

Owner / Developer

JS CAPITOL GROUP
945 S. ROCHESTER ROAD,
ROCHESTER HILLS, MI 48308
CONTACT:
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248.650.9850 PHONE

Architect

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1412 E. 11 MILE ROAD
ROYAL OAK, MI 48067
CONTACT:
JEFF KLATT, AIA
248.414.9270 PHONE

Civil Engineer

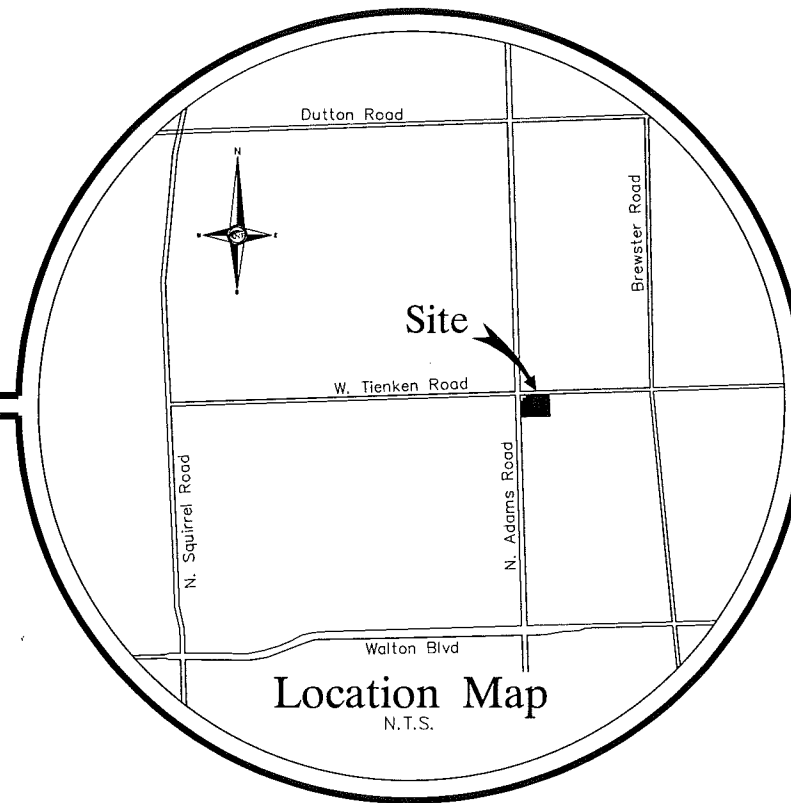
NOWAK & FRAUS, PLLC
46777 WOODWARD AVE.
PONTIAC, MI 48342
CONTACT:
MR. MICHAEL PETERSON, P.E.
248-332-7931 PHONE
248-332-8257 FAX

City of Rochester Hills,
Oakland County, Michigan

SITE PLAN

Prepared For
JS Capitol Group

PART OF THE NE. 1/4 OF SECTION 8,
CITY OF ROCHESTER HILLS,
OAKLAND COUNTY, MICHIGAN



Location Map
N.T.S.

SHEET INDEX

- C0 Cover Sheet
- C1 Boundary / Topographic Survey
- C2 Demolition Plan
- C3 Paving and Grading Plan
- C3.1 Paving and Grading Details
- C4 Utility Plan
- C5 Fire Plan
- L1 Landscape Plan
- L2 Landscape Plan

REVISIONS:
11-15-2017 SITE PLAN REVIEW

LEGAL DESCRIPTION: PER TITLE COMMITMENT

Land situated in the City of Rochester Hills, County of Oakland, State of Michigan, more particularly described as:

PARCEL 1: Part of the Northwest 1/4 of Section 8, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan, beginning at Northwest Section corner; thence South 88 degrees 59 minutes 00 seconds East 333.56 feet; thence South 01 degree 14 minutes 37 seconds West 234.03 feet; thence North 89 degrees 29 minutes 00 seconds West 332.57 feet; thence North 01 degree 00 minutes 00 seconds East 237.42 feet to beginning, except the Easterly 100 feet, also except North 60 feet of the West 90 feet and the South 20 feet of North 60 feet of West 60 feet taken for road.

APH: 15-08-100-021

PARCEL 2: Part of the Northwest 1/4 of Section 8, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan, being the Easterly 100 feet of the following described parcel: beginning at Northwest Section corner; thence South 88 degrees 59 minutes 00 seconds East 333.56 feet; thence South 01 degree 14 minutes 37 seconds West 234.03 feet; thence North 89 degrees 29 minutes 00 seconds West 332.57 feet; thence North 01 degree 00 minutes 00 seconds East 237.42 feet to beginning.

APH: 15-08-100-022

LEGAL DESCRIPTION: PROPOSED TOTAL PARCEL

PART OF THE NW 1/4 OF SECTION 8, T.3N, R.11E, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN; BEING DESCRIBED AS BEGINNING AT THE NW CORNER OF SAID SECTION 8; THENCE S. 88° 59' 00" E., 333.56 FEET ALONG THE NORTH LINE OF SAID SECTION 8; THENCE S. 01° 14' 37" W., 241.54 FEET; THENCE N. 89° 29' 00" W., 332.54 FEET; THENCE N. 01° 00' 00" E., 244.92 FEET TO THE POINT OF BEGINNING, EXCEPT THE EAST 100.00 FEET, ALSO EXCEPT THE NORTH 60.00 FEET OF THE WEST 90.00 FEET AND THE SOUTH 20.00 FEET OF THE NORTH 60.00 FEET TAKEN FOR ROAD PURPOSES. CONTAINING NET 60,933 SQUARE FEET OR 1.399 ACRES.

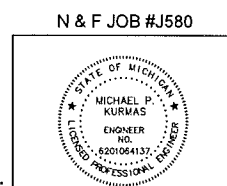
ADDRESS: 874 N. ADAMS ROAD, ROCHESTER HILLS, MI 48309-1305
APH: 15-08-100-021 & 15-08-100-022 AND PART OF 15-08-100-004

Project Name

Premier Academy

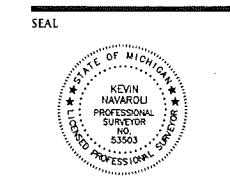
NOT TO BE USED AS
CONSTRUCTION DRAWINGS

City File #17-018



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257



PROJECT
 Premier Academy

CLIENT
 JS Capitol Group
 945 S. Rochester Road
 Rochester Hills, MI 48308
 Contact: Paul Dunn
 Phone: (248) 249-4911

PROJECT LOCATION
 Part of the NE 1/4
 of Section 8
 T.3N., R.11E.
 City of Rochester Hills,
 Oakland County, Michigan

SHEET
 Boundary / Topographic /
 Tree Survey



REVISIONS
 07-07-2017 SPA
 11-08-2017 REVISE BOUNDARY

DRAWN BY:
 N. Naoum

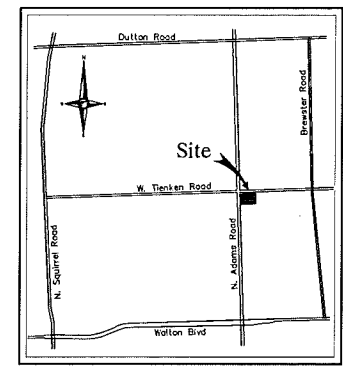
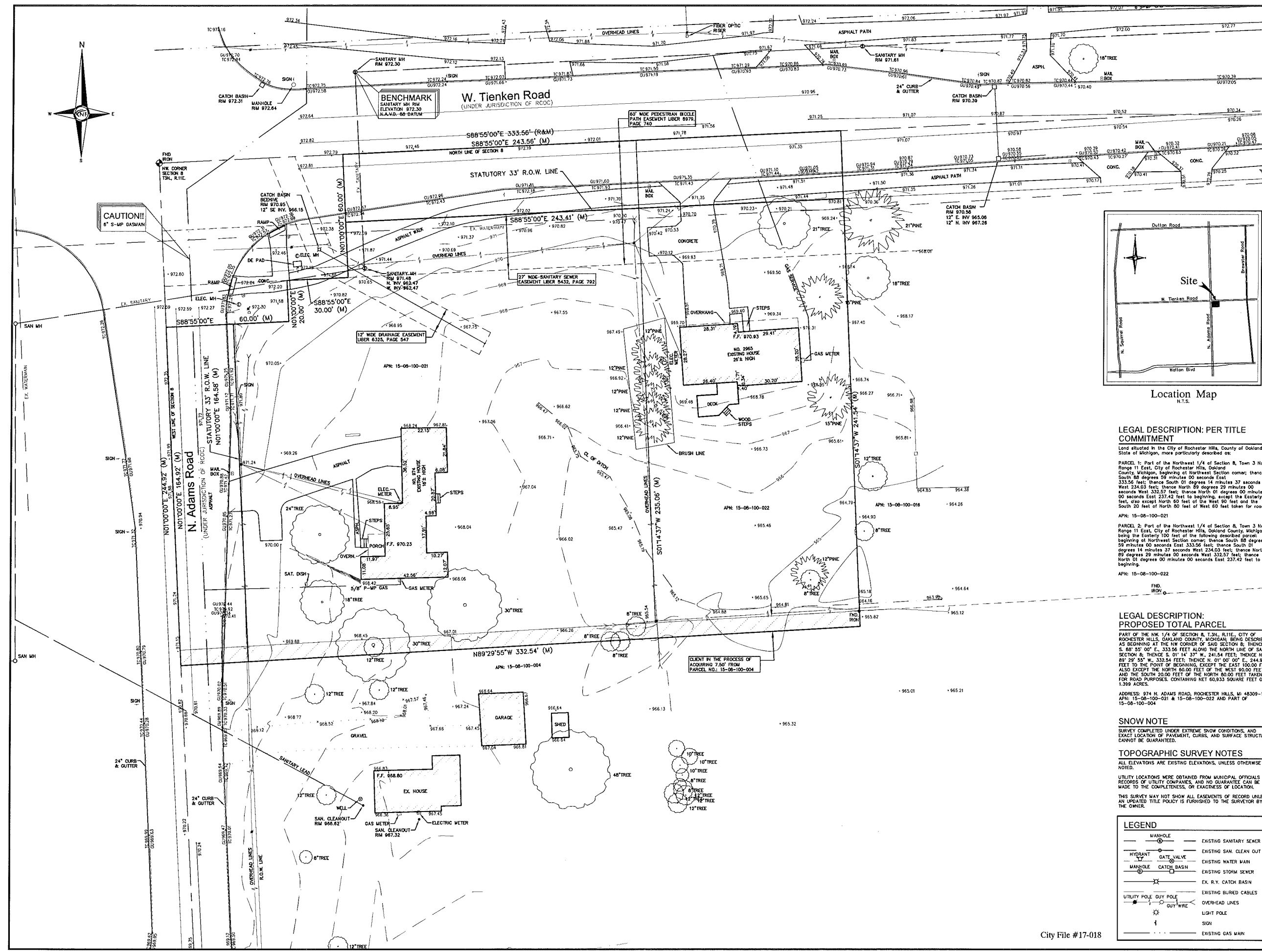
DESIGNED BY:

APPROVED BY:
 K. Navaroli

DATE:
 11-15-2017

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.
J580 CI



LEGAL DESCRIPTION: PER TITLE COMMITMENT

Land situated in the City of Rochester Hills, County of Oakland, State of Michigan, more particularly described as:

PARCEL 1: Part of the Northeast 1/4 of Section 8, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan, beginning at Northeast Section corner; thence South 80 degrees 59 minutes 00 seconds East 333.52 feet; thence South 01 degree 14 minutes 37 seconds West 234.03 feet; thence North 89 degrees 29 minutes 00 seconds East 332.57 feet to beginning, except the Eastern 100 feet, also except North 80 feet of the West 80 feet and the South 20 feet of North 80 feet of West 80 feet taken for road.

APN: 15-08-100-021

PARCEL 2: Part of the Northeast 1/4 of Section 8, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan, being the Eastern 100 feet of the following described parcel: beginning at Northeast Section corner; thence South 80 degrees 59 minutes 00 seconds East 333.56 feet; thence South 01 degree 14 minutes 37 seconds West 234.03 feet; thence North 89 degrees 29 minutes 00 seconds East 332.57 feet; thence North 01 degree 00 minutes 00 seconds East 237.42 feet to beginning.

APN: 15-08-100-022

LEGAL DESCRIPTION: PROPOSED TOTAL PARCEL

PART OF THE NW 1/4 OF SECTION 8, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN BEING DESCRIBED AS BEGINNING AT THE NW CORNER OF SAID SECTION 8; THENCE S. 88° 55' 00" E., 333.56 FEET ALONG THE NORTH LINE OF SAID SECTION 8; THENCE S. 01° 14' 37" W., 241.54 FEET; THENCE N. 89° 29' 55" W., 332.54 FEET; THENCE N. 01° 00' 00" E., 244.92 FEET TO THE POINT OF BEGINNING, EXCEPT THE EAST 100.00 FEET, ALSO EXCEPT THE NORTH 80.00 FEET OF THE WEST 80.00 FEET, AND THE SOUTH 20.00 FEET OF THE NORTH 80.00 FEET TAKEN FOR ROAD PURPOSES, CONTAINING NET 60,833 SQUARE FEET OR 1.399 ACRES.

SNOW NOTE

SURVEY COMPLETED UNDER EXTREME SNOW CONDITIONS, AND EXACT LOCATION OF PAVEMENT, CURBS, AND SURFACE STRUCTURES CANNOT BE GUARANTEED.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

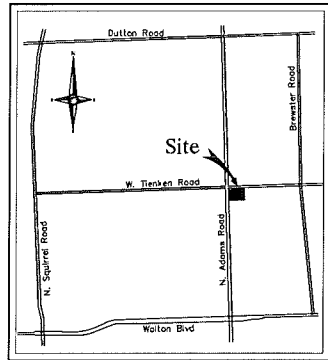
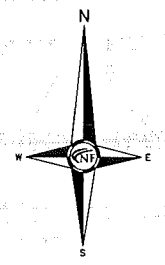
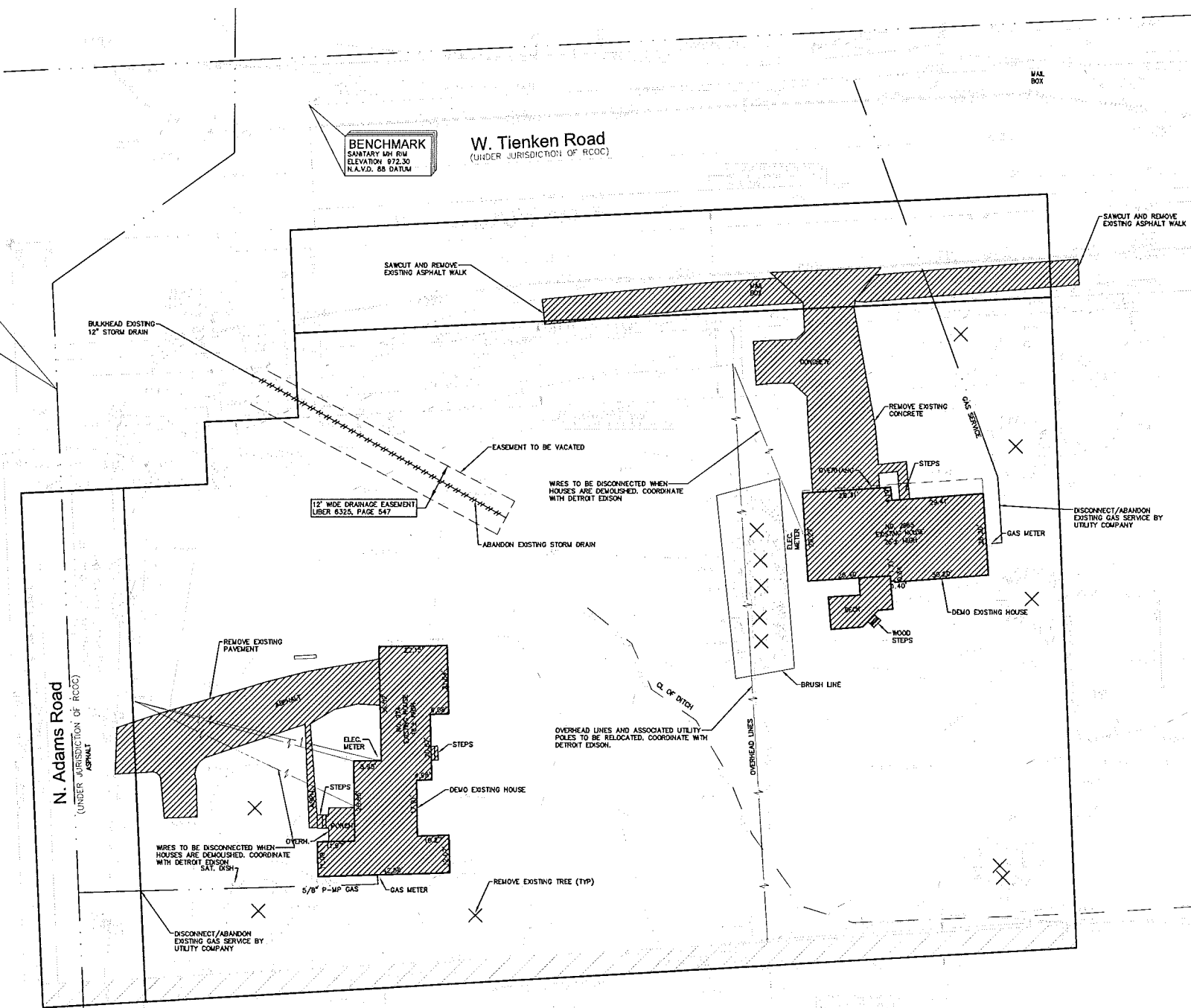
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		EXISTING SAN. CLEAN OUT
	MANHOLE		EXISTING WATER MAIN
	MANHOLE		EXISTING STORM SEWER
	MANHOLE		EX. R.Y. CATCH BASIN
	UTILITY POLE		EXISTING BURIED CABLES
	GUY WIRE		OVERHEAD LINES
	LIGHT POLE		LIGHT POLE
	SIGN		EXISTING GAS MAIN

CAUTION!!
6" S-MP GAS MAIN



Location Map
N.T.S.

DEMOLITION NOTES

DEMOLITION OF SITE IMPROVEMENTS SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE PUBLIC AGENCY HAVING JURISDICTION OVER SAID DEMOLITION. FOR ANY DEMOLITION WITHIN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR, AND SECURE, ALL NECESSARY PERMITS AND LICENSES FOR ALL SITE INSPECTIONS.

SITE DEMOLITION INCLUDES THE COMPLETE REMOVAL OF SITE IMPROVEMENTS AND OFF-SITE DISPOSAL. DEBRIS SHALL BE TRANSPORTED TO AN APPROPRIATE DISPOSAL FACILITY THAT IS LICENSED FOR THAT TYPE OF DEBRIS.

THE CONTRACTOR SHALL COORDINATE TRUCK ROUTES WITH THE MUNICIPALITY PRIOR TO COMMENCEMENT OF SITE DEMOLITION. ALL TRUCKS SHALL BE TARPED OR PROPERLY SECURED TO CONTAIN DEMOLITION DEBRIS PRIOR TO LEAVING SITE.

EXISTING ON-SITE UNDERGROUND UTILITIES AND BUILDING SERVICES HAVE BEEN INDICATED BASED UPON THE BEST AVAILABLE UTILITY RECORDS AND/OR ON-SITE INSPECTION. NO GUARANTEE IS MADE BY THE DESIGN ENGINEER, AS TO THE COMPLETENESS OR ACCURACY OF UTILITY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF UTILITY INFORMATION (THE DESIGN ENGINEER MAKES NO GUARANTEE NOR ASSUMES ANY LIABILITY AS TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY DATA).

PRIOR TO THE REMOVAL OR ABANDONMENT OF ANY EXISTING UNDERGROUND UTILITY OR BUILDING SERVICE LINES CALLED FOR IN THE PLANS OR DISCOVERED DURING EXCAVATION, THE CONTRACTOR MUST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE/ACTIVE, THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS RECONNECTED WITHOUT AN INTERRUPTION IN SERVICE. THE RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO SITE DEMOLITION.

* THE CONTRACTOR SHALL NOTIFY MISS DG (1-800-482-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF THE SITE DEMOLITION.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE DETROIT EDISON COMPANY. REMOVAL OF DETROIT EDISON ELECTRICAL SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF DETROIT EDISON.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH CONSUMERS ENERGY/MICHCON. REMOVAL OF CONSUMERS ENERGY/ MICHCON GAS SERVICES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF CONSUMERS ENERGY/MICHCON.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH AMERITECH. REMOVAL OF AMERITECH COMMUNICATION SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF AMERITECH.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE APPROPRIATE CABLE MEDIA COMPANY. REMOVAL OF CABLE SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE CABLE COMPANY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF PRIVATE UTILITY COMPANIES AND COORDINATE UTILITY SERVICE SHUT OFF/DISCONNECT, PRIOR TO DEMOLITION OF EXISTING STRUCTURES OR PROPERTIES.

ALL UTILITY METERS SHALL BE REMOVED BY THE APPROPRIATE UTILITY COMPANY.

ANY ON-SITE STORM SEWER FACILITIES LOCATED DURING DEMOLITION SHALL BE REMOVED AND BULK HEADED AT THE PROPERTY LINE IF INDICATED FOR REMOVAL ON THE PLANS.

PRIOR TO BUILDING DEMOLITION, ALL HAZARDOUS MATERIAL SHALL BE REMOVED BY OTHERS. THE DEMOLITION CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER SHOULD ANY SUSPICIOUS MATERIAL BE FOUND.

WATER SERVICES AND/OR STOP-BOX SHALL BE PRESERVED AND BULK HEADED AT THE PROPERTY LINE OR AS DIRECTED BY THE OWNER'S REPRESENTATION.

WHERE EXISTING BUILDINGS PLANNED FOR DEMOLITION FALL WITHIN PROPOSED BUILDING FOOT PRINTS, BASEMENT FLOOR SLABS, FOUNDATION WALLS AND FOOTINGS SHALL BE COMPLETELY REMOVED AND BACK FILLED WITH FOOT CLASS 1 GRANULAR MATERIAL AND BE MACHINE COMPACTED TO A MINIMUM OF 98% OF MATERIALS MAXIMUM DENSITY.

TOPOGRAPHIC SURVEY NOTES

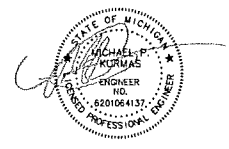
ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

LEGEND	
	EXISTING SANITARY SEWER
	EXISTING SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	EXISTING UTILITY TO BE REMOVED
	EXISTING UTILITY TO BE ABANDONED
	INDICATES EXISTING TREE TO BE REMOVED
	INDICATES AREAS OF PAVEMENT, BUILDINGS, ETC. TO BE REMOVED

SEAL



PROJECT
Premier Academy

CLIENT
JS Capitol Group
945 S. Rochester Road
Rochester Hills, MI 48308
Contact: Paul Dunn
Phone: (248) 249-4911

PROJECT LOCATION
Part of the NE 1/4
of Section 8
T.3N., R.11E.
City of Rochester Hills,
Oakland County, Michigan

SHEET
Demolition Plan



REVISIONS
7-21-17 SPA
8-23-17 SPA
11-15-17 SPA

DRAWN BY:
M. Kurmas

DESIGNED BY:
M. Kurmas

APPROVED BY:
M. Peterson

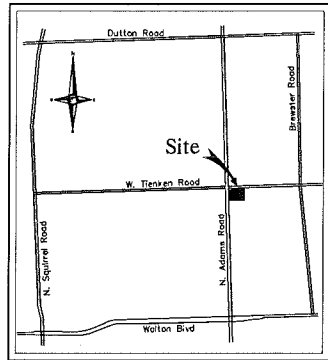
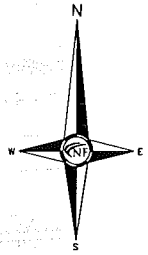
DATE:
11-15-2017

SCALE: 1" = 20'

NFE JOB NO. **J580** SHEET NO. **C2**

BENCHMARK
SANITARY MH RM
ELEVATION 972.30
N.A.M.D. 88 DATUM

W. Tienken Road
(UNDER JURISDICTION OF RCOC)

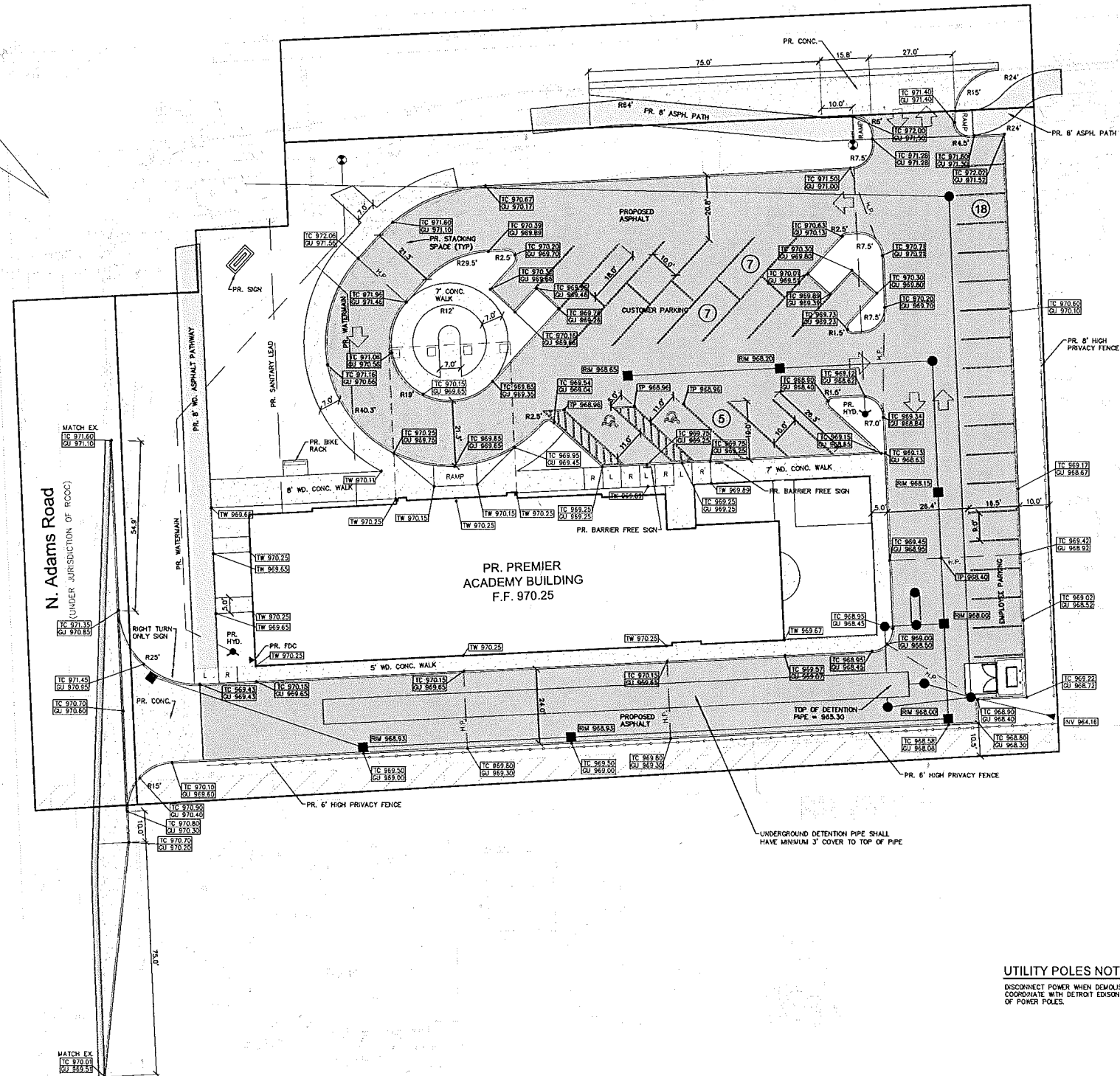


Location Map
N.T.S.

NF ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

CAUTION!!
6" S-MP GASMAIN



GENERAL PAVING NOTES
PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF 5% SLACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
ASPHALT: BASE COURSE - MODIFIED BITUMINOUS MIXTURE NO. 1100L, 20A; SURFACE COURSE - MODIFIED BITUMINOUS MIXTURE NO. 1100T, 20A; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MODIFIED SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD, MAXIMUM 2 INCH LIFT.
PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT FOURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5164.
ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.
ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.
FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LICENSE ARRANGE FOR ALL INSPECTION.
EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.
EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.
SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS INDICATED ON THE PLANS.
ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.
FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

ESTIMATED QUANTITIES
PAVING

DESCRIPTION	QUANTITY	UNITS
4" ASPHALT ON 8" 21AA BASE	2,932	S.Y.
4" ASPHALT ON 4" 21AA BASE	248	S.Y.
4" CONCRETE SIDEWALK	5,746	S.F.
8" NON-REINFORCED CONCRETE	22	S.Y.
6" CONCRETE CURB & GUTTER	1,602	L.F.
8" CONCRETE APPROACH	320	S.Y.
M.O.D.T. DRIVEWAY OPENING DETAIL "M"	277	L.F.

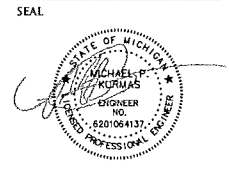
PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATERMAIN
	UTILITY POLE GUY POLE		EXISTING STORM SEWER
	C.O. MANHOLE		EX. R. Y. CATCH BASIN
	HYDRANT		EXISTING BURIED CABLES
	INLET		OVERHEAD LINES
			LIGHT POLE
			SIGN
			EXISTING GAS MAIN
			PR. SANITARY SEWER
			PR. WATER MAIN
			PR. STORM SEWER
			PR. R. Y. CATCH BASIN
			PROPOSED LIGHT POLE
	PR. TOP OF CURB ELEVATION		
	PR. GUTTER ELEVATION		
	PR. TOP OF WALK ELEVATION		
	PR. TOP OF P.W.M. ELEVATION		
	FINISH GRADE ELEVATION		

UTILITY POLES NOTE
DISCONNECT POWER WHEN DEMOLISHING THE HOUSES COORDINATE WITH DETROIT EDISON THE RELOCATION OF POWER POLES.



PROJECT
Premier Academy

CLIENT
JS Capitol Group
945 S. Rochester Road
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Contact: Paul Dunn
Phone: (248) 249-4911

PROJECT LOCATION
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of Section 8
T.3N., R.11E.
City of Rochester Hills,
Oakland County, Michigan

SHEET
Paving and Grading Plan



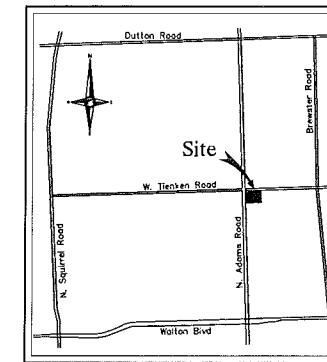
REVISIONS
7-7-17 SPA
7-21-17 SPA
8-23-17 SPA
11-15-17 SPA

DRAWN BY:
M. Kurmas
DESIGNED BY:
M. Kurmas
APPROVED BY:
M. Peterson
DATE:
11-15-2017

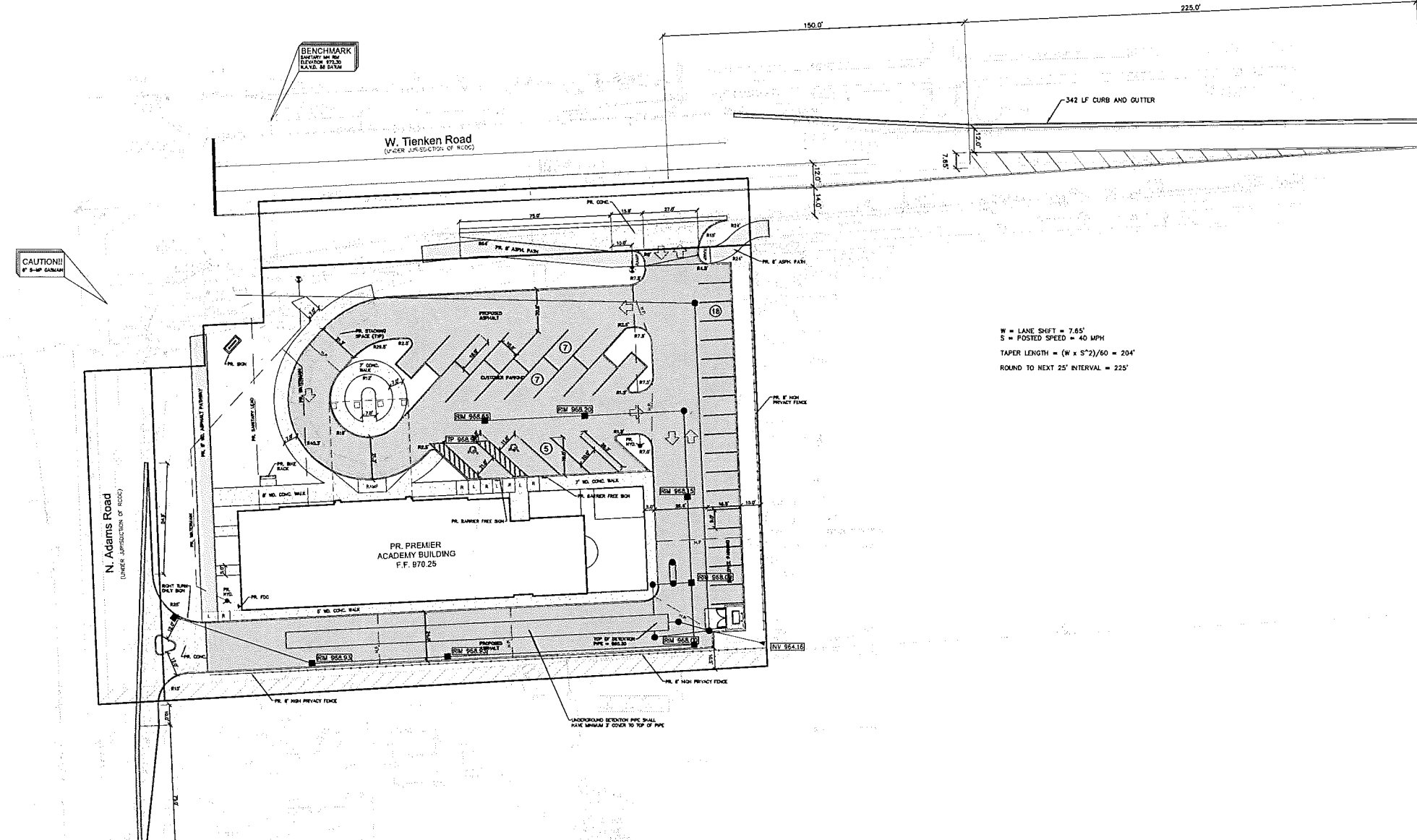
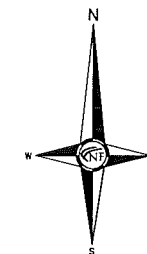
SCALE: 1" = 20'
NFE JOB NO. **J580** SHEET NO. **C3**

THIS SHEET HAS BEEN REVISED - SEE SHEET C3 REVISION DATE 12-11-17

City File #17-018



Location Map
N.T.S.



GENERAL PAVING NOTES

PAYMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF 365 SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20A; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20A; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT 55-1H EMULSION AT 0.10 GALLON PER SQUARE YARD, MAXIMUM 2 INCH LIFT.

PAYMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT FOURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMP, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

SIDEWALK RAMP, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

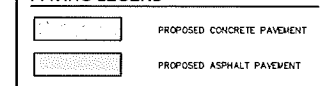
ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

ALL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 8 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

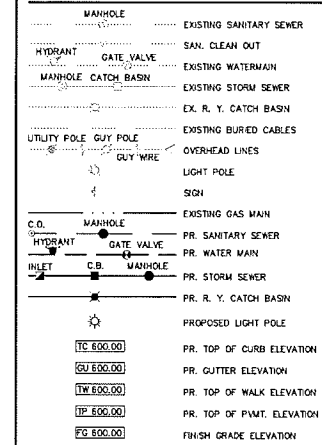
ESTIMATED QUANTITIES

DESCRIPTION	QUANTITY	UNITS
4" ASPHALT ON 8" 21AA BASE	2,932	S.Y.
4" ASPHALT ON 4" 21AA BASE	248	S.Y.
4" CONCRETE SIDEWALK	5,746	S.F.
8" NON-REINFORCED CONCRETE	22	S.Y.
6" CONCRETE CURB & GUTTER	1,602	L.F.
8" CONCRETE APPROACH	320	S.Y.
M.D.O.T. DRIVEWAY OPENING DETAIL "U"	277	L.F.

PAVING LEGEND



LEGEND



UTILITY POLES NOTE

DISCONNECT POWER WHEN DEMOLISHING THE HOUSES COORDINATE WITH DETROIT EDISON THE RELOCATION OF POWER POLES.

SEAL

PROJECT
Premier Academy

CLIENT
JS Capitol Group
945 S. Rochester Road
Rochester Hills, MI 48308
Contact: Paul Dunn
Phone: (248) 249-4911

PROJECT LOCATION
Part of the NE 1/4 of Section 8 T.3N., R.11E. City of Rochester Hills, Oakland County, Michigan

SHEET
Paving and Grading Plan



REVISIONS
7-2-17 SPA
7-21-17 SPA
8-23-17 SPA
11-15-17 SPA
12-05-17 SPA

DRAWN BY:
M. Kurmas
DESIGNED BY:
M. Kurmas
APPROVED BY:
M. Peterson

DATE:
12-05-2017

SCALE: 1" = 30'

NFE JOB NO. J580 SHEET NO. C3

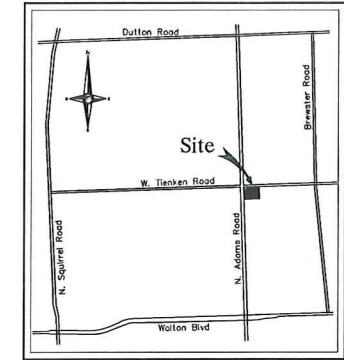
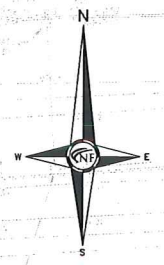
CAUTION!!
6" S-MP GASMAIN

BENCHMARK
SANITARY MHI RM
ELEVATION 972.30
N.A.V.D. 66 DATUM

W. Tienken Road
(UNDER JURISDICTION OF RCOC)

N. Adams Road
(UNDER JURISDICTION OF RCOC)

PR. PREMIER
ACADEMY BUILDING
F.F. 970.25



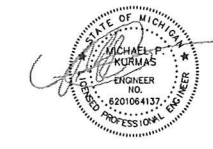
Location Map
N.T.S.



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL



PROJECT
Premier Academy

CLIENT
JS Capitol Group
945 S. Rochester Road
Rochester Hills, MI 48308
Contact: Paul Dunn
Phone: (248) 249-4911

PROJECT LOCATION
Part of the NE 1/4
of Section 8
T.3N., R.11E.
City of Rochester Hills,
Oakland County, Michigan

SHEET
Utility Plan



Know what's below
Call before you dig.

REVISIONS

NO.	DATE	DESCRIPTION
7-7-17	SPA	
7-21-17	SPA	
8-23-17	SPA	
11-15-17	SPA	

DRAWN BY:

M. Kurmas

DESIGNED BY:

M. Kurmas

APPROVED BY:

M. Peterson

DATE:

11-15-2017

SCALE: 1" = 20'

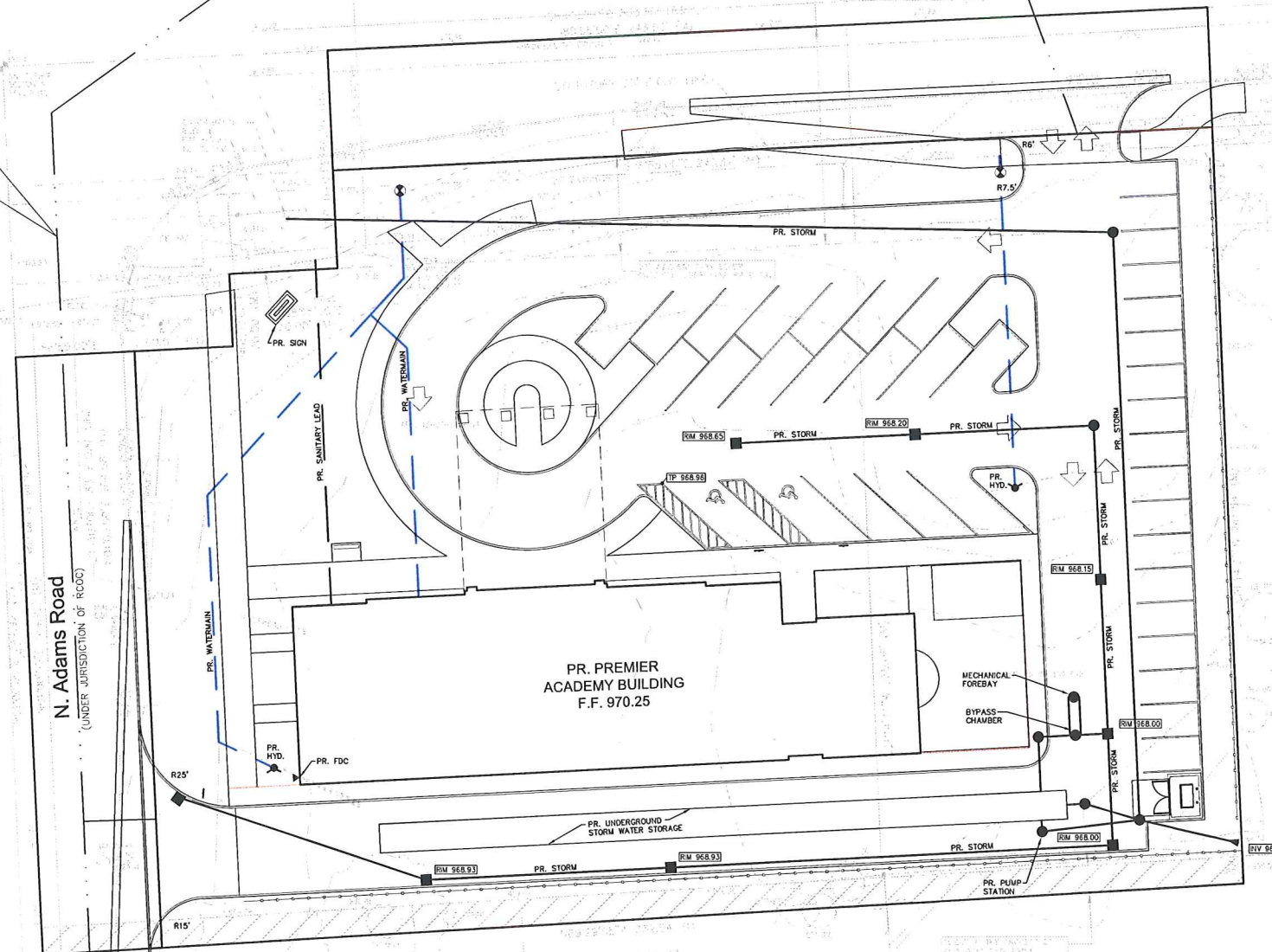


NFE JOB NO.

J580

SHEET NO.

C4



ESTIMATED QUANTITIES

DESCRIPTION	QUANTITY	UNITS
12" C-76, CLASS IV, SEWER PIPE	949	L.F.
96" CORRUGATED METAL PIPE	190	L.F.
MECHANICAL FOREBAY	1	EA.
BYPASS CHAMBER	1	EA.
PUMP STATION	1	EA.
4' DIA. CATCH BASIN W/ 2' SUMP	7	EA.
4' DIA. MANHOLE	6	EA.
2' DIA. INLET	1	EA.
SEWER TAP/CONNECTION	1	EA.

DESCRIPTION	QUANTITY	UNITS
6" PVC, SDR 23.5, BUILDING LEAD	98	L.F.
SEWER TAP/CONNECTION	1	EA.

DESCRIPTION	QUANTITY	UNITS
6" D.I., CLASS 54, WATER MAIN	91	L.F.
2" X" COPPER BUILDING SERVICE	118	L.F.
6" HYDRANT ASSEMBLY	1	EA.
8" TAPPING SLEEVE C.V. & WELL	1	EA.
WATER MAIN CONNECTION	1	EA.

LEGEND

MANHOLE	EXISTING SANITARY SEWER
HYDRANT	SAN. CLEAN OUT
GATE VALVE	EXISTING WATER MAIN
MANHOLE CATCH BASIN	EXISTING STORM SEWER
UTILITY POLE	EX. R. Y. CATCH BASIN
GUY POLE	EXISTING BURIED CABLES
GUY WIRE	OVERHEAD LINES
LIGHT POLE	SIGN
EXISTING GAS MAIN	
PR. SANITARY SEWER	
PR. WATER MAIN	
PR. STORM SEWER	
PR. R. Y. CATCH BASIN	
SAND BACKFILL (95% DENSITY)	
PROPOSED LIGHT POLE	

Project: Premier Academy
Date: 8/22/2017

SANITARY SEWER BASIS OF DESIGN

0.012 R.E.U. Per Student + Employee (187 Total) = 2.24 REU
*Note: 1 R.E.U. Equals 100 G.P.D. = 2.24 TOTAL REU

AVE Q. = $\frac{(100 \text{ G.P.C.P.D.} \cdot \# \text{ of People})}{(86,400 \text{ SEC/DAY} \cdot 7.48 \text{ GAL./C.F.})} = 0.0003 \text{ cfs}$

Peaking Factor = $\frac{100 (18 + P^{.5}) / (4 + P^{.5})}{(P = \text{POP. IN THOUSANDS})} = 4.46$
= 5

PEAK Q = $\frac{(\text{G.P.C.P.D.} \cdot \# \text{ of People})}{(86,400 \text{ SEC/DAY} \cdot 7.48 \text{ GAL./C.F.})} = 0.0017 \text{ cfs}$

SIZE OF SANITARY SEWER = 6 inch

PIPE SLOPE = 1.00 %

PIPE CAPACITY = 0.56 cfs.

Project: Premier Academy
Date: 08/22/17

DETENTION CALCULATION 25 YEAR STORM PER OAKLAND COUNTY STANDARDS

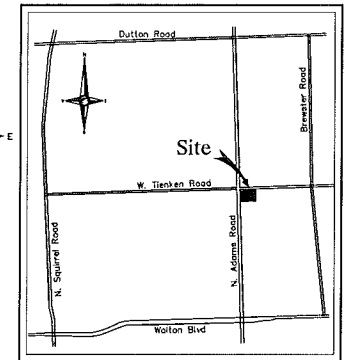
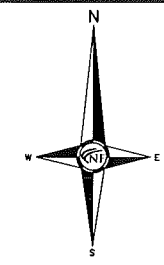
ALLOWABLE DISCHARGE AREA	C1 = 0.20 CFS/ACRE
RUNOFF COEFF	A = 1.347 ACRES
	C = 0.744
TOTAL ALLOWABLE DISCHARGE	QA = C1 x A = 0.27 CFS
ALLOWABLE OUTFLOW	QO = QA / (A x C) = 0.27 CFS/ACRE
PEAK STORAGE TIME	T = 25 + (SQR(8062.5 / QO)) = 148.18 MINUTES
MAX. STORAGE VOLUME/ACRE	VS = (12900 x T / (T + 25)) - (40 x QO x T) = 9444.44 CU.FT./ACRE
TOTAL STORAGE REQUIRED	VT = VS x A x C = 9464.92 CU.FT.
TOTAL STORAGE PROVIDED	9550.00 CU.FT.

Determine Site Runoff Coefficient - Premier Academy

Proposed Land Use:	Runoff Coefficient:	Drainage Area:	
Pavement	0.95	0.760	Acres
Building	0.95	0.190	Acres
Landscape / Open Space:	0.25	0.397	Acres
Detention Basin	1.00	0.000	Acres
Total Acreage:		1.347	Acres
Weighted Runoff Coefficient "C" Factor =		0.744	

BENCHMARK
SANITARY MH RM
ELEVATION: 972.30
N.A.V.D. 88 DATUM

W. Tienken Road
(UNDER JURISDICTION OF RCOC)

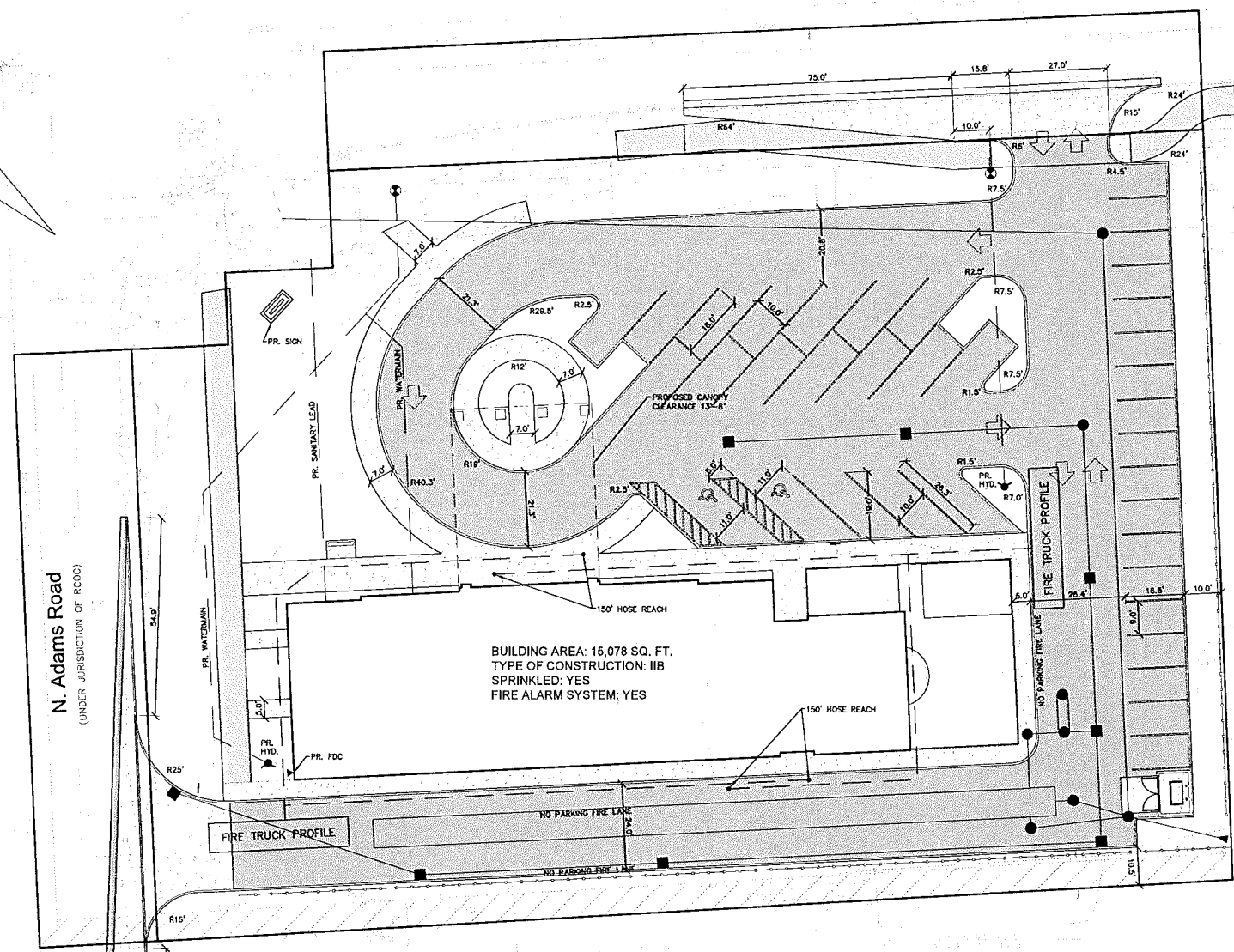


Location Map
N.T.S.

NF
ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
4677 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

CAUTION!!
6" S-WP GASMAIN



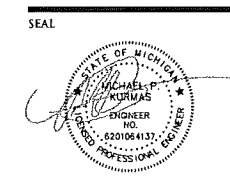
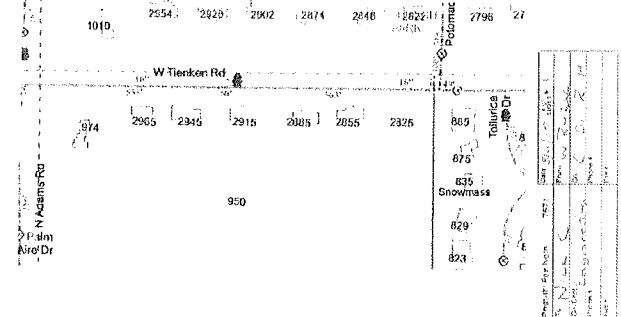
BUILDING AREA: 15,078 SQ. FT.
TYPE OF CONSTRUCTION: IIB
SPRINKLED: YES
FIRE ALARM SYSTEM: YES

TEST OF FLOOD RESISTANCE
HYDRAULIC FLOW TEST

Date: 6-2-17 File: 17-000001
Location: 2810 W. Tienken Rd. City of Rochester Hills, Michigan
Calculated by: S. Dunn

Number of Hydraulic Lines	1
Number of Outlets	2
Class of Outlet, D (ft.)	24.2
Flow Loss Coefficient, K _L	0.9
Outlet Pressure, P ₂ (psi)	5.9
Headloss Pressure, P ₁ (psi)	5.5
Flow Pressure, P ₁ (psi)	10
Headloss Friction, Q ₁ (GPM)	2320/1461
Flow Friction, Q ₂ (GPM)	7157/6000
Supply Main Size (inches)	16"
Supply Main Flow (inches)	16"

Multiplied by 0.85 per 100 ft. length
Direction of Flow Test: From a location of 2810 W. Tienken Rd.



PROJECT
Premier Academy

CLIENT
JS Capitol Group
945 S. Rochester Road
Rochester Hills, MI 48308
Contact: Paul Dunn
Phone: (248) 249-4911

PROJECT LOCATION
Part of the NE 1/4
of Section 8
T.3N., R.11E.
City of Rochester Hills,
Oakland County, Michigan

SHEET
Fire Plan



REVISIONS

7-7-17 SPA	
7-21-17 SPA	
8-23-17 SPA	
11-15-17 SPA	

DRAWN BY:
M. Kurmas
DESIGNED BY:
M. Kurmas
APPROVED BY:
M. Peterson
DATE:
11-15-2017

SCALE: 1" = 20'
NFE JOB NO. J580
SHEET NO. C5

FIRE DEPARTMENT NOTES

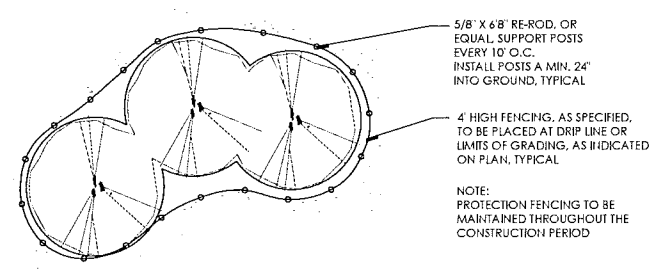
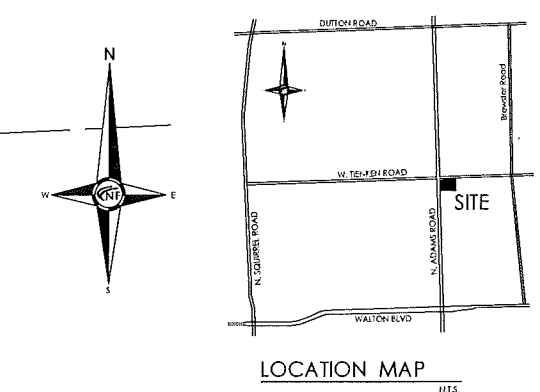
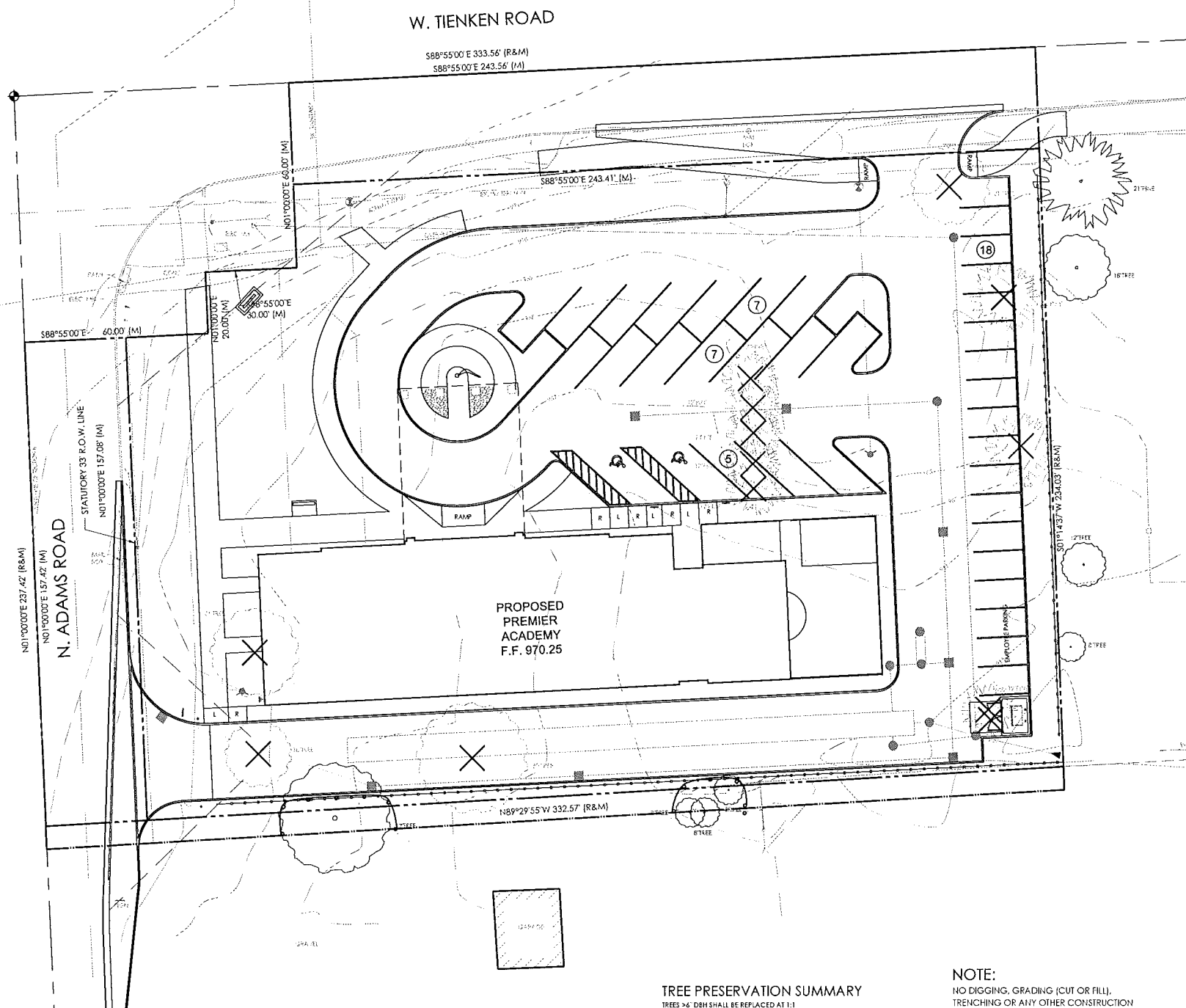
- (1) FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE".
- (2) CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14.
- (3) OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES.
- (4) A KNOX KEY SYSTEM SHALL BE INSTALLED, IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE FROM THE KNOX COMPANY AT KNOXBOX.COM.
- (5) PROVIDE A "NO PARKING FIRE DEPARTMENT CONNECTION" SIGN OVER THE FIRE DEPARTMENT CONNECTION.
- (6) SEE SHEET C3.1 FOR UNDERGROUND DETENTION STRUCTURAL CHECK.
- (7) PROVIDE A "NO PARKING FIRE DEPARTMENT CONNECTION" SIGN OVER THE FIRE DEPARTMENT CONNECTION.
- (8) A WHITE/CLEAR STROBE LIGHT SHALL BE TIED INTO THE FIRE ALARM SYSTEM AND INSTALLED OVER THE FIRE DEPARTMENT CONNECTION.

PAVING LEGEND

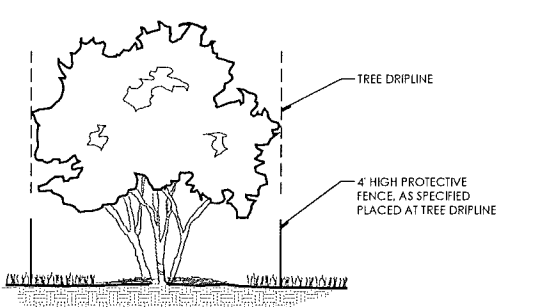
[Symbol]	PROPOSED CONCRETE PAVEMENT
[Symbol]	PROPOSED ASPHALT PAVEMENT

LEGEND

[Symbol]	MANHOLE	[Symbol]	EXISTING SANITARY SEWER
[Symbol]	HYDRANT	[Symbol]	SAN. CLEAN OUT
[Symbol]	GATE VALVE	[Symbol]	EXISTING WATERMAIN
[Symbol]	MANHOLE CATCH BASIN	[Symbol]	EXISTING STORM SEWER
[Symbol]	[Symbol]	[Symbol]	EX. R. Y. CATCH BASIN
[Symbol]	UTILITY POLE	[Symbol]	EXISTING BURIED CABLES
[Symbol]	GUY POLE	[Symbol]	OVERHEAD LINES
[Symbol]	GUY WIRE	[Symbol]	LIGHT POLE
[Symbol]	[Symbol]	[Symbol]	SIGN
[Symbol]	EXISTING GAS MAIN	[Symbol]	EXISTING GAS MAIN
[Symbol]	C.D. MANHOLE	[Symbol]	PR. SANITARY SEWER
[Symbol]	HYDRANT	[Symbol]	PR. WATER MAIN
[Symbol]	GATE VALVE	[Symbol]	PR. STORM SEWER
[Symbol]	INLET	[Symbol]	PR. R. Y. CATCH BASIN
[Symbol]	C.B. MANHOLE	[Symbol]	PROPOSED LIGHT POLE
[Symbol]	[Symbol]	[Symbol]	PR. TOP OF CURB ELEVATION
[Symbol]	[Symbol]	[Symbol]	PR. GUTTER ELEVATION
[Symbol]	[Symbol]	[Symbol]	PR. TOP OF WALK ELEVATION
[Symbol]	[Symbol]	[Symbol]	PR. TOP OF PAVT. ELEVATION
[Symbol]	[Symbol]	[Symbol]	FINISH GRADE ELEVATION



TREE PROTECTION DETAIL-PLAN NTS



TREE PROTECTION DETAIL-SECTION NTS

GENERAL TREE PROTECTION NOTES

1. APPROVED TREE PROTECTION SHALL BE ERRECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL THE IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
2. ALL UNDERSTORY VEGETATION WITHIN THE LIMITS OF PROTECTIVE FENCING SHALL BE PRESERVED.
3. NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING BUT NOT LIMITED TO, PLACING SOLVENTS, SUBSIDIC MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE.
4. WHERE GROUPINGS OF TREES ARE TO REMAIN, TREE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING LINE.
5. DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIPE TO ANY TREE SCHEDULED TO REMAIN.
6. ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
7. SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
8. TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.
9. ROOT ZONES OF PROTECTED TREES SHOULD BE SURROUNDED WITH RIGIDLY STAYED FENCING.
10. THE PARKING OF IDLE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.
11. THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.
12. ALL TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REMAIN.
13. THE GRUBBING OF UNDERSTORY VEGETATION WITHIN CONSTRUCTION AREAS SHOULD BE CLEARED BY CUTTING VEGETATION AT THE GROUND WITH A CHAIN SAW OR ANNUALLY WITH A HYDRO-AXE.
14. THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER ORDINANCE GUIDELINES. FOR THE DAMAGE OR REMOVAL OF ANY TREE DESIGNATED TO REMAIN, TREES TO BE REMOVED SHALL BE FIELD VERIFIED, EVALUATED AND FLAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT OR FORESTER, ONLY AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.
- 15.

TREE PRESERVATION SUMMARY

TREES 26" DBH SHALL BE REPLACED AT 1:1

2 CAL. DECIDUOUS =	1 CREDIT
2.5 CAL. DECIDUOUS =	1.5 CREDIT
3 CAL. DECIDUOUS =	2 CREDITS
8 HT. EVERGREEN =	1 CREDIT
10 HT. EVERGREEN =	2 CREDITS

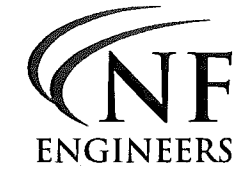
TOTAL TREES SURVEYED:	12
TOTAL DEAD TREES ON-SITE:	0
TOTAL NET REGULATED TREES:	12
TOTAL TREES TO BE SAVED:	0
TOTAL TREES TO BE REMOVED:	12
TOTAL REPLACEMENT CREDITS REQUIRED:	12
TOTAL REPLACEMENT CREDITS PROVIDED:	12 (6 TREES X 2 CREDITS)

TREE PROTECTION LEGEND

- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED
- PROPOSED TREE PROTECTION FENCING

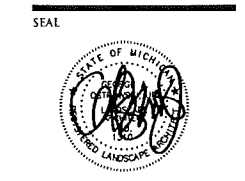
NOTE:
NO DIGGING, GRADING (CUT OR FILL), TRENCHING OR ANY OTHER CONSTRUCTION OPERATION IS PERMITTED WITHIN THE DRIPLINE OF ANY TREE DESIGNATED FOR PRESERVATION.

NOTE:
SEE SHEET L2, LANDSCAPE PLAN FOR PROPOSED TREE REPLACEMENT LOCATIONS



**CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS**

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL (248) 332-7931
FAX (248) 332-8257



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Premier Academy

CLIENT
JS Capitol Group
945 S. Rochester Road
Rochester Hills, MI 48308
Contact: Paul Dunn
Phone: (248) 249-4911

PROJECT LOCATION
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of Section 8
T.3N., R.11E.
City of Rochester Hills,
Oakland County, Michigan

SHEET
Tree Preservation Plan

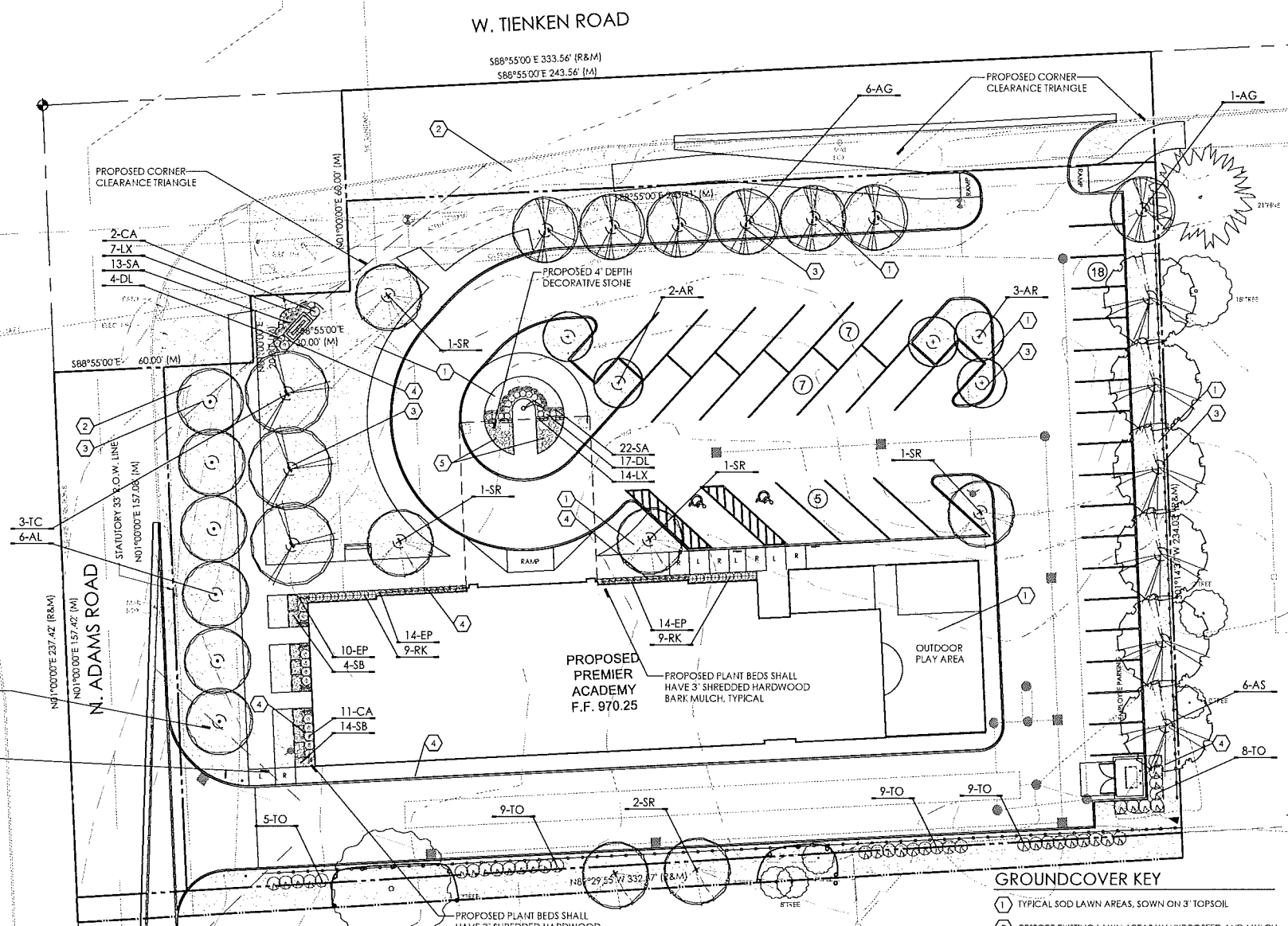
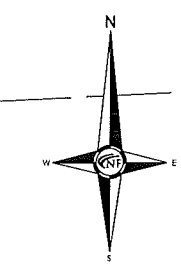


REVISIONS

11/06/17 SPA	

DRAWN BY:
G. Ostrowski
DESIGNED BY:
G. Ostrowski
APPROVED BY:
G. Ostrowski
DATE:
06-01-2017

SCALE: 1" = 20'
20 10 0 10 20 30
NFE JOB NO. J580
SHEET NO. L1



LANDSCAPE REQUIREMENTS

EXISTING SITE ZONING: R-3 SINGLE FAMILY RESIDENTIAL DISTRICT
EXISTING SITE AREA: 58,685.83 S.F. OR 1.35 ACRES

GENERAL LANDSCAPE AREA
TOTAL LANDSCAPE AREA PROVIDED: 51,036.99 S.F. (16% OF SITE)

FRONTAGE REQUIREMENTS
1 TREE PER 35 L.F. AND 1 ORNAMENTAL TREE PER 60 L.F.
TIENKEN ROAD: 243.56 L.F.
REQUIRED: 243.41/35 = 7 DECIDUOUS TREES
243.41/60 = 4 ORNAMENTAL TREES

ADAMS ROAD: 204 L.F.
REQUIRED: 204 / 35 = 6 DECIDUOUS TREES
204 / 60 = 3 ORNAMENTAL TREES

PARKING LOT LANDSCAPE REQUIREMENTS
5% OF VEHICLE USE AREA, 1 TREE PER 150 S.F. OF REQUIRED AREA
VEHICLE USE AREA: 25,957.32 S.F.
REQUIRED AREA: 25,957.32 S.F. X 5% = 1,297.87 S.F.
REQUIRED TREES: 1,297.87 S.F. / 150 S.F. = 8.6 OR 9 TREES

TOTAL TREES PROVIDED: 9 TREES
TOTAL AREA PROVIDED: 1,324.56 S.F.

REPLACEMENT TREE REQUIREMENTS
REQUIRED REPLACEMENT CREDITS: 12
PROVIDED REPLACEMENT CREDITS: 12 CREDITS (6 TREES X 2 CREDITS)

CITY OF ROCHESTER HILLS NOTES

1. FROM THE RELEASE OF THE PERFORMANCE BOND BY THE CITY OF ROCHESTER HILLS, THE LANDSCAPE ARCHITECT SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS TO BE OBTAINED BY THE CITY OF ROCHESTER HILLS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHRUBS AND FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
2. ALL TREES AND SHRUBS SHALL BE PLANTED AT LEAST 10 FEET FROM THE EDGE OF A PUBLIC ROADWAY UNLESS OTHERWISE SPECIFIED BY THE CITY OF ROCHESTER HILLS.
3. ALL TREES AND SHRUBS SHALL BE PLANTED AT LEAST 5 FEET FROM THE EDGE OF A PUBLIC ROADWAY UNLESS OTHERWISE SPECIFIED BY THE CITY OF ROCHESTER HILLS.
4. ALL TREES AND SHRUBS SHALL BE PLANTED AT LEAST 10 FEET FROM THE EDGE OF A PUBLIC ROADWAY UNLESS OTHERWISE SPECIFIED BY THE CITY OF ROCHESTER HILLS.
5. ALL TREES AND SHRUBS SHALL BE PLANTED AT LEAST 10 FEET FROM THE EDGE OF A PUBLIC ROADWAY UNLESS OTHERWISE SPECIFIED BY THE CITY OF ROCHESTER HILLS.
6. ALL TREES AND SHRUBS SHALL BE PLANTED AT LEAST 10 FEET FROM THE EDGE OF A PUBLIC ROADWAY UNLESS OTHERWISE SPECIFIED BY THE CITY OF ROCHESTER HILLS.
7. ALL TREES AND SHRUBS SHALL BE PLANTED AT LEAST 10 FEET FROM THE EDGE OF A PUBLIC ROADWAY UNLESS OTHERWISE SPECIFIED BY THE CITY OF ROCHESTER HILLS.
8. ALL TREES AND SHRUBS SHALL BE PLANTED AT LEAST 10 FEET FROM THE EDGE OF A PUBLIC ROADWAY UNLESS OTHERWISE SPECIFIED BY THE CITY OF ROCHESTER HILLS.

IRRIGATION NOTE:

EXISTING IRRIGATION SYSTEM SHALL BE EXPANDED AND RE-FITTED AS NECESSARY TO IRRIGATE ALL LANDSCAPE AREAS. ALL IRRIGATION AREAS SHALL BE IRRIGATED IN CONFORMANCE WITH THE CITY OF ROCHESTER HILLS REQUIREMENTS. WATERING WILL ONLY OCCUR BETWEEN THE HOURS OF 10 AM AND 3 PM AND WILL INCLUDE BUSH AREAS WITHIN THE PUBLIC ROW.

MASTER PLANT SCHEDULE

KEY	QTY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENT	UNIT	TOTAL COST
REPLACEMENT TREES							
AS	6	Asplenium Platyneuron	3" CAL	BAR	FULLY BRANCHED HEADS	\$227	\$1,362
						REPLACEMENT TOTAL:	\$1,900.00
FRONTAGE PLANTINGS							
AG	7	Asplenium Platyneuron	2.5" CAL	BAR	FULLY BRANCHED HEADS	\$307	\$2,149
AL	4	Asplenium Platyneuron	2.5" CAL	BAR	FULLY BRANCHED HEADS	\$307	\$1,228
TC	3	Asplenium Platyneuron	3" CAL	BAR	FULLY BRANCHED HEADS	\$327	\$981
						FRONTAGE TOTAL:	\$4,358.00
PARKING LOT PLANTINGS							
AR	5	Asplenium Platyneuron	3" CAL	BAR	FULLY BRANCHED HEADS	\$327	\$1,635
TR	4	Asplenium Platyneuron	3" CAL	BAR	FULLY BRANCHED HEADS	\$327	\$1,308
						PARKING LOT TOTAL:	\$3,573.00
MISCELLANEOUS PLANTINGS							
CA	29	Asplenium Platyneuron	2 GAL	CONT	WELL-ROOTED	\$50	\$1,450
DL	21	Asplenium Platyneuron	5 GAL	CONT	WELL-ROOTED	\$90	\$1,890
EP	38	Asplenium Platyneuron	2 GAL	CONT	WELL-ROOTED	\$50	\$1,900
LX	23	Asplenium Platyneuron	2 GAL	CONT	WELL-ROOTED	\$50	\$1,150
RA	18	Asplenium Platyneuron	5 GAL	CONT	WELL-ROOTED	\$90	\$1,620
SA	35	Asplenium Platyneuron	2 GAL	CONT	WELL-ROOTED	\$50	\$1,750
SD	15	Asplenium Platyneuron	30" HT	BAR	MANTARIAN HEDGE	\$60	\$900
TD	40	Asplenium Platyneuron	5" HT	BAR	MANTARIAN HEDGE	\$50	\$2,000
						MISCELLANEOUS TOTAL:	\$11,000.00
IIS	1	AUTOMATIC UNDERGROUND IRRIGATION SYSTEM COMPLETE					\$5,000.00

GROUND COVER KEY

- 1 TYPICAL SOD LAWN AREAS, SOWN ON 3" TOPSOIL
- 2 RESTORE EXISTING LAWN AREAS W/ HYDROSEED AND MULCH
- 3 4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
- 4 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
- 5 3/4" - 1 1/2" STONE MULCH, 3-4" DEPTH ON WEED BARRIER

ROCHESTER HILLS MAINTENANCE NOTES

1. ALL DECIDUOUS TREES SHALL BE PLANTED AT LEAST 10 FEET FROM THE EDGE OF A PUBLIC ROADWAY UNLESS OTHERWISE SPECIFIED BY THE CITY OF ROCHESTER HILLS.

2. ALL TREES AND SHRUBS SHALL BE PLANTED AT LEAST 5 FEET FROM THE EDGE OF A PUBLIC ROADWAY UNLESS OTHERWISE SPECIFIED BY THE CITY OF ROCHESTER HILLS.

3. ALL TREES AND SHRUBS SHALL BE PLANTED AT LEAST 10 FEET FROM THE EDGE OF A PUBLIC ROADWAY UNLESS OTHERWISE SPECIFIED BY THE CITY OF ROCHESTER HILLS.

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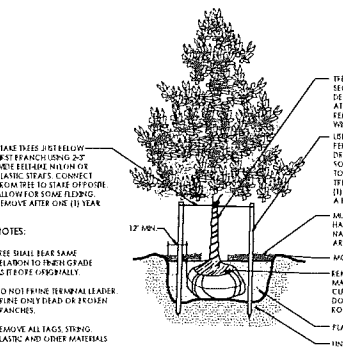
5. ALL TREES AND SHRUBS SHALL BE PLANTED AT LEAST 10 FEET FROM THE EDGE OF A PUBLIC ROADWAY UNLESS OTHERWISE SPECIFIED BY THE CITY OF ROCHESTER HILLS.

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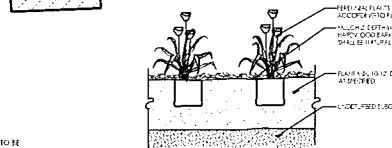
7. ALL TREES AND SHRUBS SHALL BE PLANTED AT LEAST 10 FEET FROM THE EDGE OF A PUBLIC ROADWAY UNLESS OTHERWISE SPECIFIED BY THE CITY OF ROCHESTER HILLS.

8. ALL TREES AND SHRUBS SHALL BE PLANTED AT LEAST 10 FEET FROM THE EDGE OF A PUBLIC ROADWAY UNLESS OTHERWISE SPECIFIED BY THE CITY OF ROCHESTER HILLS.

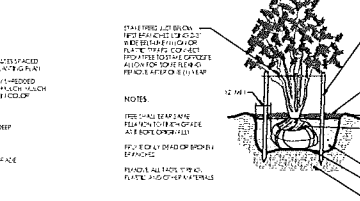
DECIDUOUS TREE PLANTING DETAIL



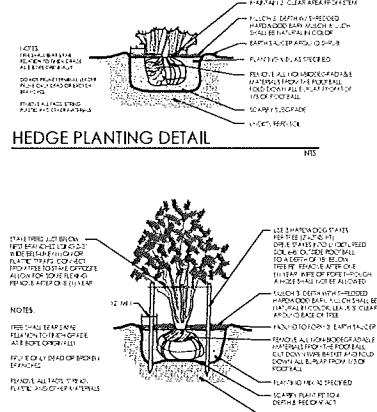
PERENNIAL PLANTING DETAIL



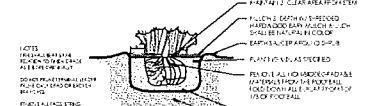
ORNAMENTAL GRASS PLANTING DETAIL



MULTI-STEM TREE PLANTING DETAIL



HEDGE PLANTING DETAIL



SEAL

PROJECT
Premier Academy

CLIENT
JS Capitol Group
945 S. Rochester Road
Rochester Hills, MI 48308
Contact: Paul Dunn
Phone: (248) 249-4911

PROJECT LOCATION
Part of the NE 1/4 of Section 8
T.3N., R.11E.
City of Rochester Hills,
Oakland County, Michigan

SHEET
Landscape Plan



REVISIONS
06/28/17 REVISED FOR CITY REVIEW
11/08/17 SPA

DRAWN BY:
G. Ostrowski
DESIGNED BY:
G. Ostrowski
APPROVED BY:
G. Ostrowski
DATE:
06-01-2017

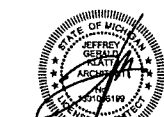
SCALE: 1" = 20'
NFE JOB NO. J580 SHEET NO. L2

Client:
 J.S. Capitol Group
 155 Romeo
 Rochester, MI 48307

Project:
 Premier Academy
 974 N. Adams Rd.
 Rochester Hills, MI, 48307

Issued	Description	By
11.01.16	Preliminary Design	
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07.25.17	SPA Revise (Parking)	
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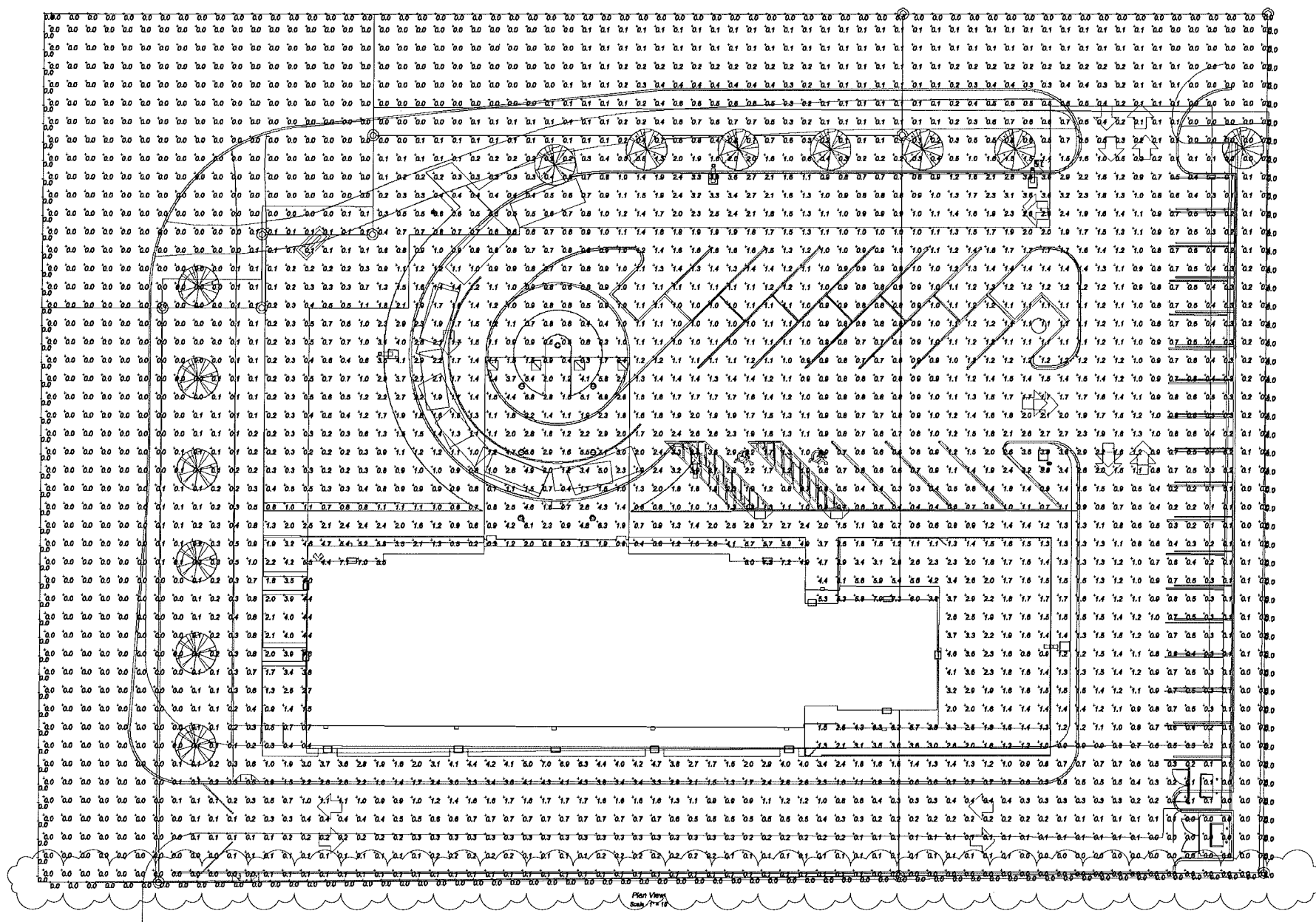
Seal:



Note:
 Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.
 North Arrow:

Sheet Title:
 Photometric Plan

Project Number:
 16-186
Sheet Number:
C.101
City File Number
 17-018



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PERIMETER	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Site Lighting	+	0.8 fc	7.9 fc	0.0 fc	N/A	N/A

Schedule

Symbol	Label	Quantity	Manufacturer	Listing Number	Description	Lamp	Number Lamps	Power	Lumens Per Lamp	Light Loss Factor	Usage
A	Lighting	1	OSRAM	OSRAM 400 300 AMPC T8M MVOLT	DIRTY LED WITH (D) 30 LED LIGHT ENHANCER, TYPE T8M OPTIC, AMBER PC, @ 700MA	LED	1	40W	4100 LM	1	82.01
B	Lighting	1	OSRAM	OSRAM 400 300 AMPC T8M MVOLT	DIRTY LED WITH (D) 30 LED LIGHT ENHANCER, TYPE T8M OPTIC, AMBER PC, @ 700MA	LED	1	40W	4100 LM	1	82.74
D	Lighting	6	OSRAM	OSRAM 360W LOGAN LES	DIRTY LED WITH (D) 30 LED LIGHT ENHANCER, TYPE T8M OPTIC, AMBER PC, @ 700MA	LED	1	360W	36000 LM	1	7.87
W1	Lighting	8	OSRAM	OSRAM 18W	7-18W, X 8-3/8"W, X 4-1/8"H WALL MOUNTED LED LAMP W/ OPTIC LENS	LED	1	18W	1800 LM	1	20.01
W2	Lighting	8	OSRAM	OSRAM 18W	7-18W, X 8-3/8"W, X 4-1/8"H WALL MOUNTED LED LAMP W/ OPTIC LENS	LED	1	18W	1800 LM	1	20.01

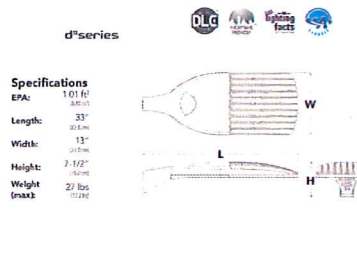
Photometric Plan

ANY LIGHTING ASSOCIATED WITH THE FLAGPOLE OR SITE SIGNAGE HAS NOT BEEN INCLUDED IN THE PHOTOMETRIC PLAN AS THEY DO NOT CONTRIBUTE TO THE FOOTCANDLE LEVELS ON THE GROUND

PRELIMINARY NOT FOR CONSTRUCTION

FIXTURE: A & B
 -15'-0" POLE FIXTURE MOUNTING HGT.
 - FIXTURE TO BE MOUNTED AT A FIXED ANGLE OF 90 DEGREES TO THE SURFACE

D-Series Size 1 LED Area Luminaire



Ordering Information **EXAMPLE: DSX1 LED 60C 1000 40X T3M MVOLT SPA DBBXD**

Series	LEDs	Power current	Color temperature	Distribution	Voltage	Mounting	Shipping/Included
DSX1 LED	Forward optics	510	4000K	T15 Spot Beam	330V	Spot Beam	Shipped separately
	33X 2000lm beam spread	700	2000K	T25 Spot Beam	120V	Spot Beam	Shipped separately
	40X 4000lm beam spread	1000	5000K	T35 Spot Beam	208V	Spot Beam	Shipped separately
	60C 4500lm beam spread	1500	5000K	T50 Spot Beam	277V	Spot Beam	Shipped separately
	60C 4500lm beam spread	1500	5000K	T35 Spot Beam	208V	Spot Beam	Shipped separately

Control options

Control options	Color systems	Finish options
SHIPPED SEPARATELY	SHIPPED SEPARATELY	SHIPPED SEPARATELY
IR Infrared non-cooled remote control	RR Remote control (see IR) - 3000K, 4000K, 5000K	SD Standard
IR+ Infrared non-cooled remote control + 3000K, 4000K, 5000K	RR+ Remote control (see IR) - 3000K, 4000K, 5000K	SL Silver
IR+T Infrared non-cooled remote control + 3000K, 4000K, 5000K	RR+T Remote control (see IR) - 3000K, 4000K, 5000K	SL Silver
IR+T+R Infrared non-cooled remote control + 3000K, 4000K, 5000K	RR+T+R Remote control (see IR) - 3000K, 4000K, 5000K	SL Silver
IR+T+R+ Infrared non-cooled remote control + 3000K, 4000K, 5000K	RR+T+R+ Remote control (see IR) - 3000K, 4000K, 5000K	SL Silver
IR+T+R+R Infrared non-cooled remote control + 3000K, 4000K, 5000K	RR+T+R+R Remote control (see IR) - 3000K, 4000K, 5000K	SL Silver
IR+T+R+R+ Infrared non-cooled remote control + 3000K, 4000K, 5000K	RR+T+R+R+ Remote control (see IR) - 3000K, 4000K, 5000K	SL Silver
IR+T+R+R+R Infrared non-cooled remote control + 3000K, 4000K, 5000K	RR+T+R+R+R Remote control (see IR) - 3000K, 4000K, 5000K	SL Silver
IR+T+R+R+R+ Infrared non-cooled remote control + 3000K, 4000K, 5000K	RR+T+R+R+R+ Remote control (see IR) - 3000K, 4000K, 5000K	SL Silver

FIXTURE: W1
 -WALL MOUNTED
 -10'-0" FIXTURE MOUNTING HGT.
 -LIGHT FIXTURE TO BE MOUNTED AT A FIXED ANGLE OF 90 DEGREES TO THE SURFACE

BEGA

Photometric Filename: Z2383.IES
 TEST: L0913203
 TEST LAB: LIGHT LABORATORY, INC.
 DATE: 06/05/2013
 LUMINAIRE: Z2 383
 LAMP: 25.3W LED

All results in accordance with IESNA LM-79-08

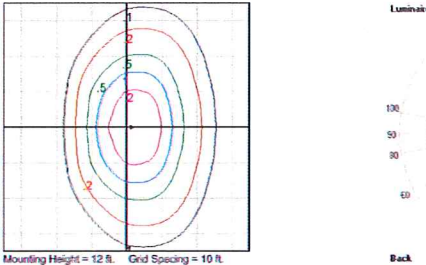
Characteristics

IES Classification	Type II
Longitudinal Classification	Very Short
Lumens Per Lamp	N.A. (absolute)
Total Lamp Lumens	N.A. (absolute)
Luminaire Lumens	1926
Downward Total Efficiency	N.A.
Total Luminaire Efficiency	N.A.
Luminaire Efficacy Rating (LER)	66
Total Luminaire Watts	29.01
Ballast Factor	1.00
Upward Waste Light Ratio	0.00
Max. Cd. (<90 Vert.)	745.01 (60H, 45V)
Max. Cd. (<90 Vert.)	745.01 (60H, 45V)
Max. Cd. (At 90 Deg. Vert.)	0 (0.0% Lum)
Max. Cd. (80 to <90 Deg. Vert.)	153.08 (7.5% Lum)
Cutoff Classification (deprecated)	N.A. (absolute)

Lum. Classification System (LCS)

LCS Zone	Lumens	Lamp	% Lum
FL(0-30)	258.1	N.A.	13.4
FM(30-60)	688.9	N.A.	35.8
FN(60-80)	270.7	N.A.	14.1
FO(80-90)	210.9	N.A.	11.0
FL(0-30)	193.0	N.A.	10.0
BM(30-60)	362.5	N.A.	18.8
BH(60-80)	122.4	N.A.	6.4
BV(80-90)	9.9	N.A.	0.5
UL(0-100)	0.0	N.A.	0.0
UH(100-180)	0.0	N.A.	0.0
Total	1926.4	N.A.	100.0

BUG Rating: B1-U0-G1



FIXTURE: D
 -SOFFIT MOUNTED
 -13'-6" FIXTURE MOUNTING HGT.



FEATURES & SPECIFICATIONS

INTERIED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Customized steel mounting brackets form, galvanized steel junction box with best-in-class surge protection and surge LEDs. Reflectors are welded by laser process.

Vertically adjustable mounting brackets with convenient bar hangers provide 3-3/4" total adjustment. Two construction 1/2" x 3/4" x 1/4" wall studs (1/4" wide) for weight through conduit race. Capacity 15 lbs. 4 max. 10 1/2 lbs. maximum. Conduit for VFC.

Accessories 17-24" post spacing.

Pay-to-cool thermal management for 25°C standard, high ambient (40°C) option available. Light output and driver are available from above or below ceiling.

Max. ceiling thickness 1 1/2".

OPTICS — LEDs are bonded to a 3-step 500K BI LED maximum LED light source mounted with diffusing optical lens.

General illumination lighting with 45, 60 and 90° beam spread. 10° beam spread available. Self-flanged concealed reflectors to optimize, semi-specular, or create diffuse lighting. Also available in white and black painted reflectors.

ELECTRICAL — Full-volt (277V/270V, 240V/230V) and 0-10V dimming drivers mounted to junction box. 10 or 15 minimum dimming levels available.

0-10V dimming feature requires fine-tune additional low-voltage wires to be pulled. 700V line maintenance at 50,000 ft/min.

LISTINGS — Certified to UL and Canadian safety standards. Being location standard (see listing, current listing applies). ENEC ENEC certified product.

WARRANTY — 5-yr limited warranty. Complete warranty information at www.lithonia.com/Customersupport.

Note: Actual performance may differ as a result of real-world environment and application. All values are design at typical values, or covered under laboratory conditions at 23°C. Specifications subject to change without notice.

ORDERING INFORMATION Lead times will vary depending on options selected. Consult with your sales representative. **Example: LDN6 3x115 LOGAR LSS MVOLT E2D**

Series	Color temperature	Lumens*	Apertures/Trim Color	Finish	Voltage
LDN6	2700K	85 200 lumens	106 Downlight	AA Gray	120V
	3500K	85 200 lumens	106 Downlight	BB White	120V
	3500K	15 350 lumens	106 Downlight	BB White	277 277V
	4000K	20 200 lumens	106 Downlight	BB White	347 347V

Options	Notes
SP Single face	High ambient option
WP White painted flange	Chicago Plenum
BLK Black painted flange	Wet location
IPR Interpack (beams)	IPR ready luminaire connector enables a single and consistent factory installed option across all ABG luminaire brands. Refer to IPB for complete connector information. Available only on B1A, B1B, B1C, B1D and PRXES.
IPR2 Interpack 2	High ambient option
IPR3 Interpack 3	High ambient option

FIXTURE: W2
 -WALL MOUNTED
 -10'-0" FIXTURE MOUNTING HGT.
 -LIGHT FIXTURE TO BE MOUNTED AT A FIXED ANGLE OF 90 DEGREES TO THE SURFACE

LED wall washers - wide spread light distribution

Housing: Constructed of marine grade, copper free die cast aluminum alloy. The housing uses stainless steel inserts for enclosure attachment. Designed for attachment to a standard recessed 2 1/2" or 4" ceiling or wiring box using a mounting bracket (provided). Die castings are made of gray, copper free (is 0.3% copper content) A380 0 aluminum alloy.

Enclosure: One piece die cast aluminum cover frame secured by copper social track stainless steel screws threaded into stainless steel inserts. Semi specular, anodized aluminum internal reflector. Safety glass lens insulated flush with aluminum frame. Fully gasketed for weather tight construction using a molded silicone rubber gasket. Can be finished in upward or downward facing position.

Electrical: 43.6H LED Luminaire, 40.5 total system watts, 20°± steel temperature. Integral 120V through 277V electronic LED driver. 0-10V dimming, LED modules are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K, 45 CRI. Add a Kit to order.

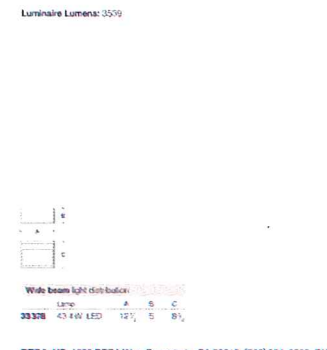
Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-USA. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 0.1 mil thickness. Available in four colors: BEGA colors: Black (BLK), White (WHI), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

CSA: Certified to U.S. and Canadian standards, suitable for wet locations. Protection class: IP65

Weight: 11.9 lbs

Luminaire Lumens: 3570

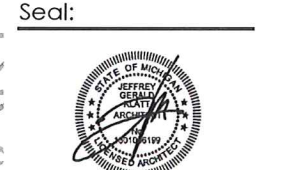


krieger klatt
ARCHITECTS
 architecture interiors consulting
 1412 E. 11 Mile Rd. | Royal Oak, MI 48067
 P: 248.414.9270 F: 248.414.9275
 www.kriegerklatt.com

Client:
 J.S. Capitol Group
 155 Romeo
 Rochester, MI, 48307

Project:
 Premier Academy
 974 N. Adams Rd.
 Rochester Hills, MI, 48307

Issued	Description	By
11.01.16	Preliminary Design	
01.13.17	Concept Plan	
02.08.17	Pre-SPA	
06.01.17	SPA	
07.07.17	SPA Revise	
07.26.17	SPA Revise (Parking)	
11.15.17	SPA Revise	



Note:
 Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field. North Arrow.

Sheet Title:
 Photometric Cut
 Sheets

Project Number:
 16-186
Sheet Number:
C.102
City File Number
 17-018

PRELIMINARY NOT FOR CONSTRUCTION

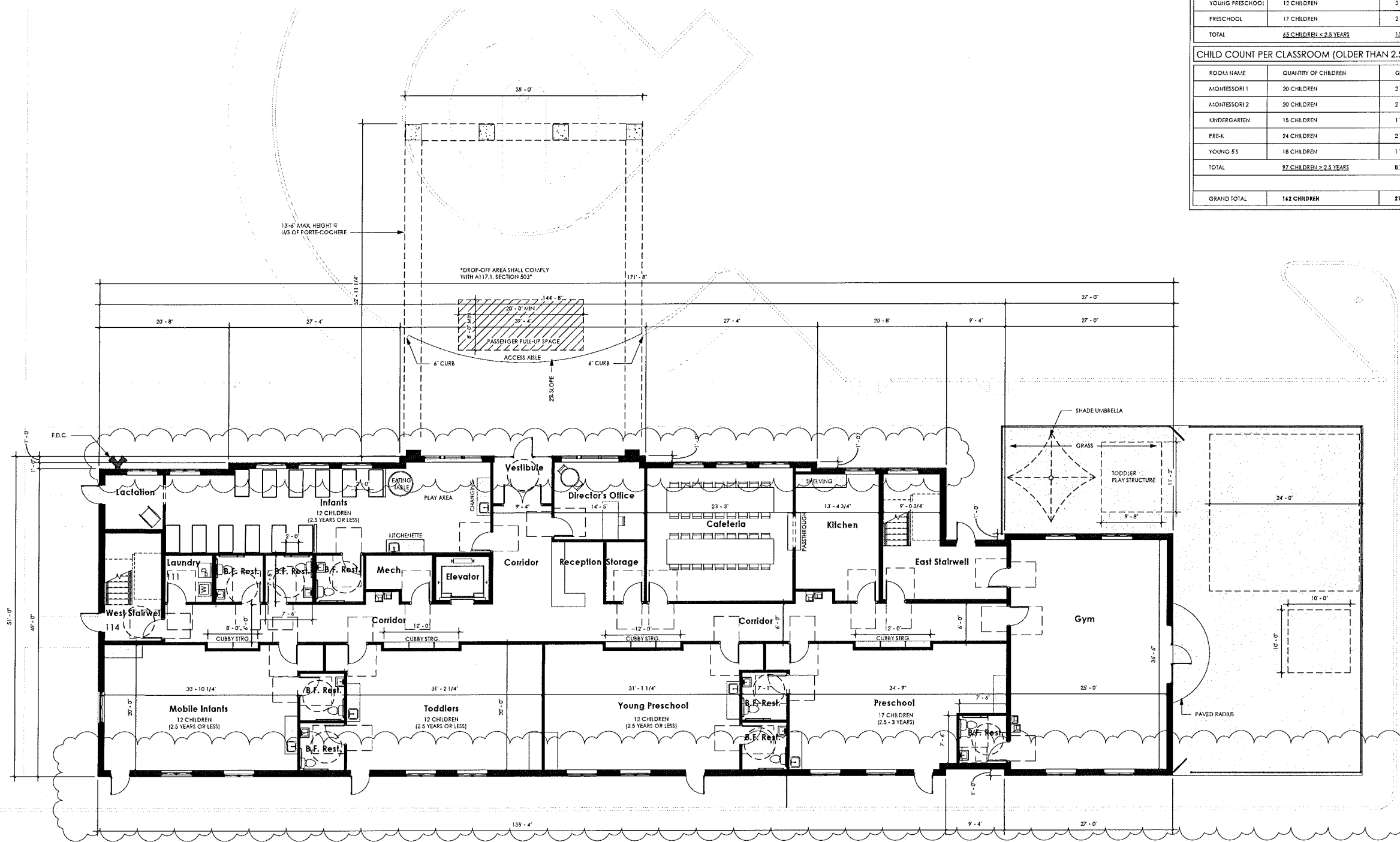
Client:
 J.S. Capitol Group
 155 Romeo
 Rochester, MI 48307

Project:
 Premier Academy
 974 N. Adams Rd.
 Rochester Hills, MI 48307

CHILD COUNT PER CLASSROOM (YOUNGER THAN 2.5 YEARS OLD)		
ROOM NAME	QUANTITY OF CHILDREN	QUANTITY OF TEACHERS
INFANTS	12 CHILDREN	3 TEACHERS
MOBILE INFANTS	12 CHILDREN	3 TEACHERS
TODDLERS	12 CHILDREN	3 TEACHERS
YOUNG PRESCHOOL	12 CHILDREN	2 TEACHERS
PRESCHOOL	17 CHILDREN	2 TEACHERS
TOTAL	65 CHILDREN < 2.5 YEARS	13 TEACHERS

CHILD COUNT PER CLASSROOM (OLDER THAN 2.5 YEARS OLD)		
ROOM NAME	QUANTITY OF CHILDREN	QUANTITY OF TEACHERS
MONTESSORI 1	20 CHILDREN	2 TEACHERS
MONTESSORI 2	20 CHILDREN	2 TEACHERS
KINDERGARTEN	15 CHILDREN	1 TEACHERS
PRE-K	24 CHILDREN	2 TEACHERS
YOUNG 55	16 CHILDREN	1 TEACHERS
TOTAL	97 CHILDREN > 2.5 YEARS	8 TEACHERS
GRAND TOTAL	142 CHILDREN	21 TEACHERS + 1 ADMIN. = 22 TOTAL

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11.15.17	SPA Revise	



First Floor Plan
 1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

Seal:



Note:
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Sheet Title:
First Floor Plan

Project Number:
 16-186
 Sheet Number:
A.100
 City File Number
 17-018

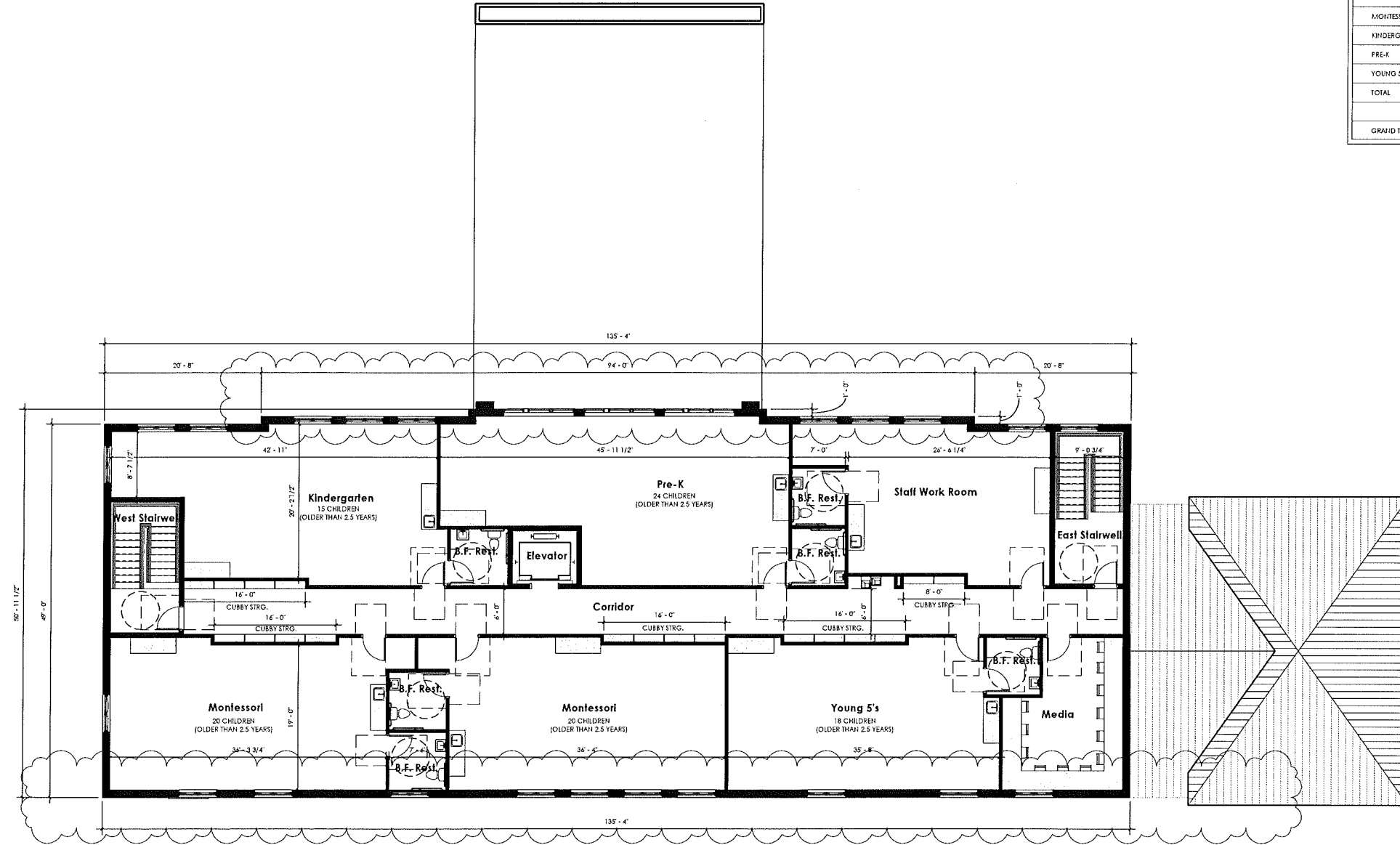
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MONTESSORI 2	20 CHILDREN	2 TEACHERS
KINDERGARTEN	15 CHILDREN	1 TEACHER
PRE-K	24 CHILDREN	2 TEACHERS
YOUNG 5'S	18 CHILDREN	1 TEACHER
TOTAL	97 CHILDREN > 2.5 YEARS	8 TEACHERS
GRAND TOTAL	142 CHILDREN	21 TEACHERS + 1 ADMIN. = 22 TOTAL

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07.07.17	SPA Revise	
07.28.17	SPA Revise (Parking)	
11.15.17	SPA Revise	



Second Floor Plan
1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

Seal:



Note:
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North Arrow:



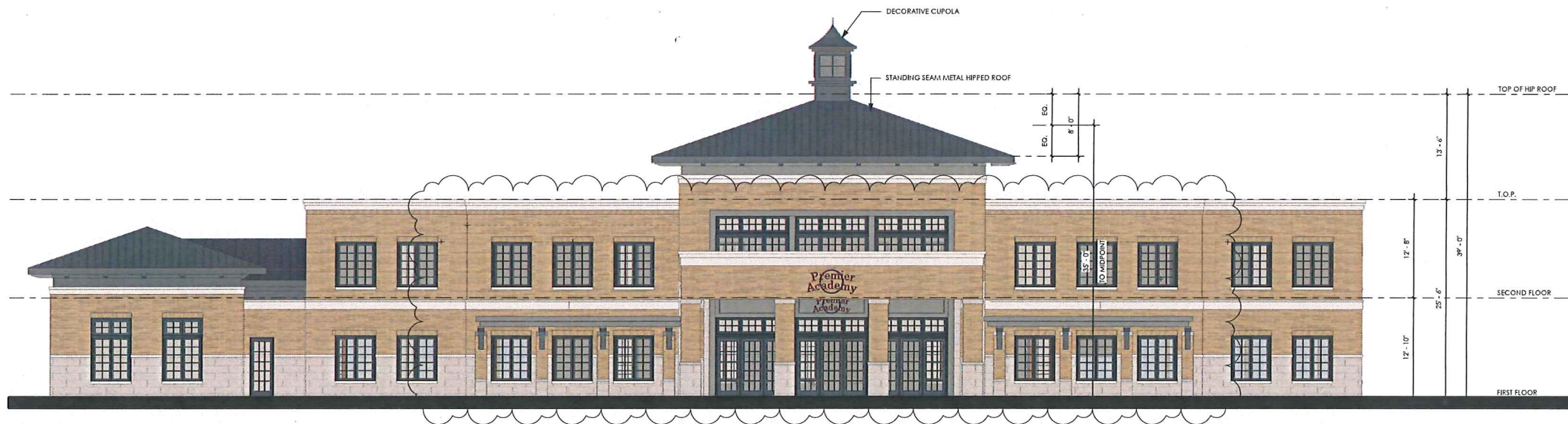
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Second Floor Plan

Project Number:
16-186
Sheet Number:
A.101
City File Number
17-018

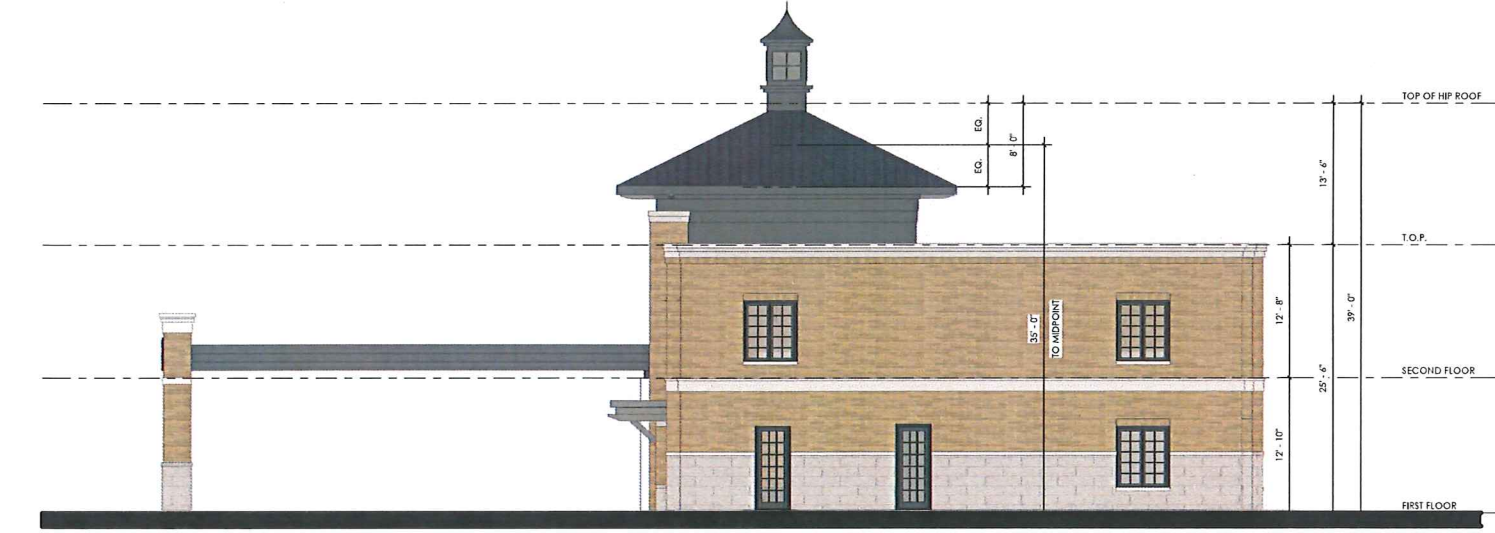
Client:
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155 Romeo
Rochester, MI 48307

Project:
Premier Academy
974 N. Adams Rd.
Rochester Hills, MI, 48307

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11.15.17	SPA Revise	



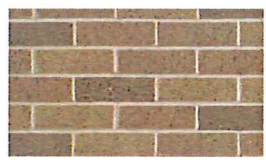
b North (Front) Elevation
1/8\" = 1'-0"



c West (Side) Elevation
1/8\" = 1'-0"



Standing Seam Metal
MANUFACTURER: PAC-CLAD
TYPE: SNAP-ON STANDING SEAM PANEL
SIZE: 12\" O.C. PANEL - 1\" HIGH
FINISH: PRE-FINISHED ALUMINUM
COLOR: CHARCOAL



Face Brick Veneer
MANUFACTURER: INTERSTATE BRICK
DISTRIBUTOR: BRICK TECH ARCHITECTURAL
TYPE: COMMERCIAL
SIZE: 2 1/4\" MODULAR
FINISH: WIFE CUT
COLOR: CEDAR



Cast Stone Veneer
MANUFACTURER: CONTINENTAL CAST STONE
TYPE: DESIGNER COLLECTION
SIZE: MODULAR
FINISH: SPLITFACE
COLOR: WHITESTONE 1100

Exterior Materials

Seal:

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.
North Arrow:

Sheet Title:
Exterior Elevations

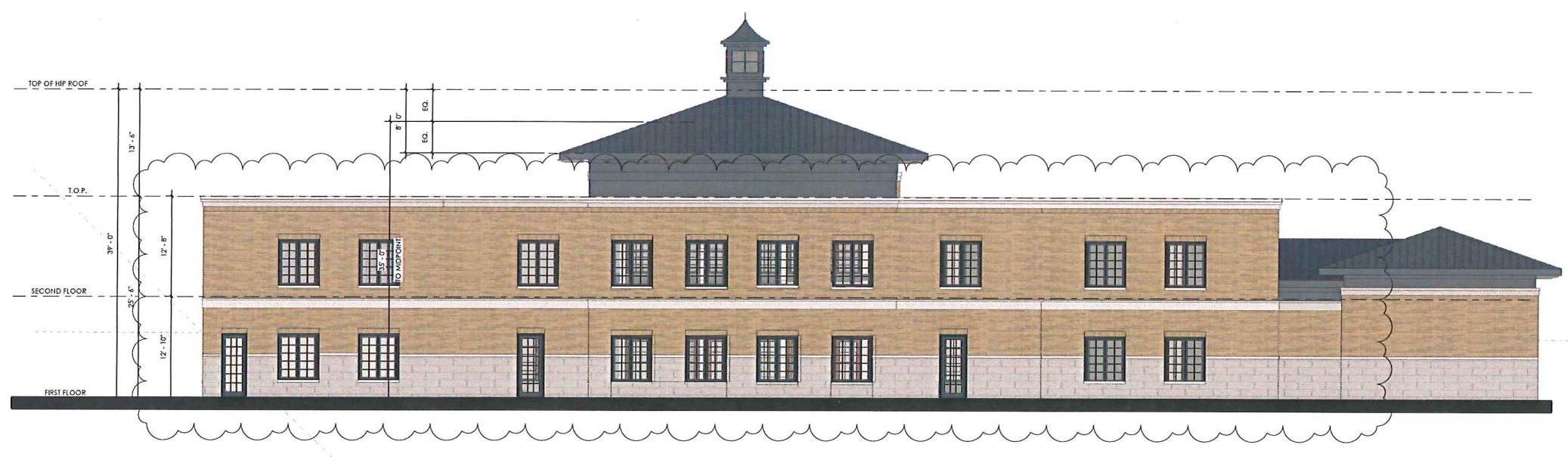
Project Number:
16-186
Sheet Number:
A.200
City File Number
17-018

PRELIMINARY NOT FOR CONSTRUCTION

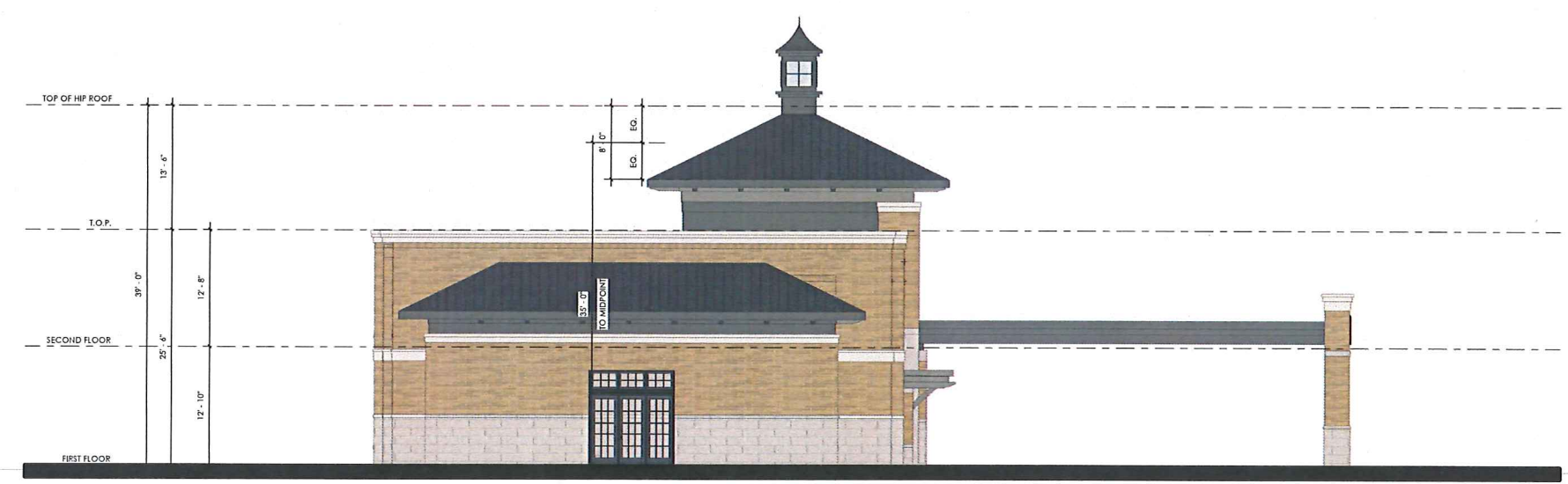
Client:
J.S. Capitol Group
155 Romeo
Rochester, MI 48307

Project:
Premier Academy
974 N. Adams Rd.
Rochester Hills, MI 48307

Issued	Description	By
11.01.16	Preliminary Design	
01.13.17	Concept Plan	
02.08.17	Pre-SPA	
06.01.17	SPA	
07.07.17	SPA Revise	
07.25.17	SPA Revise (Parking)	
11.15.17	SPA Revise	



a South (Rear) Elevation
1/8" = 1'-0"



b East (Side) Elevation
1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

Seal:



Note:
Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:
Sheet Title:
Exterior Elevations

Project Number:
16-186
Sheet Number:
A.201
City File Number
17-018

Issued	Description	By
11.01.16	Preliminary Design	
01.13.17	Concept Plan	
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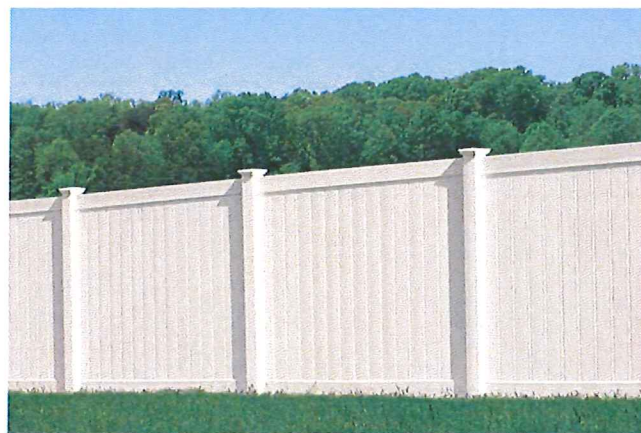


Playground Fence

MANUFACTURER: AMERISTAR FENCE
MODEL: ECHELON PLUS 3 OR 4 MAJESTIC PANEL & GATE
FINISH: COMMERCIAL GRADE POWDER COATED ALUMINUM
COLOR: BLACK
HEIGHT: 6'-0" HIGH MINIMUM
LENGTH: 8'-0" O.C. NOMINAL SECTIONS

NOTE:
FINAL DESIGN DRAWINGS TO BE PROVIDED AT TIME OF BUILDING PERMIT APPLICATION

ALL MANUFACTURERS' SPECIFICATIONS FOR SPACING, SAFETY & CONSTRUCTION SHALL BE COMPLIED WITH

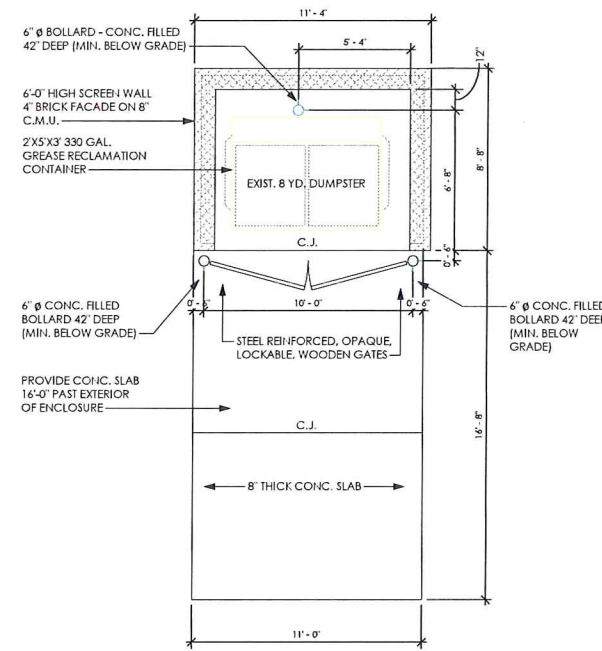


South Property Fence

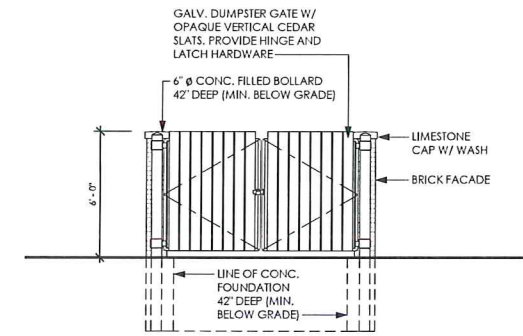
MANUFACTURER: VINYL FENCE WHOLESALER
MODEL: RAJNER PRIVACY FENCE & GATE (COMMERCIAL GRADE T&G)
FINISH: VINYL
COLOR: BEIGE (COLOR TO MATCH BUILDING MASONRY VENER)
HEIGHT: 6'-0" HIGH MINIMUM
LENGTH: 8'-0" O.C. NOMINAL SECTIONS

NOTE:
FINAL DESIGN DRAWINGS TO BE PROVIDED AT TIME OF BUILDING PERMIT APPLICATION

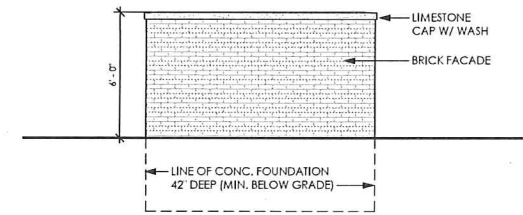
ALL MANUFACTURERS' SPECIFICATIONS FOR SPACING, SAFETY & CONSTRUCTION SHALL BE COMPLIED WITH



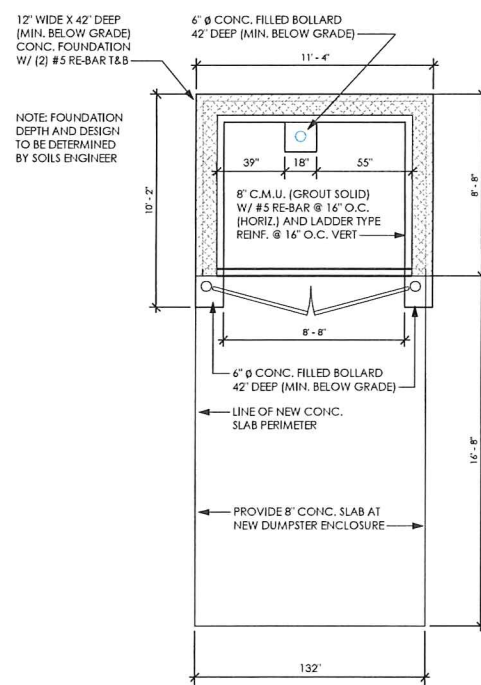
Dumpster Enclosure Plan
1/4" = 1'-0"



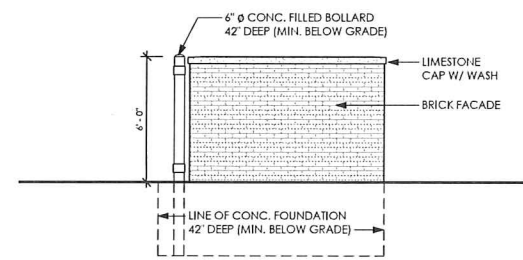
Dumpster Front Elevation
1/4" = 1'-0"



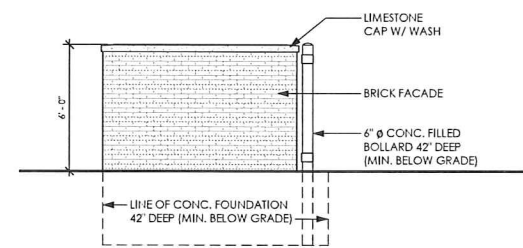
Dumpster Rear Elevation
1/4" = 1'-0"



Dumpster Foundation Plan
1/4" = 1'-0"



Dumpster Side Elevation
1/4" = 1'-0"



Dumpster Side Elevation
1/4" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

Seal:



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North Arrow:

Sheet Title:
Site Details

Project Number:
16-186
Sheet Number:
A.300
City File Number:
17-018

Client:
J.S. Capitol Group
155 Romeo
Rochester, MI 48307

Project:
Premier Academy
974 N. Adams Rd.
Rochester Hills, MI 48307

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Site Details

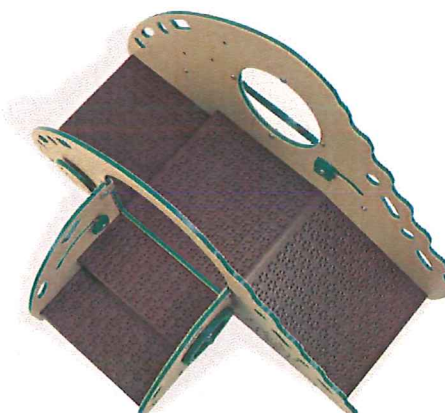
Project Number:
16-186
Sheet Number:
A.301
City File Number
17-018

PRELIMINARY NOT FOR CONSTRUCTION



Pre-School Play Structure

MANUFACTURER: PLAYGROUND DEPOT
MODEL: BUFFALO | COMMERCIAL PLAYGROUND EQUIPMENT
FINISH: COMMERCIAL GRADE PLASTIC/METAL
COLOR: VARIES
SIZE: 25'-0" X 24'-0" (USE ZONE)
FALL HEIGHT: 6'-0"
OCCUPANCY: 15-20 CHILDREN
AGE RANGE: 2-12 YEARS
ADA ACCESS: YES



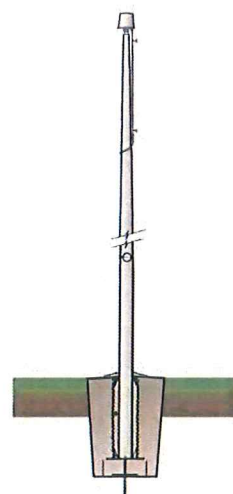
Infant / Toddler Play Structure

MANUFACTURER: PLAYGROUND DEPOT
MODEL: CRAWL AND TODDLE | UP132
FINISH: PLASTISOL DECKING
COLOR: BROWN / TAN
SIZE: 9'-8" X 11'-2" (USE ZONE)
HEIGHT: 3'-8" O.A.



Sandbox Structure

MANUFACTURER: PLAYGROUND EQUIPMENT.COM
MODEL: 10 FEET X FEET SANDBOX, COVER, SEATS, & BENCH
FINISH: COMMERCIAL GRADE SOLID PLASTIC
COLOR: GREEN
SIZE: 10'-0" X 10'-0"



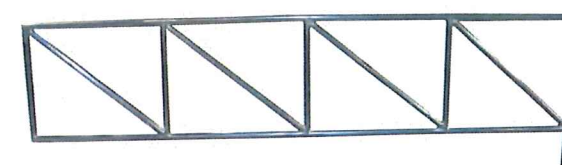
Circular Drive Flagpole

MANUFACTURER: UNITED STATES FLAG STORE
MODEL: DELUXE IH SERIES GROUND SET TAPERED FLAGPOLE
FINISH: SATIN ALUMINUM
HEIGHT: 35'-0"



Playground Shade Umbrella

MANUFACTURER: SHADE BY SUPERIOR RECREATIONAL PRODUCTS
MODEL: HYPERBOLIC UMBRELLA
FINISH: FABRIC & POWDER COATED ALUMINUM
COLOR: RED
SIZE: 10'-0" X 10'-0"
HEIGHT: 3'-8" O.A.



West Driveway Barrier Gate

MANUFACTURER: HOOVER FENCE CO.
MODEL: N-SERIES DOUBLE TUBULAR BARRIER GATE
FINISH: MILL ALUMINUM FINISH
SIZE: 10'-0" X 10'-0"
HEIGHT: 4'-0"
WIDTH: 24'-0" (1 GATE=12'-0")



View of Front

NTS



View of Rear

NTS

krieger klatt
ARCHITECTS
architecture interiors consulting
1412 E. 11 Mile Rd. | Royal Oak, MI 48067
P: 248.414.9270 F: 248.414.9275
www.kriegerklatt.com

Client: _____
J.S. Capitol Group
155 Romeo
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Seal: _____



Note: _____
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North Arrow: _____

Sheet Title: _____
Exterior
Renderings

Project Number: _____
16-186

Sheet Number: _____

A.400

City File Number
17-018

PRELIMINARY NOT FOR CONSTRUCTION