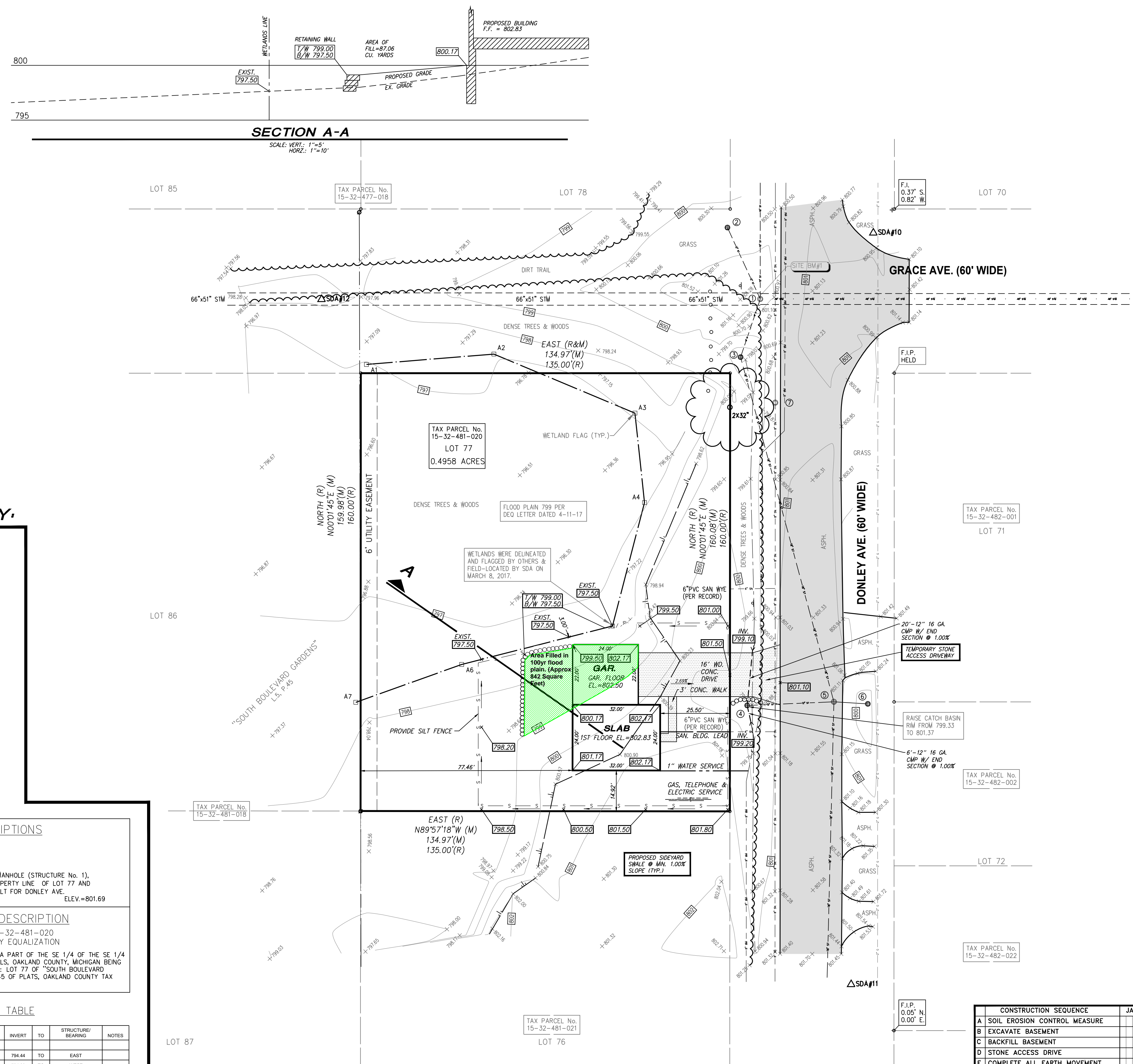


NOTE:
THE CONTRACTOR IS REQUIRED TO INSPECT THE EROSION MEASURES ON A WEEKLY BASIS AND AFTER EVERY RAINSTORM.



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BENCHMARK DESCRIPTIONS

MASTER BM
GPS - DERIVED NAVD '88.

SITE BM#1
SCRIBED "A" ON NORTH RIM FOR STORM MANHOLE (STRUCTURE No. 1), LOCATED ±27' NORTH OF THE NORTH PROPERTY LINE OF LOT 77 AND ±20' WEST OF THE CENTERLINE OF ASPHALT FOR DONLEY AVE. ELEV.=801.69

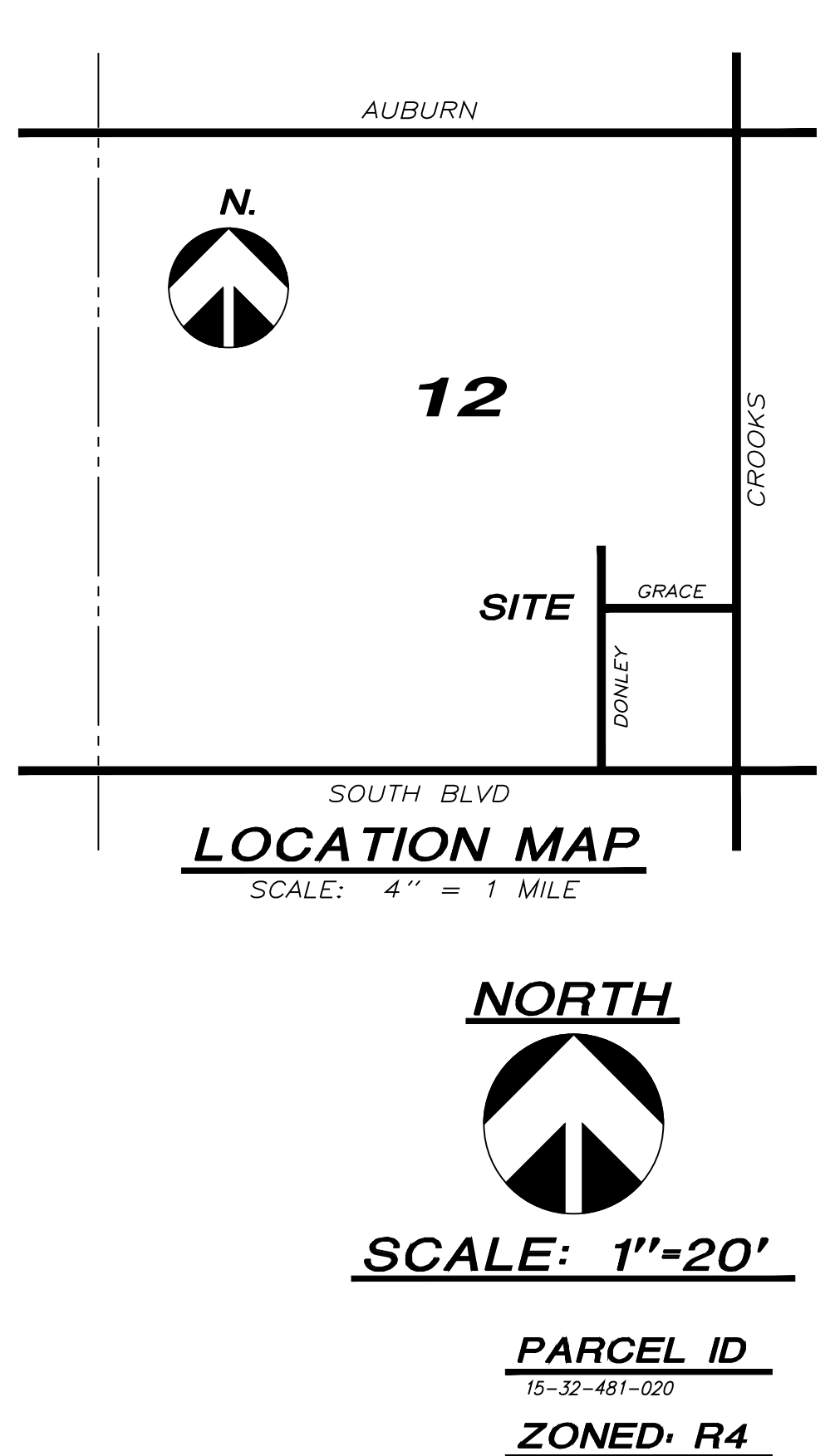
FURNISHED LEGAL DESCRIPTION

TAX PARCEL No. 15-32-481-020
PER OAKLAND COUNTY EQUALIZATION

A PARCEL OF LAND LOCATED IN AND BEING A PART OF THE SE 1/4 OF THE SE 1/4 OF SECTION 32 T.3N., R.1E., ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: LOT 77 OF "SOUTH BOULEVARD GARDENS" AS RECORDED IN LIBER 5, PAGE 45 OF PLATS, OAKLAND COUNTY TAX RECORDS.

STRUCTURE TABLE

#	TYPE	RIM	SIZE	MATERIAL	INVERT	TO	STRUCTURE/BEARING	NOTES
1	STORM MANHOLE	801.69	40"	CONC.	794.44	TO	EAST	
2	ROUND CATCH BASIN	800.02						
3	ROUND CATCH BASIN	798.19						
4	ROUND CATCH BASIN	799.33						
5	STORM MANHOLE	801.33						
6	ROUND CATCH BASIN	799.16						
7	SANITARY MANHOLE	800.76						



LEGEND

- 100 EXISTING CONTOURS
- 100.00 EXISTING GRADE
- 0.0 AS-BUILT GRADE
- 0.0 PROPOSED GRADE
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- PROPOSED SILT FENCE

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG
1-800-482-7171
(TOLL FREE) for the location of underground utilities

CONTRACTOR NOTE:
The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

GRADING NOTE

1. ALL PROPOSED GRADING SHALL BE CONTAINED WITHIN THE PROPERTY LINES OF THIS LOT, AND SHALL NOT ENCRUCH UPON ANY ADJACENT PROPERTIES.
2. SOIL EROSION CONTROLS ARE REQUIRED TO BE INSTALLED AROUND THE ENTIRE PERIMETER OF SOIL DISRUPTION FOR THE COUNTY.

NOTE: SIDEYARD DRAINAGE SHALL NOT DRAIN ONTO ADJACENT LOTS. (TYPICAL)

ATTENTION BUILDERS/CONTRACTORS

1. THIS DRAWING IS NOT INTENDED TO REPRESENT A BOUNDARY OR LOT SURVEY, AND SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES OR LOCATE IMPROVEMENTS.
2. U.L.C. ASSUMES NO RESPONSIBILITY FOR THE GIVEN BUILDING DIMENSIONS. DIMENSIONS MUST BE VERIFIED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.
3. THIS PLAN SHALL NOT BE USED TO SET FOUNDATIONS. ARCHITECTURAL PLANS MUST BE USED FOR CONSTRUCTION OF FOUNDATION.
4. UPON ACCEPTANCE AND SUBMITAL OF THIS PLAN FOR PERMITS, THE OWNER/BUILDER ACKNOWLEDGES HE HAS REVIEWED THE PLAN, AND THAT IT MEETS THE ESTABLISHED REQUIREMENTS.
5. APPROVAL OF THIS PLOT PLAN DOES NOT RELIEVE THE OWNER/BUILDER OF COMPLIANCE WITH ALL CODES AND ORDINANCES THAT SHALL APPLY.

CONSTRUCTION SEQUENCE

	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC.
A SOIL EROSION CONTROL MEASURE												
B EXCAVATE BASEMENT												
C BACKFILL BASEMENT												
D STONE ACCESS DRIVE												
E COMPLETE ALL EARTH MOVEMENT												
F SEED AND MULCH AS REQUIRED												

TO BE FILLED OUT BY BUILDER

NOTE:
CONTRACTOR TO CONFIRM BASEMENT WALL HEIGHT, FIRST FLOOR ELEVATION AND BASEMENT FLOOR ELEVATION PRIOR TO THE START OF CONSTRUCTION!

CONTRACTOR TO USE ONLY GRADE SET FOR BASEMENT ELEVATION

PLOT PLAN
LOT 77
SOUTH BLVD. GARDENS
PART OF THE SE 1/4 OF SECTION 32
T.3N., R.1E., CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

DATE: 170549-9650
JOB NO.:
DATE: 6-14-17
SCALE: 1" = 20'
DRAWN BY: KJ
CHECKED BY: LNH
SHEET 1 OF 1
DATE: 7-5-17
ADDED RETAINING WALL

PAT BELL
1806 GRACE AVE.
ROCHESTER HILLS, MI
313-664-5837

URBAN LAND CONSULTANTS
PLANNERS LAND SURVEYORS
8800 23 MILE ROAD
BOSTON, MI 48316-4516
PHONE: 586 731-8030
FAX: 586 731-2605