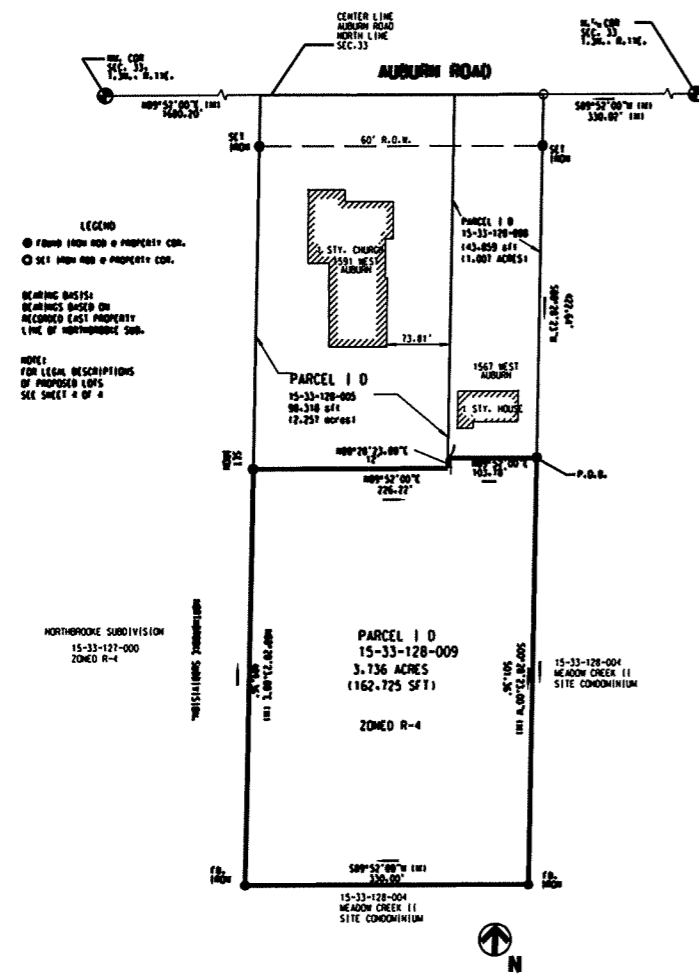
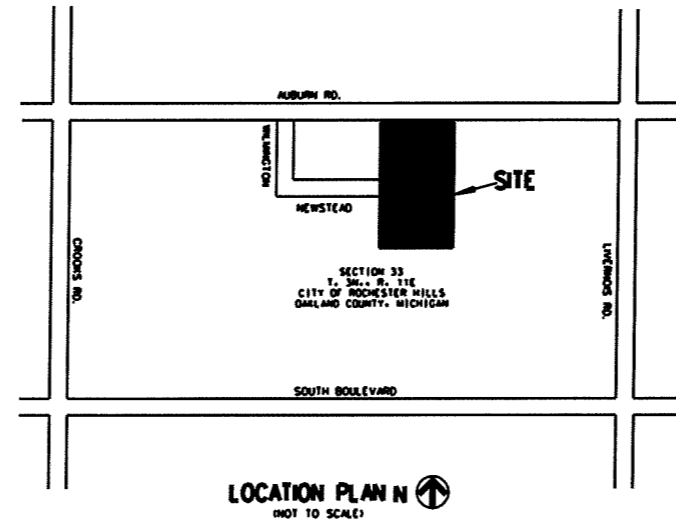


**LEGAL DESCRIPTION**



**"NORTHBROOKE EAST"  
 SITE CONDOMINIUM**

(FORMERLY KNOWN AS "ORR ESTATES")  
 PART OF THE E 1/2 OF THE NW 1/4 OF SECTION 33  
 T. 3N., R. 11E., CITY OF ROCHESTER HILLS  
 OAKLAND COUNTY, MICHIGAN



**SITE DATA**

ZONED	R-4
TOTAL SITE AREA	3.736 ACRES
REQUIRED LOT SIZE	9,600 SFT, 80 FT. WIDE
<b>DENSITY CALCULATIONS</b>	
PROPOSED NUMBER OF LOTS	12
PERMITTED DENSITY (3.4 UNITS/ACRE)	DENSITY PROVIDED (3.2 UNITS/ACRE)
<b>LOT SIZES PROVIDED</b>	
AVERAGE AREA	10,364.67 SFT.
MAX. AREA	12,588 SFT. (LOT 4 & LOT 8)
MIN. AREA	9,720 SFT.
<b>SETBACKS</b>	
FRONT	25.0'
SIDE MIN.	10.0'
TOTAL SIDE	20.0'
REAR	35.0'

**NOTE:**  
 THIS DEVELOPMENT IS BASED ON LOT AVERAGING SEE SHEET 3

**LEGAL DESCRIPTION**

A parcel of land located in the E 1/2 of the NW 1/4 of Section 33, T.3 N., R.11E., City of Rochester Hills, Oakland County, Michigan, Commencing at the N 1/4 Cor. of Section 33; thence S89°52'00" W, along the N.L. line of said Section 33, 330.02 feet; thence S00°28'23" W, 422.64 feet to the Point of Beginning; thence continuing S00°28'23" W, 501.36 feet; thence S89°52'00" W, 330.00 feet; thence N00°28'23" E, 489.36 feet; thence N89°52'00" E, 226.22 feet; thence N00°28'23" E 12'; thence N89°52'00" E 103.78' to the Point of Beginning.

containing 162,725 sft (3.736 acres) of land, more or less, subject to any restrictions and easements of record.

**NOTES**

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF STELLAR CONSULTING SERVICES, INC. AND SHALL BE RETURNED UPON REQUEST.

REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS, IN WHOLE OR PART, IS FORBIDDEN WITHOUT THE WRITTEN PERMISSION OF STELLAR CONSULTING SERVICES.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL PERTINENT DIMENSIONS INCLUDING UTILITIES INFORMATION AND REPORT ANY DISCREPANCIES TO STELLAR CONSULTING SERVICES INC. PRIOR TO THE START OF CONSTRUCTION.

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF ALL GOVERNING AGENCIES.

ALL WATER MAINS, SANITARY SEWERS (AND LEADS) AND STORM SEWERS UNDER PROPOSED OR EXISTING PAVEMENT OR WITHIN 3 FEET OF PAVEMENT TO BE SAND BACK FILLED AND COMPACTED TO 95% PROCTOR DENSITY. ALSO ALL UTILITY CROSSINGS TO BE SAND BACK FILLED. SAND BACK FILLING TO BE INCIDENTAL TO THE CONTRACT.

**LEGEND**

DESCRIPTION	NEW	EXIST
BUILDING	—	□
SLT FENCE	—	—
CONCRETE CURB	—	—
SPOT ELEVATION	816.24	816.2
CATCH BASIN	■	□
MANHOLE	●	○
SANITARY SEWER	—SAN—	—SAN—
WATER LINE	—W—	—W—
GAS LINE	—G—	—G—
TELEPHONE	—	—O.H.E.—
ELECTRIC	—	—
STORM SEWER	—ST—	—ST—

**ABBREVIATIONS**

ABBREVIATION	MEANING
EL	ELEVATION
B/B	BACK TO BACK OF CURB
T/C	TOP OF CURB
GU	BOTTOM OF CURB
LP	LOW POINT
HP	HIGH POINT
CB	CATCH BASIN
E	INVERT ELEVATION
MH	MANHOLE

**LIST OF DRAWINGS**

- C 1 TITLE SHEET
- C 2 SOIL EROSION CONTROL PLAN
- C 3 PRELIMINARY PLAN AND GRADING PLAN
- C 4 UTILITIES PLAN
- C 5 STORM WATER DETENTION & DETAILS
- C 6 DRAINAGE DISTRICT PLAN
- C 7 SITE DETAILS
- C 8 TOPOGRAPHICAL BOUNDARY SURVEY
- L 1 LANDSCAPE PLAN

**LANDSCAPE ARCHITECT**

DESIGN TEAM LIMITED  
 20300 W 12 MILE ROAD  
 SOUTHFIELD, MI 48075  
 TEL 248 559 1000  
 FAX 248 559 5717

**ENGINEERS & SURVEYORS**

STELLAR CONSULTING SERVICES, INC.  
 20300 W 12 MILE ROAD  
 SUITE 101  
 SOUTHFIELD, MI 48076  
 TEL 248 351 9800  
 FAX 248 351 9818

**DEVELOPER**

MR. RED ORR - LAND CONTRACT OWNER  
 NORTHBROOKE EAST DEVELOPMENT, L.L.C.  
 1561 E. SQUARE LAKE ROAD  
 TROY, MICHIGAN 48065  
 TEL 248 828 3811  
 FAX 248 828 3812

**BENCHMARKS**

BENCH MARK #1  
 PINNAC ON HYDROANT  
 ELEVATION 816.25 U.S.G.S.  
 BENCH MARK #2  
 RM OF SAN. INT.  
 ELEVATION 816.24 U.S.G.S.

**SUBMITTAL LOG**

PLANS SUBMITTED	DATE SUBMITTED	COMMENTS RECEIVED	RE SUBMITTED	RE SUBMITTED	RE SUBMITTED	RE SUBMITTED	DATE APPROVED	ADDRESS AND PHONE NO.
ROCHESTER HILLS PLANNING DEPARTMENT	10-17-00	11-21-00	03-26-03	11-08-04	04-20-05	06-24-05		1600 ROCHESTER HILLS DRIVE, ROCHESTER HILLS MI 48065-8600

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION  
 CITY FILE NUMBER 00-037

**PRELIMINARY SITE PLAN FILE # 00-037**

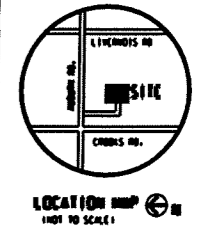
**STELLAR CONSULTING SERVICES, INC.**  
 PROFESSIONAL ENGINEERS & SURVEYORS  
 20300 W 12 MILE ROAD, SUITE 101  
 SOUTHFIELD, MI 48076  
 TEL 248 351 9800  
 FAX 248 351 9818

**TITLE SHEET**

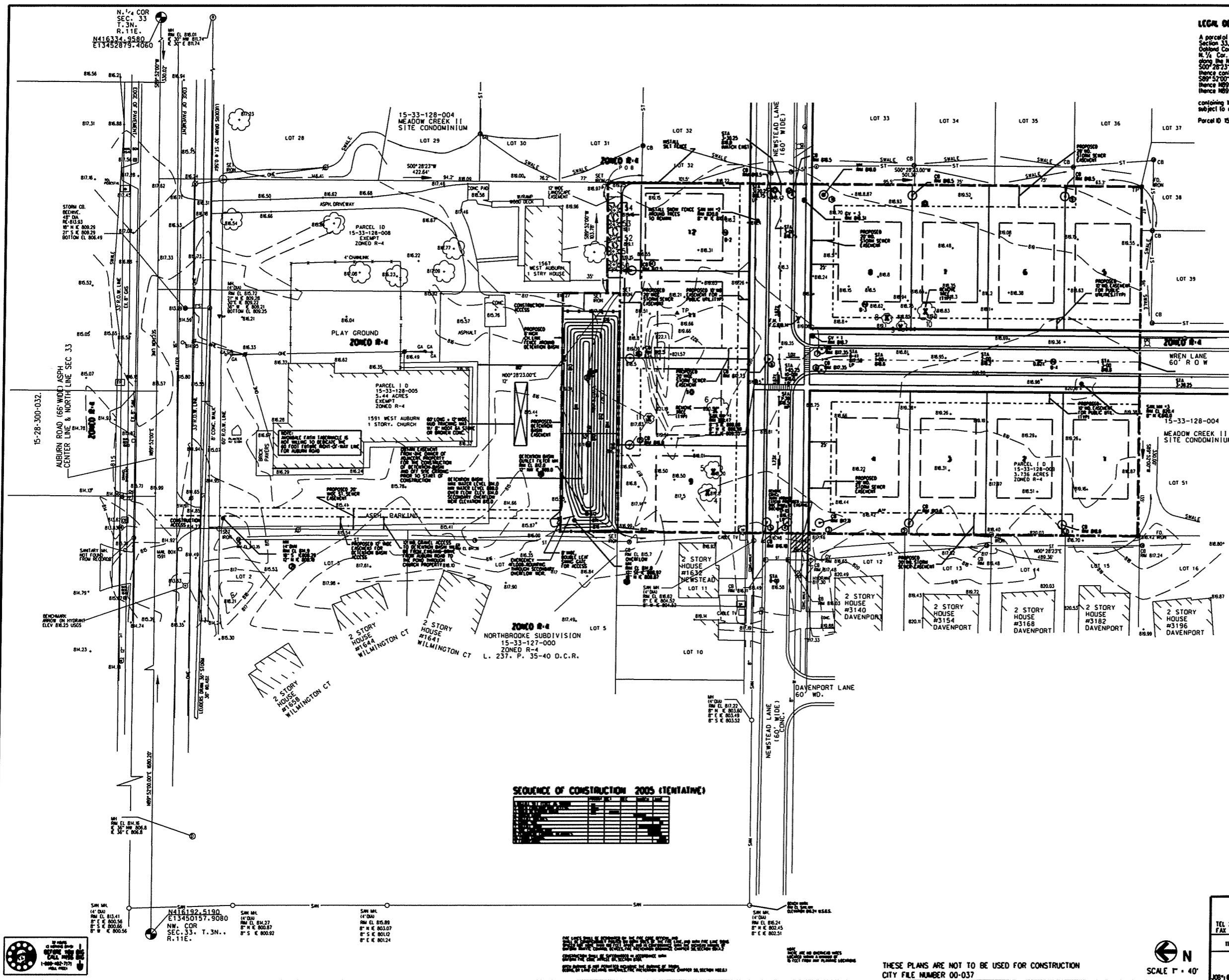
**NORTHBROOKE EAST CONDOMINIUM**  
 PART OF THE E 1/2 OF THE NW 1/4 OF SECTION 33  
 T. 3N., R. 11E., AVON TOWNSHIP, CITY OF ROCHESTER HILLS  
 OAKLAND COUNTY, MICHIGAN

C-1

**LEGAL DESCRIPTION**  
 A parcel of land located in the E 1/4 of the N.W. 1/4 of Section 33, T.3N., R.11E., City of Rochester Hills, Oakland County, Michigan. Commencing at the N 1/4 Cor. of Section 33; thence S89°52'00"W, 330.07 feet; thence S00°28'23"W, 422.84 feet to the Point of Beginning; thence continuing S00°28'23"W, 501.58 feet; thence S89°52'00"W, 330.00 feet; thence N00°28'23"E, 489.56 feet; thence N89°52'00"E, 226.22 feet; thence N00°28'23"E, 171.78 feet; thence N89°52'00"E, 433.78 feet to the Point of Beginning, containing 162,725 sq ft (3.736 acres) of land, more or less, subject to any restrictions and easements of record.  
 Parcel ID 15-33-128-009



- LEGEND**
- | DESCRIPTION    | NEW      | EXIST    |
|----------------|----------|----------|
| BUILDING       | [Symbol] | [Symbol] |
| SET FENCE      | [Symbol] | [Symbol] |
| CONCRETE CURB  | [Symbol] | [Symbol] |
| SPOT ELEVATION | [Symbol] | 821.0    |
| CATCH BASIN    | [Symbol] | [Symbol] |
| WHOLE          | [Symbol] | [Symbol] |
| SANITARY SEWER | [Symbol] | [Symbol] |
| WATER LINE     | [Symbol] | [Symbol] |
| GAS LINE       | [Symbol] | [Symbol] |
| ELECTRIC       | [Symbol] | [Symbol] |
| STORM SEWER    | [Symbol] | [Symbol] |
- ABBREVIATIONS**
- |                      |      |
|----------------------|------|
| ELEVATION            | EL   |
| BACK TO BACK OF CURB | B/C  |
| TOP OF CURB          | T/C  |
| BOTTOM OF CURB       | B/CB |
| LOW POINT            | LP   |
| HIGH POINT           | HP   |
| CATCH BASIN          | CB   |
| INVERT ELEVATION     | IN   |
| WHOLE                | WH   |



**SEQUENCE OF CONSTRUCTION 2005 (TENTATIVE)**

NO.	DESCRIPTION	DATE
1	Site Preparation	01-01-05
2	Foundation	01-15-05
3	Framing	02-01-05
4	Roofing	02-15-05
5	Interior Finishes	03-01-05
6	Exterior Finishes	03-15-05
7	Final Inspection	04-01-05

**SUBMITTAL LOG**

DATE	REVISIONS
10-17-00	PRELIM SITE PLAN
03-26-03	SITE PLAN APPROVAL
11-08-04	REVISED SITE PLAN
04-20-05	REVISED SITE PLAN
06-24-05	REVISED SITE PLAN

**STELLAR CONSULTING SERVICES, INC.**  
 PROFESSIONAL ENGINEERS & SURVEYORS  
 26300 W 12 MILE ROAD, SUITE 100  
 SOUTHFIELD, MI 48076  
 TEL 248 351 9800  
 FAX 248 351 9808  
 SCALE 1" = 40'

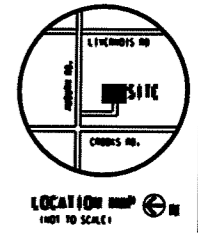
11-08-04 **SOIL EROSION CONTROL PLAN**

**NORTHBROOKE EAST CONDOMINIUM**  
 PART OF THE E 1/4 OF THE NW 1/4 SECTION 33  
 T. 3N., R. 11E., AVON TOWNSHIP, HOWARD CITY OF ROCHESTER HILLS, MI  
 10816283

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION  
 CITY FILE NUMBER 00-037



C-2



**LEGAL DESCRIPTION**

A parcel of land located in the E 1/2 of the NW 1/4 of Section 33, T. 3N., R. 11E., City of Rochester Hills, Oakland County, Michigan. Commencing at the N 1/4 Cor. of Section 33; thence S89°57'00"W, along the N line of said Section 33, 330.07 feet; thence S00°28'23"W, 422.64 feet to the Point of Beginning; thence continuing S00°28'23"W, 501.36 feet; thence S89°57'00"W, 330.00 feet; thence N00°28'23"E, 488.36 feet; thence N89°57'00"E, 228.22 feet; thence N00°28'23"E 12'; thence N89°57'00"E, 831.78 to the Point of Beginning.

Containing 82,725 sft (3.736 acres) of land, more or less, subject to any restrictions and easements of record.

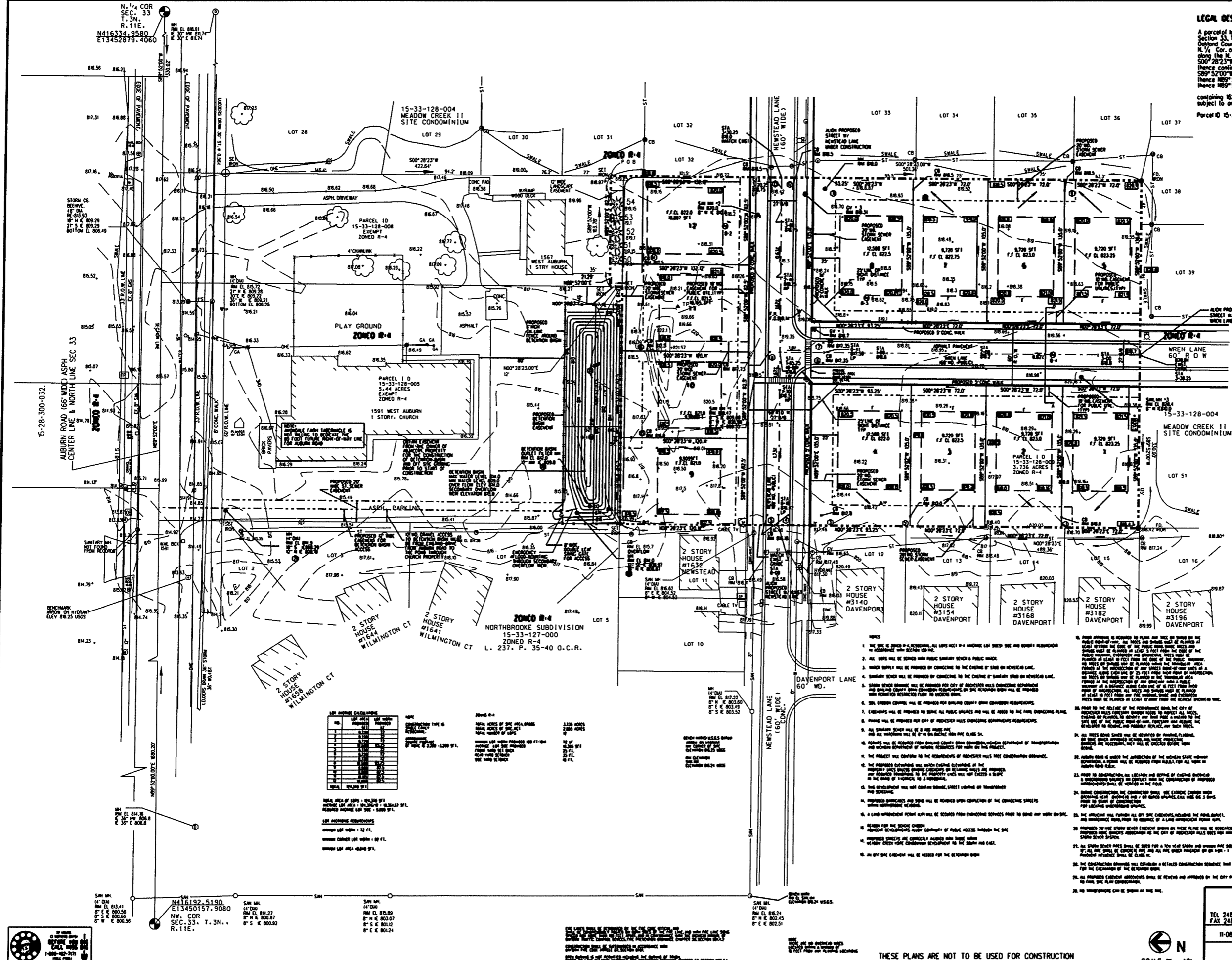
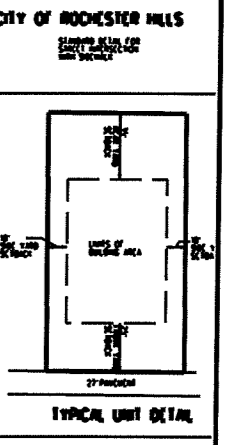
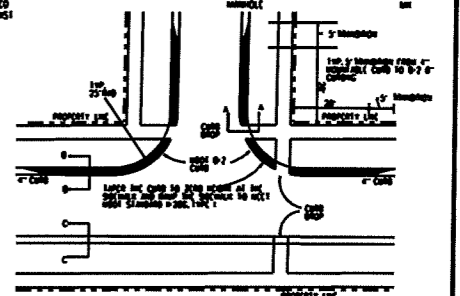
Parcel ID 15-33-128-009

**LEGEND**

DESCRIPTION	NEW	EXIST
BUILDING		
SLT FENCE		
CONCRETE CURB		
SPOT ELEVATION		821.0
CATCH BASIN		
MANHOLE		
SEWER LINE		
WATER LINE		
GAS LINE		
ELECTRIC		
STORM SEWER		

**ABBREVIATIONS**

ABBREVIATION	DESCRIPTION
CL	ELEVATION
TOP	TOP OF CURB
TC	TOP OF CURB
BO	BOTTOM OF CURB
CP	LOW POINT
HP	HIGH POINT
CB	CATCH BASIN
MAN	MANHOLE



- NOTES**
1. THE SITE IS ZONED R-4. ALL UTILITIES SHALL BE DEEPER THAN THE MINIMUM REQUIREMENTS AND SHALL BE PROTECTED BY A MINIMUM 18" CONC. PAD.
  2. ALL UTILITIES SHALL BE DEEPER THAN THE MINIMUM REQUIREMENTS AND SHALL BE PROTECTED BY A MINIMUM 18" CONC. PAD.
  3. ALL UTILITIES SHALL BE DEEPER THAN THE MINIMUM REQUIREMENTS AND SHALL BE PROTECTED BY A MINIMUM 18" CONC. PAD.
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  19. ALL UTILITIES SHALL BE DEEPER THAN THE MINIMUM REQUIREMENTS AND SHALL BE PROTECTED BY A MINIMUM 18" CONC. PAD.
  20. ALL UTILITIES SHALL BE DEEPER THAN THE MINIMUM REQUIREMENTS AND SHALL BE PROTECTED BY A MINIMUM 18" CONC. PAD.
  21. ALL UTILITIES SHALL BE DEEPER THAN THE MINIMUM REQUIREMENTS AND SHALL BE PROTECTED BY A MINIMUM 18" CONC. PAD.
  22. ALL UTILITIES SHALL BE DEEPER THAN THE MINIMUM REQUIREMENTS AND SHALL BE PROTECTED BY A MINIMUM 18" CONC. PAD.
  23. ALL UTILITIES SHALL BE DEEPER THAN THE MINIMUM REQUIREMENTS AND SHALL BE PROTECTED BY A MINIMUM 18" CONC. PAD.
  24. ALL UTILITIES SHALL BE DEEPER THAN THE MINIMUM REQUIREMENTS AND SHALL BE PROTECTED BY A MINIMUM 18" CONC. PAD.
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  27. ALL UTILITIES SHALL BE DEEPER THAN THE MINIMUM REQUIREMENTS AND SHALL BE PROTECTED BY A MINIMUM 18" CONC. PAD.
  28. ALL UTILITIES SHALL BE DEEPER THAN THE MINIMUM REQUIREMENTS AND SHALL BE PROTECTED BY A MINIMUM 18" CONC. PAD.
  29. ALL UTILITIES SHALL BE DEEPER THAN THE MINIMUM REQUIREMENTS AND SHALL BE PROTECTED BY A MINIMUM 18" CONC. PAD.
  30. ALL UTILITIES SHALL BE DEEPER THAN THE MINIMUM REQUIREMENTS AND SHALL BE PROTECTED BY A MINIMUM 18" CONC. PAD.

**AREA CALCULATIONS**

NO.	LOT AREA (SQ FT)	LOT AREA (ACRES)
1	10,000	0.23
2	10,000	0.23
3	10,000	0.23
4	10,000	0.23
5	10,000	0.23
6	10,000	0.23
7	10,000	0.23
8	10,000	0.23
9	10,000	0.23
10	10,000	0.23
11	10,000	0.23
12	10,000	0.23
13	10,000	0.23
14	10,000	0.23
15	10,000	0.23
16	10,000	0.23
17	10,000	0.23
18	10,000	0.23
19	10,000	0.23
20	10,000	0.23
21	10,000	0.23
22	10,000	0.23
23	10,000	0.23
24	10,000	0.23
25	10,000	0.23
26	10,000	0.23
27	10,000	0.23
28	10,000	0.23
29	10,000	0.23
30	10,000	0.23
31	10,000	0.23
32	10,000	0.23
33	10,000	0.23
34	10,000	0.23
35	10,000	0.23
36	10,000	0.23
37	10,000	0.23
38	10,000	0.23
39	10,000	0.23



THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION  
CITY FILE NUMBER 00-037

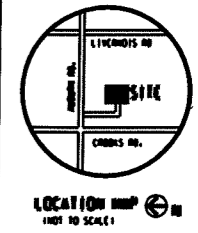


**STELLAR CONSULTING SERVICES, INC.**  
PROFESSIONAL ENGINEERS & SURVEYORS  
26380 W 12 MILE ROAD, SUITE 101  
SOUTHFIELD, MI 48076  
TEL 248 351-9800  
FAX 248 351-9808

DATE: 11-08-04  
**PRELIMINARY PLAN & GRADING PLAN**

**NORTHBROOKE EAST CONDOMINIUM**  
PART OF THE E 1/2 OF THE NW 1/4 OF SECTION 33  
T. 3N., R. 11E., AVON TOWNSHIP (IND. CITY OF ROCHESTER HILLS)  
OAKLAND COUNTY, MICHIGAN

SCALE 1" = 40'  
C-3



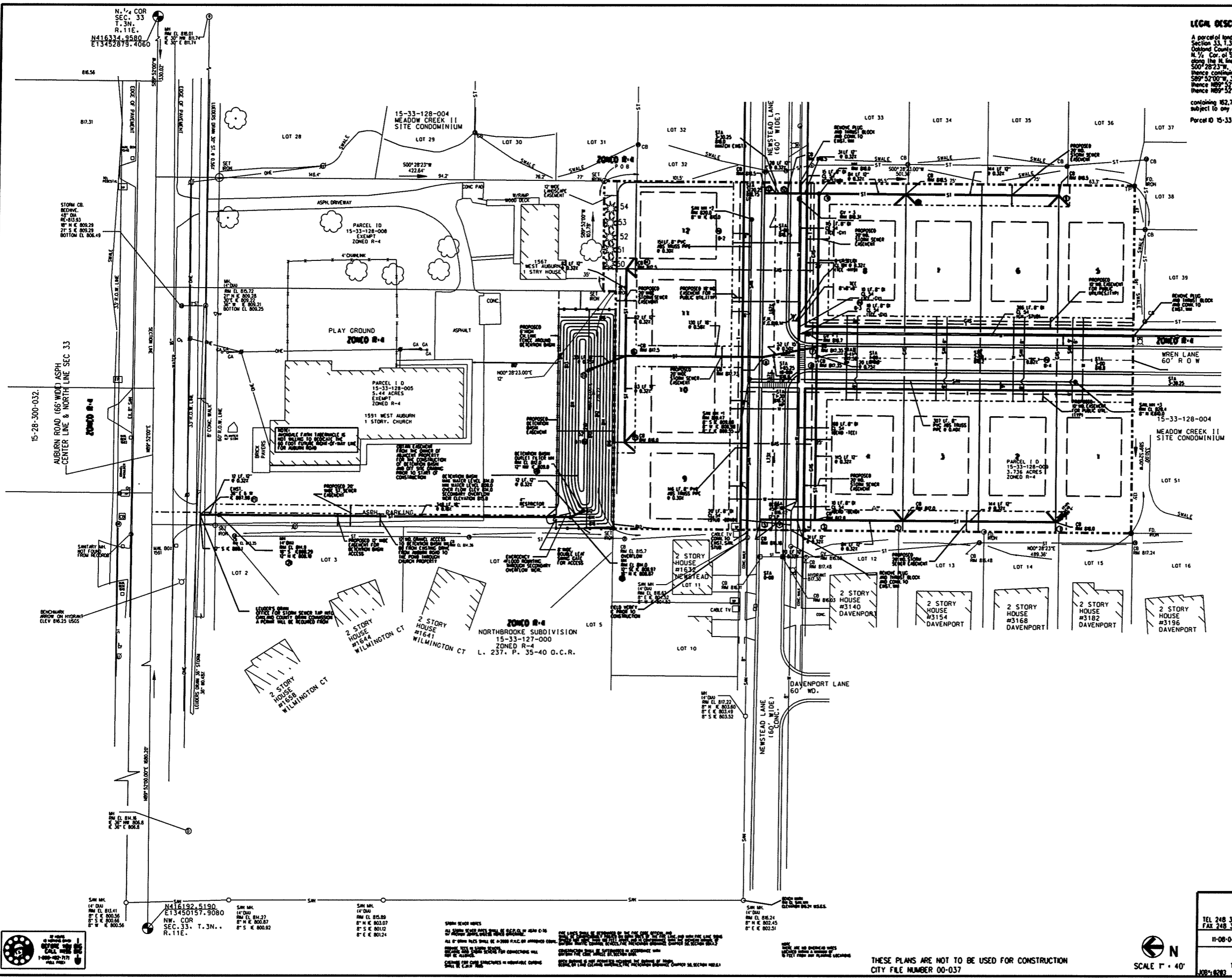
**LEGAL DESCRIPTION**  
 A parcel of land located in the E 1/2 of the NW 1/4 of Section 13, T.3N., R.11E., City of Rochester Hills, Oakland County, Michigan. Commencing at the N 1/4 Cor. of Section 13; thence S89°52'00"W, along the N line of said Section 13, 330.07 feet; thence S00°28'23"W, 422.64 feet to the Point of Beginning; thence continuing S00°28'23"W, 501.35 feet; thence S89°52'00"W, 330.00 feet; thence N00°28'23"E, 489.36 feet; thence N89°52'00"E, 226.22 feet; thence N00°28'23"E, 127.78 feet to the Point of Beginning, containing 162,725 s.f. (3.736 acres) of land, more or less, subject to any restrictions and easements of record.  
 Parcel ID 15-33-128-009

**LEGEND**

DESCRIPTION	NEW	EXIST
BUILDING	[Symbol]	[Symbol]
5 FT FENCE	[Symbol]	[Symbol]
CONCRETE CURB	[Symbol]	[Symbol]
SPOT ELEVATION	[Symbol]	821.0
CATCH BASIN	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]
SEWER MAIN	[Symbol]	[Symbol]
WATER LINE	[Symbol]	[Symbol]
GAS LINE	[Symbol]	[Symbol]
ELECTRIC	[Symbol]	[Symbol]
SIGNAL MAIN	[Symbol]	[Symbol]

**ABBREVIATIONS**

ELEVATION	EL
BACK TO BACK OF CURB	B/C
TOP OF CURB	T/C
BOTTOM OF CURB	B/CB
LOW POINT	LP
HIGH POINT	HP
CATCH BASIN	CB
MANHOLE ELEVATION	M/E
MANHOLE	M



**SUBMITTAL LOG**

DATE	REVISIONS
10-17-00	PRELIM SITE PLAN
03-26-03	SITE PLAN APPROVAL
11-08-04	REVISED SITE PLAN
04-20-05	REVISED SITE PLAN
06-24-05	REVISED SITE PLAN

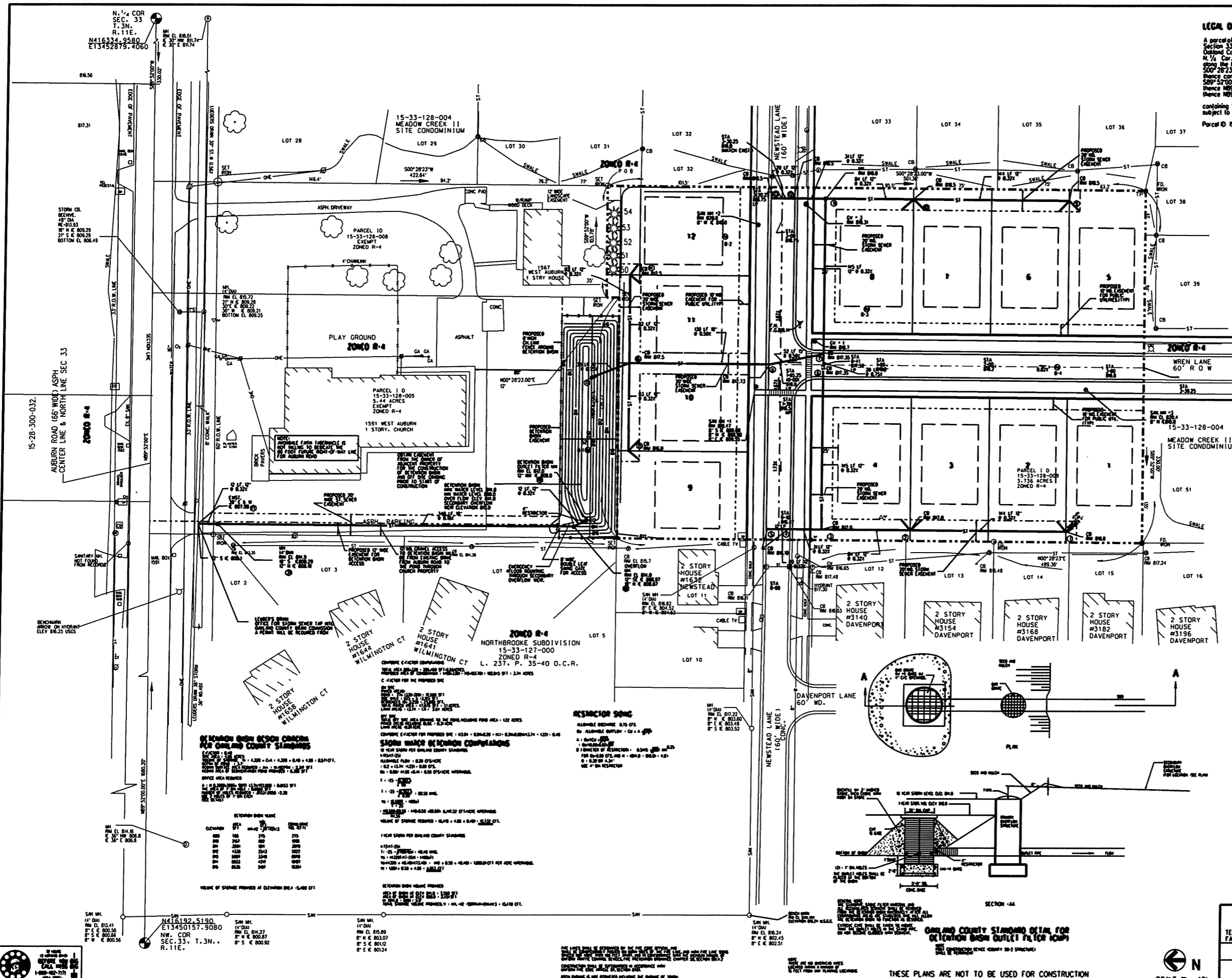
**STELLAR CONSULTING SERVICES, INC.**  
 PROFESSIONAL ENGINEERS & SURVEYORS  
 26300 W 12 MILE ROAD, SUITE 100  
 SOUTHFIELD, MI 48076  
 TEL 248 351 9800  
 FAX 248 351 9808  
 SCALE 1" = 40'

11-08-04 UTILITIES PLAN  
 NORTHBROOKE EAST CONDOMINIUM  
 PART OF THE E 1/2 OF THE NW 1/4 OF SECTION 13  
 T. 3N., R. 11E., AVON TOWNSHIP (NOW CITY OF ROCHESTER HILLS)  
 OAKLAND COUNTY, MICHIGAN  
 C-4



THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION  
 CITY FILE NUMBER 00-037

**STORM SEWER NOTES**  
 1. ALL STORM SEWER SHALL BE 18" DIA. UNLESS OTHERWISE NOTED.  
 2. ALL STORM SEWER SHALL BE 4" MIN. R.A.C. OR APPROVED EQUIV.  
 3. ALL STORM SEWER SHALL BE 4" MIN. R.A.C. OR APPROVED EQUIV.  
 4. ALL STORM SEWER SHALL BE 4" MIN. R.A.C. OR APPROVED EQUIV.  
 5. ALL STORM SEWER SHALL BE 4" MIN. R.A.C. OR APPROVED EQUIV.  
 6. ALL STORM SEWER SHALL BE 4" MIN. R.A.C. OR APPROVED EQUIV.  
 7. ALL STORM SEWER SHALL BE 4" MIN. R.A.C. OR APPROVED EQUIV.  
 8. ALL STORM SEWER SHALL BE 4" MIN. R.A.C. OR APPROVED EQUIV.  
 9. ALL STORM SEWER SHALL BE 4" MIN. R.A.C. OR APPROVED EQUIV.  
 10. ALL STORM SEWER SHALL BE 4" MIN. R.A.C. OR APPROVED EQUIV.

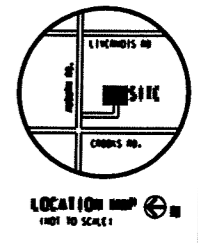


**LEGAL DESCRIPTION**

A parcel of land located in the E 1/4 of the NW 1/4 of Section 33, T.3N., R.11E., City of Rochester Hills, Oakland County, Michigan. Commencing at the NW 1/4 Cor. of Section 33, thence S89°52'00" W. along the N. line of said Section 33, 330.00 feet; thence S00°28'25" W. 422.84 feet to the Point of Beginning; thence S00°28'25" W. 501.36 feet; thence S89°52'00" W. 330.00 feet; thence N00°28'25" E. 489.36 feet; thence N89°52'00" E. 228.22 feet; thence N00°28'25" E. 422.84 feet to the Point of Beginning.

Containing 152.725 +/- (13.736 acres) of land, more or less, subject to any restrictions and easements of record.

Parcel ID 15-33-128-009



**LEGEND**

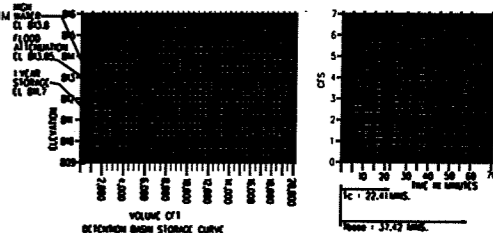
DESCRIPTION	NEW	EXIST
BUILDING		
SLT FENCE		
CONCRETE CURB		
SPOT ELEVATION		8210
CATCH BASIN		
MANHOLE		
SANITARY SEWER		
WATER LINE		
GAS LINE		
ELECTRIC		
STORM SEWER		

**ABBREVIATIONS**

ELEVATION	EL.
BACK TO BACK OF CURB	B/B
TOP OF CURB	T/C
BASE OF CURB	B/C
LOW POINT	L/P
HIGH POINT	H/P
CATCH BASIN	C/B
INVERT ELEVATION	I/E
MANHOLE	M

**SECTION BASH FLOOD ROUTING**

TIME	STATION	INVERT	DEPTH	VELOCITY	DISCHARGE
0	1	100.00	0.00	0.00	0.00
15	1	100.00	0.00	0.00	0.00
30	1	100.00	0.00	0.00	0.00
45	1	100.00	0.00	0.00	0.00
60	1	100.00	0.00	0.00	0.00
75	1	100.00	0.00	0.00	0.00
90	1	100.00	0.00	0.00	0.00
105	1	100.00	0.00	0.00	0.00
120	1	100.00	0.00	0.00	0.00
135	1	100.00	0.00	0.00	0.00
150	1	100.00	0.00	0.00	0.00
165	1	100.00	0.00	0.00	0.00
180	1	100.00	0.00	0.00	0.00
195	1	100.00	0.00	0.00	0.00
210	1	100.00	0.00	0.00	0.00
225	1	100.00	0.00	0.00	0.00
240	1	100.00	0.00	0.00	0.00
255	1	100.00	0.00	0.00	0.00
270	1	100.00	0.00	0.00	0.00
285	1	100.00	0.00	0.00	0.00
300	1	100.00	0.00	0.00	0.00
315	1	100.00	0.00	0.00	0.00
330	1	100.00	0.00	0.00	0.00
345	1	100.00	0.00	0.00	0.00
360	1	100.00	0.00	0.00	0.00
375	1	100.00	0.00	0.00	0.00
390	1	100.00	0.00	0.00	0.00
405	1	100.00	0.00	0.00	0.00
420	1	100.00	0.00	0.00	0.00
435	1	100.00	0.00	0.00	0.00
450	1	100.00	0.00	0.00	0.00
465	1	100.00	0.00	0.00	0.00
480	1	100.00	0.00	0.00	0.00
495	1	100.00	0.00	0.00	0.00
510	1	100.00	0.00	0.00	0.00
525	1	100.00	0.00	0.00	0.00
540	1	100.00	0.00	0.00	0.00
555	1	100.00	0.00	0.00	0.00
570	1	100.00	0.00	0.00	0.00
585	1	100.00	0.00	0.00	0.00
600	1	100.00	0.00	0.00	0.00



**SECTION BASH VOLUME**

ELEVATION	AREA	VOLUME	CONCENTRATION
ST	FT <sup>2</sup>	FT <sup>3</sup>	PER 10 FT <sup>2</sup>
800	198	275	275
805	283	362	362
810	3204	3674	3674
815	4336	2543	2543
820	5807	3588	3588
825	6833	429	429
830	8535	587	1634

**SUBMITTAL LOG**

DATE	REVISIONS
10-17-00	PRELIM SITE PLAN
03-26-03	SITE PLAN APPROVAL
11-08-04	REVISED SITE PLAN
04-20-05	REVISED SITE PLAN
06-24-05	REVISED SITE PLAN

**STELLAR CONSULTING SERVICES, INC.**  
PROFESSIONAL ENGINEERS & SURVEYORS  
28388 W 12 MILE ROAD, SUITE 100  
SOUTHFIELD, MI 48076  
TEL 248 351-9800  
FAX 248 351-9808

DATE: 11-08-04  
**STORM WATER DETENTION & DETAILS**

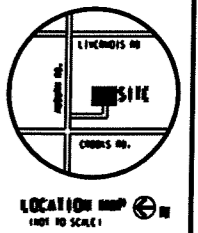
**NORTHBROOKE EAST CONDOMINIUM**  
PART OF THE E 1/4 OF THE NW 1/4 OF SECTION 33, T. 3N., R. 11E., AON TOWNSHIP (NOW CITY OF ROCHESTER HILLS) OAKLAND COUNTY, MICHIGAN

SCALE 1" = 40'  
C-5

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION  
CITY FILE NUMBER 00-037

N. 1/4 COR  
SEC. 33  
T. 3N.  
R. 11E.  
N416334.9580  
E13452879.4060

**LEGAL DESCRIPTION**  
A parcel of land located in the E. 1/2 of the N.W. 1/4 of Section 33, T. 3 N., R. 11 E., City of Rochester Hills, Oakland County, Michigan. Commencing at the N. 1/2 Cor. of Section 33; thence S89°57'00" W, along the N. line of said Section 33, 330.07 feet; thence S00°28'23" W, 422.54 feet to the Point of Beginning; thence continuing S00°28'23" W, 501.35 feet; thence S89°57'00" W, 330.00 feet; thence N00°28'23" E, 489.36 feet; thence N89°57'00" E, 226.22 feet; thence N00°28'23" E, 127.75 feet; thence S89°57'00" E, 103.76 feet to the Point of Beginning, containing 42.725 ± (13.736 acres) of land, more or less, subject to any restrictions and easements of record.  
Parcel ID 15-33-128-009

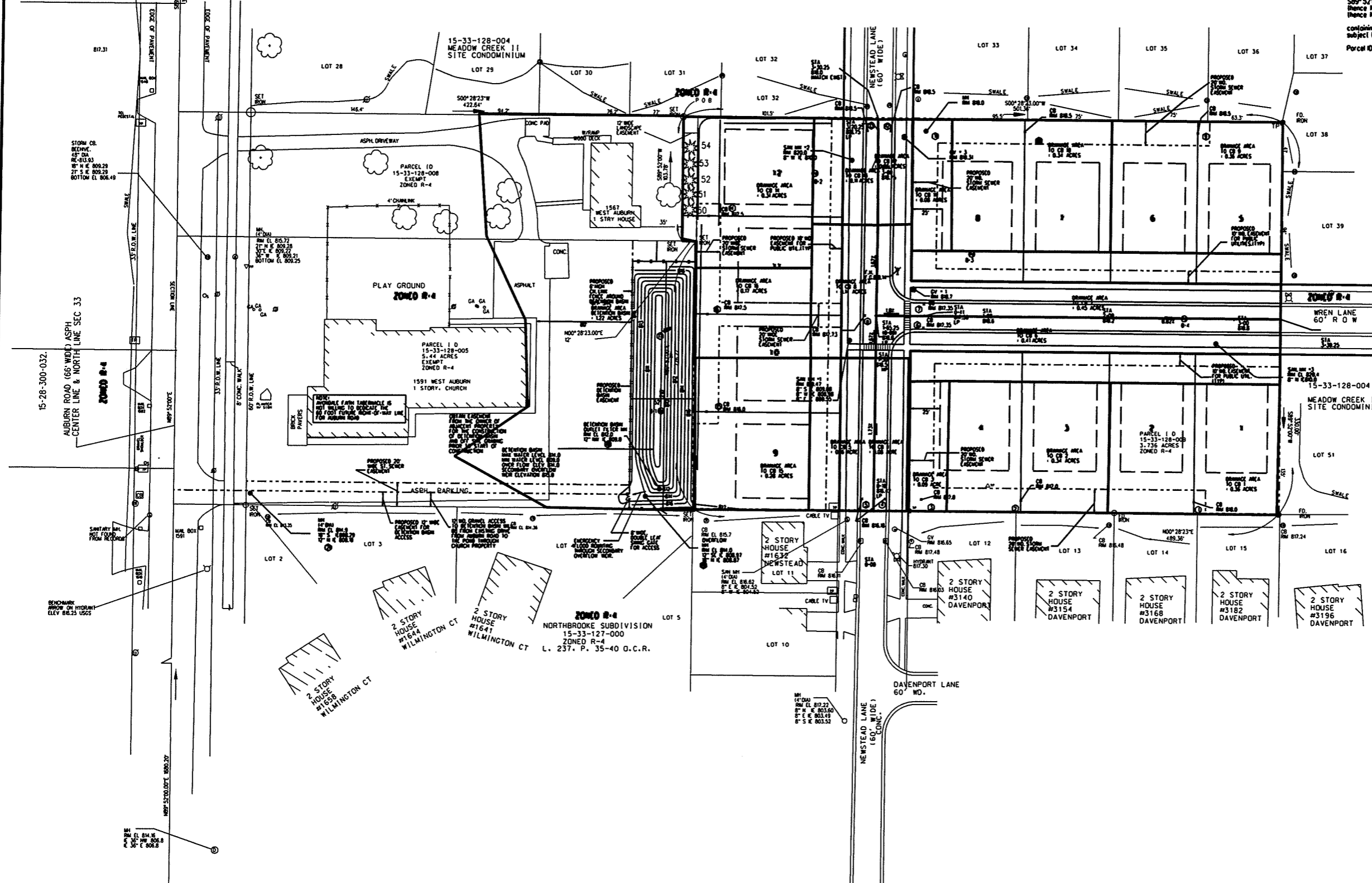


**LEGEND**

DESCRIPTION	NEW	EXIST
BUILDING	[Symbol]	[Symbol]
1" FENCE	[Symbol]	[Symbol]
CONCRETE CURB	[Symbol]	[Symbol]
SPOT ELEVATION	[Symbol]	8210
CATCH BASIN	[Symbol]	0
MANHOLE	[Symbol]	0
SANITARY SEWER	[Symbol]	-SW
WATER LINE	[Symbol]	-W
GAS LINE	[Symbol]	-G
ELECTRIC	[Symbol]	-OLE
STORM SEWER	[Symbol]	-ST

**ABBREVIATIONS**

ELEVATION	EL.
BACK TO BACK OF CURB	B.T.B.
TOP OF CURB	T.O.C.
BOTTOM OF CURB	B.O.C.
LOW POINT	L.P.
HIGH POINT	H.P.
CATCH BASIN	C.B.
MANHOLE ELEVATION	M.E.
MANHOLE	M.



**SUBMITTAL LOG**

DATE	REVISIONS
10-17-00	PRELIM. SITE PLAN
03-26-03	SITE PLAN APPROVAL
11-08-04	REVISED SITE PLAN
04-20-05	REVISED SITE PLAN
06-24-05	REVISED SITE PLAN

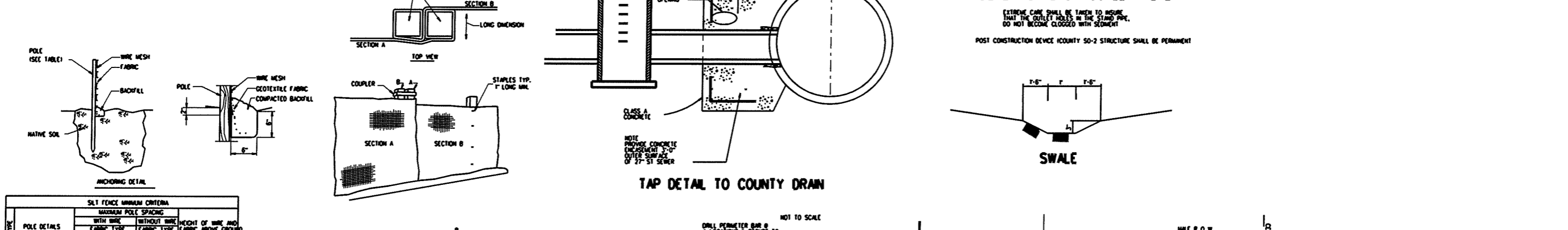
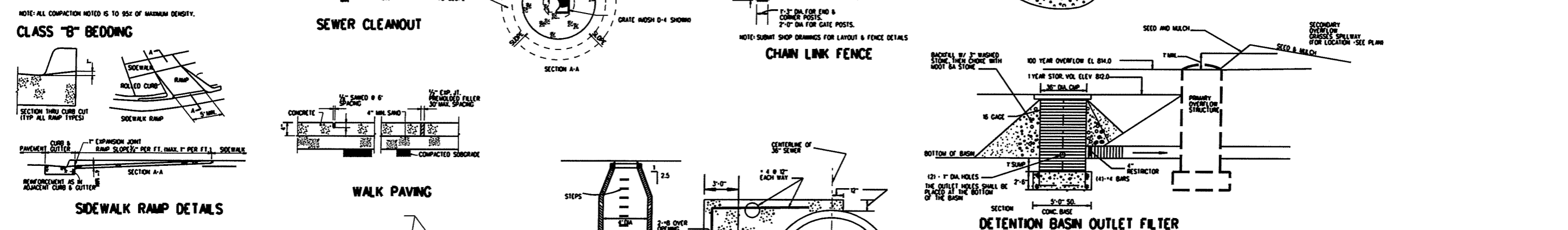
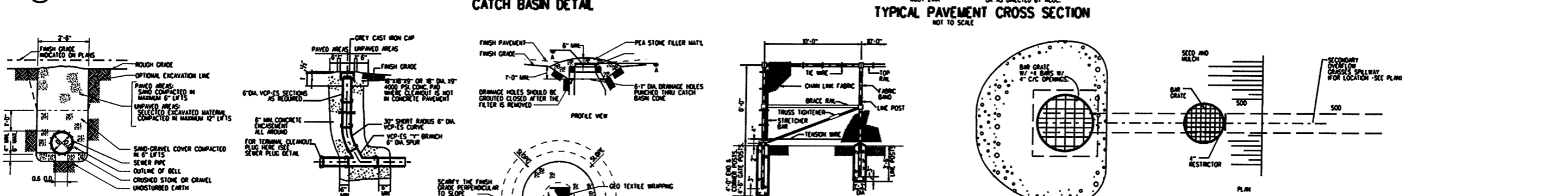
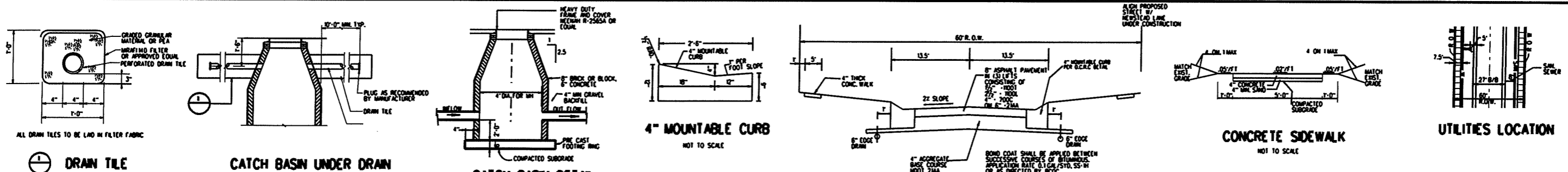
**STELLAR CONSULTING SERVICES, INC.**  
PROFESSIONAL ENGINEERS & SURVEYORS  
26388 W 12 MILE ROAD, SUITE 100  
SOUTHFIELD, MI 48075  
TEL 248 351-9800  
FAX 248 351-9808  
SCALE 1" = 40'

11-08-04  
**DRAINAGE DISTRICT PLAN**  
**NORTHBROOKE EAST CONDOMINIUM**  
PART OF THE E. 1/2 OF THE N.W. 1/4 OF SECTION 33  
T. 3N., R. 11E., AVON TOWNSHIP AND CITY OF ROCHESTER HILLS  
OAKLAND COUNTY, MICHIGAN  
JOB # 023



SCALE 1" = 40'

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION  
CITY FILE NUMBER 00-037



**SILT FENCE MINIMUM CRITERIA**

TYPE	MAXIMUM POLE SPACING		HEIGHT OF WIRE AND FABRIC ABOVE GROUND
	WITH WIRE	WITHOUT WIRE	
4\"/>			

**GRouted Stone Rip-Rap**

Pipe Dia.	D	E	F	S.Y.
12"	3'-0"	6'-6"	3'-0"	4
24"	6'-0"	8'-6"	4'-6"	6

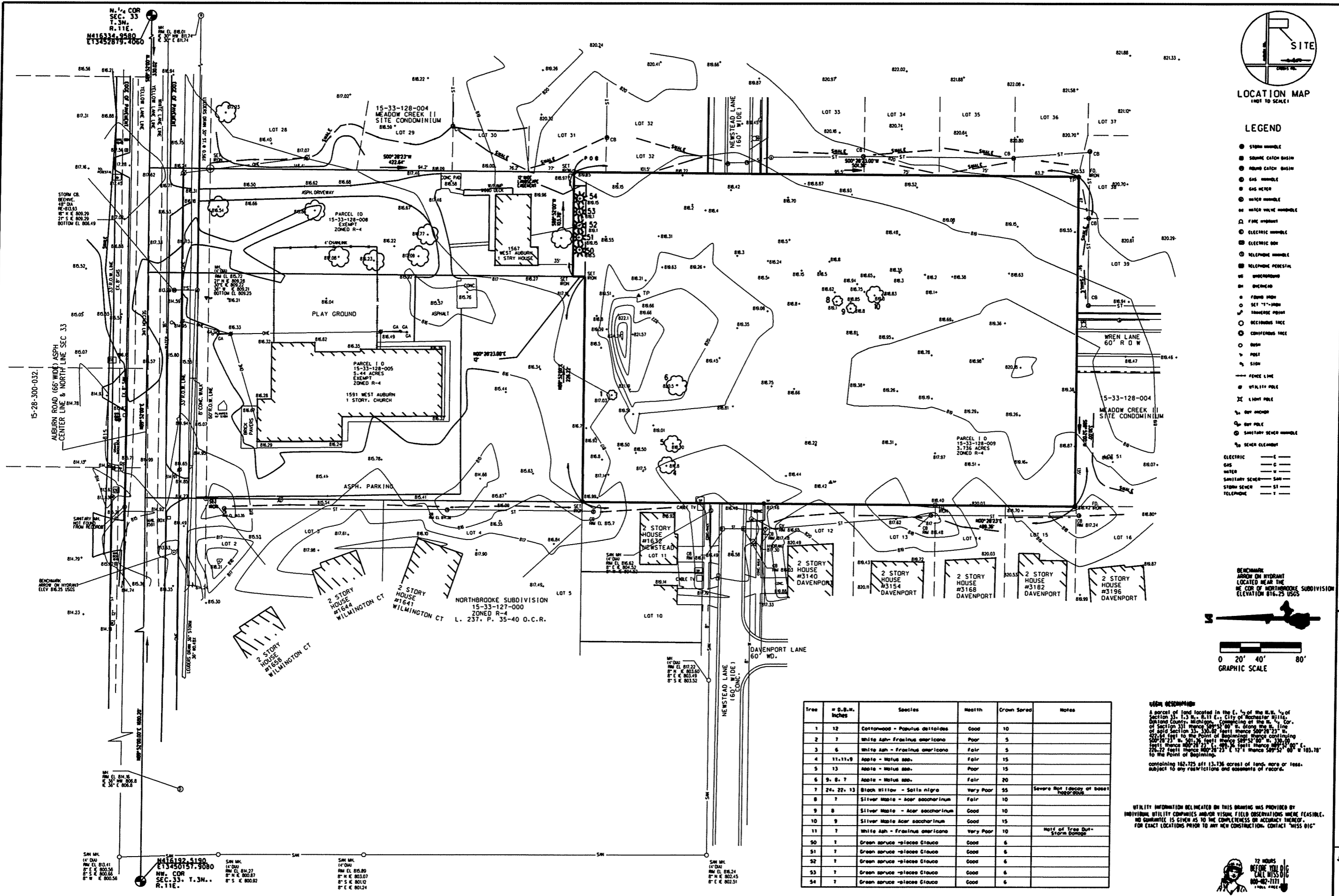
**SUBMITTAL LOG**

DATE	REVISIONS
10-17-00	PRELIM SITE PLAN
03-26-03	SITE PLAN APPROVAL
11-08-04	REVISED SITE PLAN
04-20-05	REVISED SITE PLAN
06-24-05	REVISED SITE PLAN

**STELLAR CONSULTING SERVICES, INC.**  
 PROFESSIONAL ENGINEERS & SURVEYORS  
 TEL 248 3519800 26388 W 12 MILE ROAD, SUITE 101  
 FAX 248 3519816 SOUTHFIELD, MI 48076

**SITE DETAILS**  
 NORTHBROOK EAST CONDOMINIUM  
 PART OF THE E 1/4 OF THE NW 1/4 OF SECTION 33  
 T. 34N. R. 12E., AVON TOWNSHIP AND CITY OF ROCHESTER HILLS,  
 OAKLAND COUNTY, MICHIGAN

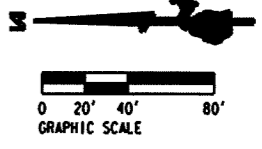
THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION  
 CITY FILE NUMBER 00-037



**LEGEND**

- STORM MANHOLE
  - SOUND CATCH BASIN
  - ROUND CATCH BASIN
  - GAS MANHOLE
  - GAS METER
  - WATER MANHOLE
  - WATER VALVE MANHOLE
  - ▲ FIRE HYDRANT
  - ⊙ ELECTRIC MANHOLE
  - ⊙ ELECTRIC BOX
  - ⊙ TELEPHONE MANHOLE
  - ⊙ TELEPHONE PEGHOLE
  - ⊙ UNDERGROUND
  - ⊙ DRAINAGE
  - ⊙ FOUND HOLE
  - ⊙ SET "T"-HOLE
  - ⊙ KNOWLEDGE POINT
  - ⊙ BELLHOUSE TRACE
  - ⊙ COMPASSION TRACE
  - HOLE
  - POST
  - SIGN
  - FENCE LINE
  - UTILITY POLE
  - LIGHT POLE
  - NEW MANHOLE
  - NEW HOLE
  - SANITARY SEWER MANHOLE
  - SEWER CLEARANCE
- ELECTRIC --- E ---
- GAS --- G ---
- WATER --- W ---
- SANITARY SEWER --- SSW ---
- STORM SEWER --- SS ---
- TELEPHONE --- T ---

BENCHMARK  
ARROW ON HYDRANT  
LOCATED NEAR THE  
W. COR. OF NORTHBROOKE SUBDIVISION  
ELEVATION 816.25 USGS

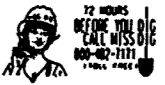


Tree	#	D.B.H. INCHES	Species	Health	Crown Spread	Notes
1	12		Cottonwood - <i>Populus deltoides</i>	Good	10	
2	7		White Ash - <i>Fraxinus americana</i>	Poor	5	
3	6		White ash - <i>Fraxinus americana</i>	Fair	5	
4	11, 11.9		Apple - <i>Malus spp.</i>	Fair	15	
5	13		Apple - <i>Malus spp.</i>	Poor	15	
6	9, 8, 7		Apple - <i>Malus spp.</i>	Fair	20	
7	24, 22, 13		Black Willow - <i>Salix nigra</i>	Very Poor	55	Severe Rot (decay at base) top 20' gone
8	7		Silver Maple - <i>Acer saccharinum</i>	Fair	10	
9	8		Silver Maple - <i>Acer saccharinum</i>	Good	10	
10	9		Silver Maple <i>Acer saccharinum</i>	Good	15	
11	7		White Ash - <i>Fraxinus americana</i>	Very Poor	10	Half of Tree Due to Storm Damage
50	7		Green spruce - <i>Picea Glauca</i>	Good	6	
51	7		Green spruce - <i>Picea Glauca</i>	Good	6	
52	7		Green spruce - <i>Picea Glauca</i>	Good	6	
53	7		Green spruce - <i>Picea Glauca</i>	Good	6	
54	7		Green spruce - <i>Picea Glauca</i>	Good	6	

**DEED INFORMATION**

A parcel of land located in the E. 1/2 of the N.W. 1/4 of Section 33, T. 33 N., R. 11 E., City of Rochester Hills, Oakland County, Michigan, comprising the W. 1/2 Cor. of Section 33, thence 300'-00" N. along the W. line of said Section 33, 336.40 feet thence S00°28'23" W. 472.44 feet to the point of beginning, thence continuing S00°28'23" W. 511.14 feet thence S89°51'00" W. 330.00 feet thence S00°28'23" W. 472.44 feet thence S00°28'23" W. 472.44 feet thence S00°28'23" W. 472.44 feet thence S00°28'23" W. 472.44 feet thence S00°28'23" W. 472.44 feet to the point of beginning, containing 162.725 of 13.136 acres of land, more or less, subject to any restrictions and easements of record.

UTILITY INFORMATION DELINEATED ON THIS DRAWING WAS PROVIDED BY INDIVIDUAL UTILITY COMPANIES AND/OR VISUAL FIELD OBSERVATIONS WERE FEASIBLE. NO GUARANTEE IS GIVEN AS TO THE COMPLETENESS OR ACCURACY THEREOF. FOR EXACT LOCATIONS PRIOR TO ANY NEW CONSTRUCTION, CONTACT "MISS DIG"



PART OF THE EAST 1/2 OF THE NW 1/4, SEC. 33, T. 33 N., R. 11 E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN.

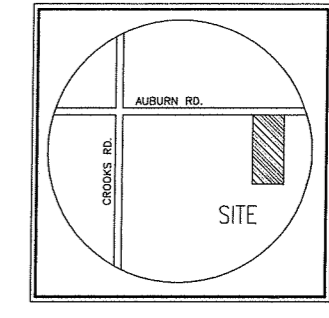
REVISIONS

NO.	DATE	DESCRIPTION

**STELLAR CONSULTING SERVICES, INC.**  
PROFESSIONAL ENGINEERS & SURVEYORS  
20300 W 12 MILE ROAD, SUITE 101  
SOUTHFIELD, MI 48076  
PHONE 248 351 9800 FAX 248 351 9818  
EMAIL: STELLAR@AOL.COM

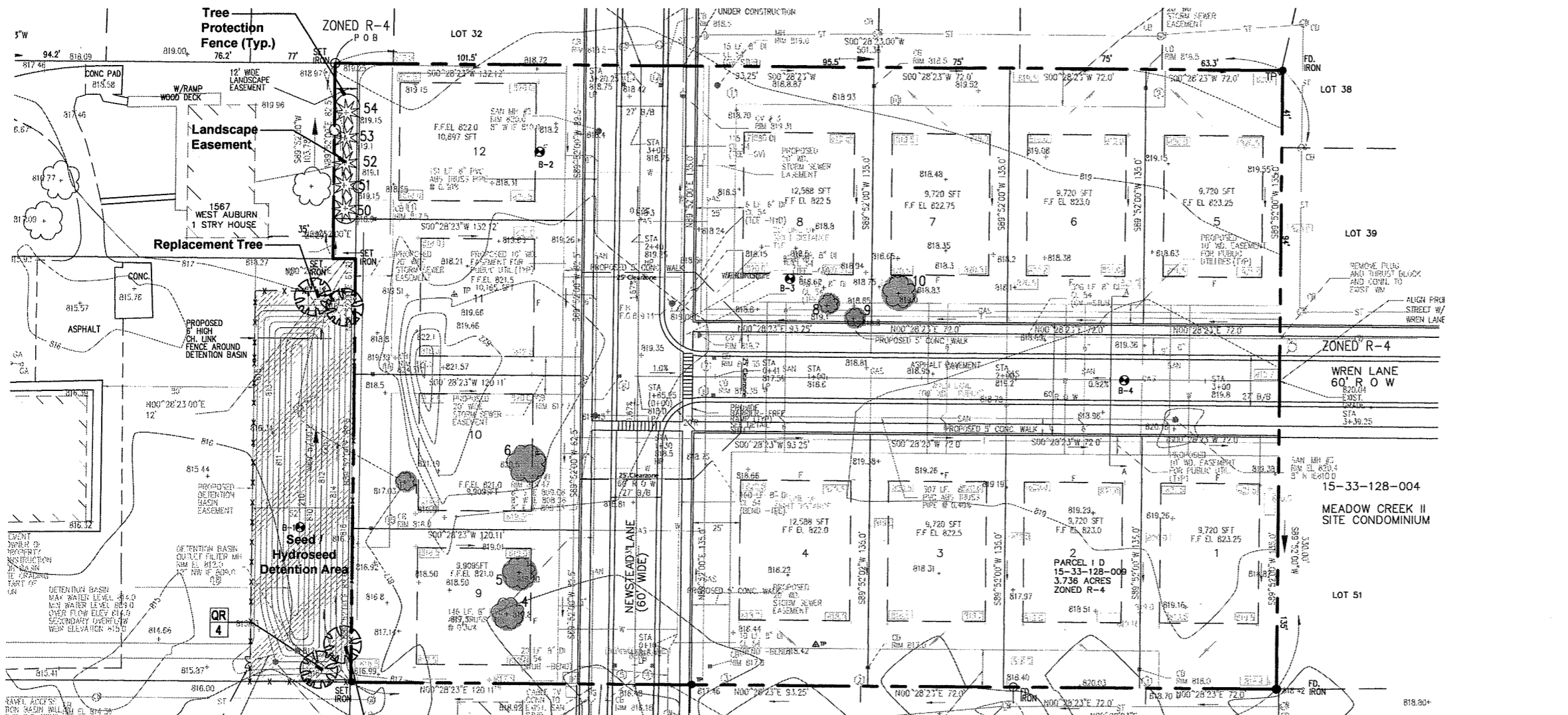
**TOPOGRAPHICAL BOUNDARY SURVEY**





Location Map  
 Not To Scale

**Legal Description**  
 A parcel of land located in the E. 1/4 of the N.W. 1/4 of Section 33, T.3 N., R.11 E., City of Rochester Hills, Oakland County, Michigan. Commencing at the N. 1/4 Cor. of Section 33; thence S89°32'00"W along the N. line of said Section 33, 330.02 feet; thence S00°28'23"W, 422.64 feet to the Point of Beginning; thence continuing S00°28'23"W, 501.35 feet; thence S89°32'00"W, 310.00 feet; thence N00°28'23"E, 489.36 feet; thence N89°32'00"E, 226.22 feet; thence N00°28'23"E 121 feet; thence N89°32'00"E, 103.78' to the Point of Beginning. Containing 162,725 sft (3.736 acres) of land, more or less, subject to any restrictions and easements of record. Parcel ID 15-33-128-009



**PLANTING NOTES:**  
 1. LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.  
 2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HISHER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIO 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.  
 3. CONTRACTOR SHALL SUPPLY FINISHED GRADE AND DIGITATIONS NECESSARY TO SUPPLY 4" TOPSOIL DEPTH IN ALL PLANTING BEDS AND 4" TOPSOIL DEPTH IN ALL LAWN AREAS.  
 4. ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK. PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK. CONTRACTOR TO SUPPLY NURSERY SOURCES FOR ALL PURCHASED MATERIAL. NO BARE ROOT OR PARK GRADE MATERIAL WILL BE ACCEPTED.  
 5. GUARANTEE OF PLANTS FOR TWO (2) YEAR SHALL BEGIN AFTER ACCEPTANCE BY THE CITY OF ROCHESTER HILLS LANDSCAPE ARCHITECT AND THE PROJECT REPRESENTATIVE. THE CONTRACTOR SHALL GUARANTEE ALL PLANTS TO BE A HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF TWO (2) YEAR FOLLOWING ACCEPTANCE. CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE CITY OF ROCHESTER HILLS LANDSCAPE ARCHITECT AND THE PROJECT REPRESENTATIVE DURING AND AT THE END OF THE GUARANTEE PERIOD.  
 6. ACCEPTANCE OF GRADING AND SOIL SHALL BE BY LANDSCAPE ARCHITECT AND/OR PROJECT REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY FOR A MINIMUM OF TWO (2) YEAR. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REPLACEMENTS OF WASHOUTS AND OTHER OPERATIONS NECESSARY TO KEEP SOIL IN A THIRING CONDITION. UPON FINAL ACCEPTANCE BY THE CITY OF ROCHESTER HILLS LANDSCAPE ARCHITECT AND/OR PROJECT REPRESENTATIVE THE OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES.  
 7. ALL TREE PITS MUST BE TESTED FOR PROPER DRAINAGE PRIOR TO PLANTING TREES. A DRAINAGE SYSTEM MUST BE INSTALLED IF PLANTING PIT DOES NOT DRAIN SUFFICIENTLY REQUIRED HEAVY CLAY SOILS.  
 8. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.  
 9. STAKES USED FOR TREE SUPPORTS SHALL POINT AWAY FROM ANY CIRCULATION ROUTES.  
 10. REMOVE ALL TREE STAKES AND QUIP WIRES AFTER ONE WINTER.  
 11. IN CASE OF DISCREPANCY BETWEEN PLAN AND SPECIFICATIONS, THE PLAN SHALL GOVERN PROPER PROCEDURES.  
 12. ALL CHAINS AND WATERING OF ALL PLANTS AND TREES SHALL BE IMMEDIATELY OR WITHIN 15 HOURS AFTER INSTALLATION.  
 13. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.  
 14. THE OWNER'S REPRESENTATIVE AND THE CITY OF ROCHESTER HILLS LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.  
 15. INSTALL AND MAINTAIN ALL LANDSCAPING ACCORDING TO ROCHESTER HILLS STANDARDS.  
 16. PLANTING TO START SPRING 2005.  
 17. USE GRADE "A" DOUBLE SHREDED HARDWOOD BARK.  
 18. PLANT TREES AND SHRUBS NO CLOSER THAN THE FOLLOWING MINIMUM DISTANCE FROM SIDEWALKS, CURBS, AND PARKING STALLS:  
 A. SHADE/CANOPY TREES 5 FEET  
 B. ORNAMENTAL/LOWERING TREES 10 FEET  
 C. EVERGREEN TREES 10 FEET  
 D. EVERGREEN/LOWERING SHRUBS 10 FEET

**Tree Protection Notes**  
 1. The tree protection fencing (TPF) shall be erected per the plans approved by the City of Rochester Hills Planning Department. The TPF must be in place and inspected by the City of Rochester Hills Landscape Architect prior to the start of any earthwork or construction operations. It is the developer's responsibility to contact the City Planning Department at 1-248-856-4660 to schedule a TPF inspection. The TPF shall remain in place throughout the entire construction process or until the City authorizes the removal or issues a final Certificate of Occupancy, whichever occurs first.  
 2. Upon completion of grading and the installation of the infrastructure a second inspection of the TPF and the trees designated for preservation is required by the City of Rochester Hills Landscape Architect prior to the start of any additional construction. It is the developer's responsibility to contact the City Planning Department at 1-248-856-4660 to schedule this TPF inspection.  
 3. Upon completion of all construction and prior to the removal of the TPF the City of Rochester Hills Landscape Architect must inspect all trees designated to be preserved. The landscape Performance Bond will not be released until this inspection is complete and all related issues are resolved. It is the developer's responsibility to contact the City Planning Department at 1-248-856-4660 to schedule this inspection.  
 4. A final inspection by the City of Rochester Hills Landscape Architect is required at the end of the vegetation and landscape period. The landscape Maintenance Bond will not be released until this inspection is complete and all related issues are resolved. It is the developer's responsibility to contact the City Planning Department at 1-248-856-4660 to schedule this inspection.  
 5. The Tree Conservation Ordinance prohibits any construction or development activities within the drip line of all regulated trees not approved for removal, including but not limited to clearing, grubbing, trenching, grading or filling, no persons shall place any concrete, building material, construction equipment, soil deposits, or harmful materials within the drip line of trees designated for preservation.  
 6. Proposed grades are to match the existing elevations outside the limits of the TPF. No grading either out or fill is permitted within the drip line of any tree designated for preservation.  
 7. During the construction process no person shall attach any device or wire/cable/cord/rope to an existing tree designated to be preserved.  
 8. All utility service requests must include notification to the installer that protected trees must be avoided. All trenching shall occur outside the TPF.  
 9. Swales shall be routed to avoid the area within the drip line of any tree designated for preservation. Swales shall be constructed so as not to direct any additional flow to the drip line of a tree designated for preservation.  
 10. If tree protection cannot be maintained for a tree throughout the entire period required, the replacement of that tree will be required on an inch for inch basis prior to the issuance of the Certificate of Occupancy.  
 11. Regulated trees located off-site on adjacent properties that may be affected by construction operations must be protected as defined here in.  
 12. The TPF shall consist of a foot high clear snow fencing to be installed around the drip line of all trees designated to be saved. This fencing shall be supported by 6 foot metal T-bar posts 5 feet on center and driven a minimum of 24" into the ground. The TPF fencing shall remain upright and securely in place for the required time as specified above.

**TREE SURVEY:**

Tree Number	D.B.H. (Inches)	Species	Health	Crown Spread	Regulation	Status
1	12	Cottonwood - Populus Deltoidea	Good	10	Regulated	Removed
2	7	White Ash - Fraxinus Americana	Poor	5	Non-Regulated	Removed
6	6	White Ash - Fraxinus Americana	Fair	5	Non-Regulated	Removed
4	11, 11, 9	Apple - Malus Spp.	Fair	15	Regulated	Removed
5	13	Apple - Malus Spp.	Poor	15	Regulated	Removed
6	8, 8, 7	Apple - Malus Spp.	Fair	20	Regulated	Removed
7	24, 22, 13	Black Willow - Salix Nigra	Very Poor	55	Non-Regulated	Removed
8	7	Silver Maple - Acer Saccharinum	Fair	10	Regulated	Removed
9	8	Silver Maple - Acer Saccharinum	Good	10	Regulated	Removed
10	9	Silver Maple - Acer Saccharinum	Good	15	Regulated	Removed
11	7	White Ash - Fraxinus Americana	Very Poor	10	Non-Regulated	Removed
50	7	Green Spruce - Picea glauca	Good	6	Regulated	Protected
51	7	Green Spruce - Picea glauca	Good	6	Regulated	Protected
52	7	Green Spruce - Picea glauca	Good	6	Regulated	Protected
53	7	Green Spruce - Picea glauca	Good	6	Regulated	Protected
54	7	Green Spruce - Picea glauca	Good	6	Regulated	Protected

**TREE PRESERVATION CALCULATIONS:**

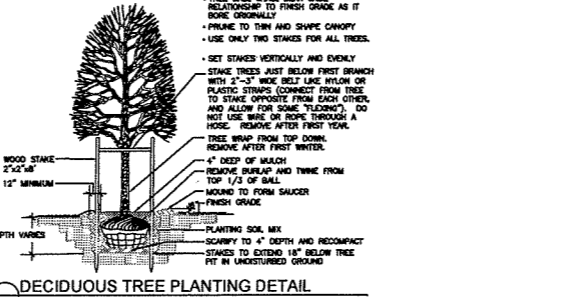
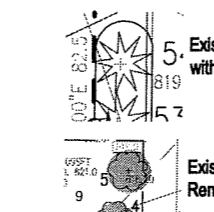
Total Number of Trees Surveyed: 16  
 Number of Regulated Trees: 12  
 Trees Required to be Saved: (37%) = 5  
 Trees being Saved per Site Plan: 5  
 Number of Trees Being Removed per Site Plan: 7  
 Total Trees for Replacement at 3" Caliper: 4

**PLANT & MATERIAL SCHEDULE & COST ESTIMATE:**

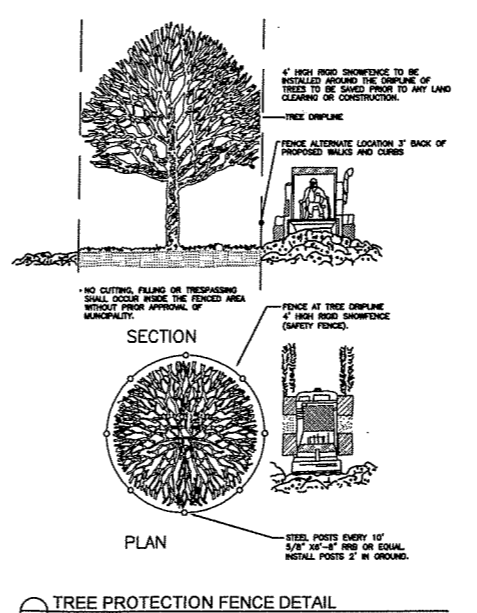
QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	UNIT PRICE	UNIT TOTAL
<b>SHADE TREE</b>							
4	QR	Quercus Rubra	Red Oak	3" CAL.	B&B	\$200.00	\$800.00
<b>MATERIALS</b>							
± 11,000	S.F.	Seeding / Hydroseed				\$ 0.08	\$ 880.00
± 3	C.Y.	Mulch				\$ 40.00	\$ 120.00
± 3	C.Y.	Plant Mix				\$ 42.00	\$ 126.00
<b>TOTAL</b>						\$ 1,926.00	
<b>FEE PAID TO THE CITY FOR STREET TREE INSTALLATION</b>						\$ 2,400.00	
<b>TOTAL ESTIMATE</b>						\$ 4,326.00	

**NOTES:**  
 1. Base information provided by Stellar Consulting Services, Inc.  
 2. Street Trees to be Installed by City.  
 3. Prior to issuance of a Land Improvement Permit, the Prescribed Fee of \$200.00 per Street Tree (i.e., \$2,400.00) will be Paid to the City of Rochester Hills.  
 4. Irrigation of plant material is the responsibility of each individual home owner.  
 5. Prior approval is required to plant any tree or shrub on the public right-of-way. All trees and shrubs must be planted at least 10' from the edge of the public road. Shade trees and shrubs must be planted at least 5' from the edge of the public walkway. Evergreen and ornamental trees must be planted at least 10' from the edge of the public walkway. No trees or shrubs may be planted within the triangular area formed at the intersection of an street right-of-way lines at a distance along each line of 25' from their point of intersection. No trees or shrubs may be planted in the triangular area formed at the intersection of any driveway with a public walkway at a distance along each line of 15' from their point of intersection. All trees and shrubs must be planted at least 10' from any fire hydrant. Shade and evergreen trees must be at least 15' away from the nearest overhead wire. Trees must be planted a minimum of 5' from an underground utility, unless the city's landscape architect requires a greater distance.  
 6. Prior to the release of the performance bond, the City of Rochester Hills Forestry Division needs to inspect all trees, existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developer to remove, and possibly replace, any such tree.

**Existing Tree Key**



DECIDUOUS TREE PLANTING DETAIL



TREE PROTECTION FENCE DETAIL