

City Apartments

Southeast Corner of E. Tienken and Rochester Rd.

Rochester Hills, MI 48307

United States of America

DESIGNHAUS

301 WALNUT BOULEVARD
ROCHESTER, MI 48307
T: 248.601.4422
F: 248.453.5854
WWW.DESIGNHAUS.COM



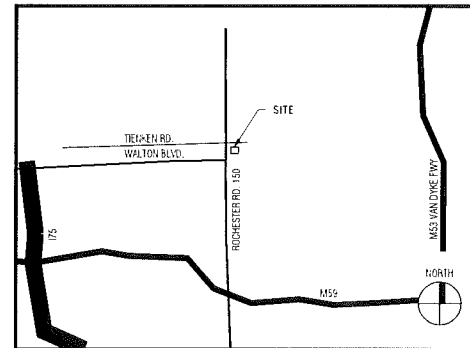
PROJECT TEAM

OWNER
CITY WALK, LLC
3700 GARFIELD
SUITE 1-1
CLINTON TOWNSHIP, MI 48036
T: 586.286.0334
F: 586.285.1215
CONTACT: FRANCIS ARAGONA

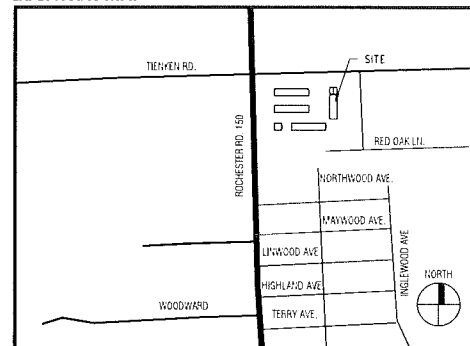
CIVIL ENGINEER
ATWELL
TWO TOWN SQUARE
SUITE 700
SOUTHFIELD, MI 48076
T: 248.447.2000
F: 248.447.2001
C: 248.302.8224
CONTACT: JEREMY E. CARNAHAN, PE

ARCHITECT
DESIGNHAUS ARCHITECTURE
301 WALNUT BLVD.
ROCHESTER, MI 48307
T: 248.601.4422
F: 248.453.5854
PROJECT MANAGER: JOE LATOZAS
PROJECT ARCHITECT:
PETER STUMPFNER, AIA

VICINITY MAP



LOCATION MAP



INDEX OF DRAWINGS

- SHEET ISSUED
- REVISED
- SHEET REISSUED WITHOUT REVISION

SHEET NO	DRAWING NAME	ISSUED	REVISED	REISSUED
GENERAL				
G001	Title Sheet and Index	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
G002	Reference & Code Information	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
LANDSCAPE				
L100	Site Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
L101	Water Main and Hydrant Locations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
L102	Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CIVIL				
AS-01	Civil Survey	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C100	Civil Site Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
C101	Fire Department Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ARCHITECTURAL				
A100	First Floor Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A101	Second Floor Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A102	Third Floor Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A103	Fourth Floor Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A200	Elevations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A201	Elevations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
A500	Peta 1 Building Plans & Elevations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Site Plan Approval # 3/31/15
Site Plan Approval Revision # 1/5/15
Site Plan Approval Revision # 2/6/11/15

No.	Revision/Issue	Date
△	Site Plan Approval Revision #2	6.11.15
△	Site Plan Approval Revision #1	5.15.15
	Site Plan Approval	3.31.15

City Apartments
E. Tienken and Rochester Rd.
Rochester Hills, MI 48307
United States of America

Title Sheet and Index

G001 #98-047.3 014189



Know what's below. Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

ATWELL
866.850.4200 www.atwell.com
TWO TOWNE SQUARE, SUITE 700
SOUTH BEND, IN 46708
248.447.2000

SECTION 11
TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

ARAGONA PROPERTIES
CITY APARTMENTS
CIVIL SITE PLAN

MAY 15, 2015

6-11-15 REV. PER CITY REVIEW

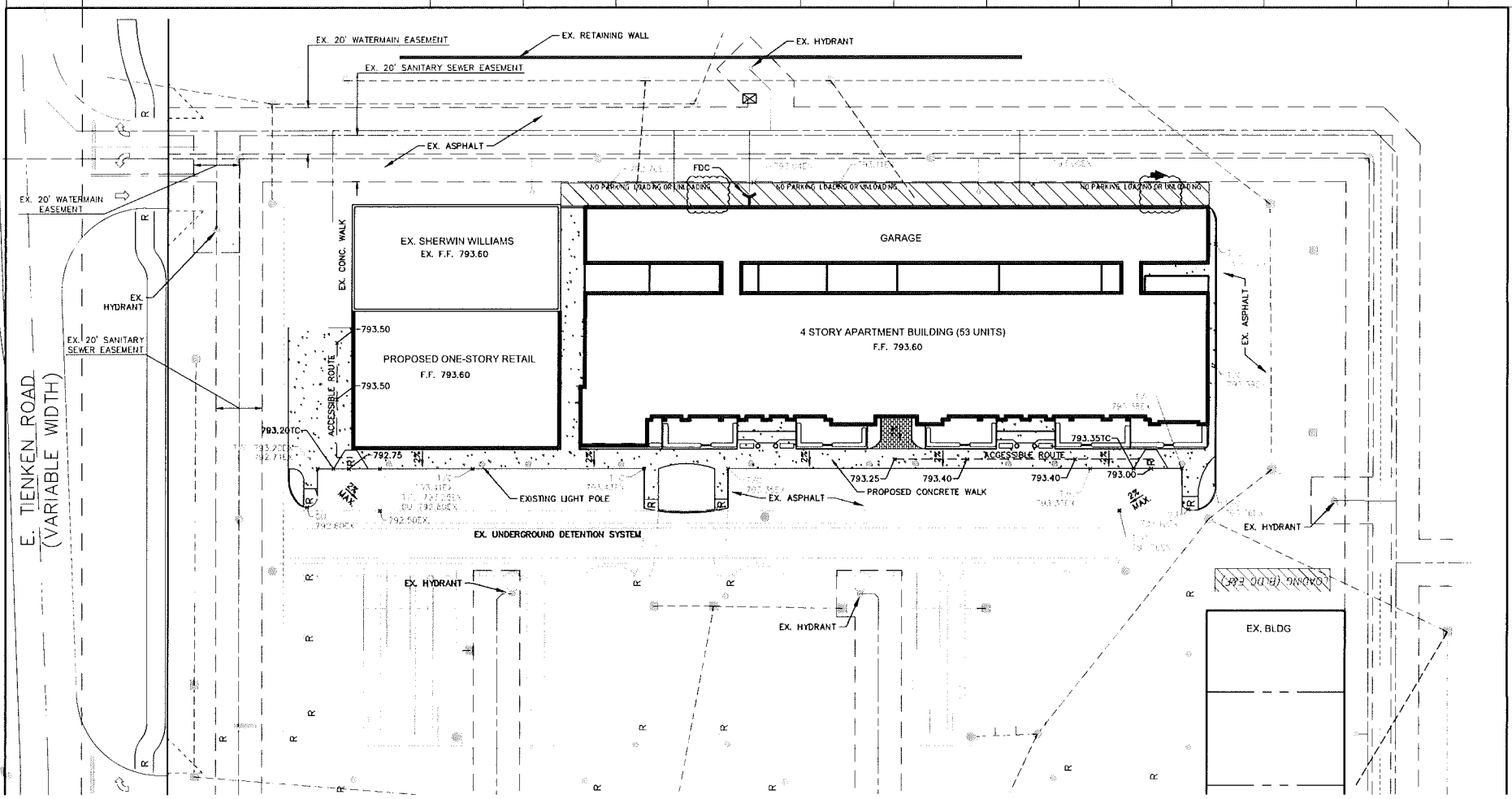
Table with 2 columns: REVISIONS, and empty rows for notes.

0 15 30
SCALE: 1" = 30 FEET
DRAWN BY: JEC
CHECKED BY: JEC
P.M.: M. MCPHERSON
JOB #: 12000225
FILE CODE: -
SHEET NO. C100

LIBER 22, PAGE 28
INNOVATIONS S.A.N.A.J.H.W.O.O. CIVIT NO.IONNOI.



NOTE:
PROPOSED SITE BUILDOUT REPRESENTS A 4,500 S.F.
REDUCTION IN IMPERVIOUS AREA RELATIVE TO THE
ORIGINAL APPROVED CITY WALK CONSTRUCTION PLANS.



City Apartments - City of Rochester Hills, MI
Water Supply Basis of Design

Table with columns: BUILDING, AREA (S.F.), USE, REU, Pop, Avg. Flow Rate, Peak Flow Rate. Includes rows for Walgreens, Bank, Building A, B, C, E, Sherwin-Williams, Proposed Retail, and Proposed Apartments.

Sanitary Sewer Basis of Design

Table with columns: BUILDING, AREA (S.F.), USE, REU, Pop, Avg. Flow Rate, Peak Hour Factor. Includes rows for Walgreens, Bank, Building A, B, C, E, Sherwin-Williams, Proposed Retail, and Proposed Apartments.

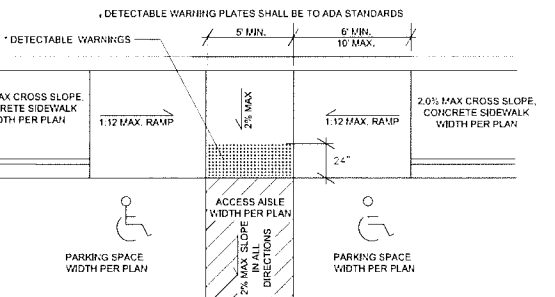
Peak Factor: 18 + sqrt(pop in districts) / (4 + sqrt(pop - in - districts)) = Peak Factor 3.97

FLOW RATES COMPUTED AS FOLLOWS:
Bank Use: 0.25 REU's per employee station assuming 4 stations per 1,000 sf (= 1 REU per 1,000 sf.)
Retail Store Use: 0.15 REU's per 1,000 sf.
Residential (Apartment): 2.5 People (<1,200 SF), 3.5 People (>1,200 SF)
47 Units (<1,200 SF) = 6 Units (>1,200 SF) = 138.5 People = 40 REU
Retail Use: 0.13 REU's per seat assuming one seat per 20 SF (= 6.5 REU's per 1,000 sf.)
Retail Use: 0.16 REU's per employee assuming one employee per 750 SF (= 0.213 REU per 1,000 sf.)
Conversion Factor (Water): 1 REU is equivalent to: 150 gal (Avg Flow), 300 gal (Peak Flow)
Conversion Factor (Sanitary): 1 REU is equivalent to 100 gal (Avg Flow)
Population: 1 REU = 3.5 People

Note: Flow rates are based on the Oakland County Drain Commissioner Schedule of Unit Assignment Factors dated July 1, 1998.
Existing Site Capacity:
Existing 8" pipe @ 0.40' s
Q = v * A = 1.49 * 3.14 * 1.25^2 * 0.40
= 343.9 GPM
Velocity (v) = 2.20 ft/s

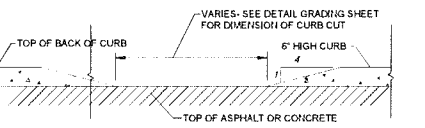
LEGEND

- PROPERTY LINE EASEMENT
- EXISTING STORM SEWER
- EXISTING MANHOLE/CATCH BASIN/END SECTION
- EXISTING WATER MAIN
- EXISTING HYDRANT
- EXISTING GATE VALVE & WELL
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SIDEWALK RAMP
- PROPOSED CONCRETE
- PROPOSED CURB

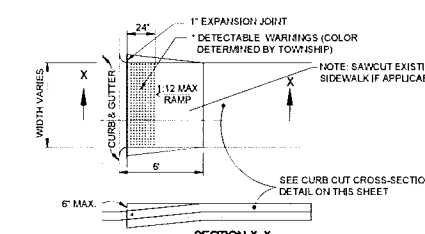


ALL ADA ACCESSIBLE PARKING SPACES, RAMP, AND ROUTES SHALL BE CONSTRUCTED IN COMPLIANCE WITH LOCAL, STATE, AND NATIONAL ADA STANDARDS AND REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COSTS ASSOCIATED WITH THE SURVEY, DESIGN OR CONSTRUCTION REQUIRED TO REPAIR OR REPLACE AREAS OF NONCOMPLIANCE. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER IF THERE ARE ANY QUESTIONS RELATED TO THE CONSTRUCTION OF ADA ACCESSIBLE AREAS AND/OR UNFORESEEN CIRCUMSTANCES ENCOUNTERED DURING CONSTRUCTION.

BARRIER FREE RAMP DETAIL
NOT TO SCALE



CURB CUT CROSS-SECTION
NOT TO SCALE



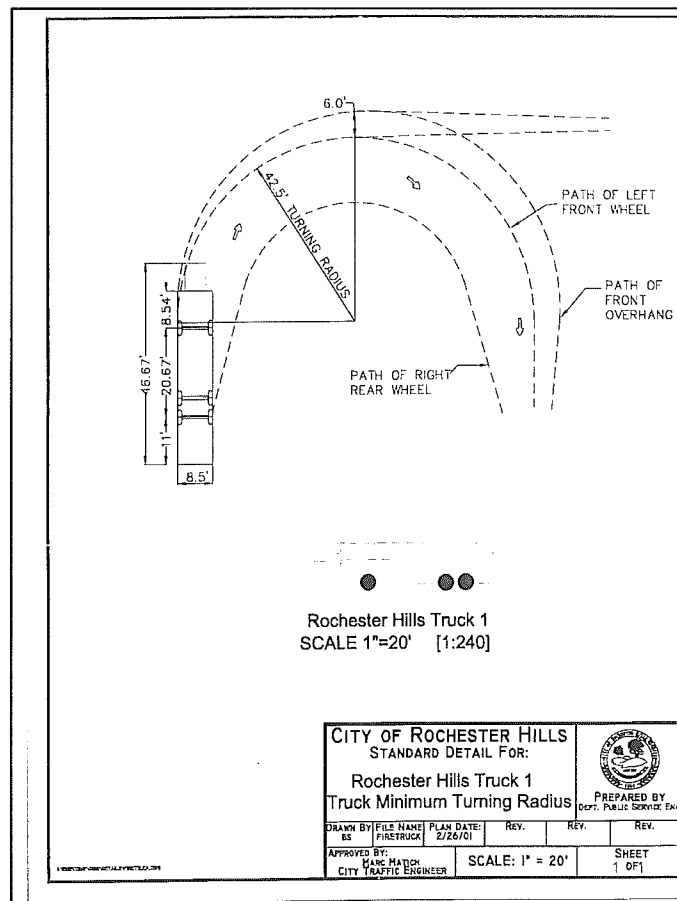
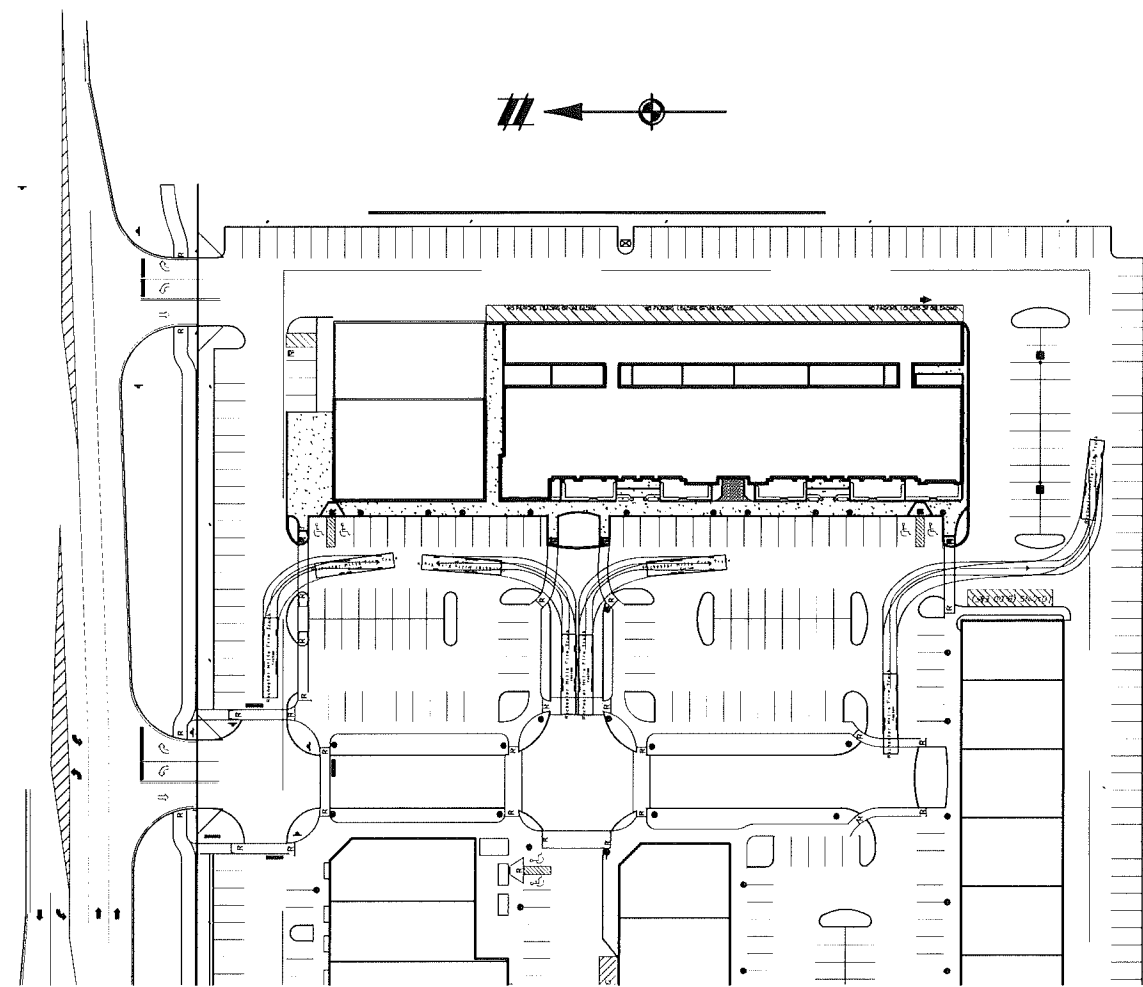
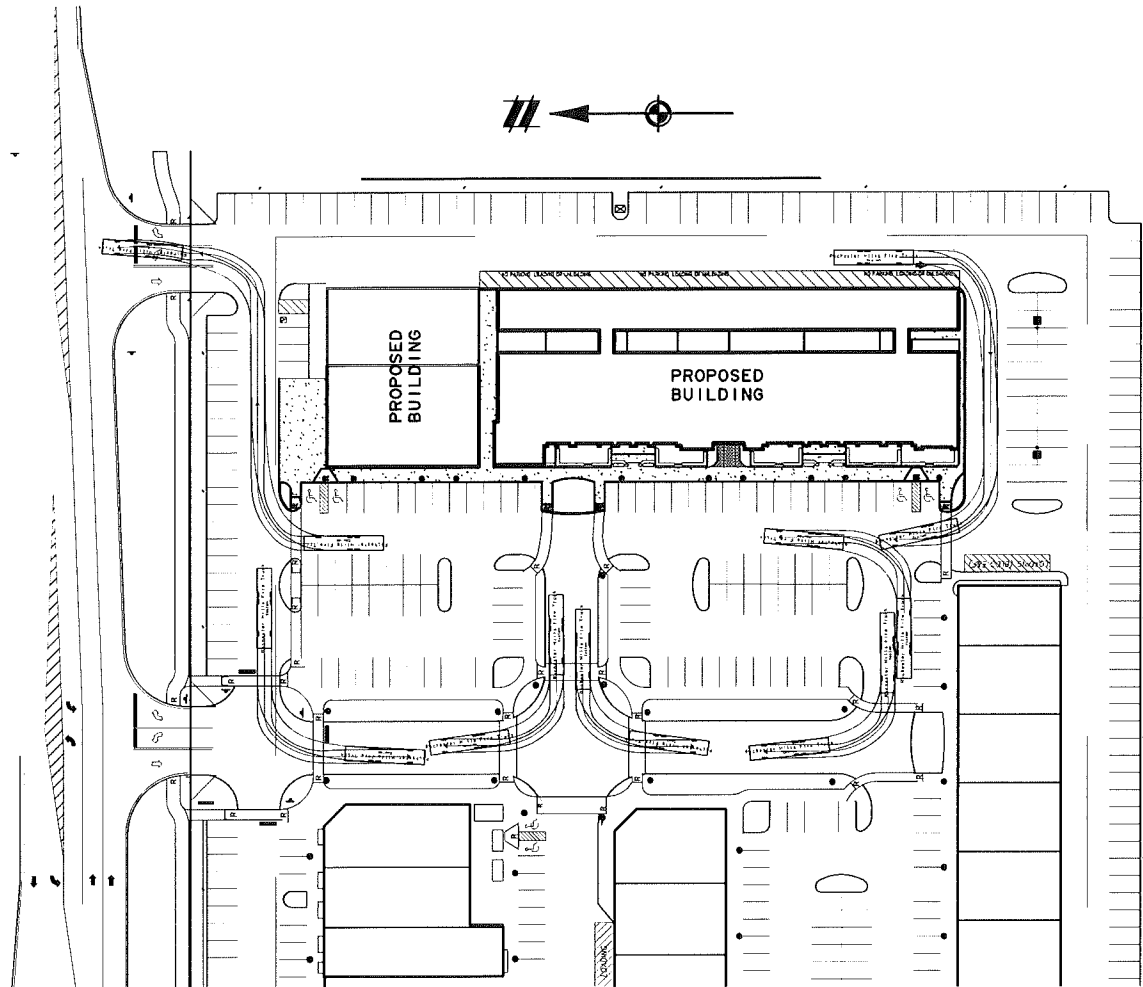
SECTION X-X
NOT TO SCALE

DETECTABLE WARNING DEVICES CAN NOT BE STAMPED CONCRETE PER TOARSHIP DIRECTION. THE DETECTABLE WARNING DEVICES ARE TO MATCH THE SURROUNDING BAY RIVER DEVELOPMENT UNLESS IT IS STAMPED CONCRETE. LENOX TOWNSHIP WILL ACCEPT E/W 7005 OR A11 APPROVED EQUAL.

SIDEWALK RAMP DETAIL
NOT TO SCALE

6/15/2005 2:50:40 PM, 4/11/2015 8:35 AM, JEREMY CASNAHAN

CITY FILE #98-047.3
NOT FOR CONSTRUCTION



CITY OF ROCHESTER HILLS
STANDARD DETAIL FOR:
Rochester Hills Truck 1
Truck Minimum Turning Radius

PREPARED BY:
DEPT. PUBLIC WORKS, PA

DATE	FILE NAME	PLAN DATE	REV.	REV.	REV.
02/26/10	PHS12TRUCK	2/26/10			

APPROVED BY:
MARK MATOCH
CITY TRAFFIC ENGINEER

SCALE: 1" = 20'

SHEET
1 OF 1

CITY FILE #98-047.3
NOT FOR CONSTRUCTION

811
Know what's below.
Call before you dig.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE ENGINEER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OR OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2015 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

ATWELL
866.850.4200 www.atwell-group.com
TWO TOWNS SQUARE SUITE 40016
248.447.2000

SECTION 11
TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

ARAGONA PROPERTIES
CITY APARTMENTS
FIRE TRUCK TURNING
TEMPLATES

MAY 15, 2015

6-11-15 REV. PER CITY REVIEW

REVISIONS

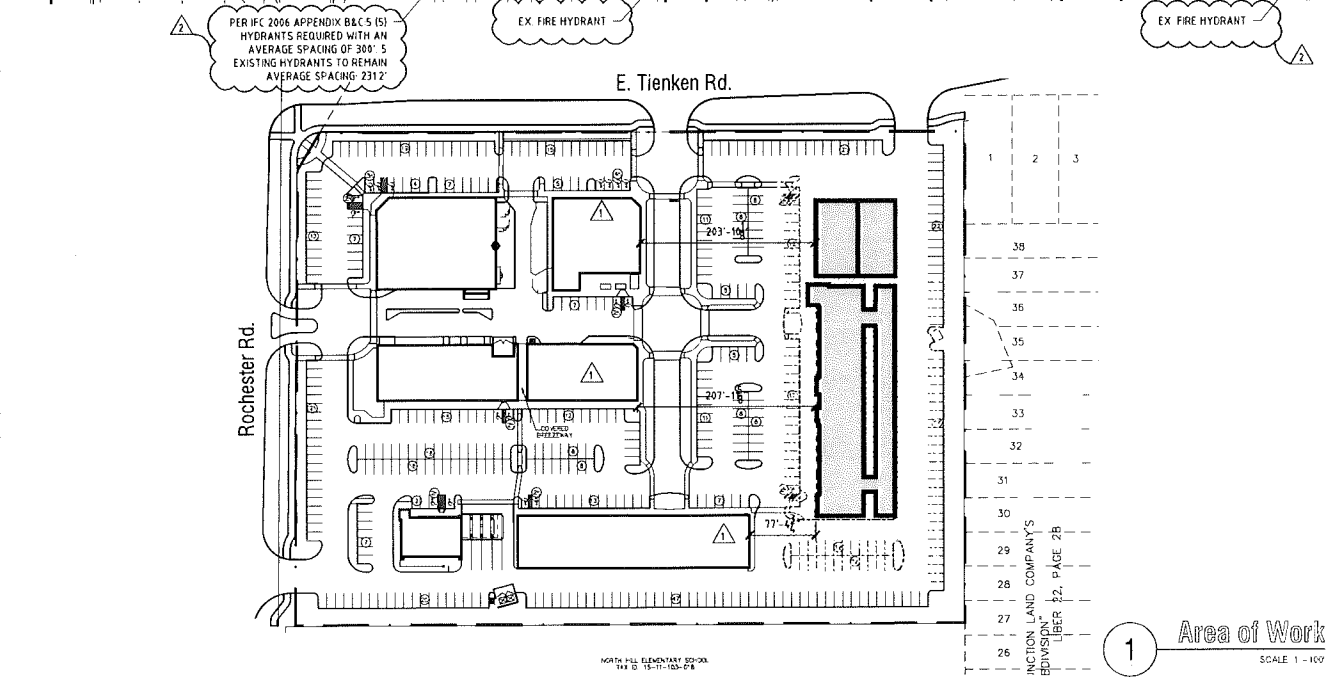
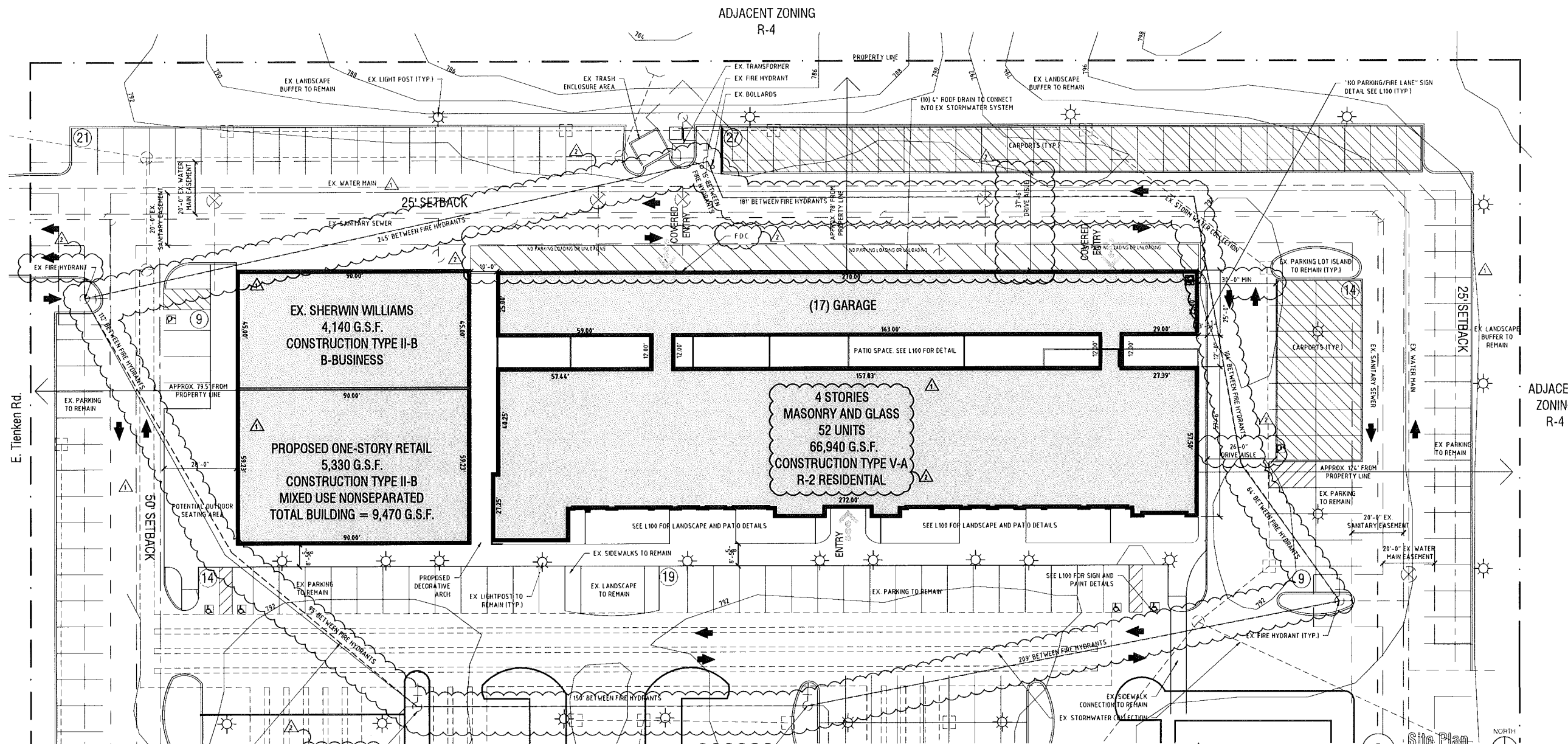
NO.	DATE	DESCRIPTION
0		
25		
50		

SCALE: 1" = 50 FEET

DRAWN BY: JEC
CHECKED BY: JEC
P.M.: M. MCPHERSON
JOB # 12000225
FILE CODE: -
SHEET NO. C101

CAD FILE: 15000891PS-02-F1.DWG

301 WALNUT BOULEVARD
 ROCHESTER, MI 48307
 T: 248.601.4422
 F: 248.453.5854
 WWW.DESIGNHAUS.COM



SITE DATA

Regulation	Information
Parcel I.D.	#15-11-103-009
Zoning	B2 w/ FB-2 Overlay
Parcel Area	43,560 Sq. Ft. (0.84 Acres)

ZONING SCHEDULE OF REGULATIONS

Regulation	Required	Provided
Setbacks	Per PUD Exhibit B: Front: 50' Sides: 25' min/50' total Rear: 50'	Front: 79.5' Side: 126' Rear: 78'
Building Height	Per Section 14 (6) of P.U.D.: 70' max. (All parts of Building)	60'

FIRE HYDRANT NOTES

Per IFC 2006 Appendix B&C: 5 (5) Hydrants required with an average spacing of 300'
 5 Existing Hydrants to remain average spacing: 231.20'
 Minimum Spacing on East Fire Apparatus Access Road: 26' Proposed Distance: 37.50'

PARKING SUMMARY

Regulation	Required	Provided/Existing
Parking	Per Section 14 (4) of P.U.D. First Amendment: 1.5 Spaces per two or fewer beds + 0.2 visitor spots, 60 Unit (max.) Proposed=102 Spots	Existing: 480 Spaces (21 handicap) New: 17 Spaces (Garage) TOTAL PROPOSED & EXISTING: 497
	Total Required for Proposed Apt. = 102 Proposed Retail: (5,330 sq.ft.) = 24 Existing 67,352 sq.ft. of retail = 329 Existing 6 Apartments = 11	
	TOTAL REQUIRED ON SITE 466	
	*5 spaces per 1,000 sq.ft. of Retail for first 50,000 sq.ft. plus 4.5 spaces per 1,000 sq.ft. in excess of 50,000 sq.ft.	

FIRE DEPARTMENT NOTES

The existing FDC supplying Sherwin Williams will interconnect into the proposed one-story retail building.
 A Knox Key System shall be installed, in a location approved by Fire Code Official. Fire lanes shall be designated by the Fire Code Official, and shall be conspicuously posted on both sides of the fire lane, with fire lane signs, spaced not more than 100 feet apart. Fire lane signs shall read "No Stopping, Standing, Parking, Fire Lane", and shall conform to the Michigan Manual of Uniform Traffic Control Devices.
 Construction sites shall be safeguarded in accordance with IFC 2006 Chapter 14 Open burning is not permitted including the burning of trash, debris, or land clearing materials. Open burning for warming of sand and/or water for the preparation of mortar shall be within the City of Rochester Hills Burn Permit Guidelines.
 If the Fire Department connection is not located on the street front of the building, a white/clear strobe light shall be tied into the fire alarm system and installed over the Fire Department connection.

No.	Revision/Issue	Date
1	Site Plan Approval Revision #2	6.11.15
2	Site Plan Approval Revision #1	5.15.15
3	Site Plan Approval	3.31.15

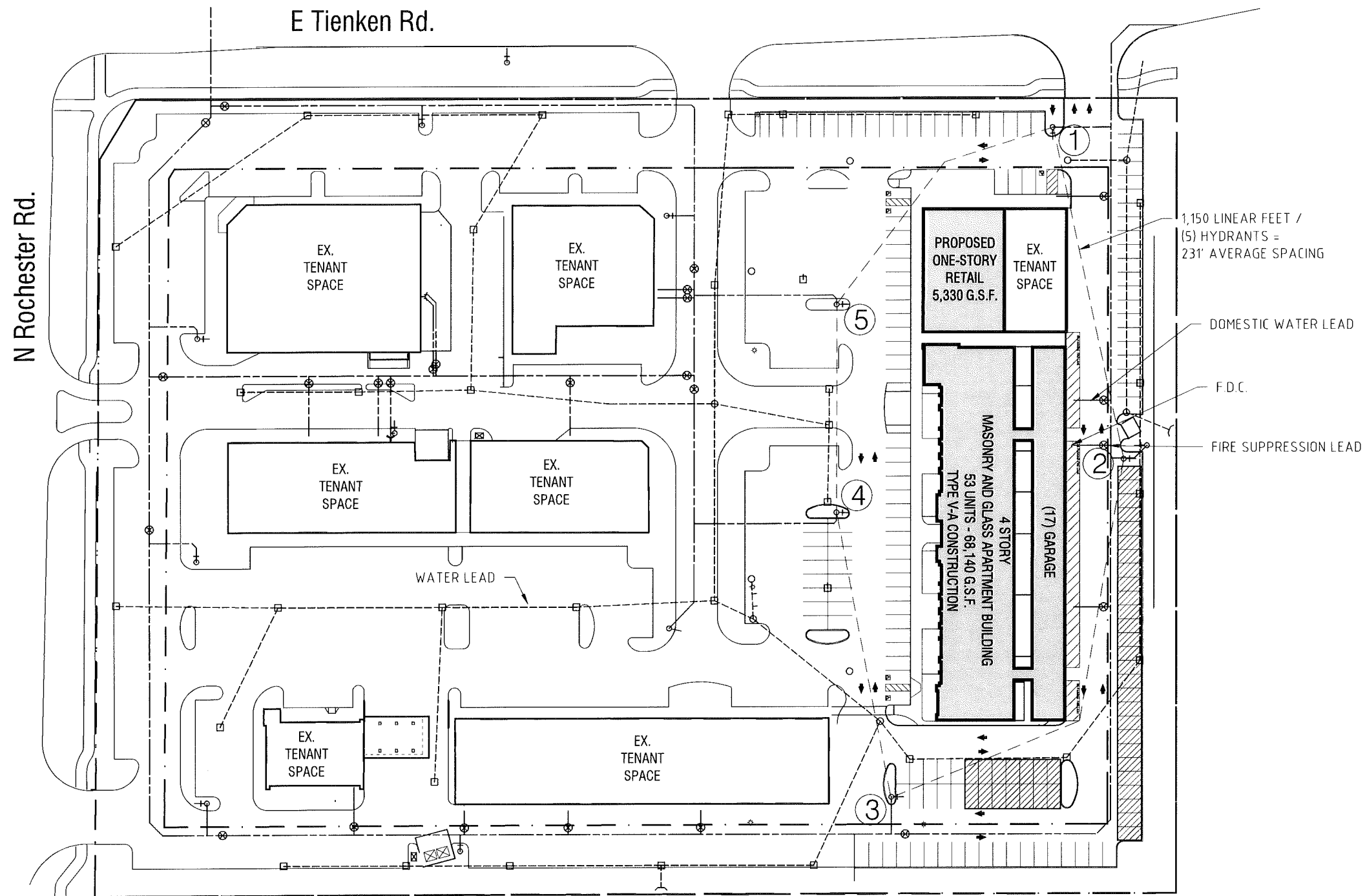
City Apartments
 E. Tienken and Rochester Rd.
 Rochester Hills, MI 48307
 United States of America

Site Plan

S100
 #98-047.3
 014189

DESIGNHAUS

301 WALNUT BOULEVARD
 ROCHESTER, MI 48307
 T: 248.601.4422
 F: 248.453.5854
 WWW.DESIGNHAUS.COM



1,150 LINEAR FEET /
 (5) HYDRANTS =
 231' AVERAGE SPACING

DOMESTIC WATER LEAD

F.D.C.

FIRE SUPPRESSION LEAD

WATER LEAD

HYDRANT LOCATION

HYDRANTS PER CODE: 5
 PERIMETER COVERAGE: 1,155 LINEAR FEET
 AVERAGE SPACING PROVIDED: 231' (1,155 / 5 = 231')
 AVERAGE SPACING PER CODE: <300'

1 Water Main and Hydrant Spacing
 SCALE: 1" = 40'



No.	Revision/Issue	Date
---	---	---
	Site Plan Approval Revision #2	6.11.15
	Site Plan Approval Revision #1	5.15.15
	Site Plan Approval	3.31.15

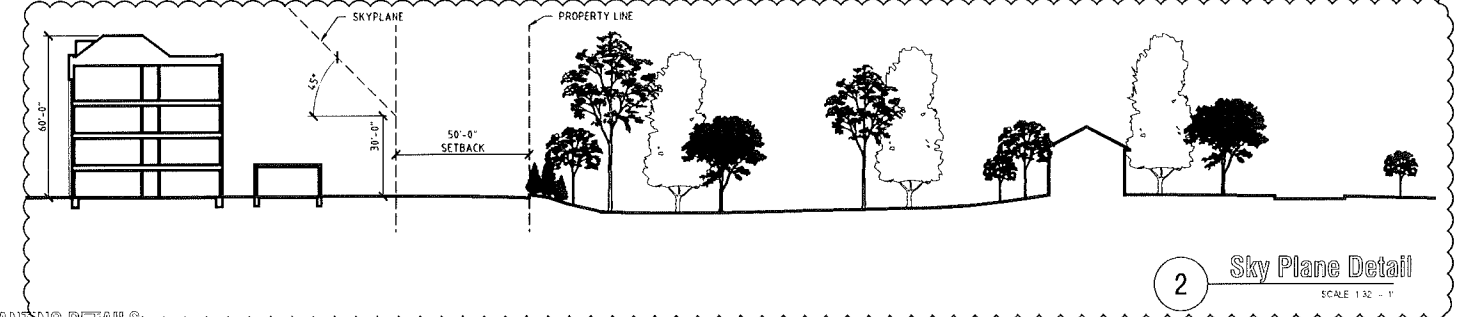
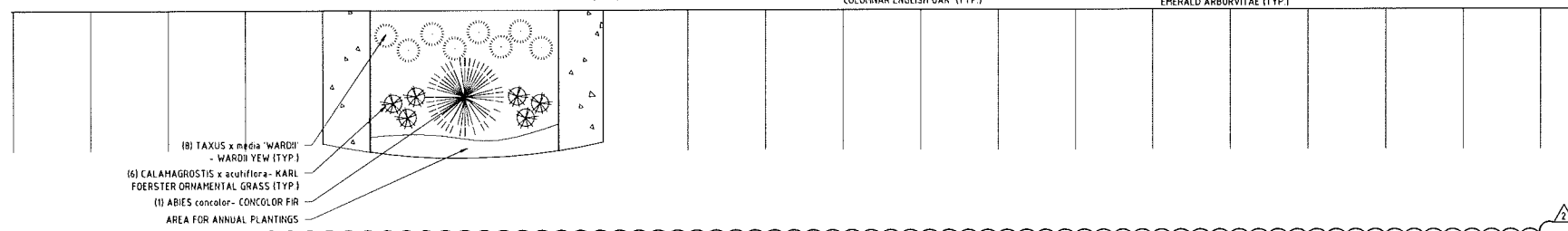
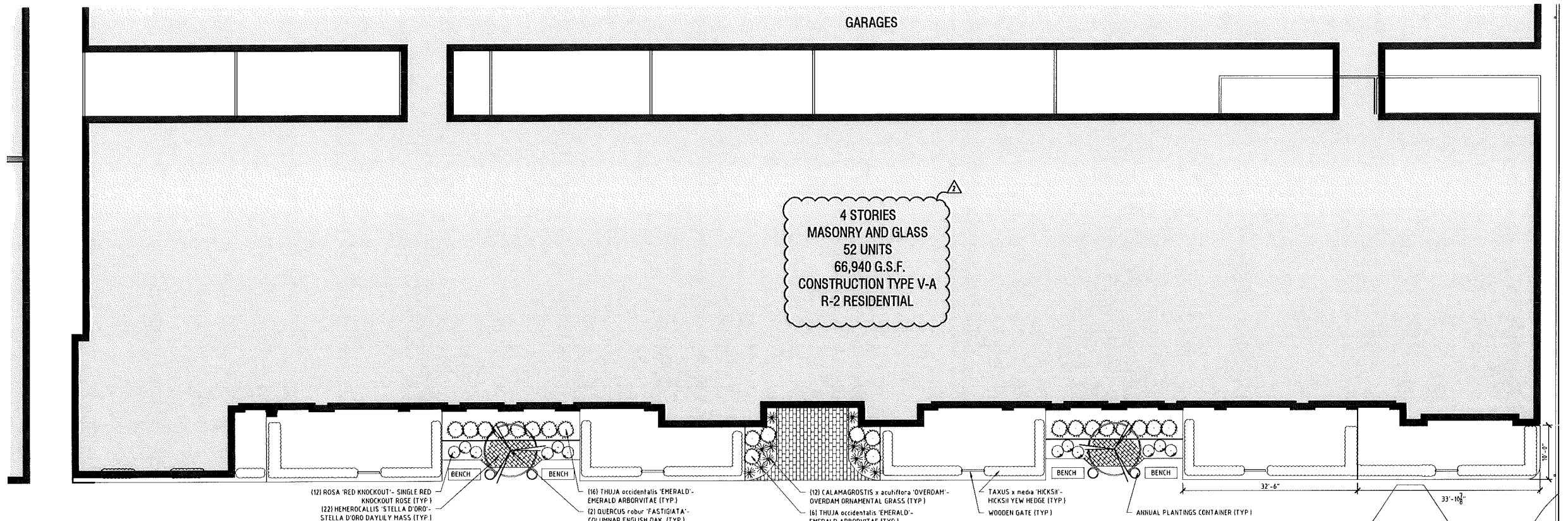
City Apartments

E. Tienken and Rochester Rd.
 Rochester Hills, MI 48307
 United States of America

Water Main and
 Hydrant Locations

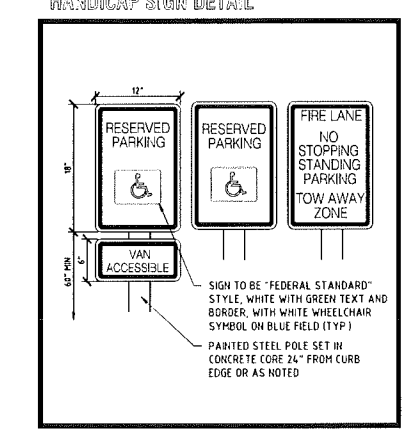
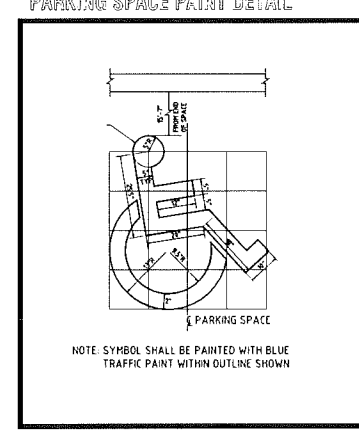
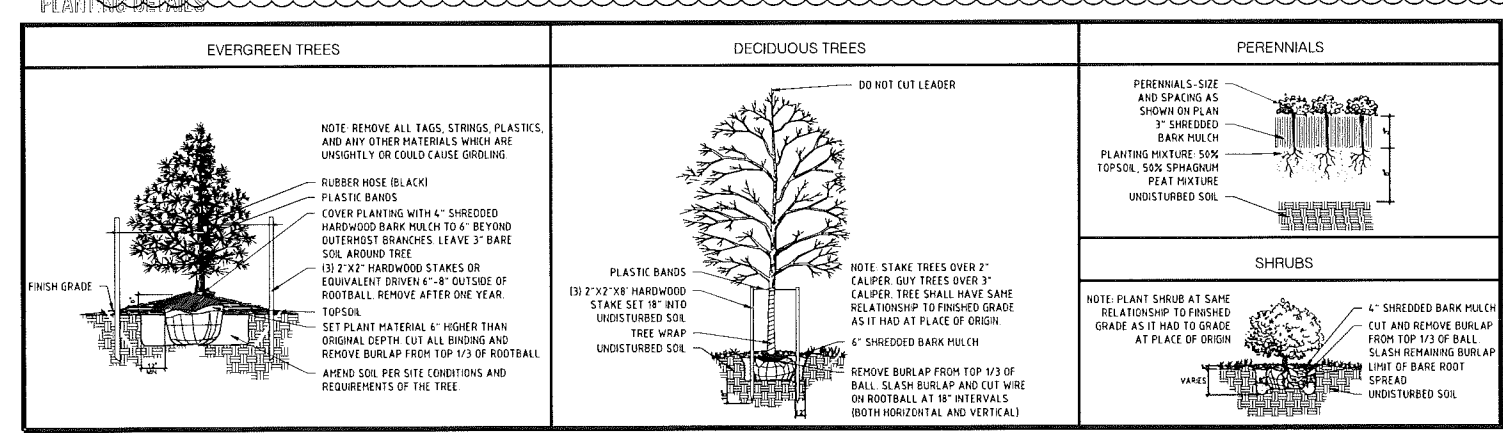
S101

014189



PLANT SCHEDULE

#	BOTANICAL NAME	COMMON NAME	SIZE/ROOT
1	ABIES concolor	CONCOLOR FIR	7-8' B&B
6	CALAMAGROSTIS x acutiflora 'KARL FOERSTER'	KARL FOERSTER GRASS	3 GAL
12	CALAMAGROSTIS x acutiflora 'OVERDAM'	OVERDAM GRASS	3 GAL
22	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	1 GAL
2	QUERCUS robur 'FASTIGIATA'	COLUMNAR ENGLISH OAK	7-8' B&B
12	ROSA 'RED KNOCKOUT'	SINGLE RED KNOCKOUT ROSE	3 GAL
145	TAXUS x media 'HICKSII'	HICKSII YEW	30-36" B&B
8	TAXUS x media 'WARDII'	WARDII YEW	12-15" B&B
22	THUJA occidentalis 'EMERALD'	EMERALD ARBORVITAE	6-7' B&B
TOTAL TREES: 25			
TOTAL SHRUBS, GRASSES & PERENNIALS: 205			



City Apartments
E. Tienken and Rochester Rd.
Rochester Hills, MI 48307
United States of America

Landscape Plan

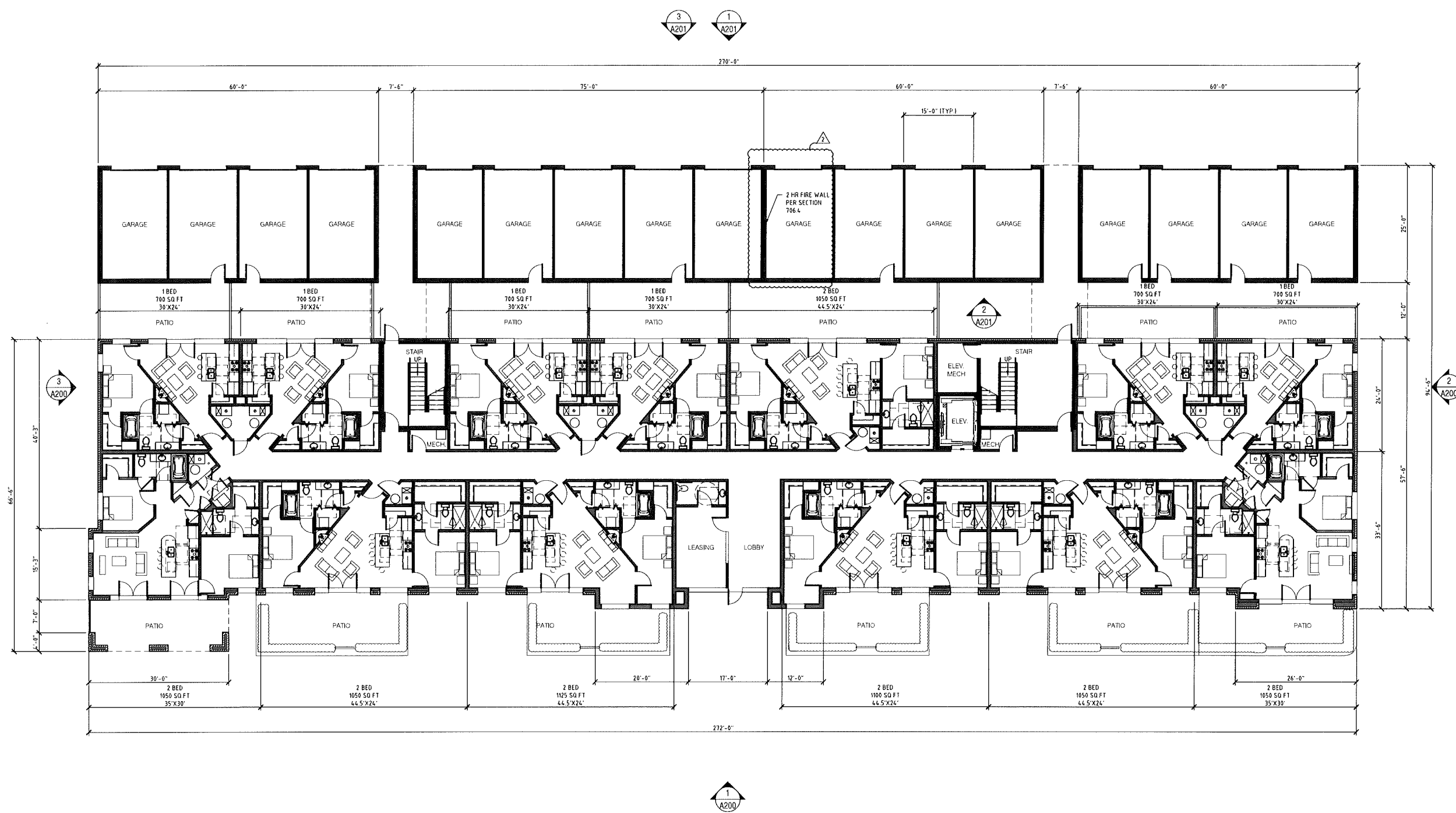
L100
#98-047.3
014189

DESIGNHAUS

301 WALNUT BOULEVARD
 ROCHESTER, MI 48307
 T: 248.601.4422
 F: 248.453.5854
 WWW.DESIGNHAUS.COM



Unit Mix	
First Floor	
1 BED	6 UNITS
2 BED	7 UNITS
Second Floor	
1 BED	6 UNITS
2 BED	7 UNITS
Third & Fourth Floor	
1 BED	6 UNITS
2 BED	7 UNITS



No.	Revision/Issue	Date
△	Site Plan Approval Revision #2	6.11.15
	Site Plan Approval Revision #1	6.15.15
	Site Plan Approval	3.31.15

City Apartments
 E. Tienken and Rochester Rd.
 Rochester Hills, MI 48307
 United States of America

First Floor Plan

1 **First Floor Plan**
 SCALE 3/32" = 1'



A100
 #98-047.3
 014189

A100 First Floor Plan.dwg

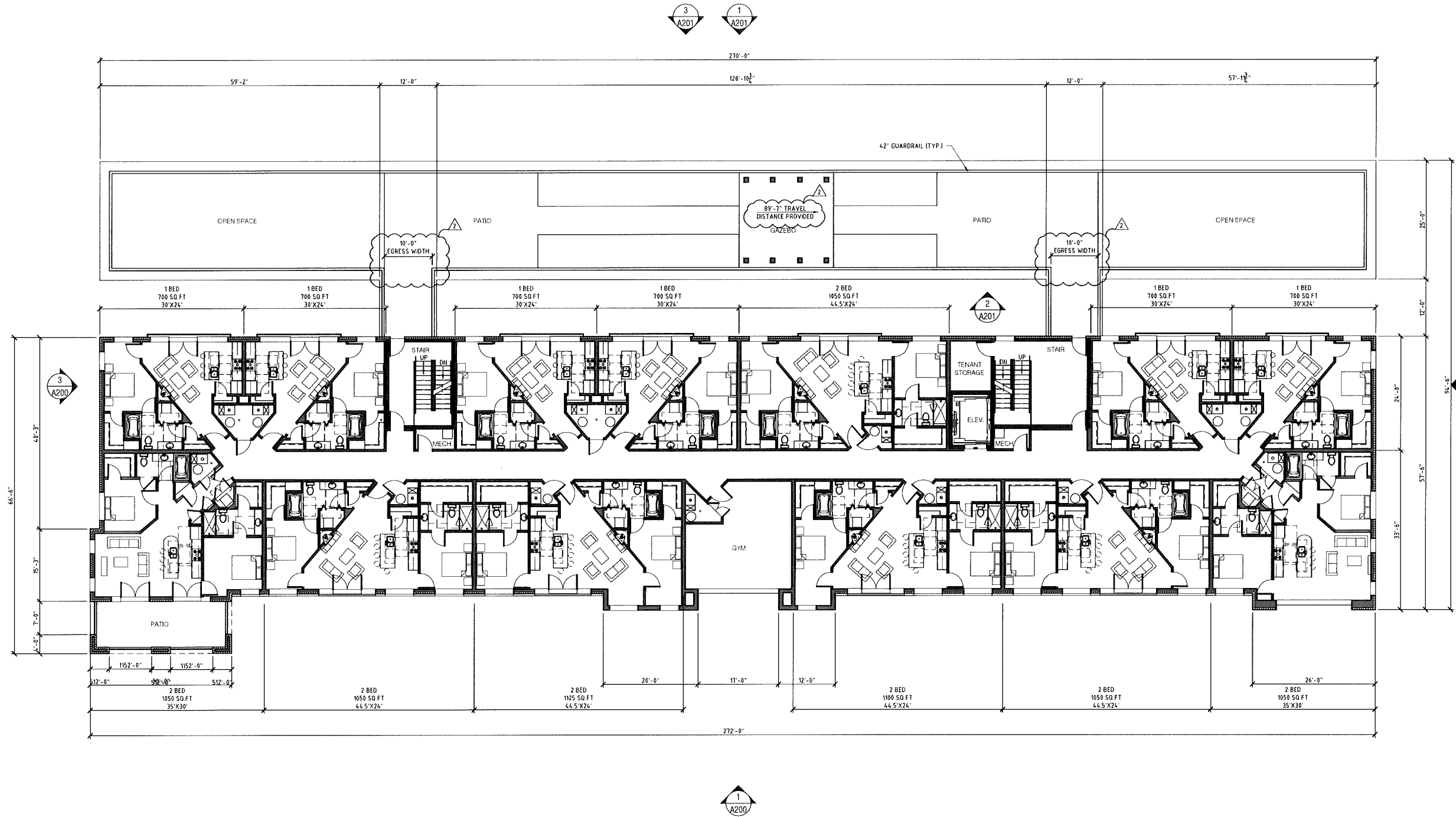
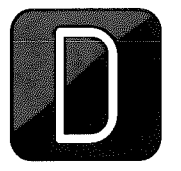
6/11/2015

Joe

Unit Mix	
First Floor	
1 BED	6 UNITS
2 BED	7 UNITS
Second Floor	
1 BED	6 UNITS
2 BED	7 UNITS
Third & Fourth Floor	
1 BED	6 UNITS
2 BED	7 UNITS

DESIGNHAUS

301 WALNUT BOULEVARD
 ROCHESTER, MI 48307
 T: 248.601.4422
 F: 248.453.5854
 WWW.DESIGNHAUS.COM



No.	Revision/Issue	Date
△	Site Plan Approval Revision #2	6.11.15
	Site Plan Approval Revision #1	5.15.15
	Site Plan Approval	3.31.15

City Apartments
 E. Tienken and Rochester Rd.
 Rochester Hills, MI 48307
 United States of America

Second Floor Plan

1 Second Floor Plan
 SCALE 1/32" = 1'
 NORTH

A101	#98-047.3	014189
------	-----------	--------

A101 Second Floor Plan.dwg

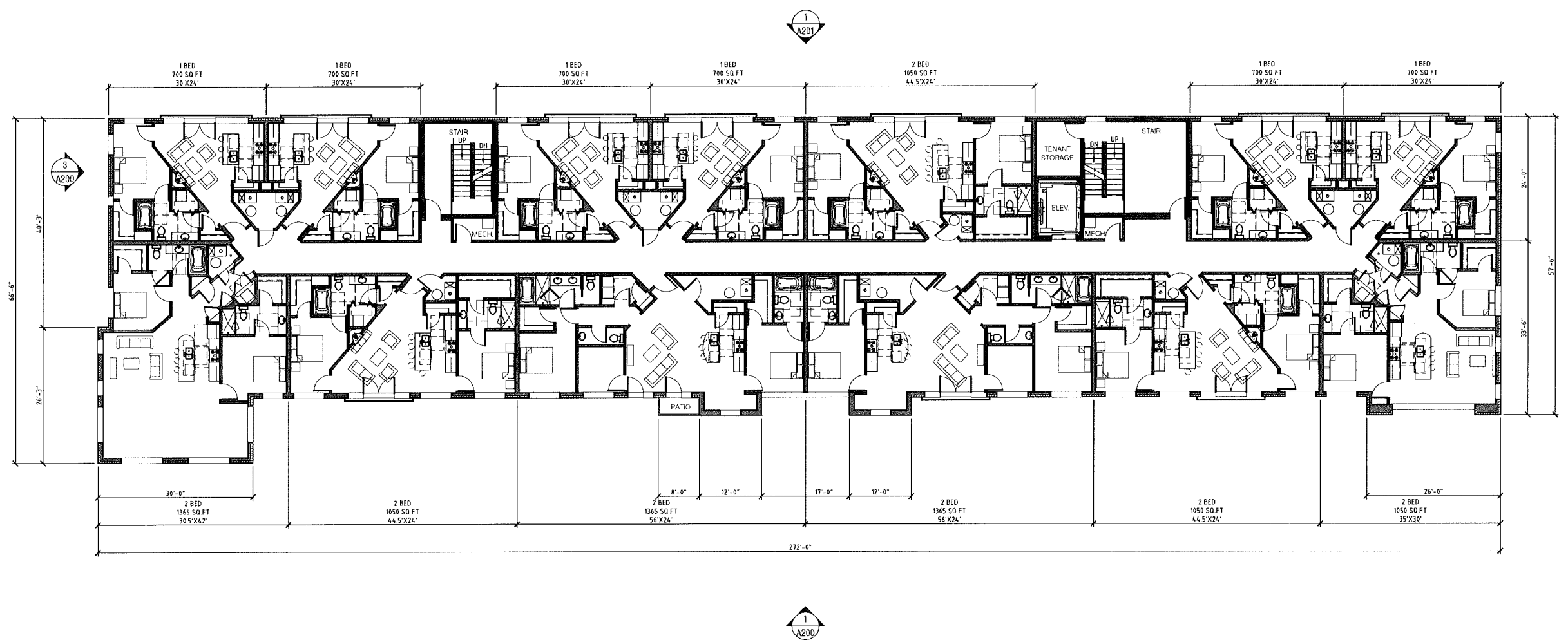
6/11/2015

Dell User

Unit Mix	
First Floor	
1 BED	6 UNITS
2 BED	7 UNITS
Second Floor	
1 BED	6 UNITS
2 BED	7 UNITS
Third & Fourth Floor	
1 BED	6 UNITS
2 BED	7 UNITS

DESIGNHAUS

301 WALNUT BOULEVARD
 ROCHESTER, MI 48307
 T: 248.601.4422
 F: 248.453.5854
 WWW.DESIGNHAUS.COM



No.	Revision/Issue	Date
1	Site Plan Approval Revision #2	6.11.15
2	Site Plan Approval Revision #1	5.15.15
3	Site Plan Approval	3.31.15

City Apartments
 E. Tienken and Rochester Rd.
 Rochester Hills, MI 48307
 United States of America

Third Floor Plan

1 Third Floor Plan
 SCALE 3/32" = 1'
 NORTH

A102	#98-047.3	014189
------	-----------	--------

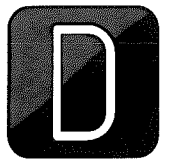
A102 Third Floor Plan.dwg

6/11/2015

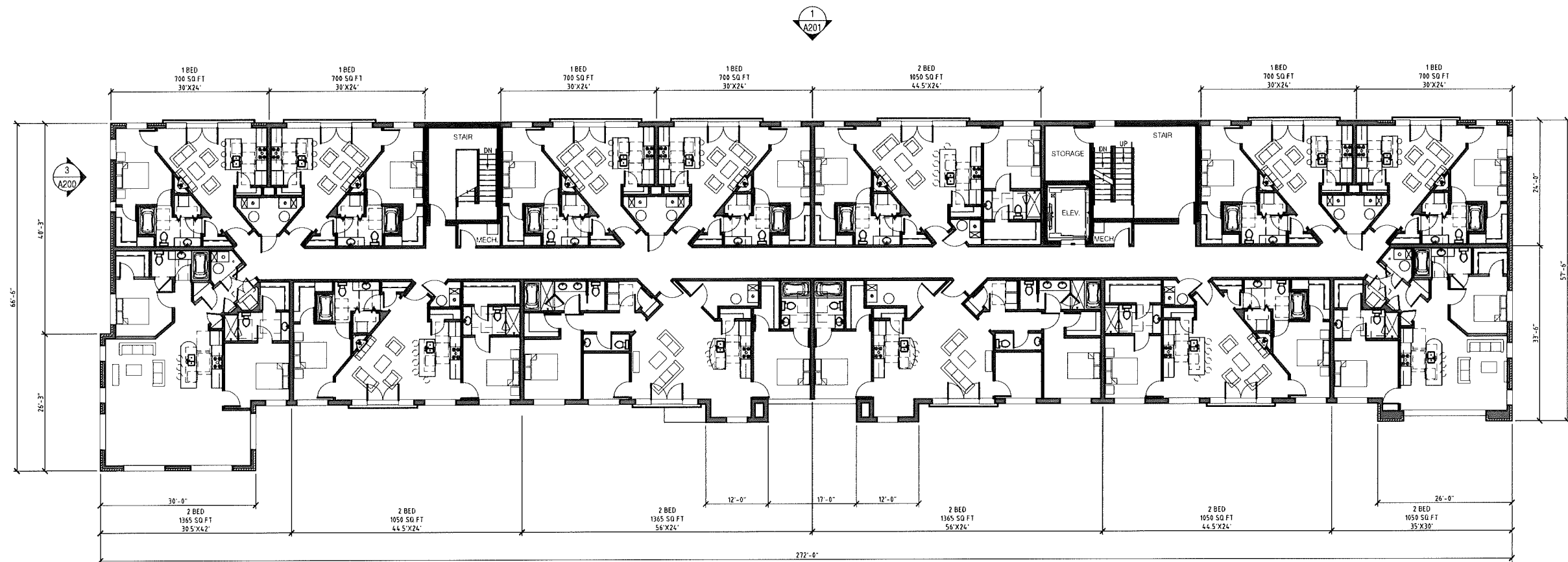
Dell User

DESIGNHAUS

301 WALNUT BOULEVARD
 ROCHESTER, MI 48307
 T: 248.601.4422
 F: 248.453.5854
 WWW.DESIGNHAUS.COM



Unit Mix	
First Floor	
1 BED	6 UNITS
2 BED	7 UNITS
Second Floor	
1 BED	6 UNITS
2 BED	7 UNITS
Third & Fourth Floor	
1 BED	6 UNITS
2 BED	7 UNITS



No.	Revision/Issue	Date
3	Site Plan Approval Revision #2	6.11.15
2	Site Plan Approval Revision #1	5.15.15
1	Site Plan Approval	3.31.15

City Apartments
 E. Tienken and Rochester Rd.
 Rochester Hills, MI 48307
 United States of America

Fourth Floor Plan

1 Fourth Floor Plan
 SCALE: 3/32" = 1'



A103	#98-047.3	014189
------	-----------	--------

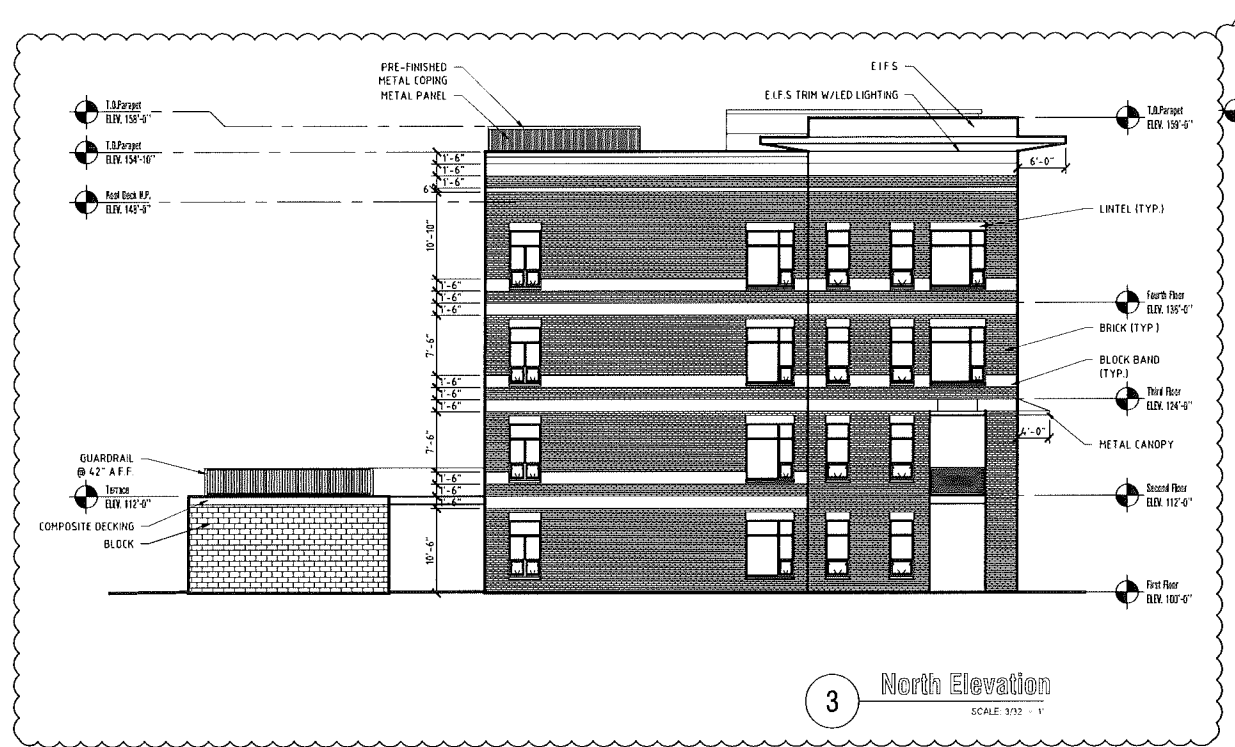
A103 Fourth Floor Plan.dwg

6/11/2015

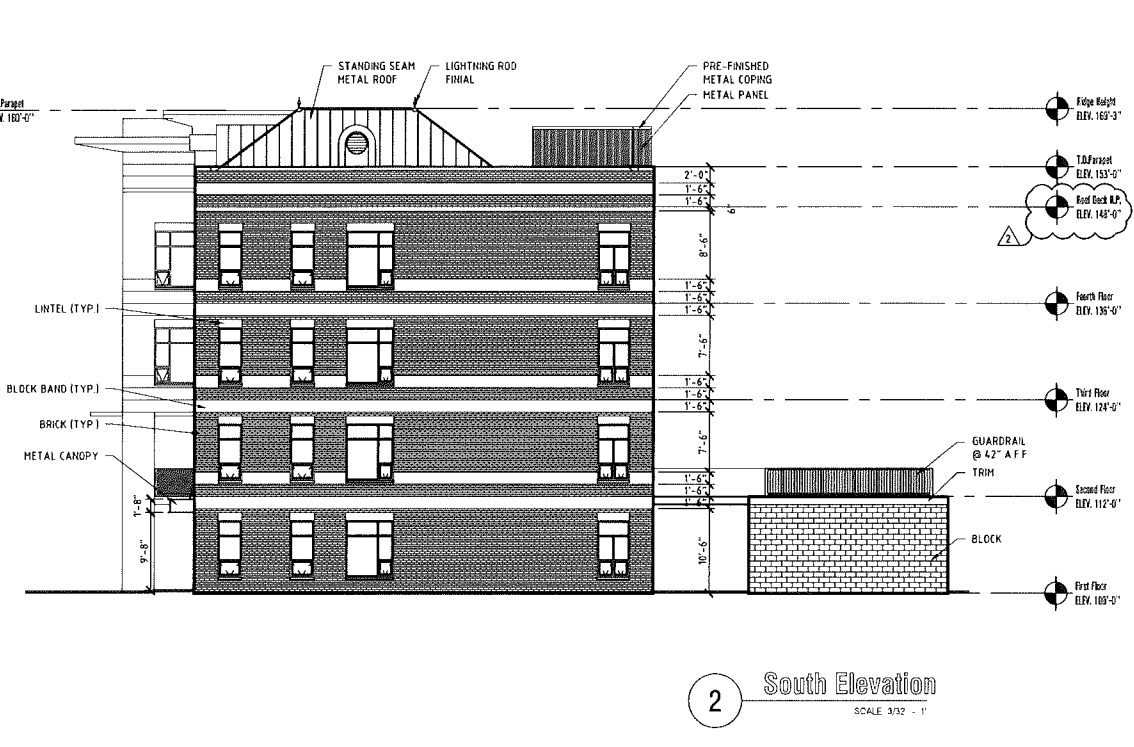
Joe

DESIGNHAUS

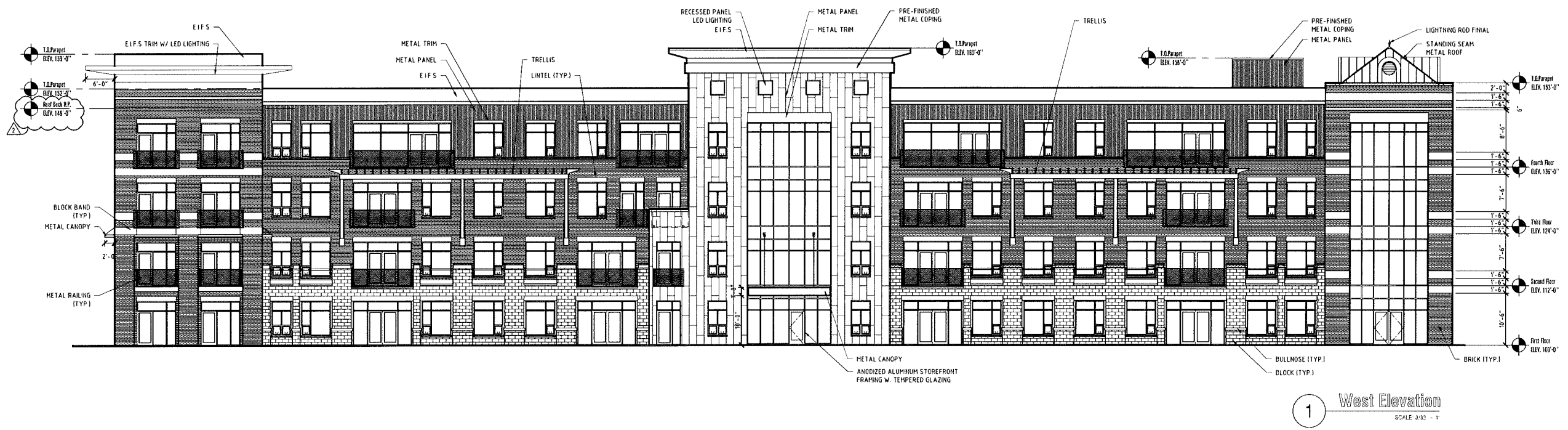
301 WALNUT BOULEVARD
 ROCHESTER, MI 48307
 T: 248.601.4422
 F: 248.453.5854
 WWW.DESIGNHAUS.COM



3 North Elevation
 SCALE 3/32 = 1"



2 South Elevation
 SCALE 3/32 = 1"



1 West Elevation
 SCALE 3/32 = 1"

No.	Revision/Issue	Date
1	Site Plan Approval Revision #2	6.11.15
2	Site Plan Approval Revision #1	5.15.15
	Site Plan Approval	3.31.15

City Apartments
 E. Tienken and Rochester Rd.
 Rochester Hills, MI 48307
 United States of America

Elevations

A200	#98-047.3	014189
------	-----------	--------

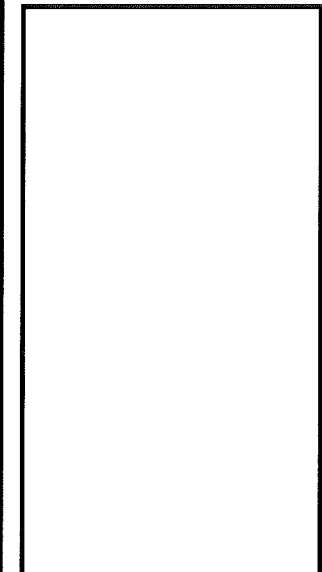
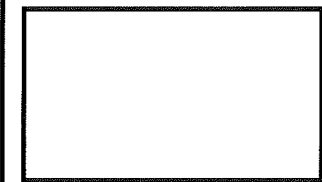
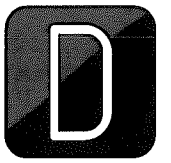
A200 Elevations.dwg

6/11/2015

Dell User

DESIGNHAUS

301 WALNUT BOULEVARD
 ROCHESTER, MI 48307
 T: 248.601.4422
 F: 248.453.5854
 WWW.DESIGNHAUS.COM



No.	Revision/Issue	Date
△	Site Plan Approval Revision #2	6.11.15
	Site Plan Approval Revision #1	5.15.15
	Site Plan Approval	3.31.15

City Apartments
 E. Tienken and Rochester Rd.
 Rochester Hills, MI 48307
 United States of America

Elevations

A201 #98-047.3 014189

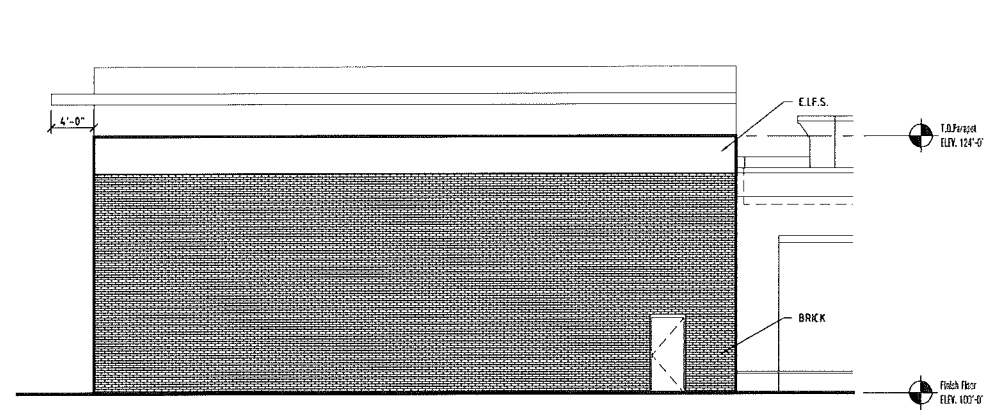
A201 Elevations.dwg

6/11/2015

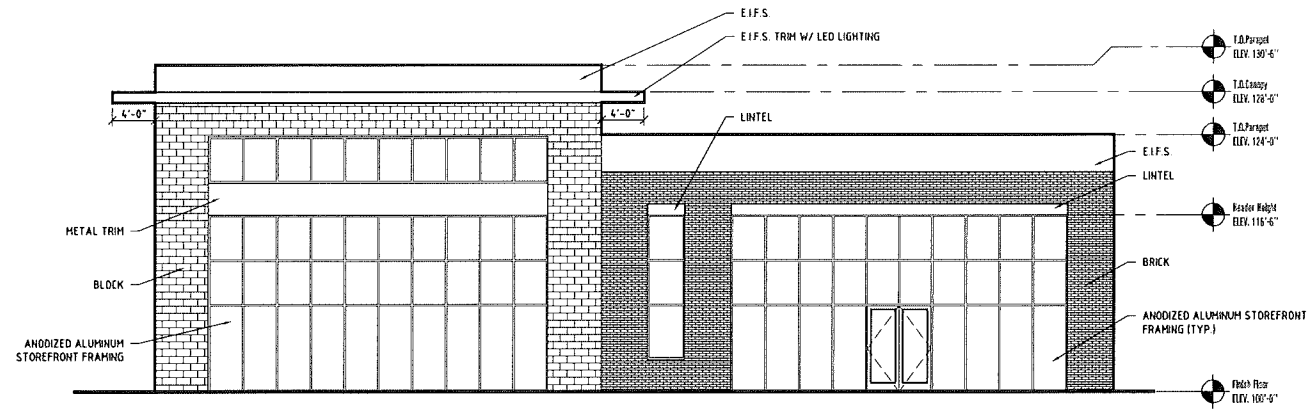
Dell User

DESIGNHAUS

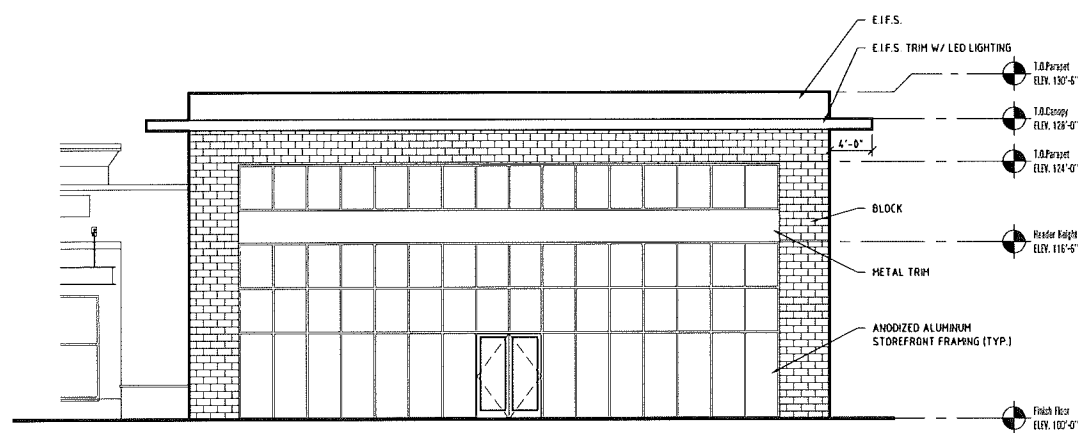
301 WALNUT BOULEVARD
 ROCHESTER, MI 48307
 T: 248.601.4422
 F: 248.453.5854
 WWW.DESIGNHAUS.COM



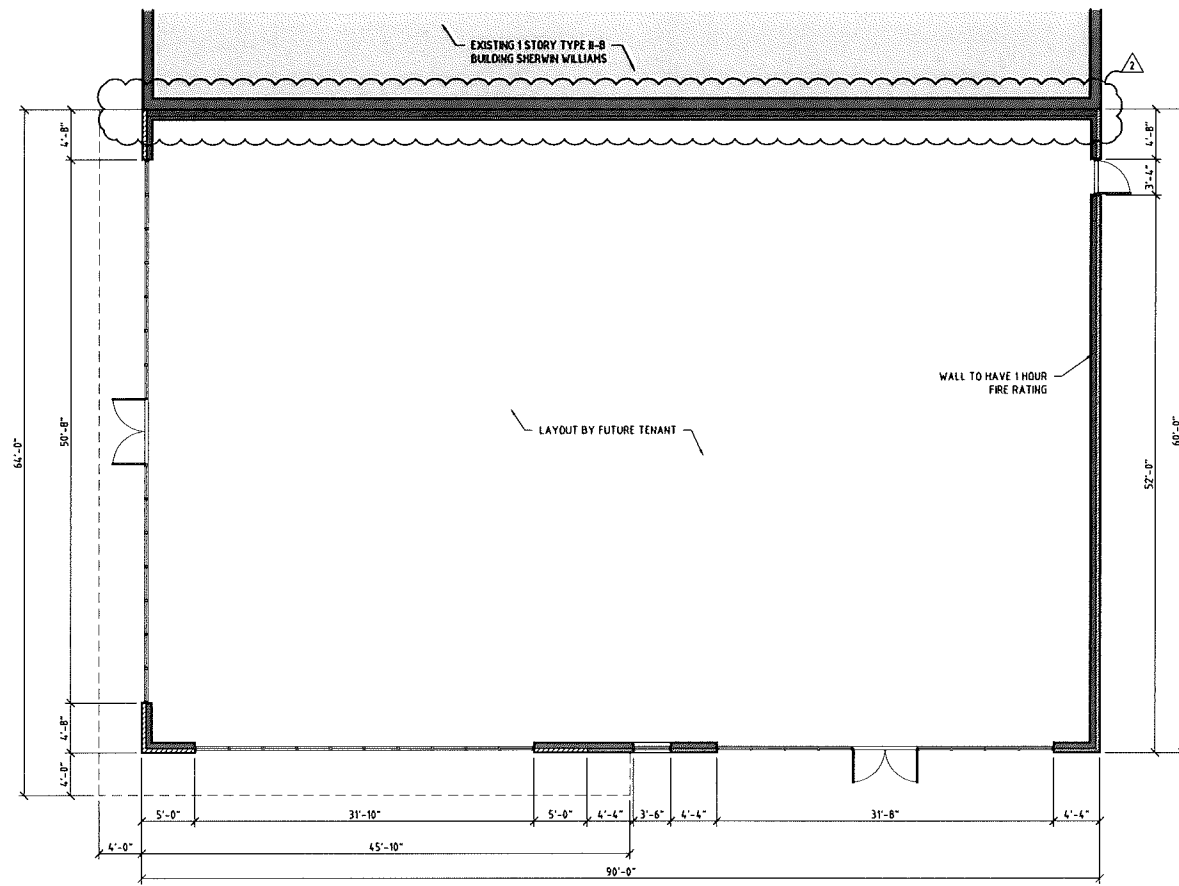
4 South Retail Elevation
 SCALE: 1/2" = 1'



3 West Retail Elevation
 SCALE: 1/8" = 1'



2 North Retail Elevation
 SCALE: 1/2" = 1'



1 Retail Floor Plan
 SCALE: 1/8" = 1'

No.	Revision/Issue	Date
△	Site Plan Approval Revision #2	6.11.15
△	Site Plan Approval Revision #1	5.15.15
	Site Plan Approval	3.31.15

City Apartments
 E. Tienken and Rochester Rd.
 Rochester Hills, MI 48307
 United States of America

Retail Building Plans &
 Elevations

A800 #98-047.3 014189