

minarv\as Suhmitted\2006-09-06 APPROVED BY CITY OF ROCHESTER HILLS PLANNING COMMISION/05000184SP-12-1 A

## GROSS ACREAGE = 18.07 ± ACRES

NET ACREAGE =  $17.27 \pm$  ACRES (TO PROPOSE R.O.W.)

### **BUILDING INFOMATION:** HEIGHT 29' HIGH ARCHITECTURAL PEAK FEATURE 49' HIGH

SINGLE STORY REQUIRED PARKING CALCULATION:

TOTAL SALES FLOOR AREA IN MAIN BUILDING: 118,000 S.F. TOTAL SALES FLOOR AREA IN GARDEN CENTER: 29,153 S.F.

TOTAL RACKING AREA IN MAIN BUILDING SALES FLOOR: 48,843 S.F. TOTAL RACKING AREA IN GARDEN CENTER SALES FLOOR: 10,158 S.F.

TOTAL USABLE SALES FLOOR AREA: 147,153 - 59,001 = 88,152 S.F.

PARKING REQUIRED: 1 SPACE / 150 S.F. OF USABLE SPACE 88,153 S.F. / 150 S.F. = 587.68 SPACES = 588 SPACES REQUIRED

### MEIJER PARKING DATA: EXISTING:

TOTAL PARKING REQUIRED = 1098 SPACES TOTAL PARKING PROVIDED = 1127 SPACES PROPOSED:

TOTAL SPACES REMOVED = 189TOTAL SPACES REPLACED = 176 TOTAL PARKING REMAINING = 1114



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

F.F.

SEE SHEET SP-40 FOR DETAIL PROP. FIRE LANE SIGN SEE SHEET SP-40 FOR DETAIL PROP. STOP AND FIRE LANE SIGN PROP. HANDICAP SIGN SEE SHEET SP-39 FOR DETAIL FINISH FLOOR ELEV. 34 PARKING LANE COUNT

LEGEND

PROPERTY LINE

--- PROP. WATERMAIN EASEMENT

PROP. STOP SIGN

————— NATURAL FEATURE BUFFER

----- SETBACK LINE

PROP. LIGHT POLE HEAVY DUTY CONCRETE CROSS SECTION HEAVY DUTY ASPHALT

SEE SHEET SP-39 FOR PAVEMENT CROSS SECTION FIRE LANE

54 64.13' 50.00' S39°21'47"E 59.82' 73°29'04" 55 | 156.93' | 55.00' | N05°38'13"E | 108.86' | 163°29'04" | 56 | 27.87' | 112.00' | S85°29'27"F | 27.80' | 14°15'34"

57 12.45' 87.50' \$82°26'17"E 12.44' 8°09'13" 
 58
 55.52'
 42.00'
 \$40°29'28"E
 51.57'
 75°44'25"

 59
 20.79'
 17.00'
 \$43°19'11"E
 19.52'
 70°04'59"

60 8.71' 25.00' N12°36'21"W 8.67' 19°58'12"

66 47.36' 68.00' S71°35'42"E 46.41' 39°54'30"

67 39.42' 25.00' N42°32'54"E 35.46' 90°20'18"

27.87' 112.00' S85°29'27"E 27.80' 14°15'34"

21.08' 25.00' N71°36'19"W 20.46' 48°19'02" 54.55' 68.00' S61°15'17"W 53.10' 45°57'47"

27.71' 72.00' S76°21'15"W 27.54' 22°03'00" 33.75' 72.00' S79°11'25"E 33.45' 26°51'40"

9.42' 3.00' N02°37'15"W 6.00' 180°00'00"

SITE NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

2. ALL RADII SHALL BE 4' UNLESS OTHERWISE NOTED. 3. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH DIVISION 2 OF LOWE'S STANDARD SITE SPECIFICATIONS. 4. TWO STALL CART RETURN RACK FURNISHED AND INSTALLED BY

5. A PERMIT FROM MDOT SHALL BE REQUIRED FOR ALL WORK WITHIN ROCHESTER ROAD.

6. APPLICANT SHALL PROVIDE SIGNED AND SEALED ENGINEERING DRAWINGS FOR THE CONSTRUCTION OF THE LANDBANKED PARKING SPACES IF THE CITY REQUIRES THE LANDBANKED PARKING SPACES TO BE CONSTRUCTED. 7. SIGNS REQUIRE INDIVIDUAL PERMITS.

8. ALL MERCHANDISE MUST BE SOLD IN A COMPLETELY ENCLOSED BUILDING. 9. NO OUTDOOR STORAGE, DISPLAYS AROUND BUILDING OR SEE SHEET SP-39 FOR PAVEMENT PARKING LOT, GREEN BELTS EXCEPT IN AREA APPROVED BY CONDITIONAL LAND USE.

FIRE DEPARTMENT NOTES:

1. BUILDING TYPE - TYPE IIB UNLIMITED 2. PROPOSED BUILDING USE GROUP: M (MERCANTILE)

3. CONSTRUCTION SITE SHALL BE SAFEGUARDED IN ACCORDANCE WITH UFC ARTICLE 87, SECTION 87-01.

FLOODPLAIN:

CITY OF ROCHESTER HILLS.

SCREENING BUFFERS:

WETLAND DISTURBANCE

MDEQ PERMIT NO. 05-63-0385-P

0.17 ACRES FILLED

2,500 C.Y. FILLED

NORTH

SOUTH

WEST

EAST

THE SITE DOES NOT LINE WITHIN A SPECIAL

INSURANCE MAP, COMMUNITY-PANEL NUMBER

260471 0020, DATED SEPTEMBER 2, 1994 FOR THE

CITY OF ROCHESTER HILL DOES PARTICIPATE IN

MINIMUM SIZE

LOT PER UNIT

SQUARE FEET IN FEET

5 ACRES

MAXIMUM HEIGHT

OF STRUCTURE

30(i)

2(i)

AREA IN WIDTH IN STORIES IN FEET

400'

MINIMUM YARD SETBACK

(PER LOT IN FEET)

REAR

m), (n), (s)

FRONT LEAST ONE TOTAL OF TWO

FLOOD HAZARD ZONE ON THE FLOOD

REQUIRED

50'

4. OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS OR LAND CLEARING MATERIAL. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURNING PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION.

5. BUILDING TO BE FULLY PROTECTED WITH A SPRINKLER SYSTEM. 6. FIRE LANES SHALL BE DESIGNED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOATH SIDES OF THE FIRE LANE WITH SIGNS SPACED NOT MORE THAN 100 FEET APART  $\sim$  NO STOPPING, STANDING, PARKING, FIRELANE  $\sim$  IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES

AND FIRE PROTECTION ORDINANCE CHAPTER 58, SEC. 901A2. 7. ANY PROPANE TANK EXCHANGE WILL BE LIMITED TO OUTDOOR SALES AREAS ONLY (GARDEN CENTER). NO PROPANE TANKS WILL BE PERMITTED INSIDE THE STORE EXCEPT FOR EMPTY NEW AND UNUSED TANKS THAT ARE BEING OFFERED FOR SALE.

						DURING FINAL S		NS OF NFPA 58 STORAG DN.	L IS SUBJEC	1 10	
		CURV	/E TABLE					LINE T	ABLE		
JRVE	LENGTH	RADIUS	CHD. BEARING	CHORD	DELTA	LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
1	58.77	68.00'		56.96		L1	16.66	N90°00'00"W	L92	219.89	S87°22'45"W
2	43.75	72.00		<del> </del>	34°49'07"	L2	7.99	N90°00'00"W	L93	24.24	N88°19'23"E
3	37.81	72.00'			30°05'09"	L3		N90°00'00"E	L94	32.13	S02°37'15"E
4	52.46	68.00'			44°11'55"	L4	47.42	N90°00'00"E	L95	298.59	S02°37'15"E
5	26.26	15.00			100°19'22"	L5		N30°14'22"E	L96	680.93	S87°22'45"W
6	15.65	15.00'	N60°07'11"E	14.95	59°45'38"	L6		S02°26'31"E	L97	57.33	S78°21'40"E
7	12.89'	20.00'	N16°01'30"E	12.67	36°56'03"	L7		N88°13'05"E	L98	57.28	N78°21'40"W
8	37.58	20.00'	S56°15'59"E	32.29'	107°38'56"	L8		N02°04'14"W	L99	13.53	S02°37'15"E
9	18.87	10.00'		16.19	108°06'23"	L9		S01°59'31"E	L100	50.00	N87°22'45"E
10	30.96	212.50'	N77°24'58"W	30.93	8°20'49"	L10		N88°13'05"E	L101	26.93	S87°22'45"W
11	25.58'	20.00'	S51°22'39"W	23.87	73°17'25"	L11		S02°23'46"E	L102	14.00	S02°37'15"E
12	57.40'	262.50			12°31'46"	L12		S88°13'05"W	L103	7.00	N87°22'45"E
13	70.21	237.50'			16°56'20"	L13		S01°59'31"E	L104	7.00	S87°22'45"W
14	35.87	187.50			10°57'44"	L14		N61°58'48"W	L105	5.54	S87°22'45"W
15	7.11'	212.50'		7.11'		L15		N01°59'31"W	L106	5.54	N87°22'45"E
16	33.93'	112.50			17°16'57"	L16		N88°09'30"E	L107	159.16	N02°37'15"W
17	16.79	87.50		+	10°59'28"	L17		N01°59'26"W	L108	28.00	S02°37'15"E
18	124.88	79.50			90°00'00"	L18 L19		S88°09'30"W	L109 L110	24.36 3.04	S02°37'15"E
19	43.00'	54.50			45°12'26"	L20		N88°06'44"E	L111	8.32	S06°32'32"W
20	24.70'	10.50			134°47'34"	L20		S01°59'31"E	L112	14.00	N87°22'45"E
21	20.42	13.00'			90°00'00"	L22		S87°47'37"W	L113	10.00	<u>S02°37'15"E</u> S87°22'45"W
22	20.42	13.00'			90°00'00"	L23		S88°06'44"W S02°12'23"E	L114	14.00	N02°37'15"W
23	20.24	13.00'			89°11'43"	L24		N87°47'37"E	L115	28.36	S06°32'20"W
24	20.24	13.00'	N43°11'45"E		89°11'43"	L25		S02°12'23"E	L116	2.83	S87°22'45"W
25 26	12.76'	4.06'	N02°12'23"W		180°00'00"	L26		N87°47'37"E	L117	220.00	N87°22'45"E
<u>26                                    </u>	40.06'	25.50'			90°00'00" 90°00'00"	L27	8.83	S02°12'23"E	L118	220.00	S87°22'45"W
<u>27</u> 28	24.35 <sup>2</sup> 35.52 <sup>2</sup>	15.50'			40°42'18"	L28		N02°12'23"W	L119	14.00	S02°37'15"E
<u>20                                    </u>	21.59	50.00' 50.00'			24°44'18"	L29		N87°47'37"E	L120	14.00	N02°37'15"W
<del>29</del> 30	48.09	30.50			90°20'22"	L30		S02°12'23"E	L121	8.54	N87°22'45"E
31	38.69	30.50°			72°41'00"	L31		S87°47'37"W	L122	13.96	N02°37'15"W
32	72.68	150.00			27°45'37"	L32		N02°12'23"W	L123	13.96	S02°37'15"E
<u>33</u>	20.62		N73°47'52"E		118°08'44"	L33	16.81		L124	8.54	S87°22'45"W
<del>34</del>	31.15	20.00			89°14'45"	L34			L125	19.06	N00°21'53"E
35	36.75	20.00			105°17'39"	L35	240.00	N02°12'23"W	L126	18.92	S87°22'45"W
<del>36</del>	42.88	90.00			27°18'02"	L36	155.41	N02°12'23"W	L127	12.57	S87°22'45"W
<del>37</del>	39.27	25.00'			90°00'00"	L37	155.41	S02°12'23"E	L128	8.54	S87°22'45"W
38	4.55	12.00'			21°42'15"	L38		S87°47'37"W	L129	8.54	S87°22'45"W
39	18.26	25.00'			41°50'39"	L39		N02°12'23"W	L130	367.49	N02°37'15"W
40	21.19'	25.00'			48°34'08"	L40		S87°47'37"W			
41	39.45	25.00'			90°24'47"	L41		S02°12'23"E			
42	3.35	110.00			1°44'48"	L42		N87°47'37"E			
43	35.00'	128.00'			15°39'53"	L43		S87°47'37"W			
44	22.71	67.00'	N82°54'35"W	22.60'	19°25'20"	L44		N87°47'37"E			
45	51.54	183.00'			16°08'09"	L45		N87°47'37"E			
46	47.57	140.00			19°28'02"	L46		N87°47'37"E			
47	19.08'	55.00			19°52'37"	L47		S87°47'37"W			SEE ROCHESTER ROA
48	11.32'	5.00'			129°45'13"	L48		N02°12'23"W			IMPROVEMENT PLANS F
49	39.64	50.00'			45°25'39"	L49		S02°12'23"E			ALL CONSTRUCTION WITHIN ROCHESTER RO
50	78.90'	50.00			90°24'26"	L50		S02°12'23"E			RIGHT-OF-WAY
51	25.27	50.00			28°57'13"	L51		S87°47'37"W			
52	55.59'	55.00'			57°54'27"	L52		S02°12'23"E			ENTRANCE IMPROVEMEN
53 54	25.27'	50.00'			28°57'13"	L53		N87°47'37"E			TO BE COMPLETED BY LOWE'S COMPANIES. IN
- 4											

	10.07	300 09 30 W	
L19	15.94	N88°06'44"E	
L20	2.03	S01°59'31"E	
L21	32.00	S87°47'37"W	
L22	32.00	S88°06'44"W	
L23	4.64	S02°12'23"E	
L24	16.00	N87°47'37"E	
L25	10.00	S02°12'23"E	
L26	16.00	N87°47'37"E	
L27	8.83	S02°12'23"E	
L28	6.77	N02°12'23"W	
L29	16.00	N87°47'37"E	
L30	10.00	S02°12'23"E	
L31	16.00	S87°47'37"W	
L32	11.08	N02°12'23"W	
L33	16.81	S02°12'23"E	
L34	16.00	S87°47'37"W	
L35	240.00	N02°12'23"W	
L36	155.41	N02°12'23"W	
L37	155.41	S02°12'23"E	
L38	16.50	S87°47'37"W	
L39	7.87	N02°12'23"W	
L40	32.00	S87°47'37"W	
L41			
	7.87	S02°12'23"E	
L42	14.00	N87°47'37"E	
L43	32.00	S87°47'37"W	
L44	14.00	N87°47'37"E	
L45	22.44	N87°47'37"E	
L46	7.50	N87°47'37"E	
L47	15.94	S87°47'37"W	
L48	40.00	N02°12'23"W	
L49	6.64	S02°12'23"E	
L50	5.05		
		S02°12'23"E	
L51	63.00	S87°47'37"W	
L52	39.50	S02°12'23"E	
L53	15.74	N87°47'37"E	
L54	145.80	N88°07'59"E	
L55			
	135.51	S88°08'00"W	
L56	4.54	S87°22'45"W	
L57	4.54	N87°22'45"E	
L58	2.74	S87°22'45"W	
L59	13.00	N02°37'15"W	
L60	90.00	S87°22'45"W	
L61	14.00	S02°37'15"E	
L62	4.79	N87°22'45"E	
L63	47.97	N02°37'15"W	
L64	44.87	N02°37'15"W	
L65	14.00	N02°37'15"W	
L66	70.00	S87°22'45"W	
L67	6.66	S50°01'34"E	
L68	14.00	N02°37'15"W	
L69	1.84	S87°22'45"W	
L70	28.00	S02°37'15"E	
L71	22.00	N87°22'45"E	
L72	28.00	S02°37'15"E	
L73	22.00	N87°22'45"E	
L74	13.51	N02°37'15"W	
L75			
	20.00	N87°22'45"E	
L76	14.00	S02°37'15"E	
L77	11.57	N87°22'45"E	
L78	38.91	N50°46'36"W	
L79	53.65	S50°46'36"E	
L80	35.85	S02°12'28"E	
L81	31.20	S87°22'45"W	
L82	14.00	S02°37'15"E	
L83	10.00	N87°22'45"E	
L84	14.00	N02°37'15"W	
L85	11.00	N87°22'45"E	
L86	28.00	N02°37'15"W	
L87	24.17	N02°37'15"W	
L88	20.59	S87°22'45"W	
L89	41.92		
		N73°11'55"W	
L90	40.00	N73°11'55"W	
L91	13.23	N16°48'05"E	

DED N	PROPOSED	AUBURN ROAD
8'6'	SIGNAL  ONE STORY BLOCK BUILDING PENZCIL F.F. 757.84	BUMPER BLOCKS
		ONE STORY BLOCK/STONE BUILDING THE STONE SHOP F.F. 753.33
G ?22'45"W	ONE STORY BUILDING VERIZON F.F. 755.96	
P19'23"E P37'15"E P37'15"E P22'45"W P21'40"E P21'40"W P37'15"E P22'45"E P37'15"E P37'15"E	TRANSITIONADJACENT PROPERTY LINE	OB CURB
22'45"E 22'45"W 22'45"E 37'15"E 237'15"E 237'15"E 232'32"W 22'45"E 237'15"E 22'45"E	EXIST. R.O.W.  PROP. WALK  PROP. STOP SIGN  PROP. STOP AND STOP BAR  PROP. DIRECTIONAL ARROW	CXO
22'45"W	LANE ASPHALT, C2 C2 C13 C12 C13 C12 C12 C12 C12 C13	C14 C15 C16 C17 L19 C1
22'45"W 22'45"W 22'45"W 22'45"W 22'45"W 37'15"W	CURB—TRANSITION  CURB—TRANSITION  CURB—TRANSITION	
ROCHESTER ROAD DVEMENT PLANS FOR L CONSTRUCTION N ROCHESTER ROAD RIGHT-OF-WAY  NNCE IMPROVEMENTS BE COMPLETED BY	79.9'	
MATCH EXIST. WALK  MATCH EXIST. WALK	C19 L38 C20 C18 C18	PROP. 24" CONCRETE CURB AND GUTTER (TYP.)  L40  C21  L42  C22  C24  C24  C24  C24  C27  C27  C
UCT CURB PER MDOT REQUIREMENTS MATCH EXIST. CURB	PROP. RAMP	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$

SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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PRE-BID SET POST BID SET ISSUE DATE SSUE DATE DATE | DESCRIPTION REVISED PER CITY OF ROCHESTER HILLS REVISED PER CITY OF ROCHESTER HILLS REVISED PER CITY OF ROCHESTER HILLS

REVISIONS

LOWE'S HOME CENTERS, INC. 1605 CURTIS BRIDGE ROAD REEC DOCK **WILKESBORO, NC 28697** 336.658.4000 (V) 336.658.3257 (F

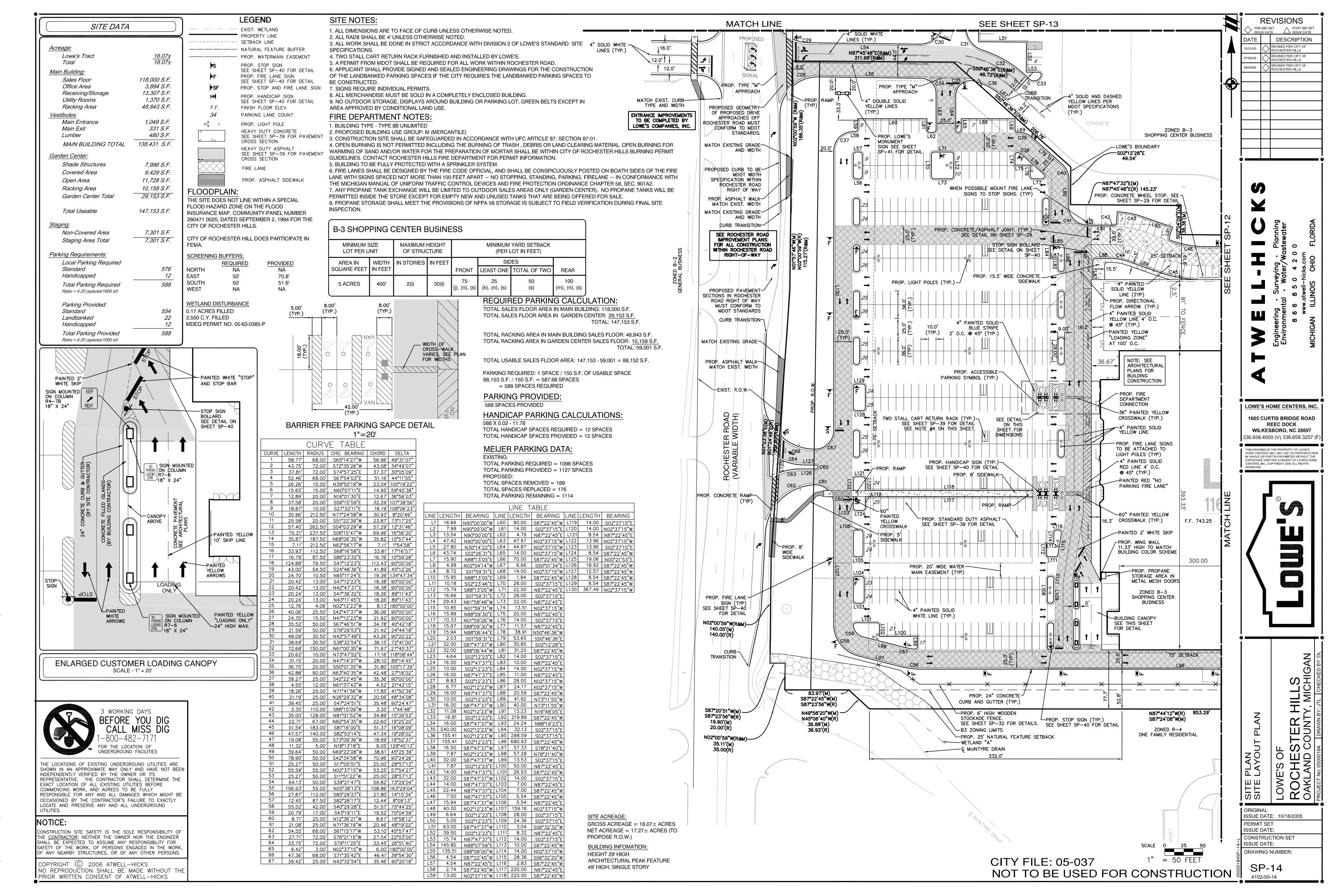
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IA

ISSUE DATE: 10/18/2005 PERMIT SET ISSUE DATE: CONSTRUCTION SET ISSUE DATE: DRAWING NUMBER: SP-13

4102-50-13

CITY FILE: 05-037 NOT TO BE USED FOR CONSTRUCTION

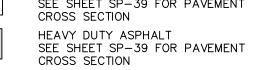


K:\05000184\dwg\Plan Sets\Site-Preliminary\As Submitted\2006-09-06 APPROVED BY CITY OF ROCHESTER HILLS PLANNING COMMISION\05000184SP-14-L.dwg, 9/6/2006

SEE SHEET SP-40 FOR DETAIL SEE SHEET SP-40 FOR DETAIL PROP. HANDICAP SIGN SEE SHEET SP-40 FOR DETAIL FINISH FLOOR ELEV.

PARKING LANE COUNT PROP. LIGHT POLE HEAVY DUTY CONCRETE

FIRE LANE





PROP. 15' WIDE DETENTION POND ACCESS GRAVEL ROAD SEE SHEET SP-39 FOR CROSS SECTION PROP. 25' WIDE NATURAL FEATURES SETBACK

PROP. IMPACTED WETLANDS

FOR THE LOCATION OF UNDERGROUND FACILITIES

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN

REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY

RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND

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INDEPENDENTLY VERIFIED BY THE OWNER OR ITS

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2. ALL RADII SHALL BE 4' UNLESS OTHERWISE NOTED. 3. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH DIVISION 2 OF LOWE'S STANDARD SITE SPECIFICATIONS.

4. TWO STALL CART RETURN RACK FURNISHED AND INSTALLED BY LOWE'S. 5. A PERMIT FROM MDOT SHALL BE REQUIRED FOR ALL WORK WITHIN ROCHESTER

6. APPLICANT SHALL PROVIDE SIGNED AND SEALED ENGINEERING DRAWINGS FOR THE CONSTRUCTION OF THE LANDBANKED PARKING SPACES IF THE CITY REQUIRES THE LANDBANKED PARKING SPACES TO BE CONSTRUCTED. 7. SIGNS REQUIRE INDIVIDUAL PERMITS.

8. ALL MERCHANDISE MUST BE SOLD IN A COMPLETELY ENCLOSED BUILDING/ 9. NO OUTDOOR STORAGE, DISPLAYS AROUND BUILDING OR PARKING LOT, GREEN BELTS EXCEPT IN AREA APPROVED BY CONDITIONAL LAND USE.

### FIRE DEPARTMENT NOTES:

1. BUILDING TYPE - TYPE IIB UNLIMITED 2. PROPOSED BUILDING USE GROUP: M (MERCANTILE)

3. CONSTRUCTION SITE SHALL BE SAFEGUARDED IN ACCORDANCE WITH UFC ARTICLE 87,

4. OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS OR LAND CLEARING MATERIAL. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURNING PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. 5. BUILDING TO BE FULLY PROTECTED WITH A SPRINKLER SYSTEM.

6. FIRE LANES SHALL BE DESIGNED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOATH SIDES OF THE FIRE LANE WITH SIGNS SPACED NOT MORE THAN 100 FEET APART ~ NO STOPPING, STANDING, PARKING, FIRELANE ~ IN CONFORMANCE WITH THE MICHIGAN INSURANCE MAP, COMMUNITY-PANEL NUMBER MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND FIRE PROTECTION ORDINANCE CHAPTER 58, SEC. 901A2.

CENTER). NO PROPANE TANKS WILL BE PERMITTED INSIDE THE STORE EXCEPT FOR EMPTY NEW AND UNUSED TANKS THAT ARE BEING OFFERED FOR SALE. 8. PROPANE STORAGE SHALL MEET THE PROVISIONS OF NFPA 58 STORAGE IS SUBJECT TO FIELD

### VERIFICATION DURING FINAL SITE INSPECTION. REQUIRED PARKING CALCULATION:

TOTAL SALES FLOOR AREA IN MAIN BUILDING: 118,000 S.F. TOTAL SALES FLOOR AREA IN GARDEN CENTER: 29,153 S.F. TOTAL: 147,153 S.F

TOTAL RACKING AREA IN MAIN BUILDING SALES FLOOR: 48,843 S.F. TOTAL RACKING AREA IN GARDEN CENTER SALES FLOOR: 10,158 S.F.

TOTAL USABLE SALES FLOOR AREA: 147,153 - 59,001 = 88,152 S.F.

PARKING REQUIRED: 1 SPACE / 150 S.F. OF USABLE SPACE 88,153 S.F. / 150 S.F. = 587.68 SPACES

# PARKING PROVIDED:

= 588 SPACES REQUIRED

HANDICAP PARKING CALCULATIONS:

588 X 0.02 - 11.78 TOTAL HANDICAP SPACES REQUIRED = 12 SPACES TOTAL HANDICAP SPACES PROVIDED = 12 SPACES

# MEIJER PARKING DATA:

TOTAL PARKING REQUIRED = 1098 SPACES TOTAL PARKING PROVIDED = 1127 SPACES PROPOSED:

TOTAL SPACES REMOVED = 189 TOTAL SPACES REPLACED = 176 TOTAL PARKING REMAINING = 1114

	LINE TABLE											
INE	LENGTH	BEARING	LINE	LENGTH	BEARING	LINE	LENGTH	BEARING				
L1	16.66	N90°00'00"W	L60	90.00	S87°22'45"W	L119	14.00	S02°37'15"E				
L2	7.99	N90°00'00"W	L61	14.00	S02°37'15"E	L120	14.00	N02°37'15"W				
L3	13.54	N90°00'00"E	L62	4.79	N87°22'45"E	L121	8.54	N87°22'45"E				
L4	47.42	N90°00'00"E	L63	47.97	N02°37'15"W	L122	13.96	N02°37'15"W				
L5	27.80	N30°14'22"E	L64	44.87	N02°37'15"W	L123	13.96	S02°37'15"E				
L6	43.74	S02°26'31"E	L65	14.00	N02°37'15"W	L124	8.54	S87°22'45"W				
L7	15.90	N88°13'05"E	L66	70.00	S87°22'45"W	L125	19.06	N00°21'53"E				
L8	4.99	N02°04'14"W	L67	6.66	S50°01'34"E	L126	18.92	S87°22'45"W				
L9	8.72	S01°59'31"E	L68	14.00	N02°37'15"W	L127	12.57	S87°22'45"W				
L10	15.95	N88°13'05"E	L69	1.84	S87°22'45"W	L128	8.54	S87°22'45"W				
L11	10.18	S02°23'46"E	L70	28.00	S02°37'15"E	L129	8.54	S87°22'45"W				
L12	15.79	S88°13'05"W	L71	22.00	N87°22'45"E	L130	367.49	N02°37'15"W				
L13	16.66	S01°59'31"E	L72	28.00	S02°37'15"E							
L14	29.43	N61°58'48"W	L73	22.00	N87°22'45"E							
L15	10.85	N01°59'31"W	L74	13.51	N02°37'15"W							
L16	15.89	N88°09'30"E	L75	20.00	N87°22'45"E							
	40 77		170	4400		l						

L4	47.42	N90°00'00"E	L63	47.97	N02°37'15"W	L12
L5	27.80	N30°14'22"E	L64	44.87	N02°37'15"W	
L6	43.74	S02°26'31"E	L65	14.00	N02°37'15"W	
L7	15.90	N88°13'05"E	L66	70.00	S87°22'45"W	
L8	4.99	N02°04'14"W	L67	6.66	S50°01'34"E	
L9	8.72	S01°59'31"E	L68	14.00	N02°37'15"W	
L10	15.95	N88°13'05"E	L69	1.84	S87°22'45"W	L12
L11	10.18	S02°23'46"E	L70	28.00	S02°37'15"E	
L12	15.79	S88°13'05"W		22.00	N87°22'45"E	
L13	16.66	S01°59'31"E	L72	28.00	S02°37'15"E	
L14	29.43	N61°58'48"W		22.00	N87°22'45"E	İ
L15	10.85	N01°59'31"W		13.51	N02°37'15"W	İ
L16	15.89	N88°09'30"E	L75	20.00	N87°22'45"E	İ
L17	10.33	N01°59'26"W	L76	14.00	S02°37'15"E	İ
L18	15.97	S88°09'30"W		11.57	N87°22'45"E	İ
L19	15.94	N88°06'44"E	L78	38.91	N50°46'36"W	İ
L20	2.03	S01°59'31"E	L79	53.65	S50°46'36"E	İ
L21	32.00	S87°47'37"W	L80	35.85	S02°12'28"E	İ
L22	32.00	S88°06'44"W	L81	31.20	S87°22'45"W	İ
L23	4.64	S02°12'23"E	L82	14.00	S02°37'15"E	İ
L24	16.00	N87°47'37"E	L83	10.00	N87°22'45"E	İ
L25	10.00	S02°12'23"E		14.00	N02°37'15"W	İ
L26	16.00	N87°47'37"E		11.00	N87°22'45"E	İ
L27	8.83	S02°12'23"E		28.00	N02°37'15"W	İ
L28	6.77	N02°12'23"W		24.17	N02°37'15"W	İ
L29	16.00	N87°47'37"E		20.59	S87°22'45"W	İ
L30	10.00	S02°12'23"E	L89	41.92	N73°11'55"W	İ
L31	16.00	S87°47'37"W	L90	40.00	N73°11'55"W	İ
L32	11.08	N02°12'23"W	L91	13.23	N16°48'05"E	İ
L33	16.81	S02°12'23"E	L92	219.89	S87°22'45"W	İ
L34	16.00	S87°47'37"W	L93	24.24	N88°19'23"E	İ
L35	240.00	N02°12'23"W	L94	32.13	S02°37'15"E	İ
L36	155.41	N02°12'23"W	L95	298.59	S02°37'15"E	İ
L37	155.41	S02°12'23"E	L96	680.93	S87°22'45"W	İ
L38	16.50	S87°47'37"W		57.33	S78°21'40"E	İ
L39	7.87	N02°12'23"W			N78°21'40"W	İ
L40	32.00	S87°47'37"W			S02°37'15"E	
L41	7.87	S02°12'23"E		50.00	N87°22'45"E	İ
L42	14.00	N87°47'37"E			S87°22'45"W	İ
L43	32.00	S87°47'37"W	L102	14.00	S02°37'15"E	İ
L44	14.00	N87°47'37"E	L103	7.00	N87°22'45"E	İ
L45	22.44	N87°47'37"E	L104	7.00	S87°22'45"W	İ
L46	7.50	N87°47'37"E	L105	5.54	S87°22'45"W	İ
L47	15.94	S87°47'37"W	L106	5.54	N87°22'45"E	
L48	40.00	N02°12'23"W	_	159.16	N02°37'15"W	
L49	6.64	S02°12'23"E	L108	28.00	S02°37'15"E	İ
L50	5.05	S02°12'23"E	L109	24.36	S02°37'15"E	İ
L51	63.00	S87°47'37"W		3.04	S06°32'32"W	
L52	39.50	S02°12'23"E	L111	8.32	N87°22'45"E	
L53	15.74	N87°47'37"E	L112	14.00	S02°37'15"E	
L54	145.80	N88°07'59"E	L113	10.00	S87°22'45"W	
L55	135.51	S88°08'00"W	L114	14.00	N02°37'15"W	
L56	4.54	S87°22'45"W	L115	28.36	S06°32'20"W	
L57	4.54	N87°22'45"E	L116	2.83	S87°22'45"W	
L58	2.74	S87°22'45"W		220.00	N87°22'45"E	
L59	13.00	N02°37'15"W	L118	220.00	S87°22'45"W	
	•			•		•

CURVE	LENGTH	RADIUS	CHD. BEARING	CHORD	DELTA
1	58.77	68.00'	S65°14'27"W	56.96	49°31'07"
2	43.75	72.00'		43.08'	
3	37.81	72.00'	S74°57'25"E	37.37	
4	52.46'	68.00'		51.16	44°11'55"
5	26.26	15.00'		23.04	
6	15.65	15.00'	N60°07'11"E	14.95	59°45'38"
7	12.89'	20.00'	N16°01'30"E	12.67	36°56'03"
8	37.58'	20.00'	S56°15'59"E	32.29'	
9	18.87	10.00'	S27°32'11"E	16.19	
10	30.96	212.50'	N77°24'58"W	30.93	8°20'49"
11	25.58'	20.00'	S51°22'39"W	23.87	73°17'25"
12	57.40'	262.50'	S04°03'29"W	57.29	12°31'46"
13	70.21	237.50	S06°15'47"W	69.96	
14	35.87	187.50		35.82	
15	7.11	212.50'		7.11	
16	33.93'	112.50	S68°16'58"E	33.81	
17	16.79	87.50		16.76	
18	124.88	79.50		112.43	
19	43.00'	54.50	S24°48'36"E	41.89	45°12'26"
20	24.70	10.50	N65°11'24"E	19.39	
21	20.42	13.00	S47°12'23"E	18.38	
22	20.42	13.00'	N42°47'37"E	18.38	
23	20.24	13.00	S47°36'32"E	18.26	89°11'43"
24	20.24	13.00		18.26	89°11'43"
25	12.76	4.06		8.13	
26	40.06'	25.50'		36.06	
27	24.35	15.50°		21.92	
28	35.52	50.00'		34.78	
29	21.59	50.00'		21.42'	24°44'18"
30	48.09	30.50	N42°57'48"E	43.26	
31	38.69	30.50	S38°32'54"E	36.15 <sup>'</sup>	72°41'00"
32	72.68	150.00	N61°00'35"W	71.97	27°45'37"
33	20.62	10.00	N73°47'52"E	17.16	118°08'44"
34	31.15	20.00'	N47°14'37"W	28.10	89°14'45"
35	36.75	20.00	S50°01'35"W	31.80	
36	42.88	90.00	N63°40'35"W	42.48	
37	39.27	25.00	S42°22'45"W	35.36	
38	4.55	12.00		4.52	
39	18.26	25.00	N71°41'56"W	17.85	
40	21.19	25.00	N26°29'32"W	20.56	
41	39.45	25.00	S47°24'51"E	35.48	
42	3.35	110.00	S88°15'09"W	3.35	1°44'48"
43	35.00	128.00	N81°01'52"W	34.89	
44	22.71	67.00	N82°54'35"W	22.60'	19°25'20"
45	51.54	183.00	S81°16'00"E	51.37	16°08'09"
46	47.57	140.00	S82°53'14"E	47.34	19°28'02"
47	19.08	55.00	S73°09'36"W	18.99	19°52'37"
48	11.32	5.00	N18°13'18"E	9.05	129°45'13"
49	39.64	50.00	N69°22'08"W	38.61	45°25'39"
50	78.90	50.00	S42°34'58"W	70.96	90°24'26"
51	25.27	50.00	S17°05'51"E	25.00	
52	55.59	55.00	N02°37'15"W	53.25	
53	25.27	50.00	S11°51'22"W	25.00	
54	64.13	50.00	S39°21'47"E	59.82'	73°29'04"
55	156.93	55.00	N05°38'13"E	108.86	73 29 04 163°29'04"
56	27.87	112.00	S85°29'27"E	27.80	14°15'34"
57	12.45	87.50°	S82°26'17"E	12.44	8°09'13"
58			S40°29'28"E		75°44'25"
56 	55.52'	42.00'		51.57'	75°44 25 70°04'59"
60	20.79'	17.00'	S43°19'11"E	19.52'	
	8.71'	25.00'	N12°36'21"W	8.67	19°58'12"
61	21.08'	25.00'	N71°36'19"W	20.46'	48°19'02"
62	54.55	68.00'	S61°15'17"W	53.10'	
63	27.71'	72.00'	S76°21'15"W	27.54	
64	33.75	72.00'		33.45	
65	9.42'	3.00'			180°00'00"
66	47.36'	68.00'	S71°35'42"E	46.41	
67	1 70 401	05.00	N 4 00 7 0' E 4" E	7 40'	0.0000'40"

67 39.42' 25.00' N42°32'54"E 35.46' 90°20'18"

SITE ACREAGE:

**BUILDING INFOMATION:** 

HEIGHT 29' HIGH

FLOODPLAIN:

SINGLE STORY

**EAST** 

SOUTH

WEST

GROSS ACREAGE = 18.07± ACRES

ARCHITECTURAL PEAK FEATURE 49' HIGH

THE SITE DOES NOT LINE WITHIN A SPECIAL

260471 0020, DATED SEPTEMBER 2, 1994 FOR THE

CITY OF ROCHESTER HILL DOES PARTICIPATE IN

PROVIDED

70.8

51.6

FLOOD HAZARD ZONE ON THE FLOOD

CITY OF ROCHESTER HILLS.

WETLAND DISTURBANCE

**BUILDING INFOMATION:** 

CURVE TABLE

MDEQ PERMIT NO. 05-63-0385-P

GROSS ACREAGE = 18.07 ± ACRES

ARCHITECTURAL PEAK FEATURE 49' HIGH

NET ACREAGE = 17.27± ACRES (TO PROPOSE R.O.W.)

0.17 ACRES FILLED

2,500 C.Y. FILLED

SITE ACREAGE:

HEIGHT 29' HIGH

SINGLE STORY

NET ACREAGE = 17.27± ACRES (TO PROPOSE R.O.W.)

	B-3 SHOPPING	CENTER BUS	INESS							//		PRE-BID S ISSUE DA	EVISIONS  ET
	MINIMUM SIZE LOT PER UNIT	MAXIMUM HEIO		MINIMUM YARD S (PER LOT IN F			CONCRETE					DATE  12/21/05  07/06/06	REVISED PER CITY OF ROCHESTER HILLS
į	AREA IN WIDTH SQUARE FEET IN FEE	H IN STORIES IN I	EET	SIDES LEAST ONE TOTAL	,			<del></del>					REVISED PER CITY OF ROCHESTER HILLS
 	5 ACRES 400'	2(i) 3	(i) 75	25 5	50 100 (m), (n), (s)		0					+	
						)			<b>*</b>				
		0							EXIS	ITNG DETENTION AREA			
	CONCRET	E									/ , '		
				0 0	PROP.	15' WIDE DETENTION CESS GRAVEL ROAM	EXISITNG FI	ENCE					
	ASPHAI				SEE SHEET	SP-39 FOR DETAI		FENCE TRANSITION		*/*		S	
	MAIN E	20' WIDE WATER ASEMENT (TYP) BOUNDARY	4 4	C50	TRANSITION		+ + + + + + + + + + + + + + + + + + +	PROP. (2) 8' WIDE- ACCESS GATES SEE SHEET SP-41		**/	,	<b>Y</b>	
2.0.2	TRANS	\ <u>L93</u> / 4	C49 4 4	45	PROP. 6' HI FENCE (TY SP-	CHAIN LINK— P) SEE SHEET 11 FOR DETAIL	1	SEE SHEET SP-41 FOR DETAIL		* * /*	EX. HOUS F.F. 728.	U	ter ter NDA
2	Mr. I	LIGHT POLES (TYP.)	C48 7 C47	N87°	48'01"E 785.96'	22 <b>X</b> 22	X	X	*		7.1.725.		Planning Istewater 0 FLORIDA
	L92 25 SETBACK			C5)	7	27					X. HOUSE F. 727.76	Į	ing . er/Wa 4 2 0 ks.com
	0 4" PAINTED SOLID YELLON	- N	R55'	C52							F. 727.76	نـ ∣	Vey Wat O -hic
\ \ _	LINE 4" O.C. @ 45° (TYP.  ———————————————————————————————————		4 4 4	<b>-</b>	PROP. GUARD SEE SHEET SF	RAIL (TYP.) -39 FOR DETAIL							ntal • Sun • Sun • • 6 8 5 • • • • • • • • • • • • • • • • • •
	YELLOW LINE (TYP) PROP. CONCRETE WHEEL SEE SHEET SP-39 FOR D	STOP.		C53 /	PROP. TRASH SCREENING.	COMPACTOR				EX. HOUSE F.F. 727.80	` \	Ш	ieerinç onme 8 6 ×
		WELL		28			124		* * *				Engin Envir MICHI
		TRUCK		728	726	PROP. REGIONAL DETENTION BASIN			*//	EX. HOUSE F.F. 727.81	, /		
		PROP.					/ ( ( ) )				/	<	
 				*	725 PROP. 20' WIDE V	372.5 <sup>1</sup> 23.5 <sup>23</sup> WATER 25.7		* * /		House		I LOWE'S H	OME CENTERS, INC.
	PROP. TRASH CO PROP. LANDBANKED PARK		36		PROP. 24" CONCF CURB AND GUTTE	TYP) &		ZOI	/ F.F.	HOUSE 727.89	/	1605 CUF	RTIS BRIDGE ROAD
	PROP. BOLLAF AT DOORS S	RDS (TYP)— EE SHEET		199	PROP. FIRE LANE SEE SHEET SP-40		*)))) /// *	ONE FAMIL	NED R-4 LY RESIDENTIAL			WILKES	<b>SBORO, NC 28697</b> 00 (V) 336.658.3257 (F)
	SP-40 F0	OR DETAIL AS METER		F			/////**					HOME CENTERS, IN WHOLE OR PAI EXPRESSED WRI	THE PROPERTY OF LOWE'S INC. ANY USE OR REPRODUCTION RT IS PROHIBITED WITHOUT THE ITEN CONSENT OF LOWE'S HOME DPYRIGHT 2006 ALL RIGHTS
ln II				728- 729- 729-	721— 722— 722— 723— 724— 725— 725—		///*** *		EX. HOUSE F.F. 727.12		1	RESERVED	
		PROP. 6' HIGH- CHAIN LINK FENCE						PROP. 6' HIGH WOODEN STOCKADE FENCE.					
F.F. 743.2		(TYP) SEE SHEET SP-41 FOR DETAIL TORAGE AREA USED-						SEE SHEET SP-32 FOR DETAILS. EX. HOUSE F.F. 727.21					
<b>j</b>	API	PLIANCES & PALLET			722 723 724 725			F.F. 727.21					
	E ARCHITECTURAL PLANS PING CONSTRUCTION				726	* *	*						
300.00	PROP. TRANSF PROP. GENE		3'	C54			687± L.F. OF		\				
	ROP. ABOVE GROUND GENE 1,500 GALLON DIESE PROP. TRANSFORMER SCR	ERATOR L TANK		4 4 4			IMPACTED 25' WIDE NATURAL FEATURES SETBACK	EX. HOUSE F.F. 726.33			\		
16' VI	GALVANIZED FENCE WITH NYL COATED CHAIN LINK RETE/ASPHALT JOINT. (TY	BLACK FABRIC.				X	TRANSITION						
S	EE DETAIL ON SHEET SP-	39		P55	C55 51.0°	FEATU	25' WIDE NATURAL RES SETBACK WETLAND "B AND C"					•	
75 SETBACK				2240		\A/ A 1 1	RETAINING "A" (TYP)		,				<b>Z</b>   di
	<u>196</u>	0 12	4 4			\$02°06°55°E(M) \$02°00°59°E(R) 60.03°(M) 60.00°(R)					\		S HIGA
×		8 6.				802	N87	°37'47"E(R) 297.83'(R) °34'47"E(M) 297.89'(M)					LLS MICH
	853.29' \ S87°24'08"W(M)		ZONEC		\	`~ \$87°30';	33"W(M) S87°37'47"W(R)	271.79'	-1				
İ	N87°44'12"W(R)  EXISTING ZONING L	INE	ONE FAMILY PROP. 6' HIC STOCKADE F	RESIDENTIAL SH WOODEN ENCE.	7,550 S.F.T OF II								TER OUNT
			SEE SHEET S	SP-32 FOR DETAILS. NING WALL "B" (TYP)	.,220 Sil.1 OI II	TE TENNO						LUC	F   O O   <sup>2</sup>
	CARPORT											PLAN	
		7/							25	291.59'(M) 292.08'(R)		SITE	LOWE'S ROCH OAKLAN
									285.33'(R) 285.39'(M)	291.5	 	ORIGINAL	
		Ш								E(R)		PERMIT SE ISSUE DAT	E:
	THREE ST BRICK/WOOD F.F. 727	ORY BUILDING .20							51'30"E(R) 00'10"W(M)	02°33'02"E(M) 02°19'22"E(R) 0 and 0	25 50	CONSTRUCTION ISSUE DAT	E:
•			I					TY FILE: 0	5-037	1" = 50	DICTION	SP-	15
							INC	JI IUBE	USED FC	OR CONSTE	TOCHON	පි 4102-50 - ●	-15

----- EXIST. WETLAND LIMITS

# BENCHMARKS

BENCHMARK: #1
ARROW ON HYDRANT
ELEV.= RIM 745.17 USGS

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BENCHMARK: #2 NAIL ON HEADWALL ELEV.= 736.00 USGS

### GRADING AND DRAINAGE NOTES

1. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, & ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES & LOWE'S SPECIFICATIONS.

PROP. HIGH RIDGE LINE

2. ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST.

3. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
4. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR

TO GRADING START.

5. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

6. AFTER PERMITS HAVE BEEN OBTAINED & EROSION CONTROL MEASURES INSTALLED, THE CONTRACTOR SHALL GRADE BUILDING PAD, GARDEN CENTER & APRONS TO 1/2"± FT. OF SUBGRADE AS PER SECTION 02300, DIVISION 2 OF

LOWE'S STANDARD SITE SPECIFICATIONS.

7. IMMEDIATELY APPLY & COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2"
BEFORE EXCAVATING INTERIOR & PERIMETER FOOTINGS.

8. FRENCH DRAIN SHALL BE INSTALLED IF DIRECTED BY THE GEOTECHNICAL ENGINEER OR AS SHOWN ON PLANS.

9. CONTRACTOR SHALL PROVIDE 2' x 2' x 6" THICK CONCRETE APRON AT ALL CLEANOUTS OUTSIDE OF BUILDING.

10. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH DIVISION 2 OF LOWE'S STANDARD SITE SPECIFICATIONS.

11. ALL ROOF DRAINS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END.

12. PROPOSED RETENTION POND SHALL HAVE MAXIMUM SIDE SLOPES OF 1 FOOT

VERTICAL AND 6 FOOT HORIZONTAL.

13. PROPOSED CATCH BASINS ARE BASED ON THE CENTER OF THE BACK OF

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14. TOP OF CURB GRADE FOR PITCH-OUT CURB WILL BE 0.50' ABOVE TOP OF ASPHALT AND FOR PITCH-IN CURB TOP OF CURB WILL BE 0.42' ABOVE TOP OF

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16. A PERMIT FROM MDOT SHALL BE REQUIRED FRO ALL WORK WITHIN

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17. ALL GRADING MUST BE DESIGNED IN ACCORDANCE WITH CITY OF ROCHESTER HILLS ENGINEERING DESIGN STANDARDS.

18. ALL STORM MUST BE DESIGNED IN ACCORDANCE WITH CITY OF ROCHESTER HILLS ENGINEERING DESIGN STANDARDS.

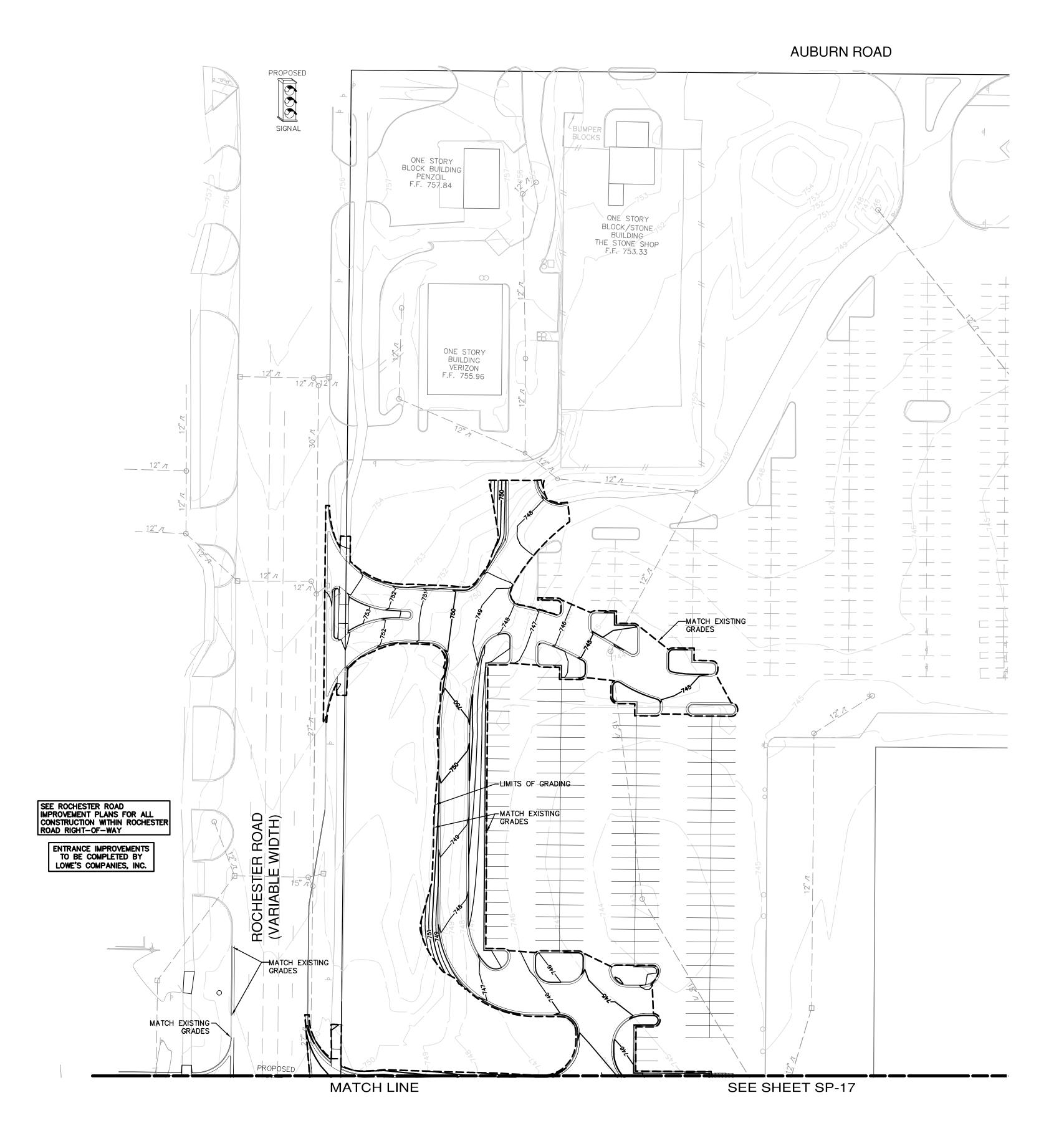


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# NOTIC

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PRE-BID SET ISSUE DATE

DATE

DESCRIPTION

12/21/05

REVISED PER CITY OF ROCHESTER HILLS

07/06/06

REVISED PER CITY OF ROCHESTER HILLS

08/28/06

REVISED PER CITY OF ROCHESTER HILLS

REVISIONS

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Engineering · Surve)
Environmental · Wa
8 6 8 5 0

LOWE'S HOME CENTERS, INC.

WILKESBORO, NC 28697
336.658.4000 (V) 336.658.3257 (F)

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1605 CURTIS BRIDGE ROAD

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VE'S OF
CHESTER HILLS
(LAND COUNTY, MICHIGAN

ORIGINAL ISSUE DATE: 10/18/2005
PERMIT SET ISSUE DATE:

ISSUE DATE:
CONSTRUCTION SET
ISSUE DATE:
DRAWING NUMBER:

SP-16

CITY FILE: 05-037 1" = 50 FEET NOT TO BE USED FOR CONSTRUCTION

742.32

GRADING FOR BARRIER FREE SPACES TO THE SOUTH

SCALE 1" = 30'

# **BENCHMARKS**

BENCHMARK: #1 ARROW ON HYDRANT ELEV.= RIM 745.17 USGS

BENCHMARK: #2 NAIL ON HEADWALL ELEV.= 736.00 USGS

### GRADING AND DRAINAGE NOTES

----- EXIST. WETLAND LIMITS

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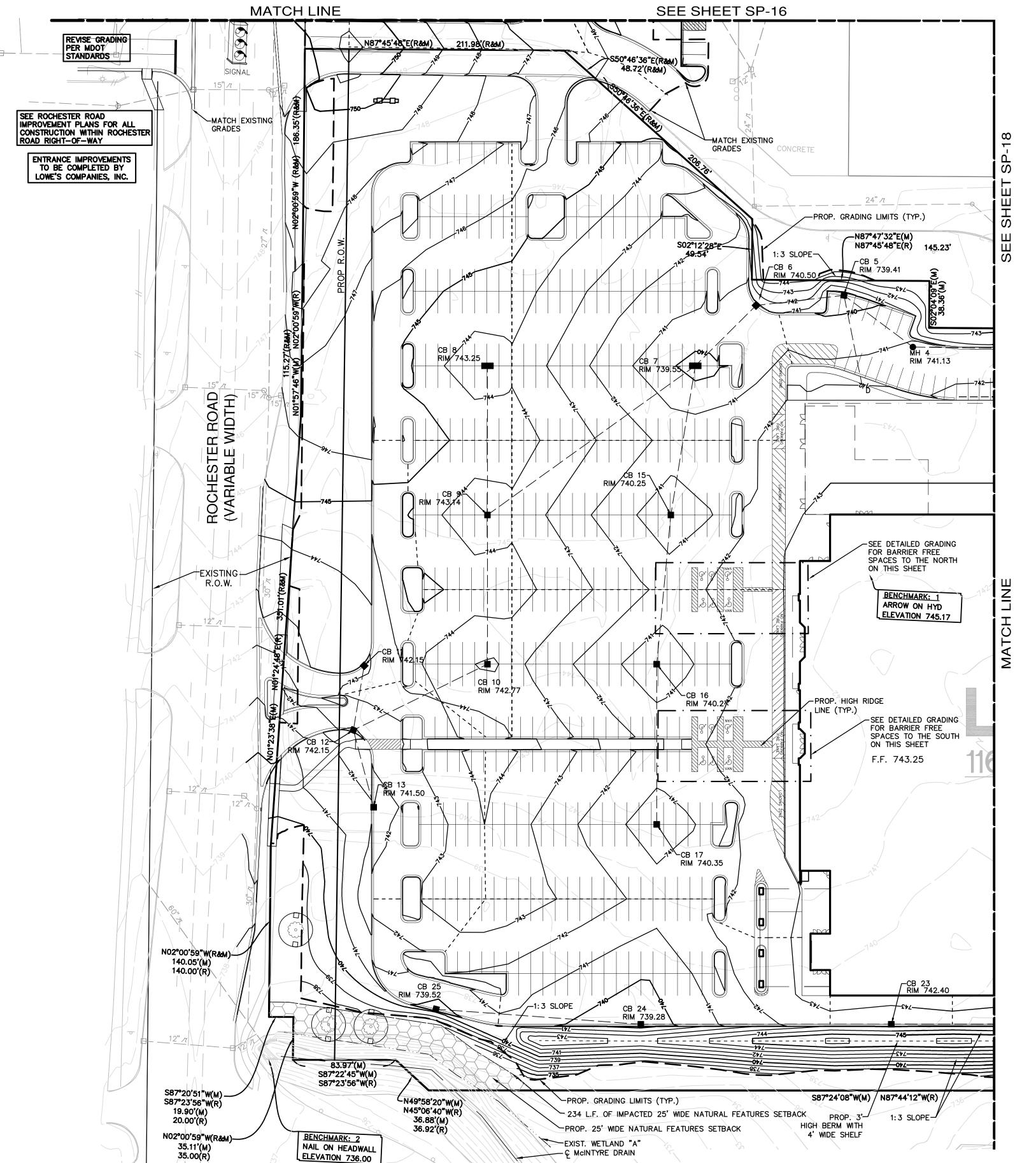
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**ORIGINAL** ISSUE DATE: 10/18/2005

REVISIONS

DATE | DESCRIPTION

REVISED PER CITY OF ROCHESTER HILLS

LOWE'S HOME CENTERS, INC.

1605 CURTIS BRIDGE ROAD

REEC DOCK

**WILKESBORO, NC 28697** 

336.658.4000 (V) 336.658.3257 (F

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REVISED PER CITY OF

REVISED PER CITY OF ROCHESTER HILLS

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**CITY FILE: 05-037** 

PERMIT SET ISSUE DATE: CONSTRUCTION SET SSUE DATE: RAWING NUMBER: SP-17

4102-50-17

BENCHMARK: #1 ARROW ON HYDRANT ELEV.= 745.17 USGS

BENCHMARK: #2 NAIL ON HEADWALL ELEV.= 736.00 USGS

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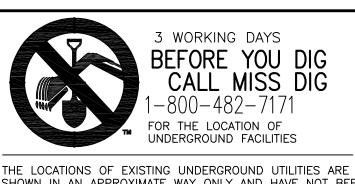
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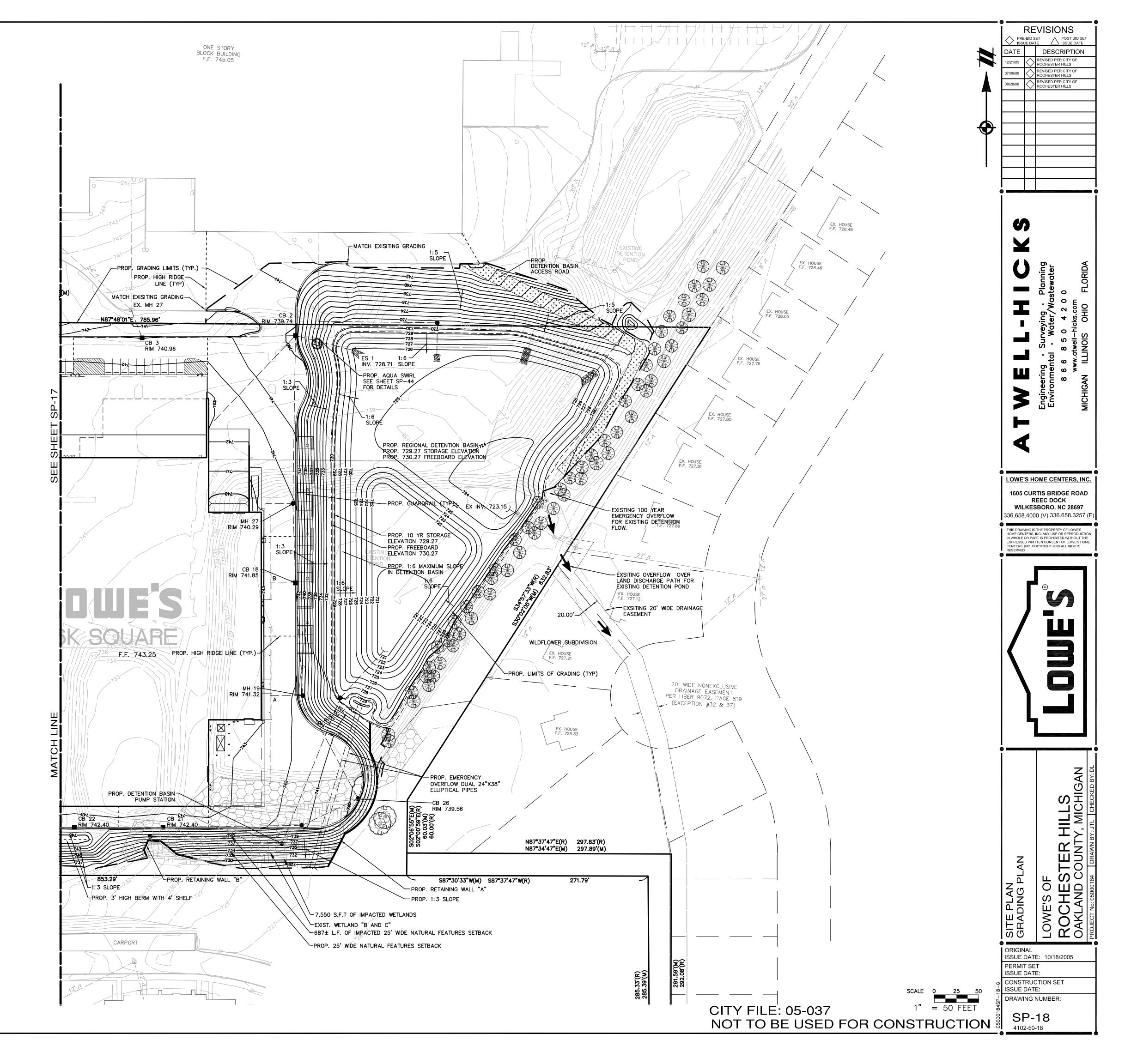
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	Lowe	's of Roch	<u>iester</u> F	Hills, MI		
	Estima	ted Sanita	arv Sew	er Flows		
				FLOW RATE	EST. FLOW	EST. FLOV
BUILDING	AREA (S.F.)	USE	REU	(CFS/1000 S.F.)	(CFS)	(GPM)
Lowe's	138,431 sf	Retail	30	0.000064	0.0089 cfs	4.00 GPM
Totals	: 138,431 sf		30		0.0089 cfs	4.00 GPM
	N4 F1-	T!-	C4 D		0.0020 - 6-	1.74 CDM
	Note: FIO	ws per Lowe's	Store Reco	rds = 2500 gal/day =	0.0039 cfs	1.74 GPM
Peak Flow Factor:						
Population =	2.6 people	per REU =	78	People		
	18+	$\sqrt{popin-th}$	ousands	$18 + \sqrt{0.078}$		
		pop in - th			4.27	Peak Facto
				MUM PEAK FLOW:	0.0381 cfs	
		ES TIMA	LD WAXI	Memi Laki Low.	17.08 GPM	
Infiltration:						
	Length of pipe =	200 LF				
	Size =	6 inch				
Allowable =	= 200 g	gal.				
	in. DiaM	•				
	200 gal./		= 0.000000	35 x length of pipe =	0.000070 cfs	
	5280 ft x 86,400	sec x 7.48 gal			0.032 GPM	
Average Flow:						
A verage Flow = Qav	Ī	0.0090 cfs				
	Qpeak. =	4.03 GPM				
Peak Flow:						
Peak Flow = Qm	ax. + In filtration =	0.0381 cfs				
	Q <sub>peak</sub> . =	17.11 GPM				
Available Capacity:						
Existing 8" pipe @ 0.35%						
$Q = vA = (\frac{1.49}{n})AR^{2/3}\sqrt{S}$	Pipe Size =	8 inches				
n	slope (S)=	0.35%				
	Roughness (n) =	0.13				
	Area (A) =	0.35 sf				
	Hyd Radius (R)=	0.17 ft				
	Flow Rate (Q) =	0.72 cfs	= 321.7 G	SPM		
	Velocity (v) =	2.05 ft/s				
ELOW DATES COASS	D AG FOLLOW:					
FLOW RATES COMPUTE			ing one em	mlovee per 750 a.f.		
Conversion Factor			-	ployee per 750 s.f.		
				23 CIS 1 REU = 2.6 PEOPLE	<u> </u>	
Note: Flow rates are based						
	dated July 1, 1998	Junty Diam Co	,	a senedule of onli		

# SITE UTILITY NOTES:

1 LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY GENERAL CONTRACTOR AND/OR THE PROPER UTILITY COMPANY PROVIDING SERVICE. SEE SHEETS SP-02 THRU SP-05 FOR EXISTING UTILITY INFORMATION.

2. GENERAL CONTRACTOR SHALL PROVIDE 2' x 2' x 6" THICK CONCRETE APRON AT ALL CLEANOUTS, VALVES AND METERS AND 5'x5'x6" THICK REINFORCED CONCRETE APRON AT ALL MANHOLES AND INLETS WITHIN THE LIMITS OF PAVING OUTSIDE OF THE BUILDING.

3. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING. 4. ELECTRICAL SERVICE TO PAD MOUNTED TRANSFORMER SHALL BE RUN UNDERGROUND, FROM EXISTING SERVICE CONNECTION TO TRANSFORMER LOCATION. ASSOCIATED COST BY GENERAL

5. GENERAL CONTRACTOR SHALL FURNISH (2) - 4" TELEPHONE CONDUIT(S) AS SHOWN ON PLAN, VERIFY LOCATION OF TIE IN AT TELEPHONE COMPANY'S SERVICE LINE. PROVIDE NYLON PULL CORDS INSIDE CONDUIT.

6. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.

7. ALL DOMESTIC WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END. 8. REFER TO PLUMBING SHEETS FOR LOCATION OF SEWER, DOMESTIC, AND IRRIGATION

CONNECTIONS. 9. FIRE LINE SHALL BE STUBBED UP 1' ABOVE FFE IN SPRINKLER ROOM.

10. ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED GATE VALVE A MAXIMUM OF 5'-0" FROM HYDRANT. ALL HYDRANTS SHALL BE A MINIMUM OF 40' FROM THE PROPOSED BUILDING. ALL FIRE HYDRANTS SHALL BE TO CITY STANDARDS.

11. ALL EXCAVATION, TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH

FEDERAL OSHA REGULATIONS AND CITY OF ROCHESTER HILLS STANDARDS. 12. GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION INCLUDING ANY REQUIRED TESTING

PRIOR TO CONNECTING TO EXISTING SYSTEMS. 13. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH DIVISION 2 OF LOWE'S STANDARD SITE

SPECIFICATIONS. 14. ALL SANITARY MAINS AND LEADS SHALL HAVE A MINIMUM OF 5'-0" OF GROUND COVER.

15. ALL WATER MAINS AND SERVICES SHALL HAVE A MINIMUM OF 6'-0" OF GROUND COVER. 16. ALL WATER MAINS SHALL BE DUCTILE IRON PIPE (CLASS 54).

17. MAINTAIN A MINIMUM 10'-0" HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN SANITARY, WATER, AND STORM UTILITY LINES.

18. ALL MATERIALS, STRUCTURES, AND PIPE TESTING SHALL BE IN ACCORDANCE WITH CITY OF ROCHESTER HILLS STANDARDS.

19. THE CONTRACTOR SHALL CONTACT THE INSPECTION AGENCY AS SHOWN ON THE PERMIT 72

HOURS PRIOR TO THE START OF CONSTRUCTION. 20. THE CONTRACTOR SHALL CONTACT THE INSPECTION AGENCY AS SHOWN AT THE COMPLETION

OF CONSTRUCTION FOR A FINAL INSPECTION. 21. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR DETERMINING DEFLECTION ANGLES AND

LOCATION OF ALL VERTICAL BEND IN THE WATER MAIN PLAN IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS STANDARDS FOR WATER MAIN CONSTRUCTION. ANY QUESTIONS OR CONFLICTS

WITH OTHER UTILITIES IN THE CONSTRUCTION PLANS MUST BE PROVIDED TO THE DESIGN ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION.

22. ALL SANITARY SEWER AND WATERMAIN MUST BE DESIGNED IN ACCORDANCE WITH CITY OF ROCHESTER HILLS ENGINEERING DESIGN STANDARDS

23. CONTRACTOR TO COORDINATE ANY WATER STOPPAGE WITH ALL AFFECTED

BUSINESS/RESIDENTS PRIOR TO CONSTRUCTION OF WATERMAIN. 24. ALL STORM MUST BE DESIGNED IN ACCORDANCE WITH CITY OF ROCHESTER HILLS

ENGINEERING DESIGN STANDARDS.

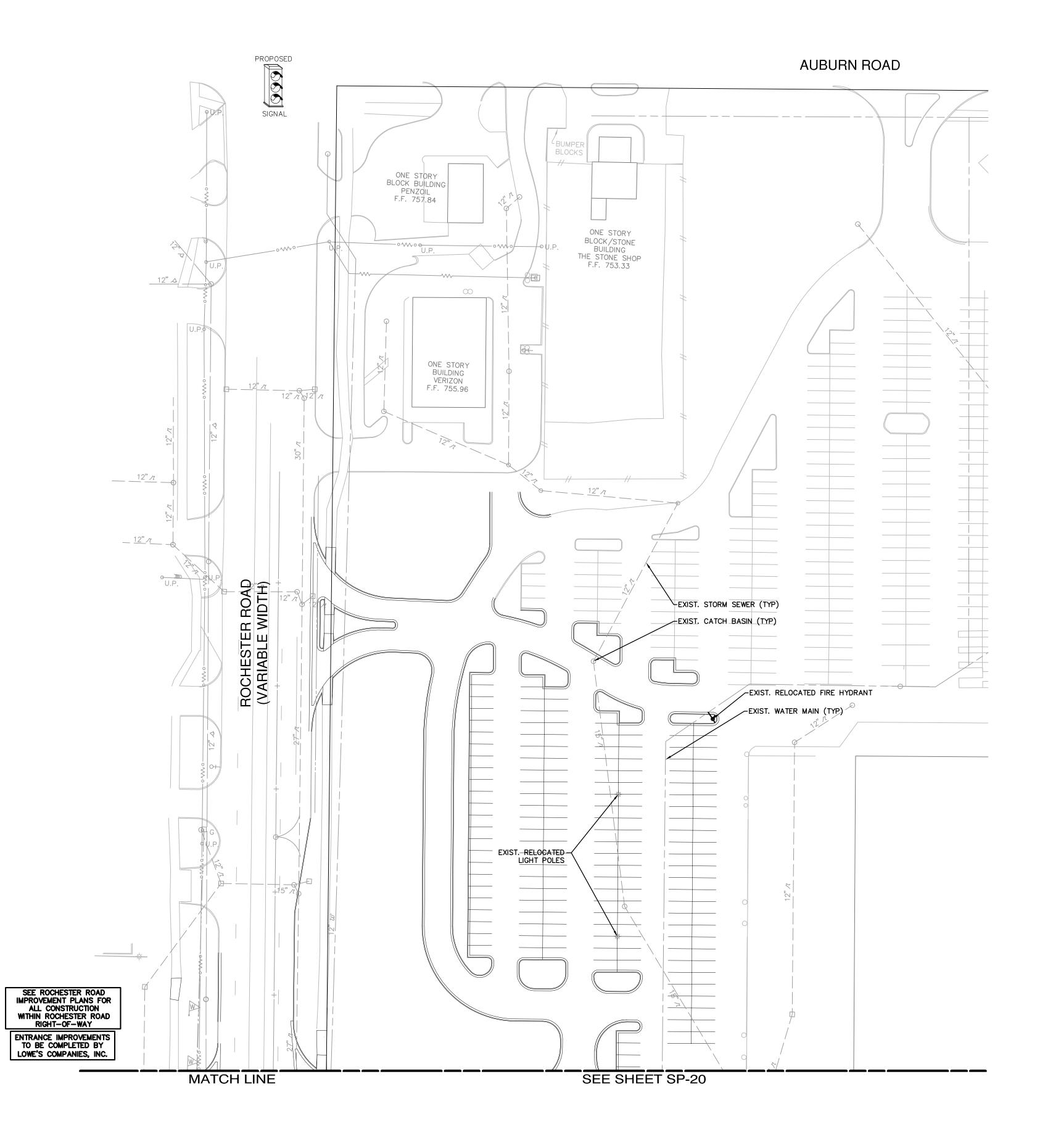
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ISSUE DATE: 10/18/2005 PERMIT SET ISSUE DATE: CONSTRUCTION SET SSUE DATE:

REVISIONS

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REEC DOCK **WILKESBORO, NC 28697** 

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CITY FILE: 05-037

SP-19 4102-50-19

DRAWING NUMBER:

	Lowe	's of Rocl	nester F	Hills, M I		
	Estima	ted Sanita	arv Sew	ver Flows		
				FLOW RATE	EST. FLOW	EST. FLOW
BUILDING	AREA (S.F.)	USE	REU	(CFS/1000 S.F.)	(CFS)	(GPM)
Lowe's	138,431 s f	Retail	30	0.000064	0.0089 cfs	4.00 GPM
Totals:	138,431 sf		30		0.0089 cfs	4.00 GPM
	Note: Flo	ws per Lowe's	Store Reco	ords = 2500  gal/day =	0.0039 cfs	1.74 GPM
Peak Flow Factor:						
Population =	2.6 people	per REU =	78	People		
	18+	$\sqrt{pop-in-th}$	iousands	$18 + \sqrt{0.078}$		
	4+1	$\sqrt{popin-th}$	======================================	$\frac{1}{4+\sqrt{0.078}} = $	4.27	Peak Factor
				MUM PEAK FLOW:	0.0381 cfs	
		ESTIVIA	LED MAAI	WIUMI FEAK FLOW:	17.08 GPM	
Infiltration:					17.00 GI M	
	Length of pipe =	200 LF				
	Size =	6 inch				
Allowable =	200 ફ					
	in. DiaM					
	200 gal. /		= 0.000000	$35 \times \text{length of pipe} =$	0.000070 cfs	
	5280 ft x 86,400	sec x 7.48 gal			0.032 GPM	
Average Flow:	. T. C1	0.0000 6				
A verage Flow = $Qavg$		0.0090 cfs				
Daala Elaan	Q <sub>peak.</sub> =	4.03 GPM				
Peak Flow:  Peak Flow = Qma	v + Infiltration =	0.0381 cfs				
1 cak 1 tow – Qina	$Q_{peak.} =$	17.11 GPM				
Available Capacity:	<b>Q</b> реак. —	17.11 GIM				
Existing 8" pipe @ 0.35%						
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	Area (A) =	0.35 sf				
H	Iyd Radius (R)=	0.17 ft				
	Flow Rate (Q) =		= 321.7 (	GPM		
	Velocity (v) =					
FLOW RATES COMPUTED						
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5. GENERAL CONTRACTOR SHALL FURNISH (2) - 4" TELEPHONE CONDUIT(S) AS SHOWN ON PLAN, VERIFY LOCATION OF TIE IN AT TELEPHONE COMPANY'S SERVICE LINE. PROVIDE NYLON PULL CORDS INSIDE CONDUIT.

6. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.

7. ALL DOMESTIC WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END. 8. REFER TO PLUMBING SHEETS FOR LOCATION OF SEWER, DOMESTIC, AND IRRIGATION

9. FIRE LINE SHALL BE STUBBED UP 1' ABOVE FFE IN SPRINKLER ROOM.

10. ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED GATE VALVE A MAXIMUM OF 5'-0" FROM HYDRANT. ALL HYDRANTS SHALL BE A MINIMUM OF 40' FROM THE PROPOSED BUILDING. ALL FIRE HYDRANTS SHALL BE TO CITY STANDARDS.

11. ALL EXCAVATION, TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS AND CITY OF ROCHESTER HILLS STANDARDS.

12. GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING

JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION INCLUDING ANY REQUIRED TESTING PRIOR TO CONNECTING TO EXISTING SYSTEMS.

13. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH DIVISION 2 OF LOWE'S STANDARD SITE SPECIFICATIONS.

14. ALL SANITARY MAINS AND LEADS SHALL HAVE A MINIMUM OF 5'-0" OF GROUND COVER. 15. ALL WATER MAINS AND SERVICES SHALL HAVE A MINIMUM OF 6'-0" OF GROUND COVER.

16. ALL WATER MAINS SHALL BE DUCTILE IRON PIPE (CLASS 54).

17. MAINTAIN A MINIMUM 10'-0" HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN SANITARY, WATER, AND STORM UTILITY LINES.

18. ALL MATERIALS, STRUCTURES, AND PIPE TESTING SHALL BE IN ACCORDANCE WITH CITY OF

ROCHESTER HILLS STANDARDS. 19. THE CONTRACTOR SHALL CONTACT THE INSPECTION AGENCY AS SHOWN ON THE PERMIT 72

HOURS PRIOR TO THE START OF CONSTRUCTION. 20. THE CONTRACTOR SHALL CONTACT THE INSPECTION AGENCY AS SHOWN AT THE COMPLETION

OF CONSTRUCTION FOR A FINAL INSPECTION.

21. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR DETERMINING DEFLECTION ANGLES AND LOCATION OF ALL VERTICAL BEND IN THE WATER MAIN PLAN IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS STANDARDS FOR WATER MAIN CONSTRUCTION. ANY QUESTIONS OR CONFLICTS WITH OTHER UTILITIES IN THE CONSTRUCTION PLANS MUST BE PROVIDED TO THE DESIGN

ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION. 22. ALL SANITARY SEWER AND WATERMAIN MUST BE DESIGNED IN ACCORDANCE WITH CITY OF

ROCHESTER HILLS ENGINEERING DESIGN STANDARDS 23. CONTRACTOR TO COORDINATE ANY WATER STOPPAGE WITH ALL AFFECTED

BUSINESS/RESIDENTS PRIOR TO CONSTRUCTION OF WATERMAIN.

24. ALL STORM MUST BE DESIGNED IN ACCORDANCE WITH CITY OF ROCHESTER HILLS

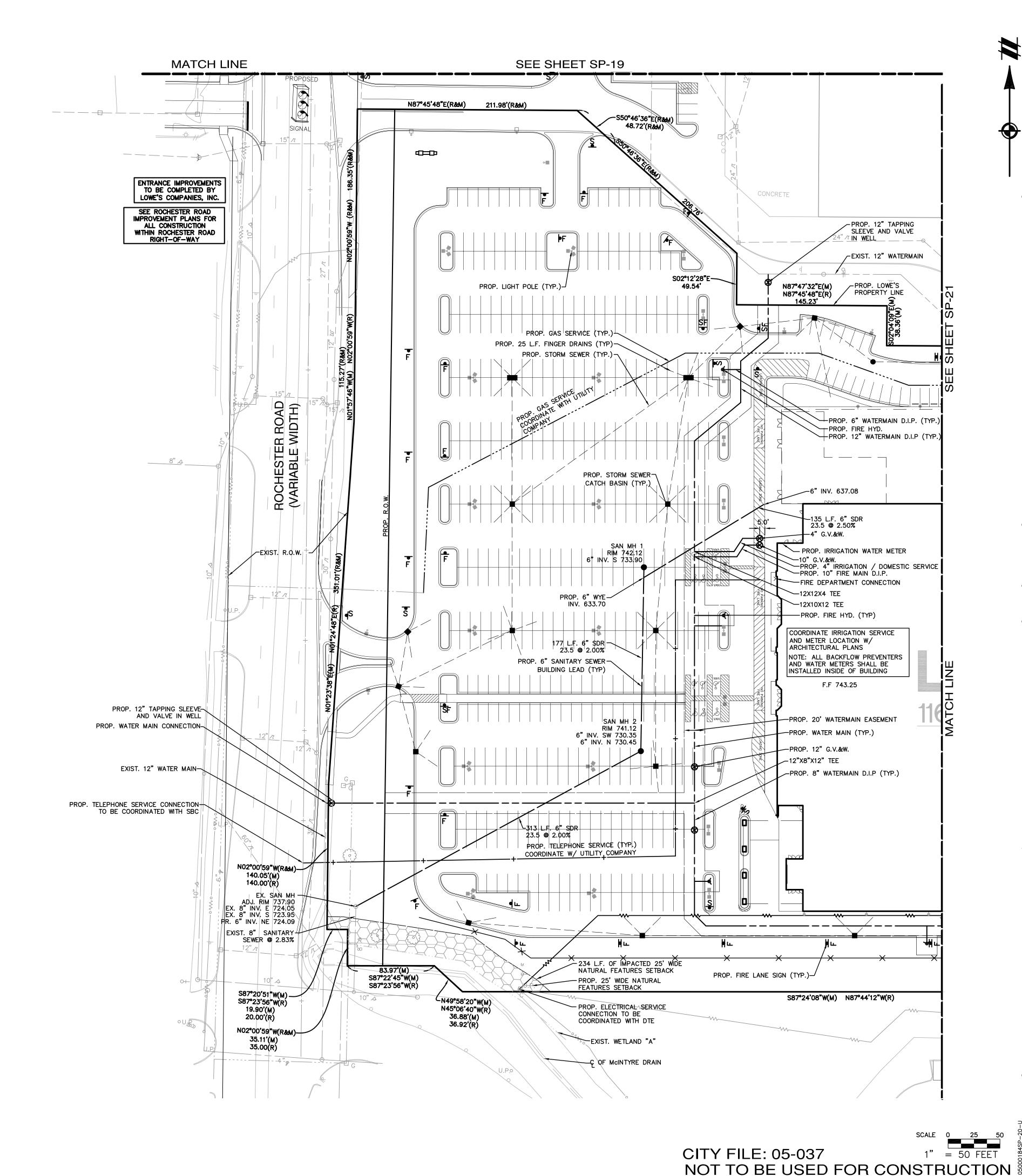
ENGINEERING DESIGN STANDARDS.



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REVISIONS

DATE DESCRIPTION

/28/06 REVISED PER CITY OF ROCHESTER HILLS

LOWE'S HOME CENTERS, INC.

1605 CURTIS BRIDGE ROAD

REEC DOCK

**WILKESBORO, NC 28697** 

336.658.4000 (V) 336.658.3257 (F

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CONSTRUCTION SET

DRAWING NUMBER:

**SP-20** 

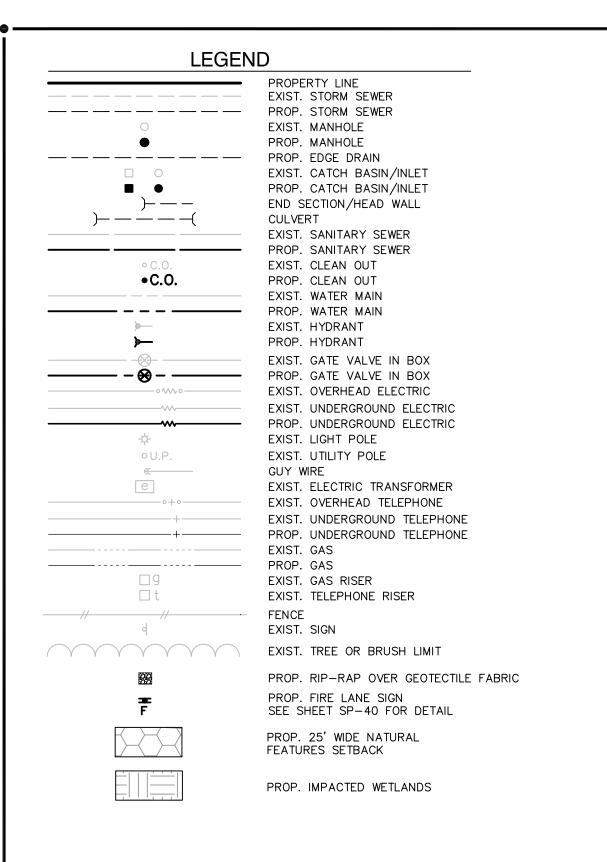
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SSUE DATE:

REVISED PER CITY OF ROCHESTER HILLS

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### SITE UTILITY NOTES:

1 LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY GENERAL CONTRACTOR AND/OR THE PROPER UTILITY COMPANY PROVIDING SERVICE. SEE SHEETS SP-02 THRU SP-05 FOR EXISTING

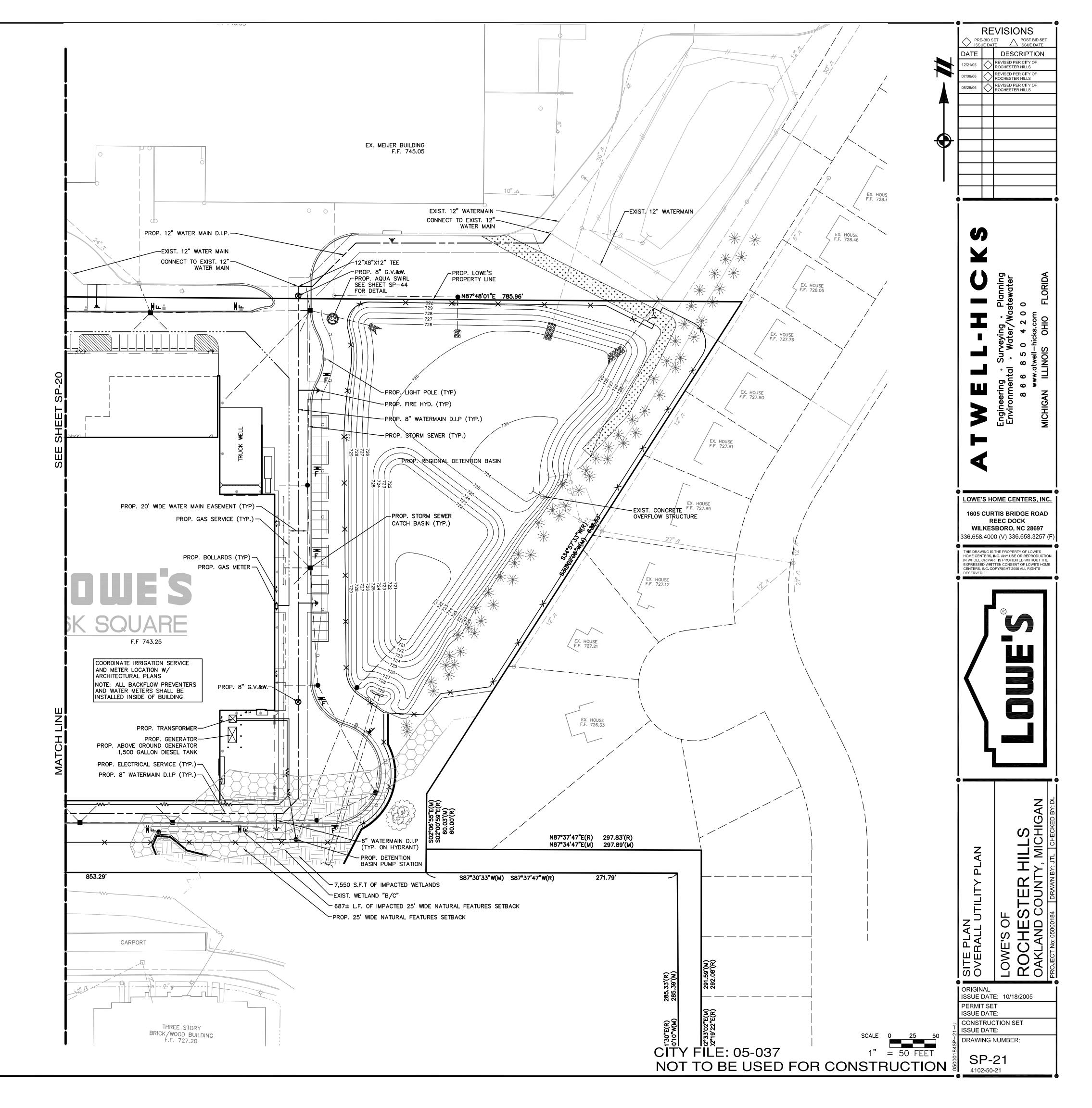
- 2. GENERAL CONTRACTOR SHALL PROVIDE 2' x 2' x 6" THICK CONCRETE APRON AT ALL CLEANOUTS, VALVES AND METERS AND 5'x5'x6" THICK REINFORCED CONCRETE APRON AT ALL MANHOLES AND INLETS WITHIN THE LIMITS OF PAVING OUTSIDE OF THE BUILDING.
- 3. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING. 4. ELECTRICAL SERVICE TO PAD MOUNTED TRANSFORMER SHALL BE RUN UNDERGROUND, FROM EXISTING SERVICE CONNECTION TO TRANSFORMER LOCATION. ASSOCIATED COST BY GENERAL
- 5. GENERAL CONTRACTOR SHALL FURNISH (2) 4" TELEPHONE CONDUIT(S) AS SHOWN ON PLAN, VERIFY LOCATION OF TIE IN AT TELEPHONE COMPANY'S SERVICE LINE. PROVIDE NYLON PULL CORDS INSIDE CONDUIT.
- 6. DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
- 7. ALL DOMESTIC WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END. 8. REFER TO PLUMBING SHEETS FOR LOCATION OF SEWER, DOMESTIC, AND IRRIGATION
- 9. FIRE LINE SHALL BE STUBBED UP 1' ABOVE FFE IN SPRINKLER ROOM.
- 10. ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED GATE VALVE A MAXIMUM OF 5'-0" FROM HYDRANT. ALL HYDRANTS SHALL BE A MINIMUM OF 40' FROM THE PROPOSED BUILDING. ALL FIRE HYDRANTS SHALL BE TO CITY STANDARDS.
- 11. ALL EXCAVATION, TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS AND CITY OF ROCHESTER HILLS STANDARDS.
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- SPECIFICATIONS. 14. ALL SANITARY MAINS AND LEADS SHALL HAVE A MINIMUM OF 5'-0" OF GROUND COVER.
- 15. ALL WATER MAINS AND SERVICES SHALL HAVE A MINIMUM OF 6'-0" OF GROUND COVER.
- 16. ALL WATER MAINS SHALL BE DUCTILE IRON PIPE (CLASS 54).
- 17. MAINTAIN A MINIMUM 10'-0" HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN SANITARY, WATER, AND STORM UTILITY LINES.
- 18. ALL MATERIALS, STRUCTURES, AND PIPE TESTING SHALL BE IN ACCORDANCE WITH CITY OF
- ROCHESTER HILLS STANDARDS.
- 19. THE CONTRACTOR SHALL CONTACT THE INSPECTION AGENCY AS SHOWN ON THE PERMIT 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- 20. THE CONTRACTOR SHALL CONTACT THE INSPECTION AGENCY AS SHOWN AT THE COMPLETION OF CONSTRUCTION FOR A FINAL INSPECTION.
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- ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION. 22. ALL SANITARY SEWER AND WATERMAIN MUST BE DESIGNED IN ACCORDANCE WITH CITY OF
- ROCHESTER HILLS ENGINEERING DESIGN STANDARDS
- 23. CONTRACTOR TO COORDINATE ANY WATER STOPPAGE WITH ALL AFFECTED
- BUSINESS/RESIDENTS PRIOR TO CONSTRUCTION OF WATERMAIN.
- 24. ALL STORM MUST BE DESIGNED IN ACCORDANCE WITH CITY OF ROCHESTER HILLS ENGINEERING DESIGN STANDARDS.



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### GRADING AND DRAINAGE NOTES

1. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, & ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES &

2. ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST.

3. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.

4. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.

5. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

6. AFTER PERMITS HAVE BEEN OBTAINED & EROSION CONTROL MEASURES INSTALLED, THE CONTRACTOR SHALL GRADE BUILDING PAD, GARDEN CENTER & APRONS TO 1/2"± FT. OF SUBGRADE AS PER SECTION 02300, DIVISION 2 OF LOWE'S STANDARD SITE SPECIFICATIONS.

7. IMMEDIATELY APPLY & COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2" BEFORE EXCAVATING INTERIOR & PERIMETER FOOTINGS.

8. FRENCH DRAIN SHALL BE INSTALLED IF DIRECTED BY THE GEOTECHNICAL ENGINEER OR AS SHOWN ON PLANS.

9. CONTRACTOR SHALL PROVIDE 2' x 2' x 6" THICK CONCRETE APRON AT ALL CLEANOUTS OUTSIDE OF BUILDING.

10. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH DIVISION 2 OF LOWE'S

STANDARD SITE SPECIFICATIONS. 11. ALL ROOF DRAINS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS

SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT THE END. 12. PROPOSED RETENTION POND SHALL HAVE MAXIMUM SIDE SLOPES OF 1 FOOT VERTICAL AND 6 FOOT HORIZONTAL. 13. PROPOSED CATCH BASINS ARE BASED ON THE CENTER OF THE BACK OF

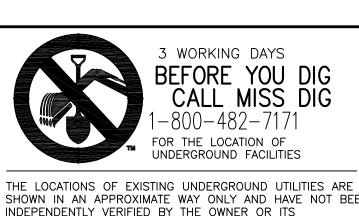
CASTING WHICH IS LOCATED ON THE BACK OF CURB. ACTUAL GUTTER LINE OF STRUCTURE SHALL BE CALCULATED PRIOR CONSTRUCTION. REFER TO CITY OF ROCHESTER HILLS TOWNSHIP STORM STANDARDS FOR RIM TYPES. 14. TOP OF CURB GRADE FOR PITCH-OUT CURB WILL BE 0.50' ABOVE TOP OF ASPHALT AND FOR PITCH-IN CURB TOP OF CURB WILL BE 0.42' ABOVE TOP OF

15. ALL CURB NOT LABELED AS 24" CONCRETE PITCH-IN CURB SHALL BE 24" CONCRETE PITCH-OUT CURB.

16. A PERMIT FROM MDOT SHALL BE REQUIRED FRO ALL WORK WITHIN ROCHESTER ROAD RIGHT-OF-WAY.

17. ALL GRADING MUST BE DESIGNED IN ACCORDANCE WITH CITY OF ROCHESTER HILLS ENGINEERING DESIGN STANDARDS.

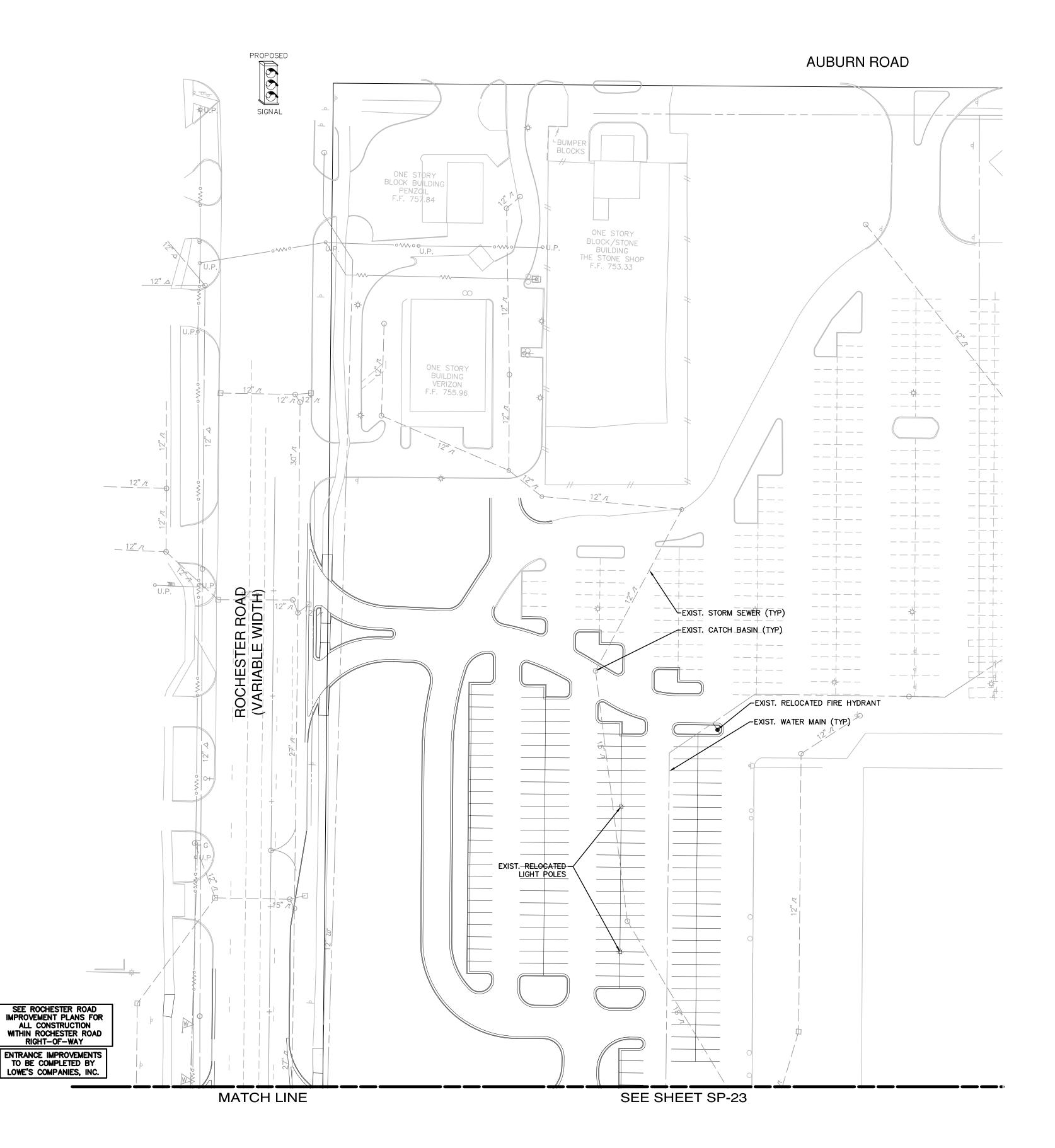
18. ALL STORM MUST BE DESIGNED IN ACCORDANCE WITH CITY OF ROCHESTER HILLS ENGINEERING DESIGN STANDARDS.

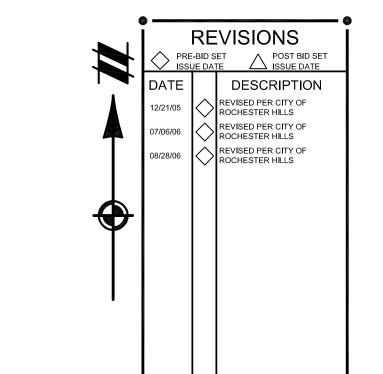


SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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LOWE'S HOME CENTERS, INC.

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ISSUE DATE: 10/18/2005 PERMIT SET ISSUE DATE: CONSTRUCTION SET ISSUE DATE:

SP-22 4102-50-22

DRAWING NUMBER:

**CITY FILE: 05-037** NOT TO BE USED FOR CONSTRUCTION