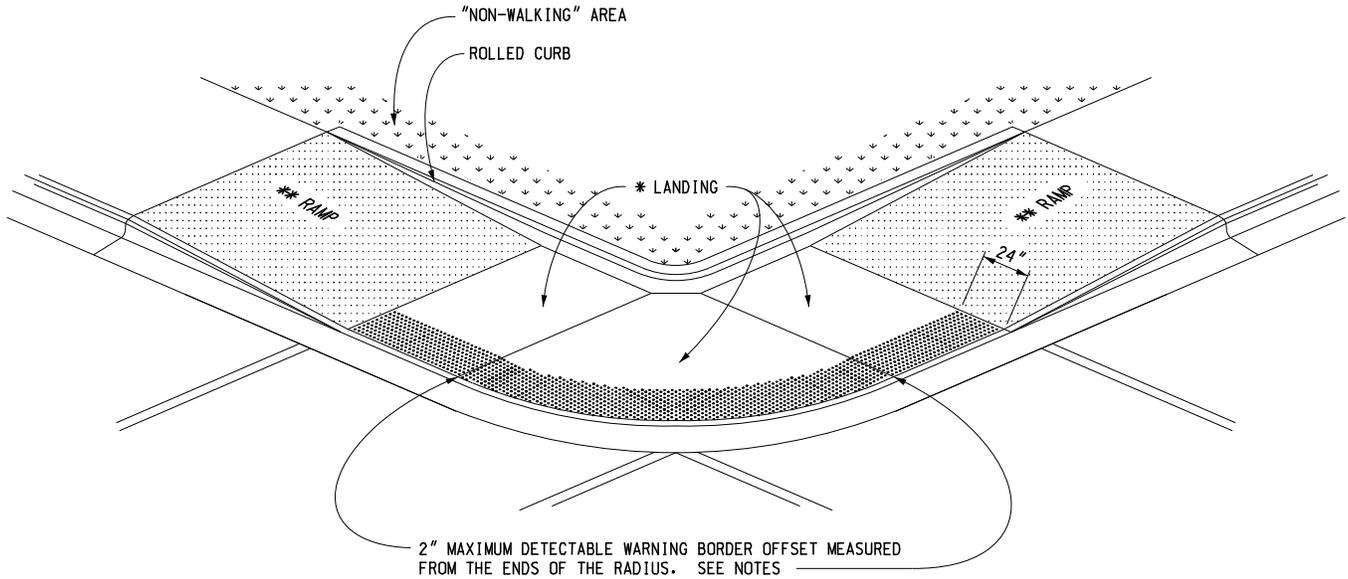
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF DEVELOPMENT STANDARD PLAN FOR

**CURB RAMP AND
DETECTABLE WARNING DETAILS**

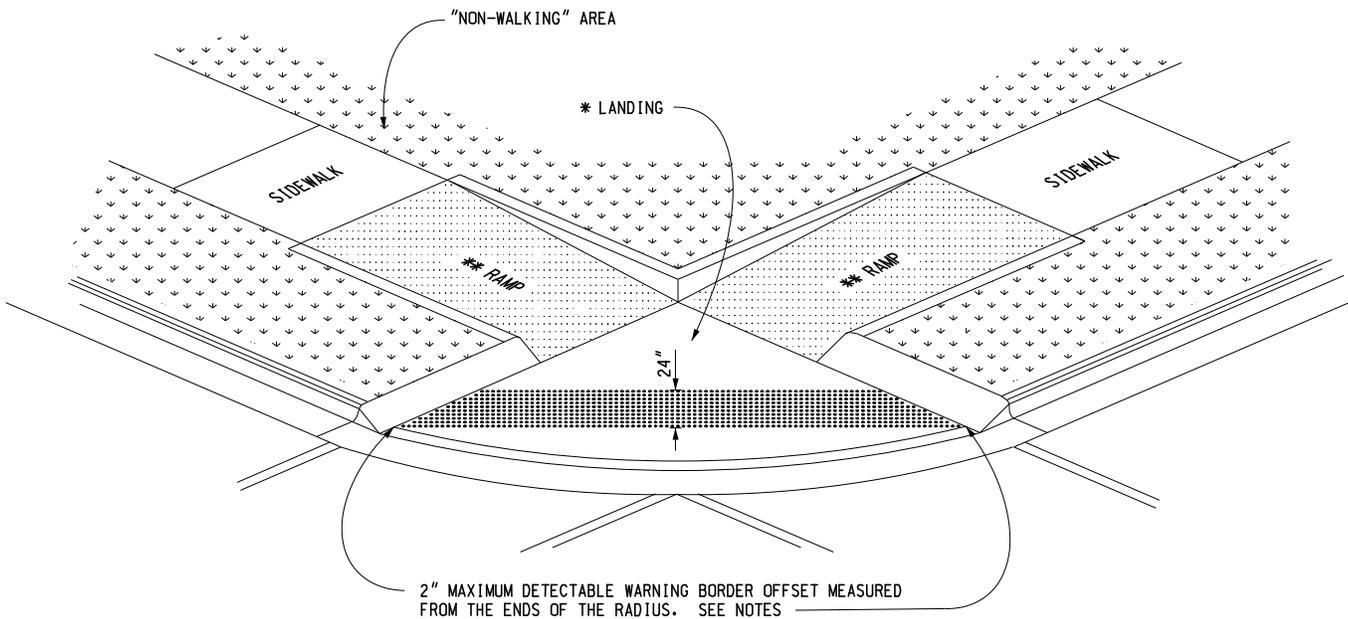
4-7-2022 F.H.W.A. APPROVAL	5-8-2020 PLAN DATE	R-28-J	SHEET 3 OF 7
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* MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

** MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



(RADIAL DETECTABLE WARNING SHOWN)



(TANGENT DETECTABLE WARNING SHOWN)

CURB RAMP TYPE D

(DEPRESSED CORNER)

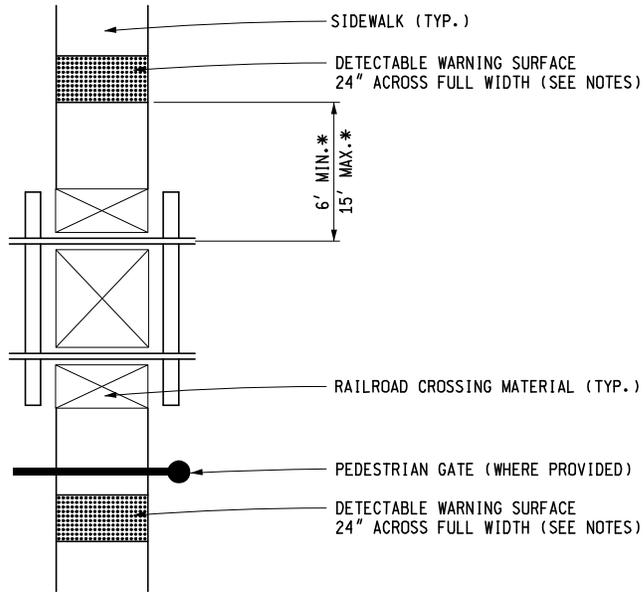
USE ONLY WHEN INDEPENDENT DIRECTIONAL RAMPS CAN NOT BE CONSTRUCTED FOR EACH CROSSING DIRECTION

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF DEVELOPMENT STANDARD PLAN FOR

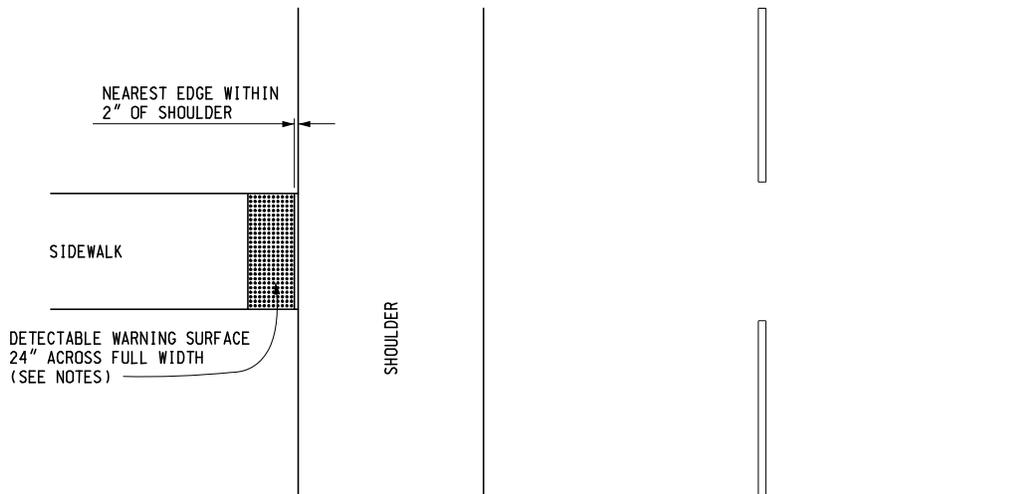
**CURB RAMP AND
DETECTABLE WARNING DETAILS**

4-7-2022 F.H.W.A. APPROVAL	5-8-2020 PLAN DATE	R-28-J	SHEET 4 OF 7
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* THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE RAIL CROSSING IS 6' MINIMUM AND 15' MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL. DO NOT PLACE DETECTABLE WARNING ON RAILROAD CROSSING MATERIAL.



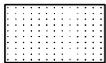
DETECTABLE WARNING AT RAILROAD CROSSING

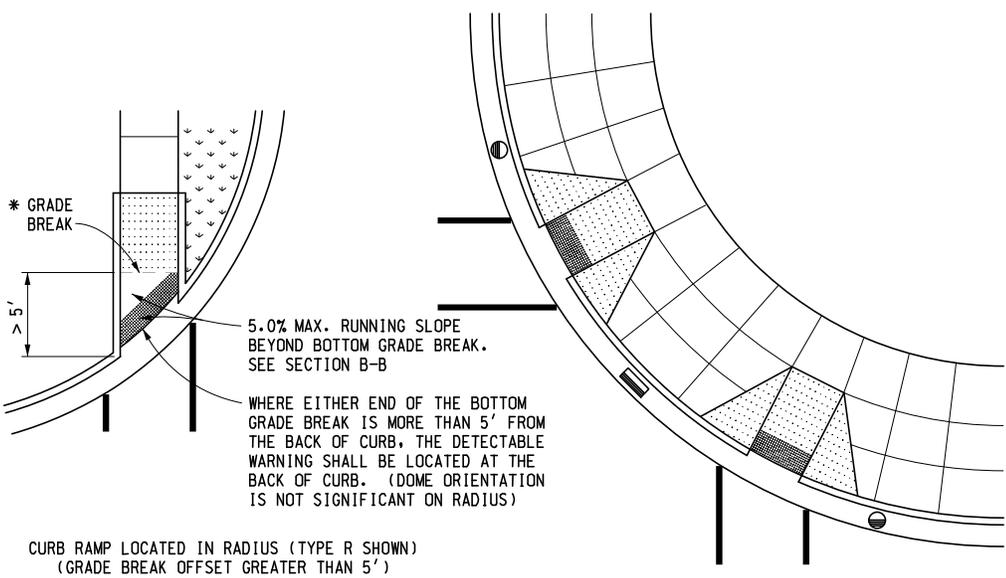


DETECTABLE WARNING AT FLUSH SHOULDER OR ROADWAY

MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF DEVELOPMENT STANDARD PLAN FOR		
CURB RAMP AND DETECTABLE WARNING DETAILS		
4-7-2022 F.H.W.A. APPROVAL	5-8-2020 PLAN DATE	R-28-J
		SHEET 5 OF 7

LEGEND

	SLOPED SURFACE
	DETECTABLE WARNING
	"NON-WALKING" AREA
	CROSSWALK MARKING
	PREFERRED LOCATION OF DRAINAGE INLET (TYP.)
	ALTERNATE LOCATION OF DRAINAGE INLET (TYP.)



* GRADE BREAK

> 5'

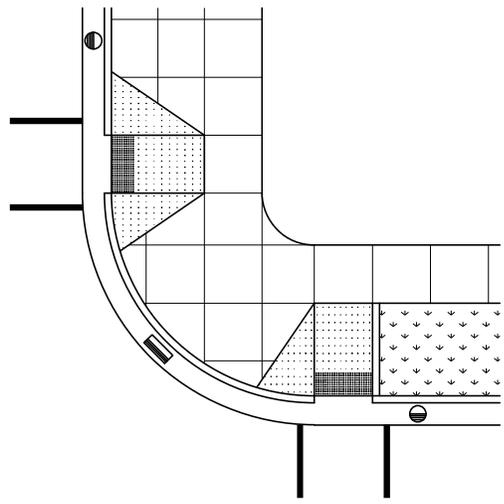
5.0% MAX. RUNNING SLOPE BEYOND BOTTOM GRADE BREAK. SEE SECTION B-B

WHERE EITHER END OF THE BOTTOM GRADE BREAK IS MORE THAN 5' FROM THE BACK OF CURB, THE DETECTABLE WARNING SHALL BE LOCATED AT THE BACK OF CURB. (DOME ORIENTATION IS NOT SIGNIFICANT ON RADIUS)

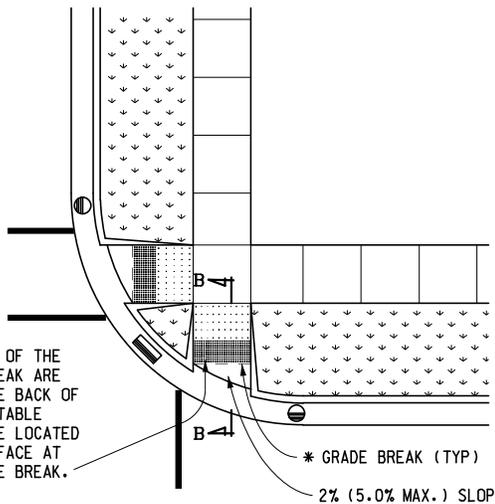
CURB RAMP LOCATED IN RADIUS (TYPE R SHOWN)
(GRADE BREAK OFFSET GREATER THAN 5')

CURB RAMP PERPENDICULAR TO RADIAL CURB (TYPE F SHOWN)

(USE WITH RADIAL CURB WHEN THE CROSSWALK AND CURB RAMP ARE NOT ALIGNED)



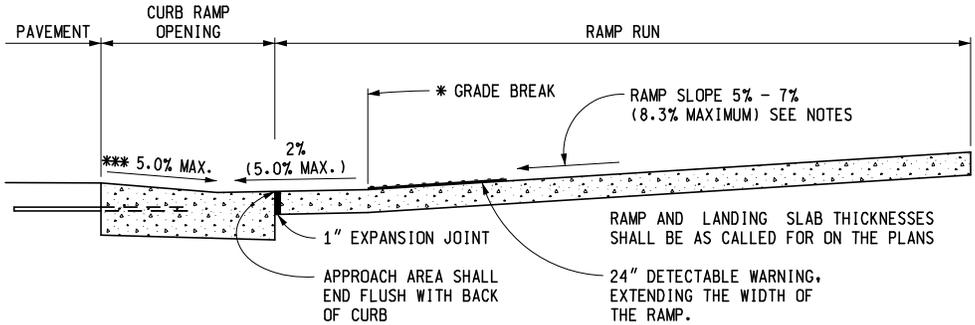
CURB RAMP PERPENDICULAR TO TANGENT CURB
(TYPE F AND TYPE RF SHOWN)



WHERE BOTH ENDS OF THE BOTTOM GRADE BREAK ARE WITHIN 5' OF THE BACK OF CURB, THE DETECTABLE WARNING SHALL BE LOCATED ON THE RAMP SURFACE AT THE BOTTOM GRADE BREAK.

* GRADE BREAK (TYP.)
2% (5.0% MAX.) SLOPE BEYOND BOTTOM GRADE BREAK

CURB RAMP LOCATED IN RADIUS (TYPE R SHOWN)
(GRADE BREAK OFFSET LESS THAN 5')



* GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMPS SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL.

*** TRANSITION ADJACENT GUTTER PAN CROSS SECTION TO PROVIDE 5.0% MAXIMUM COUNTER SLOPE ACROSS THE RAMP OPENING.

SEE SHEET 2 FOR CURB RAMP OPENING DETAILS.

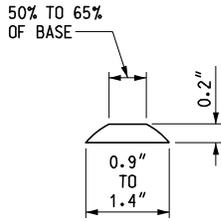
SECTION B-B

CURB RAMP ORIENTATION

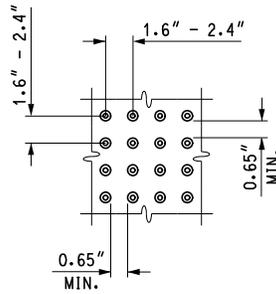
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF DEVELOPMENT STANDARD PLAN FOR

**CURB RAMP AND
DETECTABLE WARNING DETAILS**

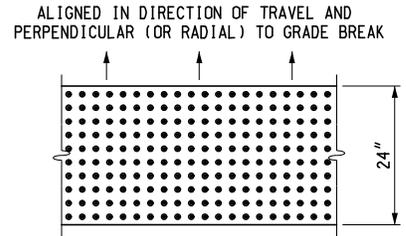
4-7-2022 F.H.W.A. APPROVAL	5-8-2020 PLAN DATE	R-28-J	SHEET 6 OF 7
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DOMES SECTION



DOMES SPACING



DOMES ALIGNMENT

DETECTABLE WARNING DETAILS

NOTES:

DETAILS SPECIFIED ON THIS PLAN APPLY TO ALL CONSTRUCTION, RECONSTRUCTION, OR ALTERATION OF STREETS, CURBS, OR SIDEWALKS IN THE PUBLIC RIGHT OF WAY.

CURB RAMPS ARE TO BE LOCATED AS SPECIFIED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

RAMPS SHALL BE PROVIDED AT ALL CORNERS OF AN INTERSECTION WHERE THERE IS EXISTING OR PROPOSED SIDEWALK AND CURB. RAMPS SHALL ALSO BE PROVIDED AT MARKED AND/OR SIGNALIZED MID-BLOCK CROSSINGS.

SURFACE TEXTURE OF THE RAMP SHALL BE THAT OBTAINED BY A COARSE BROOMING, TRANSVERSE TO THE RUNNING SLOPE.

SIDEWALK SHALL BE RAMPED WHERE THE DRIVEWAY CURB IS EXTENDED ACROSS THE WALK.

CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE ON THE RAMP. WHERE CONDITIONS PERMIT, IT IS DESIRABLE THAT THE SLOPE OF THE RAMP BE IN ONLY ONE DIRECTION, PARALLEL TO THE DIRECTION OF TRAVEL.

RAMP WIDTH SHALL BE INCREASED, IF NECESSARY, TO ACCOMMODATE SIDEWALK SNOW REMOVAL EQUIPMENT NORMALLY USED BY THE MUNICIPALITY.

WHEN 5' MINIMUM WIDTHS ARE NOT PRACTICABLE, RAMP WIDTH MAY BE REDUCED TO NOT LESS THAN 4' AND LANDINGS TO NOT LESS THAN 4' x 4'.

CURB RAMPS WITH A RUNNING SLOPE $\leq 5\%$ DO NOT REQUIRE A TOP LANDING. HOWEVER, ANY CONTINUOUS SIDEWALK OR PEDESTRIAN ROUTE CROSSING THROUGH OR INTERSECTING THE CURB RAMP MUST INDEPENDENTLY MAINTAIN A CROSS SLOPE NOT GREATER THAN 2% PERPENDICULAR TO ITS OWN DIRECTION(S) OF TRAVEL.

DETECTABLE WARNING SURFACE COVERAGE IS 24" MINIMUM IN THE DIRECTION OF RAMP/PATH TRAVEL AND THE FULL WIDTH OF THE RAMP/PATH OPENING EXCLUDING CURBED OR FLARED CURB TRANSITION AREAS. A BORDER OFFSET NOT GREATER THAN 2" MEASURED ALONG THE EDGES OF THE DETECTABLE WARNING IS ALLOWABLE. FOR RADIAL CURB THE OFFSET IS MEASURED FROM THE ENDS OF THE RADIUS.

FOR NEW ROADWAY CONSTRUCTION, THE RAMP CROSS SLOPE MAY NOT EXCEED 2.0%. FOR ALTERATIONS TO EXISTING ROADWAYS, THE CROSS SLOPE MAY BE TRANSITIONED TO MEET AN EXISTING ROADWAY GRADE. THE CROSS SLOPE TRANSITION SHALL BE APPLIED UNIFORMLY OVER THE FULL LENGTH OF THE RAMP.

THE MAXIMUM RUNNING SLOPE OF 8.3% IS RELATIVE TO A FLAT (0%) REFERENCE. HOWEVER, IT SHALL NOT REQUIRE ANY RAMP OR SERIES OF RAMPS TO EXCEED 15 FEET IN LENGTH NOT INCLUDING LANDINGS OR TRANSITIONS.

DRAINAGE STRUCTURES SHOULD NOT BE PLACED IN LINE WITH RAMPS. THE LOCATION OF THE RAMP SHOULD TAKE PRECEDENCE OVER THE LOCATION OF THE DRAINAGE STRUCTURE. WHERE EXISTING DRAINAGE STRUCTURES ARE LOCATED IN THE RAMP PATH OF TRAVEL, USE A MANUFACTURER'S ADA COMPLIANT GRATE. OPENINGS SHALL NOT BE GREATER THAN 1/2". ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.

THE TOP OF THE JOINT FILLER FOR ALL RAMP TYPES SHALL BE FLUSH WITH THE ADJACENT CONCRETE.

CROSSWALK AND STOP LINE MARKINGS, IF USED, SHALL BE SO LOCATED AS TO STOP TRAFFIC SHORT OF RAMP CROSSINGS. SPECIFIC DETAILS FOR MARKING APPLICATIONS ARE GIVEN IN THE "MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

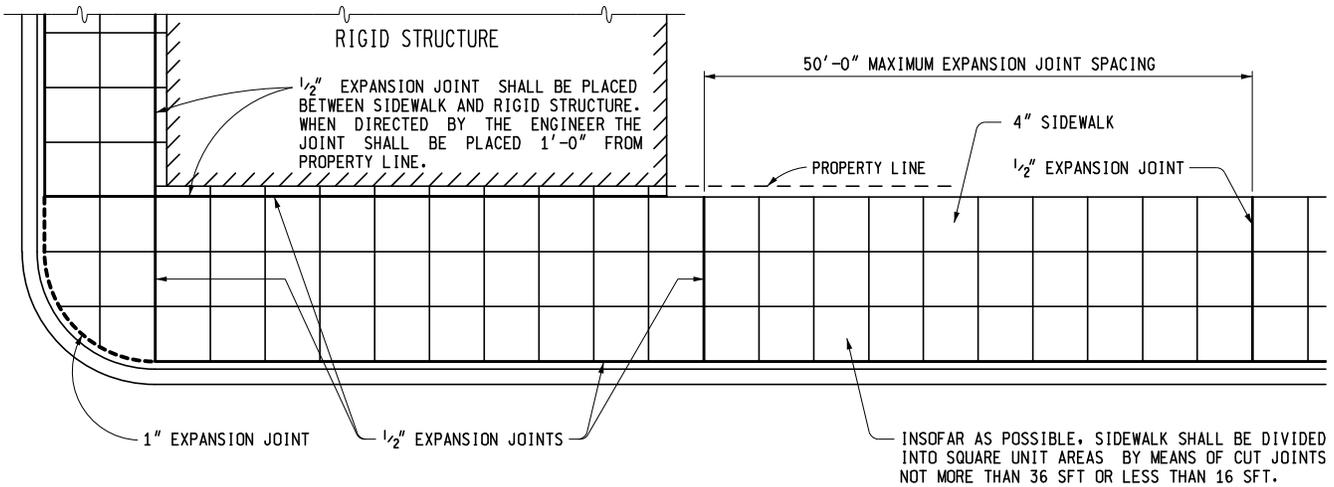
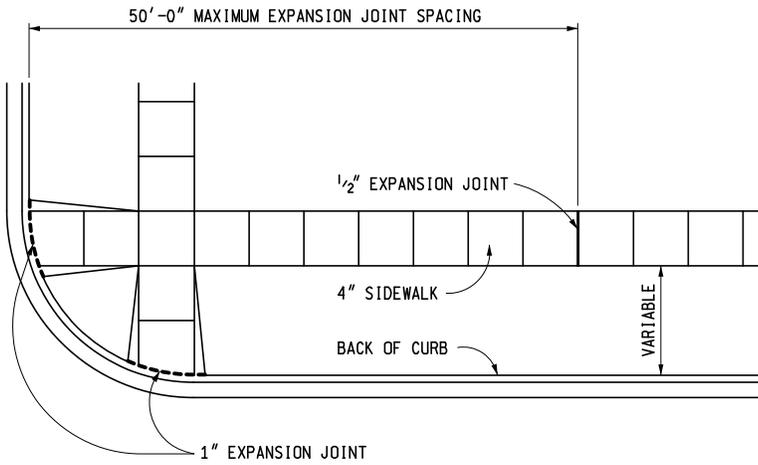
FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED ALONG THE ROADSIDE CURB LINE, SHALL BE PROVIDED WHERE AN UNOBSTRUCTED CIRCULATION PATH LATERALLY CROSSES THE CURB RAMP. FLARED SIDES ARE NOT REQUIRED WHERE THE RAMP IS BORDERED BY LANDSCAPING, UNPAVED SURFACE OR PERMANENT FIXED OBJECTS. WHERE THEY ARE NOT REQUIRED, FLARED SIDES CAN BE CONSIDERED IN ORDER TO AVOID SHARP CURB RETURNS AT RAMP OPENINGS.

DETECTABLE WARNING PLATES MUST BE INSTALLED USING FABRICATED OR FIELD CUT UNITS CAST AND/OR ANCHORED IN THE PAVEMENT TO RESIST SHIFTING OR HEAVING.

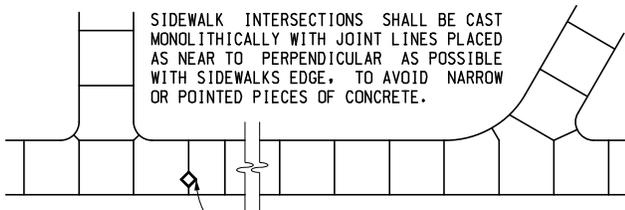
MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF DEVELOPMENT STANDARD PLAN FOR

**CURB RAMP AND
DETECTABLE WARNING DETAILS**

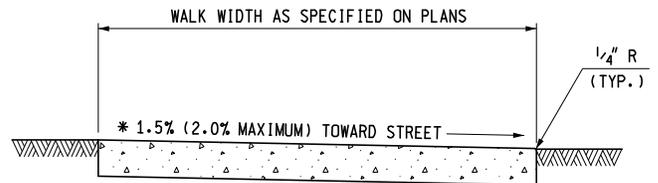
4-7-2022 F.H.W.A. APPROVAL	5-8-2020 PLAN DATE	R-28-J	SHEET 7 OF 7
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LOCATION OF JOINTS IN CONCRETE SIDEWALK



WHERE A PERMANENT STRUCTURE IS LOCATED IN SIDEWALK, PLACE EXPANSION MATERIAL AROUND STRUCTURE AND ADJUST JOINT PATTERN TO INTERSECT STRUCTURE AS ILLUSTRATED.



* SEE NOTES

TYPICAL SIDEWALK JOINT LAYOUTS

4" CONCRETE SIDEWALK



PREPARED BY
DESIGN DIVISION

DRAWN BY: B.L.T.

CHECKED BY: W.K.P.

DEPARTMENT DIRECTOR
Kirk T. Stuedle

APPROVED BY: *Randy U. Pfeiffer*
DIRECTOR, BUREAU OF FIELD SERVICES

APPROVED BY: *Mark A. Van Pelt*
DIRECTOR, BUREAU OF HIGHWAY DEVELOPMENT

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR

**DRIVEWAY OPENINGS
& APPROACHES,
AND CONCRETE SIDEWALK**

9-30-2014
F.H.W.A. APPROVAL

7-1-2014
PLAN DATE

R-29-I

SHEET
1 OF 4



Sheet No.: 1 of 1
 Date : 3/27/23 Job
 Number: RH21-26 Prepared
 By: JE Checked By:
 MOC

JUAN BLANCO'S - ROCHESTER HILLS

Engineers Estimate of Probable Construction Cost

DESCRIPTION	QTY	UNIT	UNIT COST	AMOUNT
2" WATER SERVICE	6	LF	\$35.00	\$210.00
4" FIRE SUPPRESSION LINE	52	LF	\$40.00	\$2,080.00
8"x4" TAPPING SLEEVE AND VALVE	1	EA	\$3,000.00	\$3,000.00
ROCHESTER HILLS - WM SUBTOTAL				\$5,290.00
6" SCHEDULE 40 SEWER LEAD	110	LF	\$65.00	\$7,150.00
1,500 GAL GREASE TRAP	1	LS	\$20,000.00	\$20,000.00
INSPECTION MANHOLE	1	EA	\$3,900.00	\$3,900.00
ROCHESTER HILLS - SAN SEWER SUBTOTAL				\$31,050.00
12" RCP C76 CLIV STORM SEWER	50	LF	\$30.00	\$1,500.00
STORM CATCH BASIN 4' DIA	1	EA	\$2,200.00	\$2,200.00
6" EDGE DRAIN (40 LF PER CATCH BASIN)	82	LF	\$15.00	\$1,230.00
ROCHESTER HILLS - STORM SEWER SUBTOTAL				\$4,930.00
CONCRETE C & G (F-4)	193	LF	\$18.00	\$3,474.00
4" SIDEWALK	165	SY	\$40.00	\$6,600.00
ASPHALT PAVEMENT	165	SY	\$30.00	\$4,950.00
ROCHESTER HILLS - PAVING SUBTOTAL				\$15,024.00
AMERICAN RED MAPLE	4	EA	\$200.00	\$800.00
EMERALD GREEN ARBORVITAE SHRUB	25	EA	\$150.00	\$3,750.00
ROCHESTER HILLS - LANDSCAPE SUBTOTAL				\$4,550.00
TOTAL ESTIMATED CONSTRUCTION COST				\$60,844.00

This will be basis of landscape bond requirement.



JNRA2022-0001
 PSP2022-0009
 Revision #3

Received
 5/10/2023
 City of Rochester Hills
 Planning & Economic
 Development

CITY OF ROCHESTER HILLS
DEPARTMENT OF PUBLIC SERVICE – ENGINEERING SERVICES
1000 ROCHESTER HILLS DRIVE, ROCHESTER HILLS, MI 48309
248.656.4640 Fax 248.646.4758

LAND IMPROVEMENT FEE SCHEDULE
FOR ENGINEERING REVIEW OF CONSTRUCTION PLANS
FOR UTILITIES, PATHWAYS AND PUBLIC OR PRIVATE ROADS

Project Name: Juan Blanco's
1655 E. Auburn Road
City File # _____ Section: _____

Proprietor: Deni Bozinovski
Address: 1711 E Auburn Road
Rochester Hills, MI 48307
Phone: 248-606-4479
Email: 3featherscontracting@gmail.com
Contact: Camiel DeWolf

Office Use Only

Escrow Account # _____
Cash Receipt # _____
Date Paid: _____

Engineering Consultant

Name: Mitchell P. O'Connor
Address: 42185 Kyle Drive, Clinton Twp, MI 48038
Phone: 586-854-3493
Email: moconnor@consultant.com
Contact: Mitchell O'Connor

Architectural Consultant

Name: _____
Address: _____
Phone: _____
Email: _____
Contact: _____

ESTIMATED CONSTRUCTION COSTS FOR:

Public Pathways	\$15,024.00
Sanitary Sewer	\$31,050.00
Water Main	\$5,290.00
Storm Sewer, Detention Basins	\$4,930.00
Public or Private Roads	\$0.00
Other	\$0.00
TOTAL ESTIMATED COST	\$56,294.00
* FEE REQUIRED <u>3.25%</u> X TOTAL ESTIMATED COST	<u>\$1,829.56</u>

*Construction Costs	Percentage	Minimum Fee
0 to \$50,000	3.75%	\$750.00
\$50,000 to \$100,000	3.25%	\$2,200.00
\$100,000 to \$1,000,000	1.75%	\$3,750.00
Over \$1,000,000	1.25%	\$18,750.00

ENGINEERING ADMINISTRATIVE CHARGE: 20% (\$150.00 minimum) \$365.91

Sub-Total \$2,195.47

TOTAL REVIEW FEE REQUIRED **2,200.00 (min.)**

Make checks payable to "City of Rochester Hills"

For initial plan review, three (3)** sets of professionally sealed and signed construction plans along with all calculations for sanitary, water, storm and detention plus an engineers estimate are required for the submittal. Based on the engineering estimate, acceptable to Engineering Services, review fees are calculated as a percentage of the estimated construction cost per Ordinance Chapter 110, Sections 110-172 and 110-372, effective July 28, 2006.

**Any subsequent revisions will require four (4) sets of plans. Subsequent reviews: there shall be an hourly surcharge for the third and each subsequent review.

If consulting engineering personnel are used to conduct construction plan review, one-quarter (1/4%) percent of the fee will be retained by the City.



LAND IMPROVEMENT PERMIT APPLICATION

City of Rochester Hills
1000 Rochester Hills Drive
Rochester Hills, Michigan 48309
248.656.4640 (fax 4758)

Project Name: _____
(as submitted to Planning Department)

City File # _____ Section: _____ Property I.D. _____

Property Owner / Applicant (print name):

DWAYNE ZYSKE
owner / Applicant

Phone 248-736-6830

Email Dwaine1663@SBCGlobal.net

Address: 58640 FROST RD LANSING

Applicant's Signature:

[Signature]
owner / Applicant

Mailing Address:

(city) (state) (street) (zip)

Submit the following with this application:

1. _____ Letter of Transmittal clearly explaining the purpose and description of project.
2. _____ Three (3) sets of 2' x 3' construction drawings sealed by a registered professional engineer for utilities, drainage and roads. These drawings will be reviewed for compliance with Engineering Services current "Design Standards". Copy can be purchased from Engineering Services.

Construction plans should include the following:

- Include Standard Details and Specifications for construction.
- Drainage area map depicting on site and off site drainage areas and patterns.
- Storm sewer sizing calculations
- Detention / retention basin calculations with complete detail of all work.
Storage elevation contour to be clearly marked on all plans.
- Landscape / Tree Preservation / Tree protection Plan.



JNRA2022-0001
PSP2022-0009
Revision #3

Received
5/10/2023
City of Rochester Hills
Planning & Economic
Development

Do not submit building / architectural plans to Engineering Services.

3. _____ One (1) copy of engineer's itemized unit price estimate for the cost of construction of retention/ detention facilities, public and/or private roads, water mains, sanitary sewers, storm sewers and pathways. All on site and off site construction and related work are to be included in the itemized unit price estimate.

4. _____ Payment of non-refundable fee for plan review services, based on your Engineering Estimate. Fees will be recalculated by Engineering Services upon complete submittal of all of the above requirements. Payment for review services is required **before** the project can be placed in the review process.

5. _____ Indicate whether property is owned by _____ Individual

_____ Corporation

 X L. L. C.

Rev. 03/21

I:\Eng\PRIV\ENG FORMS ONLY (MUST DO 'SAVE AS')\Land Improvement\Land Improvement Permit Application.docx



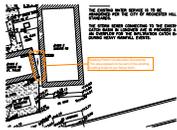
JNRA2022-0001
PSP2022-0009
Revision #3

Received
5/10/2023

City of Rochester Hills
Planning & Economic
Development

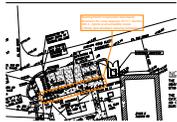
FULL PLAN SET.pdf Markup Summary

Building Department (5)



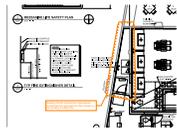
Subject: Building Department
Author: Mark Artinian
Date: 5/23/2023 3:06:41 PM
Status:

Building Permit Construction Documents:
This area appears to be part of the existing building footprint per Sheet A001.



Subject: Building Department
Author: Mark Artinian
Date: 5/23/2023 3:07:42 PM
Status:

Building Permit Construction Documents:
Maximum 2% cross slope per A117.1, Section 403.3 - typical at all accessible routes. Indicate spot elevations showing compliance.



Subject: Building Department
Author: Mark Artinian
Date: 5/23/2023 3:05:35 PM
Status:

Building Permit Construction Documents:
Coordinate this area with the Plan shown on the Grading & Utility Plan.



Subject: Building Department
Author: Mark Artinian
Date: 5/23/2023 3:09:43 PM
Status:

Mark Artinian 248-841-2446
ArtinianM@RochesterHills.org



Subject: Building Department
Author: Mark Artinian
Date: 5/23/2023 3:10:50 PM
Status:

Yes

Engineering Department (1)



Subject: Engineering Department
Author: Jason Boughton
Date: 5/16/2023 9:36:01 AM
Status:

Fire Department (2)



Subject: Fire Department
Author: Joshua
Date: 5/12/2023 8:39:14 AM
Status:

Need results of fire flow test. Results must be included on site plan.



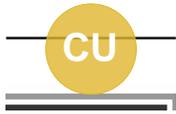
Subject: Fire Department
Author: Joshua
Date: 6/7/2023 3:29:13 PM
Status:

Group (17)



Subject: Group
Author: macdonaldj
Date: 5/11/2023 9:05:19 AM
Status:

City of Rochester Hills Planning & Economic Development



Subject: Group
Author: C.McLeod
Date: 5/17/2023 12:32:08 PM
Status:



Subject: Group
Author: C.McLeod
Date: 5/11/2023 2:57:47 PM
Status:

Received
5/10/2023

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 5/11/2023 2:58:00 PM
Status:

Received
5/10/2023

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 5/11/2023 2:58:06 PM
Status:

Received
5/10/2023

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 5/11/2023 2:58:18 PM
Status:

Received
5/10/2023

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 5/11/2023 2:58:24 PM
Status:

Received
5/10/2023

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 5/11/2023 2:58:32 PM
Status:

Received
5/10/2023

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 5/11/2023 2:58:38 PM
Status:

Received
5/10/2023

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 5/11/2023 2:58:46 PM
Status:

Received
5/10/2023

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 5/11/2023 2:58:57 PM
Status:

Received
5/10/2023

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 5/11/2023 2:59:09 PM
Status:

Received
 5/10/2023

City of Rochester Hills Planning & Economic
 Development



Subject: Group
Author: C.McLeod
Date: 5/11/2023 2:59:39 PM
Status:

Received
 5/10/2023

City of Rochester Hills Planning & Economic
 Development



Subject: Group
Author: C.McLeod
Date: 5/11/2023 2:59:57 PM
Status:

Received
 5/10/2023

City of Rochester Hills Planning & Economic
 Development



Subject: Group
Author: C.McLeod
Date: 5/11/2023 3:00:11 PM
Status:

Received
 5/10/2023

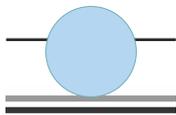
City of Rochester Hills Planning & Economic
 Development



Subject: Group
Author: C.McLeod
Date: 5/11/2023 3:00:22 PM
Status:

Received
 5/10/2023

City of Rochester Hills Planning & Economic
 Development



Subject: Group
Author: C.McLeod
Date: 5/26/2023 4:44:18 PM
Status:

SP

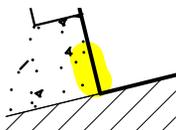
Highlight (5)



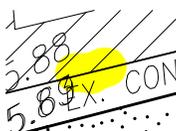
Subject: Highlight
Author: Mark Artinian
Date: 5/23/2023 1:50:56 PM
Status:



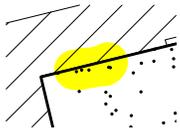
Subject: Highlight
Author: Mark Artinian
Date: 5/23/2023 1:51:03 PM
Status:



Subject: Highlight
Author: Mark Artinian
Date: 5/23/2023 1:51:10 PM
Status:



Subject: Highlight
Author: Mark Artinian
Date: 5/23/2023 1:51:25 PM
Status:



Subject: Highlight
Author: Mark Artinian
Date: 5/23/2023 1:51:32 PM
Status:

Jenny McGuckin - YES (1)



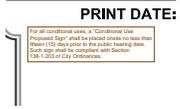
Subject: Jenny McGuckin - YES
Author: Jenny McGuckin
Date: 5/12/2023 9:06:21 AM
Status:

Natural Resources (1)



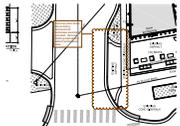
Subject: Natural Resources
Author: Matt Einheuser
Date: 5/23/2023 12:17:12 PM
Status:

Planning Department (15)



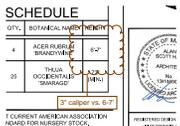
Subject: Planning Department
Author: C.McLeod
Date: 5/11/2023 2:56:44 PM
Status:

For all conditional uses, a "Conditional Use Proposed Sign" shall be placed onsite no less than fifteen (15) days prior to the public hearing date. Such sign shall be compliant with Section 138-1.203 of City Ordinances.



Subject: Planning Department
Author: C.McLeod
Date: 5/25/2023 9:55:42 AM
Status:

Previous plans show this as being removed and landscape area being provided. Remove existing asphalt and extend landscaping area.



Subject: Planning Department
Author: C.McLeod
Date: 5/17/2023 2:25:58 PM
Status:

3" caliper vs. 6-7"



Subject: Planning Department
Author: C.McLeod
Date: 5/17/2023 2:28:09 PM
Status:

All building mechanical equipment shall be screened from view with appropriate architectural treatment.



Subject: Planning Department
Author: C.McLeod
Date: 5/17/2023 2:28:44 PM
Status:

All fixtures shall comply with Illuminating Engineering Society of North America standards.



Subject: Planning Department
Author: C.McLeod
Date: 5/17/2023 2:39:42 PM
Status:

This will be basis of landscape bond requirement.



Subject: Planning Department
Author: C.McLeod
Date: 5/25/2023 10:01:53 AM
Status:

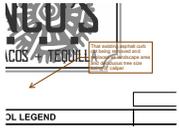
Landscape cost estimate provided = \$4,550. Performance bond of this amount plus inspection fees will be required.



Subject: Planning Department
Author: C.McLeod
Date: 5/25/2023 9:53:31 AM
Status:

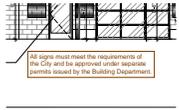
Assessing

Yes



Subject: Planning Department
Author: C.McLeod
Date: 5/25/2023 9:58:13 AM
Status:

That existing asphalt curb cut being removed and replaced as landscape area and deciduous tree size being 3" caliper



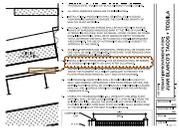
Subject: Planning Department
Author: C.McLeod
Date: 5/25/2023 9:57:15 AM
Status:

All signs must meet the requirements of the City and be approved under separate permits issued by the Building Department.



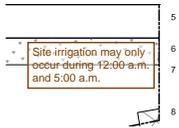
Subject: Planning Department
Author: C.McLeod
Date: 5/25/2023 9:57:33 AM
Status:

All ground mounted utilities shall be fully screened from view.



Subject: Planning Department
Author: C.McLeod
Date: 5/25/2023 9:59:01 AM
Status:

Prior to occupancy



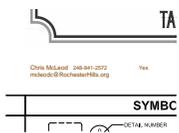
Subject: Planning Department
Author: C.McLeod
Date: 5/25/2023 9:59:44 AM
Status:

Site irrigation may only occur during 12:00 a.m. and 5:00 a.m.



Subject: Planning Department
Author: C.McLeod
Date: 5/25/2023 10:02:12 AM
Status:

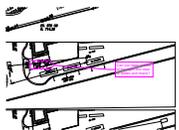
Prior to the release of the performance bond, the City of Rochester Hills must inspect all landscaping plantings.



Subject: Planning Department
Author: C.McLeod
Date: 5/25/2023 10:04:10 AM
Status:

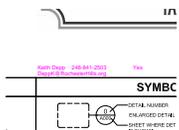
Prior to the release of the performance bond, the City of Rochester Hills must inspect all landscaping plantings.

Traffic (3)



Subject: Traffic
Author: Keith
Date: 5/24/2023 4:31:22 PM
Status:

Can you keep in front of the sight line clear of tables and chairs?



Subject: Traffic
Author: Keith
Date: 5/24/2023 4:31:55 PM
Status:

Can you keep in front of the sight line clear of tables and chairs?



Subject: Traffic
Author: Keith
Date: 5/24/2023 4:32:43 PM
Status:

with condition the Pathway sight line is kept clear of tables and chairs if at all possible.