

PRELIMINARY SITE PLANS FOR
GENISYS CREDIT UNION
 PART OF THE SW 1/4 OF SECTION 23, T. 03N., R. 11E.
 ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

APPLICANT:

GENISYS CREDIT UNION
 2100 EXECUTIVE HILLS BLVD
 AUBURN HILLS, MICHIGAN 48326
 CONTACT: THOMAS ALTER
 PHONE: (248) 322-9800
 EMAIL: TALTER@GENISYSKU.COM

ARCHITECT:

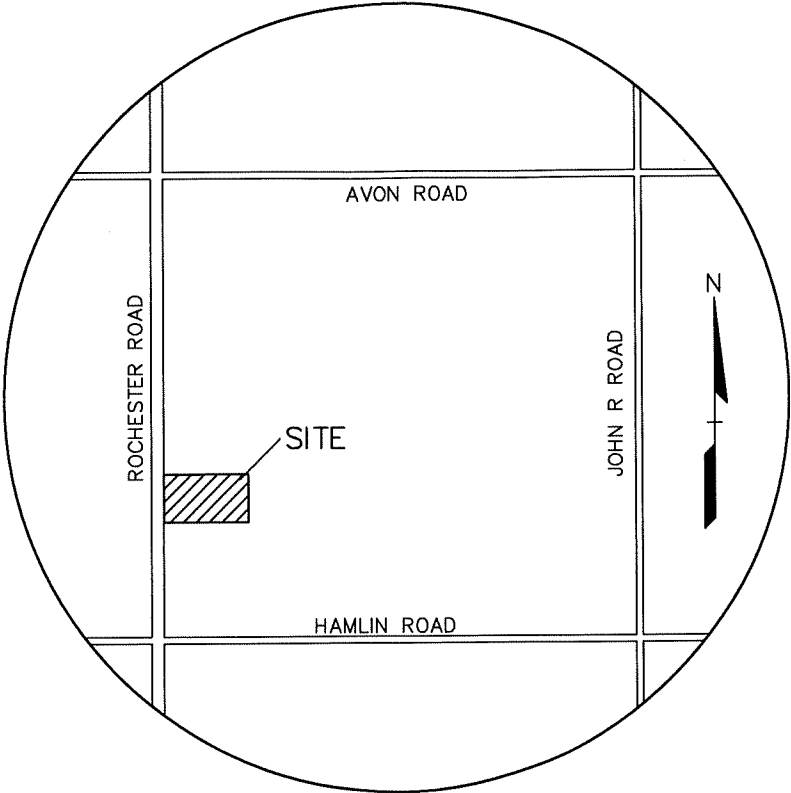
SDA ARCHITECTS
 42490 GARFIELD ROAD
 CLINTON TWP, MI 48038
 CONTACT: JOHN DEBRUYNE
 PHONE: (586) 286-9100 EXT. 17
 EMAIL: JDEBRUYNE@MSITSDA.COM

CIVIL ENGINEER:

PEA, INC.
 2430 ROCHESTER CT, SUITE 100
 TROY, MI 48063
 CONTACT: GREGORY BONO, P.E.
 PHONE: (248) 689-9090 EXT. 1148
 FAX: (248) 689-1044
 EMAIL: GBONO@PEAINC.COM

LANDSCAPE ARCHITECT:

PEA, INC.
 7927 NEMCO WAY, SUITE 115
 BRIGHTON, MI 48116
 CONTACT: JANET EVANS
 PHONE: (517) 546-8583 EXT. 1246
 FAX: (517) 546-8973
 EMAIL: JEVANS@PEAINC.COM



LOCATION MAP
 NO SCALE

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- C-1.0 TOPOGRAPHIC SURVEY
- C-2.0 PRELIMINARY SITE PLAN
- C-3.0 PRELIMINARY GRADING PLAN
- C-4.0 PRELIMINARY UTILITY PLAN
- C-5.0 NOTES AND DETAILS
- L-1.0 PRELIMINARY LANDSCAPE PLAN
- L-1.1 LANDSCAPE DETAILS
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- SL-1.1 PRELIMINARY PHOTOMETRIC SITE PLAN
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- A2.1 ARCHITECTURAL FLOOR PLAN
- A3.1 EXTERIOR BUILDING ELEVATION
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- A3.3 EXTERIOR BUILDING ELEVATION

NO.	DATE	REVISIONS
1		
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CAUTION!
 THE LOCATION AND ELEVATIONS OF EXISTING
 UTILITY STRUCTURES SHOWN ON THIS
 DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS
 EXTENDED OR IMPLIED TO THE
 CONTRACTOR SHALL BE EXERCISED BY RESPONSIBLE
 FOR DETERMINING THE EXACT LOCATION AND
 ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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 PEA, INC. AND ARE SUBJECT TO THE CONDITIONS
 OF THE CONTRACT UNDER WHICH THEY WERE
 PREPARED. NO PART OF THIS DRAWING SHALL BE
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CONSTRUCTION CONTRACTOR AGREES THAT IN
 ORDER TO MAINTAIN THE INTENTED DESIGN
 CONTRACTOR SHALL BE KEPT TO MAINTAIN EXISTING
 UTILITY STRUCTURES AND SHALL BE RESPONSIBLE FOR
 ANY DAMAGE TO THESE STRUCTURES DURING THE COURSE OF CONSTRUCTION
 OF THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR
 OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL
 APPLICABLE AGENCIES AND AUTHORITIES. CONTRACTOR SHALL
 MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND SHALL BE
 RESPONSIBLE FOR REMEDIATION OF ANY DAMAGE TO ADJACENT
 PROPERTIES. CONTRACTOR SHALL BE RESPONSIBLE FOR
 MAINTAINING ALL ADJACENT PROPERTIES IN A SAFE AND
 SOUND CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
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GENISYS CREDIT UNION 2100 EXECUTIVE HILLS BLVD. AUBURN HILLS, MI 48326	COVER SHEET GENISYS CREDIT UNION PART OF THE SW 1/4 OF SECTION 23, T. 03N., R. 11E. CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN	DESIGNER GMB	DRAWN DN	CHECKED KRD	SURVEYOR SJR	CONTRACTOR GWC	DATE P.M.	JOB NO. JPB
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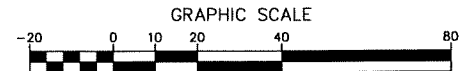
ORIGINAL ISSUE DATE:
 APRIL 10, 2019
 PEA JOB NO. 2019-065
 SCALE: N.T.S.
 DRAWING NUMBER:
C-0.0

LEGAL DESCRIPTION
(AS SURVEYED BY PEA, INC)

A parcel of land situated in a part of the Southwest 1/4 of Section 23, T.03N., R.11E., City of Rochester Hills, Oakland County, Michigan, being more particularly described as follows:

Commencing at the West 1/4 Corner of said Section 23, thence North 01 degrees 50 minutes 00 seconds West 2.36 feet; thence North 85 degrees 52 minutes 55 seconds East 66.05 feet to the east line of Rochester Road (width varies); thence South 01 degrees 48 minutes 43 seconds East 769.32 feet along said east line of Rochester Road to the south line of Eddington Blvd. (86 feet wide) and the POINT OF BEGINNING; thence along said south line North 88 degrees 11 Minutes 17 seconds East 379.03 feet; thence South 01 degrees 48 minutes 43 seconds East 200.02 feet; thence South 88 degrees 11 minutes 17 seconds West 379.03 feet to the east line of said Rochester Road; thence along said east line North 01 degrees 48 minutes 43 Seconds West 200.02 feet to the POINT OF BEGINNING. Containing 1.74± acres

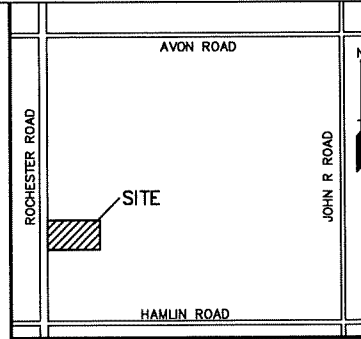
FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, THE SUBJECT PARCEL LIES WITHIN "AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN" (ZONE X) PER NON-PRINTED FEMA FLOOD INSURANCE RATE MAP 28125C-0392Z, EFFECTIVE SEPTEMBER 28, 2006.



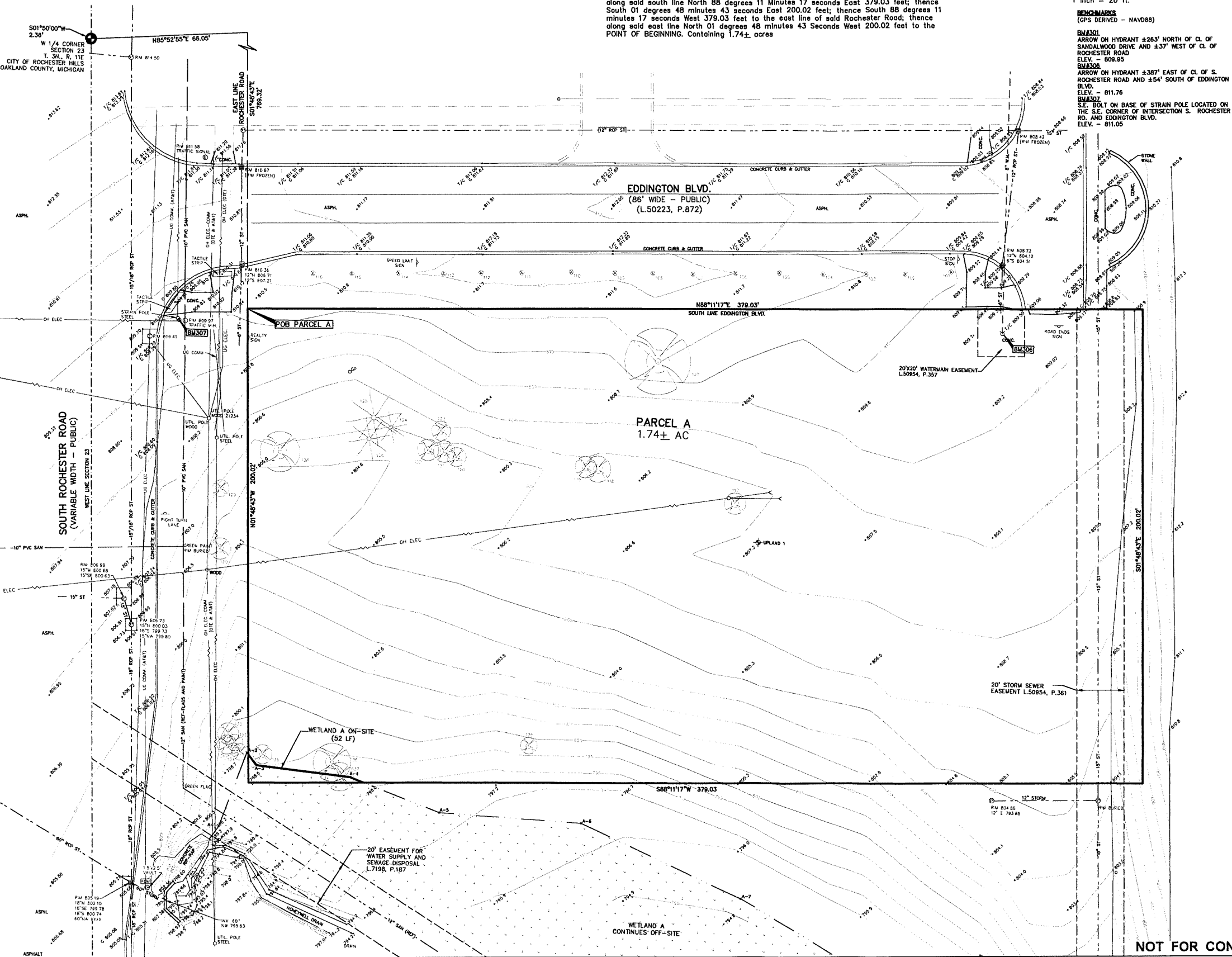
(IN FEET)
1 inch = 20 ft.

BENCHMARKS
(GPS DERIVED - NAVD88)

- BM301**
ARROW ON HYDRANT ±263' NORTH OF CL OF SANDALWOOD DRIVE AND ±37' WEST OF CL OF ROCHESTER ROAD
ELEV. - 809.95
- BM302**
ARROW ON HYDRANT ±387' EAST OF CL OF S. ROCHESTER ROAD AND ±54' SOUTH OF EDDINGTON BLVD.
ELEV. - 811.76
- BM307**
S.E. BOLT ON BASE OF STRAIN POLE LOCATED ON THE S.E. CORNER OF INTERSECTION S. ROCHESTER RD. AND EDDINGTON BLVD.
ELEV. - 811.05



NO.	DATE	REVISIONS
1	04/10/2019	ISSUED PER CITY COMMENTS
2	04/10/2019	REVISED PER CITY COMMENTS
3	04/10/2019	REVISED PER CITY COMMENTS
4	04/10/2019	REVISED PER CITY COMMENTS
5	04/10/2019	REVISED PER CITY COMMENTS
6	04/10/2019	REVISED PER CITY COMMENTS
7	04/10/2019	REVISED PER CITY COMMENTS
8	04/10/2019	REVISED PER CITY COMMENTS
9	04/10/2019	REVISED PER CITY COMMENTS
10	04/10/2019	REVISED PER CITY COMMENTS



LEGEND

- IRON FOUND
 - IRON SET
 - NAIL FOUND
 - NAIL & CAP SET
 - BRASS PLUG SET
 - MONUMENT SET
 - SEC. CORNER FOUND
 - RECORDED
 - MEASURED
 - CALCULATED
- EXISTING**
- ELEC. POLE OR CABLE TV ON LINE, POLE & CUY WRE
 - UNDERGROUND CABLE TV, CUY PROTECTA
 - TELEPHONE U.S. CABLE, FIBERGLASS & MANHOLE
 - ELECTRIC U.S. CABLE, MANHOLE, WEEB & MANHOLE
 - GAS MAIN, VALVE & GAS LINE MARKER
 - WATER MAIN, VALVE, GATE VALVE, TAPPING SIZE & VALVE
 - STORM SEWER, CLEANOUT & MANHOLE
 - COMBINED SEWER & MANHOLE
 - SQUARE, ROUND & MEDIAN CATCH BASIN, YARD DRAIN
 - POST HOLE FOR WALK
 - WATER VALVE SOLE/VALVE VALVE BOX, SERVICE SHEDDIT
 - MALMO, TRANSFORMER, PROTECTOR CONTROL VALVE
 - UNIDENTIFIED STRUCTURE
 - SPOT ELEVATION
 - CONTOUR LINE
 - FENCE
 - CHAIN RAIL
 - STREET LIGHT
 - SDN
- REFERENCE DRAWINGS**
- WATER MAIN CITY OF ROCHESTER HILLS
 - SANITARY SEWER CITY OF ROCHESTER HILLS
 - STORM SEWER CITY OF ROCHESTER HILLS
 - ELECTRIC NOT RECORDED 03-13-19
 - GAS AT&T
 - CONSUMERS ENERGY
 - COVECAST

BASE OF BEARING:
BEARINGS ARE BASED ON A ROAD AND RIGHT-OF-WAY CONVEYANCE, REALIGNMENT AND CONSTRUCTION AGREEMENT RECORDED IN LIBER 50223, PAGE 872 O.C.R.



CAUTION!
THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS DRAWING ARE BASED ON FIELD SURVEY AND RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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GENISYS CREDIT UNION
2100 W. LIVERMORE BLVD., SUITE 100
AUBURN HILLS, MI 48003

TOPOGRAPHIC SURVEY
GENISYS CREDIT UNION
2100 W. LIVERMORE BLVD., SUITE 100
AUBURN HILLS, MI 48003

DES. GMB DN. KR. SUR. GWC. P.M. JPB

ORIGINAL ISSUE DATE: APRIL 10, 2019
PEA JOB NO. 2019-065
SCALE: 1" = 20'
DRAWING NUMBER: **C-1.0**

NOT FOR CONSTRUCTION

CITY FILE NO. 19-018, SECTION 23

REF: S:\PROJ\2019\2019065\DWG\19245-TOPOBASE.DWG
REF: S:\PROJ\2019\2019065\DWG\19245-BASE-19065.DWG
REF: S:\PROJ\2019\2019065\DWG\19245-TRK-19065.DWG

FIRE DEPARTMENT NOTES:

- FIRE LANES SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED MORE THAN 100 FEET APART, FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 503.
- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14.
- OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WASHING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.8.2.3.
- A KNOX KEY SYSTEM SHALL BE INSTALLED AT EACH BUILDING IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE KNOXBOX.COM.

GENERAL NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCHESTER HILLS CURRENT STANDARDS AND REGULATIONS.
 - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
 - ALL SIGNS MUST MEET SECTION 138-10.302 AND CHAPTER 134 OF THE CITY CODE OF ORDINANCES AND BE APPROVED UNDER A SEPARATE PERMIT ISSUED BY THE BUILDING DEPARTMENT.
 - LARGE DELIVERIES ARE NOT ANTICIPATED ON SITE.

LEGAL DESCRIPTION
(AS SURVEYED BY PEA, INC)

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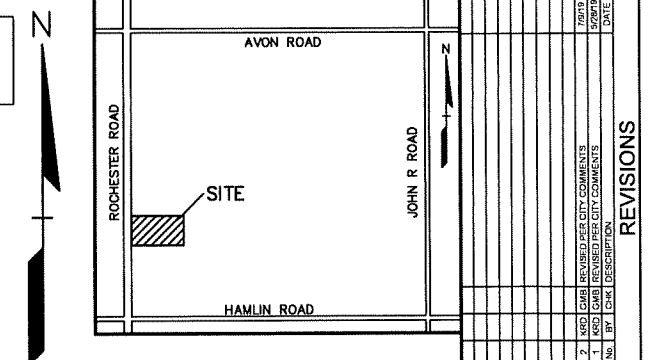
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

BENCHMARKS
(GPS DERIVED - NAVD83)

- BMA501: ARROW ON HYDRANT ±283' NORTH OF CL OF SANDALWOOD DRIVE AND ±37' WEST OF CL OF ROCHESTER ROAD. ELEV. - 809.95
- BMA502: ARROW ON HYDRANT ±387' EAST OF CL OF S. ROCHESTER ROAD AND ±54' SOUTH OF EDDINGTON BLVD. ELEV. - 811.76
- BMA503: S.E. BOLT ON BASE OF STRAIN POLE LOCATED ON THE S.E. CORNER OF INTERSECTION S. ROCHESTER RD. AND EDDINGTON BLVD. ELEV. - 811.05



LOCATION MAP - NOT TO SCALE

LEGEND

EXISTING

- ON-ELEC-4V-C-C: ELEC. PINK ON CABLE TV 6X LINE, POLE & 6X WYE UNDERGROUND CABLE TV, GUY PEDESTAL
- UC-CATV: UNDERGROUND CABLE TV, GUY PEDESTAL
- UC-PHONE: TELEPHONE U.S. CABLE, PEDESTAL & MANHOLE
- UG-ELEC: ELECTRIC U.S. CABLE, MANHOLE, METER & MANHOLE
- UG-GAS: GAS MAIN, VALVE & GAS LINE MANHOLE
- WATER: WATER MAIN, GUY WIRE, TAPPING VALVE & VALVE
- SEWER: SANITARY SEWER, CLEANOUT & MANHOLE
- STORM: STORM SEWER, CLEANOUT & MANHOLE
- COMBINED: COMBINED SEWER & MANHOLE
- SQUARE: SQUARE, RIDGE & RIDGE CATCH BASIN, 1/800 BEAM POST, RIDGE VALVE
- WATER VALVE: WATER VALVE, GUY WIRE, TAPPING VALVE
- VALVE: VALVE, TRANSFORMER, REGULATOR CONTROL VALVE
- UNDEVELOPED: UNDEVELOPED STRUCTURE
- SPOT ELEVATION: SPOT ELEVATION
- CONTROL LINE: CONTROL LINE
- FOURCE: FOURCE
- QUAD RAIL: QUAD RAIL
- STREET LIGHT: STREET LIGHT
- SKIN: SKIN

PROPOSED

- CONC: CONCRETE
- ASPH: ASPHALT
- GRAVEL: GRAVEL SHOULDER
- WEIAND: WEIAND
- STR: STR
- HEAVY DUTY BUTY BUTY DUTY: HEAVY DUTY BUTY BUTY DUTY
- HEAVY DUTY BUTY BUTY DUTY: HEAVY DUTY BUTY BUTY DUTY

REFERENCE DRAWINGS

- WATER MAIN: CITY OF ROCHESTER HILLS
- SANITARY SEWER: CITY OF ROCHESTER HILLS
- STORM SEWER: CITY OF ROCHESTER HILLS
- ELECTRIC: CITY OF ROCHESTER HILLS
- TELEPHONE: CITY OF ROCHESTER HILLS
- GAS: CITY OF ROCHESTER HILLS
- CATV: CITY OF ROCHESTER HILLS

SIDEWALK RAMP LEGEND:

SIDEWALK RAMP "TYPE R"

REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

SIGN LEGEND:

- SIGN TYPE 'A'
- SIGN TYPE 'B'
- SIGN TYPE 'D'
- SIGN TYPE 'E'
- SIGN TYPE 'F'

REFER TO SHEET A1.1 FOR SIGN DETAILS

SITE DATA TABLE:

SITE AREA: 1.74 AC (75,814 SF)

ZONING: ZONED R4 "ONE-FAMILY RESIDENTIAL" DISTRICT WITH FB-2, FLEX BUSINESS OVERLAY

CONSTRUCTION TYPE: 58

PROPOSED USE: COMMERCIAL BANK

PROPOSED BUILDING FOOTPRINT AREA = 3,528 SF

BUILDING INFORMATION:

MAXIMUM ALLOWABLE BUILDING HEIGHT = 2 STORES (30 FT)

PROPOSED BUILDING HEIGHT = 2 STORES (28 FT)

SETBACK REQUIREMENTS:	REQUIRED:	PROPOSED:
FRONT SETBACK (WEST):	15'-25'	20.00'
FRONT SETBACK (NORTH):	0'-7'	7.00'
SIDE SETBACK (SOUTH):	25'	118.02'
SIDE SETBACK (EAST):	25'	304.03'
FRONT PARKING SETBACK:	15'	58.00'
SIDE PARKING SETBACK:	10'	24.52'

MIN. BUILDING FRONTAGE BUILD-TO AREA CALCULATIONS:

FRONTAGE %	REQUIRED:	PROPOSED:
FRONT YARD ALONG ARTERIAL ROAD	40%	72' = 36.0% **
FRONT YARD ALONG MAIN STREET	90%	52' = 13.7% **

** MODIFICATION REQUESTED

PARKING CALCULATIONS:

NONRESIDENTIAL PARKING REQUIRED = 1 SPACE PER 400 SF = 3,528/400 = 9 SPACES

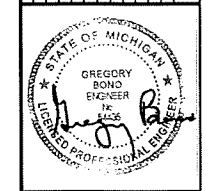
NONRESIDENTIAL PARKING PROVIDED = 39 SPACES INC. 2 ADA SPACES

STACKING SPACES REQUIRED = 3 SPACES/SERVICE WINDOW

STACKING SPACES PROVIDED = 4 SPACES/ SERVICE WINDOW

REVISIONS

NO.	DATE	DESCRIPTION
1		
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GENISYS CREDIT UNION

2100 EXECUTIVE HILLS BLVD.
AUBURN HILLS, MI 48006

PRELIMINARY SITE PLAN

GENISYS CREDIT UNION

PART OF THE SW 1/4 OF SECTION 23, T. 3N., R. 11E.
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

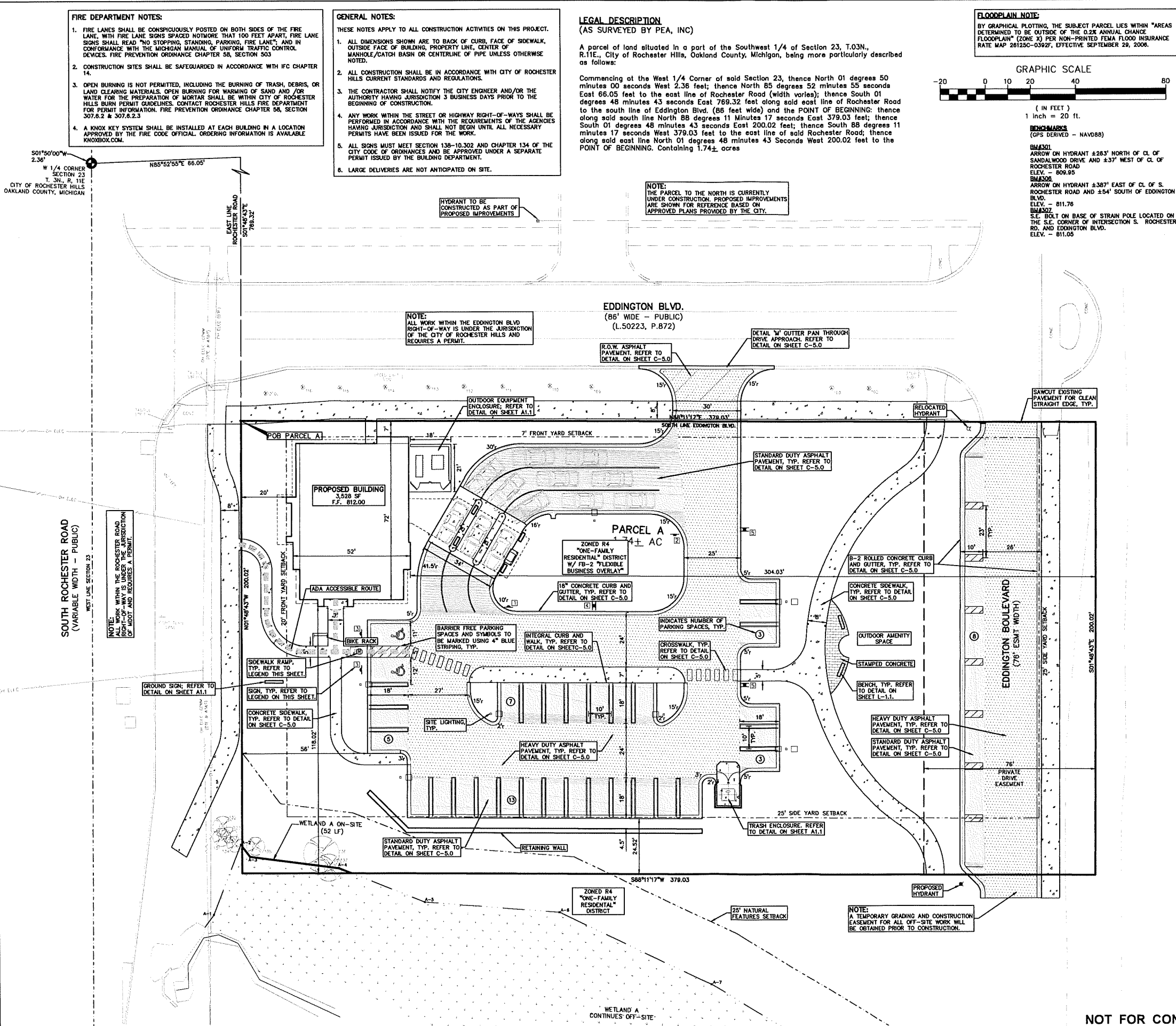
DES: GMB DN SUR GWC P.M. JPB

ORIGINAL ISSUE DATE:
APRIL 10, 2019

PEA JOB NO. 2019-055

SCALE: 1" = 20'

DRAWING NUMBER:
C-2.0



LEGAL DESCRIPTION
(AS SURVEYED BY PEA, INC)

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GRAPHIC SCALE
-20 0 10 20 40 80
IN FEET
1 inch = 20 ft.

BENCHMARKS
(GPS DERIVED - NAVD88)

- BM#301
ARROW ON HYDRANT ±263' NORTH OF CL. OF SANDALWOOD DRIVE AND ±37' WEST OF CL. OF ROCHESTER ROAD
ELEV. - 809.95
- BM#306
ARROW ON HYDRANT ±367' EAST OF CL. OF S. ROCHESTER ROAD AND ±54' SOUTH OF EDDINGTON BLVD.
ELEV. - 811.76
- BM#302
BOLT ON BASE OF STRAIN POLE LOCATED ON THE S.E. CORNER OF INTERSECTION S. ROCHESTER RD. AND EDDINGTON BLVD.
ELEV. - 811.05

LOCATION MAP - NOT TO SCALE

LEGEND

● IRON FOUND	○ BRASS PLUG SET	○ SEC. CORNER FOUND
× IRON SET	○ MONUMENT FOUND	○ RECORDED
# MAX. FOUND	○ MONUMENT SET	○ MEASURED
□ MAX. & CAP SET		○ CALCULATED

EXISTING	PROPOSED
—OH-ELEC-14—	ELEC. POND OR CABLE TV SH. LINE, POLE & GUY WIRE
—UG-CATV—	UNDERGROUND CABLE TV, GUY PIEDestal
—UG-PHONE—	TELEPHONE U.S. CABLE, PEDestal & MANHOLE
—UG-ELEC—	ELECTRIC U.S. CABLE, MANHOLE, WEEPER & MANHOLE
—S&W—	S&W MARK, WALK & GAS LINE MARKER
—S&W—	INTERNAL, INT. GATE, WALK, TAPPING SLEEVE & VALVE
—S&W—	SAFETY SENDER, CLEANOUT & MANHOLE
—S&W—	STORM SENDER, CLEANOUT & MANHOLE
—S&W—	COMBINED SENDER & MANHOLE
—S&W—	SHANK, ROAD & BROWNE CATCH BASIN, TANK BRAM
—S&W—	POST INDICATOR WALK
—S&W—	WATER VALVE BOX/HYDRANT WALK BOX, SERVICE SHUTOFF
—S&W—	MALIBU, TRANSFORMER, REGULATOR CONTROL VALVE
—S&W—	UNGRADED STRUCTURE
—S&W—	SPOT ELEVATION
—S&W—	CORNER LINE
—S&W—	FENCE
—S&W—	GUARD RAIL
—S&W—	STREET LIGHT
—S&W—	SIGN
—S&W—	CONCRETE
—S&W—	ASPHALT
—S&W—	GRAVEL SHOULDER
—S&W—	WETLAND
—S&W—	HEAVY ROAD BUTY
—S&W—	HEAVY TRIP BUTY
—S&W—	STREET SWATH

REFERENCE DRAWINGS

- WATER MAIN CITY OF ROCHESTER HILLS
- SANITARY SEWER CITY OF ROCHESTER HILLS
- STORM SEWER CITY OF ROCHESTER HILLS
- ELECTRIC CITY OF ROCHESTER HILLS
- TELEPHONE CITY OF ROCHESTER HILLS
- GAS CITY OF ROCHESTER HILLS
- CATV CITY OF ROCHESTER HILLS

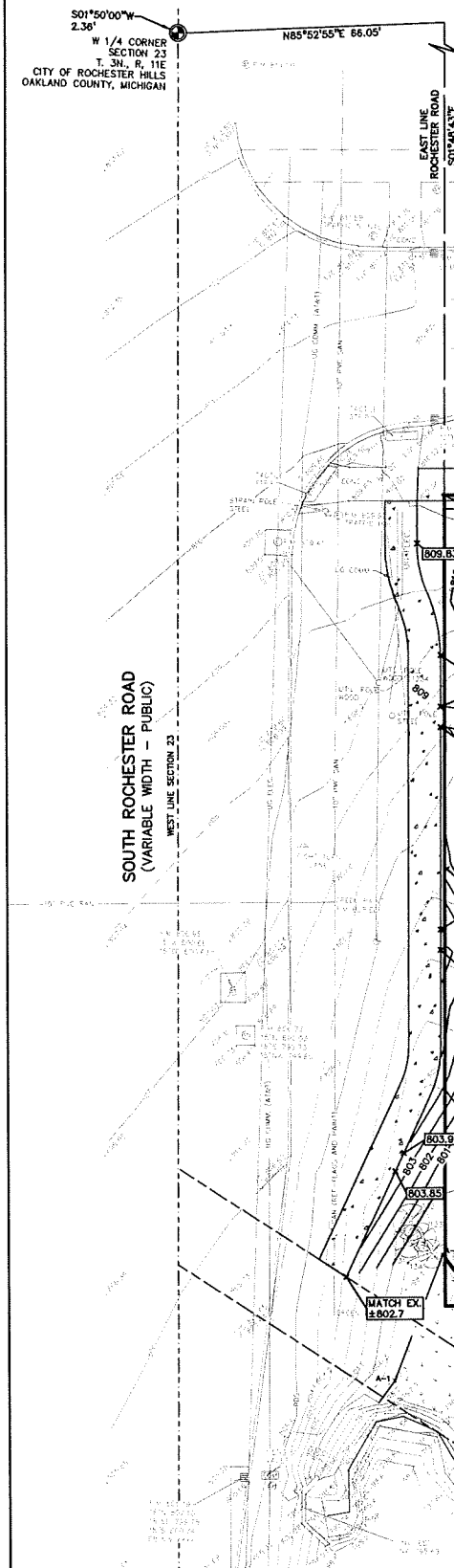
SIDEWALK RAMP LEGEND:
SIDEWALK RAMP "TYPE R"
REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

SYMBOLS: GRADING
PROPOSED SPOT GRADE ELEVATION. ALL GRADES INDICATED ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
PROPOSED CONTOUR LINE

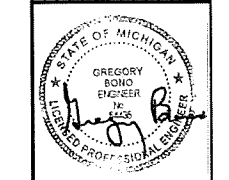
EARTHWORK BALANCING NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

GENERAL GRADING AND EARTHWORK NOTES:
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
2. ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
3. THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
4. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCHESTER HILLS AND OAKLAND COUNTY. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE CITY PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE GEOTECHNICAL ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.



NO.	BY	DATE	DESCRIPTION
1	GENISYS	2019-06-10	ISSUED FOR PERMIT
2	GENISYS	2019-06-10	REVISED PER CITY COMMENTS
3	GENISYS	2019-06-10	REVISED PER CITY COMMENTS
4	GENISYS	2019-06-10	REVISED PER CITY COMMENTS
5	GENISYS	2019-06-10	REVISED PER CITY COMMENTS



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F: 248.689.1064
www.peainc.com

GENISYS CREDIT UNION
2700 EXECUTIVE HILLS BLVD.
AUBURN HILLS, MI 48006

PRELIMINARY GRADING PLAN
FOR
GENISYS CREDIT UNION
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. GMB DN MKD SUR GVC P.M. JPB
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

ORIGINAL ISSUE DATE:
APRIL 10, 2019

PEA JOB NO. 2019-065

SCALE: 1" = 20'

DRAWING NUMBER:
C-3.0

CITY FILE NO. 19-018, SECTION 23
NOT FOR CONSTRUCTION

REVISED PER CITY COMMENTS

total	area	C	A x C
nervous	7,845	0.25	1,961
nervous	26,825	0.95	25,484
FUTURE	13,907	0.80	11,126
		0.794	38,571

Project: Genisys Credit Union
 Location: Rochester Hills
 Project No: 2019-065
 25-YEAR STORM DETENTION DESIGN
 (OAKLAND COUNTY DESIGN METHOD)

Contributing Area (A): 1.115 acres
 Allowable Discharge (Qa): 0.223 CFS (0.2 CFS/acre)
 Coefficient of Runoff (Cr): 0.794

Calculation of Required Discharge/Acre

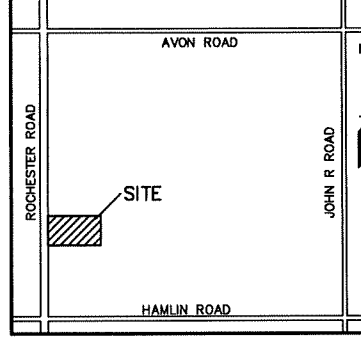
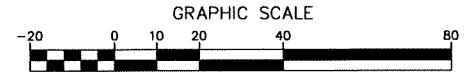
Storage Volume Required:
 $V_s = (12900(T)/(T+25)) - 40Q_0(T)$ 9546.71
 $V_t = (V_s)(A)(Cr)$ 8,453
 Total Required = 8,453 CF

LEGAL DESCRIPTION
 (AS SURVEYED BY PEA, INC)

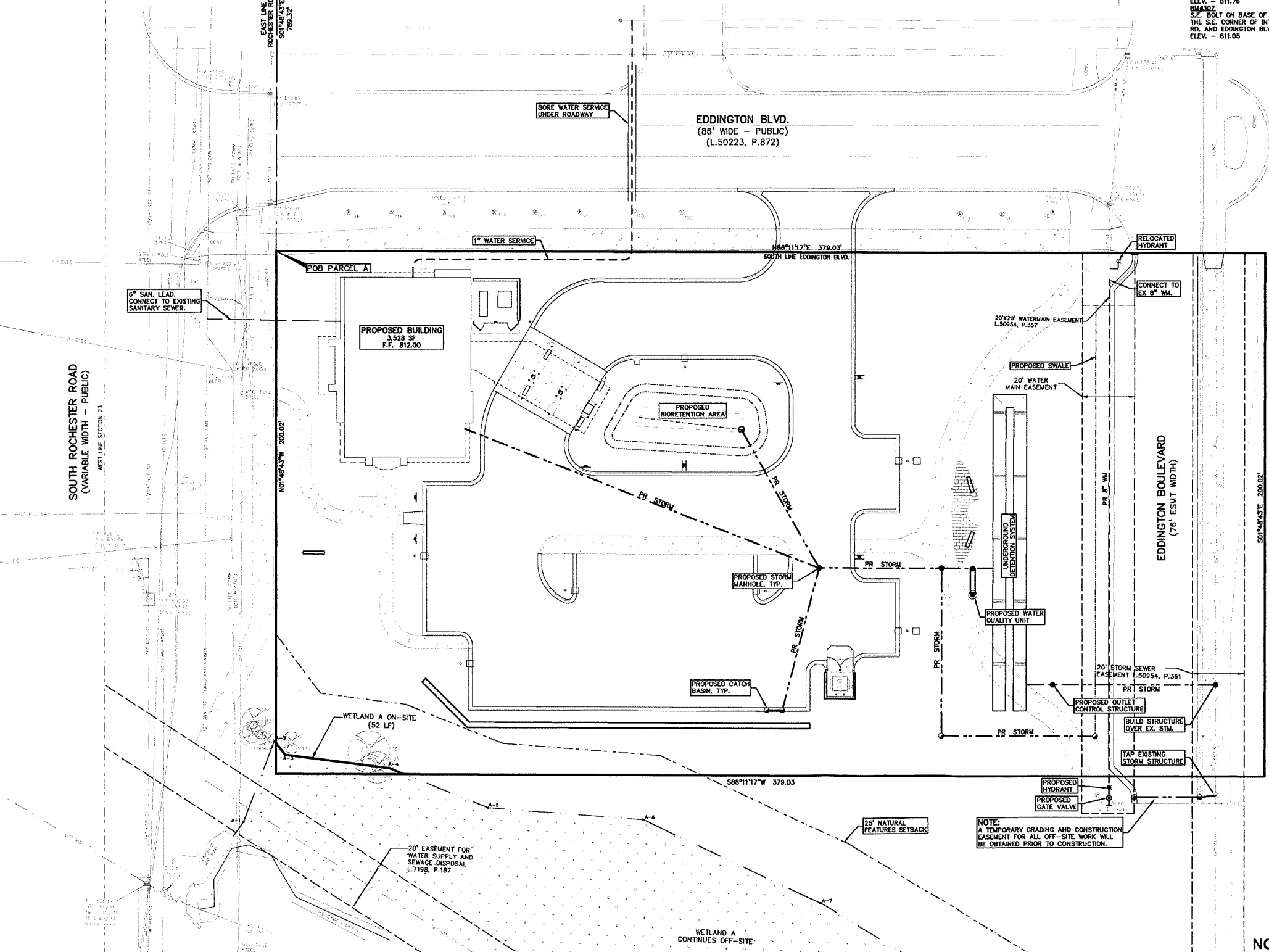
A parcel of land situated in a part of the Southwest 1/4 of Section 23, T.03N., R.11E., City of Rochester Hills, Oakland County, Michigan, being more particularly described as follows:

Commencing at the West 1/4 Corner of said Section 23, thence North 01 degrees 50 minutes 00 seconds West 2.36 feet; thence North 85 degrees 52 minutes 55 seconds East 66.05 feet to the east line of Rochester Road (width varies); thence South 01 degrees 48 minutes 43 seconds East 789.32 feet along said east line of Rochester Road to the south line of Eddington Blvd. (86 feet wide) and the POINT OF BEGINNING; thence along said south line North 88 degrees 11 Minutes 17 seconds East 379.03 feet; thence South 01 degrees 48 minutes 43 seconds East 200.02 feet; thence South 88 degrees 11 minutes 17 seconds West 379.03 feet to the east line of said Rochester Road; thence along said east line North 01 degrees 48 minutes 43 seconds West 200.02 feet to the POINT OF BEGINNING. Containing 1.74± acres

FLOODPLAIN NOTE
 BY GRAPHICAL PLOTTING, THE SUBJECT PARCEL LIES WITHIN "AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE X) PER NON-PRINTED FEMA FLOOD INSURANCE RATE MAP 28125C-0392F, EFFECTIVE SEPTEMBER 28, 2008.



501°50'00" W
2.36'
W 1/4 CORNER
SECTION 23
T. 3N., R. 11E
OAKLAND COUNTY, MICHIGAN



LEGEND

EXISTING

- IRON FOUND
- IRON SET
- MAIL FEED
- MAIL & CAP SET
- ELEC. POLE OR CABLE TYP. ON LINE, POLE & BY WIRE
- UNDERGROUND CABLE N, CATV PEDESTAL
- TELEPHONE U.S. CABLE, PEDESTAL & MANHOLE
- ELECTRIC U.S. CABLE, MANHOLE, WELER & MANHOLE
- GAS MAIN, VALVE & GAS LINE MANHOLE
- WATER MAIN, VALVE, SILE, SINK, TRAPPING, SINK & TRAP
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SQUARE, ROUND & RIDGE CATCH BASIN, TRAP BRAN
- POST INDICATOR VALVE
- WATER VALVE, BACKFLOW VALVE, BOX, SERVICE SHUTOFF
- WALKER, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNLABELED STRUCTURE
- SPOT ELEVATION
- CURB ELEVATION
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIGN
- CONCRETE
- ASPH.
- GRAVEL
- WEIARD

PROPOSED

- RECORDED
- MEASURED
- CALCULATED
- HEAVY DUTY
- BUTY DUTY
- HEAVY DUTY
- BUTY FRESH

REFERENCE DRAWINGS

- WATER MAIN CITY OF ROCHESTER HILLS
- SANITARY SEWER CITY OF ROCHESTER HILLS
- STORM SEWER CITY OF ROCHESTER HILLS
- ELECTRIC CITY OF ROCHESTER HILLS
- TELEPHONE CITY OF ROCHESTER HILLS
- CATV CITY OF ROCHESTER HILLS
- CONSUMERS ENERGY
- COAST

GENERAL UTILITY NOTES:
 ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE CITY OF ROCHESTER HILLS.

DRAINAGE NARRATIVE:
 THE PROPOSED DEVELOPMENT WILL DRAIN TO AN UNDERGROUND DETENTION SYSTEM AND RELEASED TO THE EXISTING SYSTEM AT THE PRE-DEVELOPMENT DISCHARGE RATE.

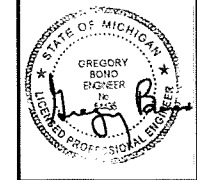
PROPOSED SANITARY SEWER BASIS OF DESIGN:
 (Unit Factors Based on Oakland County Unit Assignment Factors)

BANK		
Square Footage	3,528 S.F.	
Unit Factor	0.4 PER 1,000 SF	
REU	1.4	
Population (P) (3.5 PEOPLE/EDU)	4.9 People	
TOTAL		
REU	1.4	
Average Flow (100 GPCPD)	5 People	
	494 G.P.D.	
	0.001 C.F.S.	
	0.005	
P (1000s)	4.90	
Peaking Factor (PF)	4.00	
PF = (18 + sqrt(P)) / (4 + sqrt(P))		
Peak Flow (G.D.P.)	1,976 G.P.D.	
Peak Flow (C.F.S.)	0.003 C.F.S.	

NOTE:
 A TEMPORARY GRADING AND CONSTRUCTION EASEMENT FOR ALL OFF-SITE WORK WILL BE OBTAINED PRIOR TO CONSTRUCTION.

REVISIONS

NO.	DATE	DESCRIPTION
1	04/10/2019	ISSUE FOR PERMITS
2	04/10/2019	REVISED PER CITY COMMENTS
3	04/10/2019	REVISED PER CITY COMMENTS
4	04/10/2019	REVISED PER CITY COMMENTS
5	04/10/2019	REVISED PER CITY COMMENTS



CAUTION!
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 F: 248.688.1044
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GENISYS CREDIT UNION
 2100 W. WOODRIDGE BLVD., SUITE 100
 TROY, MI 48063-1872

PRELIMINARY UTILITY PLAN
GENISYS CREDIT UNION
 PART OF THE SW 1/4 OF SECTION 23, T. 3N., R. 11E
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DIES: GMB DN 4RD SUR GWC P.M. JPB
 P:\PROJECTS\2019-065 GENISYS CREDIT UNION\DWG\2019-065-010.DWG

ORIGINAL ISSUE DATE:
 APRIL 10, 2019

PEA JOB NO. 2019-065

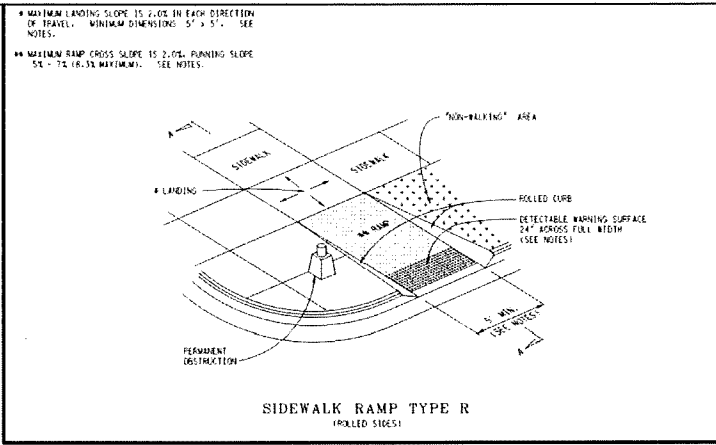
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DRAWING NUMBER:
C-4.0

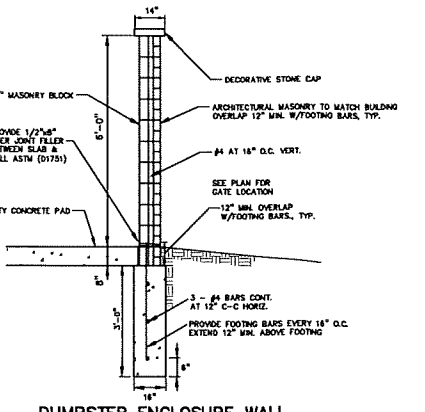
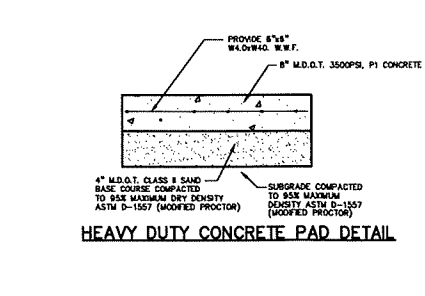
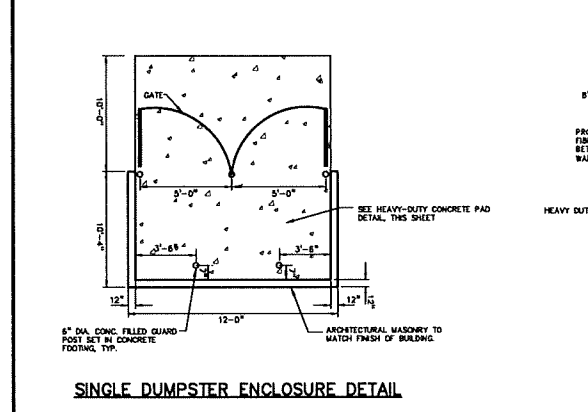
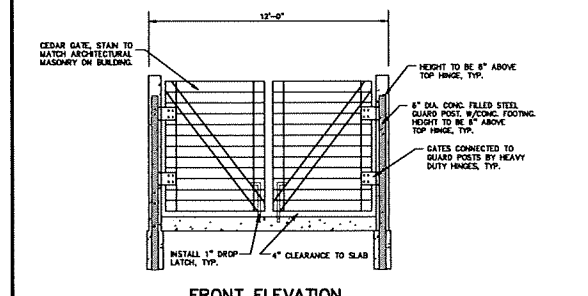
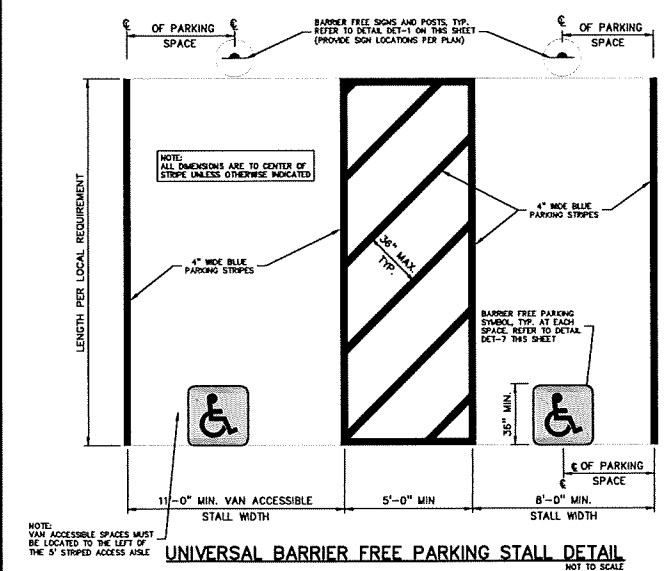
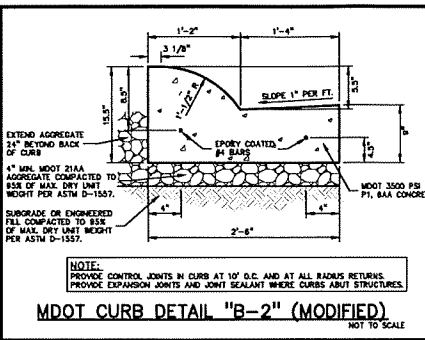
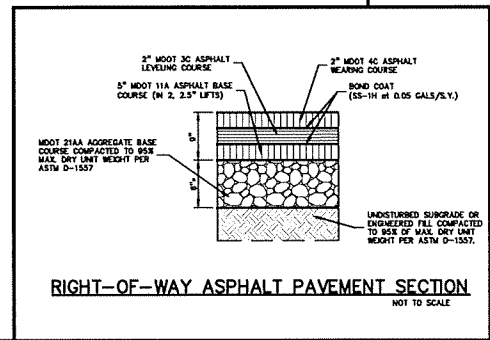
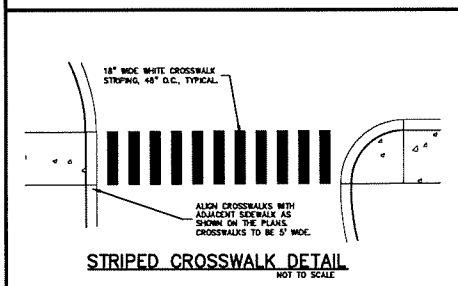
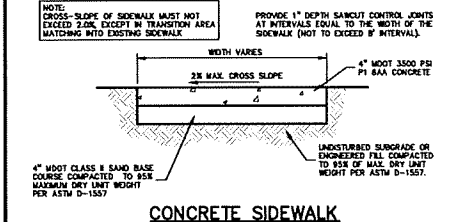
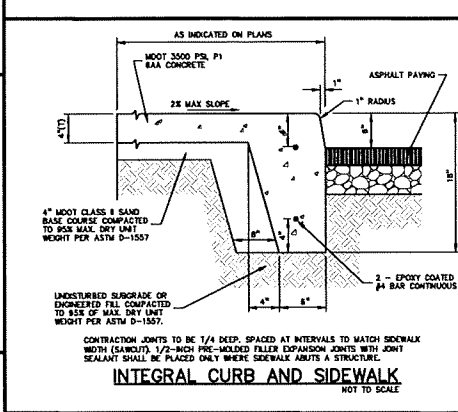
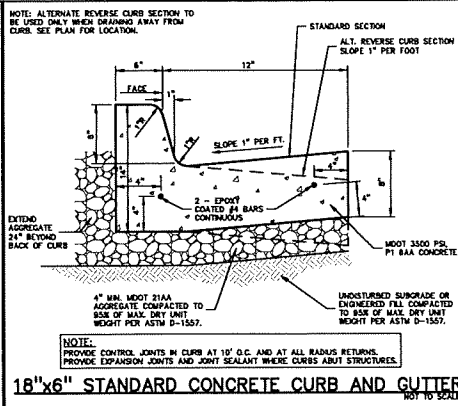
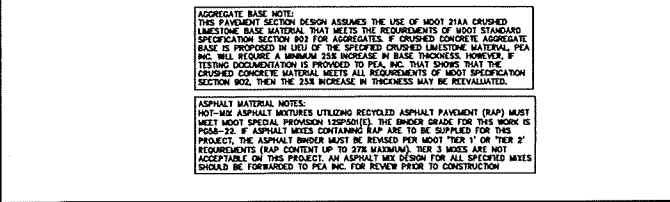
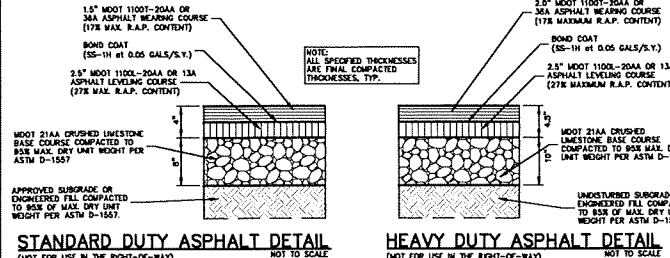
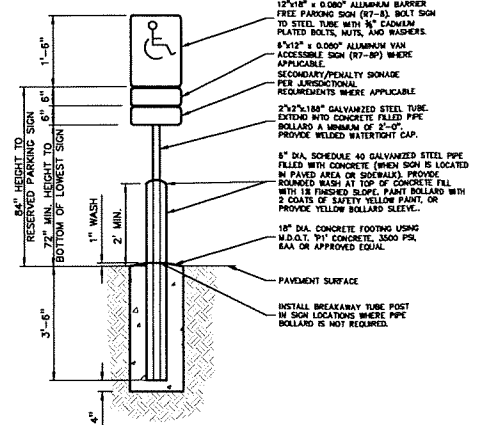
CITY FILE NO. 19-018, SECTION 23

NOT FOR CONSTRUCTION

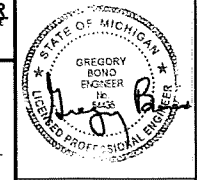
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 REF: S:\PROJECTS\2019\2019065\DWG\C-4.0-03.DWG



- BARRIER FREE SIGN NOTES:**
- ONE SIGN IS REQUIRED AT EACH BARRIER FREE PARKING SPACE.
 - ALL SIGNS SHALL COMPLY WITH THE LATEST STANDARDS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - WHEN TWO BARRIER FREE PARKING SPACES ARE ADJACENT AND FACING EACH OTHER, TWO SIGNS ARE REQUIRED, BUT CAN BE MOUNTED ON THE SAME POST.
 - SIGN POSTS SHALL BE 2" NOM. SQUARE 14-GAUGE GALVANIZED STEEL TUBE WITH 7/16" HOLES AT 1" CENTERS. POSTS SHALL TELESCOPE INSIDE ANCHOR POSTS A MINIMUM OF 12".
 - ANCHOR POSTS SHALL BE 2.25" NOM. SQUARE 12-GAUGE GALVANIZED STEEL POST. A MINIMUM OF 3 FEET LONG.
 - IF THESE NOTES AND DETAILS CONFLICT WITH LOCAL CODES AND ORDINANCES, THE STRICTER REQUIREMENT SHOULD BE USED.
 - ALTERNATE MATERIALS MAY BE USED IF IN COMPLIANCE WITH A.D.A. GUIDELINES AND LOCAL REQUIREMENTS.



NO.	DATE	DESCRIPTION	BY	CHK
1	04/15/2019	ISSUED FOR PERMITS	JPB	
2	04/15/2019	REVISED PER CITY COMMENTS	JPB	
3	04/15/2019	REVISED PER CITY COMMENTS	JPB	
4	04/15/2019	REVISED PER CITY COMMENTS	JPB	
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CONSTRUCTION CONTRACTOR AGREES THAT IN CONNECTION WITH ANY UTILITIES LOCATED ON THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.

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GENISYS CREDIT UNION
2100 EXECUTIVE HILLS BLVD., AUBURN HILLS, MI 48006

NOTES AND DETAILS
GENISYS CREDIT UNION
PART OF THE WAY 14 OF SECTION 23, T. 1N., R. 11E, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DIES: GMB DN KRD SLR GWC P.M. JPB
SUR: GWC

ORIGINAL ISSUE DATE: APRIL 10, 2019
PEA JOB NO. 2019-065
SCALE: N.T.S.
DRAWING NUMBER: **C-5.0**

DECIDUOUS TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
3	AL8	Allegheny Serviceberry	Amelanchierlaevis	8" HL	B&B
3	BN10	River Birch	Betula nigra	10" HL	B&B
5	CB2	Columnar European Hornbeam	Carpinus betulus 'Fastigiata'	2" Cal.	B&B
6	CC8	Eastern Redbud	Cercis canadensis	8" HL	B&B
4	CM8	Cornelian Cherry Dogwood	Cornus mas	8" HL	B&B
5	MJ2	Marble Crab	Malus 'Jamlin' PP1437	2" Cal.	B&B
6	MP2	Prairie Fire Crab	Malus 'Prairiefire'	2" Cal.	B&B
4	MR3	Royal Raindrops Crab	Malus 'JFS-KWS PP 14375	3" Cal.	B&B
4	QB3	Swamp White Oak	Quercus bicolor	3" Cal.	B&B
4	QP3	Regal Prince Oak	Quercus robur x bicolor 'Long' (columnar)	3" Cal.	B&B
5	QR3	Red Oak	Quercus rubra	3" Cal.	B&B
6	TC3	Greenspire Linden	Tilia cordata 'Greenspire'	3" Cal.	B&B
6	UA3	Princeton Elm	Ulmus americana 'Princeton'	3" Cal.	B&B
5	UF3	Frontier Elm	Ulmus parviflora 'Frontier'	3" Cal.	B&B
66		TOTAL DEC.			

EVERGREEN TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
6	AC8	Concolor Fir	Abies concolor	8" HL	B&B
8	PGB	Black Hills Spruce	Picea glauca 'Densata'	8" HL	B&B
6	PO8	Serbian Spruce	Picea omorika	8" HL	B&B
20		TOTAL EVG.			

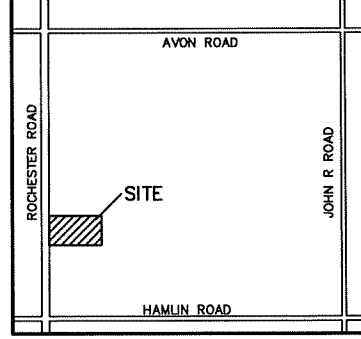
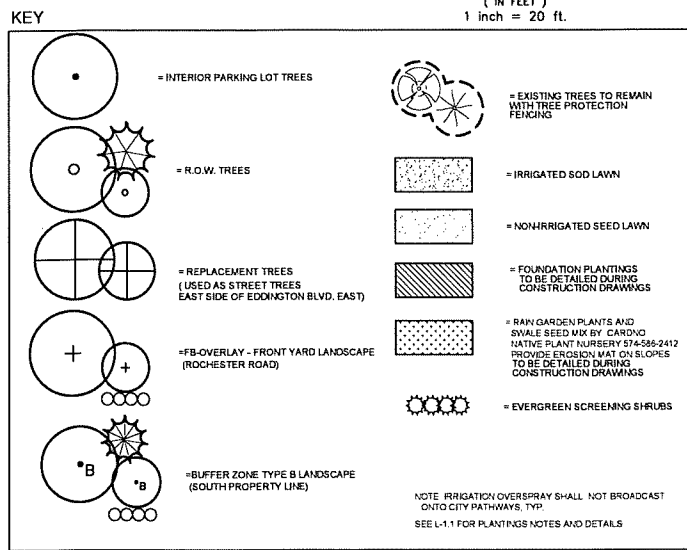
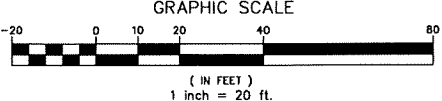
SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
30	JH6	Hetz Columnar Juniper	Juniperus chinensis 'Hetzii Columnaris'	6"	B&B
24	SN36	Neon Flash Spirea	Spiraea japonica 'Neon Flash'	36" HL	Cont.
16	VB36	Blue Muffin Viburnum	Viburnum dentatum 'Christom'	36" HL	Cont.
70		TOTAL SHRUBS			

CITY OF ROCHESTER HILLS NOTES:
TREE PLANTING RESTRICTIONS:
 Prior approval is required to plant any tree or shrub on the public right-of-way. All trees and shrubs must be planted at least 10' from the edge of the public road. Shade trees and shrubs must be planted at least 5' from the edge of the public roadway. Evergreen and ornamental trees must be planted at least 10' from the edge of the public roadway. No tree or shrub may be planted within the triangular area formed at the intersection of any street right-of-way lines at a distance along each line of 20' from their point of intersection. No tree or shrub may be planted in the triangular area formed at the intersection of any driveway with a public roadway at a distance along each line of 15' from their point of intersection. All trees and shrubs must be planted at least 10' from any fire hydrant. Shade and evergreen trees must be at least 12' away from the nearest overhead wire. Trees must be planted a minimum of 5' from an underground utility, unless the City's Landscape Architect requires a greater distance. These requirements are incorporated into the plan.

CLOSING COMMENT:
 Prior to the release of the performance bond, the City of Rochester Hills Forestry Division needs to inspect all trees existing or proposed to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developer to remove and possibly replace any such trees.

PER CITY OF ROCHESTER HILLS MAINTENANCE AGREEMENT:
 Section 138-12-109 Maintenance
 The owner of the property shall be responsible for all maintenance of site landscaping, as follows:
 A. Landscaping shall be kept in a neat, orderly and healthy growing condition, free from debris and refuse.
 B. Planting shall be minimal at the time of installation, only to remove dead or diseased branches. Subsequent pruning shall assure proper maturation of plants to achieve their intended purpose.
 C. All dead, damaged, or diseased plant material shall be removed immediately and replaced within six (6) months after the date of the end of the planting season, unless otherwise noted. For purposes of this section, the planting season for deciduous plants shall be between March 1 and June 1 and for evergreen plants shall be between March 1 and June 31. Plant material to be replaced shall be of equal or greater size than the material to be replaced. The City may notify property owners of the need to replace dead, damaged, or diseased material.
 D. The approved landscape plan shall be considered a permanent record and integral part of the Site Plan Approval. Unless otherwise approved in accordance with the aforementioned provisions, any removal to or removal of plant material, if not in compliance with the maintenance requirements of this Section 138-12-109, will place the parcel in non-compliance with approved landscape plans and be a violation of the Ordinance.
 E. If professional trees are damaged, a fee shall be assessed on an hourly basis at a monetary rate as defined by the Forestry Department.



REVISIONS

NO.	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			



CAUTION!
 THE LOCATION AND ELEVATIONS OF EXISTING AND PROPOSED UTILITIES SHOWN ON THIS DRAWING ARE APPROXIMATE. NO GUARANTEE IS GIVEN AS TO THE ACCURACY OF THESE UTILITIES OR AS TO THE LOCATION OF ANY UTILITIES NOT SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTHS OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION.

LANDSCAPE CALCULATIONS: FB-2 (FLEXIBLE BUSINESS OVERLAY) PER CITY OF ROCHESTER HILLS ZONING ORDINANCE

OUTDOOR AMENITY SPACE:
 REQUIRED: IN FB DISTRICT, 2% OF GROSS LAND AREA OF DEVELOPMENT SHALL PROVIDE OUTDOOR AMENITY SPACE (WITH 3 OR MORE PEDESTRIAN AMENITIES: BENCHES, LOW WALLS, LITTER RECEPTACLE, BIKE RACK, PUBLIC ART, LIGHTING, PLANTERS, ETC.). 75,814 SF x .02 = 1,516 SF REQUIRED
 PROVIDED: 7,435 SF LANDSCAPED PARK AREA / PATH, EAST SIDE OF SITE WITH PEDESTRIAN NODE WITH BENCHES

INTERIOR PARKING LOT LANDSCAPE (FOR 20 CARS OR MORE):
 REQUIRED: 5% OF VEHICLE USE AREA, 1 TREE PER ISLAND, 19,884 x 5% = 994 SF, 1 TREE / 150 SF = 7 TREES
 PROVIDED: 3,584 SF LANDSCAPE ISLAND AREA AND 7 TREES

PERIMETER PARKING TREES:
 REQUIRED: 1 DEC TREE / 25LF AND 1 ORN TREE / 35LF, ALONG EDGE OF PARKING LOT FACING AND WITHIN 100' OF PUBLIC ROW.
 ANY PARKING WITHIN 30' OF PUBLIC STREET OR ROW REQUIRES A VEGETATIVE HEDGE FOR SCREENING.
 PROVIDED: NOT REQUIRED PER CITY COMMENT, SINCE MORE THAN 100' AWAY ON EDDINGTON, FOR ROCHESTER RD. SUFFICIENT PLANTINGS ARE PROVIDED VIA REQUIRED ROW AND FB FRONT YARD PLANTINGS PROVIDED.

ROW TREES:
 REQUIRED: 1 DEC OR EVG TREE / 35LF AND 1 ORN TREE / 60LF OF ROW.
 EDDINGTON BLVD.: 379.03 / 35 = 11 DEC. OR EVG. TREES.
 379.03 / 60 = 7 ORN TREES.
 ROCHESTER RD.: 200.02 / 35 = 6 DEC. OR EVG. TREES.
 200.02 / 60 = 4 ORN. TREES.
 EDDINGTON BLVD. EAST, WEST SIDE: 200.02 / 35 = 6 DEC. OR EVG. TREES.
 200.02 / 60 = 4 ORN. TREES.
 PROVIDED: EDDINGTON BLVD., 11 DEC., AND 7 ORN. TREES - NOT ENOUGH ROOM TO BE PLACED ADJACENT TO ROAD ROW, TREES ARE LOCATED ELSEWHERE ON SITE
 ROCHESTER RD., 6 EVG. AND 4 ORN. TREES
 EDDINGTON BLVD. EAST, WEST SIDE, 6 EVG. AND 4 ORN. TREES

REPLACEMENT TREES:
 REQUIRED: 1, 2" DEC. TREE OR 6" EVG PER REGULATED TREE REMOVED. AN ADDITIONAL 1/3 TREE FOR EVERY ADDITIONAL 1" CAL DEC TREE OR 1" EVG TREE. (REGULATED TREE = 8" CAL AND UP)
 (3" DECIDUOUS REPLACEMENT TREE OR 10" EVERGREEN REPLACEMENT TREE = CREDIT FOR 2 TREES)
 20 REGULATED TREES REMOVED (REGARDLESS OF SPECIES AND CONDITION)
 PROVIDED: 10, DEC. TREES (20 TREE EQUIVALENT) SHOWN ON THE EAST SIDE OF EDDINGTON BLVD. EAST
 SEE SHEET T-1.0 FOR TREE REMOVALS

FB-OVERLAY - FRONT YARD LANDSCAPING (ROCHESTER RD. 200FT)
 REQUIRED: ARTERIAL RD., 10' WIDE, 2 DEC. 4 ORN. TREE, AND 12 SHRUBS / 100LF OF ROW.
 ROCHESTER RD.: 200' / 100 = 2 = 4 DEC. 8 ORN. TREES AND 24 SHRUBS.
 PROVIDED: ROCHESTER RD. = 1 EXISTING DEC., 3 PROPOSED DEC. 8 ORN. AND 24 SHRUBS.
 (NOTE: EXISTING TREES OVER 8" COUNT AS 1 CREDIT TOWARDS REQUIREMENTS.)

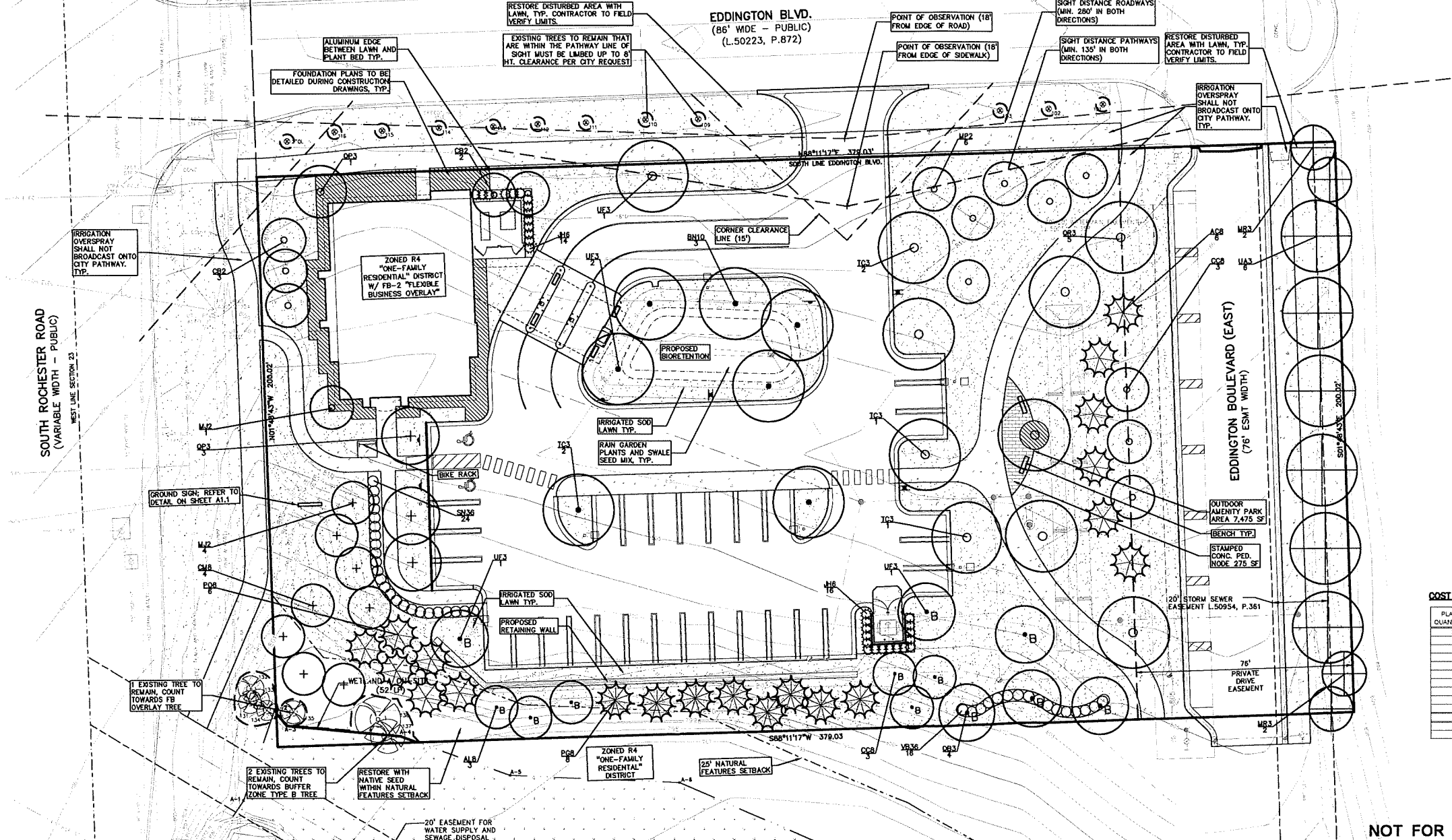
BUFFER ZONE TYPE B (SOUTH PROPERTY LINE)
 REQUIRED: 10' WIDE, 2 DEC., 1.5 ORN., 2 EVG. AND 4 SHRUBS / 100 LF;
 379 LF / 100 = 3.79 = 8 DEC., 6 ORN., 8 EVG. AND 16 SHRUBS
 PROVIDED: 2 EXISTING DEC., 6 PROPOSED DEC., 6 ORN. 8 EVG. AND 16 SHRUBS

LANDSCAPE EAST SIDE OF EDDINGTON BLVD. EAST, PER CITY REQUEST:
 REQUIRED: STREET TREES TO COMPLEMENT EXISTING LINEAR PARK TO THE NORTH
 PROVIDED: 6 PROPOSED DEC. TREES AND 4 ORN. TREES (USING THE 10 REPLACEMENT TREES TOWARDS THE STREET TREES PER SARA R. 7.8.2019)

IRRIGATION NOTES:
 ALL LANDSCAPE AREAS MUST BE IRRIGATED. WATERING WILL ONLY OCCUR BETWEEN THE HOURS OF 12AM-5AM.

COST OPINION:

PLAN QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	ITEM PRICE	
2	EES	S	SOD LAWN	\$2.00	\$17,190.00
10	EA	S	SHRUBS	\$50.00	\$3,500.00
33	EA	S	SUB CANOPY ORNAMENTAL TREES	\$250.00	\$8,250.00
33	EA	S	DECIDUOUS TREES	\$400.00	\$13,200.00
20	EA	S	EVERGREEN TREES	\$325.00	\$6,500.00
9	CY	S	MULCH AT 3" DEPTH	\$35.00	\$315.00
90	CY	S	PLANT MIX FOR BEDS (12" DEPTH)	\$15.00	\$1,350.00
300	LF	S	ALUMINUM EDGING	\$5.00	\$1,500.00
460	S.Y.	S	SPECIALTY SEED MIXES	\$3.00	\$1,380.00
1	LS	S	IRRIGATION (COMMERCIAL BUILDINGS)	\$10,000.00	\$10,000.00
			TOTAL LANDSCAPING	\$62,585.00	
* DOES NOT INCLUDE foundation plantings at bldg. and site amenities					
** 10% contingency					



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 AUBURN HILLS, MI 48093
PRELIMINARY LANDSCAPE PLAN
GENISYS CREDIT UNION
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN
 DES. JLE DN. JRG SUR. GVC P.M. JPB
 1/25/2019 2:55:58 PM GENISYS CREDIT UNION LANDSCAPE

CITY FILE NO. 19-018, SECTION 23

NOT FOR CONSTRUCTION

ORIGINAL ISSUE DATE:
 APRIL 10, 2019
 PEA JOB NO. 2019-055
 SCALE: 1" = 20'
 DRAWING NUMBER:
L-1.0

Swale Seed Mix
 CARDNO 574-586-2412
 cardnonativeplantnursery.com
Botanical Name **Common Name**

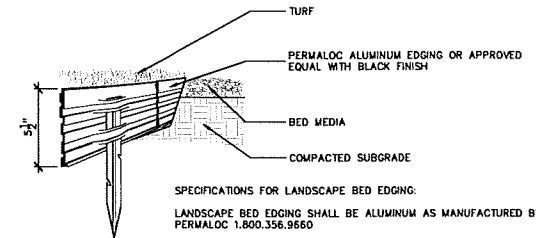
Permanent Grasses/Sedges:
Andropogon gerardii Big Bluestem
Carex comosa Bristly Sedge
Carex cristatella Crested Oval Sedge
Carex lurida Bottlebrush Sedge
Carex spp. Prairie Sedge Mix
Carex vulpinoidea Brown Fox Sedge
Elymus virginicus Virginia Wild Rye
Glyceria striata Fowl Manna Grass
Panicum virgatum Switch Grass
Scirpus atrovirens Dark Green Rush
Scirpus cyperinus Wool Grass
Spartina pectinata Prairie Cord Grass

Temporary Cover:
Avena sativa Common Oat
Lolium multiflorum Annual Rye

Forbs:
Alisma spp. Water Plantain (Various Mix)
Asclepias incarnata Swamp Milkweed
Coreopsis tripteris Tall Coreopsis
Eutrochium maculatum Spotted Joe-Pye Weed
Inis virginica Blue Flag
Liatris spicata Marsh Blazing Star
Lobelia cardinalis Cardinal Flower
Lobelia siphilitica Great Blue Lobelia
Lycopus americanus Common Water Horehound
Pycnanthemum virginianum Common Mountain Mint
Rudbeckia triloba Brown-Eyed Susan
Sagittaria latifolia Common Arrowhead
Senna hebecarpa Wild Senna
Silphium terebinthinaceum Prairie Dock
Symphoricarpon novae-angliae New England Aster
Verbena hastata Blue Vervain
Zizia aurea Golden Alexanders

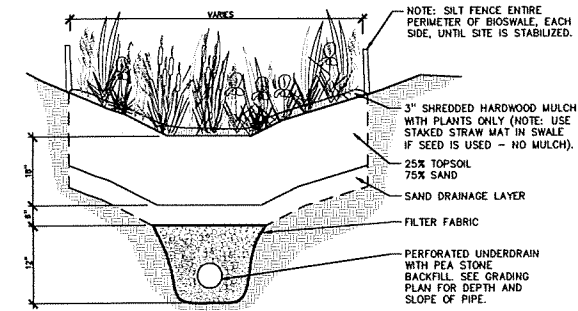
GENERAL PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON ANY/EVER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-492-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1, GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL, NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 4" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, GROUNDCOVER AREAS RECEIVE 2" SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL, LAWN AREAS TO RECEIVE 4" OF TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.

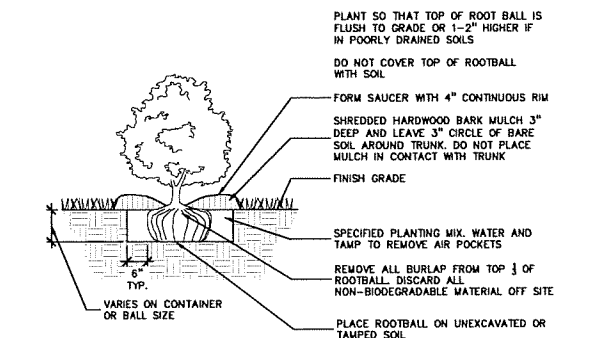


SPECIFICATIONS FOR LANDSCAPE BED EDGING:
 LANDSCAPE BED EDGING SHALL BE ALUMINUM AS MANUFACTURED BY PERMALOC 1.800.356.9560
 8" OR 16" SECTIONS SHALL BE USED WITH ONE STAKE PER 36" OF EDGING
 EDGING SHALL BE 1/4" THICK X 4" DEPTH WHEN ADJ. TO MULCH AND 1/2" THICK X 5 1/2" DEPTH WHEN ADJ. TO ROCK, FINISH: BLACK DURAFLEX MEETING ANMA 2603
 STAKE SHALL SECURELY ENGAGE EDGING AND SHALL BE ENTIRELY BELOW TOP SURFACE OF EDGING
 EDGING SHALL HAVE A MINIMUM OF 2" OF INTERLOCKING OVERLAP BETWEEN SECTIONS
 INSTALL AS PER MANUFACTURER'S SPECIFICATIONS WITH TOP OF EDGING 1/2" ABOVE COMPACTED FINISH GRADE. FINISH GRADE TO BE COMPACTED ON BOTH SIDES OF EDGING TO MAINTAIN STABILITY

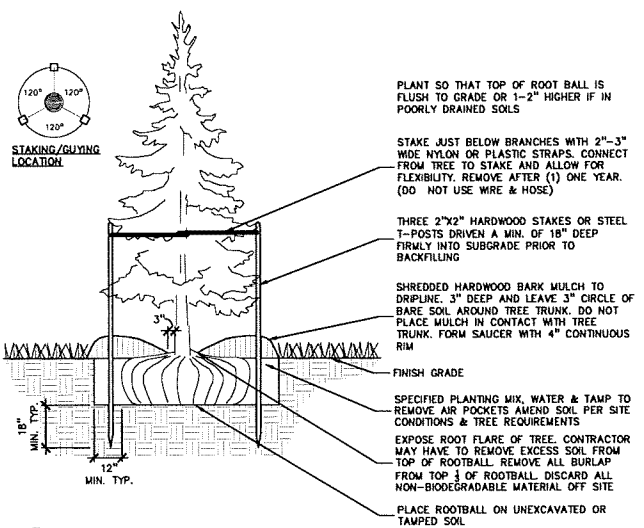
6 ALUMINUM EDGE DETAIL
 SCALE: 1/2" = 1'-0"



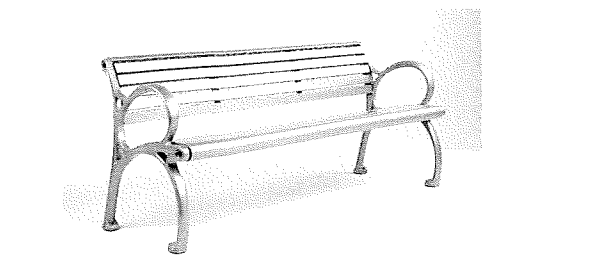
3 BIOSWALE - TYPICAL CROSS SECTION
 NOT TO SCALE



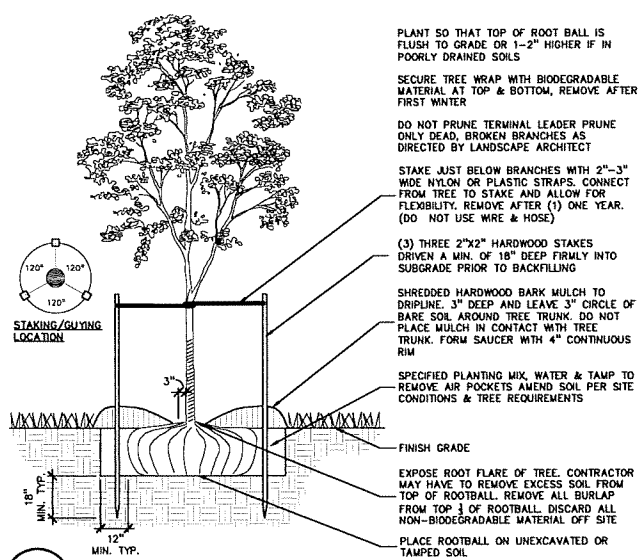
5 SHRUB PLANTING DETAIL
 SCALE: 1" = 2'-0"



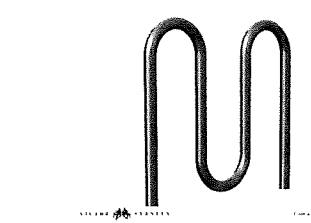
2 EVERGREEN TREE PLANTING DETAIL
 SCALE: 1" = 3'-0"



4 BENCH IMAGE DETAIL
 NOT TO SCALE



1 DECIDUOUS TREE PLANTING DETAIL
 SCALE: 1" = 3'-0"



7 BIKE RACK IMAGE DETAIL
 NOT TO SCALE

NO.	REV.	DATE	DESCRIPTION
1	1	10/10/19	ISSUED FOR PERMITS
2	1	10/10/19	REVISED PER CITY COMMENTS
3	1	10/10/19	REVISED PER CITY COMMENTS
4	1	10/10/19	REVISED PER CITY COMMENTS
5	1	10/10/19	REVISED PER CITY COMMENTS
6	1	10/10/19	REVISED PER CITY COMMENTS
7	1	10/10/19	REVISED PER CITY COMMENTS

REVISIONS

STATE OF MICHIGAN
 JANE L. EMMES
 LANDSCAPE ARCHITECT
 INC. #0000000000

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LANDSCAPE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR THE QUALITY OF CONSTRUCTION OF THE PROJECT INCLUDING QUALITY OF ALL PRODUCTS AND PROPERTY. THAT THIS AGREEMENT SHALL BE MADE TO THE CONTRACTOR BY SIGNING THESE TERMS AND CONDITIONS. CONTRACTOR FURTHER AGREES TO DENY ANY AND ALL CLAIMS FOR PROFESSIONAL NEGLIGENCE FROM ANY AND ALL LIABILITY REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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 2 LAUREN HILLS, MI 48026

LANDSCAPE DETAILS
 GENISYS CREDIT UNION
 2430 ROCHESTER HILLS, MI 48063
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES: JLE DN JRG SUR GWC P.M. JPB
 P: PROJECT MANAGER, GENISYS CREDIT UNION, 2430 ROCHESTER HILLS, MI 48063

ORIGINAL ISSUE DATE:
 APRIL 10, 2019

PEA JOB NO. 2019-065

SCALE: SEE DWG

DRAWING NUMBER:
L-1.1

CITY FILE NO. 19-018, SECTION 23

NOT FOR CONSTRUCTION

REF: S:\PROJECTS\2019\2019065\DWG\19065-10PDRASE.DWG
 REF: S:\PROJECTS\2019\2019065\DWG\SITE PLANS\A-BASE-19065.DWG
 REF: S:\PROJECTS\2019\2019065\DWG\SITE PLANS\A-TREX-19065.DWG

TREE PROTECTION WILL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE

NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE

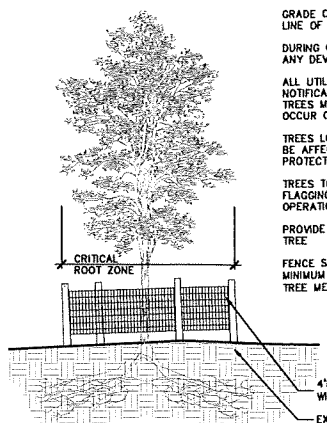
ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED

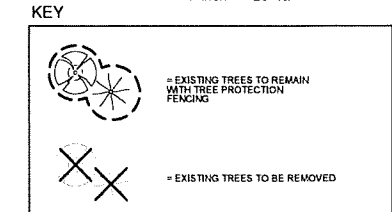
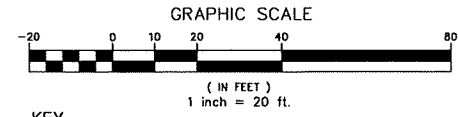
TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE

FENCE SHALL BE PLACED IN A CIRCLE WITH A MINIMUM RADIUS OF 1" PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND



1 TREE PROTECTION DETAIL
SCALE: 1" = 3'-0"

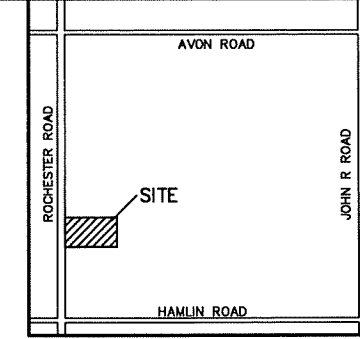


NATURAL FEATURES STATEMENT:

STEEP SLOPE:
THE SITE DOES CONTAIN REGULATED STEEP SLOPES.

WETLAND:
THE SITE DOES CONTAIN REGULATED WETLAND AT THE SW CORNER OF THE SITE, NOT IMPACTED BY DEVELOPMENT, NO WETLAND OR WATERCOURSE IMPACTS.

NATURAL FEATURES SETBACKS:
THE SITE DOES CONTAIN REQUIRED NATURAL FEATURE SETBACKS. APPROX. 275 LF OF IMPACT TO THE ON-SITE NATURAL FEATURE SETBACK WILL OCCUR FROM THE PROPOSED GRADING ALONG THE SOUTH PROPERTY LINE.



LOCATION MAP - NOT TO SCALE

TREE REPLACEMENT CALCULATIONS
PER CITY OF ROCHESTER HILLS ZONING ORDINANCE

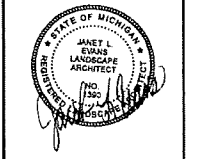
REPLACEMENT RATES:
REQUIRED: 1" DBH DEC. TREE OR 8" DBH EVERGREEN TREE REMOVED.
AN ADDITIONAL 1/2 TREE FOR EVERY ADDITIONAL 1" CAL. DEC TREE OR 1" EVG TREE. (REGULATED TREE = 6" CAL. AND UP)

(3" DECIDUOUS REPLACEMENT TREE OR 10' EVERGREEN REPLACEMENT TREE = CREDIT FOR 2 TREES)

20 REGULATED TREES REMOVED (REGARDLESS OF SPECIES AND CONDITION)

SEE SHEET L-1.0 FOR TREE REPLACEMENTS

NO.	DATE	BY	CHK.	DESCRIPTION
1				



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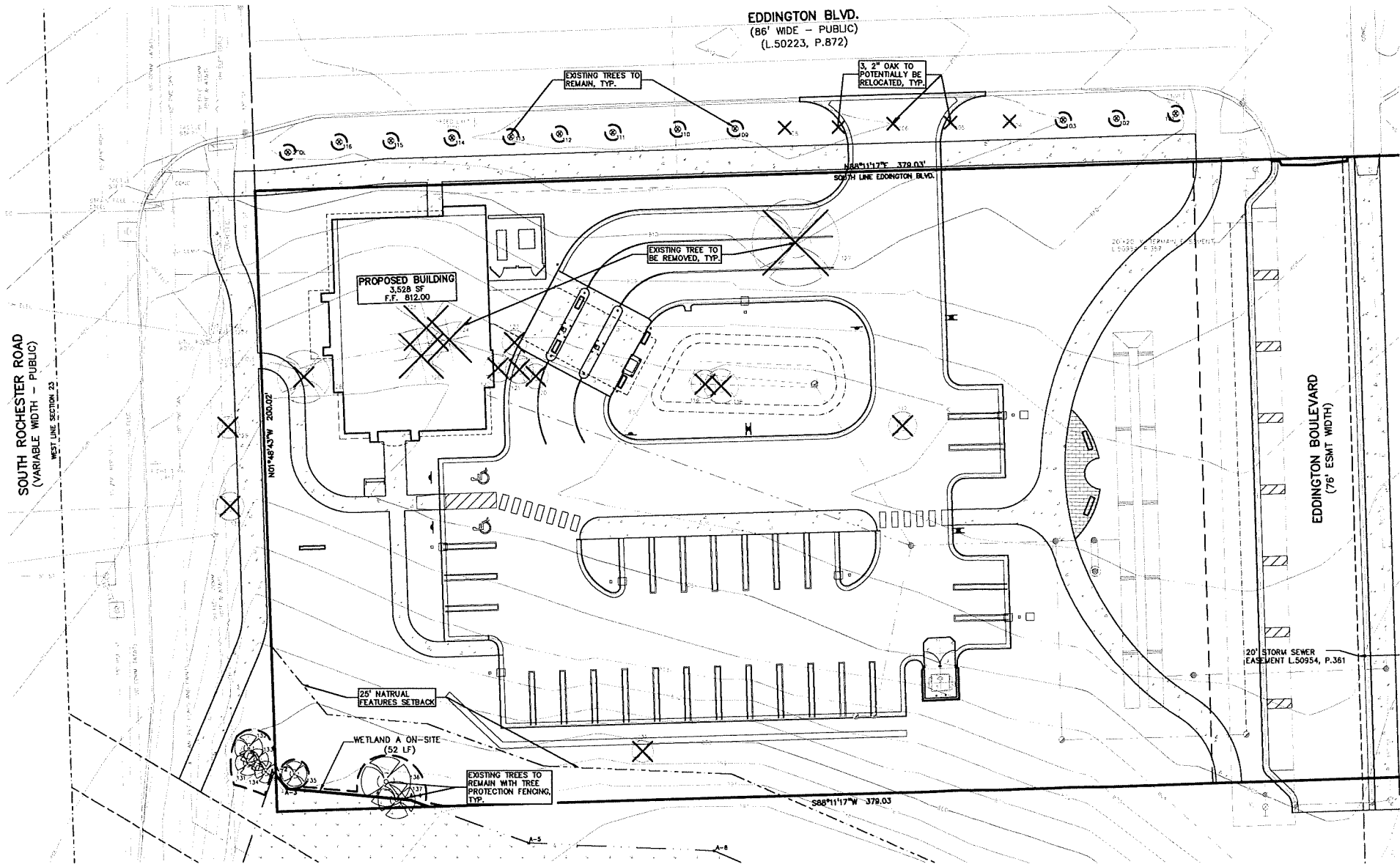
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EXISTING TREE LIST: TREE TO BE REMOVED DENOTED WITH STRIKE OUT THROUGH TREE NUMBER

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	COND	COMMENTS	SAVE/REMOVE
101	OR	2	English Oak	Quercus robur	GOOD		S
102	OR	2	English Oak	Quercus robur	GOOD		S
103	OR	2	English Oak	Quercus robur	GOOD		S
104	OR	2	English Oak	Quercus robur	GOOD	REPLACE	R
105	OR	2	English Oak	Quercus robur	GOOD	REPLACE	R
106	OR	2	English Oak	Quercus robur	GOOD	REPLACE	R
107	OR	2	English Oak	Quercus robur	GOOD	REPLACE	R
108	OR	2	English Oak	Quercus robur	GOOD	REPLACE	R
109	OR	2	English Oak	Quercus robur	GOOD		S
110	OR	2	English Oak	Quercus robur	GOOD		S
111	OR	2	English Oak	Quercus robur	GOOD		S
112	OR	2	English Oak	Quercus robur	GOOD		S
113	OR	2	English Oak	Quercus robur	GOOD		S
114	OR	2	English Oak	Quercus robur	GOOD		S
115	OR	2	English Oak	Quercus robur	GOOD		S
116	OR	2	English Oak	Quercus robur	GOOD		S
117	CA	6	Crab Apple	Malus coronaria	POOR	REPLACE	R
118	AP	14	Domestic Apple	Malus domestica	POOR	REPLACE	R
119	AP	8	Domestic Apple	Malus domestica	POOR	REPLACE	R
120	AA	8	Tree-of-Heaven	Ailanthus altissima	POOR	REPLACE	R
121	CA	6	Crab Apple	Malus coronaria	POOR	REPLACE	R
122	CA	6	Crab Apple	Malus coronaria	POOR	REPLACE	R
123	AA	8	Tree-of-Heaven	Ailanthus altissima	POOR	REPLACE	R
124	NS	14	Norway Spruce	Picea abies	FAIR	REPLACE	R
125	NS	24	Norway Spruce	Picea abies	FAIR	REPLACE	R
126	NS	28	Norway Spruce	Picea abies	FAIR	REPLACE	R
127	FA	27	Norway Maple	Acer platanoides	GOOD	REPLACE	R
128	MA	18	Norway Maple	Acer platanoides	POOR	REPLACE	R
129	CA	7	Crab Apple	Malus coronaria	FAIR	REPLACE per city forestry note	R
130	TH	6	Thornapple	Celastrus sp.	POOR	REPLACE per city forestry note	R
131	CT	6	Cottonwood	Populus deltoides	FAIR		S
132	CT	9	Cottonwood	Populus deltoides	FAIR		S
133	CT	7	Cottonwood	Populus deltoides	FAIR		S
134	CT	7	Cottonwood	Populus deltoides	FAIR		S
135	CT	8	Cottonwood	Populus deltoides	FAIR	X	S
136	CT	10	Cottonwood	Populus deltoides	FAIR		S
137	CT	12	Cottonwood	Populus deltoides	FAIR		S
138	RU	7	Russian Olive	Elaeagnus angustifolia	POOR	REPLACE	R



CITY FILE NO. 19-018, SECTION 23

NOT FOR CONSTRUCTION

SCALE 1" = 20'
DRAWING NUMBER: T-1.0

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2700 LAUREN HILLS, MI 48063

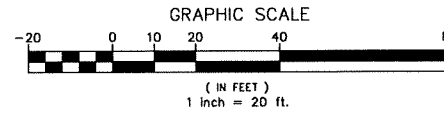
TREE SURVEY PLAN
GENISYS CREDIT UNION
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. ILE DN. JRG SUR. GWC P.M. JPB
DATE 04/10/2019

ORIGINAL ISSUE DATE
APRIL 10, 2019

PEA JOB NO. 2019-055

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	File Name	Lumens Per Lamp	Light Loss Factor	Wattage
○	P1 (8' HEIGHT)	2	UDMAN	UV-3001-WV-W40	Mariva 1 Watt Surface Luminaire	1 COB LED 4000K 0.3781 0.3747 4051K Ra84	1	UV-3001-WV-W40 IES	935	0.95	11
□	P2 (15' HEIGHT)	6	Leona Lighting	DSX1 LED 40C 1000 40K 1FTM MVOL1 MA	DSX1 LED WITH (2) 20 LED LIGHT ENGINES, LEFT ROTATED TYPE TFTM OPTIC 4000K @ 1000MA FOR MAST ARM MOUNTING	LED	1	DSX1_LED_40C_10 00_40K_TFTM_MVVO 1_T_MA.ies	13208	0.95	138.16
□	P3 (15' HEIGHT)	1	Leona Lighting	DSX1 LED 40C 1000 40K 13M MVOL1 MA	DSX1 LED WITH (2) 20 LED LIGHT ENGINES, TYPE TM OPTIC 4000K @ 1000MA FOR MAST ARM MOUNTING	LED	1	DSX1_LED_40C_10 00_40K_TM_MVVO 1_13A.ies	13388	0.95	138.16

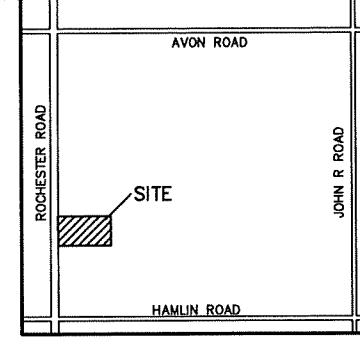


BENCHMARKS
(GPS DERIVED - NAVD88)

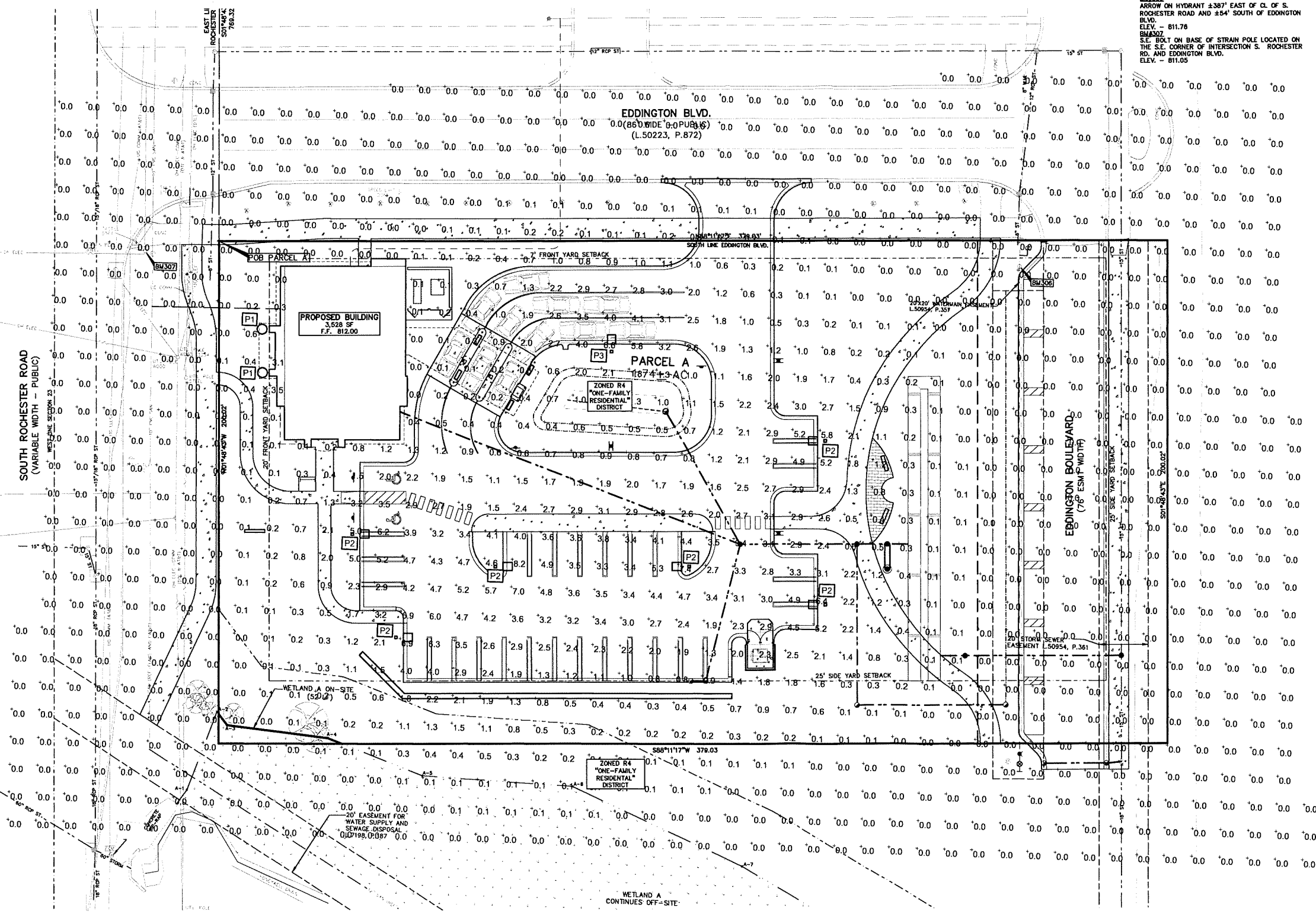
BM5001
ARROW ON HYDRANT ±263' NORTH OF CL OF SANDALWOOD DRIVE AND ±37' WEST OF CL OF ROCHESTER ROAD
ELEV. = 809.85

BM5006
ARROW ON HYDRANT ±387' EAST OF CL OF S. ROCHESTER ROAD AND ±54' SOUTH OF EDDINGTON BLVD.
ELEV. = 811.76

BM5007
S.E. BOLT ON BASE OF STRAIN POLE LOCATED ON THE S.E. CORNER OF INTERSECTION S. ROCHESTER RD. AND EDDINGTON BLVD.
ELEV. = 811.05



NO.	BY	DATE	REVISIONS
1	GEN	10/20/19	ISSUED FOR PERMITS
2	GEN	10/20/19	REVISED PER CITY COMMENTS
3	GEN	10/20/19	REVISED PER CITY COMMENTS
4	GEN	10/20/19	REVISED PER CITY COMMENTS
5	GEN	10/20/19	REVISED PER CITY COMMENTS
6	GEN	10/20/19	REVISED PER CITY COMMENTS
7	GEN	10/20/19	REVISED PER CITY COMMENTS
8	GEN	10/20/19	REVISED PER CITY COMMENTS
9	GEN	10/20/19	REVISED PER CITY COMMENTS
10	GEN	10/20/19	REVISED PER CITY COMMENTS



LEGEND

EXISTING

- IRON FOUND
- BRASS PLUG SET
- MONUMENT FOUND
- MAIL FOUND
- MAIL & CAP SET
- CONCRETE
- ASPH
- GRAVEL
- WETLAND

PROPOSED

- SEC. CORNER FOUND
- RECORDED
- MEASURED
- CALCULATED
- ELEC. PHONE OR CABLE TV 4/4 LINE, POLE & 8/4 WIRE
- UNDERGROUND CABLE TV, GUY POLE
- TELEPHONE U.S. CABLE, FIBERGLASS & MANHOLE
- ELECTRIC U.S. CABLE, MANHOLE, METER & MANHOLE
- 8/4 MAN. YARD & GAS LINE MARKER
- INTERNAL WALK, GUE WALK, WALKING BLEND & YARD
- SHUTTER SPEED, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- SEWER, ROUND & W/PIPE CATCH BASIN, TWO DRAIN
- POST MEASURE WALK
- WALKER WALK (HYDRANT WALK, BOG, SERVICE SHUT OFF)
- WALKER, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- TIERS
- GUARD RAIL
- STREET LIGHT
- BOX
- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- ELECTRIC
- TELEPHONE
- GAS
- CATV

REFERENCE DRAWINGS

- CITY OF ROCHESTER HILLS
- CITY OF ROCHESTER HILLS
- CITY OF ROCHESTER HILLS
- NOT RECEIVED 03-13-19
- ATM
- CONSUMERS ENERGY
- CONVFAST

GENERAL SITE LIGHTING NOTES:

- THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
- ALL POLES ARE TO BE MOUNTED ON CONCRETE PEDESTALS 2 FEET ABOVE GRADE AS SHOWN IN DETAIL.
- ALL POLES LOCATED OUTSIDE OF THE PARKING LOT AREA SHALL BE LOCATED 3 FEET FROM BACK OF CURB OR EDGE OF SIDEWALKS.
- SHOP DRAWINGS FOR THE ELECTRICAL WIRING OF THE FIXTURES NEED TO BE SUPPLIED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER FOR COORDINATION OF UNDERGROUND CONDUIT AND APPROVAL OF LAYOUT.
- ALL AREA LIGHT FIXTURES ARE TO BE DOWNWARD DIRECTED.
- CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIALS AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
- COORDINATE LIGHT FIXTURE PLACEMENT AND INSTALLATION WITH LANDSCAPE.
- ALL CONDUCTORS SHALL BE IN CONDUIT.

SITE PHOTOMETRIC DATA:

	ALLOWED	PROPOSED
1. FIXTURE HEIGHT SITE:	15 Ft. (MAX)	SEE SCHEDULE
2. FOOTCANDLE AT PROP LINE:	0.5 Fc. (MAX)	0.5 Fc. (MAX)
3. SITE FOOTCANDLE MAX:	10 Fc. (MAX)	8.2 Fc. (MAX)

CAUTION!

THE LOCATION AND ELEVATION OF EXISTING AND PROPOSED UTILITIES IS SHOWN ON THIS DRAWING AS ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THESE UTILITIES LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.

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CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.

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GENISYS CREDIT UNION

2100 EXECUTIVE HILLS BLVD.
AUBURN HILLS, MI 48228

PRELIM. PHOTOMETRIC SITE PLAN

GENISYS CREDIT UNION

PART OF THE SW 1/4 OF SECTION 23, T. 3N., R. 11E,
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

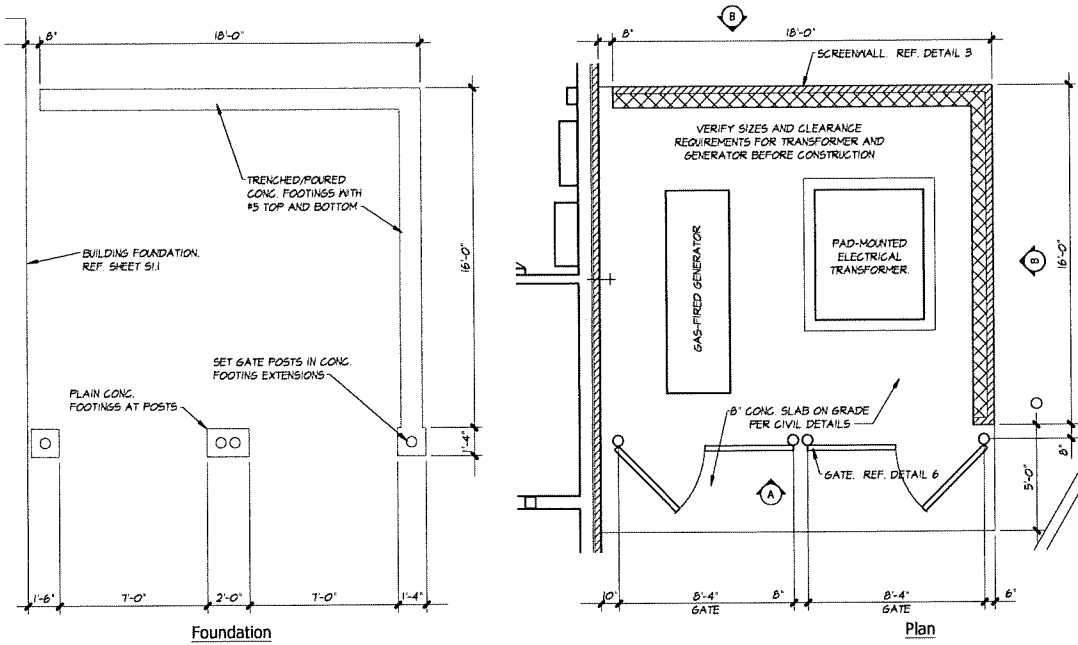
DES. GMB DN. KRJ SUR. GWC P.M. JPB
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ORIGINAL ISSUE DATE
APRIL 10, 2019

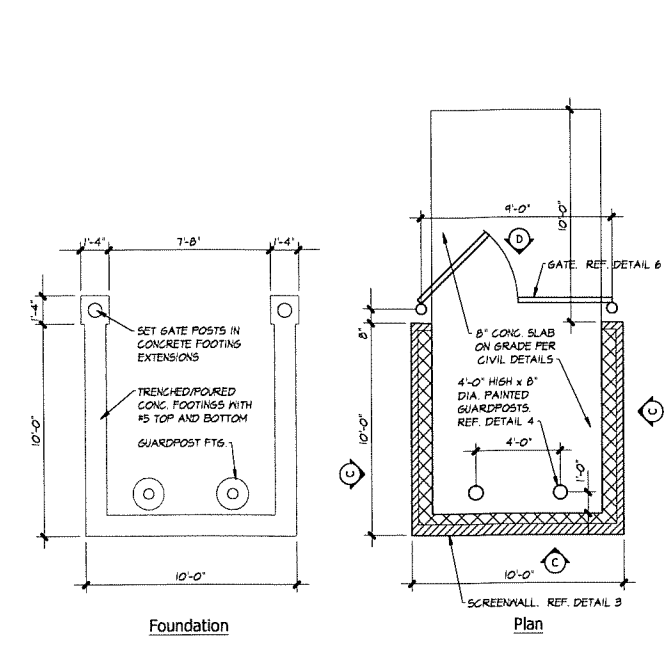
PEA JOB NO. 2019-065

SCALE: 1" = 20'

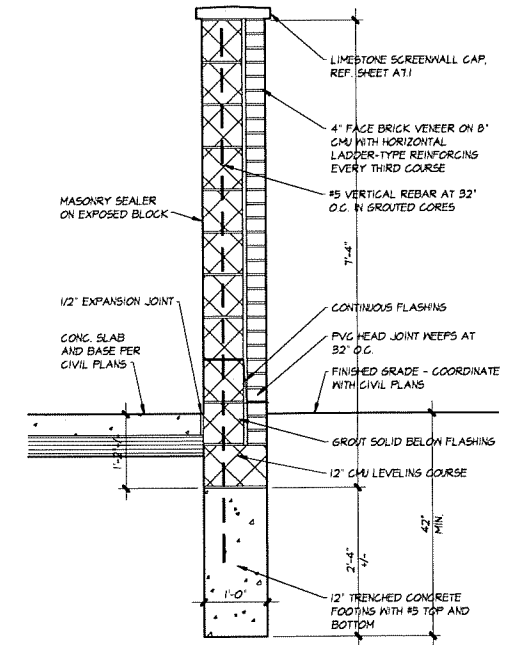
DRAWING NUMBER:
SL-1.1



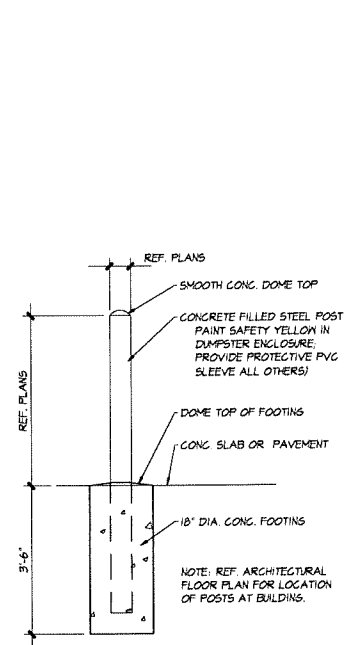
1 Equipment Enclosure Plan Details
 Scale: 1/4"=1'-0"



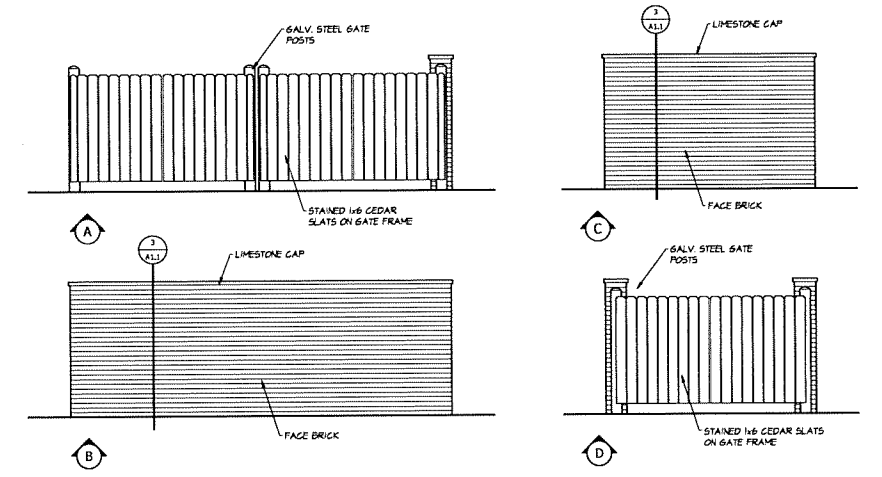
2 Dumpster Enclosure
 Scale: 1/4"=1'-0"



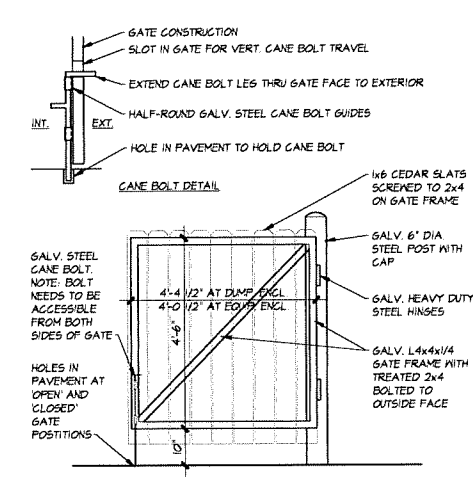
3 Screenwall
 Scale: 3/4"=1'-0"



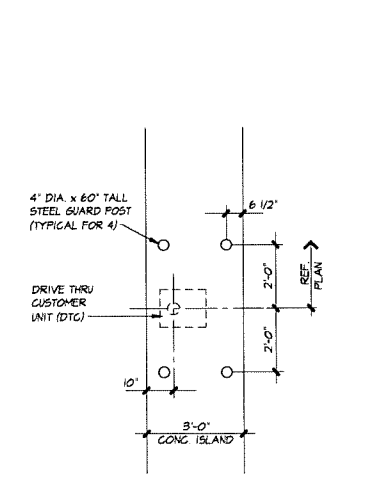
4 Guardpost
 Scale: 1/2"=1'-0"



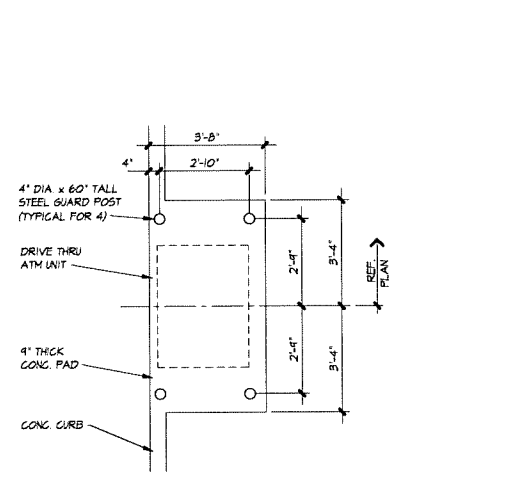
5 Equipment/Dumpster Enclosure Elevations
 Scale: 1/4"=1'-0"



6 Gate Elevation
 Scale: 1/2"=1'-0"



7 D.T. Customer Unit
 Scale: 3/8"=1'-0"



8 D.T. ATM Unit
 Scale: 3/8"=1'-0"

Site Signage Schedule

BOARD SIGN
 40 SF. MAX PER SIDE / 7' TALL MAX

- LOCATED IN FRONT YARD BETWEEN BUILDING AND ROCHESTER ROAD RIGHT-OF-WAY. COMBINATION LED MESSAGE BOARD WITH INTERNALLY-ILLUMINATED TOP SECTION MOUNTED ON BRICK PEDESTAL. REFERENCE SITE PLAN FOR SPECIFIC LOCATION AND THIS SHEET FOR DETAIL.

MALL SIGN
 EQUAL TO 10% OF PRIMARY MALL FACADE UP TO 100 SF. MAX

- LOCATED ON WEST ELEVATION. 43.3 SF. INTERNALLY-ILLUMINATED PRE-FINISHED INDIVIDUAL LETTERS/LOGO MOUNTED TO MAIN BUILDING FACADE. RACEWAY, WIRING AND CONDUITS TO BE CONCEALED BEHIND FACADE. REFERENCE EXTERIOR ELEVATIONS FOR LOCATIONS AND ADDITIONAL INFORMATION.
- LOCATED ON SOUTH ELEVATION. 22.4 SF. INTERNALLY-ILLUMINATED PRE-FINISHED INDIVIDUAL LETTERS/LOGO MOUNTED TO MAIN BUILDING FACADE. RACEWAY, WIRING AND CONDUITS TO BE CONCEALED BEHIND FACADE. REFERENCE EXTERIOR ELEVATIONS FOR LOCATIONS AND ADDITIONAL INFORMATION.
- LOCATED ON NORTH ELEVATION. 22.4 SF. INTERNALLY-ILLUMINATED PRE-FINISHED INDIVIDUAL LETTERS/LOGO MOUNTED TO DRIVE THRU CANOPY FACADE. RACEWAY, WIRING AND CONDUITS TO BE CONCEALED BEHIND FACADE. REFERENCE EXTERIOR ELEVATIONS FOR LOCATIONS AND ADDITIONAL INFORMATION.
- LOCATED ON NORTH ELEVATION. 47 SF. TEXT ROUTERED INTO A.C.H. MAIN BUILDING FACADE. NON-LIGHTED.

MEMBER DIRECTIONAL SIGN TYPE A:
 PRE-FINISHED METAL FREE-STANDING DIRECTIONAL SIGN LOCATED SOUTH OF THE DRIVE-THRU EXIT DRIVE. REFERENCE SITE PLAN FOR SPECIFIC LOCATION AND THIS SHEET FOR DETAIL. NOTE: DOES NOT HAVE ZONING ORDINANCE RESTRICTIONS.

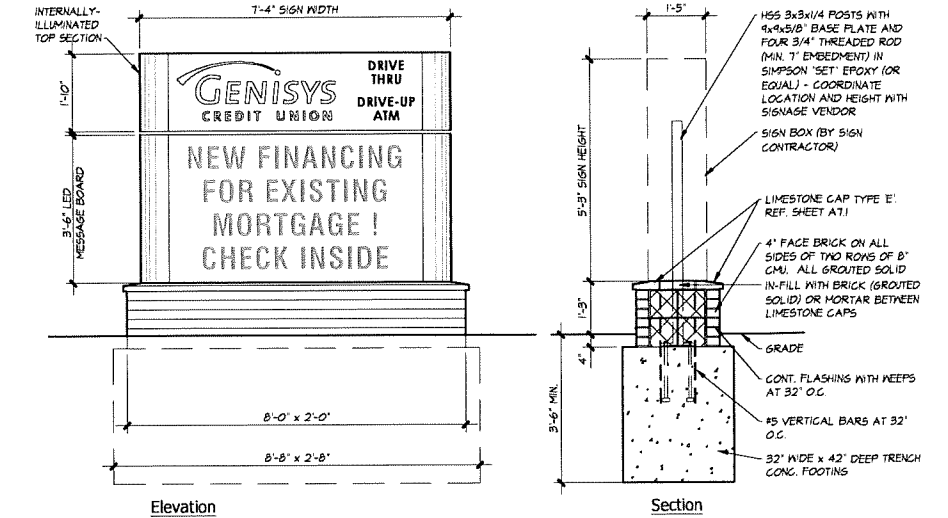
MEMBER DIRECTIONAL SIGN TYPE B:
 PRE-FINISHED METAL FREE-STANDING DIRECTIONAL SIGN LOCATED EAST OF THE DRIVE-THRU ENTRY DRIVE. REFERENCE SITE PLAN FOR SPECIFIC LOCATION AND THIS SHEET FOR DETAIL. NOTE: DOES NOT HAVE ZONING ORDINANCE RESTRICTIONS.

DRIVE-THRU INFORMATION SIGN TYPE C:
 PRE-FINISHED METAL WALL-MOUNTED DIRECTIONAL SIGN LOCATED ON DRIVE-THRU BRICK PIERS. REFERENCE SITE PLAN AND EXTERIOR ELEVATIONS FOR SPECIFIC LOCATION AND THIS SHEET FOR DETAIL. NOTE: DOES NOT HAVE ZONING ORDINANCE RESTRICTIONS.

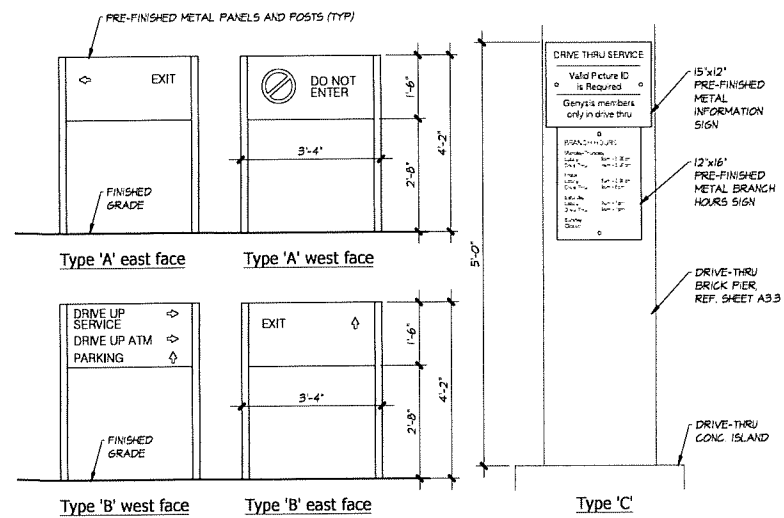
TRAFFIC CONTROL SIGNS
 DO-NOT-ENTER, BARRIER-FREE PARKING, AND FIRE LANE SIGNS. REFERENCE SITE PLAN FOR LOCATIONS AND DETAILS. NOTE: DOES NOT HAVE ZONING ORDINANCE RESTRICTIONS.

DRIVE THRU 'OPEN' AND 'ATM' SIGNS
 FASCIA-MOUNTED LED SIGNS ON SOUTH FACE OF DRIVE-THRU FASCIA. REFERENCE EXTERIOR ELEVATIONS FOR SPECIFIC LOCATIONS. NOTE: DOES NOT HAVE ZONING ORDINANCE RESTRICTIONS.

DRIVE THRU CLEARANCE SIGNS
 FASCIA-MOUNTED PRE-FINISHED METAL SIGNS MOUNTED TO SOUTH FACE OF DRIVE-THRU FASCIA. REFERENCE EXTERIOR ELEVATIONS FOR SPECIFIC LOCATIONS. NOTE: DOES NOT HAVE ZONING ORDINANCE RESTRICTIONS.



9 Ground Sign and Masonry Pedestal
 Scale: 1/2"=1'-0"



10 Member Directional Signage
 No Scale



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Project
 Credit Union Branch For:



Rochester Road
 Rochester Hills, MI

Date Issued For
 03/04/19 Concept Plan Meeting
 03/11/19 Site Plan Review
 05/28/19 S.P.R. Resubmission #1

Sheet Index

- A1.1 ARCHITECTURAL SITE DETAILS
- A2.1 ARCHITECTURAL FLOOR PLAN
- A3.1 EXTERIOR BUILDING ELEVATIONS
- A3.2 EXTERIOR BUILDING ELEVATIONS
- A3.3 EXTERIOR DRIVE THRU ELEVATIONS

Sheet Number
A1.1
 Architectural Site Details
 Project Number



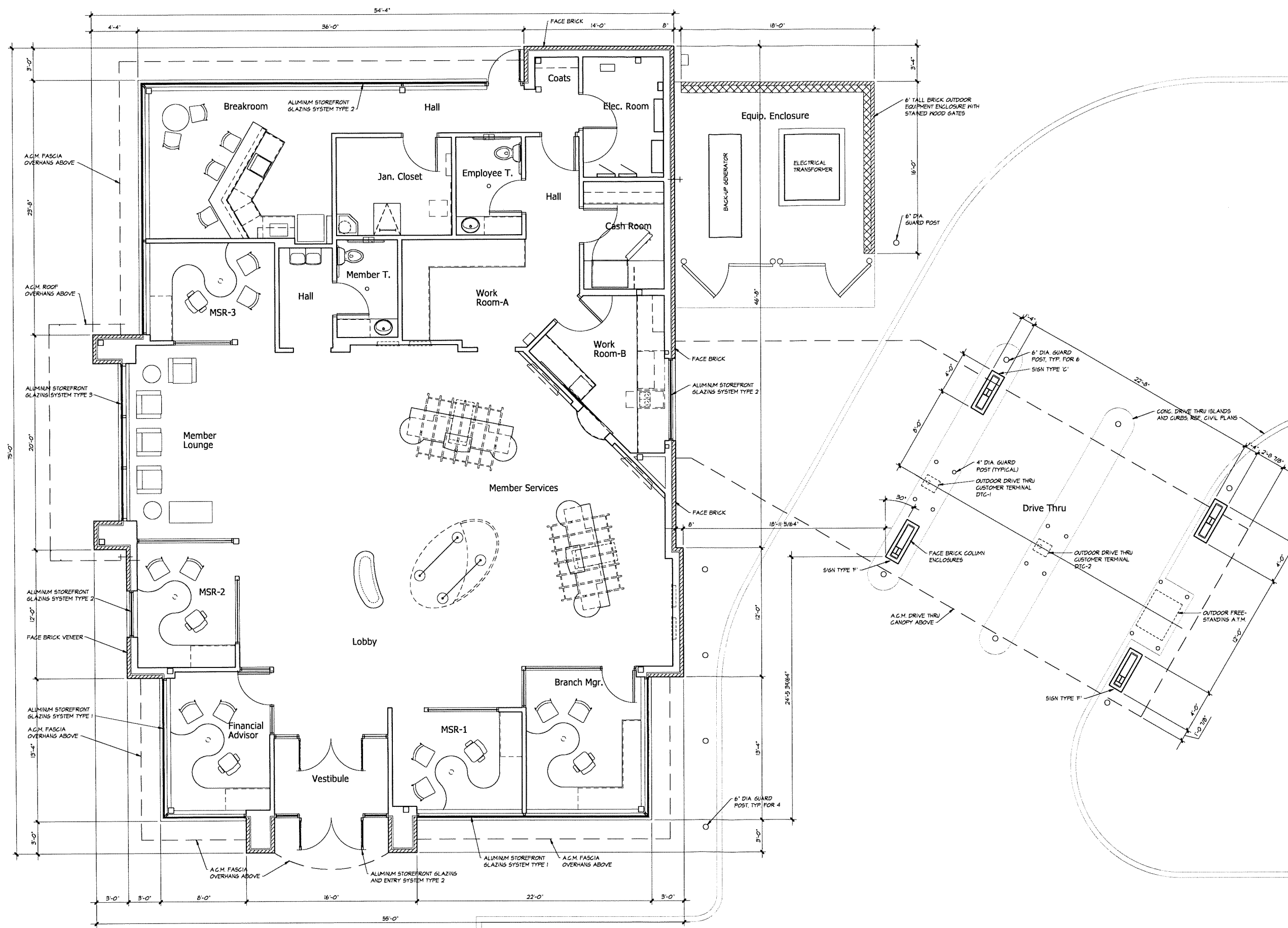
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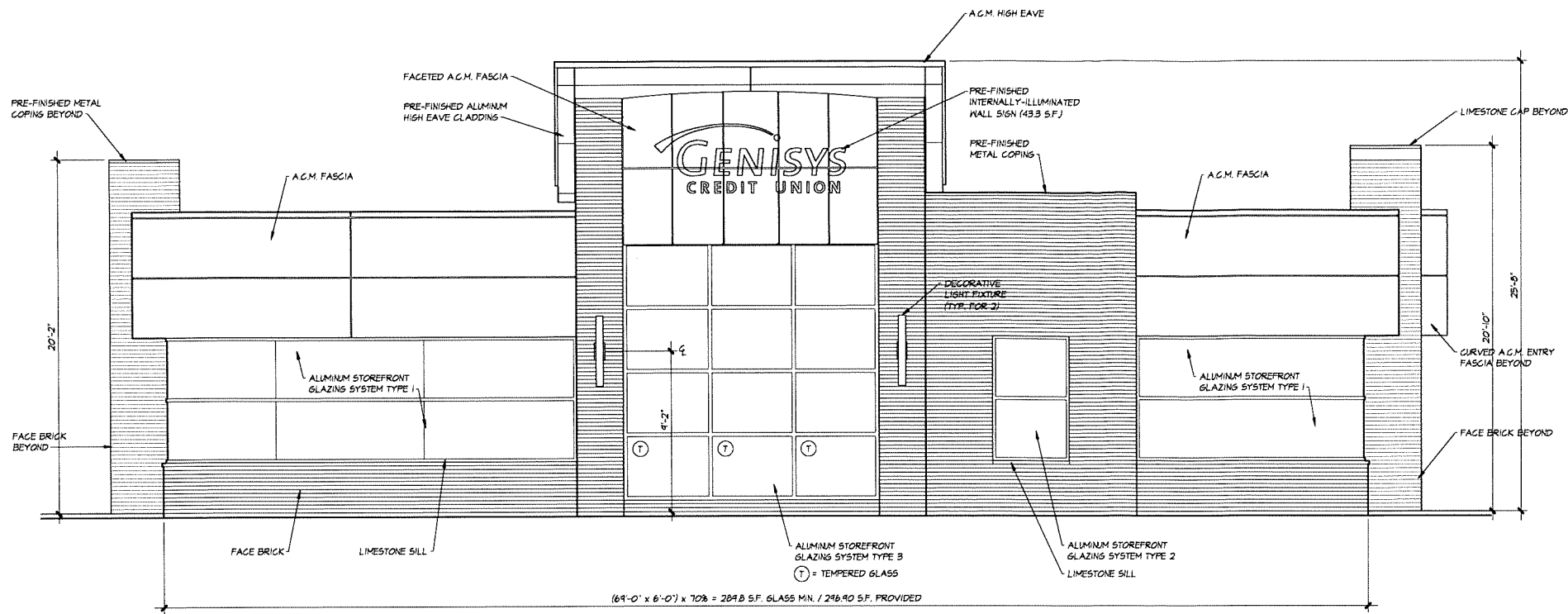
Date	Issued For
03/04/19	Concept Plan Meeting
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05/28/19	S.P.R. Resubmission #1



Architectural Floor Plan

Scale: 1/4"=1'-0"

5/23/2019 8:44:09 AM



Main Bldg. West (Rochester Road) Elevation Scale: 1/4"=1'-0"

FAÇADE TRANSPARENCY		
	MIN. TRANSPARENCY	PROVIDED
WEST ELEVATION	69.00 LF X 70% = 289.80 SF	296.90 SF
EAST ELEVATION	72.00 LF X 70% = 302.40 SF	97.63 SF
NORTH ELEVATION	50.33 LF X 70% = 211.39 SF	184.52 SF
SOUTH ELEVATION	46.00 LF X 70% = 193.20 SF	214.97 SF
TOTAL	237.33 LF X 70% = 996.79 SF	794.02 SF

PRIMARY AND ACCENT BUILDING MATERIALS				
	TOTAL NOTE A	PRIMARY BRICK	ACCENT NOTE B	
MAIN BUILDING	WEST ELEVATION	996 SF	520 SF 52.2%	476 SF 47.8%
	EAST ELEVATION	1,312 SF	1,162 SF 88.6%	150 SF 11.4%
	NORTH ELEVATION	836 SF	490 SF 58.6%	346 SF 41.4%
	SOUTH ELEVATION	804 SF	425 SF 52.9%	379 SF 47.1%
	SUB TOTAL	3,948 SF	2,597 SF 65.8%	1,351 SF 34.2%
CONNECTED DRIVE THRU	NORTHEAST ELEVATION	389 SF	54 SF 13.9%	335 SF 86.1%
	SOUTHWEST ELEVATION	329 SF	30 SF 9.1%	299 SF 90.9%
	SOUTHEAST ELEVATION	231 SF	108 SF 46.6%	123 SF 53.2%
	NORTHWEST ELEVATION	111 SF	108 SF 97.3%	3 SF 2.7%
	SUBTOTAL	1,060 SF	300 SF 28.3%	760 SF 71.7%
GRAND TOTAL	5,008 SF	2,897 SF 57.8%	2,111 SF 42.2%	

NOTE A: ELEVATION TOTAL DOES NOT INCLUDE FENESTRATION (DOORS AND WINDOWS).
 NOTE B: ACCENT MATERIALS INCLUDE A.C.M., LIMESTONE, MTL. COPINGS, AND WALL ACCENTS.

Building Code Data

- LIST OF CONSTRUCTION CODES:
 - 2015 Michigan Building Code
 - 2015 Michigan Plumbing Code
 - 2015 Michigan Mechanical Code
 - 2017 NEC (State of Michigan Electrical Code)
 - 2015 International Fire Code
 - 2015 Michigan Energy Code
- BUILDING OCCUPANCY CLASSIFICATION:
 - B - Business
- CONSTRUCTION CLASSIFICATION TYPE:
 - V-B
- ALLOWABLE BUILDING HEIGHT AND NUMBER OF STORIES:
 - 40 feet / 2 stories (no increases proposed).
 - Proposed: 25'-8" / 1 story.
- ALLOWABLE BUILDING AREA:
 - 9,000 square feet (no increases proposed).
 - Proposed: 3,528 square foot main building with 975 square foot attached drive thru canopy.
- AUTOMATIC FIRE SUPPRESSION AND/OR FIRE ALARM:
 - None required or proposed.
- SETBACKS AND/OR FIRE SEPARATION DISTANCES:
 - North: 7' setback
 - South: 118.02' setback
 - East: 104.03' setback
 - West: 20' setback
- BUILDING ENTRANCES:
 - 2 required and proposed.



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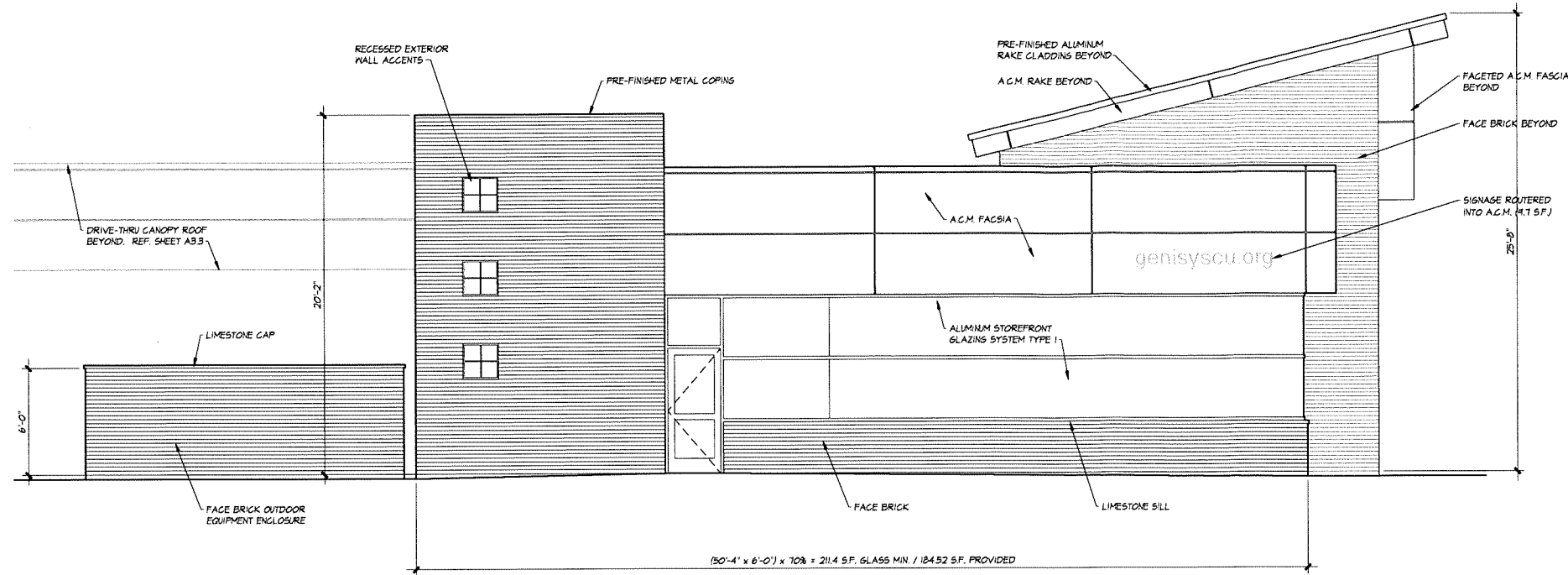
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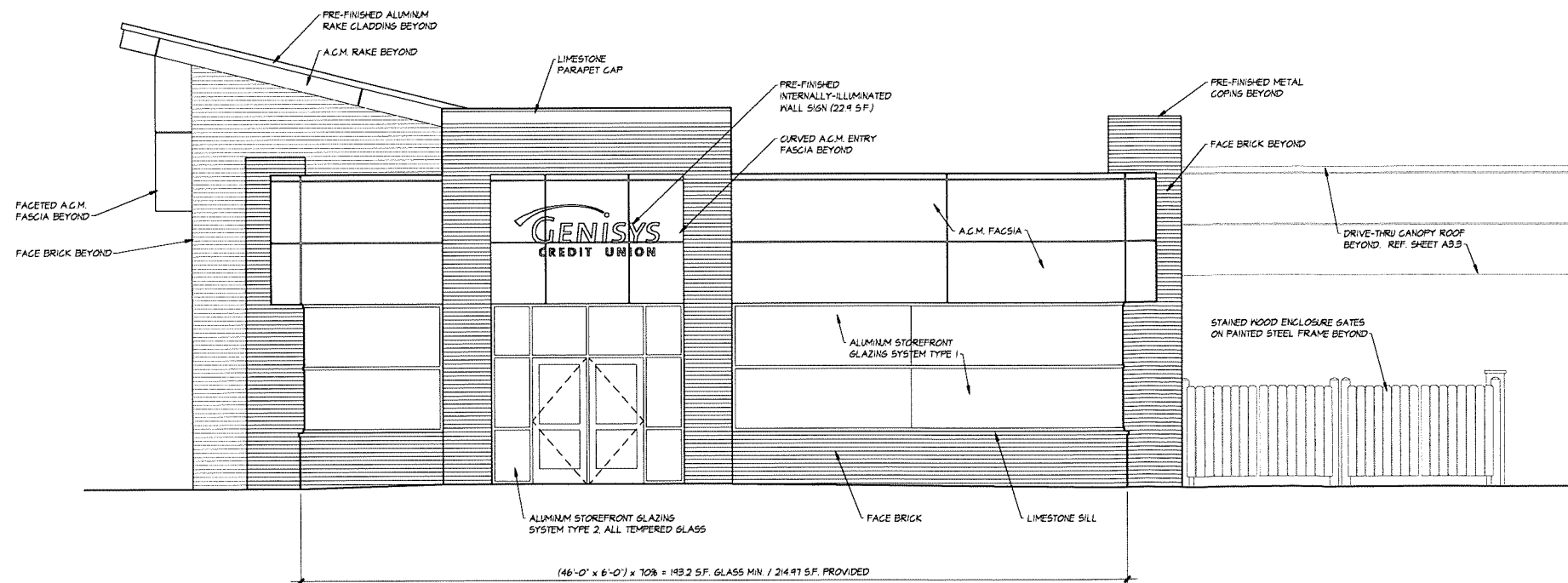
Rochester Road
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03/04/19	Concept Plan Meeting
03/11/19	Site Plan Review
05/28/19	S.P.R. Resubmission #1

Sheet Number
A3.1
 Exterior Elevations
 Project Number



Main Bldg. North (Eddington Blvd.) Elevation Scale: 1/4"=1'-0"



Main Bldg. South Elevation Scale: 1/4"=1'-0"



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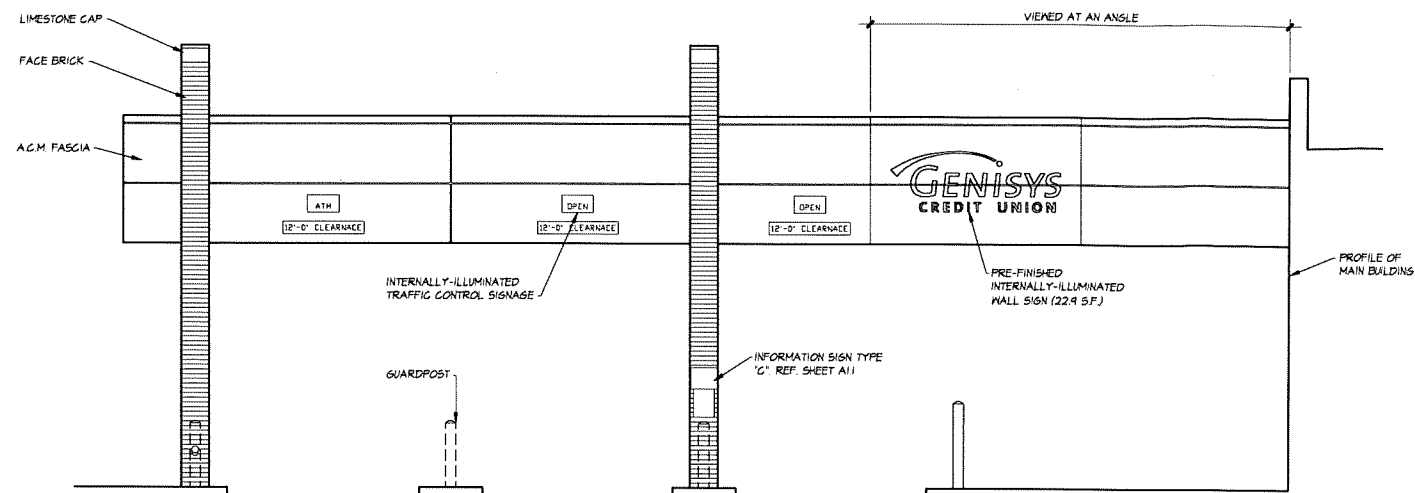
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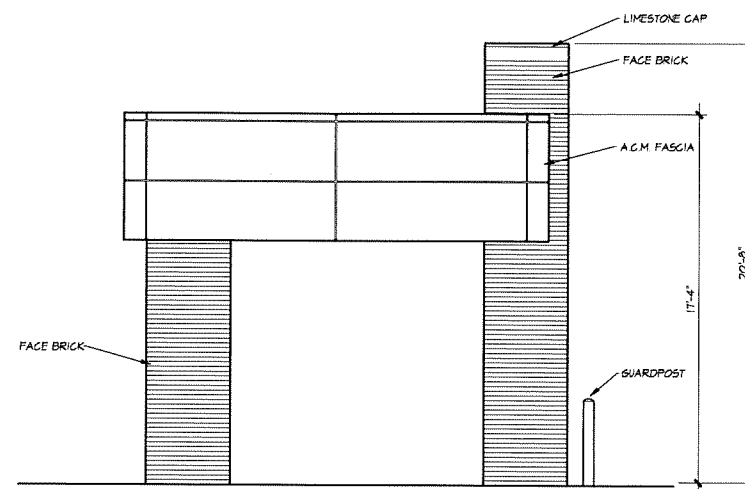
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03/11/19	Site Plan Review
05/28/19	S.P.R. Resubmission #1

Sheet Number
A3.2
 Exterior Elevations
 Project Number



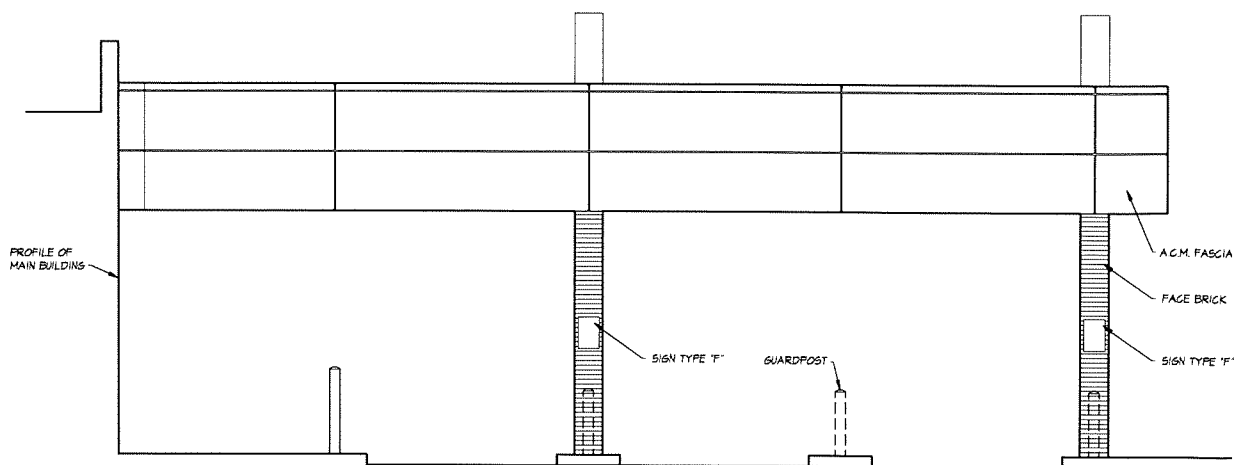
Canopy Northeast (Enter) Elevation

Scale: 1/4"=1'-0"



Canopy Southeast Elevation

Scale: 1/4"=1'-0"



Canopy Southwest (Exit) Elevation

Scale: 1/4"=1'-0"



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	□
	□
	□
	□
	□

Sheet Number
A3.2
 Exterior Elevations
 Project Number
 19-113