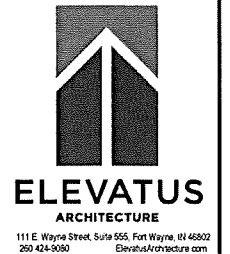


STORE 057 MINOR RESET

CP-19-00057

3175 S. Rochester Road
Rochester, MI 48307



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STORE 057 MINOR RESET
CP-19-00057
3175 S. Rochester Road
Rochester, MI 48307

Design Team

Owner

ELEVATUS Architecture
111 E. Wayne Street, Suite 555
Fort Wayne, IN 46802
260 424-9080
Craig Armstrong, AIA

Engineering Resources, Inc.
11020 Diebold Rd.
Fort Wayne, IN 46845
260 490-1025
Diane Reynolds

Meijer, Inc.
2350 Three Mile Rd.
Grand Rapids, MI 49544
616-735-8713
CHRIS MANKOWSKI

SHEET INDEX

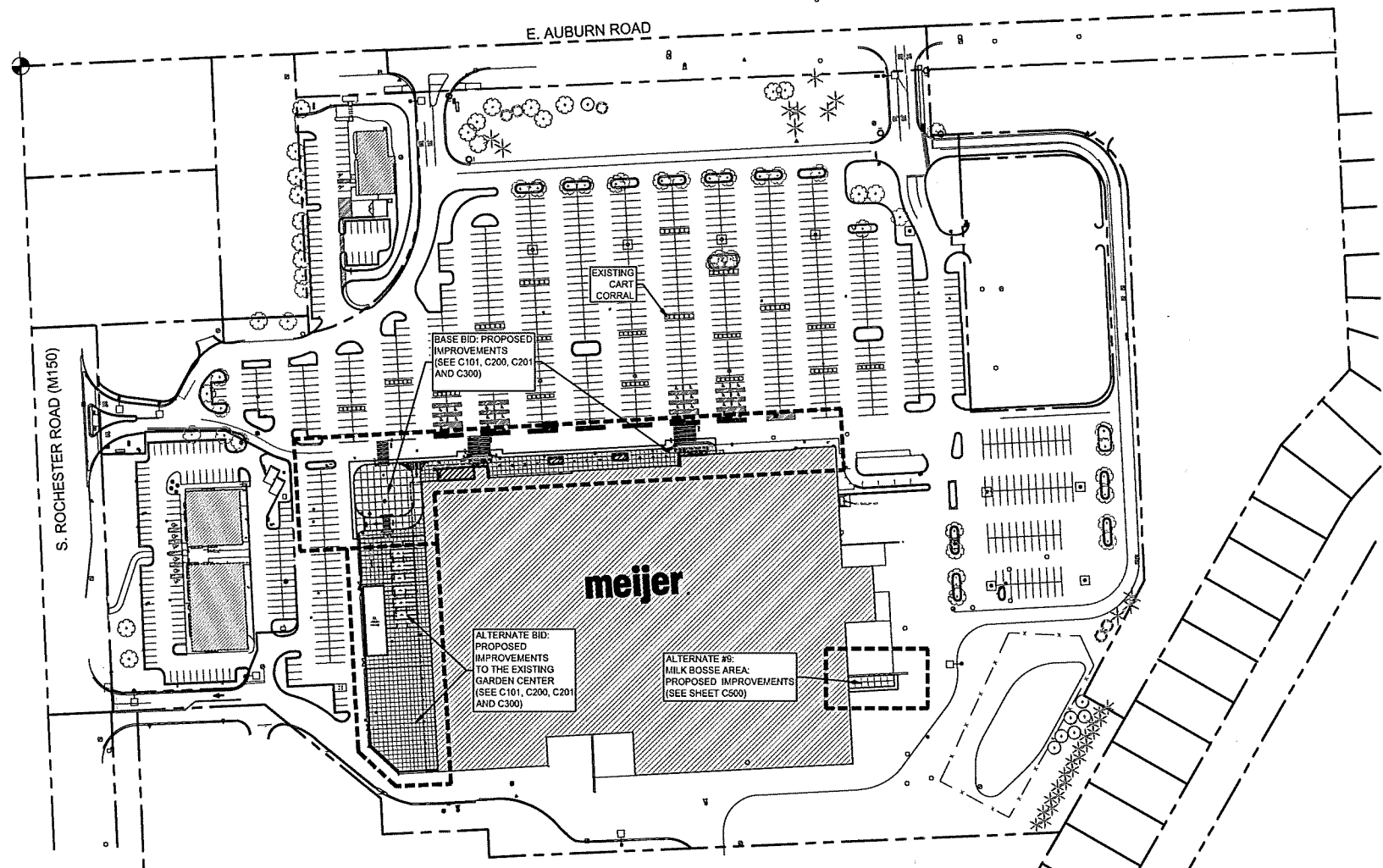
G001	REV. 2/12	COVER SHEET & INDEX
C100	REV. 2/12 REV. 3/13	OVERALL SITE PLAN
C100E		SITE SURVEY
C101	REV. 2/12 REV. 3/13	SITE DEMOLITION PLAN
C200	REV. 2/12 REV. 3/13	SITE LAYOUT PLAN
C201	REV. 2/12 REV. 3/13	SITE SIGNAGE, STRIPING AND SITE AMENITY PLAN
C201a	REV. 2/12 REV. 3/13	CONSTRUCTION FENCE STAGING PLAN
C300	REV. 2/12 REV. 3/13	SITE GRADING AND UTILITY PLAN
C301	REV. 2/12	SITE CONSTRUCTION EROSION CONTROL PLAN - NORTH
C302	REV. 2/12	SITE CONSTRUCTION EROSION CONTROL PLAN - SOUTH
C400	REV. 2/12	SITE DETAILS
C401	NEW	CITY OF ROCHESTER HILLS STORM SEWER DETAILS
C500	NEW REV. 3/13	SITE DEMOLITION, LAYOUT AND GRADING PLANS FOR MILK BOSSE AREA
A100	REV. 3/13	OVERALL FLOOR PLAN
A101A		ARCHITECTURAL DEMOLITION & CONSTRUCTION PLAN - UNIT A
A101C		ARCHITECTURAL DEMOLITION & CONSTRUCTION PLAN - UNIT C
A101E	REV. 3/13	ARCHITECTURAL DEMOLITION & CONSTRUCTION PLAN - UNIT E
A201		EXTERIOR ELEVATIONS
ES101		ELECTRICAL SITE PLAN
ES102		ELECTRICAL SITE PLAN - PHOTOMETRICS

REVISIONS		
NO.	DESCRIPTION	DATE
1	Addendum #1	02/05/2019
2	SPA Revisions	03/13/2019

PROJECT NO.	ISSUE DATE
1801808	1/21/2019
SUBMITTAL	
Issued for Bids, Permit, and Construction	

Cover Sheet & Index

G001



OVERALL SITE PLAN
SCALE: 1" = 100'

BUILDING SQUARE FOOTAGE:
EXISTING: 281,438 SF
PROPOSED: 276,135 SF

SURVEY NOTE:
EXISTING TOPOGRAPHY IS BASED ON A TOPOGRAPHICAL SURVEY PROVIDED BY REICHERT SURVEYING INC., DRAWING DATED NOVEMBER 16, 2018. ADDITIONAL SITE INFORMATION WAS MERGED WITH THIS SURVEY. THE ADDITIONAL DESIGN DOCUMENTS WERE SUPPLIED TO ELEVATUS ARCHITECTURE FROM MEIJER, INC.
SITE BENCHMARK PROVIDED FROM TOPOGRAPHIC SURVEY BY DEKEYSER SURVEYING.

- SITE PLAN NOTES:**
- OWNER INFORMATION:
MEIJER, INC. (GOOD WILL, INC.)
2350 THREE MILE ROAD
GRAND RAPIDS, MI 49544
 - STORM DRAINAGE PATTERNS AND STORM WATER MANAGEMENT SHALL REMAIN AS EXISTING. NO INCREASE IN STORMWATER QUANTITY OR IMPERVIOUS AREA.
 - PROPOSED CONSTRUCTION IS NOT LOCATED IN A DESIGNATED FLOODPLAIN OR WETLAND AREA.
 - EXISTING UTILITIES SHALL REMAIN EXCEPT AS INDICATED ON THE DRAWINGS. EXISTING BUILDING AND POLE-MOUNTED SITE LIGHTING FIXTURES SHALL REMAIN EXCEPT FOR ONE POLE LIGHT THAT IS BEING RELOCATED WITHIN THE GARDEN CENTER SEE ELECTRICAL DRAWINGS. ALL PROPOSED LIGHT FIXTURES IN PROPOSED CANOPIES (E.G. PHARMACY DRIVE-UP) AND IN GARDEN CENTER SHALL BE SHIELDED AS REQUIRED BY ZONING ORDINANCE LIGHTING REQUIREMENTS.
 - EXISTING LANDSCAPING SHALL REMAIN.
 - CONSTRUCTION DRAWINGS WILL INCLUDE REQUIRED SOIL EROSION CONTROL MEASURES INCLUDING INLET PROTECTION AT ALL AFFECTED STORMWATER INLETS.
 - SEE ARCHITECTURAL DRAWINGS FOR CHANGES TO EXTERIOR SIGNAGE.

- FIRE DEPARTMENT NOTES:**
- THE EXISTING BUILDING ADDRESS(S) SHALL REMAIN UNCHANGED.
 - EXISTING FIRE LANES AND FIRE DEPARTMENT ACCESS ROAD WIDTHS SHALL REMAIN.
 - FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - ALL FIRE HYDRANTS SHALL REMAIN.

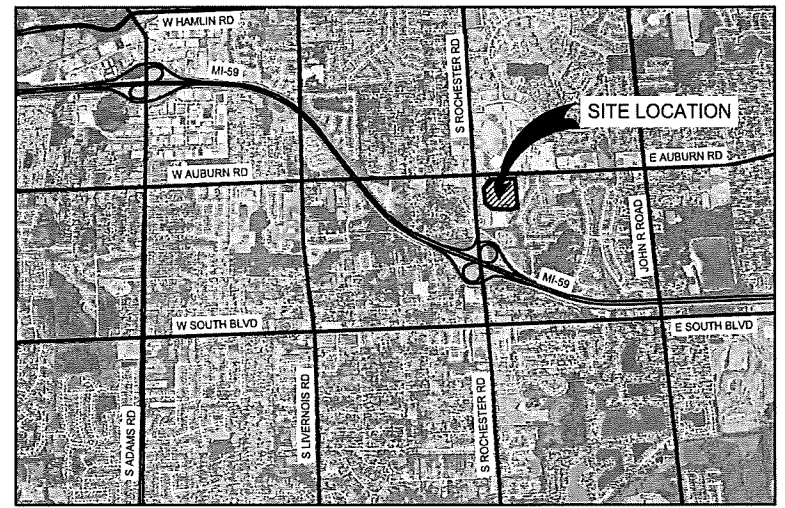
EXISTING PARKING (MAIN STORE):
STORE PARKING LOT:
749 STANDARD SPACES
28 HANDICAP ACCESSIBLE SPACES
777 TOTAL SPACES
EXISTING CART CORRALS: 17 CORRALS

PROPOSED PARKING (MAIN STORE):
STORE PARKING LOT:
749 STANDARD SPACES
28 HANDICAP ACCESSIBLE SPACES
777 TOTAL SPACES
EXISTING CART CORRALS: 17 CORRALS

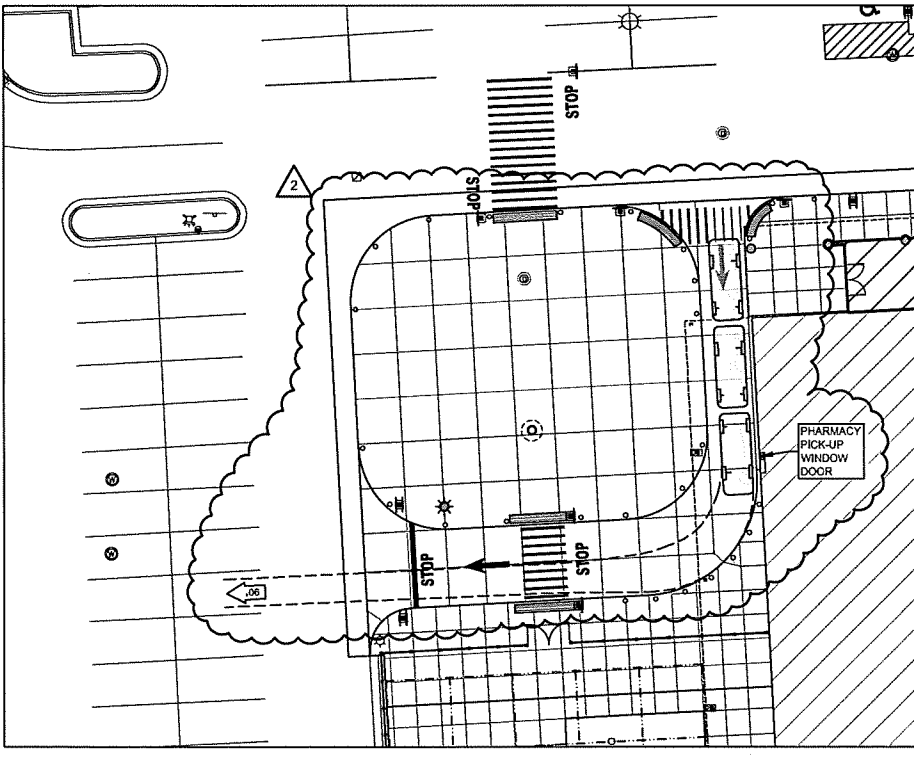
LOT INFORMATION:

MAIN STORE PARCEL # : 70-99-00-225-001
PROPERTY ZONING: B-3 FLEX BUSINESS OVERLAY
COUNTY: OAKLAND COUNTY
TOWNSHIP: ROCHESTER HILLS
ACRES: 27.6± ACRES

LEGAL DESCRIPTION:
MEIJER STORE #57 - ROCHESTER HILLS, OAKLAND CO, MI (AFTER SALE TO JUST BURGERS & FRIES)
OWNER: MEIJER, INC.
A PART OF THE NORTHWEST 1/4 OF SECTION 35, T3N, R11E, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS:
BEGINNING N87°47'36"E, 506.61 FEET FROM THE NORTHWEST CORNER OF SAID SECTION 35; THENCE N87°47'36"E, 742.59 FEET; THENCE S02°12'26"E, 151.00 FEET; THENCE N87°47'36"E, 176.49 FEET; THENCE ALONG A TANGENT CURVE TO THE RIGHT 141.61 FEET, SAID CURVE HAVING A RADIUS OF 90.00 FEET, A CENTRAL ANGLE OF 90°09'06"; AND ALONG A CHORD BEARING S47°07'51"E, 127.45 FEET; THENCE S02°03'15"E, 537.56 FEET; THENCE S28°07'01"W, 179.50 FEET; THENCE S59°58'03"E, 65.00 FEET; THENCE S30°02'02"W, 180.94 FEET; THENCE S87°48'01"W, 785.96 FEET; THENCE N02°04'09"W, 38.36 FEET; THENCE S87°47'32"W, 145.23 FEET; THENCE N02°12'28"W, 49.54 FEET; THENCE N50°46'36"W, 206.76 FEET; THENCE S87°45'48"W, 211.98 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF ROCHESTER ROAD (M-150 VARIABLE WIDTH); THENCE N02°00'59"W, 30.56 FEET ALONG SAID RIGHT OF WAY LINE OF ROCHESTER ROAD; THENCE S72°55'39"E, 16.88 FEET; THENCE N87°59'01"E, 154.80 FEET; THENCE ALONG A NON-TANGENT CURVE TO THE LEFT, 22.47 FEET, SAID CURVE HAVING A RADIUS OF 24.00 FEET, A CENTRAL ANGLE OF 53°39'04", AND A CHORD BEARING N49°22'36"E, 21.66 FEET; THENCE N22°33'07"E, 41.66 FEET; THENCE N02°00'59"W, 24.00 FEET; THENCE N87°59'01"E, 43.14 FEET; THENCE ALONG A TANGENT CURVE TO THE LEFT 22.81 FEET, SAID CURVE HAVING A RADIUS OF 14.50 FEET, A CENTRAL ANGLE OF 90°07'36", AND A LONG CHORD BEARING N42°55'13"E, 20.53 FEET; THENCE N02°08'35"W, 214.30 FEET; THENCE ALONG A TANGENT CURVE TO THE LEFT 11.50 FEET, SAID CURVE HAVING A RADIUS OF 8.30 FEET, A CENTRAL ANGLE OF 77°31'59", AND A LONG CHORD BEARING N40°51'35"W, 10.64 FEET TO A POINT OF REVERSE CURVATURE; THENCE ALONG SAID REVERSE CURVE TO THE RIGHT 18.27 FEET, SAID CURVE HAVING A RADIUS OF 59.30 FEET, A CENTRAL ANGLE OF 17°39'10", AND A LONG CHORD BEARING 70°50'59"W, 18.20 FEET; THENCE N62°01'25"W, 74.28 FEET; THENCE S89°36'52"W, 110.84 FEET; THENCE S00°23'08"E, 30.06 FEET; THENCE S89°36'52"W, 62.56 FEET TO A POINT ON THE EAST RIGHT OF WAY LINE OF SAID ROCHESTER ROAD; THENCE N02°00'59"W, 101.61 FEET ALONG SAID RIGHT OF WAY LINE OF ROCHESTER ROAD; THENCE ALONG A NON-TANGENT CURVE TO THE LEFT, 48.95 FEET, SAID CURVE HAVING A RADIUS OF 65.74 FEET, A CENTRAL ANGLE OF 42°39'28", AND A CHORD BEARING S61°11'28"E, 47.82 FEET; THENCE S82°31'11"E, 47.86 FEET; THENCE ALONG A TANGENT CURVE TO THE LEFT, 26.64 FEET, SAID CURVE HAVING A RADIUS OF 21.93 FEET, A CENTRAL ANGLE OF 69°35'21", AND A CHORD BEARING N62°41'08"E, 25.03 FEET; THENCE N27°53'28"E, 44.28 FEET; THENCE N42°50'28"E, 13.79 FEET; THENCE ALONG A TANGENT CURVE TO THE RIGHT, 40.29 FEET, SAID CURVE HAVING A RADIUS OF 79.74 FEET, A CENTRAL ANGLE OF 28°56'59", AND A CHORD BEARING N57°18'58"E, 39.86 FEET; THENCE N02°00'59"W, 30.34 FEET; THENCE N87°47'31"E, 118.16 FEET; THENCE S02°36'28"E, 21.14 FEET; THENCE ALONG A CURVE TO THE LEFT 273.63 FEET, SAID CURVE HAVING A RADIUS OF 186.00 FEET, A CENTRAL ANGLE OF 83°40'27", AND A LONG CHORD BEARING OF N39°37'49"E, 248.13 FEET; THENCE N02°12'24"W, 126.00 FEET; THENCE ALONG A CURVE TO THE LEFT 62.83 FEET, SAID CURVE HAVING A RADIUS OF 40.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND A LONG CHORD BEARING OF N47°12'24"W, 56.57 FEET; THENCE N02°12'24"W, 33.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 27.56 ACRES OF LAND.



SITE LOCATION MAP
SCALE: N.T.S.



CAR STACKING ENLARGEMENT
SCALE: 1" = 20'

ELEVATUS ARCHITECTURE
111 E. Wayne Street, Suite 555, Fort Wayne, IN 46802
352.424.8030
ElevatusArchitecture.com

CONFIDENTIAL CONTRACT 1017
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ENGINEERING RESOURCES, INC.
11020 Diebold Road, Fort Wayne, IN 46845
Ph: (317) 490-1021 Fax: (317) 490-1025
www.engineeringresourcesinc.com

SEAL 12-21-2018
DANIEL J. SCHL
REGISTERED PROFESSIONAL ENGINEER
No. 6201009100

Daniel J. Schl
FOR PERMITTING ONLY
OWNER'S CONSTRUCTION MANAGER
ROCKFORD CONSTRUCTION

meijer
STORE #057 MINOR RESET
MEIJER PROJECT #:
CP-19-00057
3175 S. Rochester Rd.
Rochester Hills, MI 48307
2019 STORE REFRESH

REVISIONS

NO.	DESCRIPTION	DATE
1	Revisions to Documents	02/12/2019
2	Revisions to Documents	03/19/2019

PROJECT NO. 1801908 ISSUE DATE 12/21/2018
SUBMITTAL Permit Set

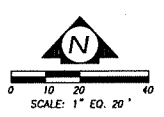
Overall Site Plan
C100
CITY FILE #19-003 SECTION #35

March 15, 2018 8:07 PM S:\Projects\Projects (4000-4998)\Projects (4000-4998)\Meijer_057-Site\Drawings\Plan\057-C100 Overall Site Plan.dwg

TOPOGRAPHICAL SURVEY

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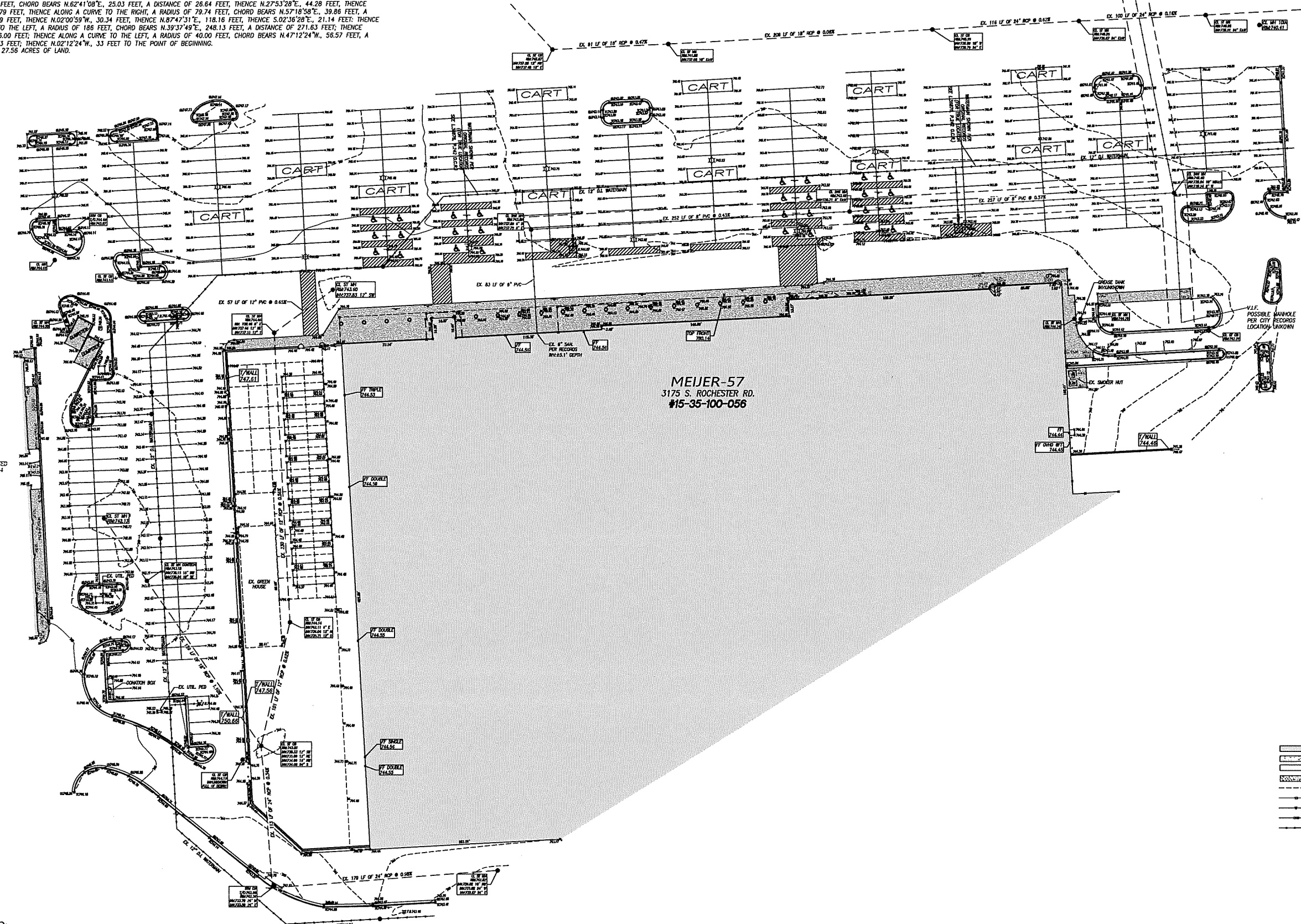
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REICHERT SURVEYING INC.
 P 248 651-0592
 F 248 654-7099
 Mail@ReichertSurveying.com
 140 Flumerfelt Lane
 Rochester, MI 48306

EASEMENTS:
 THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE POLICY OR DEED THEREFORE ALL EASEMENT OF RECORD AND OTHER FACTORS RELEVANT TO TITLE MAY NOT BE SHOWN. CLIENT PROVIDED DESCRIPTION FOR PROPERTY.



ADDRESS NOT LISTED #15-35-100-054

MEIJER-57
 3175 S. ROCHESTER RD.
 #15-35-100-056

- LEGEND:**
- FOUND IRON
 - ⊙ SET IRON
 - RECORD DISTANCE
 - MEASURED DISTANCE
 - ▭ EX. BUILDING
 - ▭ EX. CONCRETE
 - ▭ EX. ASPHALT
 - ▭ EX. LANDSCAPED AREA
 - EX. STORM SEWER
 - EX. SANITARY SEWER
 - EX. WATERMAIN
 - EX. OVERHEAD WIRES
 - EX. FENCE
 - EX. UTILITY POLE
 - ⊕ EX. WATER SHUT-OFF
 - ⊕ EX. HYDRANT
 - ⊕ EX. GATE WELL
 - ⊕ EX. GAS SHUT-OFF
 - ⊕ EX. SANITARY
 - ⊕ EX. STORM STRUCTURE
 - ⊕ EX. DOWN SPOUT
 - ⊕ EX. UTILITY PEDESTAL
 - EX. GRADE

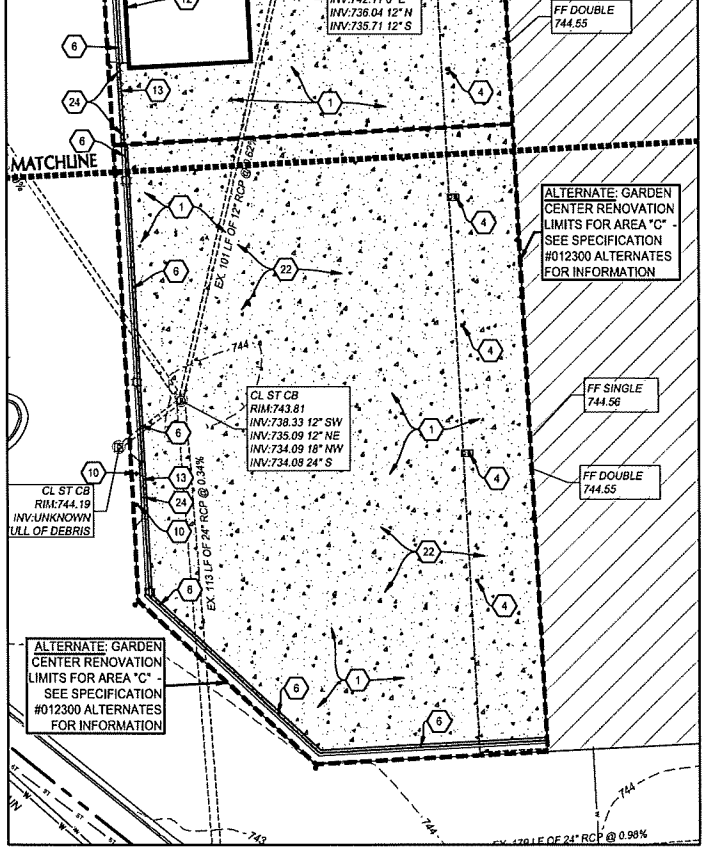
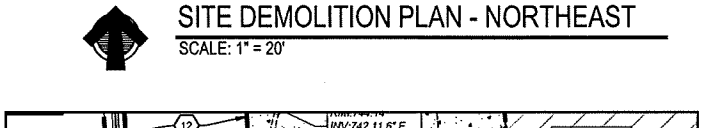
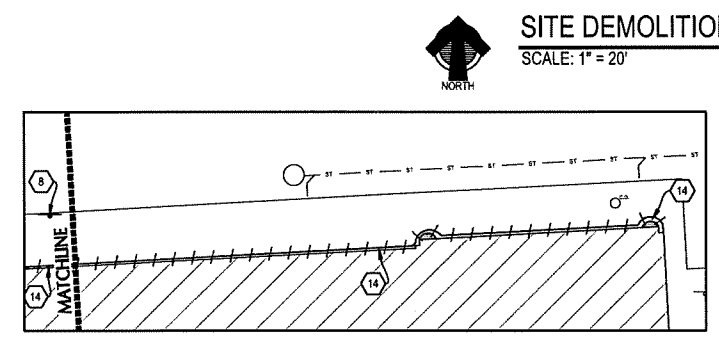
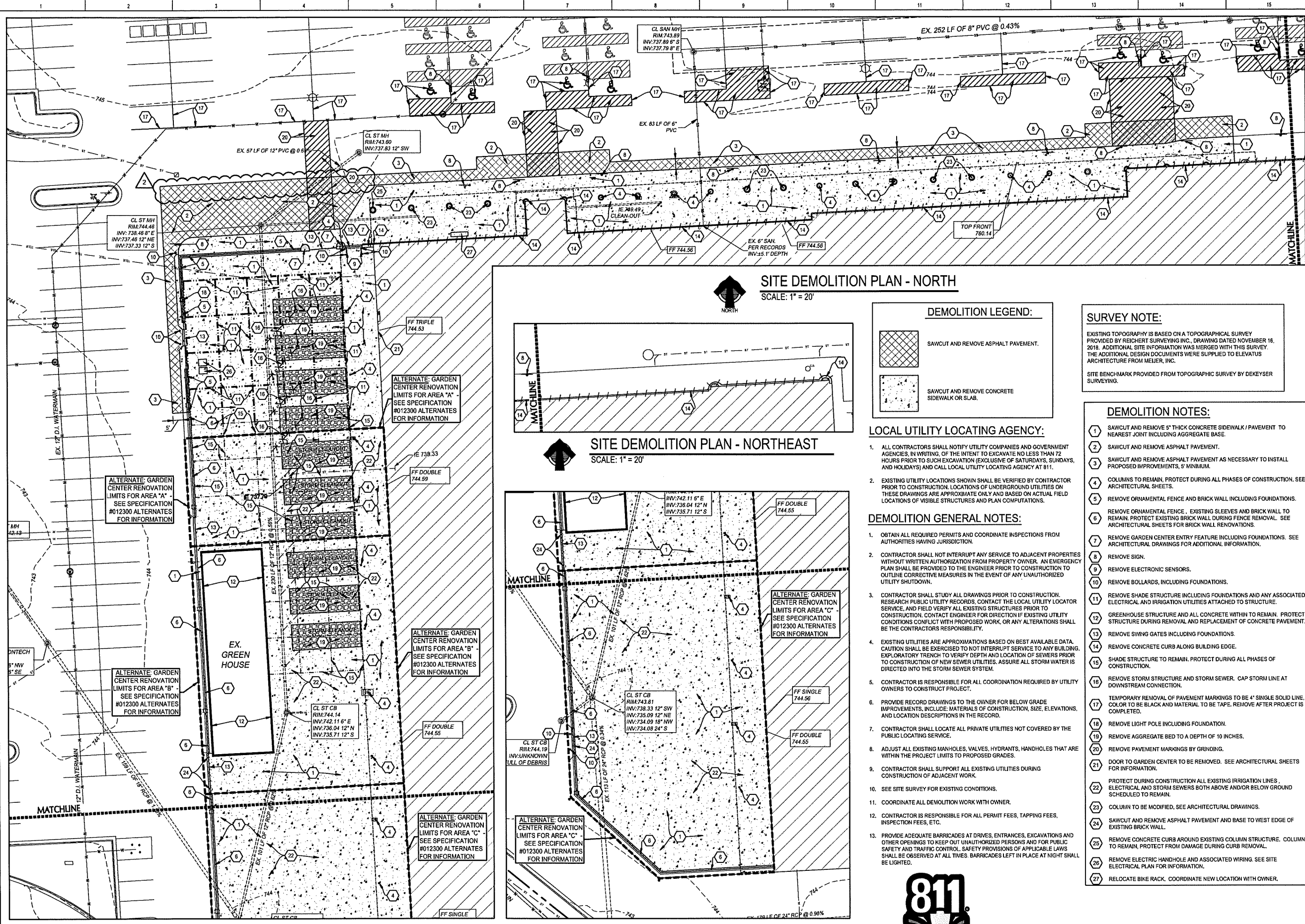
DATUM INFO:
 ALL DATUM INFORMATION SHOWN IS NAVD83 DATUM

TOPOGRAPHICAL SURVEY
 PREPARED FOR:
ENGINEERING RESOURCES, INC.
 11020 DEEROLD RD.
 FORT WAYNE, IN 46845
 (260) 490-1025 EXT. 616

SEAL:

DATE: 11/16/18
 SCALE: 1"=40'
 DRAWN: B.G.R.
 CHECK: G.H.R.
 SHEET: 1 OF 1

March 11, 2019 3:07 PM
 S:\Projects\Projects (400-4993)\Projects (400-4993)\Plans\057-C101_Site Demolition Plan.dwg



DEMOLITION LEGEND:

- [Cross-hatched pattern] SAWCUT AND REMOVE ASPHALT PAVEMENT.
- [Dotted pattern] SAWCUT AND REMOVE CONCRETE SIDEWALK OR SLAB.

SURVEY NOTE:
 EXISTING TOPOGRAPHY IS BASED ON A TOPOGRAPHICAL SURVEY PROVIDED BY REICHERT SURVEYING INC., DRAWING DATED NOVEMBER 16, 2018. ADDITIONAL SITE INFORMATION WAS MERGED WITH THIS SURVEY. THE ADDITIONAL DESIGN DOCUMENTS WERE SUPPLIED TO ELEVATUS ARCHITECTURE FROM MEIJER, INC.
 SITE BENCHMARK PROVIDED FROM TOPOGRAPHIC SURVEY BY DEKEYSER SURVEYING.

LOCAL UTILITY LOCATING AGENCY:

- ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES, IN WRITING, OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS) AND CALL LOCAL UTILITY LOCATING AGENCY AT 811.
- EXISTING UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

DEMOLITION GENERAL NOTES:

- OBTAIN ALL REQUIRED PERMITS AND COORDINATE INSPECTIONS FROM AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL NOT INTERRUPT ANY SERVICE TO ADJACENT PROPERTIES WITHOUT WRITTEN AUTHORIZATION FROM PROPERTY OWNER. AN EMERGENCY PLAN SHALL BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION TO OUTLINE CORRECTIVE MEASURES IN THE EVENT OF ANY UNAUTHORIZED UTILITY SHUTDOWN.
- CONTRACTOR SHALL STUDY ALL DRAWINGS PRIOR TO CONSTRUCTION. RESEARCH PUBLIC UTILITY RECORDS, CONTACT THE LOCAL UTILITY LOCATOR SERVICE, AND FIELD VERIFY ALL EXISTING STRUCTURES PRIOR TO CONSTRUCTION. CONTACT ENGINEER FOR DIRECTION IF EXISTING UTILITY CONDITIONS CONFLICT WITH PROPOSED WORK, OR ANY ALTERATIONS SHALL BE THE CONTRACTORS RESPONSIBILITY.
- EXISTING UTILITIES ARE APPROXIMATIONS BASED ON BEST AVAILABLE DATA. CAUTION SHALL BE EXERCISED TO NOT INTERRUPT SERVICE TO ANY BUILDING. EXPLORATORY TRENCH TO VERIFY DEPTH AND LOCATION OF SEWERS PRIOR TO CONSTRUCTION OF NEW SEWER UTILITIES. ASSURE ALL STORM WATER IS DIRECTED INTO THE STORM SEWER SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION REQUIRED BY UTILITY OWNERS TO CONSTRUCT PROJECT.
- PROVIDE RECORD DRAWINGS TO THE OWNER FOR BELOW GRADE IMPROVEMENTS, INCLUDE MATERIALS OF CONSTRUCTION, SIZE, ELEVATIONS, AND LOCATION DESCRIPTIONS IN THE RECORD.
- CONTRACTOR SHALL LOCATE ALL PRIVATE UTILITIES NOT COVERED BY THE PUBLIC LOCATING SERVICE.
- ADJUST ALL EXISTING MANHOLES, VALVES, HYDRANTS, HANDHOLES THAT ARE WITHIN THE PROJECT LIMITS TO PROPOSED GRADES.
- CONTRACTOR SHALL SUPPORT ALL EXISTING UTILITIES DURING CONSTRUCTION OF ADJACENT WORK.
- SEE SITE SURVEY FOR EXISTING CONDITIONS.
- COORDINATE ALL DEMOLITION WORK WITH OWNER.
- CONTRACTOR IS RESPONSIBLE FOR ALL PERMIT FEES, TAPPING FEES, INSPECTION FEES, ETC.
- PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.

DEMOLITION NOTES:

- SAWCUT AND REMOVE 5" THICK CONCRETE SIDEWALK / PAVEMENT TO NEAREST JOINT INCLUDING AGGREGATE BASE.
- SAWCUT AND REMOVE ASPHALT PAVEMENT.
- SAWCUT AND REMOVE ASPHALT PAVEMENT AS NECESSARY TO INSTALL PROPOSED IMPROVEMENTS, 5' MINIMUM.
- COLUMNS TO REMAIN, PROTECT DURING ALL PHASES OF CONSTRUCTION. SEE ARCHITECTURAL SHEETS.
- REMOVE ORNAMENTAL FENCE AND BRICK WALL INCLUDING FOUNDATIONS.
- REMOVE ORNAMENTAL FENCE. EXISTING SLEEVES AND BRICK WALL TO REMAIN. PROTECT EXISTING BRICK WALL DURING FENCE REMOVAL. SEE ARCHITECTURAL SHEETS FOR BRICK WALL RENOVATIONS.
- REMOVE GARDEN CENTER ENTRY FEATURE INCLUDING FOUNDATIONS. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REMOVE SIGN.
- REMOVE ELECTRONIC SENSORS.
- REMOVE BOLLARDS, INCLUDING FOUNDATIONS.
- REMOVE SHADE STRUCTURE INCLUDING FOUNDATIONS AND ANY ASSOCIATED ELECTRICAL AND IRRIGATION UTILITIES ATTACHED TO STRUCTURE.
- GREENHOUSE STRUCTURE AND ALL CONCRETE WITHIN TO REMAIN. PROTECT STRUCTURE DURING REMOVAL AND REPLACEMENT OF CONCRETE PAVEMENT.
- REMOVE SWING GATES INCLUDING FOUNDATIONS.
- REMOVE CONCRETE CURB ALONG BUILDING EDGE.
- SHADE STRUCTURE TO REMAIN. PROTECT DURING ALL PHASES OF CONSTRUCTION.
- REMOVE STORM STRUCTURE AND STORM SEWER. CAP STORM LINE AT DOWNSTREAM CONNECTION.
- TEMPORARY REMOVAL OF PAVEMENT MARKINGS TO BE 4" SINGLE SOLID LINE. COLOR TO BE BLACK AND MATERIAL TO BE TAPE. REMOVE AFTER PROJECT IS COMPLETED.
- REMOVE LIGHT POLE INCLUDING FOUNDATION.
- REMOVE AGGREGATE BED TO A DEPTH OF 10 INCHES.
- REMOVE PAVEMENT MARKINGS BY GRINDING.
- DOOR TO GARDEN CENTER TO BE REMOVED. SEE ARCHITECTURAL SHEETS FOR INFORMATION.
- PROTECT DURING CONSTRUCTION ALL EXISTING IRRIGATION LINES, ELECTRICAL AND STORM SEWERS BOTH ABOVE AND/OR BELOW GROUND SCHEDULED TO REMAIN.
- COLUMN TO BE MODIFIED, SEE ARCHITECTURAL DRAWINGS.
- SAWCUT AND REMOVE ASPHALT PAVEMENT AND BASE TO WEST EDGE OF EXISTING BRICK WALL.
- REMOVE CONCRETE CURB AROUND EXISTING COLUMN STRUCTURE. COLUMN TO REMAIN, PROTECT FROM DAMAGE DURING CURB REMOVAL.
- REMOVE ELECTRIC HANDHOLE AND ASSOCIATED WIRING. SEE SITE ELECTRICAL PLAN FOR INFORMATION.
- RELOCATE BIKE RACK. COORDINATE NEW LOCATION WITH OWNER.



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12-21-2018

STATE OF MICHIGAN ENGINEER
 DANIEL J. SCHEP
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FOR PERMITTING ONLY
 OWNER'S CONSTRUCTION MANAGER

ROCKFORD CONSTRUCTION

meijer

STORE #057 MINOR RESET

MEIJER PROJECT #: CP-19-00057

3175 S. Rochester Rd. Rochester Hills, MI 48307

2019 STORE REFRESH

REVISIONS		
NO.	DESCRIPTION	DATE
1	Revisions to Documents	02/12/2019
2	Revisions to Documents	03/13/2019

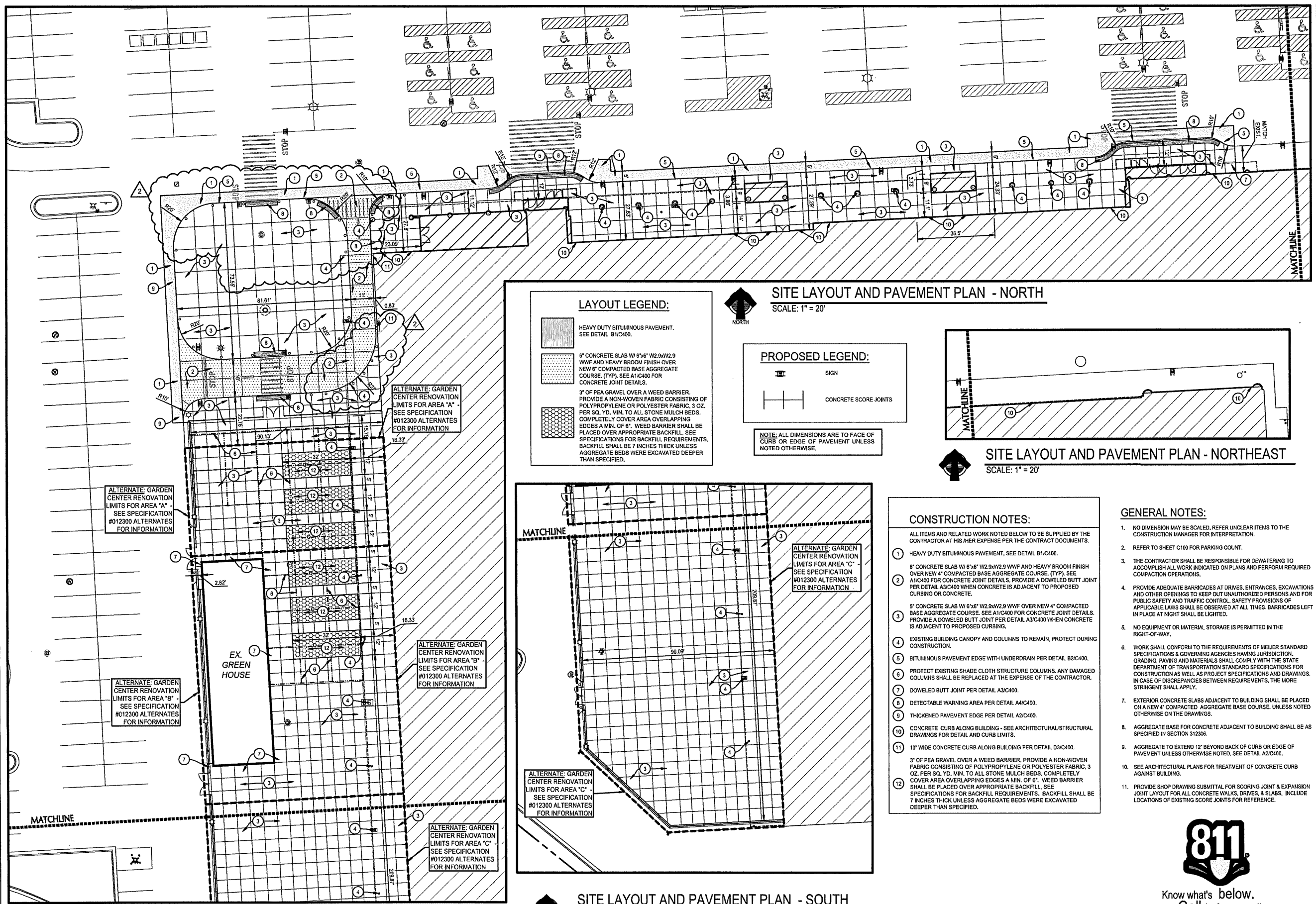
PROJECT NO. 1901808
 ISSUE DATE 12/1/2018
 SUBMITTAL Permit Set

Site Demolition Plan

C101

CITY FILE #19-003 SECTION #35

March 12, 2019 3:07 PM
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LAYOUT LEGEND:

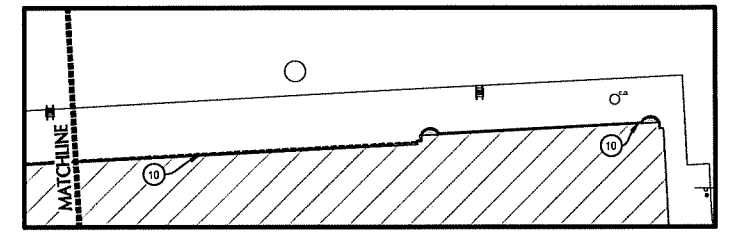
- HEAVY DUTY BITUMINOUS PAVEMENT. SEE DETAIL B1/C400.
- 6" CONCRETE SLAB W/ 6"x6" W2.9xW2.9 WWF AND HEAVY BROOM FINISH OVER NEW 4" COMPACTED BASE AGGREGATE COURSE. (TYP.) SEE A1/C400 FOR CONCRETE JOINT DETAILS.
- 3" OF PEA GRAVEL OVER A WEED BARRIER. PROVIDE A NON-WOVEN FABRIC CONSISTING OF POLYPROPYLENE OR POLYESTER FABRIC, 3 OZ. PER SQ. YD. MIN. TO ALL STONE MULCH BEDS. COMPLETELY COVER AREA OVERLAPPING EDGES A MIN. OF 6". WEED BARRIER SHALL BE PLACED OVER APPROPRIATE BACKFILL. SEE SPECIFICATIONS FOR BACKFILL REQUIREMENTS. BACKFILL SHALL BE 7 INCHES THICK UNLESS AGGREGATE BEDS WERE EXCAVATED DEEPER THAN SPECIFIED.

SITE LAYOUT AND PAVEMENT PLAN - NORTH
 SCALE: 1" = 20'

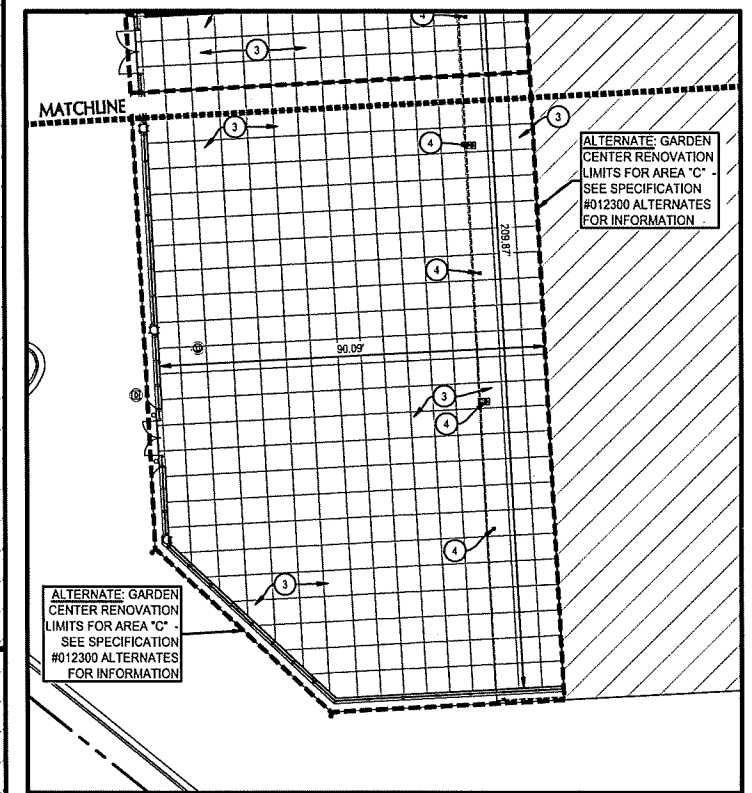
PROPOSED LEGEND:

- SIGN
- CONCRETE SCORE JOINTS

NOTE: ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.



SITE LAYOUT AND PAVEMENT PLAN - NORTHEAST
 SCALE: 1" = 20'



SITE LAYOUT AND PAVEMENT PLAN - SOUTH
 SCALE: 1" = 20'

- CONSTRUCTION NOTES:**
1. ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS AHER EXPENSE PER THE CONTRACT DOCUMENTS.
 1. HEAVY DUTY BITUMINOUS PAVEMENT, SEE DETAIL B1/C400.
 2. 6" CONCRETE SLAB W/ 6"x6" W2.9xW2.9 WWF AND HEAVY BROOM FINISH OVER NEW 4" COMPACTED BASE AGGREGATE COURSE. (TYP.) SEE A1/C400 FOR CONCRETE JOINT DETAILS. PROVIDE A DOWELED BUTT JOINT PER DETAIL A3/C400 WHEN CONCRETE IS ADJACENT TO PROPOSED CURBING OR CONCRETE.
 3. 5" CONCRETE SLAB W/ 6"x6" W2.9xW2.9 WWF OVER NEW 4" COMPACTED BASE AGGREGATE COURSE. SEE A1/C400 FOR CONCRETE JOINT DETAILS. PROVIDE A DOWELED BUTT JOINT PER DETAIL A3/C400 WHEN CONCRETE IS ADJACENT TO PROPOSED CURBING.
 4. EXISTING BUILDING CANOPY AND COLUMNS TO REMAIN, PROTECT DURING CONSTRUCTION.
 5. BITUMINOUS PAVEMENT EDGE WITH UNDERDRAIN PER DETAIL B2/C400.
 6. PROTECT EXISTING SHADE CLOTH STRUCTURE COLUMNS. ANY DAMAGED COLUMNS SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
 7. DOWELED BUTT JOINT PER DETAIL A3/C400.
 8. DETECTABLE WARNING AREA PER DETAIL A4/C400.
 9. THICKENED PAVEMENT EDGE PER DETAIL A2/C400.
 10. CONCRETE CURB ALONG BUILDING - SEE ARCHITECTURAL/STRUCTURAL DRAWINGS FOR DETAIL AND CURB LIMITS.
 11. 10" WIDE CONCRETE CURB ALONG BUILDING PER DETAIL D3/C400.
 12. 3" OF PEA GRAVEL OVER A WEED BARRIER. PROVIDE A NON-WOVEN FABRIC CONSISTING OF POLYPROPYLENE OR POLYESTER FABRIC, 3 OZ. PER SQ. YD. MIN. TO ALL STONE MULCH BEDS. COMPLETELY COVER AREA OVERLAPPING EDGES A MIN. OF 6". WEED BARRIER SHALL BE PLACED OVER APPROPRIATE BACKFILL. SEE SPECIFICATIONS FOR BACKFILL REQUIREMENTS. BACKFILL SHALL BE 7 INCHES THICK UNLESS AGGREGATE BEDS WERE EXCAVATED DEEPER THAN SPECIFIED.

- GENERAL NOTES:**
1. NO DIMENSION MAY BE SCALED, REFER UNCLEAR ITEMS TO THE CONSTRUCTION MANAGER FOR INTERPRETATION.
 2. REFER TO SHEET C100 FOR PARKING COUNT.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND PERFORM REQUIRED COMPACTION OPERATIONS.
 4. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
 5. NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED IN THE RIGHT-OF-WAY.
 6. WORK SHALL CONFORM TO THE REQUIREMENTS OF MEIJER STANDARD SPECIFICATIONS & GOVERNING AGENCIES HAVING JURISDICTION. GRADING, PAVING AND MATERIALS SHALL COMPLY WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
 7. EXTERIOR CONCRETE SLABS ADJACENT TO BUILDING SHALL BE PLACED ON A NEW 4" COMPACTED AGGREGATE BASE COURSE, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
 8. AGGREGATE BASE FOR CONCRETE ADJACENT TO BUILDING SHALL BE AS SPECIFIED IN SECTION 312306.
 9. AGGREGATE TO EXTEND 12" BEYOND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE DETAIL A2/C400.
 10. SEE ARCHITECTURAL PLANS FOR TREATMENT OF CONCRETE CURB AGAINST BUILDING.
 11. PROVIDE SHOP DRAWING SUBMITTAL FOR SCORING JOINT & EXPANSION JOINT LAYOUT FOR ALL CONCRETE WALKS, DRIVES, & SLABS. INCLUDE LOCATIONS OF EXISTING SCORE JOINTS FOR REFERENCE.

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SEAL 12-21-2018

Daniel J. Schell
 FOR PERMITTING ONLY

OWNER'S CONSTRUCTION MANAGER

meijer

STORE #057 MINOR RESET

MEIJER PROJECT #: CP-19-00057

3175 S. Rochester Rd, Rochester Hills, MI 48307

2019 STORE REFRESH

REVISIONS

NO.	DESCRIPTION	DATE
1	Revisions to Documents	02/12/2019
2	Revisions to Documents	03/19/2019

PROJECT NO. 1901505
 ISSUE DATE 12/21/2018
 SUBMITTAL Permit Set

Site Layout and Pavement Plan

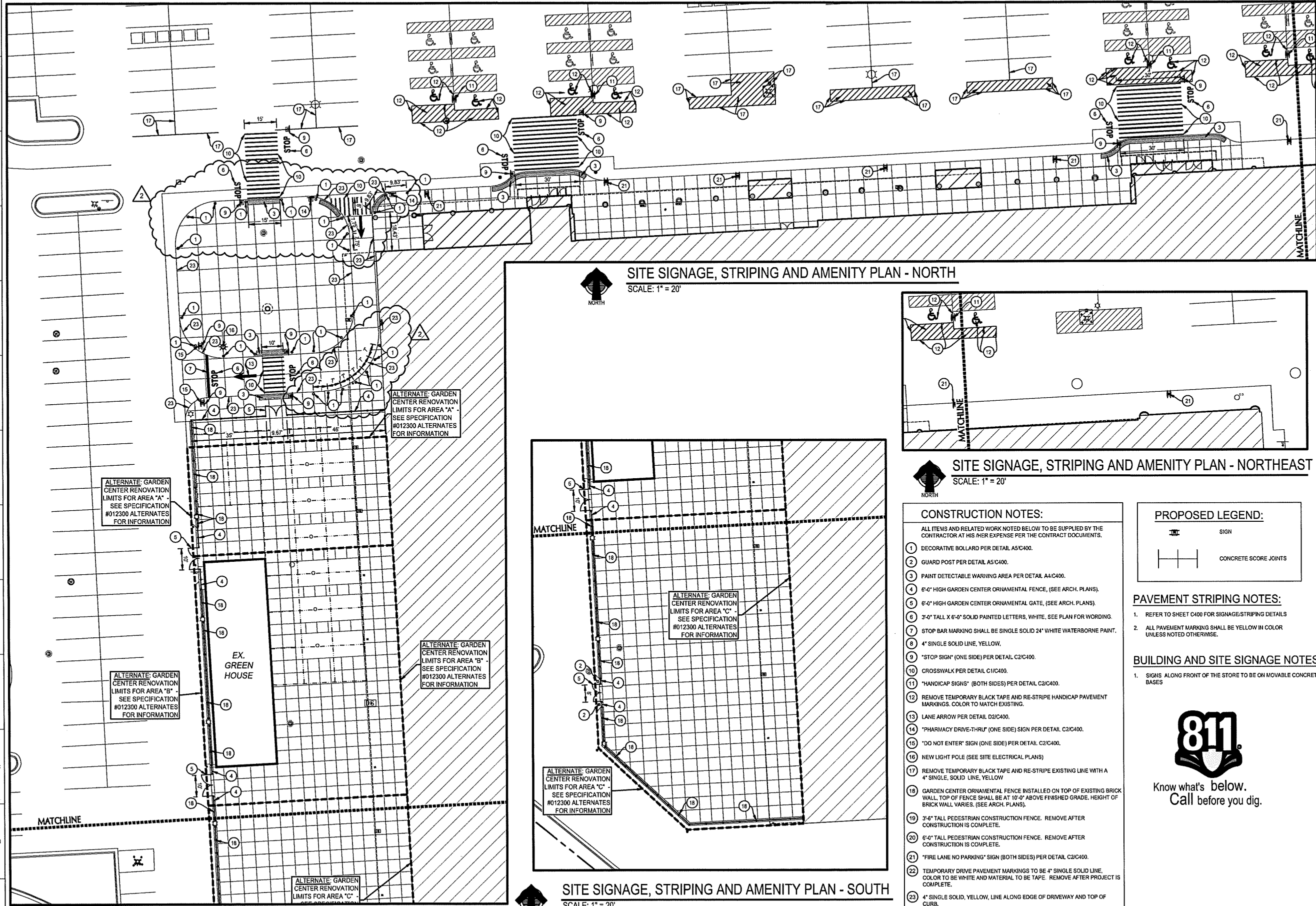
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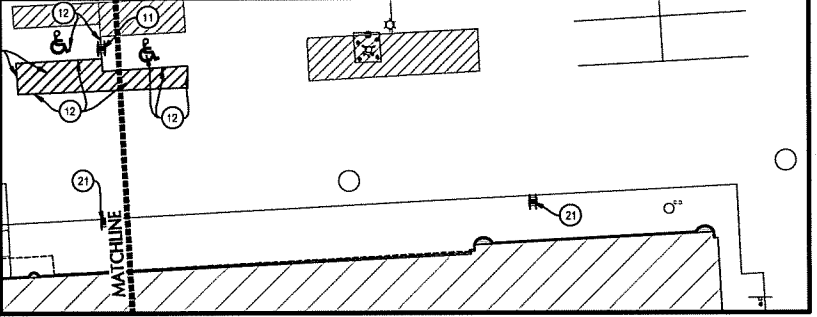
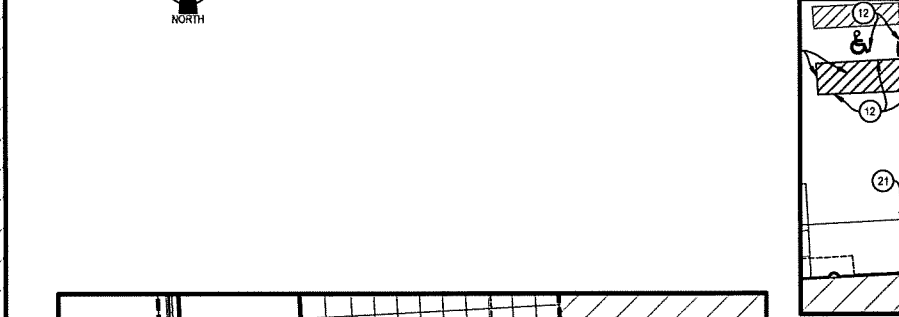
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CITY FILE #19-003
 SECTION #35

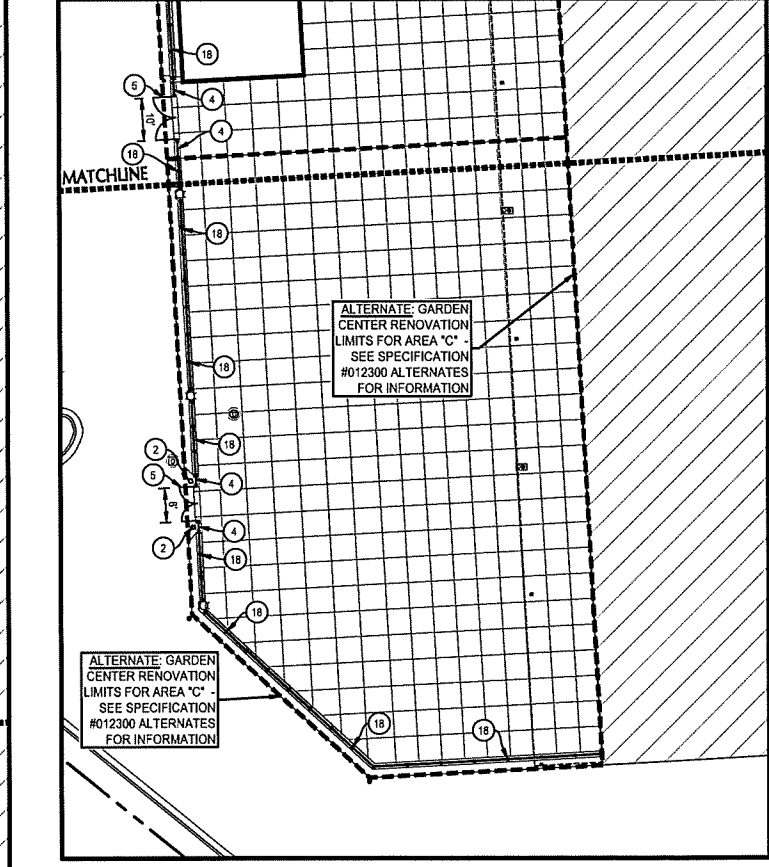
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SITE SIGNAGE, STRIPING AND AMENITY PLAN - NORTH
SCALE: 1" = 20'



SITE SIGNAGE, STRIPING AND AMENITY PLAN - NORTHEAST
SCALE: 1" = 20'

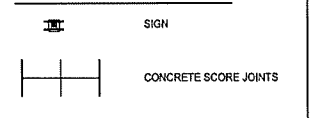


SITE SIGNAGE, STRIPING AND AMENITY PLAN - SOUTH
SCALE: 1" = 20'

CONSTRUCTION NOTES:

- ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS/HER EXPENSE PER THE CONTRACT DOCUMENTS.
- 1 DECORATIVE BOLLARD PER DETAIL A5/C400.
 - 2 GUARD POST PER DETAIL A5/C400.
 - 3 PAINT DETECTABLE WARNING AREA PER DETAIL A4/C400.
 - 4 6'-0" HIGH GARDEN CENTER ORNAMENTAL FENCE, (SEE ARCH. PLANS).
 - 5 6'-0" HIGH GARDEN CENTER ORNAMENTAL GATE, (SEE ARCH. PLANS).
 - 6 3'-0" TALL X 6'-0" SOLID PAINTED LETTERS, WHITE, SEE PLAN FOR WORDING.
 - 7 STOP BAR MARKING SHALL BE SINGLE SOLID 24" WHITE WATERBORNE PAINT.
 - 8 4" SINGLE SOLID LINE, YELLOW.
 - 9 *STOP SIGN* (ONE SIDE) PER DETAIL C2/C400.
 - 10 CROSSWALK PER DETAIL C1/C400.
 - 11 *HANDICAP SIGNS* (BOTH SIDES) PER DETAIL C2/C400.
 - 12 REMOVE TEMPORARY BLACK TAPE AND RE-STRIPES HANDICAP PAVEMENT MARKINGS. COLOR TO MATCH EXISTING.
 - 13 LANE ARROW PER DETAIL D2/C400.
 - 14 *PHARMACY DRIVE-THRU* (ONE SIDE) SIGN PER DETAIL C2/C400.
 - 15 *DO NOT ENTER* SIGN (ONE SIDE) PER DETAIL C2/C400.
 - 16 NEW LIGHT POLE (SEE SITE ELECTRICAL PLANS)
 - 17 REMOVE TEMPORARY BLACK TAPE AND RE-STRIPES EXISTING LINE WITH A 4" SINGLE, SOLID LINE, YELLOW
 - 18 GARDEN CENTER ORNAMENTAL FENCE INSTALLED ON TOP OF EXISTING BRICK WALL. TOP OF FENCE SHALL BE AT 10'-0" ABOVE FINISHED GRADE. HEIGHT OF BRICK WALL VARIES. (SEE ARCH. PLANS).
 - 19 3'-6" TALL PEDESTRIAN CONSTRUCTION FENCE. REMOVE AFTER CONSTRUCTION IS COMPLETE.
 - 20 6'-0" TALL PEDESTRIAN CONSTRUCTION FENCE. REMOVE AFTER CONSTRUCTION IS COMPLETE.
 - 21 *FIRE LANE NO PARKING* SIGN (BOTH SIDES) PER DETAIL C2/C400.
 - 22 TEMPORARY DRIVE PAVEMENT MARKINGS TO BE 4" SINGLE SOLID LINE. COLOR TO BE WHITE AND MATERIAL TO BE TAPE. REMOVE AFTER PROJECT IS COMPLETE.
 - 23 4" SINGLE SOLID, YELLOW, LINE ALONG EDGE OF DRIVEWAY AND TOP OF CURB.

PROPOSED LEGEND:



PAVEMENT STRIPING NOTES:

1. REFER TO SHEET C400 FOR SIGNAGE/STRIPING DETAILS
2. ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS NOTED OTHERWISE.

BUILDING AND SITE SIGNAGE NOTES:

1. SIGNS ALONG FRONT OF THE STORE TO BE ON MOVABLE CONCRETE BASES



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12-21-2018
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DANIEL J. SCHEDEL
REGISTERED PROFESSIONAL ENGINEER
No. 020100900

Daniel J. Schell
FOR PERMITTING ONLY

OWNERS CONSTRUCTION MANAGER
ROCKFORD CONSTRUCTION

meijer
STORE #057 MINOR RESET

MEIJER PROJECT #:
CP-19-00057

3175 S. Rochester Rd.
Rochester Hills, MI 48307
2019 STORE REFRESH

REVISIONS

NO.	DESCRIPTION	DATE
1	Revisions to Documents	02/12/2019
2	Revisions to Documents	03/13/2019

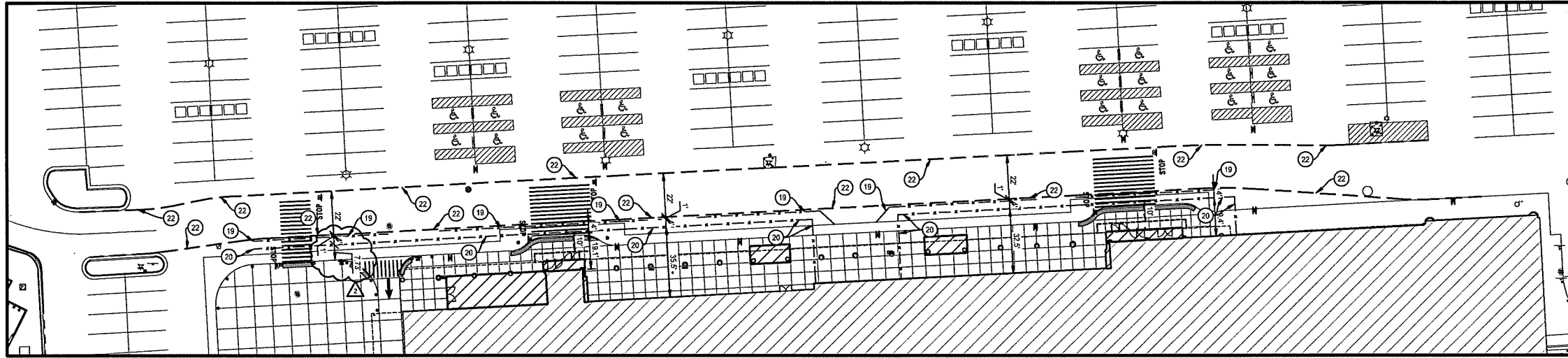
PROJECT NO.	ISSUE DATE
1901808	12/21/2018

SUBMITTAL
Permit Set

Site Signage, Striping
and Amenity Plan

C201

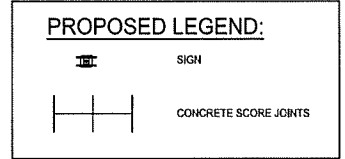
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CONSTRUCTION FENCE STAGING PLAN
 SCALE: 1" = 30'

- CONSTRUCTION NOTES:**
- ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS/HER EXPENSE PER THE CONTRACT DOCUMENTS.
- 1 DECORATIVE BOLLARD PER DETAIL A5/C400.
 - 2 GUARD POST PER DETAIL A5/C400.
 - 3 PAINT DETECTABLE WARNING AREA PER DETAIL A4/C400.
 - 4 6'-0" HIGH GARDEN CENTER ORNAMENTAL FENCE. (SEE ARCH. PLANS).
 - 5 6'-0" HIGH GARDEN CENTER ORNAMENTAL GATE. (SEE ARCH. PLANS).
 - 6 3'-0" TALL X 6'-0" SOLID PAINTED LETTERS, WHITE. SEE PLAN FOR WORDING.
 - 7 STOP BAR MARKING SHALL BE SINGLE SOLID 24" WHITE WATERBORNE PAINT.
 - 8 4" SINGLE SOLID LINE, YELLOW.
 - 9 *STOP SIGN* (ONE SIDE) PER DETAIL C2/C400.
 - 10 CROSSWALK PER DETAIL C1/C400.
 - 11 *HANDICAP SIGNS* (BOTH SIDES) PER DETAIL C2/C400.
 - 12 REMOVE TEMPORARY BLACK TAPE AND RE-STRIPED HANDICAP PAVEMENT MARKINGS. COLOR TO MATCH EXISTING.
 - 13 LANE ARROW PER DETAIL D2/C400.
 - 14 *PHARMACY DRIVE-THRU* (ONE SIDE) SIGN PER DETAIL C2/C400.
 - 15 *DO NOT ENTER* SIGN (ONE SIDE) PER DETAIL C2/C400.
 - 16 NEW LIGHT POLE (SEE SITE ELECTRICAL PLANS)
 - 17 REMOVE TEMPORARY BLACK TAPE AND RE-STRIPED EXISTING LINE WITH A 4" SINGLE, SOLID LINE, YELLOW
 - 18 GARDEN CENTER ORNAMENTAL FENCE INSTALLED ON TOP OF EXISTING BRICK WALL, TOP OF FENCE SHALL BE AT 10'-0" ABOVE FINISHED GRADE. HEIGHT OF BRICK WALL VARIES. (SEE ARCH. PLANS).
 - 19 3'-6" TALL PEDESTRIAN CONSTRUCTION FENCE. REMOVE AFTER CONSTRUCTION IS COMPLETE.
 - 20 6'-0" TALL PEDESTRIAN CONSTRUCTION FENCE. REMOVE AFTER CONSTRUCTION IS COMPLETE.
 - 21 *FIRE LANE NO PARKING* SIGN (BOTH SIDES) PER DETAIL C2/C400.
 - 22 TEMPORARY DRIVE PAVEMENT MARKINGS TO BE 4" SINGLE SOLID LINE, COLOR TO BE WHITE AND MATERIAL TO BE TAPE. REMOVE AFTER PROJECT IS COMPLETE.
 - 23 4" SINGLE SOLID, YELLOW, LINE ALONG EDGE OF DRIVEWAY AND TOP OF CURB.

**NOT ALL KEYNOTES USED ON THIS PAGE.



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SEAL 12-21-2018

Daniel J. Schell
 FOR PERMITTING ONLY
 OWNER'S CONSTRUCTION MANAGER

meijer

STORE #057 MINOR RESET

MEIJER PROJECT #:
 CP-19-00057

3175 S. Rochester Rd.
 Rochester Hills, MI 48307

2019 STORE REFRESH

REVISIONS		
NO.	DESCRIPTION	DATE
1	Revisions to Documents	02/12/2019
2	Revisions to Documents	03/13/2019

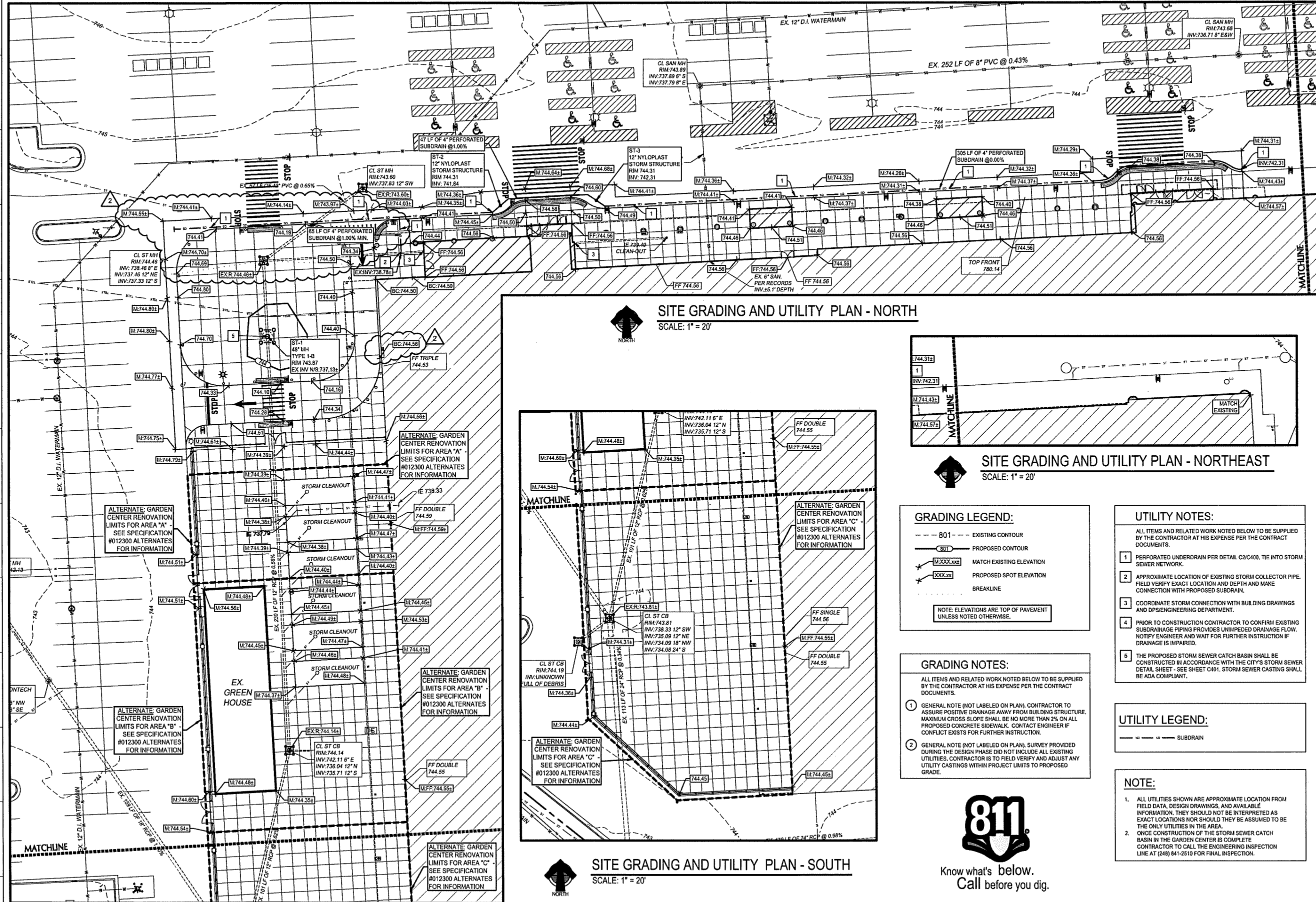
PROJECT NO.	ISSUE DATE
1801858	12/21/2018

SUBMITTAL
 Permit Set

Construction Fence Staging Plan

C201a

CITY FILE #19-003
 SECTION #35



SITE GRADING AND UTILITY PLAN - NORTH
SCALE: 1" = 20'

SITE GRADING AND UTILITY PLAN - NORTHEAST
SCALE: 1" = 20'

SITE GRADING AND UTILITY PLAN - SOUTH
SCALE: 1" = 20'

- GRADING LEGEND:**
- 801 --- EXISTING CONTOUR
 - 801 — PROPOSED CONTOUR
 - M-XXXXXX MATCH EXISTING ELEVATION
 - XXXXX PROPOSED SPOT ELEVATION
 - BREAKLINE
- NOTE: ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.

- GRADING NOTES:**
- GENERAL NOTE (NOT LABELED ON PLAN), CONTRACTOR TO ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING STRUCTURE. MAXIMUM CROSS SLOPE SHALL BE NO MORE THAN 2% ON ALL PROPOSED CONCRETE SIDEWALK. CONTACT ENGINEER IF CONFLICT EXISTS FOR FURTHER INSTRUCTION.
 - GENERAL NOTE (NOT LABELED ON PLAN), SURVEY PROVIDED DURING THE DESIGN PHASE DID NOT INCLUDE ALL EXISTING UTILITIES, CONTRACTOR IS TO FIELD VERIFY AND ADJUST ANY UTILITY CASTINGS WITHIN PROJECT LIMITS TO PROPOSED GRADE.

- UTILITY NOTES:**
- PERFORATED UNDERDRAIN PER DETAIL C2/C400, TIE INTO STORM SEWER NETWORK.
 - APPROXIMATE LOCATION OF EXISTING STORM COLLECTOR PIPE. FIELD VERIFY EXACT LOCATION AND DEPTH AND MAKE CONNECTION WITH PROPOSED SUBDRAIN.
 - COORDINATE STORM CONNECTION WITH BUILDING DRAWINGS AND DPS/ENGINEERING DEPARTMENT.
 - PRIOR TO CONSTRUCTION CONTRACTOR TO CONFIRM EXISTING SUBDRAINAGE PIPING PROVIDES UNIMPEDED DRAINAGE FLOW. NOTIFY ENGINEER AND WAIT FOR FURTHER INSTRUCTION IF DRAINAGE IS IMPAIRED.
 - THE PROPOSED STORM SEWER CATCH BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S STORM SEWER DETAIL SHEET - SEE SHEET C401. STORM SEWER CASTING SHALL BE ADA COMPLIANT.

- UTILITY LEGEND:**
- SUBDRAIN

NOTE:

- ALL UTILITIES SHOWN ARE APPROXIMATE LOCATION FROM FIELD DATA, DESIGN DRAWINGS, AND AVAILABLE INFORMATION. THEY SHOULD NOT BE INTERPRETED AS EXACT LOCATIONS NOR SHOULD THEY BE ASSUMED TO BE THE ONLY UTILITIES IN THE AREA.
- ONCE CONSTRUCTION OF THE STORM SEWER CATCH BASIN IN THE GARDEN CENTER IS COMPLETE CONTRACTOR TO CALL THE ENGINEERING INSPECTION LINE AT (248) 841-2510 FOR FINAL INSPECTION.



Know what's below.
Call before you dig.

ELEVATUS ARCHITECTURE
111 E. Wayne Street, Suite 555, Fort Wayne, IN 46802
262.424.6000
ElevatusArchitecture.com

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ENGINEERING RESOURCES, INC.
10200 Diebold Road, Fort Wayne, IN 46845
Ph: (260) 490-1001 Fax: (260) 490-1026
www.e-engineeringresources.com

SEAL 12-21-2018
DANIEL J. SCHULZ
REGISTERED PROFESSIONAL ENGINEER
NO. 020100900

Daniel J. Schulz
FOR PERMITTING ONLY
OWNER'S CONSTRUCTION MANAGER

ROCKFORD CONSTRUCTION

meijer
STORE #057 MINOR RESET

MEIJER PROJECT #:
CP-19-00057

3175 S. Rochester Rd.
Rochester Hills, MI 48307

2019 STORE REFRESH

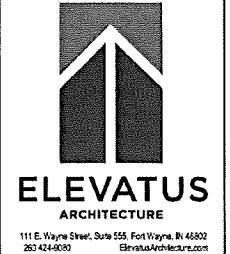
REVISIONS		
NO.	DESCRIPTION	DATE
1	Revisions to Documents	02/12/2019
2	Revisions to Documents	03/13/2019

PROJECT NO.	ISSUE DATE
1901803	12/21/2018

Site Grading and Utility Plan

C300
CITY FILE #19-003
SECTION #35

March 12, 2019 3:07 PM S:\Projects\Projects (4000-4999)\Projects (4000-4999)\Meijer 057-Store\Drawings\Plan\057-C300 Site Grading and Utility Plan.dwg



CONSTRUCTION CONTRACT #117
\$2 ARCHITECTURE L.L.C. & ELEVATUS ARCHITECTURE

AGREEMENT TO DESIGN AND CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCHESTER HILLS AND THE STATE OF INDIANA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCHESTER HILLS AND THE STATE OF INDIANA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCHESTER HILLS AND THE STATE OF INDIANA.



CONSULTANT



Daniel J. Schell
FOR PERMITTING ONLY
OWNER'S CONSTRUCTION MANAGER



STORE #057 MINOR RESET

MEIJER PROJECT #:
CP-19-00057

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Rochester Hills, MI 48307

2019 STORE REFRESH

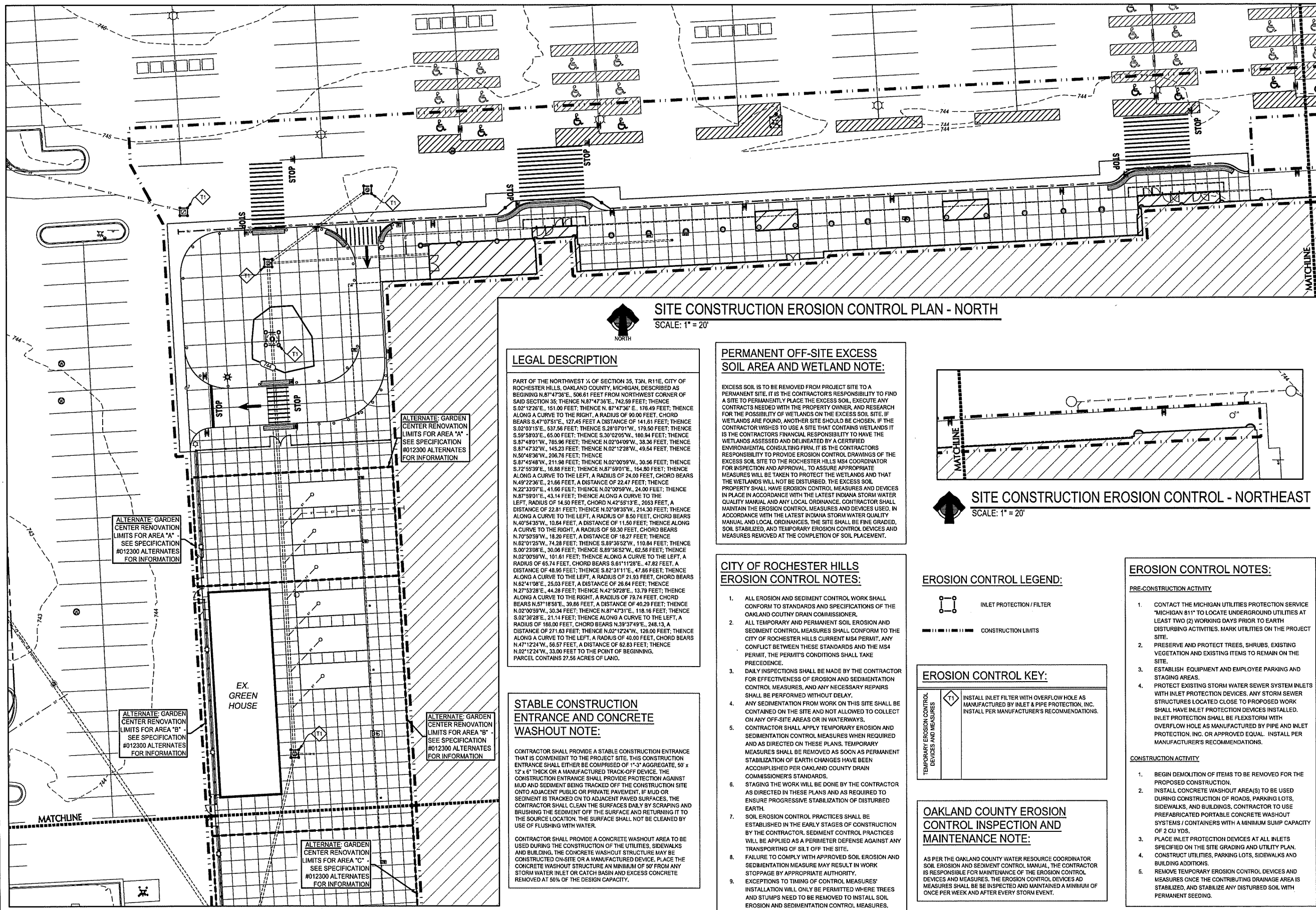
REVISIONS		
NO.	DESCRIPTION	DATE
1	Revisions to Documents	02/12/2019

PROJECT NO.	ISSUE DATE
1901803	12/12/2018

SUBMITTAL
Permit Set

Site Construction Erosion Control Plan - North

C301



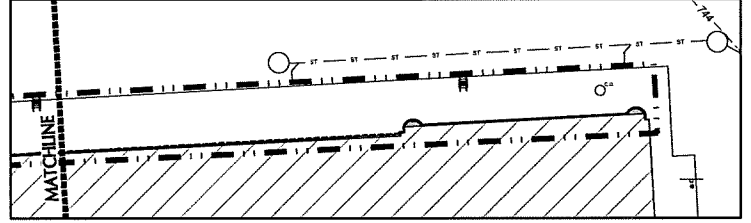
SITE CONSTRUCTION EROSION CONTROL PLAN - NORTH
SCALE: 1" = 20'

LEGAL DESCRIPTION

PART OF THE NORTHWEST 1/4 OF SECTION 35, T3N, R11E, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING N.87°47'36"E, 506.81 FEET FROM NORTHWEST CORNER OF SAID SECTION 35; THENCE N.87°47'36"E, 742.59 FEET; THENCE S.02°12'28"E, 151.00 FEET; THENCE N. 87°47'36" E, 176.49 FEET; THENCE ALONG A CURVE TO THE RIGHT, A RADIUS OF 90.00 FEET, CHORD BEARS S.47°07'51"E, 127.45 FEET A DISTANCE OF 141.81 FEET; THENCE S.02°01'15"E, 537.58 FEET; THENCE S.23°07'01"W, 178.50 FEET; THENCE S.59°58'03"E, 65.00 FEET; THENCE S.30°02'05"W, 186.94 FEET; THENCE S.87°48'01"W, 785.96 FEET; THENCE N.02°04'09"W, 38.36 FEET; THENCE S.87°47'32"W, 145.23 FEET; THENCE N.02°12'28"E, 49.54 FEET; THENCE N.50°45'36"W, 206.78 FEET; THENCE N.02°09'59"W, 30.56 FEET; THENCE S.87°42'48"W, 211.98 FEET; THENCE N.02°09'59"W, 30.56 FEET; THENCE S.72°53'39"E, 16.88 FEET; THENCE N.87°59'01"E, 164.80 FEET; THENCE ALONG A CURVE TO THE LEFT, A RADIUS OF 24.00 FEET, CHORD BEARS N.49°22'36"E, 21.66 FEET, A DISTANCE OF 22.47 FEET; THENCE N.22°33'07"E, 41.88 FEET; THENCE N.02°09'59"W, 24.00 FEET; THENCE N.87°59'01"E, 43.14 FEET; THENCE ALONG A CURVE TO THE LEFT, RADIUS OF 14.50 FEET, CHORD N.42°55'13"E, 205.3 FEET, A DISTANCE OF 22.81 FEET; THENCE N.02°08'35"W, 214.30 FEET; THENCE ALONG A CURVE TO THE LEFT, A RADIUS OF 8.50 FEET, CHORD BEARS N.40°54'30"W, 10.84 FEET, A DISTANCE OF 11.50 FEET; THENCE ALONG A CURVE TO THE RIGHT, A RADIUS OF 59.00 FEET, CHORD BEARS N.70°50'59"W, 18.20 FEET, A DISTANCE OF 18.27 FEET; THENCE N.82°01'25"W, 74.28 FEET; THENCE S.89°35'52"W, 110.84 FEET; THENCE S.00°23'08"E, 30.06 FEET; THENCE S.89°35'52"W, 62.58 FEET; THENCE N.02°09'59"W, 101.81 FEET; THENCE ALONG A CURVE TO THE LEFT, A RADIUS OF 65.14 FEET, CHORD BEARS S.61°11'29"E, 47.82 FEET, A DISTANCE OF 48.95 FEET; THENCE S.82°31'11"E, 47.88 FEET; THENCE ALONG A CURVE TO THE LEFT, A RADIUS OF 21.93 FEET, CHORD BEARS N.62°41'08"E, 25.03 FEET, A DISTANCE OF 26.84 FEET; THENCE N.27°53'28"E, 44.28 FEET; THENCE N.42°50'28"E, 13.79 FEET; THENCE ALONG A CURVE TO THE RIGHT, A RADIUS OF 79.74 FEET, CHORD BEARS N.57°18'58"E, 39.86 FEET, A DISTANCE OF 40.29 FEET; THENCE N.02°09'59"W, 30.34 FEET; THENCE N.87°47'31"E, 118.16 FEET; THENCE S.02°38'28"E, 21.14 FEET; THENCE ALONG A CURVE TO THE LEFT, A RADIUS OF 188.00 FEET, CHORD BEARS N.39°37'49"E, 248.13, A DISTANCE OF 271.83 FEET; THENCE N.02°12'24"W, 128.00 FEET; THENCE ALONG A CURVE TO THE LEFT, A RADIUS OF 40.00 FEET, CHORD BEARS N.47°12'24"W, 56.57 FEET, A DISTANCE OF 62.83 FEET; THENCE N.02°12'24"W, 33.00 FEET TO THE POINT OF BEGINNING. PARCEL CONTAINS 27.58 ACRES OF LAND.

PERMANENT OFF-SITE EXCESS SOIL AREA AND WETLAND NOTE:

EXCESS SOIL IS TO BE REMOVED FROM PROJECT SITE TO A PERMANENT SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIND A SITE TO PERMANENTLY PLACE THE EXCESS SOIL, EXECUTE ANY CONTRACTS NEEDED WITH THE PROPERTY OWNER, AND RESEARCH FOR THE POSSIBILITY OF WETLANDS ON THE EXCESS SOIL SITE. IF WETLANDS ARE FOUND, ANOTHER SITE SHOULD BE CHOSEN. IF THE CONTRACTOR WISHES TO USE A SITE THAT CONTAINS WETLANDS IT IS THE CONTRACTOR'S FINANCIAL RESPONSIBILITY TO HAVE THE WETLANDS ASSESSED AND DELINEATED BY A CERTIFIED ENVIRONMENTAL CONSULTING FIRM. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE EROSION CONTROL DRAWINGS OF THE EXCESS SOIL SITE TO THE ROCHESTER HILLS MS4 COORDINATOR FOR INSPECTION AND APPROVAL. TO ASSURE APPROPRIATE MEASURES WILL BE TAKEN TO PROTECT THE WETLANDS AND THAT THE WETLANDS WILL NOT BE DISTURBED. THE EXCESS SOIL PROPERTY SHALL HAVE EROSION CONTROL MEASURES AND DEVICES IN PLACE IN ACCORDANCE WITH THE LATEST INDIANA STORM WATER QUALITY MANUAL AND ANY LOCAL ORDINANCE. CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES AND DEVICES USED, IN ACCORDANCE WITH THE LATEST INDIANA STORM WATER QUALITY MANUAL AND LOCAL ORDINANCES. THE SITE SHALL BE FINE GRADED, SOIL STABILIZED, AND TEMPORARY EROSION CONTROL DEVICES AND MEASURES REMOVED AT THE COMPLETION OF SOIL PLACEMENT.



SITE CONSTRUCTION EROSION CONTROL - NORTHEAST
SCALE: 1" = 20'

STABLE CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT NOTE:

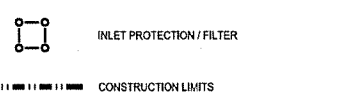
CONTRACTOR SHALL PROVIDE A STABLE CONSTRUCTION ENTRANCE THAT IS CONVENIENT TO THE PROJECT SITE. THIS CONSTRUCTION ENTRANCE SHALL EITHER BE CONSTRUCTED OF 12" x 12" x 6" THICK OR A MANUFACTURED TRACK-OFF DEVICE. THE CONSTRUCTION ENTRANCE SHALL PROVIDE PROTECTION AGAINST MUD AND SEDIMENT BEING TRACKED OFF THE CONSTRUCTION SITE ONTO ADJACENT PUBLIC OR PRIVATE PAVEMENT. IF MUD OR SEDIMENT IS TRACKED ON TO ADJACENT PAVED SURFACES, THE CONTRACTOR SHALL CLEAN THE SURFACES DAILY BY SCRAPING AND BRUSHING THE SEDIMENT OFF THE SURFACE AND RETURNING IT TO THE SOURCE LOCATION. THE SURFACE SHALL NOT BE CLEANED BY USE OF FLUSHING WITH WATER.

CONTRACTOR SHALL PROVIDE A CONCRETE WASHOUT AREA TO BE USED DURING THE CONSTRUCTION OF THE UTILITIES, SIDEWALKS AND BUILDING. THE CONCRETE WASHOUT STRUCTURE MAY BE CONSTRUCTED ON-SITE OR A MANUFACTURED DEVICE. PLACE THE CONCRETE WASHOUT STRUCTURE A MINIMUM OF 50' FROM ANY STORM WATER INLET OR CATCH BASIN AND EXCESS CONCRETE REMOVED AT 50% OF THE DESIGN CAPACITY.

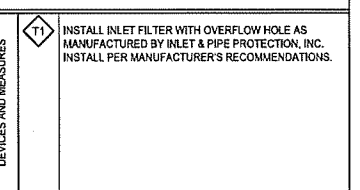
CITY OF ROCHESTER HILLS EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE OAKLAND COUNTY DRAIN COMMISSIONER.
- ALL TEMPORARY AND PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE CITY OF ROCHESTER HILLS CURRENT MS4 PERMIT. ANY CONFLICT BETWEEN THESE STANDARDS AND THE MS4 PERMIT, THE PERMIT'S CONDITIONS SHALL TAKE PRECEDENCE.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. TEMPORARY MEASURES SHALL BE REMOVED AS SOON AS PERMANENT STABILIZATION OF EARTH CHANGES HAVE BEEN ACCOMPLISHED PER OAKLAND COUNTY DRAIN COMMISSIONER'S STANDARDS.
- STAGING THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
- SOIL EROSION CONTROL PRACTICES SHALL BE ESTABLISHED IN THE EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
- FAILURE TO COMPLY WITH APPROVED SOIL EROSION AND SEDIMENTATION MEASURE MAY RESULT IN WORK STOPPAGE BY APPROPRIATE AUTHORITY.
- EXCEPTIONS TO TIMING OF CONTROL MEASURES' INSTALLATION WILL ONLY BE PERMITTED WHERE TREES AND STUMPS NEED TO BE REMOVED TO INSTALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. CONTRACTOR IS TO PROVIDE THE CITY WITH PERMIT RENEWALS, VIOLATION CORRECTIONS, AND/OR RELEASES.

EROSION CONTROL LEGEND:



EROSION CONTROL KEY:

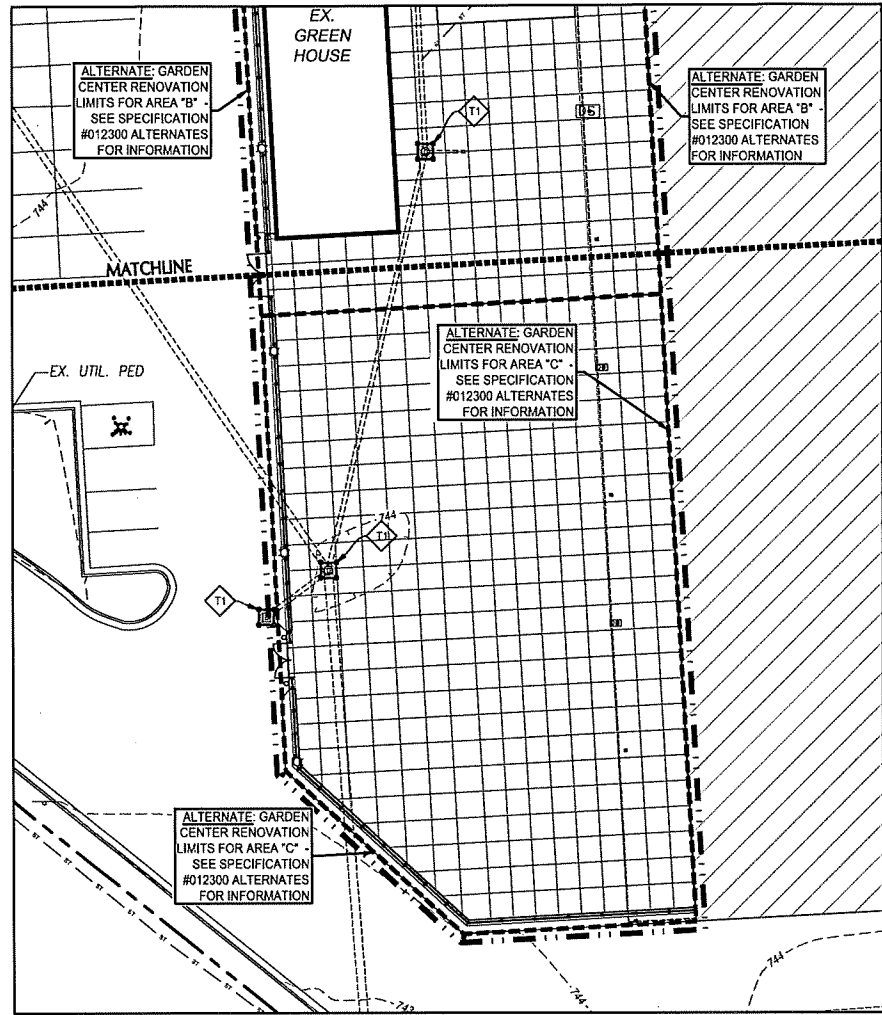


OAKLAND COUNTY EROSION CONTROL INSPECTION AND MAINTENANCE NOTE:

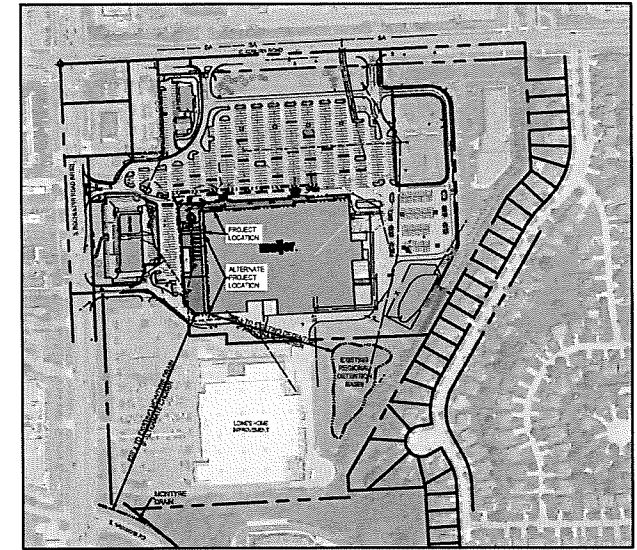
AS PER THE OAKLAND COUNTY WATER RESOURCE COORDINATOR SOIL EROSION AND SEDIMENT CONTROL MANUAL, THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE EROSION CONTROL MEASURES AND MEASURES. THE EROSION CONTROL DEVICES AND MEASURES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE PER WEEK AND AFTER EVERY STORM EVENT.

EROSION CONTROL NOTES:

- PRE-CONSTRUCTION ACTIVITY**
- CONTACT THE MICHIGAN UTILITIES PROTECTION SERVICE 'MICHIGAN 811' TO LOCATE UNDERGROUND UTILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO EARTH DISTURBING ACTIVITIES. MARK UTILITIES ON THE PROJECT SITE.
 - PRESERVE AND PROTECT TREES, SHRUBS, EXISTING VEGETATION AND EXISTING ITEMS TO REMAIN ON THE SITE.
 - ESTABLISH EQUIPMENT AND EMPLOYEE PARKING AND STAGING AREAS.
 - PROTECT EXISTING STORM WATER SEWER SYSTEM INLETS WITH INLET PROTECTION DEVICES. ANY STORM SEWER STRUCTURES LOCATED CLOSE TO PROPOSED WORK SHALL HAVE INLET PROTECTION DEVICES INSTALLED. INLET PROTECTION SHALL BE FLEXSTORM WITH OVERFLOW HOLE AS MANUFACTURED BY PIPE AND INLET PROTECTION, INC. OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- CONSTRUCTION ACTIVITY**
- BEGIN DEMOLITION OF ITEMS TO BE REMOVED FOR THE PROPOSED CONSTRUCTION.
 - INSTALL CONCRETE WASHOUT AREA(S) TO BE USED DURING CONSTRUCTION OF ROADS, PARKING LOTS, SIDEWALKS, AND BUILDINGS. CONTRACTOR TO USE PREFABRICATED PORTABLE CONCRETE WASHOUT SYSTEMS / CONTAINERS WITH A MINIMUM SUMP CAPACITY OF 2 CU YDS.
 - PLACE INLET PROTECTION DEVICES AT ALL INLETS SPECIFIED ON THE SITE GRADING AND UTILITY PLAN.
 - CONSTRUCT UTILITIES, PARKING LOTS, SIDEWALKS AND BUILDING ADDITIONS.
 - REMOVE TEMPORARY EROSION CONTROL DEVICES AND MEASURES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED, AND STABILIZE ANY DISTURBED SOIL WITH PERMANENT SEEDING.



SITE CONSTRUCTION EROSION CONTROL PLAN - SOUTH
SCALE: 1" = 20'



SITE LOCATION MAP
SCALE: NONE

FUELING AREA AND VEHICLE AND EQUIPMENT MAINTENANCE / MATERIAL STORAGE NOTE:

- FUELING AREA:**
- ON-SITE VEHICLE AND EQUIPMENT FUELING SHALL ONLY BE USED WHERE IT IS IMPRACTICAL TO SEND VEHICLES AND EQUIPMENT OFF-SITE FOR FUELING.
 - IF ON-SITE FUELING IS NECESSARY, CONTRACTOR SHALL DESIGNATE A DEDICATED AREA TO BE USED.
 - CONTRACTOR SHALL SUPPLY, CLEARLY MARK, AND KEEP CLEAN-UP MATERIALS AND SPILL KITS AVAILABLE IN FUELING AREAS.
 - CONTRACTOR SHALL USE DRIP PANS OR ABSORBENT PADS DURING VEHICLE AND EQUIPMENT FUELING UNLESS FUELING IS CONDUCTED IN A DESIGNATED AREA, OVER AN IMPERMEABLE CONTAINMENT AREA.
 - FUELING AREAS SHALL BE ON LEVEL GRADE AND PROTECTED FROM STORM WATER RUN-ON AND RUN-OFF AND BE AT LEAST 100 FT FROM DOWNSTREAM DRAINAGE FACILITIES AND WATERCOURSES.
 - CONTRACTOR SHALL USE FUELING NOZZLES WITH AUTOMATIC SHUT-OFFS. FUELING OPERATIONS SHALL NOT BE LEFT UNATTENDED.
 - CONTRACTOR SHALL PROTECT FUELING AREAS WITH IMPERMEABLE BERMS AND OR DIKES TO PREVENT STORM WATER RUN-ON, RUN-OFF AND TO CONTAIN SPILLS.
 - CONTRACTOR SHALL NOT "TOP-OFF" FUEL TANKS.
 - CONTRACTOR SHALL INSPECT VEHICLES AND EQUIPMENT EACH DAY FOR LEAKS. IF LEAKS ARE FOUND, THEY MUST BE REPAIRED AND CLEANED-UP IMMEDIATELY AND/OR THE LEAKING VEHICLES OR EQUIPMENT REMOVED FROM THE PROJECT SITE.
 - CONTRACTOR SHALL DISPOSE OF ANY USED ABSORBENT SPILL KIT MATERIALS AND ANY CONTAMINATED SOILS ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.
- VEHICLE AND EQUIPMENT MAINTENANCE / MATERIAL STORAGE AREA:**
- CONTRACTOR SHALL DESIGNATE A DEDICATED AREA TO BE USED IF STORING MATERIALS, MAINTAINING OR STORING VEHICLES AND EQUIPMENT ON-SITE.
 - STORAGE / MAINTENANCE AREAS SHALL BE ON LEVEL GRADE AND PROTECTED FROM STORM WATER RUN-ON AND RUN-OFF AND BE AT LEAST 100 FT FROM DOWNSTREAM DRAINAGE FACILITIES AND WATERCOURSES.
 - CONTRACTOR SHALL USE DRIP PANS OR ABSORBENT PADS DURING VEHICLE AND EQUIPMENT MAINTENANCE UNLESS MAINTENANCE IS CONDUCTED IN A DESIGNATED AREA, OVER AN IMPERMEABLE CONTAINMENT AREA.
 - CONTRACTOR SHALL SUPPLY, CLEARLY MARK, AND KEEP CLEAN-UP MATERIALS AND SPILL KITS AVAILABLE IN STORAGE / MAINTENANCE AREAS.
 - CONTRACTOR SHALL PROTECT STORAGE / MAINTENANCE AREAS WITH IMPERMEABLE BERMS AND OR DIKES TO PREVENT STORM WATER RUN-ON, RUN-OFF AND TO CONTAIN SPILLS.
 - CONTRACTOR SHALL PROVIDE IMPERMEABLE SPILL CONTAINMENT DIKES OR SECONDARY CONTAINMENT AROUND STORED OIL AND CHEMICAL DRUMS.
 - CONTRACTOR SHALL DISPOSE OF ANY USED ABSORBENT SPILL KIT MATERIALS AND ANY CONTAMINATED SOILS ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.



STABLE CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT NOTE:

CONTRACTOR SHALL PROVIDE A STABLE CONSTRUCTION ENTRANCE THAT IS CONVENIENT TO THE PROJECT SITE. THIS CONSTRUCTION ENTRANCE SHALL EITHER BE COMPRISED OF 12" AGGREGATE, 60" X 12" X 6" THICK OR A MANUFACTURED TRACK-OFF DEVICE. THE CONSTRUCTION ENTRANCE SHALL PROVIDE PROTECTION AGAINST MUD AND SEDIMENT BEING TRACKED OFF THE CONSTRUCTION SITE ONTO ADJACENT PUBLIC OR PRIVATE PAVEMENT. IF MUD OR SEDIMENT IS TRACKED ON TO ADJACENT PAVED SURFACES, THE CONTRACTOR SHALL CLEAN THE SURFACES DAILY BY SCRAPING AND BRUSHING THE SEDIMENT OFF THE SURFACE AND RETURNING IT TO THE SOURCE LOCATION. THE SURFACE SHALL NOT BE CLEANED BY USE OF FLUSHING WITH WATER.

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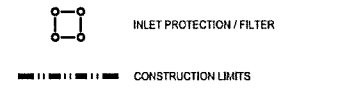
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- ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. TEMPORARY MEASURES SHALL BE REMOVED AS SOON AS PERMANENT STABILIZATION OF EARTH CHANGES HAVE BEEN ACCOMPLISHED PER OAKLAND COUNTY DRAIN COMMISSIONER'S STANDARDS.
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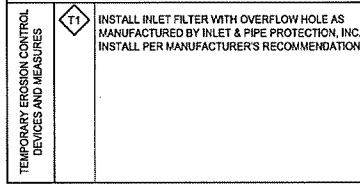
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EROSION CONTROL LEGEND:



EROSION CONTROL KEY:



OAKLAND COUNTY EROSION CONTROL INSPECTION AND MAINTENANCE NOTE:

AS PER THE OAKLAND COUNTY WATER RESOURCE COORDINATOR SOIL EROSION AND SEDIMENT CONTROL MANUAL, THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE EROSION CONTROL DEVICES AND MEASURES. THE EROSION CONTROL DEVICES AND MEASURES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE PER WEEK AND AFTER EVERY STORM EVENT.

EROSION CONTROL NOTES:

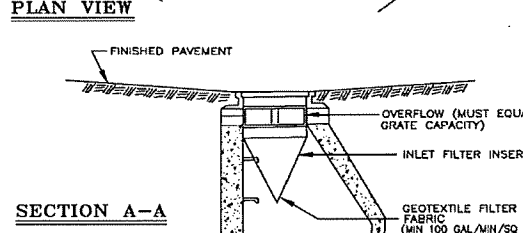
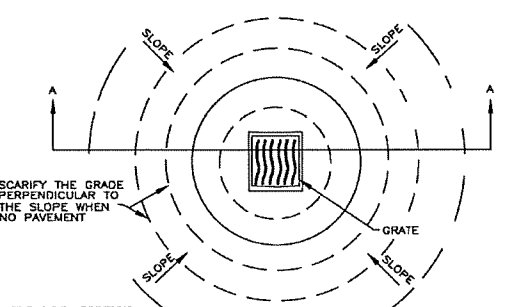
- PRE-CONSTRUCTION ACTIVITY**
- CONTACT THE MICHIGAN UTILITIES PROTECTION SERVICE "MICHIGAN 811" TO LOCATE UNDERGROUND UTILITIES AT LEAST TWO (2) WORKING DAYS PRIOR TO EARTH DISTURBING ACTIVITIES. MARK UTILITIES ON THE PROJECT SITE.
 - PRESERVE AND PROTECT TREES, SHRUBS, EXISTING VEGETATION AND EXISTING ITEMS TO REMAIN ON THE SITE.
 - ESTABLISH EQUIPMENT AND EMPLOYEE PARKING AND STAGING AREAS.
 - PROTECT EXISTING STORM WATER SEWER SYSTEM INLETS WITH INLET PROTECTION DEVICES. ANY STORM SEWER STRUCTURES LOCATED CLOSE TO PROPOSED WORK SHALL HAVE INLET PROTECTION DEVICES INSTALLED. INLET PROTECTION SHALL BE FLEXSTORM WITH OVERFLOW HOLE AS MANUFACTURED BY PIPE AND INLET PROTECTION, INC. OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- CONSTRUCTION ACTIVITY**
- BEGIN DEMOLITION OF ITEMS TO BE REMOVED FOR THE PROPOSED CONSTRUCTION.
 - INSTALL CONCRETE WASHOUT AREA(S) TO BE USED DURING CONSTRUCTION OF ROADS, PARKING LOTS, SIDEWALKS, AND BUILDINGS. CONTRACTOR TO USE PREFABRICATED PORTABLE CONCRETE WASHOUT SYSTEMS / CONTAINERS WITH A MINIMUM SUMP CAPACITY OF 2 CU YDS.
 - PLACE INLET PROTECTION DEVICES AT ALL INLETS SPECIFIED ON THE SITE GRADING AND UTILITY PLAN.
 - CONSTRUCT UTILITIES, PARKING LOTS, SIDEWALKS AND BUILDING ADDITIONS.
 - REMOVE TEMPORARY EROSION CONTROL DEVICES AND MEASURES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED, AND STABILIZE ANY DISTURBED SOIL WITH PERMANENT SEEDING.

EROSION CONTROL DEVICE MONITORING AND MAINTENANCE

- INLET FILTER**
- INSPECT WEEKLY AND AFTER 1/2" STORM EVENTS FOR SEDIMENT AND DEBRIS. REMOVE SEDIMENT (NOT BY FLUSHING) WHEN THE CONTAINMENT AREA BECOMES MORE THAN HALF FULL OF SEDIMENT.
 - REMOVE ANY CAKED-ON SILT FROM THE SEDIMENT BAG AND REVERSE FLUSH THE BAG.
 - INSPECT BAG CLAMPING BAND AND SUSPENSION HANGERS. REPLACE BAG IF THE GEOTEXTILE IS TORN OR PUNCTURED TO 1/2" DIAMETER OR GREATER ON THE LOWER HALF OF THE BAG. REPLACE CLAMPING BAND AND SUSPENSION HANGERS IF DAMAGED OR CORRODED.
 - REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF THE UNIT AFTER EACH STORM EVENT.
 - DEPOSIT THE SEDIMENT WHERE IT WILL NOT ENTER THE STORM DRAINS.

LOW POINT INLET FILTER ALT. "A" (SI-2A)

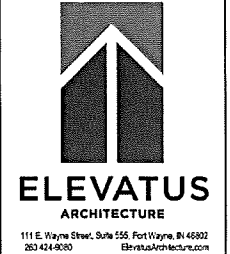
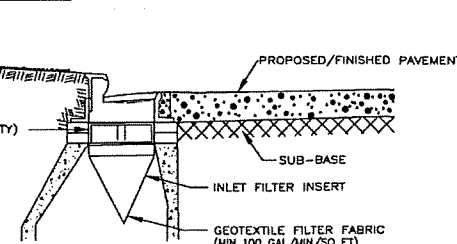
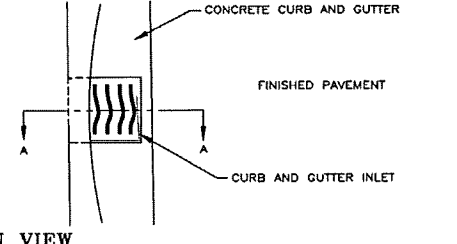
MATERIAL: CATCH-ALL, ULTRA-URBAN FILTERS, FLOODGARD +PLUS OR APPROVED ALTERNATIVE



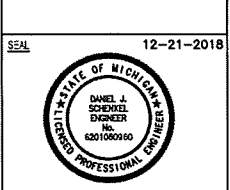
CURB AND GUTTER INLET FILTER ALTERNATIVE "A" (SI-4A)

(BEFORE AND AFTER PAVING)

MATERIAL: CATCH-ALL, ULTRA-URBAN FILTERS, FLOODGARD +PLUS OR APPROVED ALTERNATIVE



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Daniel J. Schell
FOR PERMITTING ONLY
OWNER'S CONSTRUCTION MANAGER



STORE #057 MINOR RESET

MEIJER PROJECT #: CP-19-00057

3175 S. Rochester Rd. Rochester Hills, MI 48307

2019 STORE REFRESH

REVISIONS		
NO.	DESCRIPTION	DATE
1	Revisions to Documents	02/12/2019

PROJECT NO: 1901808
ISSUE DATE: 12/1/2018
SUBMITTAL: Permit Set

Site Construction Erosion Control Plan - South

C302
CITY FILE #19-003 SECTION #35

March 11, 2019 3:07 PM S:\Projects\Projects (400-4999)\Projects (480-4648)\4610-Meijer (07-2019)\Drawings\Plan\057-C301 Site Construction Erosion Control Plan.dwg