



Planning and Economic Development

Sara Roediger, AICP, Director

From: Kristen Kapelanski, AICP
 Date: 12/4/2017
 Re: **The Winchester District (City File #17-036)
 Preliminary Site Plan - Planning Review #2**

The applicant is proposing to redevelop the existing vacant shopping center at the southwest corner of Avon Road and Rochester Road. The existing shopping center building will be updated and two new outbuildings will be added along with a relocated Burger King restaurant. The project was reviewed for conformance with the City of Rochester Hills Zoning Ordinance. This item will be reviewed and approved by the Planning Commission in accordance with Section 138-2.200. The comments below and in other review letters are minor in nature and can be incorporated into a final site plan submittal for review by staff after review by the Planning Commission. A previous review was completed for the proposed relocation of the Burger King restaurant. That plan has now been incorporated for review as part of the proposed Winchester plan.

1. **Flex Business Overlay:** It appears the plan best fits as a development under the B-3 zoning, but the site is designated for the Flexible Business Overlay on the Future Land Use map and staff has encouraged the incorporation of some elements of the FB-3 District as part of the proposed plan. Several FB elements have been incorporated into the site. Safe and effective pedestrian circulation has been provided throughout the site along with substantial landscape areas, a central entrance drive, pedestrian-scale lighting and other aspects of the Flexible Business Overlay.
2. **Zoning and Use (Section 138-4.300).** The site is zoned B-3 Shopping Center Business District with the FB-3 Flex Business Overlay. The applicant can opt to develop this site under either zoning district, both of which permit drive-through restaurants as a conditional use. A conditional use requires a Planning Commission public hearing and recommendation to City Council. The following requirements of Section 138-4.410 apply as part of the Burger King relocation:
 - A. *Drive-through uses must be built as an integral architectural element of the primary structure and use. Building materials shall be the same as those used in the primary structure. Drive-through facilities and structures to separate the primary structure are prohibited.* The drive-through windows are clearly incorporated into the structure.
 - B. *Drive-through uses must be located to the rear or side of the primary structure and set back a minimum of 10 feet from the front building wall of the primary structure.* Drive-through located on the side of the structure with sufficient setback.
 - C. *Drive-through uses shall be configured such that glare from headlights is obstructed from shining into a public right-of-way or neighboring residential use.* Drive-through facing onto Rochester Road right-of-way has been appropriately screened.
 - D. *Unless a more intense buffer is required by Section 138-12.300, a type B landscape buffer shall be provided along rear and side lot lines of a drive-through use located adjacent to a residentially zoned or used property.* The site is not adjacent to a residentially zoned property or use.

Refer to the table below for the zoning and existing and future land use designations for the proposed site and surrounding parcels.

	Zoning	Existing Land Use	Future Land Use
Proposed Site	B-3 Shopping Center Business with optional FB-3 Flexible Business Overlay	Shopping Center	Business/Flexible Use 3
North	B-3 Shopping Center Business with optional FB-3 Flexible Business Overlay and B-5 Automotive Business	Genisys Credit Union and Gas Station	Business/Flexible Use 3
North (across Avon Rd.)	I Industrial with optional FB-1 and FB-2 Flexible Business Overlay	Various industrial	Business/Flexible Use 1 and Business/Flexible Use 2

	Zoning	Existing Land Use	Future Land Use
South	B-3 Shopping Center Business with optional FB-3 Flexible Business Overlay	Shopping Center	Business/Flexible Use 3
East (<i>across Rochester Rd.</i>)	SP Special Purpose	Leader Dogs for the Blind	Special Purpose
West	B-3 Shopping Center Business with optional FB-3 Flexible Business Overlay	Home Depot	Business/Flexible Use 3

3. **Site Design and Layout** (*Section 138-5.100-101*). Refer to the table below as it relates to the area, setback, and building requirements of this project in the B-3 district.

Requirement	Proposed	Staff Comments
Max. Height 2 stories/30 ft.	30 ft.	In compliance
Min. Front Setback (<i>east - Rochester Rd.</i>) 75 ft.	90 ft.	In compliance
Min. Front Setback (<i>north - Avon Rd.</i>) 75 ft.	90 ft. +	In compliance
Min. Side Setback (<i>north/south</i>) 25 ft. - total 50 ft.	78 ft./26 ft.	In compliance
Min. Rear Setback (<i>west</i>) 75 ft.	60 ft.	In compliance - existing condition

4. **Exterior Lighting** (*Section 138-10.200-204*). A photometric plan showing the location and intensity of exterior lighting has been provided. Refer to the table below as it relates to the lighting requirements for this project.

Requirement	Proposed	Staff Comments
Shielding/Glare Lighting shall be fully shielded & directed downward at a 90° angle Fixtures shall incorporate full cutoff housings, louvers, glare shields, optics, reflectors or other measures to prevent off-site glare & minimize light pollution Only flat lenses are permitted on light fixtures; sag or protruding lenses are prohibited	Fully shielded parking lot lighting and partially shielded pedestrian lighting	In compliance Pedestrian scale lighting will not cause off-site glare and any light pollution from the pedestrian fixtures will be very minimal.
Max. Intensity (measured in footcandles fc.) 10 fc. anywhere on-site, 1 fc. at ROW, & 0.5 fc. at any other property line	Photometric data provided	In compliance
Lamps Max. wattage of 250 watts per fixture LED or low pressure sodium for low traffic areas, LED, high pressure sodium or metal halide for parking lots	Max. 164 watts indicated	In compliance
Max. Height 20 ft., 15 ft. when within 50 ft. of residential	Max. 20 ft.	In compliance

5. **Parking, Loading and Access** (*138-11.100-308*). Refer to the table below as it relates to the parking and loading requirements of this project.

Requirement	Proposed	Staff Comments
Min. # Parking Spaces Retail - 1 per 300 sq. ft. 138,309 sq. ft./300 = 461 spaces Restaurant (Building D) - 1 per 2 persons permitted at max occupancy = 315/2 = 158 spaces	561 spaces	The Planning Commission may modify the required number of spaces provided another standard would be more reasonable because of the level of employment and/or customer traffic. A significant portion of Building A will be occupied by the Art Van furniture store, a use requiring a large show space but that generates less customer traffic than a general retail space of a similar size.

Requirement	Proposed	Staff Comments
Restaurant (Building B) – 1 per 2 persons permitted at max occupancy = 64/2 = 32 spaces 651 spaces required for entire site		
Max. # Parking Spaces 125% of Min. = 813	566 spaces	In compliance
Min. # Stacking Spaces 10 per restaurant service window	Not indicated	Appears to be in compliance but stacking spaces should be shown on the plan
Min. Barrier Free Spaces 5 + 2% of parking provided = 16 BF spaces 11 ft. in width w/ 5 ft. aisle for 500-1,000 spaces	28 BF spaces 11 ft. in width w/ 5 ft. aisle	In compliance See a. below
Min. Parking Space Dimensions 9 ft. x 18 ft. (employee spaces) 10 ft. x 18 ft. (customer spaces) 24 ft. aisle (2-way)/15 ft. (1-way)	Min. 9.5 ft. x 16 ft. to face of curb with 2 ft. overhang into landscape area	See b. below Smaller dimensioned spaces intended for employee parking must be designated as such.
Min. Parking Setback 10 ft. on all sides	10 ft. +	In compliance
Loading 1 space 10 ft. x 40 ft. required in rear yard	3 spaces min. 20 ft. x 60 ft.	In compliance

- a. **Barrier free spaces should be relocated to provide additional spaces nearest Building C and Building D. See the building review letter.**
 - b. **The minimum parking space width may be reduced to 9 ft. by the reviewing authority, in this case the Planning Commission. Staff has no concern with a space reduction of 0.5 ft.**
 - c. Bike racks to serve employees and visitors of the site have been provided. **A detail of the proposed bike rack and confirmation that parked bikes will not block required walkways should be provided.**
 - d. A loading area near the center of the parking area is identified on the plan for to be shared by Building D and the relocated Burger King. **A note confirming deliveries will be after-hours should be added to the plan.**
6. **Natural Features**
- a. **Environmental Impact Statement (EIS)** (Section 138-2.204.G) An EIS that meets ordinance requirements has been submitted.
 - b. **Tree Removal** (Section 126 Natural Resources, Article III Tree Conservation). The site is subject to the city's tree conservation ordinance, and so any healthy tree greater than 6" in caliper that will be removed must be replaced with one tree credit. Trees that are dead or in poor condition need not be replaced. The removal of any regulated tree requires the approval of a tree removal permit and associated tree replacement credits, in the form of additional plantings as regulated in the Tree Conservation Ordinance or a payment of \$216.75 per credit into the City's tree fund. The landscape plan indicates that 7 regulated trees will be removed and replaced with 4 trees on site totaling 8 tree credits.
 - c. **Wetlands** (Section 126 Natural Resources, Article IV Wetland and Watercourse Protection). The site does not contain any regulated wetlands.
 - d. **Natural Features Setback** (Section 138-9 Chapter 1). The site does not contain any natural feature setbacks.
 - e. **Steep Slopes** (Section 138-9 Chapter 2). The site does not contain any regulated steep slopes.
7. **Equipment Screening** (Section 138-10.310.J). All heating, ventilation and air conditioning mechanical equipment located on the exterior of the building shall be screened from adjacent streets and properties.
 8. **Dumpster Enclosure** (Section 138-10.311). Dumpsters are proposed throughout the site and screened appropriately.
 9. **Landscaping** (Section 138-12.100-308). A landscape plan signed and sealed by a registered landscape architect has been provided. Refer to the table below as it relates to the landscape requirements for this project as proposed.

Requirement	Proposed	Staff Comments
Right of Way (Rochester Rd. 475 ft.) 1 deciduous per 35 ft. + 1 ornamental per 60 ft. = 14 deciduous + 8 ornamental	14 deciduous 8 ornamental	In compliance

Requirement	Proposed	Staff Comments
Right of Way (Avon Rd. 578 ft.) 1 deciduous per 35 ft. + 1 ornamental per 60 ft. = 17 deciduous + 10 ornamental	10 deciduous 7 existing deciduous 10 ornamental	In compliance (some deciduous trees planted elsewhere on the site)
Parking Lot: Perimeter (Rochester Rd. 230 ft.) 1 deciduous per 25 ft. + 1 ornamental per 35 ft. + vegetative hedge = 9 deciduous + 7 ornamental	9 deciduous 7 ornamental	In compliance
Parking Lot: Perimeter (Avon Rd. 416 ft.) 1 deciduous per 25 ft. + 1 ornamental per 35 ft. + vegetative hedge = 17 deciduous + 12 ornamental + vegetative hedge	17 deciduous 12 ornamental vegetative hedge	In compliance
Parking Lot: Interior 5% of parking lot + 1 deciduous per 150 sq. ft. landscape area = 12,180 sq. ft. + 81 deciduous	16,213 sq. ft. 81 deciduous	In compliance

- a. A landscape planting schedule has been provided including the size of all proposed landscaping. A unit cost estimate and total landscaping cost summary, including irrigation costs, for landscape bond purposes has been included.
 - b. If required trees cannot fit or planted due to infrastructure conflicts, a payment in lieu of may be made to the City's tree fund at a rate of \$216.75 per tree. Existing healthy vegetation on the site may be used to satisfy the landscape requirements and must be identified on the plans.
 - c. All landscape areas must be irrigated. This has been noted on the landscape plan. An irrigation plan must be submitted prior to staff approval of the final site plan. A note specifying that watering will only occur between the hours of 12am and 5am has been included on the plans.
 - d. Site maintenance notes listed in *Section 138-12.109* have been included on the plans.
 - e. A note stating "Prior to the release of the performance bond, the City of Rochester Hills must inspect all landscape plantings." has been included on the plans.
10. **Architectural Design** (*Architectural Design Standards*). The proposed buildings appear to be generally designed in accordance with the City's Architectural Design Standards, composed of various masonry products with accent materials such as wood grain composite and metal panels. **A detailed description and key of all proposed façade materials should be provided for the Burger King elevation.**
11. **Signs.** (*Section 138-8.603*). Signage has been indicated on the plans. A note has been included on the plans that states that all signs must meet *Section 138-8.603* and *Chapter 134* of the City Code of Ordinances and be approved under a separate permit issued by the Building Department.



ASSESSING DEPARTMENT

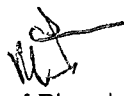
Kurt Dawson, Director

From: Nancy McLaughlin
Date: 9/28/17
Re: File No.: 17-036 Escrow #287.301
Project: The Winchester District, Review #1
Parcel No: 70-15-22-226-014
Applicant: Rochester KM Partners LLC

No comment.



DPS/Engineering
Allan E. Schneck, P.E., Director

From: Michael Taunt, Survey Technician 
To: Kristen Kapelanski, AICP, Manager of Planning & Development
Date: September 27, 2017
Re: **The Winchester District, City File #17-036, Section 22
Site Plan Review Comments.**

Review comments for the new site plan received by the Department of Public Services on September 26, 2017 are following:

- The legal description of the parcel closes and the area is confirmed.
- In due course, provide new or revised easements and exhibits in recordable form for water main, sanitary sewer and storm water management.

MT/bd

c:

Allan E. Schneck, P.E., Director; DPS
Tracey Balint, P.E., Public Utilities Engineer; DPS
Paul Shumejko, P.E., PTOE, Transportation Engineer; DPS
Jason Boughton, AC, Engineering Utilities Coordinator; DPS

Paul Davis, P.E., Deputy Director/City Engineer; DPS
Sandi DiSipio; Planning & Development Dept.
Sheryl Molsaac, Office Coordinator; DPS
File



PARKS & FORESTRY DEPARTMENT

Ken Elwert, CPRE, Director

To: Kristen Kapelanski
From: Gerald Lee
Date: November 26, 2017
Re: The Winchester District
Review #2
File #17-036

Forestry review pertains to public right-of-way (r/w) tree issues only.

Preliminary Landscape Plan, Sheet L-1.0

Please clearly identify the location of the overhead utility wires on Avon Rd. It appears the Trident maples are shown less than 15' from the nearest overhead wire and have a mature height of greater than 20 feet. Please select a tree that has a mature height of less than 20' (Japanese tree lilac, serviceberry, some crabapple cultivars) and will be in compliance with other required tree planting parameters.

GL/cf

cc: Sandi DiSipio, Planning Assistant
Maureen Gentry, Planning Assistant



From: Craig McEwen, Building Inspector/Plan Reviewer *CPM*
To: Kristen Kapelanski, Planning Department
Date: November 27, 2017
Re: The Winchester District – 2
Sidwell: 15-22-226-014
City File: 17-036

The site plan review for the above reference project was based on the following drawings and information submitted:

Sheets: Cover Sheet, C-1.0, C-2.0, C-3.0, C-4.0, L-1.0, L-1.1, Photometric Plan, Building Plans and Elevations for Buildings A, B, C & D

Approval recommended base on the following being addressed on the next submittal or on the building permit documents:

1. Building Code analysis were not provided for as requested in the first review for Buildings A, B and C. The Architects for each building may proceed at their own risk, however, they shall include a full Building Code analysis with each of the individual permit applications. Each analysis should at a minimum include items 1 through 7 on the attached Site Plan Review Checklist and be based on the Building Codes currently in effect. Please note that the new 2015 Michigan Energy Code incorporating ASHRAE 90.1-2013 became effective September 20, 2017.

The Architect for the Building A may wish to consider using the 2015 Michigan Rehabilitation Code for Existing Buildings when completing the code analysis.

2. For each building, please provide an enlarged plan of the building pedestal (curb to building) showing curbs, walks, curb cuts, etc., grades at building perimeter and drainage patterns. Coordinate the finish grade at the building with the Architect and their exterior wall details.
 - a. Accessible routes and surfaces shall meet requirements of A117.1.
 - b. Provide details of the bike racks and maintain width of accessible route at the racks.
3. Barrier free parking counts for each area should be based on Section 138-11.300 of the City Ordinance.
 - a. Please provide a total of 5 spaces in area C and 8 in area D.
4. Please provide details of sidewalk ramps that comply with the Americans with Disability Act (ADA). At sidewalk ramps located in the right-of-ways, please refer to the Americans with Disabilities Act of 1990 for requirement details. The City of Rochester Hills does not enforce the ADA requirements, conformance to these requirements is the responsibility of the design team and the owner.
5. A building permit will be required for installation of site lighting. Lighting and controls shall comply with the 2015 Michigan Energy Code and AHREA 90.1-2013, Section 9.
 - a. Show location of site lighting power feed and light controls.

If there are any questions, please call the Building Department at 248-656-4615. Office hours are 8 a.m. to 4:30 p.m. Monday through Friday.



CITY OF ROCHESTER HILLS – BUILDING DEPARTMENT

COMMERCIAL SITE PLAN REVIEW CHECKLIST

The following information is required on plans submitted for Site Plan Review.

- Section references and those in parentheses () relate to the Michigan Building Code - 2015 unless otherwise noted.
- Section references to accessibility items relate to the ICC A117.1-2009, unless otherwise noted.
- Circled items are areas of concern that need to be addressed with the next submittal.

BUILDING CODE REQUIREMENTS

1. Provide a list of all construction codes that will be applicable to the project at the time of application for building permit.
2. Classify the building with respect to occupancy in one or more of the groups listed in Section 302.
 - a. Where a building contains more than one occupancy group, identify the type of mixed uses and the corresponding occupancy groups including:
 - i. Accessory occupancies (508.2),
 - ii. Non-separated occupancies (508.3),
 - iii. Separated occupancies (508.4), and/or
 - iv. Combinations of the above
3. Indicate proposed structures Construction Classification Type per the requirements of Section 602.
4. Provide a building height and number of stories analysis based on Section 504 and Tables 504.3 and 504.4.
 - a. Include any increases allowed per applicable provisions of Sections 504 for automatic sprinkler system.
5. Provide a building area analysis based on Section 506 and Table 506.2.
 - a. Include any increases allowed per applicable provisions of Sections 506 for frontage and/or automatic sprinkler system.
6. Indicate if a full or limited area automatic sprinkler and/or fire alarm system will be installed per Chapter 9.
 - a. If an automatic sprinkler system exists and/or is proposed, show the location of the Fire Department Connection (FDC).
7. Indicate setbacks from property lines and/or fire separation distances from adjacent buildings on the same site (107.2.5 and 705.3).
 - a. If two or more buildings are on the same lot, indicate whether they shall be regulated as separate buildings or shall be considered as portions of one building (503.1.2).
 - i. If treated as separate buildings indicate fire-resistant rating requirements for exterior walls based on Table 602 and allowable wall openings per Table 705.8.
8. On the site plan and the floor plans identify all entrances per applicable provisions of Section 1105.

- a. Identify all public entrances including all accessible public entrances (1105.1), all restricted entrances (1105.1.3), and all service entrances (1105.1.5).
- 9. Indicate any of the following applicable proposed accessible route/routes to the accessible entrances.
 - a. Accessible routes within the site shall be provided from public transportation stops; accessible parking; accessible passenger loading zones; and public streets or sidewalks to the accessible building entrance served (1104.1).
 - i. Other than in buildings or facilities containing or serving Type B units, an accessible route shall not be required between site arrival points and the building or facility entrance if the only means of access between them is a vehicular way not providing for pedestrian access.
 - b. At least one accessible route shall connect accessible buildings, accessible facilities, accessible elements and accessible spaces that are on the same site (1104.2).
 - i. An accessible route is not required between accessible buildings, accessible facilities, accessible elements and accessible spaces that have, as the only means of access between them, a vehicular way not providing for pedestrian access.
 - c. Provide sufficient grade information on the plans along the proposed accessible route/routes to verify compliance with the requirements of A117.1 Section 402.
 - d. Provide details (as applicable) of the following components along the proposed accessible route/routes to verify compliance with A117.1:
 - i. Section 404 for door maneuvering clearance and ground surface slope.
 - ii. Section 405 for ramps.
 - iii. Section for curb ramps.
- 10. Indicate the number of accessible parking spaces provided including van accessible spaces as required by Section 1106.
 - a. All accessible parking spaces shall be a Universal Barrier Free Design to allow van access in any accessible parking space per the City Ordinance Section 138-11.300. Universal barrier free spaces shall be 11 feet in width with a 5 foot access aisle.
 - b. Indicate the proposed surface slopes of accessible parking spaces and their access aisles. Provide sufficient point elevations on the plan at the perimeter of such spaces to clearly verify the provisions of A117.1 Section 502.5 have been satisfied (1:48 max slope).
 - c. Provide details of required accessible parking signage per the requirements of A117.1 Section 502.7.
- 11. Where required by Section 1106.7 and/or are proposed indicate location of passenger loading zones.
 - a. Provide details/dimensions of proposed passenger loading zones and their accessible access aisles per Section 1106.7 and A117.7 Section 503.
 - b. Indicate the proposed surface slopes of accessible passenger loading zone access aisles. Provide sufficient point elevations on the plan at the perimeter of access aisles to clearly verify the provisions of A117.1 Section 503.4 have been satisfied (1:48 max. slope).
 - c. Provide vertical clearance complying with A117.7 Section 503.5.
- 12. Detectible warnings are required at sidewalk ramps located in the road right-of-ways.
 - a. Please refer to ADA (Americans Disability Act) requirements for details of detectible warnings at sidewalk ramps. Provide a detail on the plans complying with these requirements. Although not enforced by the City of Rochester Hills, the ADA (Americans Disability Act) requires detectible warnings to be provided

at all sidewalk ramps (including those on site). Conformance to these requirements is the responsibility of the project's designer and owner.

13. Provide sufficient grade information on the plan to verify compliance with Section 1804.3 for site grading away from the building (2% minimum).

If there are any questions, please call the Building Department at 248-656-4615. Office hours are 8 a.m. to 5 p.m. Monday through Friday.

CODES CURRENTLY IN EFFECT

City of Rochester Hills

September 20, 2017

Building:

Commercial: MBC 2015 (Michigan Building Code 2015)
Effective April 20, 2017
Accessibility – ICC ANSI A117.1-2009
Residential: MRC 2015 (Michigan Residential Code 2015)
Effective February 8, 2016

Plumbing:

Commercial: MPC 2015 (Michigan Plumbing Code 2015)
Effective April 20, 2017
Residential: MRC 2015 (Michigan Residential Code 2015)
Effective February 8, 2016

Mechanical:

Commercial: MMC 2015 (Michigan Mechanical Code 2015)
Effective April 12, 2017
Fuel gas: IFGC 2015 (International Fuel Gas Code 2015)
Effective April 20, 2015
Residential: MRC 2015 (Michigan Residential Code 2015)
Effective February 8, 2016

Electrical:

Commercial: NEC 2014 (State of Michigan Electrical Code)
2014 National Electrical Code with Part 8 Amendments
Effective June 18, 2015
Residential: MRC 2015 (Michigan Residential Code 2015)
Effective February 8, 2016

Rehab:

MRCEB 2015 (Michigan Rehabilitation Code for Existing Buildings 2015)
Effective December 13, 2016

Fire Code:

IFC 2015 (International Fire Code 2015), as referenced in the 2015 Michigan Building Code

Fire Suppression:

Commercial:	NFPA 13 (2013)	Multiple Family:	NFPA 13R (2013)
Residential:	NFPA 13D (2013)		

Fire Alarm

Commercial:	NFPA 72 (2013)	Paint Booths:	NFPA 17 (2013)
Kitchen Hoods:	NFPA 17A (2013)	Residential:	NFPA 72 (2013)

Energy Code

Commercial: MBC 2015 (Michigan Building Code 2015) – Chapter 13 &
MEC 2015 (Michigan Energy Code 2015) – Chapter 4 &
Michigan Energy Code, Part 10a. Rules (ANSI/ASHRAE IES Standard 90.1-2013)
Effective September 20, 2017
Residential: MRC 2015 (Michigan Residential Code 2015) - Chapter 11
Effective February 8, 2016

Codes can be purchased by going to the Michigan Department of Labor & Economic Growth, Bureau of Construction Codes & Fire Safety, Lansing, MI 48909, or their website at: www.michigan.gov/bcc - Codes and Standards

The codes noted above are adopted by the City of Rochester Hills Codified Ordinance Section 18-41 and 18-136.



FIRE DEPARTMENT
Sean Canto
Chief of Fire and Emergency Services

From: William A. Cooke, Assistant Chief / Fire Marshal
To: Planning Department
Date: November 28, 2017
Re: The Winchester District

SITE PLAN REVIEW

FILE NO: 17-036

REVIEW NO: 1

APPROVED X

DISAPPROVED _____

The Fire Department recommends approval of the above reference site plan contingent upon the following conditions being met:

Overall Site Plan Comments

1. Provide documentation, including calculations that of existing fire flow for the proposed development.
IFC 2006 Section 508.4
 - *Fire flow data can be obtained by contacting the Rochester Hills Engineering Department at (248) 656-4640.*

Building "A" Comments

1. Provide note on sheet C-3.0 under heading "Fire Department Notes": "Exit doors shall remain free of obstructions at all times. Provide guard posts or other acceptable means of protecting exit doors opening onto drives and parking areas."
IFC 2006 Section 1028.2"

William A. Cooke
Assistant Chief / Fire Marshal



DPS/Engineering
Allan E. Schneck, P.E., Director

JRB

From: Jason Boughton, AC, Engineering Utilities Coordinator
To: Kristen Kapelanski, AICP, Manager of Planning
Date: December 6, 2017
Re: The Winchester District, City File #17-036, Section 22
Site Plan Review #2

Engineering Services has reviewed the site plan received by the Department of Public Services on November 20, 2017, for the above referenced project. Engineering Services **does** recommend site plan approval with the following comments:

Sanitary Sewer

1. Revise the utility plan sheet with regards to proposed Building D. The sanitary basis of design states that the use of this building is office but on the plan view, it shows a grease interceptor being proposed which is more commonly needed for a restaurant.

Traffic/Pathway/Sidewalk

1. On the previous review letter the total parking spaces were to be reduced to 467. The plans currently show 561 spaces; please clarify.
2. Show truck circulation is adequate to the truck docks behind Building A.
3. Where the sidewalks connect into the city pathway, a landing along the pathway needs to be provided.

The applicant will need to submit a Land Improvement Permit (LIP) application with engineer's estimate, fee and construction plans to get the construction plan review process started.

JB/bd

c: Allan E. Schneck, P.E., Director; DPS
Tracey Balint, P.E., Public Utilities Engineer; DPS
Paul Shumejko, P.E., PTOE, Transportation Engineer; DPS
Keith Depp, Project Engineer; DPS

Paul Davis, P.E. City Engineer/Deputy Director; DPS
Sheryl McIsaac, Office Coordinator; DPS
Nick Costanzo, Engineering Aide; DPS
File



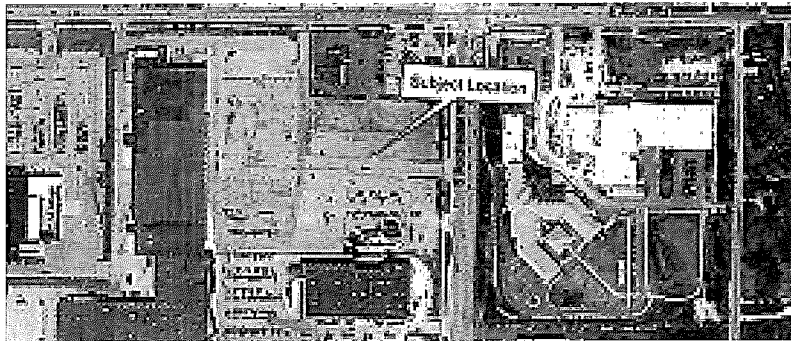
CITY OF ROCHESTER HILLS
1000 Rochester Hills Drive
Rochester Hills, MI 48309

NOTICE OF PUBLIC HEARING
ROCHESTER HILLS PLANNING COMMISSION

REQUEST: Conditional Land Use Recommendation, pursuant to the requirements of the Michigan Zoning Enabling Act (2006 PA 110, MCL 125.3103) of the State of Michigan, and pursuant to Sections 138-1.203 and 138-2.300-2.302 and 138-4.300 of Chapter 138 of the Code of Ordinances of the City of Rochester Hills, Oakland County, Michigan, to construct a drive-through at a proposed Burger King Restaurant outlot on Winchester District property on part of Parcel No. 15-22-226-014, zoned B-3, Shopping Center Business with an FB-3 Flexible Business Overlay (City File No. 17-036).

LOCATION: Near the southwest corner of Rochester and Avon

APPLICANT: Craig Singer
Rochester KM Partners
c/o First Holding Management Co.
6960 Orchard Lake Rd., Suite 300
West Bloomfield, MI 48322



DATE OF PUBLIC HEARING: Tuesday, December 19, 2017
at 7:00 p.m.

LOCATION OF PUBLIC HEARING: Rochester Hills Municipal Offices
1000 Rochester Hills Drive
Rochester Hills, Michigan 48309

Plans for this development may be seen at www.rochesterhills.org, City Government, Departments, Planning & Econ Dev., Interactive Map. Information concerning this request may be obtained from the Planning Department during regular business hours from 8:00 a.m. to 5:00 p.m., Monday through Friday, or by calling (248) 656-4660. Written comments concerning this request will be received by the City of Rochester Hills Planning Department, 1000 Rochester Hills Drive, Rochester Hills, Michigan 48309, prior to the public hearing or by the Planning Commission at the public hearing. This request will be forwarded to City Council after review and recommendation by the Planning Commission, and any person having an ownership interest in the property in question, or residing or owning property within three hundred (300) feet of the property in question, may be granted a public hearing by the City Council by requesting it in writing, addressed to the Clerk of the city before the decision is made.

Deborah Brnabic, Chairperson
Rochester Hills Planning Commission

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is invited to contact the Facilities Division (248-656-2560).

Published December 4, 2017