

**FIRST FLOOR PLAN**  
1/8" = 1'-0"

**SYSTEMS NOTES:**

DRAFTSTOPPING NOTE:  
DRAFT STOPPING SHALL BE PROVIDED AT FLOOR-CEILING AREAS AND ATTICS (ROOF-CEILING AREAS) PER MBC-2015, SECTION 718.3 AND SECTION 718.4 RESPECTFULLY.

**FLOORS**

- F1 FIRST FLOOR: CONCRETE SLAB ON GRADE FLOOR, REFER TO STRUCTURAL DRAWINGS FOR DETAILS. PROVIDE R-10 RIGID INSULATION ACROSS PERIMETER + UNDER ENTIRE SLAB.
- F2 SECOND FLOOR (RESIDENTIAL UNITS AND CORRIDORS): 2" CONCRETE ON 2" METAL DECK ON STEEL BEAMS, REFER TO STRUCTURAL DRAWINGS FOR MORE DETAILS. MINIMUM 1 HOUR FIRE RATED REQUIRED, UL DESIGN # G229.
- F3 SECOND FLOOR (RESIDENTIAL BALCONIES): 2" COMPOSITE DECKING, P.T. 2x SLEEPERS, SINGLE PLY MEMBRANE, 1/2" PLYWOOD SHEATHING, 2x BLOCKING CUT TO SLOPE, 2" CONCRETE ON 2" METAL DECK ON STEEL BEAMS, REFER TO STRUCTURAL DRAWINGS FOR MORE DETAILS.
- F4 THIRD FLOOR (RESIDENTIAL UNITS): 2" GYPCRETE WITH ACOUSTIMAT ON 2" T&G SUB-FLOOR DECK GLUED AND SCREWED ON PRE-ENGINEERED WOOD FLOOR TRUSSES (REFER TO STRUCTURAL DRAWINGS FOR SIZE AND SPACING) WITH 3/4" UNFACED BATT INSULATION, RESILIENT CHANNELS @ 24" O.C., 1/2" GYPSUM BOARD, MINIMUM 1 HOUR FIRE RATED REQUIRED, UL DESIGN # L574.
- F5 THIRD FLOOR (CORRIDOR): 2" GYPCRETE WITH ACOUSTIMAT ON 2" T&G SUB-FLOOR DECK GLUED AND SCREWED ON 2x10 WOOD FLOOR JOISTS (REFER TO STRUCTURAL DRAWINGS FOR SPACING), 2x WOOD FRAMING AS NEEDED WITH 3/4" UNFACED BATT INSULATION, 1/2" GYPSUM BOARD, MINIMUM 1 HOUR FIRE RATED REQUIRED, UL DESIGN # L593.
- F6 THIRD FLOOR (RESIDENTIAL BALCONIES): 2" COMPOSITE DECKING, P.T. 2x SLEEPERS, SINGLE PLY MEMBRANE, 1/2" PLYWOOD SHEATHING, 2x BLOCKING CUT TO SLOPE, 2x WOOD JOISTS @ 16" O.C. (REFER TO STRUCTURAL DRAWINGS) WITH R-49 BATT INSULATION, RESILIENT CHANNELS @ 24" O.C., 1/2" GYPSUM BOARD.

**ROOFS**

- R1 STANDING-SEAM METAL ROOF PANELS ON 3/4" THICK MINIMUM ROOF SHEATHING GLUED AND SCREWED ON PRE-ENGINEERED WOOD FLOOR TRUSSES (REFER TO STRUCTURAL DRAWINGS FOR SIZE AND SPACING) WITH R-49 BATT INSULATION, RESILIENT CHANNELS @ 24" O.C., 1/2" GYPSUM BOARD.
- R2 STANDING-SEAM METAL ROOF PANELS ON 3/4" THICK MINIMUM ROOF SHEATHING GLUED AND SCREWED ON PRE-ENGINEERED WOOD FLOOR TRUSSES (REFER TO STRUCTURAL DRAWINGS FOR SIZE AND SPACING), METAL SOFFIT.
- R3 SINGLE PLY MEMBRANE ROOFING, ON 1" MINIMUM RIGID INSULATION, ON 3/4" THICK MINIMUM ROOF SHEATHING GLUED AND SCREWED, ON PRE-ENGINEERED WOOD FLOOR TRUSSES (REFER TO STRUCTURAL DRAWINGS FOR SIZE AND SPACING), WITH R-49 BATT INSULATION, RESILIENT CHANNELS @ 24" O.C., 1/2" GYPSUM BOARD.
- R4 SINGLE PLY MEMBRANE ROOFING, ON 1" MINIMUM RIGID INSULATION, ON 3/4" THICK MINIMUM ROOF SHEATHING GLUED AND SCREWED, ON 2x10 WOOD JOISTS (REFER TO STRUCTURAL DRAWINGS), 2x WOOD FRAMING AS NEEDED WITH R-49 BATT INSULATION, RESILIENT CHANNELS @ 24" O.C., 1/2" GYPSUM BOARD.
- R5 SINGLE PLY MEMBRANE ROOFING, ON 1" MINIMUM RIGID INSULATION, ON 3/4" THICK MINIMUM ROOF SHEATHING GLUED AND SCREWED TO 2x10 WOOD JOISTS (REFER TO STRUCTURAL DRAWINGS).

**WALLS:**

**EXTERIOR WALLS:**

- EW1 1/2" GYPSUM BOARD ON 3/8" METAL STUDS @ 16" O.C. WITH R-20 BATT INSULATION ON 1 1/2" CONTINUOUS FOIL FACED POLYISOCYANURATE BOARD INSULATION R-9, 8" CMU, 1" AIR SPACE, 4" MASONRY (STONE OR BRICK) VENEER (REFER TO BUILDING ELEVATION DRAWINGS FOR LOCATION OF STONE AND BRICK VENEER).
- EW2 8" CMU, 1" AIR SPACE, 4" MASONRY (STONE OR BRICK) VENEER (REFER TO BUILDING ELEVATION DRAWINGS FOR LOCATION OF STONE AND BRICK VENEER), MINIMUM 1 HOUR FIRE RATED REQUIRED, UL DESIGN # U905.
- EW3 1/2" GYPSUM BOARD ON EITHER 3/8" METAL STUDS @ 16" O.C. WITH R-20 BATT INSULATION ON 1 1/2" CONTINUOUS FOIL FACED POLYISOCYANURATE BOARD INSULATION R-9, 12" CMU AT FIRST FLOOR, OR 2x4 TREATED WOOD STUDS @ 16" O.C. WITH R-20 BATT INSULATION ON 8" CMU AT SECOND & THIRD FLOOR.
- EW4 12" CMU, 1" AIR SPACE, 4" MASONRY (STONE OR BRICK) VENEER (REFER TO BUILDING ELEVATION DRAWINGS FOR LOCATION OF STONE AND BRICK VENEER).
- EW5 SCREEN WALL 8'-0" HIGH: 8" CMU, 1" AIR SPACE, 4" MASONRY (STONE OR BRICK) VENEER (REFER TO BUILDING ELEVATION DRAWINGS FOR LOCATION OF STONE AND BRICK VENEER). PROVIDE A STONE CAP ON TOP OF THE WALL.
- EW6 1/2" GYPSUM BOARD ON 2x6 WOOD STUDS @ 16" O.C. WITH R-21 BATT INSULATION, 1/2" PLYWOOD SHEATHING, WEATHER RESISTIVE BARRIER COMPOSITE PANELS.
- EW7 1/2" GYPSUM BOARD ON 2x6 WOOD STUDS @ 16" O.C. WITH R-21 BATT INSULATION, 1/2" PLYWOOD SHEATHING, WEATHER RESISTIVE BARRIER COMPOSITE PANELS.
- EW8 BALCONY SIDE WALL: WEATHER RESISTIVE BARRIER COMPOSITE PANELS, 1/2" PLYWOOD SHEATHING, 2x4 WOOD STUDS @ 16" O.C., 1/2" PLYWOOD SHEATHING, WEATHER RESISTIVE BARRIER COMPOSITE PANELS.
- EW9 1/2" GYPSUM BOARD ON 4" METAL STUDS @ 16" O.C., ±2" AIR SPACE, 4" METAL STUDS @ 16" O.C., PROVIDE MINIMUM R-29 BATT INSULATION, 1/2" PLYWOOD SHEATHING, WEATHER RESISTIVE BARRIER COMPOSITE PANELS.
- EW10 1/2" GYPSUM BOARD ON 3/8" METAL STUDS @ 16" O.C. WITH R-20 BATT INSULATION ON 1 1/2" CONTINUOUS FOIL FACED POLYISOCYANURATE BOARD INSULATION R-9, 8" CMU, WEATHER RESISTIVE BARRIER COMPOSITE PANELS.

**INTERIOR WALLS:**

- FIRE-RESISTANCE RATING NOTE:  
MINIMUM ALLOWABLE FIRE-RESISTANCE RATING OF THE DWELLING UNIT SEPARATION AND CORRIDOR WALLS IS 1/2 HOUR PER MBC-2015, SECTION 708.3 EXCEPTION 2 AND TABLE 1020.1 RESPECTIVELY.
- IW1 8" CMU, MINIMUM ONE HOUR FIRE RATED REQUIRED, UL DESIGN # U905.
  - IW2 1/2" GYPSUM BOARD ON 3/8" METAL STUDS @ 16" O.C. AT FIRST FLOOR WITH R-20 BATT INSULATION (2x4 WOOD STUDS @ 16" O.C. AT SECOND AND THIRD FLOOR WITH R-20 BATT INSULATION), ON 8" CMU, MINIMUM ONE HOUR FIRE RATED EQUIRED, UL DESIGN # U905.
  - IW3 1/2" GYPSUM BOARD ON 3/8" METAL STUDS @ 16" O.C. AT FIRST FLOOR WITH R-20 BATT INSULATION (2x4 WOOD STUDS @ 16" O.C. AT SECOND AND THIRD FLOOR WITH R-20 BATT INSULATION), 8" CMU, 1/2" GYPSUM BOARD ON 3/8" METAL STUDS @ 16" O.C.
  - IW4 CONDOMINIUM SEPARATION WALL (GA WP 3370): 1/2" TYPE "X" GYPSUM BOARD, 2x4 WOOD STUDS @ 16" O.C., 1" AIR SPACE, 2x4 WOOD STUDS @ 16" O.C., 1/2" TYPE "X" GYPSUM BOARD, WITH 3/4" SOUND BATT INSULATION ON ONE SIDE, MINIMUM 1 HOUR FIRE RATED REQUIRED, GA DESIGN # WP 3370 REFERENCED UL DESIGN # U305.
  - IW5 BEARING WALL: CONDOMINIUM SEPARATION WALL (GA WP 3370): 1/2" TYPE "X" GYPSUM BOARD, 2x4 WOOD STUDS @ 16" O.C., 1" AIR SPACE, 2x4 WOOD STUDS @ 16" O.C., 1/2" TYPE "X" GYPSUM BOARD, WITH 3/4" SOUND BATT INSULATION ON ONE SIDE, MINIMUM 1 HOUR FIRE RATED REQUIRED, GA DESIGN # WP 3370 REFERENCED UL DESIGN # U305.
  - IW6 BEARING WALL: CORRIDOR SEPARATION WALL (GA WP 3243): 1/2" TYPE "X" GYPSUM BOARD, 2x4 WOOD STUDS @ 16" O.C. WITH GLASS FIBER SOUND ATTENUATION INSULATION, 1/2" RESILIENT CHANNELS @ 16" O.C. ON CORRIDOR SIDE, 1/2" TYPE "X" GYPSUM BOARD, MINIMUM 1 HOUR FIRE RATED REQUIRED, GA DESIGN # WP 3240 REFERENCED UL DESIGN # U311.
  - IW7 1/2" GYPSUM BOARD, 2x4 WOOD STUDS @ 16" O.C., 1/2" GYPSUM BOARD.
  - IW8 TENANT SEPARATION WALL AT FIRST FLOOR: 1/2" TYPE "X" GYPSUM BOARD BOTH SIDES ON 8" METAL STUDS @ 16" O.C. TO UNDERSIDE OF METAL DECK ABOVE, CHANGED AND SEALED AIR TIGHT TO ACHIEVE ONE-HOUR FIRE RATING PER UL DESIGN NUMBER U465.

**GENERAL NOTES:**

1. PROPOSED FINISH FIRST FLOOR ELEVATION ON PAVING & GRADING PLAN DRAWING (GP-01) IS 711.50. ASSUMED FINISH FIRST FLOOR ELEVATION ON THE ARCHITECTURAL DRAWINGS IS 100'-0".
2. ALL FLOORS SHALL BE EQUIPPED THROUGHOUT WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1, MBC-2015 (MICHIGAN BUILDING CODE 2015).
3. GENERAL CONTRACTOR (G.C.) TO VERIFY ALL INTERIOR SPACES DIMENSIONS IN THE RESIDENTIAL UNITS, BEFORE AND DURING CONSTRUCTION TO VERIFY THAT ALL RESIDENTIAL UNITS ARE IN COMPLIANCE WITH TYPE B ACCESSIBLE UNITS PER SECTION 1107, MBC-2015, AND SECTION 1004, ICC/ANSI A117.1.2009. G.C. SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. REFER TO SHEETS A-05.1, A-06.1, A-07.1, A-08.1, AND A-09.1.

**DRAWING NOTES:**

1. [Symbol] STEEL COLUMN (TYPICAL). SEE STRUCTURAL DRAWINGS.
2. [Symbol] STEEL COLUMN, SEE STRUCTURAL DRAWINGS, COVERED WITH 18" DIAMETER ROUND COMPOSITE PANEL COLUMN COVER (TYPICAL).
3. ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM (TYPICAL). SEE WINDOW SCHEDULE.
4. LINE OF SECOND FLOOR EDGE ABOVE.
5. 8'-4" x 6'-4" ELEVATOR SHAFT. SEE ELEVATOR DETAIL DRAWINGS.
6. OPTIONAL FUTURE LOCATION OF 1 HOUR RATED TENANT SEPARATION WALL.
7. OPTIONAL FUTURE LOCATION OF ACCESSIBLE RESTROOM (SIX LOCATIONS). CONTRACTOR TO PROVIDE ONLY ROUGH UNDERGROUND PLUMBING WORK. DETAIL RESTROOM DESIGN SHALL BE PROVIDED AT THE TIME OF FUTURE TENANT INTERIOR LAYOUT DESIGN, AND SHALL BE IN COMPLIANCE WITH "ICC A117.1-2009.
8. ELECTRICAL TRANSFORMER LOCATION.
9. FIRE DEPARTMENT CONNECTION.

**FIRST FLOOR (BUSINESS USE) VESTIBULE EXCEPTION NOTE:**

TOTAL AREA OF FIRST FLOOR BUSINESS USE IS 7,552 SQUARE FEET. THIS AREA HAS BEEN DIVIDED INTO 3 SPACES BY WALL SYSTEM (WB), SEE INTERIOR WALLS IN SYSTEM NOTES. EACH SPACE IS 2,350 SQUARE FEET OR LESS. VESTIBULES ARE NOT REQUIRED AT DOORS THAT OPEN DIRECTLY FROM A SPACE LESS THAN 3,000 SQUARE FEET IN AREA PER ASHRAE 90.1,2013 SECTION "5.4.3.4 VESTIBULES" EXCEPTION "3".

5.4.3.4 Vestibules  
Building entrances that separate conditioned space from the exterior shall be protected with an enclosed vestibule, with all doors opening into and out of the vestibule equipped with self-closing devices. Vestibules shall be designed so that in passing through the vestibule it is not necessary for the interior and exterior doors to open at the same time. Interior and exterior doors shall have a minimum distance between them of not less than 7 feet when in the closed position. The floor area of each vestibule shall not exceed the greater of 50 feet<sup>2</sup> or 2% of the gross conditioned floor area for that level of the building. The exterior envelope of conditioned vestibules shall comply with the requirements for a conditioned space. The interior and exterior envelope of unconditioned vestibules shall comply with the requirements for a semiheated space.

- Exceptions:
1. Doors not intended to be used by the public, such as doors to storage, mechanical, electrical, or equipment rooms.
  2. Doors opening directly from a sleeping unit or dwelling unit.
  3. Doors that open directly from a space less than 3,000 feet<sup>2</sup> (298 m<sup>2</sup>) in area.
  4. Revolving doors.
  5. Doors used primarily to facilitate shipping, receiving, or material handling.
  6. Doors with no exterior entrance hardware.
  7. Doors leading solely to outdoor eating areas.
  8. Overhead doors.

SITE PLAN REVIEW	02/19/2024
ISSUED FOR	DATE

**FIRST FLOOR PLAN** **A-01**

**GERALD PLAZA**  
1760 EAST AUBURN ROAD  
ROCHESTER HILLS, MI 48307

CONTACT : MIKE CHAUDHARY  
OWNER : GERALD REAL ESTATE LLC  
ADDRESS : 13550 FOLEY STREET, DETROIT, MI 48227  
PHONE : 313-491-1815  
E-MAIL : mike@dmgroupusa.com **24002**

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Architects Planners Engineers

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STATE OF MICHIGAN  
HISHAMAL TURK  
ARCHITECT  
No. 1301052206  
2/19/2024

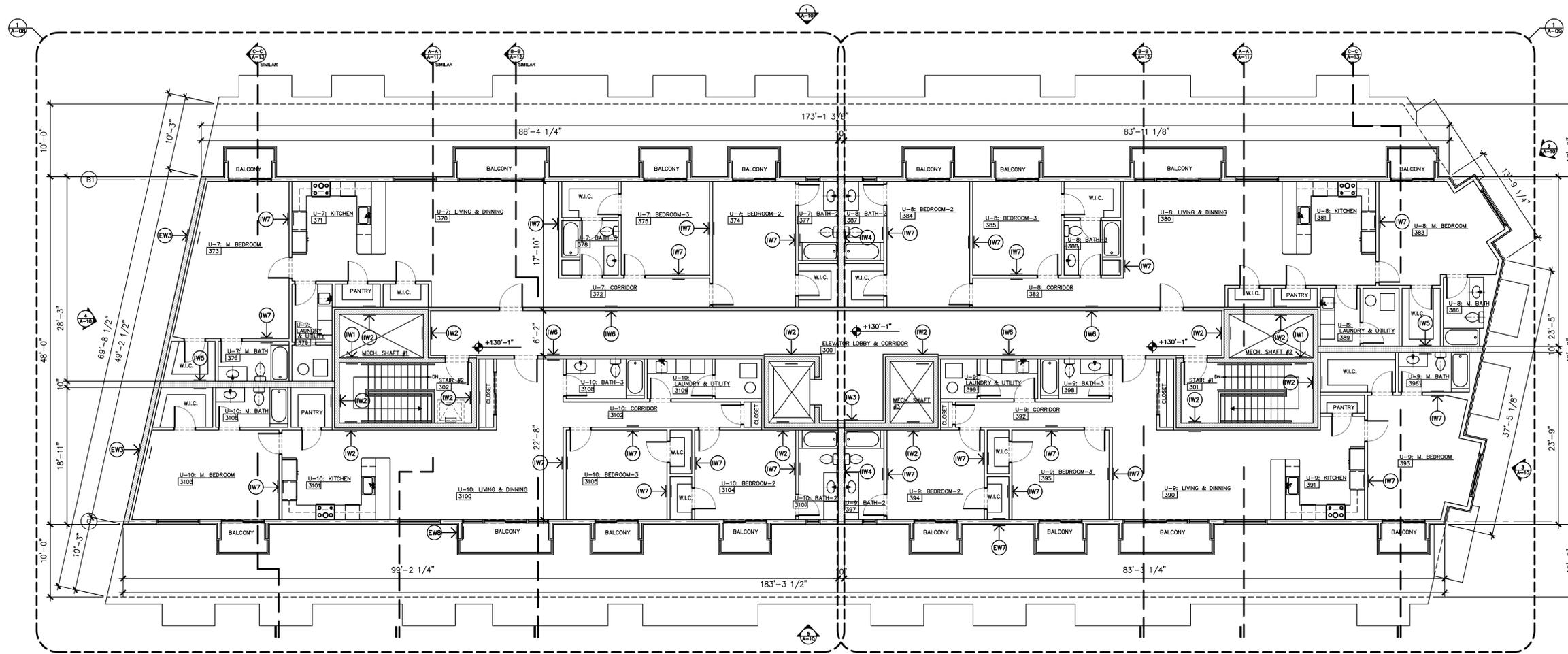
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ROCHESTER HILLS MICHIGAN  
J2024-0040  
PSP2024-0005  
Original Submission

Received 3/4/2024  
City of Rochester Hills  
Planning & Economic Development





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**THIRD FLOOR PLAN**  
1/8" = 1'-0"

**SYSTEMS NOTES:**

- DRAFTSTOPPING NOTE:**  
DRAFT STOPPING SHALL BE PROVIDED AT FLOOR-CEILING AREAS AND ATTICS (ROOF-CEILING AREAS) PER MBC-2015, SECTION 718.3 AND SECTION 718.4 RESPECTFULLY.
- FLOORS**
- FIRST FLOOR: CONCRETE SLAB ON GRADE FLOOR, REFER TO STRUCTURAL DRAWINGS FOR DETAILS. PROVIDE R-10 RIGID INSULATION ACROSS PERIMETER + UNDER ENTIRE SLAB.
  - SECOND FLOOR (RESIDENTIAL UNITS AND CORRIDORS): 2" CONCRETE ON 2" METAL DECK ON STEEL BEAMS, REFER TO STRUCTURAL DRAWINGS FOR MORE DETAILS. MINIMUM 1 HOUR FIRE RATED REQUIRED, UL DESIGN # G229.
  - SECOND FLOOR (RESIDENTIAL BALCONIES): 2" COMPOSITE DECKING, P.T. 2x SLEEPERS, SINGLE PLY MEMBRANE, 1/2" PLYWOOD SHEATHING, 2x BLOCKING CUT TO SLOPE, 2" CONCRETE ON 2" METAL DECK ON STEEL BEAMS, REFER TO STRUCTURAL DRAWINGS FOR MORE DETAILS.
  - THIRD FLOOR (RESIDENTIAL UNITS): 2" GYPCRETE WITH ACOUSTIMAT ON 2" TAG SUB-FLOOR DECK GLUED AND SCREWED ON PRE-ENGINEERED WOOD FLOOR TRUSSES (REFER TO STRUCTURAL DRAWINGS FOR SIZE AND SPACING) WITH 3/4" UNFACED BATT INSULATION, RESILIENT CHANNELS @ 24" O.C., 1/2" GYPSUM BOARD, MINIMUM 1/2 HOUR FIRE RATED REQUIRED, UL DESIGN # L574.
  - THIRD FLOOR (CORRIDOR): 2" GYPCRETE WITH ACOUSTIMAT ON 2" TAG SUB-FLOOR DECK GLUED AND SCREWED ON 2x10 WOOD FLOOR JOISTS (REFER TO STRUCTURAL DRAWINGS FOR SPACING), 2x WOOD FRAMING AS NEEDED WITH 3/4" UNFACED BATT INSULATION, 1/2" GYPSUM BOARD, MINIMUM 1/2 HOUR FIRE RATED REQUIRED, UL DESIGN # L593.
  - THIRD FLOOR (RESIDENTIAL BALCONIES): 2" COMPOSITE DECKING, P.T. 2x SLEEPERS, SINGLE PLY MEMBRANE, 1/2" PLYWOOD SHEATHING, 2x BLOCKING CUT TO SLOPE, 2x8 WOOD JOISTS @ 16" O.C. (REFER TO STRUCTURAL DRAWINGS) WITH R-49 BATT INSULATION, RESILIENT CHANNELS @ 24" O.C., 1/2" GYPSUM BOARD.
- ROOFS**
- STANDING-SEAM METAL ROOF PANELS ON 2" THICK MINIMUM ROOF SHEATHING GLUED AND SCREWED ON PRE-ENGINEERED WOOD TRUSSES (REFER TO STRUCTURAL DRAWINGS FOR SIZE AND SPACING) WITH R-49 BATT INSULATION, RESILIENT CHANNELS @ 24" O.C., 1/2" GYPSUM BOARD.
  - STANDING-SEAM METAL ROOF PANELS ON 2" THICK MINIMUM ROOF SHEATHING GLUED AND SCREWED ON PRE-ENGINEERED WOOD TRUSSES (REFER TO STRUCTURAL DRAWINGS FOR SIZE AND SPACING), METAL SCOFFIT.
  - SINGLE PLY MEMBRANE ROOFING, ON 1" MINIMUM RIGID INSULATION, ON 2" THICK MINIMUM ROOF SHEATHING GLUED AND SCREWED, ON PRE ENGINEERED WOOD TRUSSES (REFER TO STRUCTURAL DRAWINGS FOR SIZE AND SPACING), WITH R-49 BATT INSULATION, RESILIENT CHANNELS @ 24" O.C., 1/2" GYPSUM BOARD.
  - SINGLE PLY MEMBRANE ROOFING, ON 1" MINIMUM RIGID INSULATION, ON 2" THICK MINIMUM ROOF SHEATHING GLUED AND SCREWED, ON 2x10 WOOD JOISTS (REFER TO STRUCTURAL DRAWINGS), 2x WOOD FRAMING AS NEEDED WITH R-49 BATT INSULATION, RESILIENT CHANNELS @ 24" O.C., 1/2" GYPSUM BOARD.
  - SINGLE PLY MEMBRANE ROOFING, ON 1" MINIMUM RIGID INSULATION, ON 2" THICK MINIMUM ROOF SHEATHING GLUED AND SCREWED TO 2x10 WOOD JOISTS (REFER TO STRUCTURAL DRAWINGS).

**WALLS:**

- EXTERIOR WALLS:**
- 8" CMU, 1" AIR SPACE, 4" MASONRY (STONE OR BRICK) VENEER (REFER TO BUILDING ELEVATION DRAWINGS FOR LOCATION OF STONE AND BRICK VENEER). MINIMUM 1 HOUR FIRE RATED REQUIRED, UL DESIGN # U905.
  - 8" CMU, 1" AIR SPACE, 4" MASONRY (STONE OR BRICK) VENEER (REFER TO BUILDING ELEVATION DRAWINGS FOR LOCATION OF STONE AND BRICK VENEER). MINIMUM 1 HOUR FIRE RATED REQUIRED, UL DESIGN # U905.
  - 12" CMU, 1" AIR SPACE, 4" MASONRY (STONE OR BRICK) VENEER (REFER TO BUILDING ELEVATION DRAWINGS FOR LOCATION OF STONE AND BRICK VENEER).
  - SCREEN WALL 8'-0" HIGH: 8" CMU, 1" AIR SPACE, 4" MASONRY (STONE OR BRICK) VENEER (REFER TO BUILDING ELEVATION DRAWINGS FOR LOCATION OF STONE AND BRICK VENEER). PROVIDE A STONE CAP ON TOP OF THE WALL.
  - 1/2" GYPCRETE BOARD ON 2x6 WOOD STUDS @ 16" O.C. WITH R-21 BATT INSULATION, 1/2" PLYWOOD SHEATHING, 1" AIR SPACE, 4" BRICK VENEER.
  - 1/2" GYPCRETE BOARD ON 2x6 WOOD STUDS @ 16" O.C. WITH R-21 BATT INSULATION, 1/2" PLYWOOD SHEATHING, WEATHER RESISTIVE BARRIER COMPOSITE PANELS.
  - BALCONY SIDE WALL: WEATHER RESISTIVE BARRIER COMPOSITE PANELS, 1/2" PLYWOOD SHEATHING, 2x4 WOOD STUDS @ 16" O.C., 1/2" PLYWOOD SHEATHING, WEATHER RESISTIVE BARRIER COMPOSITE PANELS.
  - 1/2" GYPCRETE BOARD ON 4" METAL STUDS @ 16" O.C., ±2" AIR SPACE, 4" METAL STUDS @ 16" O.C., PROVIDE MINIMUM R-29 BATT INSULATION, 1/2" PLYWOOD SHEATHING, WEATHER RESISTIVE BARRIER COMPOSITE PANELS.
  - 1/2" GYPCRETE BOARD ON 3/8" METAL STUDS @ 16" O.C. WITH R-20 BATT INSULATION ON 1/2" CONTINUOUS FOIL FACED POLYISOCYANURATE BOARD INSULATION R-9, 8" CMU, WEATHER RESISTIVE BARRIER COMPOSITE PANELS.

**INTERIOR WALLS:**

- FIRE-RESISTANCE RATING NOTE:**  
MINIMUM ALLOWABLE FIRE-RESISTANCE RATING OF THE DWELLING UNIT SEPARATION AND CORRIDOR WALLS IS 1/2 HOUR PER MBC-2015, SECTION 708.3 EXCEPTION 2 AND TABLE 1020.1 RESPECTIVELY.
- 8" CMU, MINIMUM ONE HOUR FIRE RATED REQUIRED, UL DESIGN # U905.
  - 1/2" GYPCRETE BOARD ON 3/8" METAL STUDS @ 16" O.C. AT FIRST FLOOR WITH R-20 BATT INSULATION (2x4 WOOD STUDS @ 16" O.C. AT SECOND AND THIRD FLOOR WITH R-20 BATT INSULATION), ON 8" CMU. MINIMUM ONE HOUR FIRE RATED EQUIURED, UL DESIGN # U905.
  - 1/2" GYPCRETE BOARD ON 3/8" METAL STUDS @ 16" O.C. AT FIRST FLOOR WITH R-20 BATT INSULATION (2x4 WOOD STUDS @ 16" O.C. AT SECOND AND THIRD FLOOR WITH R-20 BATT INSULATION), 8" CMU, 1/2" GYPCRETE BOARD ON 3/8" METAL STUDS @ 16" O.C.
  - CONDOMINIUM SEPARATION WALL (GA WP 3370): 1/2" TYPE "X" GYPCRETE BOARD, 2x4 WOOD STUDS @ 16" O.C., 1" AIR SPACE, 2x4 WOOD STUDS @ 16" O.C., 1/2" TYPE "X" GYPCRETE BOARD, WITH 3/4" SOUND BATT INSULATION ON ONE SIDE. MINIMUM 1/2 HOUR FIRE RATED REQUIRED, GA (GYPSUM ASSOCIATION, FIRE RESISTANCE DESIGN MANUAL) DESIGN # WP 3370 REFERENCED UL DESIGN # U305.
  - BEARING WALL: CONDOMINIUM SEPARATION WALL (GA WP 3370): 1/2" TYPE "X" GYPCRETE BOARD, 2x4 WOOD STUDS @ 16" O.C., 1" AIR SPACE, 2x4 WOOD STUDS @ 16" O.C., 1/2" TYPE "X" GYPCRETE BOARD, WITH 3/4" SOUND BATT INSULATION ON ONE SIDE. MINIMUM 1/2 HOUR FIRE RATED REQUIRED, GA DESIGN # WP 3370 REFERENCED UL DESIGN # U305.
  - BEARING WALL: CORRIDOR SEPARATION WALL (GA WP 3243): 1/2" TYPE "X" GYPCRETE BOARD, 2x4 WOOD STUDS @ 16" O.C. WITH GLASS FIBER SOUND ATTENUATION INSULATION, 1/2" RESILIENT CHANNELS @ 16" O.C. ON CORRIDOR SIDE, 1/2" TYPE "X" GYPCRETE BOARD, MINIMUM 1/2 HOUR FIRE RATED REQUIRED, GA DESIGN # WP 3240 REFERENCED UL DESIGN # U311.
  - 1/2" GYPCRETE BOARD, 2x4 WOOD STUDS @ 16" O.C., 1/2" GYPCRETE BOARD.
  - TENANT SEPARATION WALL AT FIRST FLOOR: 1/2" TYPE "X" GYPCRETE BOARD BOTH SIDES ON 6" METAL STUDS @ 16" O.C. TO UNDERSIDE OF METAL DECK ABOVE, CAULKED AND SEALED AIR TIGHT TO ACHIEVE ONE-HOUR FIRE RATING PER UL DESIGN NUMBER U465.

SITE PLAN REVIEW	02/19/2024
ISSUED FOR	DATE

**THIRD FLOOR PLAN** **A-03**

**GERALD PLAZA**  
1750 EAST ALBURN ROAD  
ROCHESTER HILLS, MI 48307

CONTACT : MIKE CHAUDHARY  
OWNER : GERALD REAL ESTATE LLC  
ADDRESS : 13500 FOLEY STREET, DETROIT, MI 48227  
PHONE : 313-601-1818  
E-MAIL : mike@dmgroupusa.com **24002**

**Turk Architects**  
*Architects Planners Engineers*

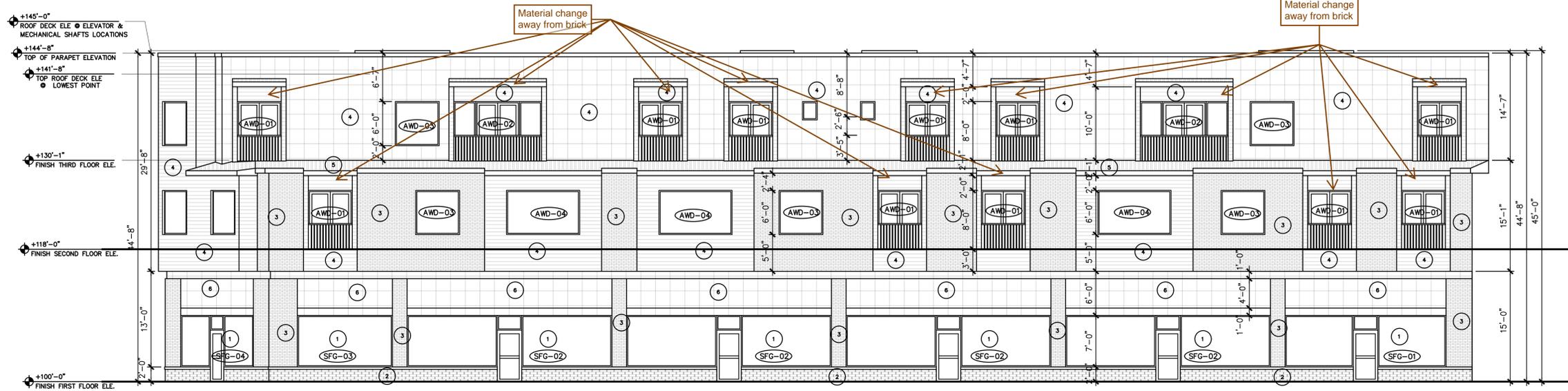
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E: turkarchitects@gmail.com

STATE OF MICHIGAN  
HISHAMAL TURK  
ARCHITECT  
No. 1310152206  
02/19/2024

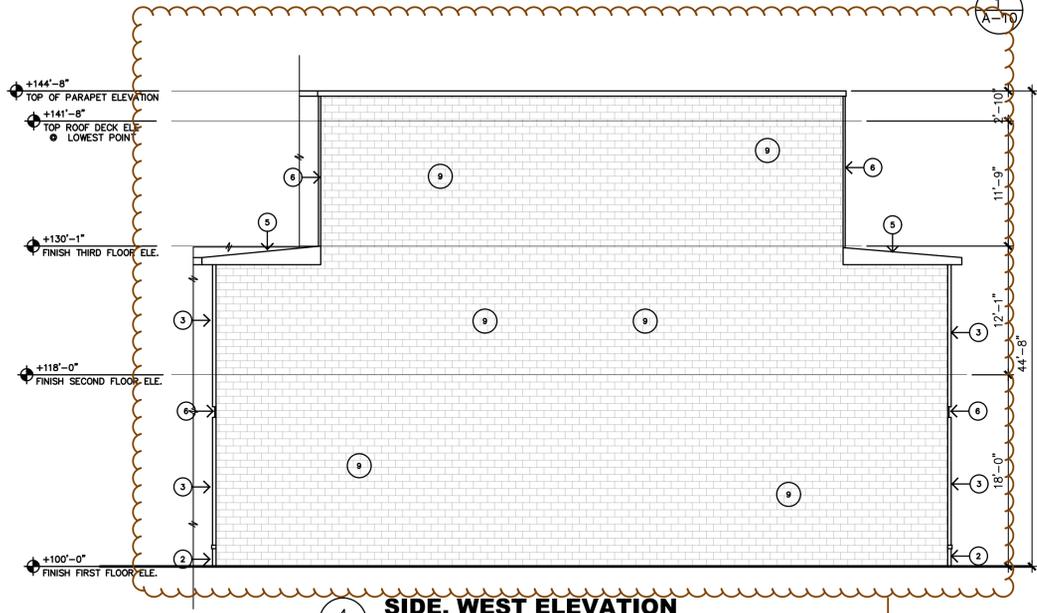
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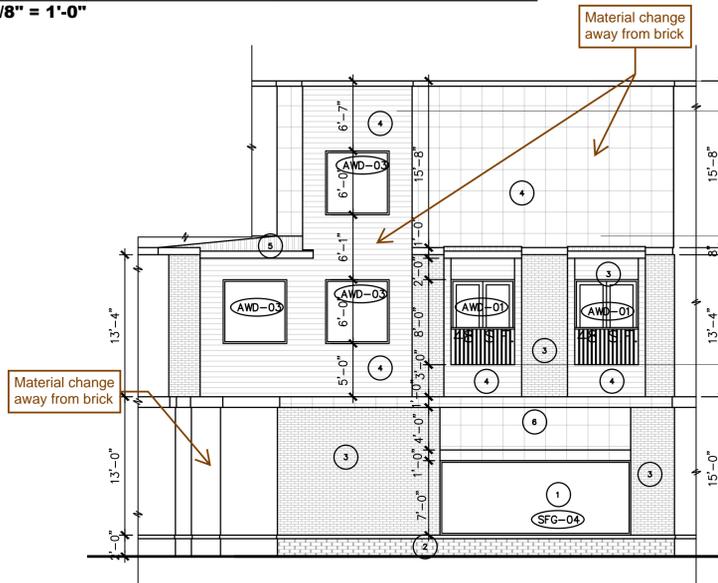




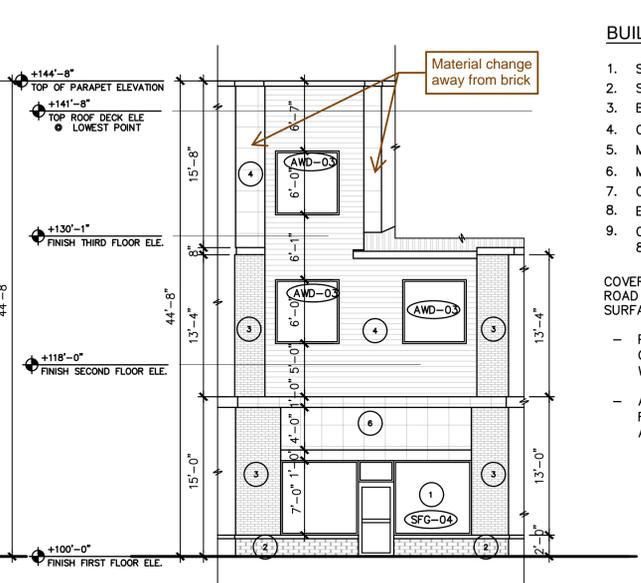
**FRONT (AUBURN ROAD), NORTH ELEVATION**  
1/8" = 1'-0"



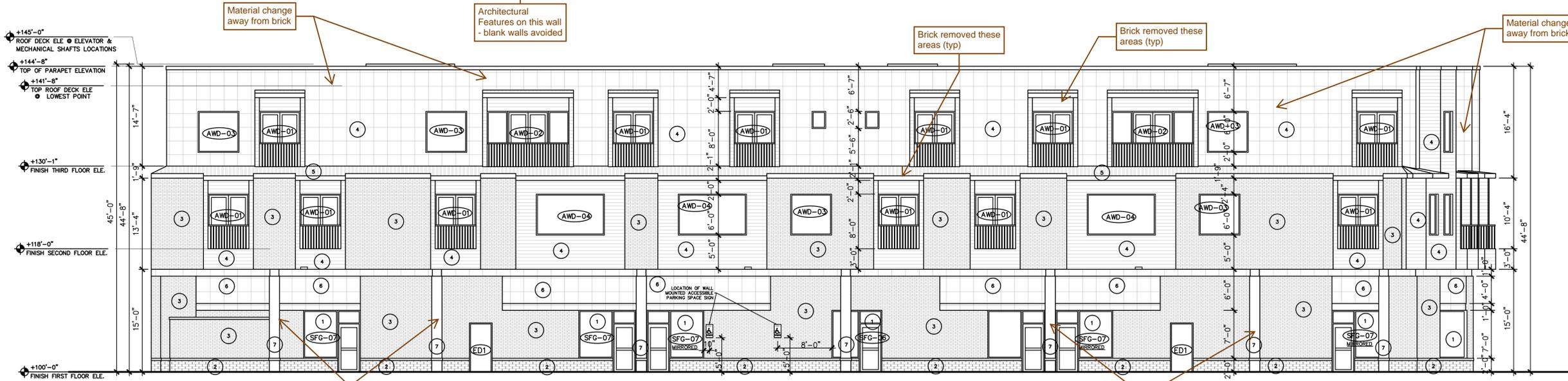
**SIDE, WEST ELEVATION**  
1/8" = 1'-0"



**SIDE (GERALD AVENUE) EAST ELEVATION**  
1/8" = 1'-0"



**AUBURN & GERALD CORNER, NORTH EAST ELEVATION**  
1/8" = 1'-0"



**REAR (PARKING LOT SIDE), SOUTH ELEVATION**  
1/8" = 1'-0"

**GENERAL NOTES:**

1. ALL NEW SIGNAGE MUST MEET CHAPTER 134 OF THE CITY CODE OF ORDINANCES AND BE APPROVED UNDER A SEPARATE PERMIT ISSUED BY THE BUILDING DEPARTMENT.

**FACADE TRANSPARENCY NOTES:**

- WINDOW GLAZING SHALL BE CLEAR WITH A VISIBLE LIGHT TRANSMITTANCE OF NOT LESS THAN 65% (0.65) ON GROUND FLOOR, PER GLASS MANUFACTURER SPECIFICATIONS.
- PROPOSED FACADE TRANSPARENCY AT GROUND FLOOR RETAIL USE (NON-RESIDENTIAL), ON AUBURN ROAD AND GERALD AVENUE, MEASURED BETWEEN 2 FEET AND 8 FEET ABOVE GARDE IS 85.7% (MINIMUM 70% REQUIRED).
- WINDOW GLAZING SHALL BE CLEAR WITH A VISIBLE LIGHT TRANSMITTANCE OF NOT LESS THAN 45% (0.45) ON SECOND AND THIRD FLOORS, PER GLASS MANUFACTURER SPECIFICATIONS.
- PROPOSED FACADE TRANSPARENCY AT SECOND FLOOR RESIDENTIAL USE, ON AUBURN ROAD AND GERALD AVENUE, MEASURED FROM FLOOR TO FLOOR IS 34%, (MINIMUM 20% REQUIRED).
- PROPOSED FACADE TRANSPARENCY AT THIRD FLOOR RESIDENTIAL USE, ON AUBURN ROAD AND GERALD AVENUE, MEASURED FROM FLOOR TO FLOOR IS 27%, (MINIMUM 20% REQUIRED).

**BUILDING MATERIAL NOTES:**

1. STORE FRONT WINDOWS AT GROUND FLOOR RETAIL SPACES.
2. STONE VENEER TOPPED WITH LIME STONE CAP.
3. BRICK VENEER.
4. COMPOSITE PANEL SYSTEM.
5. METAL ROOFING.
6. METAL PANEL SYSTEM.
7. COMPOSITE COLUMN COVER SYSTEM.
8. EXTERIOR ONE HOUR RATED METAL DOOR SEE (ED1) IN DOOR SCHEDULE.
9. CONCRETE MASONRY UNIT (CMU) WALL. 12" CMU WALL AT FIRST FLOOR. 8" CMU WALL AT SECOND AND THIRD FLOOR. REFER TO WALL TYPE (EW3).

COVERAGE PERCENTAGE OF BUILDING FACADE MATERIALS AT AUBURN ROAD AND GERALD AVENUE COMBINED, BASED ON EXTERIOR WALL SURFACE AREA, EXCLUDING WINDOWS AND DOORS, ARE:

- PRIMARY BUILDING MATERIALS (BRICK VENEER, STONE VENEER AND COMPOSITE PANEL SYSTEM) ARE COVERING 65% OF THE EXTERIOR WALL SURFACE AREA. (REQUIRED MINIMUM OF 60%).
- ACCENT BUILDING MATERIALS (METAL PANEL SYSTEM AND METAL ROOFING) ARE COVERING 35% OF THE EXTERIOR WALL SURFACE AREA. (REQUIRED MAXIMUM OF 40%).

SITE PLAN REVIEW	02/19/2024
ISSUED FOR	DATE

<b>BUILDING ELEVATIONS</b>	
<b>A-10</b>	
<b>GERALD PLAZA</b>	
1780 EAST AUBURN ROAD ROCHESTER HILLS, MI 48307	
CONTACT :	MIKE CHAUDHARY
OWNER :	GERALD REAL ESTATE LLC
ADDRESS :	13500 FOLEY STREET, DETROIT, MI 48227
PHONE :	313-491-1815
E-MAIL :	mike@dmcgroupusa.com
	<b>24002</b>

**Turk Architects**  
Architects Planners Engineers

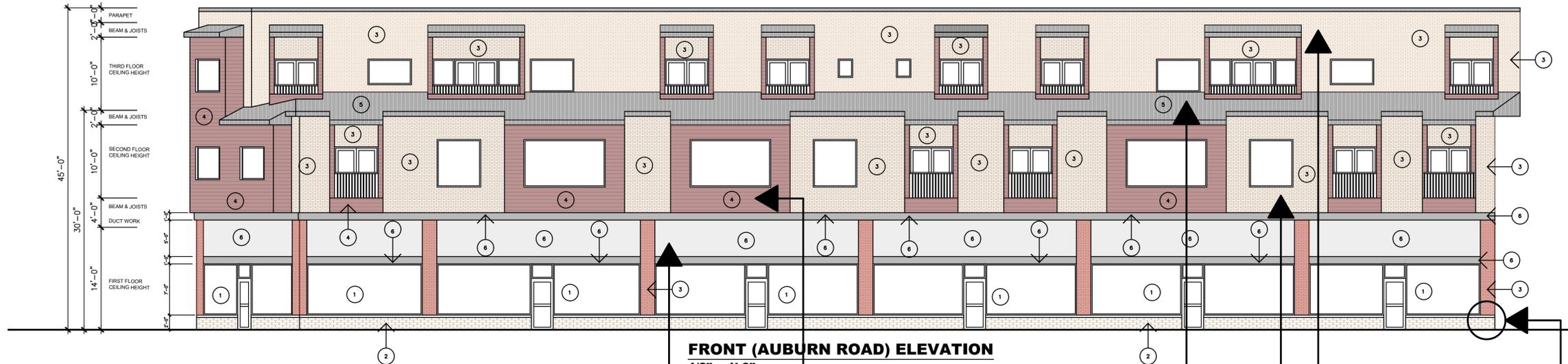
6340 PEACOCK DRIVE  
TROY, MI 48065  
T: 248-291-5168 (O)  
248-521-0961 (C)  
E: turkarchitects@gmail.com

STATE OF MICHIGAN  
HISHAMAL TURK  
ARCHITECT  
No. 130152206  
02/19/2024

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**FRONT (AUBURN ROAD) ELEVATION**  
1/8" = 1'-0"

**GENERAL NOTES:**

- ALL NEW SIGNAGE MUST MEET CHAPTER 134 OF THE CITY CODE OF ORDINANCES AND BE APPROVED UNDER A SEPARATE PERMIT ISSUED BY THE BUILDING DEPARTMENT.

**FACADE TRANSPARENCY NOTES:**

- WINDOW GLAZING SHALL BE CLEAR WITH A VISIBLE LIGHT TRANSMITTANCE OF NOT LESS THAN 65% (0.65) ON GROUND FLOOR, PER GLASS MANUFACTURER SPECIFICATIONS.
- PROPOSED FACADE TRANSPARENCY AT GROUND FLOOR RETAIL USE (NON-RESIDENTIAL), ON AUBURN ROAD AND GERALD AVENUE, MEASURED BETWEEN 2 FEET AND 8 FEET ABOVE GARDE IS 85.7% (MINIMUM 70% REQUIRED).
- WINDOW GLAZING SHALL BE CLEAR WITH A VISIBLE LIGHT TRANSMITTANCE OF NOT LESS THAN 45% (0.45) ON SECOND AND THIRD FLOORS, PER GLASS MANUFACTURER SPECIFICATIONS.
- PROPOSED FACADE TRANSPARENCY AT SECOND FLOOR RESIDENTIAL USE, ON AUBURN ROAD AND GERALD AVENUE, MEASURED FROM FLOOR TO FLOOR IS 34% (MINIMUM 20% REQUIRED).
- PROPOSED FACADE TRANSPARENCY AT THIRD FLOOR RESIDENTIAL USE, ON AUBURN ROAD AND GERALD AVENUE, MEASURED FROM FLOOR TO FLOOR IS 27% (MINIMUM 20% REQUIRED).

**BUILDING MATERIAL NOTES:**

- STORE FRONT WINDOWS AT GROUND FLOOR RETAIL SPACES.
  - STONE VENEER TOPPED WITH LIME STONE CAP.
  - BRICK VENEER.
  - COMPOSITE PANEL SYSTEM.
  - METAL ROOFING.
  - METAL PANEL SYSTEM.
- COVERAGE PERCENTAGE OF BUILDING FACADE MATERIALS AT AUBURN ROAD AND GERALD AVENUE COMBINED, BASED ON EXTERIOR WALL SURFACE AREA, EXCLUDING WINDOWS AND DOORS, ARE:
- PRIMARY BUILDING MATERIALS (BRICK VENEER, STONE VENEER AND COMPOSITE PANEL SYSTEM) ARE COVERING 65% OF THE EXTERIOR WALL SURFACE AREA. (REQUIRED MINIMUM OF 60%).
  - ACCENT BUILDING MATERIALS (METAL PANEL SYSTEM AND METAL ROOFING) ARE COVERING 35% OF THE EXTERIOR WALL SURFACE AREA. (REQUIRED MAXIMUM OF 40%)



**Color Options**

NW02 Elegant Oak	NW08 Italian Walnut	NW30 Tropical Ipe	NW04 Pacific Board	NW24 Greyed Cedar
NW17 Milano Grigio	NW22 Slate Wood	NW13 Country Wood	NW10 English Cherry	NW28 Halmstad
NW06 Montreux Amber	P03.4.0 Silver Grey	P05.5.0 Quartz Grey	P25.8.1 Anthracite Grey	P12.6.3 Wine Red
A12.3.7 Carmine Red	P05.0.0 Pure White	P03.0.0 White	P04.0.2 Pale Yellow	P28.2.1 Aquamarine

**COMPOSITE PANEL SYSTEM COLOR OPTIONS**



SITE PLAN REVIEW	02/19/2024
ISSUED FOR	DATE

**BUILDING ELEVATIONS MATERIAL BOARD A-07**

**GERALD PLAZA**  
1760 EAST AUBURN ROAD  
ROCHESTER HILLS, MI 48307

CONTACT : MIKE CHAUDHARY  
OWNER : GERALD REAL ESTATE LLC  
ADDRESS : 13500 FOLEY STREET, DETROIT, MI 48227  
PHONE : 313-491-1815  
E-MAIL : mike@dmcgroupusa.com

**24002**

**Turk Architects**  
Architects Planners Engineers

6340 PEACOCK DRIVE  
TROY, MI 48065  
T: 248-291-5168 (O)  
248-521-0961 (C)  
E: turkarchitects@gmail.com

STATE OF MICHIGAN  
HISHAM AL TURK  
ARCHITECT  
No. 1301052206

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02/19/2024



March 15, 2024

Jennifer MacDonald  
City of Rochester Hills  
1000 Rochester Hills Drive  
Rochester Hills, MI 48309

Reference: **Gerald Plaza**  
**CAMS #202400137**  
**Part of the NE ¼ of Section 36, City of Rochester Hills**

Dear Ms. MacDonald,

This office has received a set of plans for the Gerald Plaza Project to be developed in part of the Northeast ¼ of Section 36, City of Rochester Hills.

Our stormwater system review indicates that the proposed project may have an involvement with the Ireland Drain, which is a legally established County Drain under the jurisdiction of this office. Therefore, a storm drain permit may be required from this office. Please submit a set of plans through our online permitting portal at <https://www.oakgov.com/government/water-resources-commissioner/projects/permitting>.

The water system is operated and maintained by the City of Rochester Hills and plans must be submitted to the City of Rochester Hills for review.

The sanitary sewer is within the Clinton Oakland Sewage Disposal System. Any proposed sewers of 8" or larger may require a permit through this office.

Any related earth disruption must conform to applicable requirements of Part 91, Soil Erosion and Sedimentation Control of the Natural Resource and Environmental Protection Act, Act 451 of the Public Acts of 1994. Applications should be submitted to our office for the required soil erosion permit.

Please note that all applicable permits and approvals from federal, state or local authorities, public utilities and private property owners must be obtained.

If there are any questions regarding this matter, please contact Dan Butkus at 248-897-2744.

Sincerely,

A handwritten signature in blue ink, appearing to read "B. Bennett", is written over a light blue circular stamp.

Brian Bennett, P.E.  
Assistant Chief Engineer



# SITE PLAN.pdf Markup Summary

---

## Building Department (2)

---

Mark Artinian 248-841-2446  
ArtinianM@RochesterHills.org

**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 3/21/2024 1:07:44 PM  
**Status:**

Mark Artinian 248-841-2446  
ArtinianM@RochesterHills.org

Yes

**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 3/21/2024 1:08:25 PM  
**Status:**

Yes

---

## Cloud+ (1)

---



**Subject:** Cloud+  
**Author:** Ann Echols  
**Date:** 3/6/2024 11:43:56 AM  
**Status:**

A type VB building with 33,692 sq.ft. requires a fire flow of 5,000 GPM and a minimum of 5 on site hydrants, spaced no more than 300 feet apart. Prior approval provided for a 50% reduction in fire flow per ordinance. A 2,500 GPM fire flow requires 3 on site hydrants spaced no more than 400 feet apart.

Provide an additional hydrant on the north east corner of the site.

In order to gain site plan approval a flow test is required to evaluate the capabilities of the water supply. The previous flow test is more than a year old and will need to be redone.

Contact the Rochester Hills DPS Engineering Department at 248-56-4640 to schedule a new test.

---

## Engineering Department (3)

---



**Subject:** Engineering Department  
**Author:** Jason Boughton  
**Date:** 3/11/2024 11:47:38 AM  
**Status:**

City File #20-022 Section #36 in the lower right hand corner of each sheet



**Subject:** Engineering Department  
**Author:** Jason Boughton  
**Date:** 3/11/2024 11:47:41 AM  
**Status:**

The applicant needs to submit a Land Improvement Permit (LIP) application with engineer's estimate, fee and construction plans to proceed with the construction plan review process.



**Subject:** Engineering Department  
**Author:** Jason Boughton  
**Date:** 3/12/2024 9:15:36 AM  
**Status:**

---

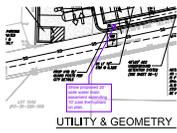
## Engineering Legal Review (3)

---

FILED: 15-36-226-003  
COUNTY RECORDS  
ADDRESS: (COMMONLY KNOWN AS VAC)  
SOWELL: 15-36-226-003, 15-36-2  
[Link to document Parcel ID: 15-36-226-068]

**Subject:** Engineering Legal Review  
**Author:** Jenny McGuckin  
**Date:** 3/20/2024 3:47:22 PM  
**Status:**

Include current Parcel ID: 15-36-226-068



**Subject:** Engineering Legal Review  
**Author:** Jenny McGuckin  
**Date:** 3/20/2024 4:14:13 PM  
**Status:**

Show proposed 20' wide water main easement extending 10' past the hydrant on plan.

Storm sewer maintenance agreement and water main easement will be needed during construction plan review.

**Subject:** Engineering Legal Review  
**Author:** Jenny McGuckin  
**Date:** 3/20/2024 4:09:36 PM  
**Status:**

Storm sewer maintenance agreement and water main easement will be needed during construction plan review.

**Fire Department (1)**

Cap: Ann Echols 248-841-2701 No  
 Echols@RochesterHills.org

**Subject:** Fire Department  
**Author:** Ann Echols  
**Date:** 3/6/2024 11:38:13 AM  
**Status:**

**Group (18)**



**Subject:** Group  
**Author:** macdonaldj  
**Date:** 3/4/2024 2:28:29 PM  
**Status:**

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:48:43 PM  
**Status:**

Received  
 3/4/2024

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:48:53 PM  
**Status:**

Received  
 3/4/2024

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:48:57 PM  
**Status:**

Received  
 3/4/2024

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:49:01 PM  
**Status:**

Received  
 3/4/2024

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:49:05 PM  
**Status:**

Received  
 3/4/2024

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:49:11 PM  
**Status:**

Received  
 3/4/2024

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:49:31 PM  
**Status:**

Received  
3/4/2024

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:49:38 PM  
**Status:**

Received  
3/4/2024

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:49:58 PM  
**Status:**

Received  
3/4/2024

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:50:07 PM  
**Status:**

Received  
3/4/2024

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:50:12 PM  
**Status:**

Received  
3/4/2024

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:50:29 PM  
**Status:**

Received  
3/4/2024

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:50:34 PM  
**Status:**

Received  
3/4/2024

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:50:38 PM  
**Status:**

Received  
3/4/2024

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:50:43 PM  
**Status:**

Received  
3/4/2024

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:52:05 PM  
**Status:**

Received  
3/4/2024

City of Rochester Hills Planning & Economic  
Development

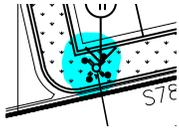


**Subject:** Group  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:52:11 PM  
**Status:**

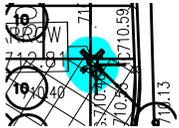
Received  
 3/4/2024

City of Rochester Hills Planning & Economic  
 Development

Highlight (2)



**Subject:** Highlight  
**Author:** Ann Echols  
**Date:** 3/6/2024 11:42:17 AM  
**Status:**



**Subject:** Highlight  
**Author:** Ann Echols  
**Date:** 3/6/2024 11:42:22 AM  
**Status:**

Jenny McGuckin - YES (1)



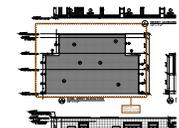
**Subject:** Jenny McGuckin - YES  
**Author:** Jenny McGuckin  
**Date:** 3/21/2024 12:37:48 PM  
**Status:**

Natural Resouces (1)



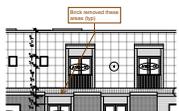
**Subject:** Natural Resouces  
**Author:** Matt Einheuser  
**Date:** 3/21/2024 12:11:33 PM  
**Status:**

Planning Department (16)



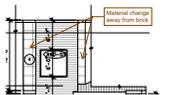
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/20/2024 4:41:27 PM  
**Status:**

Architectural Features on this wall - blank walls  
 avoided



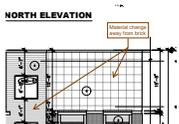
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/20/2024 4:42:31 PM  
**Status:**

Brick removed these areas (typ)



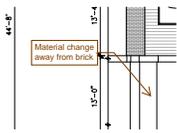
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:35:43 PM  
**Status:**

Material change away from brick



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:36:14 PM  
**Status:**

Material change away from brick



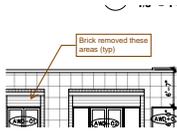
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:36:30 PM  
**Status:**

Material change away from brick



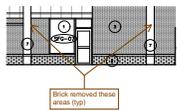
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:36:43 PM  
**Status:**

Material change away from brick



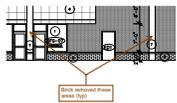
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:37:54 PM  
**Status:**

Brick removed these areas (typ)



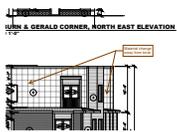
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:38:58 PM  
**Status:**

Brick removed these areas (typ)



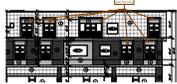
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:39:08 PM  
**Status:**

Brick removed these areas (typ)



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:39:52 PM  
**Status:**

Material change away from brick



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:41:25 PM  
**Status:**

Material change away from brick



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:41:47 PM  
**Status:**

Material change away from brick



Number	Description	Lamp
02 F1 40K 84	RAWAL LIGHT FIXTURES INC PACKAGE 1 4000K 20W 4'	LED
F2 40K 8000	RAWAL LIGHT FIXTURES INC PACKAGE 2 4000K 20W 4'	LED
F3 40K 8000	RAWAL LIGHT FIXTURES INC PACKAGE 3 4000K 20W 4'	LED

**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:44:20 PM  
**Status:**

3000 k required

Chris McLeod 248-841-0272  
mcleod@owiconsulting.com

OWI

**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:45:46 PM  
**Status:**

NER / APPLICANT:

COMPANY : GERALD REAL ESTATE, LL  
CONTACT : MACE, PAUL PHILIP

**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:46:33 PM  
**Status:**

Subject to items noted on plans being addressed and Planning Commission review of building materials.

Assessing

Yes

**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 3/21/2024 4:53:49 PM  
**Status:**

Assessing

Yes

---

### Traffic (1)

---

Keith Duggan 248-841-2023  
kduggan@planningdept.org

OWNER

COMPAN  
CONTACT

**Subject:** Traffic  
**Author:** Keith  
**Date:** 3/22/2024 8:44:39 AM  
**Status:**