

ROCHESTER HILLS RETAIL

FACADE RENOVATION & PARKING IMPROVEMENTS

1400 W. WALTON BLVD., ROCHESTER HILLS, MI
48309-1755

ARCHITECT
STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

CIVIL ENGINEER
PAUL BOOMER
CREATIVE LAND PLANNING
AND DESIGN

paul@creativelandlc.com

LANDSCAPE ARCHITECT
NAGY DEVLIN LAND DESIGN
31736 WEST CHICAGO AVE.
LIVONIA, MI. 48150
(734) 634-9208

PROJECT DATA:
BUILDING CODE AUTHORITY:
CITY OF ROCHESTER HILLS

OWNER:
CMP REAL ESTATE GROUP
6476 ORCHARD LAKE ROAD, SUITE A
WEST BLOOMFIELD, MI. 48322
P. (248) 538-2000
F. (248) 538-9905

CHRIS JONNA
cjonna@cmpralestategroup.com

TYPE OF CONSTRUCTION:
II-B

USE GROUP:
UNCHANGED DUE TO SCOPE OF PROJECT

PROJECT AREA:
UNCHANGED DUE TO SCOPE OF PROJECT

APPLICABLE CODES: (COMMERCIAL):
BUILDING CODE:
2015 MICHIGAN REHABILITATION FOR EXISTING BUILDING
2015 MICHIGAN BUILDING CODE (MBC) AS AMENDED

MECHANICAL CODE:
2015 MICHIGAN MECHANICAL CODE AS AMENDED

PLUMBING CODE:
2015 MICHIGAN PLUMBING CODE AS AMENDED

ELECTRICAL CODE:
2014 NATIONAL ELECTRIC CODE (NEC) AS AMENDED & MICHIGAN
AMMENDMENTS PART 8.

ENERGY CODE:
2015 MICHIGAN BUILDING CODE (CHAPTER 13)
2009 MICHIGAN UNIFORM ENERGY CODE
ASHRAE 90.1-2013 ENERGY STANDARDS FOR BUILDINGS

FIRE CODE:
2015 INTERNATIONAL FIRE CODE REFERENCED IN 2015 MICHIGAN
BUILDING CODE

BARRIER FREE REQUIREMENTS:
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)
MBC-2012 (CHAPTER 11)
ICC / ANSI 117.1 - 2009, EXCEPT SECTION 611 & 707

LIFE SAFETY CODES:
2015 NFPA 99 HEALTH CARE FACILITIES
2015 NFPA 101 LIFE SAFETY CODE
2013 NFPA 13 STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS
2013 NFPA 72 NATIONAL FIRE ALARM CODE

SITE PLAN DATA :

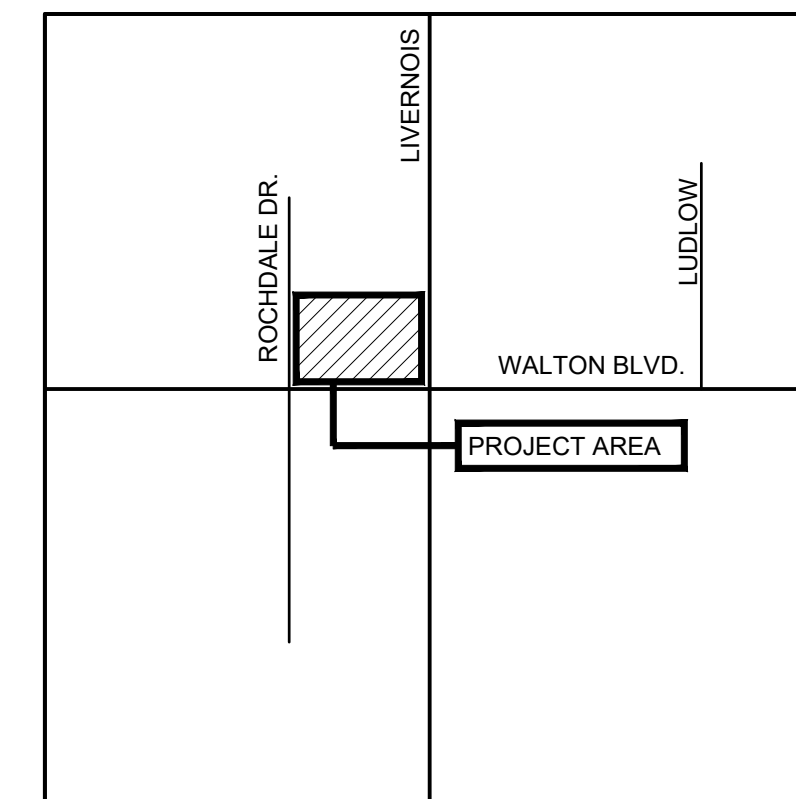
PARCEL ID. # 70-15-09-476-033

PROJECT DATA

ZONING DISTRICT : B3 - SHOPPING CENTER /BUSINESS

SITE AREA : 7.9884 AC
EXISTING RETAIL BUILDING A : 86,130SF
EXISTING RETAIL BUILDING B : 10,870 SF
TOTAL EXISTING RETAIL AREA : 97,000 SF

EXISTING PARKING:
PROPOSED PARKING IMPROVEMENTS/ RE-STRIPING : 404 SPACES
(INCL. 16 SP. HANDICAP)



VICINITY MAP
SCALE: N.T.S.



ELEVATION RENDERING
SCALE: N.T.S.

| SHEET INDEX | | ISSUED FOR | |
|-------------------------------------|---|---|-------------------------------------|
| DRAWING INDEX KEY: | | 08.28.17 SITE PLAN APPROVAL | |
| <input type="checkbox"/> | NOT ISSUED | 02.02.18 SITE PLAN APPROVAL COMMENTS #1 | |
| <input type="checkbox"/> | PREVIOUSLY ISSUED | 03.14.18 SITE PLAN APPROVAL COMMENTS #2 | |
| <input checked="" type="checkbox"/> | ISSUED | 04.17.18 SITE PLAN APPROVAL COMMENTS #3 | |
| <input type="checkbox"/> | REFERENCE | | |
| GENERAL | | | |
| TS1.1 | TITLE SHEET AND SHEET INDEX AND LOCATOR PLAN | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| CIVIL | | | |
| 1 | PROPOSED MILLING AND REPAVING PLAN | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| LANDSCAPE | | | |
| LP-1 | LANDSCAPE PLANTING PLAN + PRESERVATION PLAN | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| LP-2 | LANDSCAPE NOTES AND DETAILS | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| PHOTOMETRICS | | | |
| 1 | ROCHESTER CENTER PARKING LOT | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| ARCHITECTURAL | | | |
| SP1.1 | ARCHITECTURAL SITE PLAN- PROPOSED IMPROVEMENTS | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A1.0 | OVERALL FLOOR PLAN | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A1.1 | PARTIAL FLOOR PLAN BUILDING A | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A1.2 | PARTIAL FLOOR PLAN BUILDING A | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A1.3 | OVERALL FLOOR PLAN BUILDING B | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A3.1 | PROPOSED EXTERIOR ELEVATIONS BUILDING A - COLOR | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| A3.2 | PROPOSED EXTERIOR ELEVATIONS BUILDING B - COLOR | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |

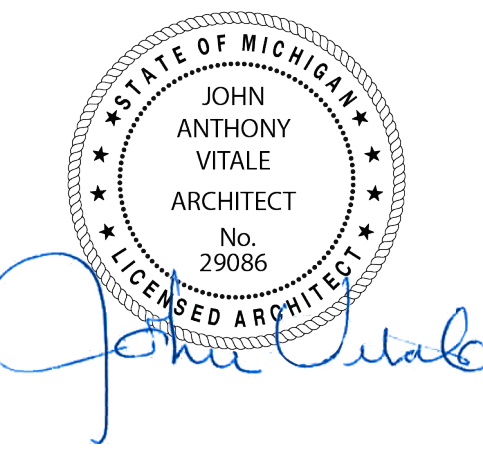
NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

| SYMBOL LEGEND | | ABBREVIATION | |
|------------------------|---|--------------|-------------------------|
| | DARKENED ARROW INDICATES ELEVATED SECTION | @ | ACOUST. |
| | ELEVATION NUMBER | A.C.T. | ACOUSTIC CEILING TILE |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | ADJ. | ADJACENT |
| | ELEVATION NUMBER | A.F.F. | ABOVE FINISH FLOOR |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | ALUM. | ALUMINUM |
| | ELEVATION NUMBER | ANOD. | ANODIZED |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | BD. | BOARD |
| | ELEVATION NUMBER | BLDG. | BUILDING |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | BLK. | BLOCK |
| | ELEVATION NUMBER | BLKG. | BLOCKING |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | CEM. | CEMENT |
| | ELEVATION NUMBER | C.J. | CONTROL JOINT |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | CLG. | CEILING |
| | ELEVATION NUMBER | C.L. | CENTER LINE |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | C.O. | CLEAN OUT |
| | ELEVATION NUMBER | COL. | COLUMN |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | CONC. | CONCRETE |
| | ELEVATION NUMBER | C.G. | CORNER GUARD |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | CONSTR. | CONSTRUCTION |
| | ELEVATION NUMBER | CONT. | CONTINUOUS |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | CORR. | CORRUGATED |
| | ELEVATION NUMBER | CPT. | CARPET |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | C.T. | CERAMIC TILE |
| | ELEVATION NUMBER | DET. | DETAIL |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | DIA. | DIAMETER |
| | ELEVATION NUMBER | DM. | DIMENSION |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | DN. | DOWN |
| | ELEVATION NUMBER | D.O. | DOOR OPENING |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | DR. | DOOR |
| | ELEVATION NUMBER | DWG. | DRAWING |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | EA. | EACH |
| | ELEVATION NUMBER | ELEV. | ELEVATION |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | E.W. | EACH WAY |
| | ELEVATION NUMBER | EXG. | EXISTING |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | EXIST. | EXISTING |
| | ELEVATION NUMBER | EXP. | EXPANSION, EXPOSED |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | EXT. | EXTERIOR |
| | ELEVATION NUMBER | F.D. | FLOOR DRAIN |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | FDN. | FOUNDATION |
| | ELEVATION NUMBER | F.R.P. | FIBER REINFORCED PANELS |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | FIN. | FINISH |
| | ELEVATION NUMBER | FLR. | FLOOR |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | F.O. | FACE OF |
| | ELEVATION NUMBER | F.O.S. | FACE OF STUD |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | FR. | FRAME |
| | ELEVATION NUMBER | FTG. | FOOTING |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | FV. | FIELD VERIFY |
| | ELEVATION NUMBER | GA. | GAUGE |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | GALV. | GALVANIZED |
| | ELEVATION NUMBER | GYP. | GYPSUM |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | HDW. | HARDWARE |
| | ELEVATION NUMBER | H.M. | HOLLOW METAL |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | HORIZ. | HORIZONTAL |
| | ELEVATION NUMBER | HT. | HEIGHT |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | I.D. | INSIDE DIAMETER |
| | ELEVATION NUMBER | INSUL. | INSULATION |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | INT. | INTERIOR |
| | ELEVATION NUMBER | JT. | JOINT |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | LAV. | LAVATORY |
| | ELEVATION NUMBER | LG. | LONG |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | L.L.O. | LONG LEG OUTSTANDING |
| | ELEVATION NUMBER | L.L.V. | LONG LEG VERTICAL |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | MAX. | MAXIMUM |
| | ELEVATION NUMBER | MECH. | MECHANICAL |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | MET. | METAL |
| | ELEVATION NUMBER | MEZZ. | MEZZANINE |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | M.I. | MISCELLANEOUS IRON |
| | ELEVATION NUMBER | MIN. | MINIMUM |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | MISC. | MISCELLANEOUS |
| | ELEVATION NUMBER | M.O. | MASONRY OPENING |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | N.I.C. | NOT IN CONTRACT |
| | ELEVATION NUMBER | N.T.S. | NOT TO SCALE |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | O.C. | ON CENTER |
| | ELEVATION NUMBER | O.D. | OUTSIDE DIAMETER |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | OPNG. | OPENING |
| | ELEVATION NUMBER | OPP. | OPPOSITE |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | PL.G. | PLATE GLASS |
| | ELEVATION NUMBER | PL.S. | PLATE STEEL |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | P.LAM. | PLASTIC LAMINATE |
| | ELEVATION NUMBER | PLAS. | PLASTER |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | PREFAB. | PREFABRICATED |
| | ELEVATION NUMBER | PROJ. | PROJECT, PROJECTION |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | P.S.F. | POUNDS PER SQUARE FOOT |
| | ELEVATION NUMBER | PT. | POINT |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | R. | RISER |
| | ELEVATION NUMBER | R.A. | RETURN AIR |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | R.B. | RUBBER BASE |
| | ELEVATION NUMBER | R.C. | ROOF CONDUCTOR |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | R.C.P. | REFLECTED CEILING PLAN |
| | ELEVATION NUMBER | R.D. | ROOF DRAIN |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | R.F. | RUBBER FLOORING |
| | ELEVATION NUMBER | REINF. | REINFORCED, REINFORCING |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | REQD. | REQUIRED |
| | ELEVATION NUMBER | RFG. | ROOFING |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | ROOM | ROOM |
| | ELEVATION NUMBER | R.S. | ROOF SUMP |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | R.T. | RUBBER TILE |
| | ELEVATION NUMBER | SAN. | SANITARY |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | SCHED. | SCHEDULE |
| | ELEVATION NUMBER | SHT. | SHEET |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | SIM. | SIMILAR |
| | ELEVATION NUMBER | SPEC. | SPECIFICATION |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | S.S. | SERVICE SINK |
| | ELEVATION NUMBER | STL. | STEEL |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | STD. | STANDARD |
| | ELEVATION NUMBER | STOR. | STORAGE |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | SUSP. | SUSPENDED |
| | ELEVATION NUMBER | SW. | SWITCH |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | SYM. | SYMMETRICAL |
| | ELEVATION NUMBER | T. | TREAD |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | T&B | TOP AND BOTTOM |
| | ELEVATION NUMBER | TEL. | TELEPHONE |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | TERR. | TERRAZZO |
| | ELEVATION NUMBER | T&G. | TONGUE AND GROOVE |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | THK. | THICK, THICKNESS |
| | ELEVATION NUMBER | THRES. | THRESHOLD |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | T.O.S. | TOP OF STEEL |
| | ELEVATION NUMBER | TYP. | TYPICAL |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | UC | UNDERCUT |
| | ELEVATION NUMBER | UN.O. | UNLESS NOTED OTHERWISE |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | V.B. | VINYL BASE |
| | ELEVATION NUMBER | V.C.T. | VINYL COMPOSITION TILE |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | V.I.F. | VERIFY IN FIELD |
| | ELEVATION NUMBER | W. | WIDE |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | VERT. | VERTICAL |
| | ELEVATION NUMBER | WAINSCOT | WAINSCOT |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | W.C. | WATER CLOSET |
| | ELEVATION NUMBER | WD.WIN. | WOOD WINDOW |
| | SHEET NUMBER WHERE ELEVATION IS LOCATED | WT. | WEIGHT |
| | ELEVATION NUMBER | W.W.F. | WELDED WIRE FABRIC |
| MATERIAL LEGEND | | | |
| | ACOUSTICAL CEILING | | |
| | BATTALOOSE INSULATION | | |
| | BLOCKING/ROUGH LUMBER - CONTINUOUS | | |
| | BLOCKING/ROUGH LUMBER | | |
| | CONCRETE | | |
| | FINISHED WOOD | | |
| | GLASS | | |
| | GYPSON WALLBOARD | | |
| | MASONRY | | |
| | PARTICLE BOARD | | |
| | PLYWOOD | | |

SVA
STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
P. 248.546.6700
F. 248.546.8454
WWW.STUCKYVITALE.COM

Project :
ROCHESTER HILLS
RETAIL
FACADE RENOVATION
LIVERNOIS + W.WALTON RD.
ROCHESTER HILLS, MI
48307

Issued for :
SITE PLAN APPROVAL 08.28.17
SITE PLAN APPROVAL COMMENTS 02.02.18
SITE PLAN APPROVAL COMMENTS #2 03.14.18
SITE PLAN APPROVAL COMMENTS #3 04.17.18



Drawn by :
MD, RBG
Checked by :
MD

Sheet Title :
TITLE SHEET,
SHEET INDEX, +
LOCATOR PLAN

Project No. :
2017.022

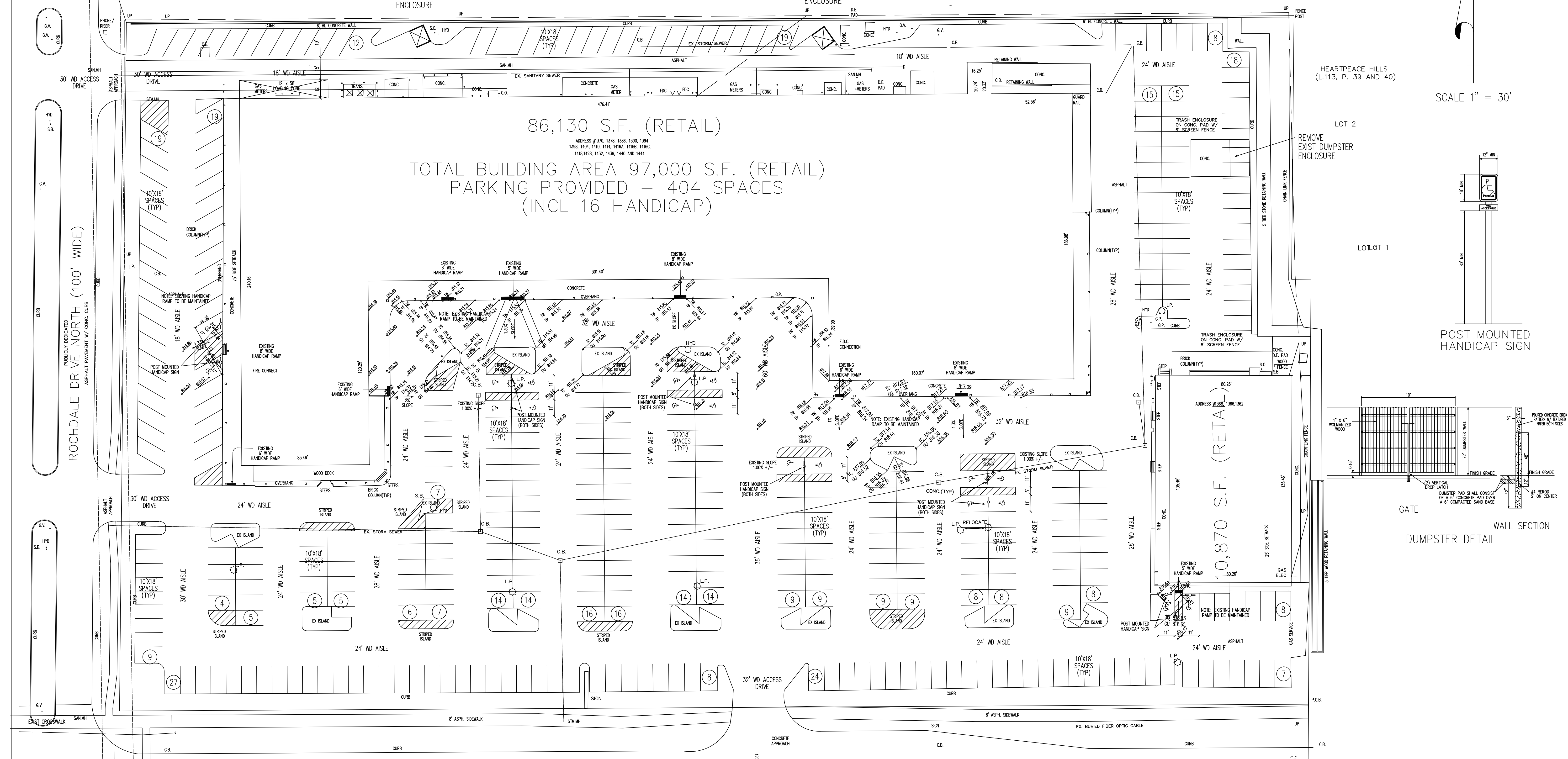
Sheet No. :
TS1.1

DO NOT SCALE DRAWINGS
©2017 Stucky Vitale Architects

DESCRIPTION
 A PART OF THE SOUTHEAST 1/4 OF SECTION 9, T-3-N, R-11-E, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBES AS COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 9, THENCE S 89°40'10" W 671.22 FEET; THENCE N 0°19'55" E 80.00 FEET TO THE POINT OF BEGINNING; THENCE S 89°40'10" W 778.22 FEET; THENCE N 0°34'15" E 450.85 FEET; THENCE N 89°40'10" E 764.22 FEET; THENCE S 0°31'30" W 172.63 FEET; THENCE N 89°27'30" E 12.70 FEET; THENCE S 0°19'55" W 278.26 FEET TO THE POINT OF BEGINNING, CONTAINING 8.00 ACRES.

NOTE:
 DURING CONSTRUCTION OF THE DUMPTER ENCLOSURE THE CONTRACTOR TO VERIFY THE DEPTH OF THE EXISTING STORM SEWER, PROPOSED FOOTINGS FOR THE DUMPSTERS SHALL NOT IMPACT EXISTING STORM LINES

FIRE DEPARTMENT NOTES:
 1) A KNOX KEY SYSTEM SHALL BE INSTALLED IN A LOCATION APPROVED BY THE FIRE OFFICIAL.
 2) FIRE LANES SHALL BE DESIGNATED BY THE FIRE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING STANDING OR PARKING, FIRE LANE" AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 3) CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14.
 4) OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND OR WATER FOR PREPARATION OF MOTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES.



86,130 S.F. (RETAIL)
 TOTAL BUILDING AREA 97,000 S.F. (RETAIL)
 PARKING PROVIDED - 404 SPACES (INCL 16 HANDICAP)

ROCHDALE DRIVE NORTH (100' WIDE)

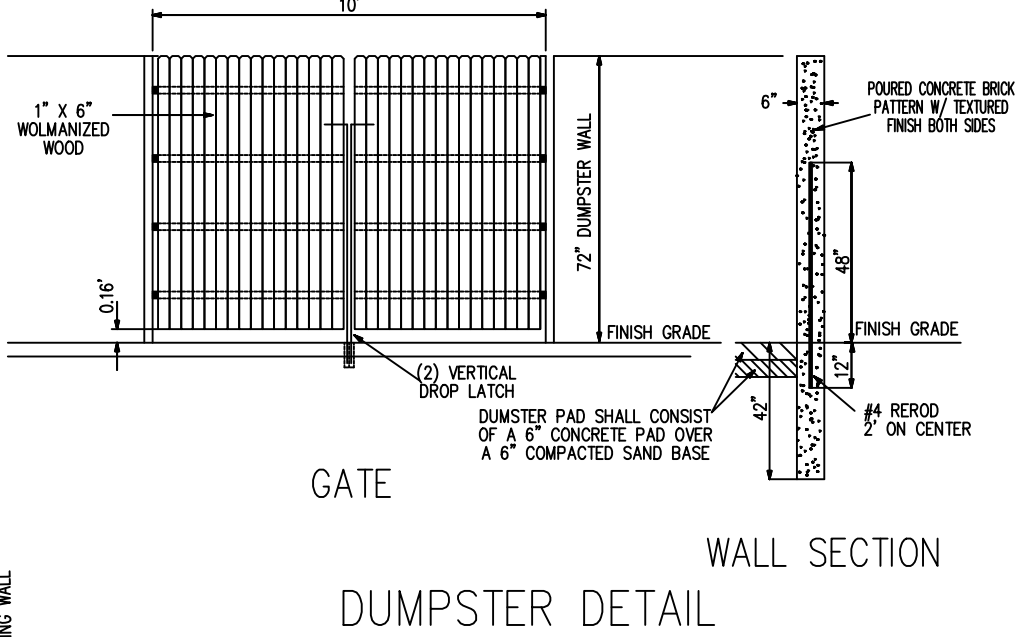
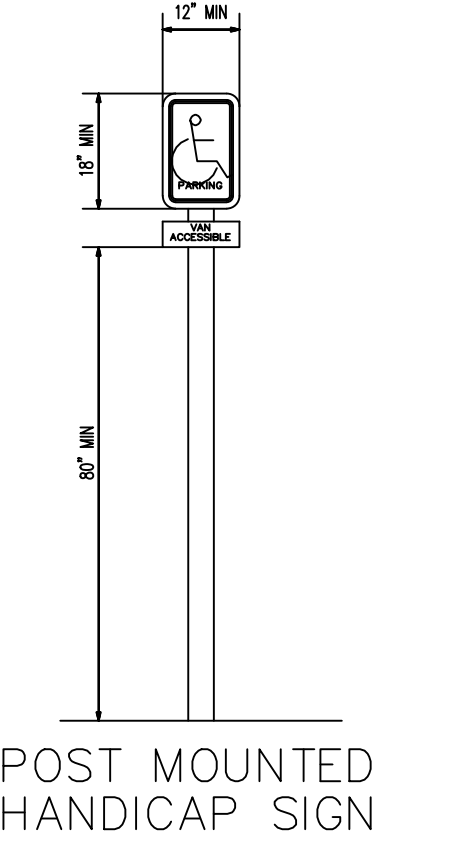
WALTON BLVD. (120' WIDE)

NOTE:
 NOTE: PER THE ROCHESTER HILLS BUILDING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION ALL HANDICAP RAMPS SHALL BE INSPECTED BY THE BUILDING DEPARTMENT. RAMPS THAT HAVE BEEN DETERMINED TO BE REPLACED SHALL MEET THE REQUIREMENTS OF ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES A117.1, CHAPTER 4, SECTION 406.

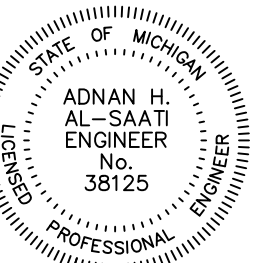
NOTE:
 NOTE: DURING MILLING AND REPAVING OF EXISTING PARKING LOT THE CONTRACTOR SHALL VERIFY THAT THE PAVEMENT GRADES IN THE HANDICAP AREAS OF THE SITE DON NOT EXCEED 1 ON 48 OR 2.08%

HEARTPEACE HILLS (L.113, P. 39 AND 40)

SCALE 1" = 30'

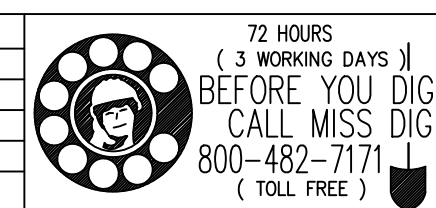


PROJECT MANAGER
 PAUL J. BOOMER
 PH (248) 425-5254



ROCHESTER HILLS FILE NO. 89-121.4

| DATE | REVISION | DATE | REVISION | DATE | REVISION |
|----------|---|------|----------|------|----------|
| 04.17.18 | SITE PLAN REVIEW COMMENTS #3 - NO CHANGES | | | | |

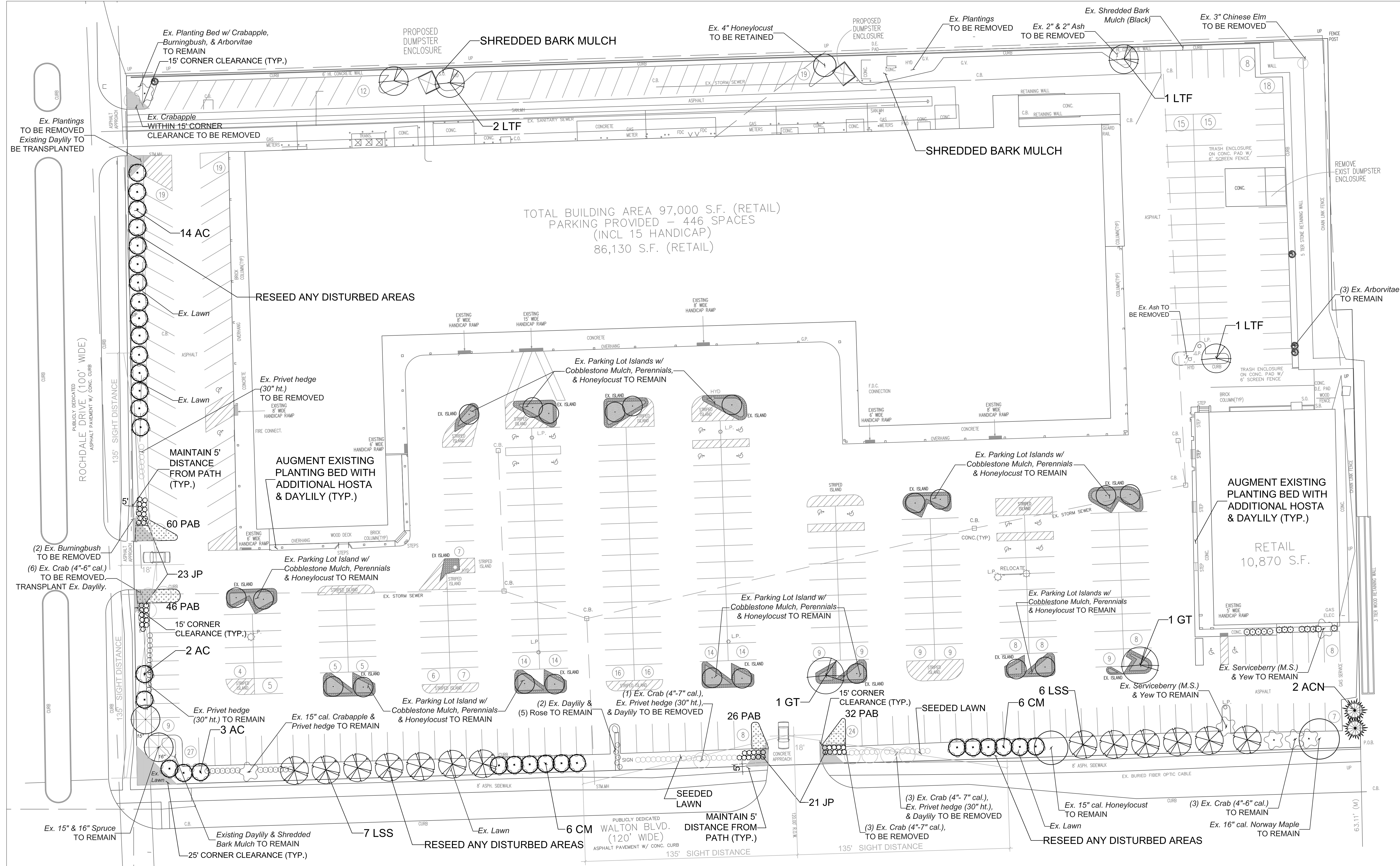


Creative Land Planning & Design
 LAND PLANNING * CONSULTING * PROJECT MANAGEMENT
 31400 NORTHWESTERN HIGHWAY, SUITE H
 FARMINGTON HILLS, MICHIGAN 48334
 PH (248) 932-7500 FAX (248) 932-0128

PROPRIETOR:
 CMP REAL ESTATE GROUP
 6476 ORCHARD LAKE ROAD, SUITE A
 WEST BLOOMFIELD, MICHIGAN 48322
 PH (248) 538-2000 (MR. CHRIS JONNA)

PROPOSED MILLING AND REPAVING PLAN
 1400 WALTON BOULEVARD
 ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

| | |
|--------------|----------------|
| DRAWN PB | DATE JAN 2018 |
| DESIGN PB | SCALE 1" = 30' |
| SECTION 9 | SHEET 1 OF 1 |
| T-3-N-R-11-E | NO. 1524-73 |



TREE PRESERVATION NOTES:

- * Regulated Trees On Site Include the Following:
 - 16" Norway Maple TO REMAIN
 - 15" Honeylocust TO REMAIN
 - 16" Spruce TO REMAIN
 - 15" Spruce TO REMAIN
 - 13 qty. 4" - 7" Crabapples TO BE REMOVED
- * EXISTING CRABAPPLES TO BE REMOVED ARE PROPOSED TO BE REPLACED WITH TWO INCH (2") CAL. Serviceberry & Corneliancherry Dogwood.
- * EXISTING PARKING LOT TREES CONSIST OF THREE INCH (3") CAL. Honeylocusts, THEREFORE, ARE NOT REGULATED.

LANDSCAPE CALCULATIONS:

PARKING LOT LANDSCAPING

- * Existing parking lot area and islands to remain
- RIGHT-OF-WAY LANDSCAPING ALONG WALTON BOULEVARD (778 lineal feet)**
 - * One (1) deciduous shade tree for each thirty-five lineal feet (35 l.f.) = 22.22 trees or 23 trees
 - * One (1) ornamental tree for each sixty lineal feet (60 l.f.) = 12.96 trees or 13 trees
- RIGHT-OF-WAY LANDSCAPING ALONG ROCHDALE DRIVE (450 lineal feet)**
 - * One (1) deciduous shade tree for each thirty-five lineal feet (35 l.f.) = 12.85 trees or 13 trees
 - * One (1) ornamental tree for each sixty lineal feet (60 l.f.) = 7.5 trees or 8 trees

NOTE:

- * See Sheet LP - 2 for landscape planting notes, planting details, and pruning detail for existing trees.

date: June 13, 2017
 revised:
 10-03-2017 Revise acc. to site plan changes & City review ltr. dated September 14, 2017.
 01-09-2018 Revise acc. to site plan changes.
 02-20-2018 Revise acc. to City review ltr. dated February 13, 2018.
 03-20-2018 Indicate relocation of light pole.
 04-05-2018 Provide perimeter planting quantities.

811 Know what's below. Call before you dig.

scale: 1" = 30'

PROJECT LOCATION:
 Retail Redevelopment
 1400 Walton Boulevard
 Rochester Hills, Michigan

LANDSCAPE PLAN FOR:
 Mr. Laith Jonna
 Jonna Properties
 2360 Orchard Lake Road
 Suite 110
 Sylvan Lake, Michigan 48320
 (248) 683-7355

LANDSCAPE PLAN BY:
 Nagy Devlin Land Design
 31736 West Chicago Ave.
 Livonia, Michigan 48150
 (734) 634-9208



J. Brian Devlin
 AUTOCAD SIGNATURE
 ORIGINAL IN BLUE

LP - 1:
LANDSCAPE PLANTING PLAN & TREE PRESERVATION PLAN

* Base data provided by Creative Land, L.L.C.
 City of Rochester Hills
 File No. 89-121-4

PERIMETER PLANTING QUANTITIES:

PROPOSED TREE PLANTINGS ALONG WALTON BOULEVARD (Thirty-six (36) total trees required)

- Two (2) existing trees to be preserved
- Thirteen (13) deciduous trees specified
- Two (2) evergreen trees specified
- Five (5) existing ornamental trees to be preserved
- Sixteen (16) ornamental trees specified

PROPOSED TREE PLANTINGS ALONG ROCHDALE DRIVE (Twenty-one (21) total trees required)

- Two (2) existing evergreen trees to be preserved
- Nineteen (19) ornamental trees specified

NOTES ON PLANT MATERIALS:

- * Existing Plant Material is italicized and described by the common name. An inventory of the existing plant material is indicated on the drawing. Example: Privet.
- * NEW PLANT MATERIAL IS DENOTED WITH A KEY THAT CORRESPONDS TO THE LIST FOR NEW PLANT MATERIAL ON THE DRAWING. EXAMPLE: 2 AC.

COST ESTIMATE

TOTAL MATERIALS SPECIFIED:

| | | | |
|------------------------------|-------------|--------|--------------------|
| * Deciduous Trees | 19 | \$350 | \$6,650.00 |
| * Evergreen Trees | 2 | \$250 | \$500.00 |
| * Ornamental Trees | 31 | \$200 | \$6,200.00 |
| * Evergreen Shrubs | 53 | \$50 | \$2,650.00 |
| * Perennials | 188 | \$7 | \$1,316.00 |
| * Seeded Lawn (square yards) | 500 | \$1.50 | \$750.00 |
| * Planting Soil Mix | 24 cu. yds. | \$40 | \$960.00 |
| * Shredded Hardwood Bark | 38 cu. yds. | \$30 | \$1,140.00 |
| * Underground Irrigation | | | \$5,000.00 |
| TOTAL | | | \$25,046.00 |

NOTE: Maintain the following distances from the proposed plant to the existing sidewalk and pathway:

- * Serviceberry (Single stem) - Seven feet (7')
- * Slender Silhouette Sweetgum - Five feet (5')
- * Corneliancherry Dogwood - Nine feet (9')
- * Procumbens Juniper - Five feet (5')

LANDSCAPE PLANTING NOTES:

PLANTING

- Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by the City of Rochester Hills, Michigan.
- The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
- The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
- Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
- Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
- The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
- When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
- Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Perennial beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Only natural color, finely shredded hardwood bark mulch will be accepted.
- Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems. All tree wrap, stakes, and guys are to be removed after one (1) winter season.
- All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
- Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
- All lawn areas shall be seeded with the Grade A Kentucky Blue Grass blend as specified over the topsoil.
- All plantings shall be completed no later than November 30 in the fall season. The date of intended installation for landscape plant materials is approximately Spring, 2017. Plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
- Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.

MATERIAL

- Required landscape material shall satisfy the criteria of the *American Association of Nurserymen Standards for Nursery Stock* and be:
 - Northern nursery grown;
 - State Department of Agriculture inspected;
 - No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted);
 - Staked, wrapped, watered, and mulched according to the details provided; and
 - Guaranteed for one (1) year.
- Topsoil shall be friable, fertile soil of clay loam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.

- The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Sheri/Adelphi" @ sixty percent (60%), Chewing Fescue @ twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Perennial Rye Grass @ five percent (5%). Weed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
- Sod shall be two (2) year old "Baron/Sheri/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
- Proposed perennials shall be full, well-rooted plants.

GENERAL

- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
- The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
- The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
- All landscape areas shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
- All written dimensions override scale dimensions on the plans.
- All substitutions or deviations from the landscape plan must be approved by the City of Rochester Hills prior to installation.
- All bidders must inspect the site and report any discrepancies to the Owner's representative.
- All specifications are subject to change due to existing conditions.
- The Owner's representative reserves the right to approve all plant material.

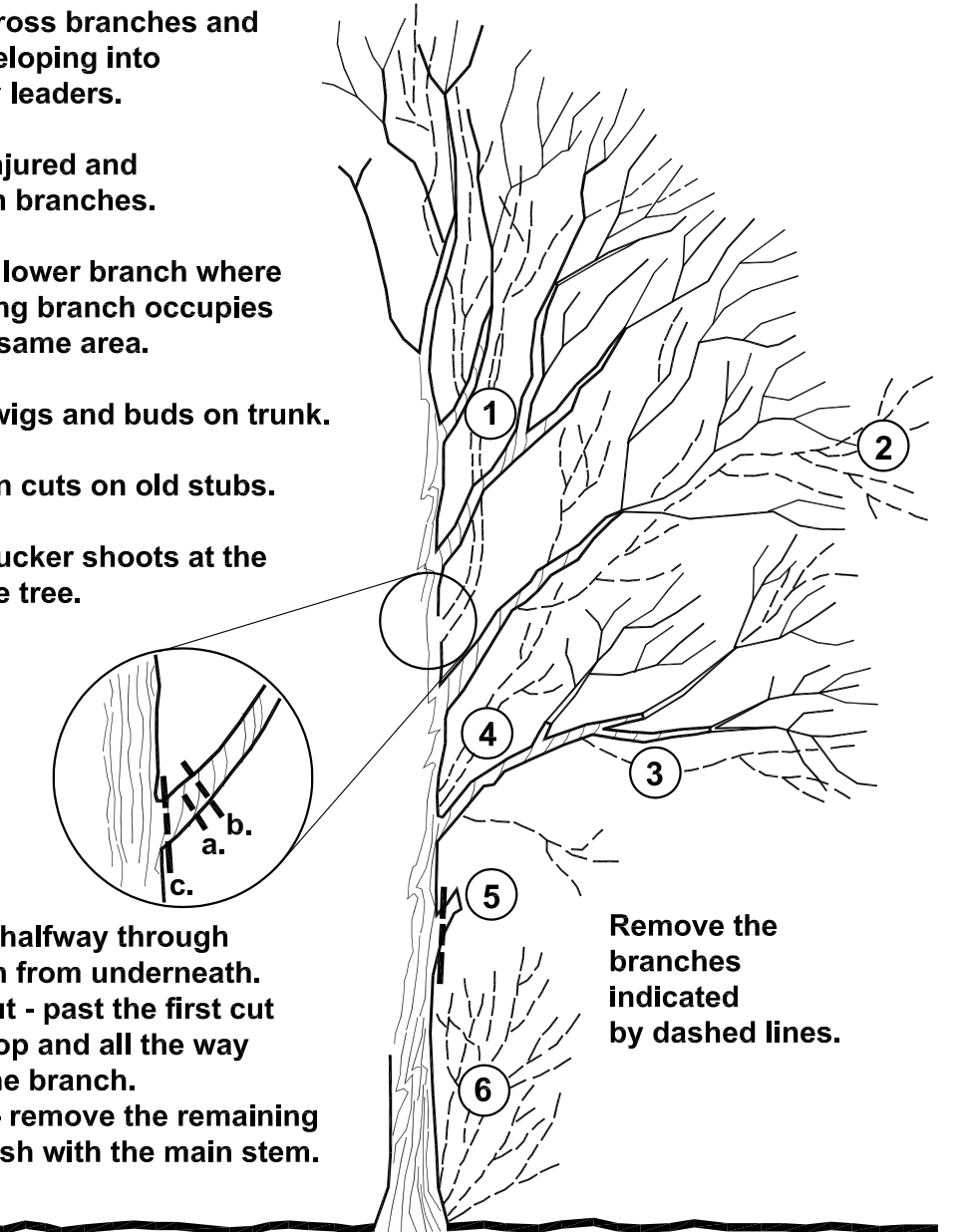
MAINTENANCE

- The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
- All unhealthy, damaged, diseased, and/or dead material shall be removed immediately and replaced within six (6) months after it dies or in the next growing season. The planting season for deciduous plants shall be between March 1 and June 1 and from October 1 until the prepared soil becomes frozen. The planting season for evergreen plants shall be between March 1 and June 1. Plant material installed to replace dead or diseased material shall be as close as practical to the size of the material it is intended to replace. The City may notify property owners of the need to replace dead, damaged, or diseased material.
- The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), watering, and snow removal during winter. Pruning shall be minimal at the time of installation, only to remove dead or diseased branches. Subsequent pruning will assure proper maturation of plants to achieve their approved purpose.
- The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
- Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
- All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
- The approved landscape plan will be considered a permanent record and integral part of the Site Plan Approval. Unless otherwise approved in accordance with the aforementioned procedures, any revisions to or removal of plant materials, or non-compliance with the maintenance requirements in Section 138-12.109 of the City Ordinance will place the parcel in non-conformity with the approved landscape plan and be a violation of the ordinance.

CITY OF ROCHESTER HILLS NOTES:

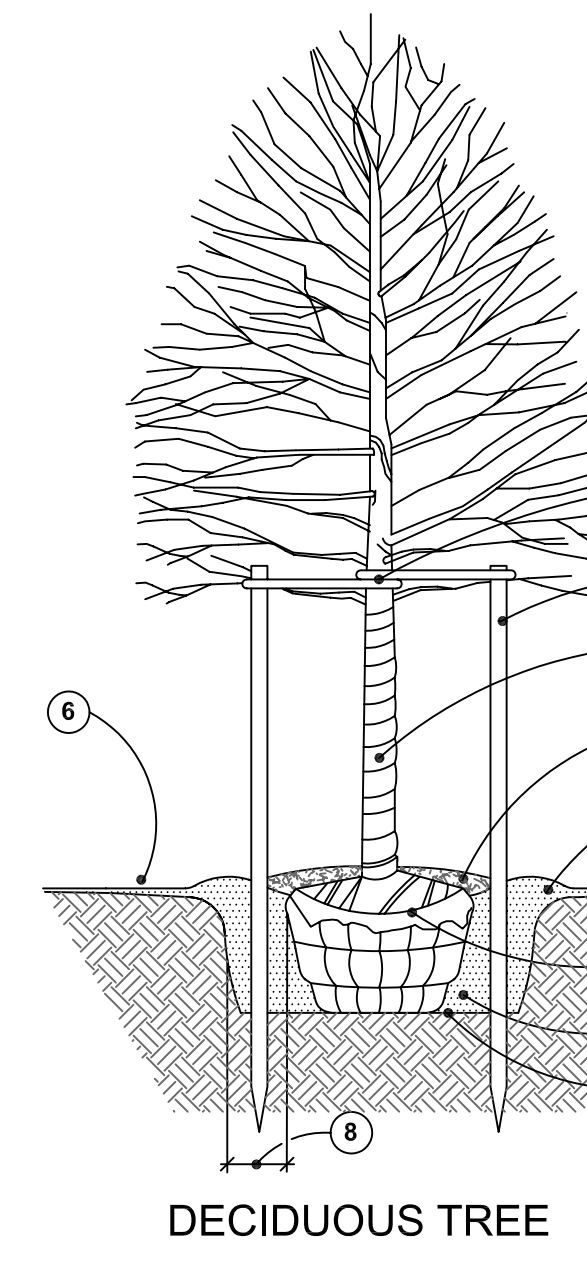
- All landscape areas must be irrigated. An irrigation plan must be submitted prior to Staff approval of the final site plan. Watering will occur only between the hours of 12 a.m. and 5 a.m.
- Prior to the release of the performance bond, the City of Rochester Hills must inspect all landscape plantings.
- Prior approval is required to plant any tree or shrub on the public right-of-way. All trees and shrubs must be planted at least 10' from the edge of the public road. (Trees must be planted at least 15' away from curb or road edge where the speed limit is more than 35mph). Shade trees and shrubs must be planted at least 5' from the edge of the public walkway. Evergreen and ornamental trees must be planted at least 10' from the edge of the public walkway. No tree or shrubs may be planted with the triangular area formed at the intersection of any street right-of-way lines at a distance along each line of 25' from their point of intersection. No trees or shrubs may be planted in the triangular area formed at the intersection of any driveway with a public walkway at a distance along each line of 15' from their midpoint of intersection. All trees and shrubs must be planted at least 10' from any fire hydrant. Shade and evergreen trees must be at least 15' away from the nearest overhead wire. Trees must be planted a minimum of 5' from an underground utility, unless the city's Landscape Architect requires a greater distance.
- Prior to the release of the performance bond, the City of Rochester Hills Forestry Division needs to inspect all trees, existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developer to remove, and possibly replace, any such trees.
- These requirements are incorporated into this plan.

- Remove cross branches and those developing into secondary leaders.
- Remove injured and misshapen branches.
- Remove a lower branch where an overlying branch occupies about the same area.
- Remove twigs and buds on trunk.
- Make clean cuts on old stubs.
- Remove sucker shoots at the base of the tree.



- First cut - halfway through the branch from underneath.
- Second cut - past the first cut from the top and all the way through the branch.
- Third cut - remove the remaining branch flush with the main stem.

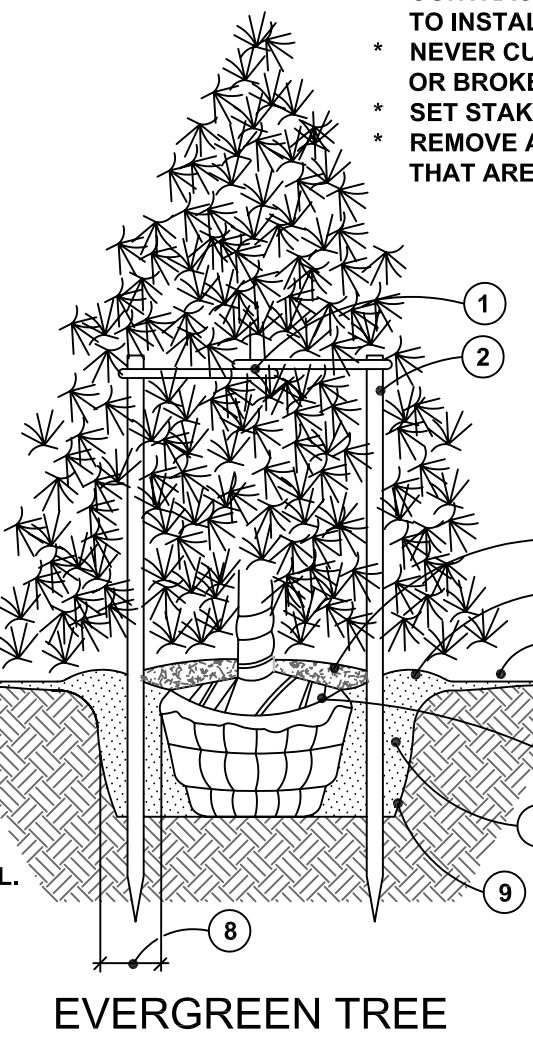
TREE PRUNING DETAIL not to scale



NOTES:

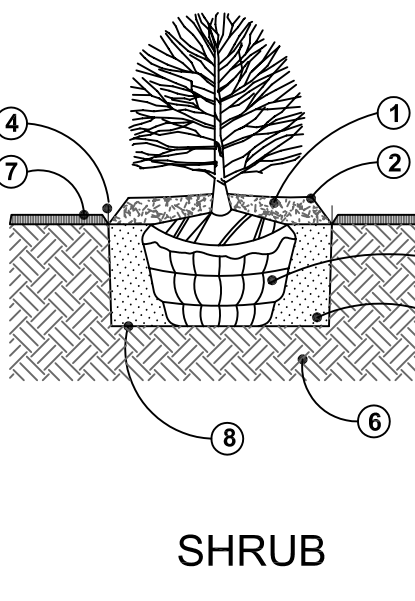
- STAKE TREES UNDER FOUR INCH (4") CALIPER.
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- SET TOP OF BALL THREE INCHES (3") ABOVE FINISH GRADE.
- SET STAKES VERTICAL & EVENLY SPACED.
- STAKES OR GUYS TO BE SECURED ABOVE THE FIRST BRANCH.
- DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
- REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE DAMAGE.

- STAKE TREE JUST ABOVE THE FIRST BRANCH USING TWO INCH TO THREE INCH (2"-3") WIDE BELT-LIKE MATERIAL OF FABRIC. (NO WIRE OR HOSE TO BE USED TO GUY TREES.) THREE (3) GUYS EVENLY SPACED PER TREE. REMOVE AFTER ONE (1) WINTER SEASON.
- 2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL.
- APPLY TREE WRAP AND SECURE WITH A BIODEGRADABLE MATERIAL AT TOP AND BOTTOM. REMOVE AFTER ONE (1) WINTER.
- SHREDDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE INCH (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE.
- MOUND TO FORM TREE SAUCER.
- FINISH GRADE SLOPED AWAY FROM TREE.
- CUT AND REMOVE WIRE, BURLAP, AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- WIDTH OF ROOTBALL ON EACH SIDE.
- PLANTING MIXTURE SHALL CONSIST OF 50% TOPSOIL AND 50% SAND.
- SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO FOUR INCH (4") DEPTH.



- STAKE ALL EVERGREEN TREES UNDER TWELVE FEET (12) HIGH. GUY ALL EVERGREEN TREES TWELVE FEET (12) HIGH AND OVER.
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- NEVER CUT CENTRAL LEADER. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES.
- SET STAKES VERTICAL AND EVENLY SPACED.
- REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

- STAKE TREE AS INDICATED USING TWO INCH TO THREE INCH (2"-3") WIDE BELT-LIKE MATERIAL OF FABRIC. (NO WIRE OR HOSE TO BE USED TO GUY TREES.) THREE (3) GUYS EVENLY SPACED PER TREE. REMOVE AFTER ONE (1) WINTER SEASON.
- 2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL.
- SHREDDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE INCH (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE.
- MOUND TO FORM TREE SAUCER.
- FINISH GRADE SLOPED AWAY FROM TREE.
- CUT AND REMOVE WIRE, BURLAP, AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- PLANTING MIXTURE SHALL CONSIST OF 50% TOPSOIL AND 50% SAND.
- WIDTH OF ROOTBALL ON EACH SIDE.
- SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO FOUR INCH (4") DEPTH.



NOTE:

- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- THE PLANTING MIXTURE SHALL CONSIST OF 20% TOPSOIL, 60% SAND, AND 20% COMPOST.

- GENERAL NOTES FOR ALL PLANTINGS:**
- DO NOT CUT CENTRAL LEADER. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES.
 - REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
 - PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS.
 - CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB. GENTLY TAMP IF NEEDED.

NOTE:

- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- PERENNIALS TO BE PLANTED UP TO THE EDGE OF THE SAUCER AROUND A TREE OR SHRUB BED.
- THE PLANTING MIXTURE SHALL CONSIST OF 20% TOPSOIL, 60% SAND, AND 20% COMPOST.

- SEE PLANT LIST FOR SPACING DISTANCE.
- SHREDDED HARDWOOD BARK OF A NATURAL COLOR MULCH AT TWO INCH (2") MINIMUM DEPTH.
- 3/16" x 4" ALUMINUM EDGING (OR APPROVED EQUIVALENT) OR SPADED EDGE.
- EXCAVATE PLANTING BED AND BACKFILL WITH PREPARED PLANTING MIX AT A TEN INCH (10") DEPTH.
- UNDISTURBED SUBGRADE.
- PLANTING MIX TO CONSIST OF EQUAL PARTS OF SAND, LEAF COMPOST, AND NATIVE SOIL.
- LAWN.

PLANTING DETAILS

not to scale

NOTE:

- See Sheet LP - 1 for overall landscape planting plan, plant list, legend for plant symbols, and tree preservation notes.

date: June 13, 2017

revised:

- 10-03-2017 Revise acc. to site plan changes & City review ltr. dated September 14, 2017.
- 01-09-2018 Revise acc. to site plan changes.
- 02-20-2018 Revise acc. to City review ltr. dated February 13, 2018.
- 03-20-2018 Indicate relocation of light pole.
- 04-05-2018 Provide perimeter planting quantities.

scale: as indicated



LANDSCAPE PLAN FOR:
Mr. Laith Jonna
Jonna Properties
2360 Orchard Lake Road
Suite 110
Sylvan Lake, Michigan 48320
(248) 683-7355

PROJECT LOCATION:
Retail Redevelopment
1400 Walton Boulevard
Rochester Hills, Michigan

LANDSCAPE PLAN BY:
Nagy Devlin Land Design
31736 West Chicago Ave.
Livonia, Michigan 48150
(734) 634-9208

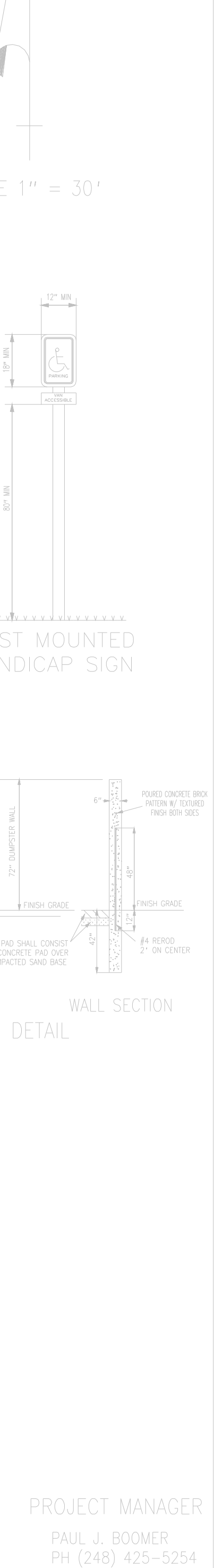
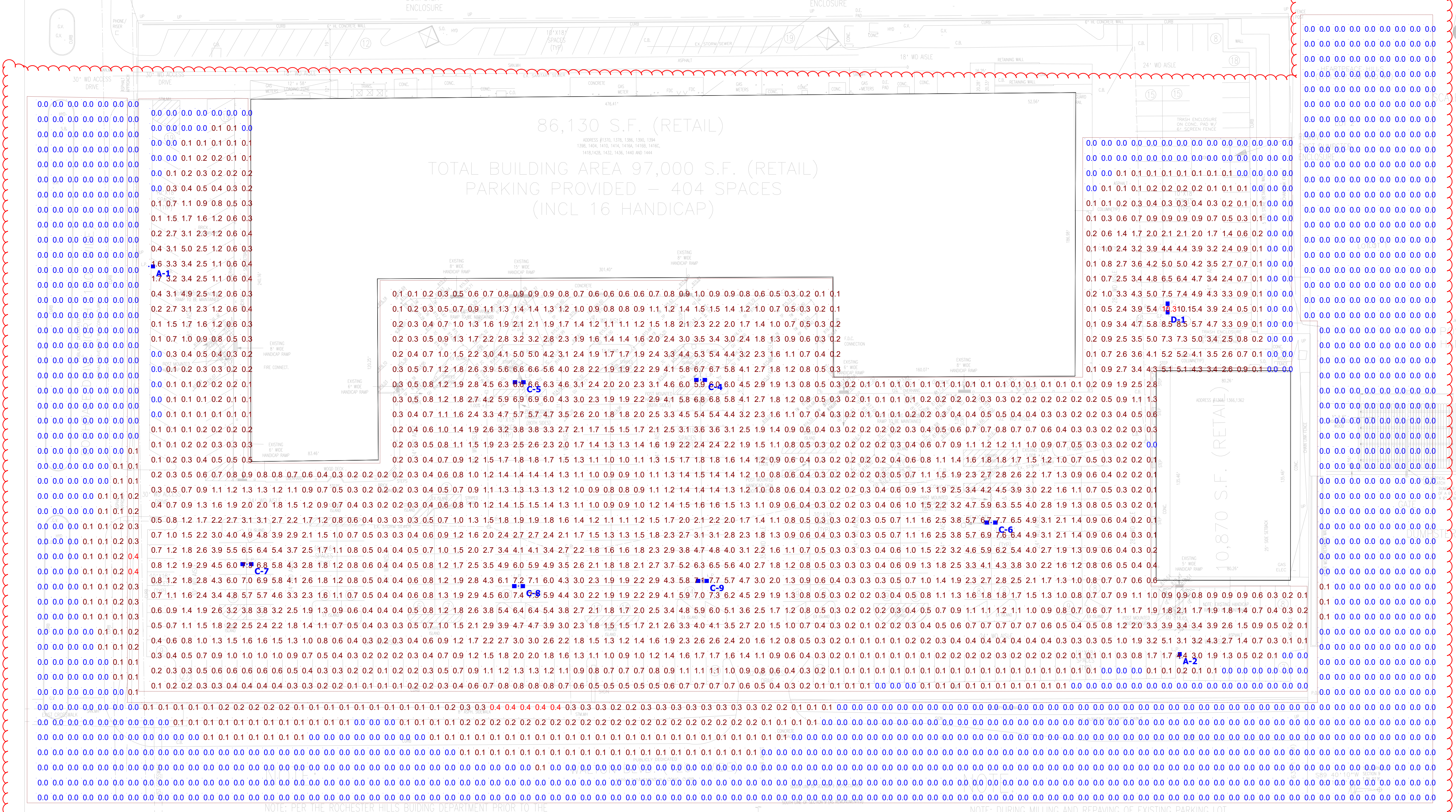


J. Brian Devlin
AUTOCAD SIGNATURE
ORIGINAL IN BLUE

DESCRIPTION
 A PART OF THE SOUTHEAST 1/4 OF SECTION 9, T-3-N, R-11-E, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 9, THENCE S 89°40'10" W 621.22 FEET; THENCE N 00°19'55" E 400.00 FEET TO THE POINT OF BEGINNING; THENCE S 89°40'10" W 778.22 FEET; THENCE N 00°34'15" E 450.85 FEET; THENCE S 89°40'10" W 764.22 FEET; THENCE S 00°31'30" W 172.63 FEET; THENCE N 89°27'30" E 12.70 FEET; THENCE S 00°19'55" W 276.26 FEET TO THE POINT OF BEGINNING, CONTAINING 8.00 ACRES.

NOTE:
 DURING CONSTRUCTION OF THE DUMPTER ENCLOSURE THE CONTRACTOR TO VERIFY THE DEPTH OF THE EXISTING STORM SEWER. PROPOSED FOOTINGS FOR THE DUMPTERS SHALL NOT IMPACT EXISTING STORM LINES

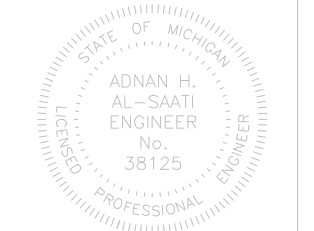
FIRE DEPARTMENT NOTES:
 1) A KNOX KEY SYSTEM SHALL BE INSTALLED IN A LOCATION APPROVED BY THE FIRE OFFICIAL.
 2) FIRE LANES SHALL BE DESIGNATED BY THE FIRE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING/STANDING OR PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 3) CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14.
 4) OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND OR WATER FOR PREPARATION OF MOTOR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES.



NOTE: PER THE ROCHESTER HILLS BUILDING DEPARTMENT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, RAMP THAT HAVE BEEN DETERMINED TO BE REPLACED SHALL MEET THE REQUIREMENTS OF ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES A117.1, CHAPTER 4, SECTION 406.

NOTE: DURING MILLING AND REPAVING OF EXISTING PARKING LOT HANDICAP AREAS OF THE SITE DON NOT EXCEED 1 ON 48 OR 2.08%

PROJECT MANAGER
 PAUL J. BOOMER
 PH (248) 425-5254



ROCHESTER HILLS FILE NO. 89-121.4

| DATE | REVISION | DATE | REVISION | DATE | REVISION |
|------|----------|------|----------|------|----------|
| | | | | | |

Creative Land Planning & Design
 LAND PLANNING • CONSULTING • PROJECT MANAGEMENT
 31400 NORTHWESTERN HIGHWAY, SUITE H
 FARMINGTON HILLS, MICHIGAN 48334
 PH (248) 932-7500 FAX (248) 932-0128

PROPRIETOR:
 CMP REAL ESTATE GROUP
 6476 ORCHARD LAKE ROAD, SUITE A
 WEST BLOOMFIELD, MICHIGAN 48322
 PH (248) 538-2000 (MR. CHRIS JONNA)

PROPOSED MILLING AND REPAVING PLAN
 1400 WALTON BOULEVARD
 ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

| | | |
|---------------|-------|----------|
| DRAWN BY | DATE | JAN 2018 |
| DESIGN BY | SCALE | 1" = 30' |
| SECTION | SHEET | 1 OF 1 |
| T-3-N, R-11-E | NO. | 1524-73 |

| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Lamp | Number Lamps | Filename | Lumens Per Lamp | Light Loss Factor | Wattage |
|----------|-------|----------|-----------------|-----------------------|-------------|---------------------------------|--------------|---------------------------|-----------------|-------------------|---------|
| [Symbol] | A | 2 | Beacon Products | VPL-80L-180-5K7-4W-BC | LARGE VIPER | X-70-CRI | 1 | VPL-80L-180-5K7-4W-BC.ies | 12176 | 0.95 | 137.6 |
| [Symbol] | B | 0 | Beacon Products | [...] | [...] | [...] | 1 | [...] | [...] | 0.95 | 362.6 |
| [Symbol] | C | 6 | Beacon Products | VPL-80L-180-5K7-5W | LARGE VIPER | X-70-CRI DATA SHOWN IS ABSOLUTE | 1 | VPL-80L-180-5K7-5W.ies | 21037 | 0.95 | 362.6 |
| [Symbol] | D | 1 | Beacon Products | VPL-80L-180-5K7-4 | LARGE VIPER | X-70-CRI DATA SHOWN IS ABSOLUTE | 1 | VPL-80L-180-5K7-4.ies | 21503 | 0.95 | 362.6 |

| Description | Symbol | Avg | Max | Min | Max/Min Avg/Min |
|-------------|--------|--------|---------|--------|-----------------|
| Cat Zone #1 | + | 1.5 fc | 10.3 fc | 0.0 fc | N/A |
| Cat Zone #2 | + | 0.0 fc | 0.4 fc | 0.0 fc | N/A |

| Luminaire Locations | | Location | | | Aim | | | | | |
|---------------------|-------|----------|---------|-------|-------|-------------|------|---------|---------|------|
| No. | Label | X | Y | Z | MH | Orientation | Tilt | X | Y | Z |
| 1 | A | -340.83 | -58.86 | 20.00 | 20.00 | 90.20 | 0.00 | -339.46 | -58.87 | 0.00 |
| 2 | A | 342.79 | -318.85 | 20.00 | 20.00 | 0.00 | 0.00 | 342.79 | -317.48 | 0.00 |
| 4 | C | 25.04 | -134.18 | 20.00 | 20.00 | 90.00 | 0.00 | | | |
| 5 | C | -95.27 | -135.71 | 20.00 | 20.00 | 90.00 | 0.00 | | | |
| 6 | C | 217.67 | -228.83 | 20.00 | 20.00 | 90.00 | 0.00 | | | |
| 7 | C | -275.73 | -255.40 | 20.00 | 20.00 | 270.00 | 0.00 | | | |
| 8 | C | -95.65 | -270.96 | 20.00 | 20.00 | 90.00 | 0.00 | | | |
| 9 | C | 26.19 | -267.51 | 20.00 | 20.00 | 90.00 | 0.00 | | | |
| 1 | D | 334.72 | -86.47 | 20.00 | 20.00 | 0.00 | 0.00 | | | |

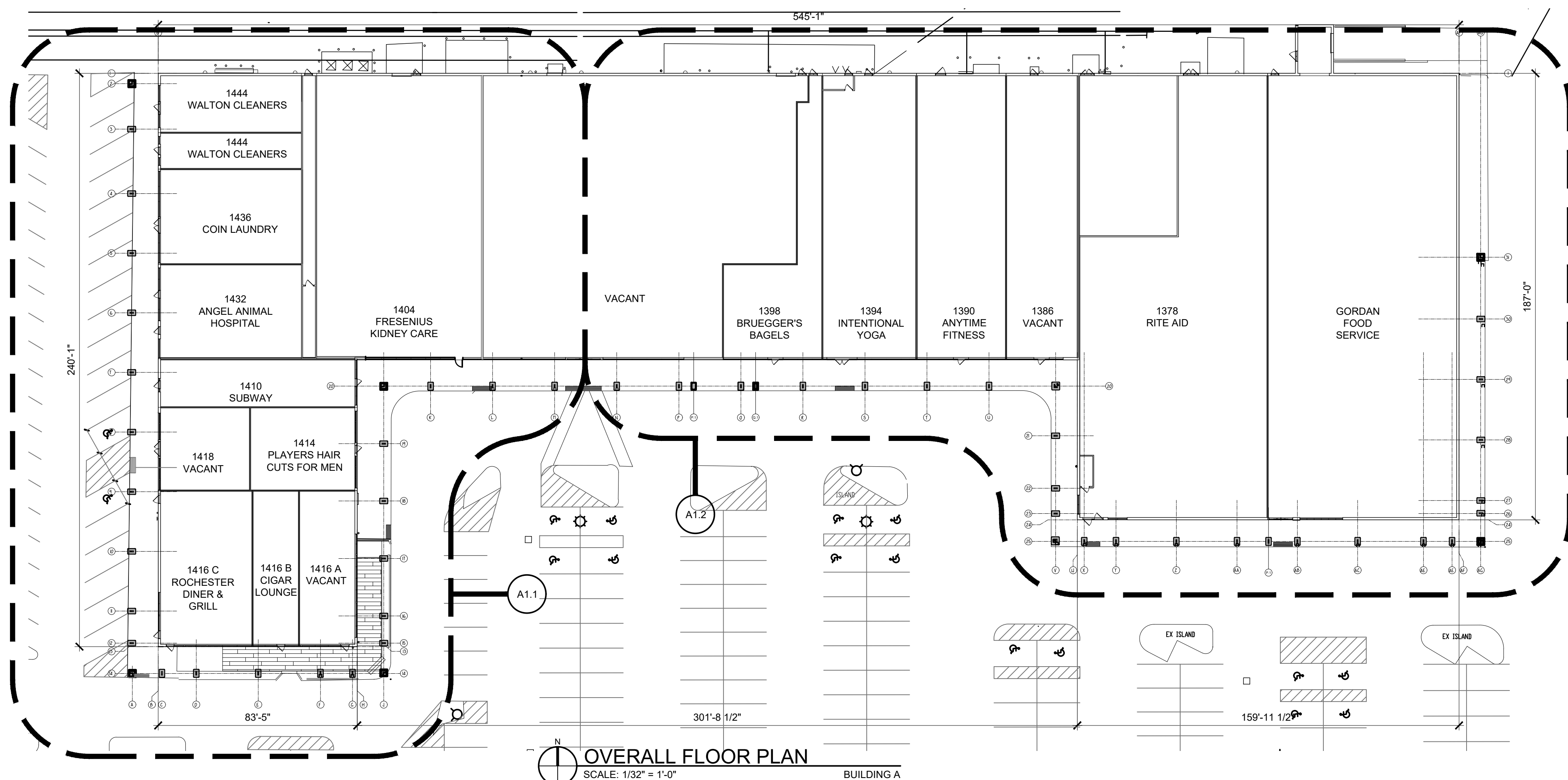
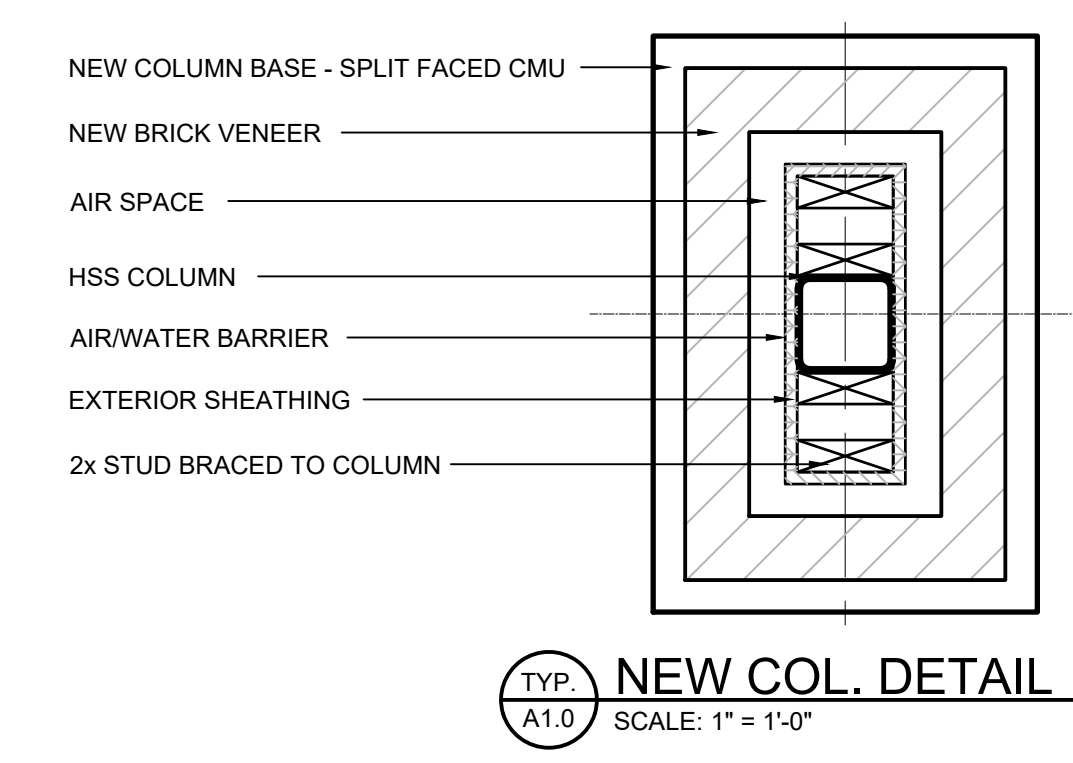
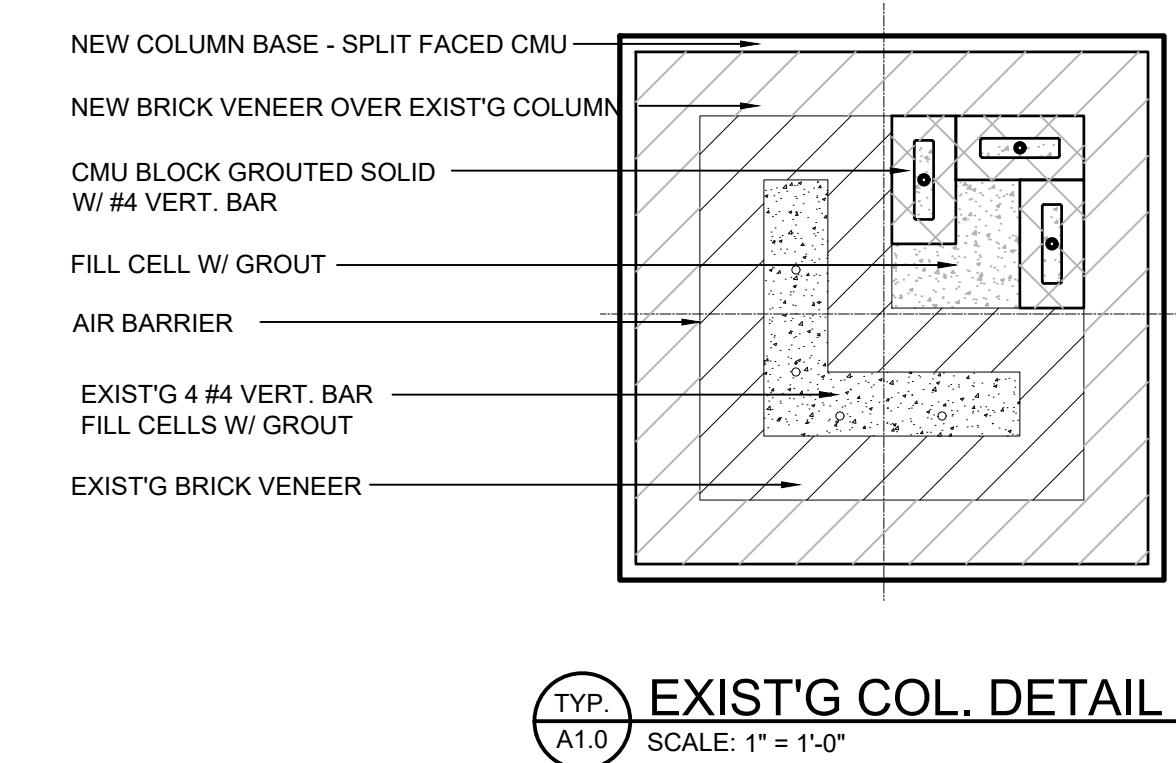
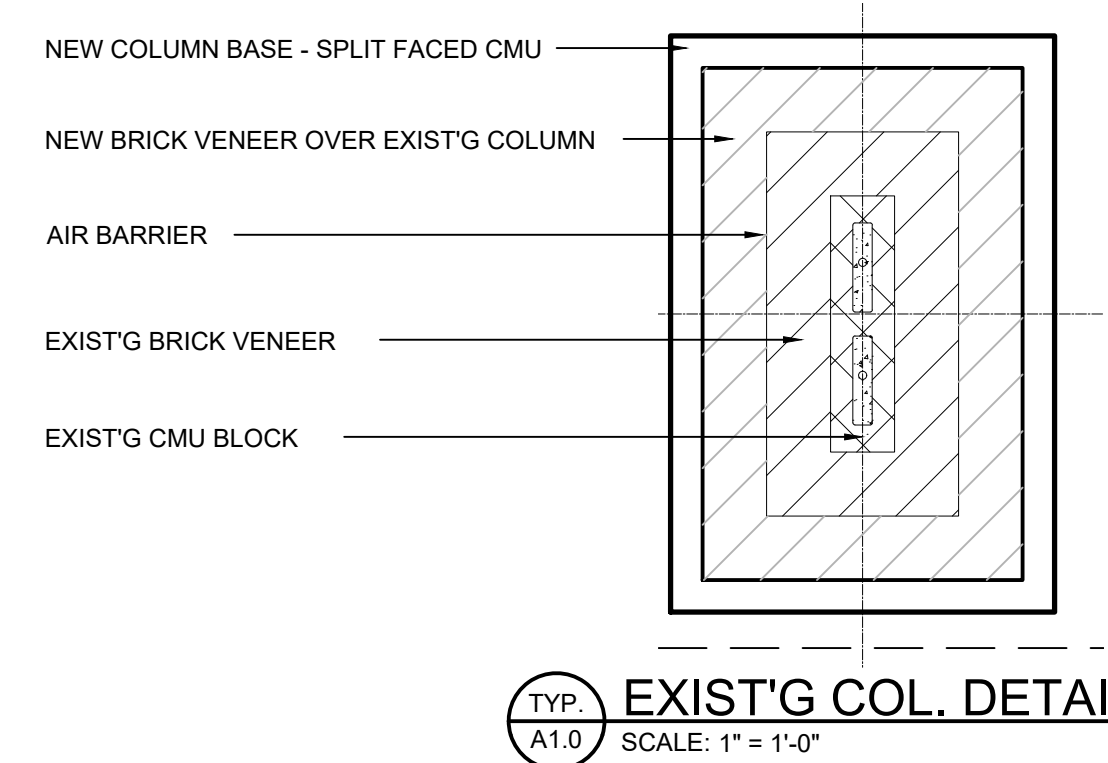
Designer
 Brian Mendez
 Date
 4/12/2018
 Scale
 Not to Scale
 Drawing No.
 Summary

GENERAL FLOOR PLAN NOTES:

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- IF ANY QUESTIONS ARISE AS TO THE ARCHITECTURAL INTENT OF THESE DOCUMENTS, IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO ASK SUCH QUESTIONS OF THE ARCHITECT, AS THE ARCHITECT IS THE SOLE INTERPRETER OF THESE DOCUMENTS. IF NO SUCH QUESTIONS ARE ASKED, IT IS ASSUMED THAT THE ARCHITECTURAL INTENT OF THE DOCUMENTS IS UNDERSTOOD.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL APPLICABLE TRADES TO ENSURE PROPER ROUTING, DROPS, ETC. FOR THE H.V.A.C., ELECTRICAL, PLUMBING, ETC. DURING THE ROUGH FRAMING.

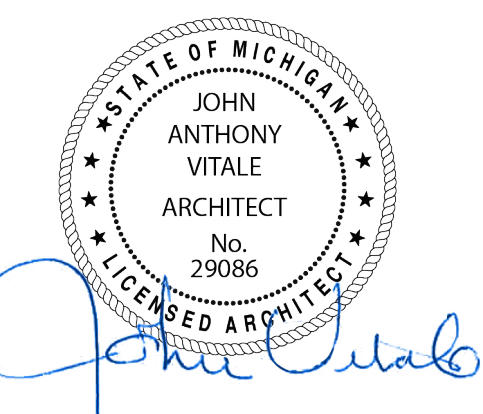
GENERAL DEMOLITION PLAN NOTES:

- ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DEMOLITION PLANS. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
 - COORDINATE SCOPE AND EXTENT OF DEMOLITION WORK WITH NEW WORK PLANS AND DETAILS.
 - IN OCCUPIED BUILDINGS, ANY CONSTRUCTION BEYOND 48 HOURS MUST BE ISOLATED WITH HARD BARRIER WALL (1 HR. RATED), PER BUILDING CODE. 1 HOUR FIRE RATED PLASTIC BARRIER MAY BE USED, VERIFY WITH LOCAL AHJ. PROVIDE ANY/ALL DUST CONTROL AND INFECTION CONTROL MEASURES TO ISOLATE ALL WORK TO PROJECT AREA.
 - PHASED CONSTRUCTION MAY BE REQUIRED, FINAL NUMBER OF PHASES TBD BY OWNER/ ARCHITECT/ GC PRIOR TO CONSTRUCTION. CONTRACTOR PROVIDE ANY/ALL TEMP. CONSTRUCTION MEASURES AS REQUIRED BY LOCAL AHJ (EXIT SIGNS, EMERGENCY LIGHTING, CONSTRUCTION LIGHTING, EGRESS SIGNAGE, ETC.)
 - ALL DEMOLITION WORK SHALL BE PERFORMED IN A NEAT AND WORKMANSHIP MANNER. ALL SURFACES ADJACENT TO AND ABUTTING TO THOSE DESIGNATED "TO BE REMOVED" SHALL BE LEFT WITH A SMOOTH AND FLUSH APPEARANCE.
 - THE CONTRACTOR SHALL EXERCISE ALL REQUISITE CARE NECESSARY TO ENSURE THAT ALL EQUIPMENT, MATERIALS, FINISHES AND ASSEMBLIES WHICH ARE NOT BEING REMOVED ARE PROTECTED FROM DAMAGE DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION OPERATIONS.
 - GENERAL PRECAUTIONS SHALL BE TAKEN AS NECESSARY TO HOLD ALL DISRUPTION, DUST, DIRT, NOISE, AND DEBRIS TO A MINIMUM.
 - THE CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH OWNER TO ENSURE THAT IMPACTS ON THE BALANCE OF THE BUILDING ARE HELD TO A MINIMUM.
 - PREPARE ALL SURFACES TO RECEIVE THE NEW WORK AND FINISHES OF THE CONTRACT.
 - THE CONTRACTOR SHALL DESIGN, PROVIDE, INSTALL AND MAINTAIN ANY AND ALL TEMPORARY BRACING AS REQUIRED TO ENSURE THE STABILITY OF THE BUILDING ASSEMBLY AND/OR ANY SYSTEMS AND/OR SUB-ASSEMBLIES AND/OR SYSTEMS APPURTENANT THERETO UNTIL SAID ASSEMBLY AND/OR SUB-ASSEMBLIES ARE COMPLETE, SELF-SUPPORTING AND/OR STABLE. THE DEMOLITION PLANS GENERALLY INDICATE AREAS OF EXTENSIVE REMOVAL AND MAY INDICATE ALL OF THE WORK. CONTRACTOR SHALL PERFORM ALL OF THE DEMOLITION THAT IS NECESSARY FOR THE PROPER EXECUTION OF THE PROJECT, WHETHER OR NOT THAT DEMOLITION IS SPECIFICALLY INDICATED WITHIN THESE DOCUMENTS. PHASING OF DEMO WORK MAY BE REQUIRED.
 - PRIOR TO DEMOLITION, CONTRACTOR IS TO PROVIDE TEMPORARY SHORING, BRACING AND/OR SUPPORTS AS NEEDED FOR ALL WALLS, ROOF, AND STRUCTURAL ELEMENTS TO REMAIN AT AREAS OF REMOVAL OR ALTERATION THAT MAY BE AFFECTED BY DEMOLITION.
 - DEMOLITION CONTRACTOR TO COORDINATE WITH OTHER TRADES AND MECHANICAL ELECTRICAL PLUMBING DRAWINGS FOR AREAS OF ADDITIONAL DEMOLITION AND EXTENT OF RESPONSIBILITY. CONTRACTOR TO COORDINATE ALL UTILITY SHUTOFFS NEEDED TO MAINTAIN SAFETY AND BUILDING USE AND CONTINUITY.
 - DEMOLITION CONTRACTOR IS TO TAKE PRECAUTIONS TO ENSURE COLLAPSE OF STRUCTURE AND PLACEMENT OF DEBRIS IS CONTROLLED, SO AS TO MINIMIZE CONTAMINATION OF THE SITE AND SURROUNDING PROPERTIES.
 - ALL DEMOLITION IS TO BE COMPLETED WITH THE UTMOST CARE SO AS TO NOT DAMAGE ADJACENT SURFACES TO REMAIN
 - CONTRACTOR IS RESPONSIBLE TO PROPERLY DISPOSE OF ALL DEMOLISHED ITEMS NOT INDICATED TO BE RESERVED, RELOCATED, OR TURNED OVER TO THE OWNER. VERIFY ALL ITEMS WITH OWNER.
 - PATCH AND REPAIR ADJACENT SURFACES AT AREAS OF REMOVAL AND/OR ALTERATION TO MATCH EXISTING. PROVIDE SOUND AND PROPER SUBSTRATE FOR NEW FINISH. COORDINATE W/ COLOR OR FINISH PLANS. WHERE A NEW FINISH IS NOT INDICATED, MATCH ADJACENT SURFACES.
 - CLEAN AND PREPARE ALL EXISTING AND NEW SURFACES WHICH ARE TO BE PAINTED/ PATCHED. PREPARATION IS TO INCLUDE SCRAPING TO LEVEL SUBSTRATE AND MINOR PATCHING.
 - MULTIPLE MOBILIZATIONS MAY BE NECESSARY TO COMPLETE DEMOLITION. SHOULD UNEXPECTED STRUCTURAL CONDITIONS BE DISCOVERED RESULTING IN DISCREPANCIES WITH THE DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY
 - SURVEY EXISTING CONDITIONS AND CORRELATE WITH DRAWINGS TO VERIFY EXTENT OF DEMOLITION REQUIRED.
 - VERIFY CONDITIONS AT SITE TO DETERMINE WHETHER DEMOLITION METHODS PROPOSED FOR USE WILL NOT ENDANGER EXISTING STRUCTURES BY OVERLOADING, FAILURE, OR UNPLANNED COLLAPSE.
 - PROVIDE SELECTIVE DEMOLITION OF EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED ON THE PLANS.
 - PROTECT PORTIONS OF BUILDING AFFECTED BY DEMOLITION OPERATIONS.
 - REMOVE ABANDONED UTILITIES AND WIRING SYSTEMS.
 - PROTECT EXISTING UTILITIES AND SERVICES TO REMAIN AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
 - NOTIFY OWNER OF SCHEDULE OF SHUT OFF OF UTILITIES WHICH SERVE OCCUPIED SPACES.
- ELECTRICAL:**
- REMOVE, RELOCATE, AND EXTEND EXISTING INSTALLATIONS TO ACCOMMODATE NEW CONSTRUCTION.
 - REMOVE ABANDONED WIRING TO SOURCE OF SUPPLY.
 - EXTEND EXISTING INSTALLATIONS USING MATERIALS AND METHODS COMPATIBLE WITH EXISTING ELECTRICAL INSTALLATIONS.
- HVAC:**
- REMOVE, RELOCATE, EXTEND EXISTING INSTALLATIONS TO ACCOMMODATE NEW CONSTRUCTION.
- REGULATORY:**
- CONFORM TO APPLICABLE CODE FOR DEMOLITION WORK, SAFETY OF STRUCTURE, AND DUST CONTROL.
 - OBTAIN REQUIRED PERMITS FROM AUTHORITIES.
 - NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
 - CONFORM TO APPLICABLE CODES WHEN HAZARDOUS OR CONTAMINATED MATERIALS ARE DISCOVERED.
 - DO NOT CLOSE OR OBSTRUCT EXITS.
 - DO NOT DISABLE OR DISRUPT BUILDING FIRE OR LIFE SAFETY SYSTEMS WITHOUT 13 DAYS PRIOR WRITTEN NOTICE TO OWNER.



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SITE PLAN APPROVAL COMMENTS 02.02.18
SITE PLAN APPROVAL COMMENTS #2 03.14.18
NO CHANGES
SITE PLAN APPROVAL COMMENTS #3 04.17.18
NO CHANGES



Drawn by :
SVA
Checked by :
JAV, MJB

Sheet Title :
OVERALL FLOOR PLAN
BUILDING A

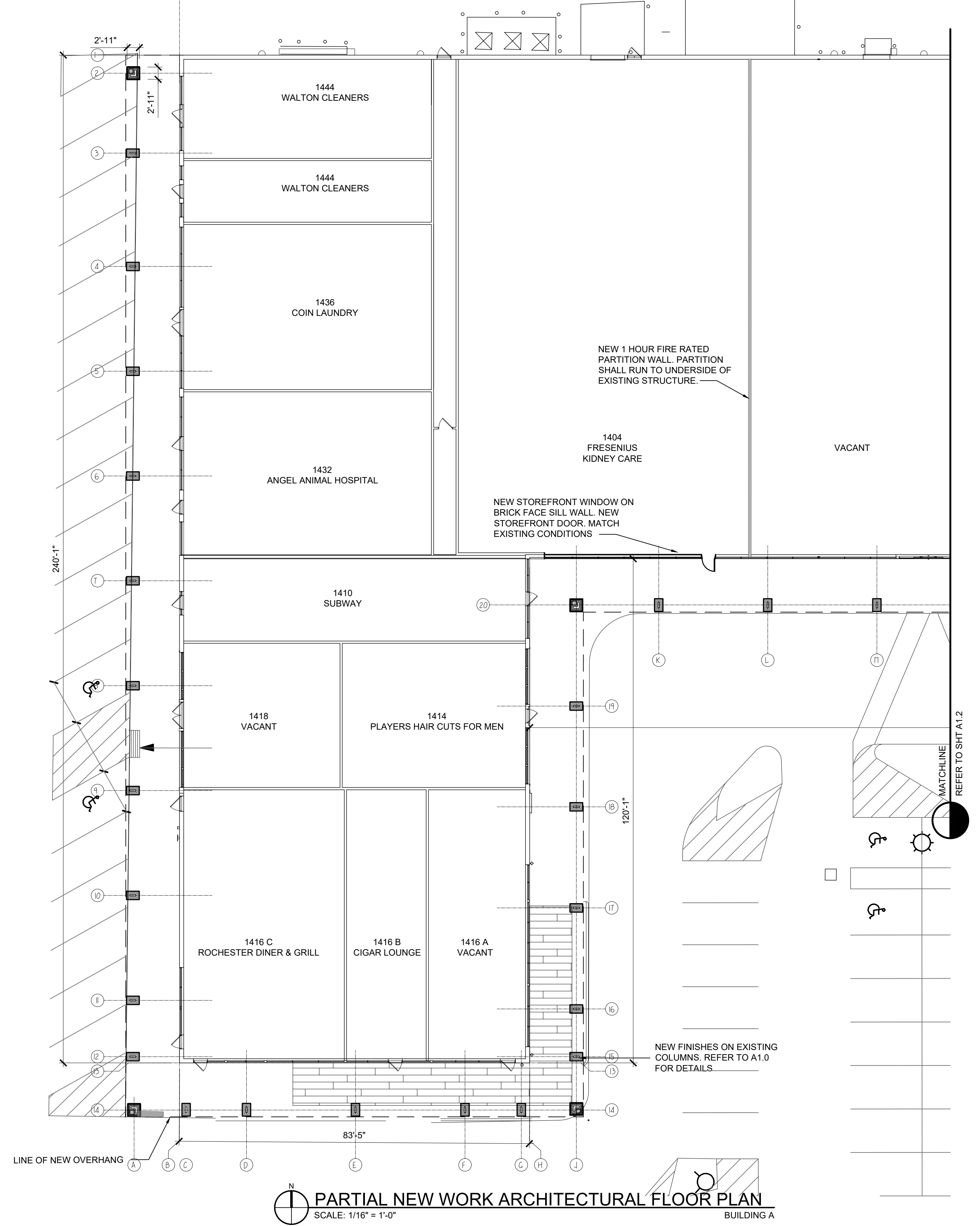
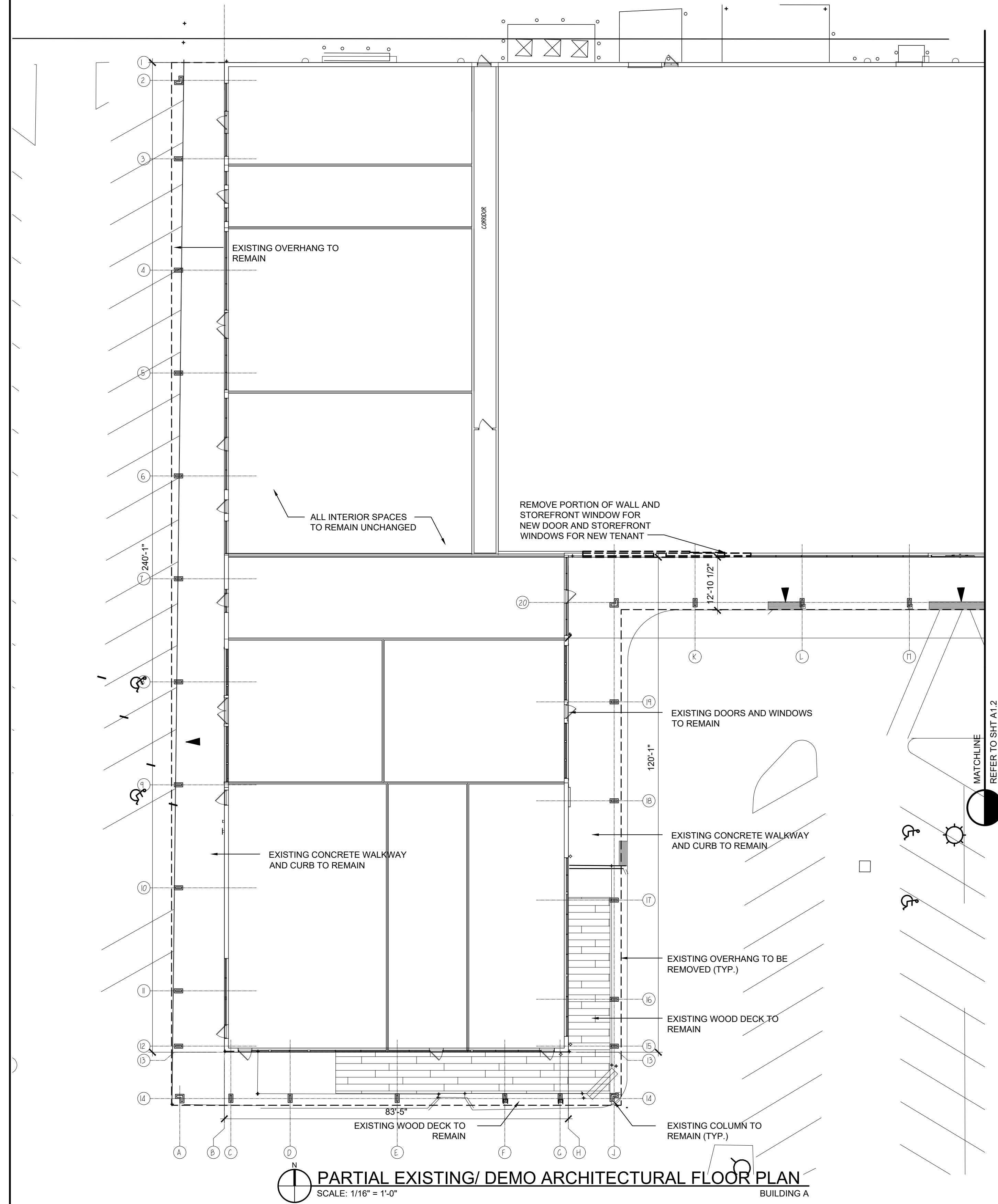
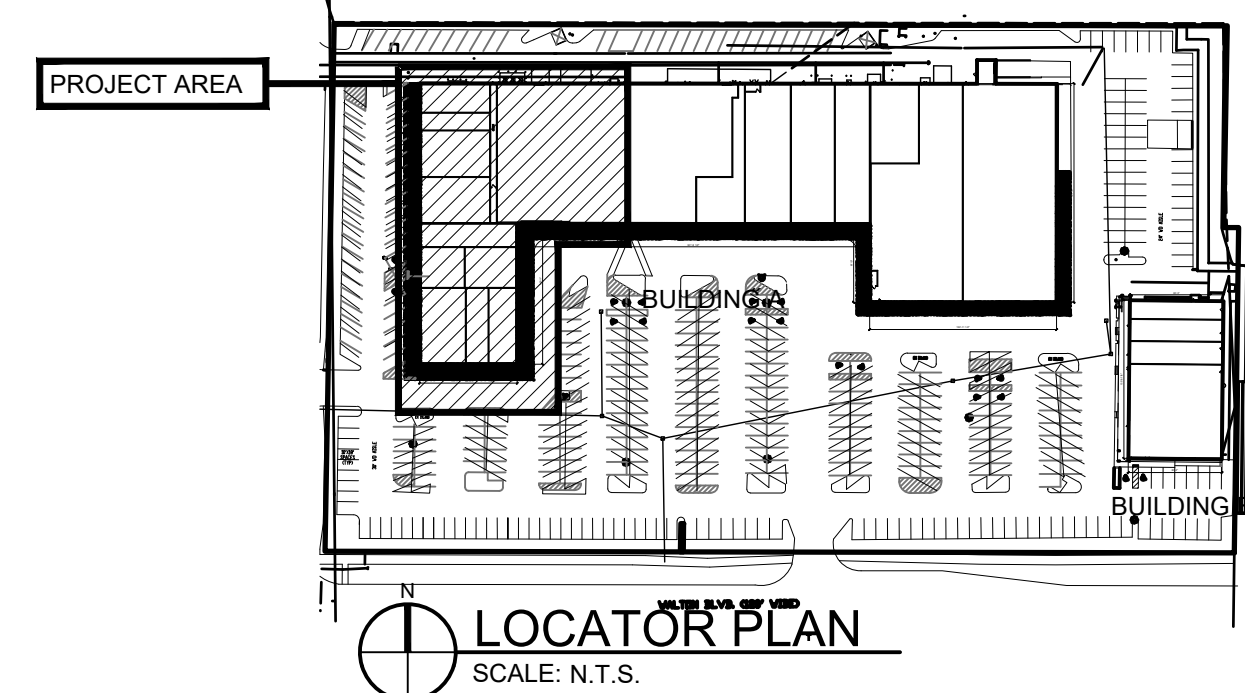
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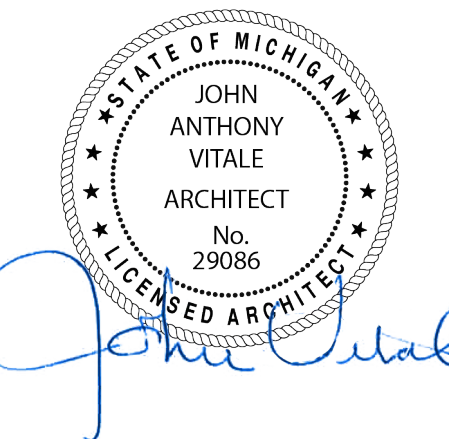


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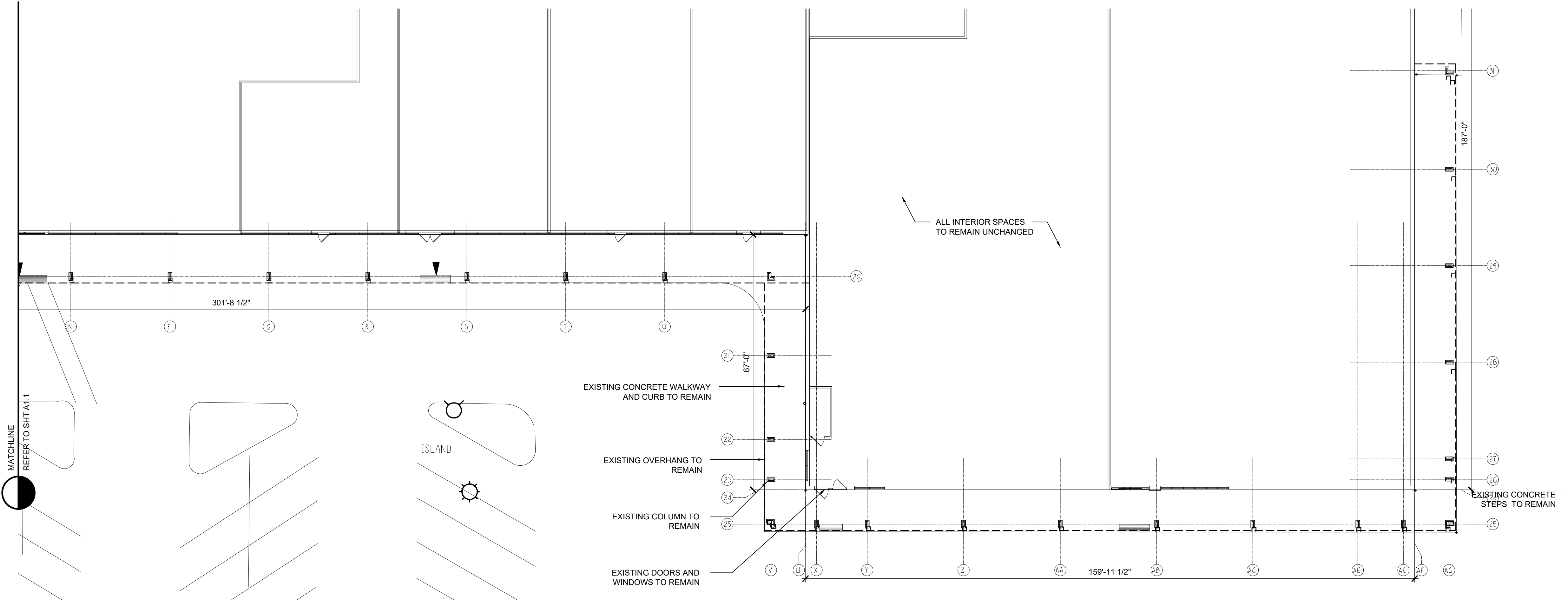
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Sheet Title :
 PARTIAL FLOOR PLAN
 BUILDING A

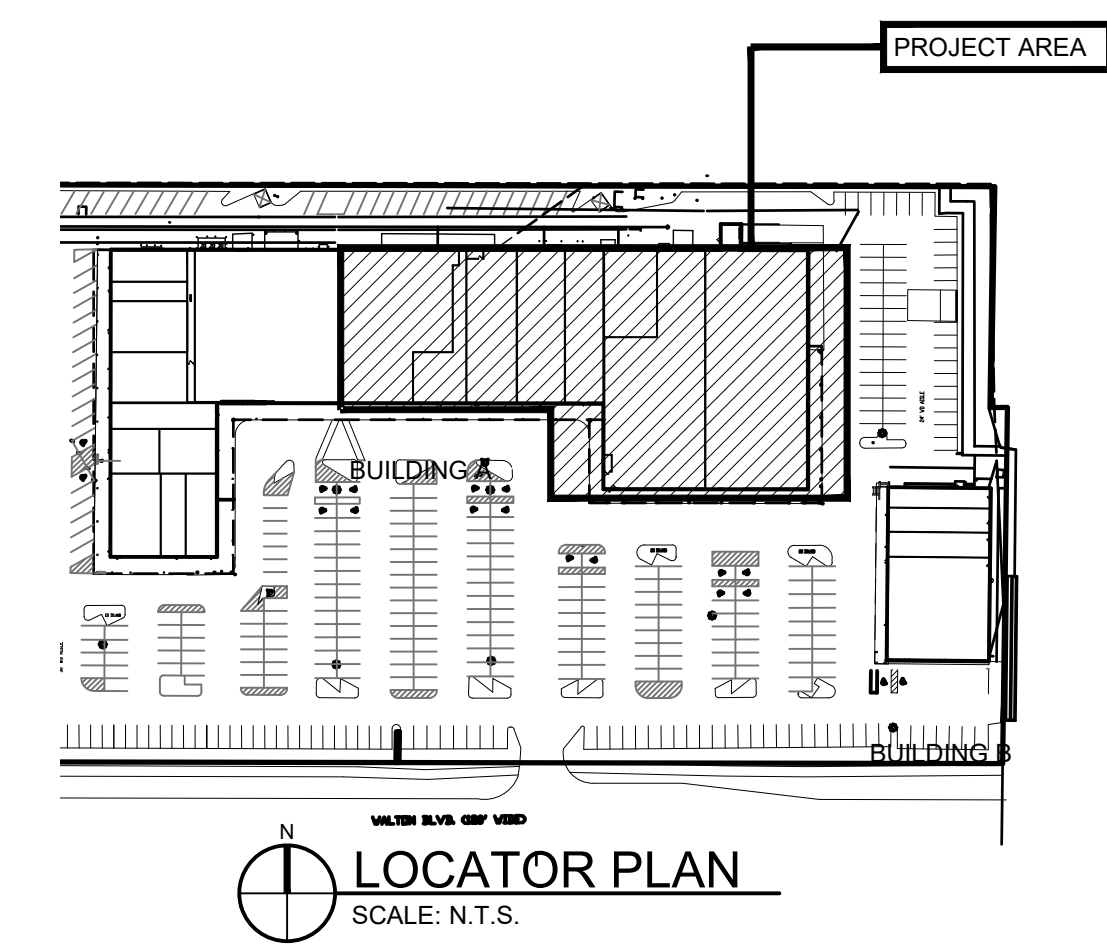
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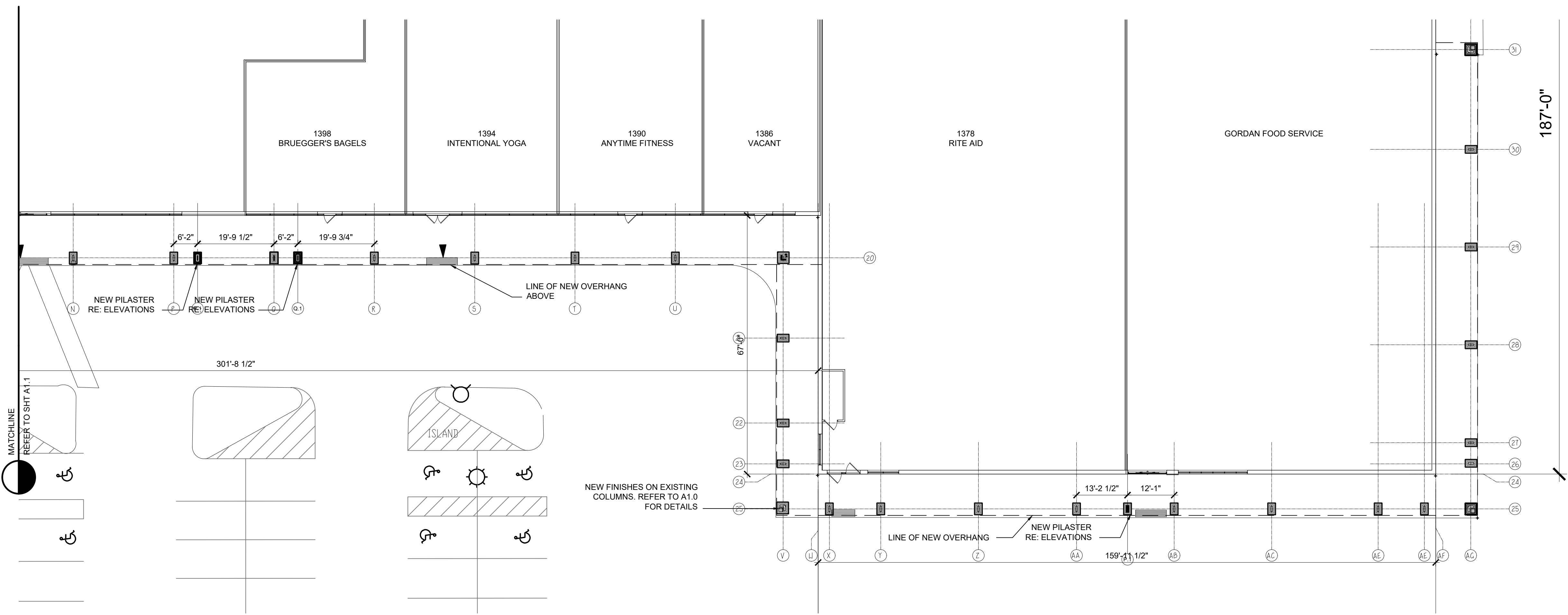


PARTIAL EXISTING/ DEMO ARCHITECTURAL FLOOR PLAN
 SCALE: 1/16" = 1'-0"
 BUILDING A



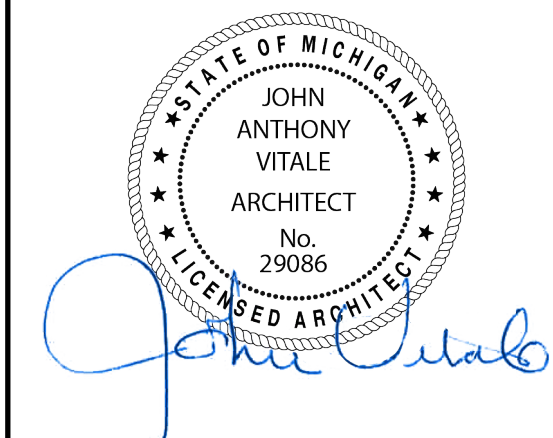
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PARTIAL NEW WORK ARCHITECTURAL FLOOR PLAN
 SCALE: 1/16" = 1'-0"
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 SITE PLAN APPROVAL
 COMMENTS #3 04.17.18
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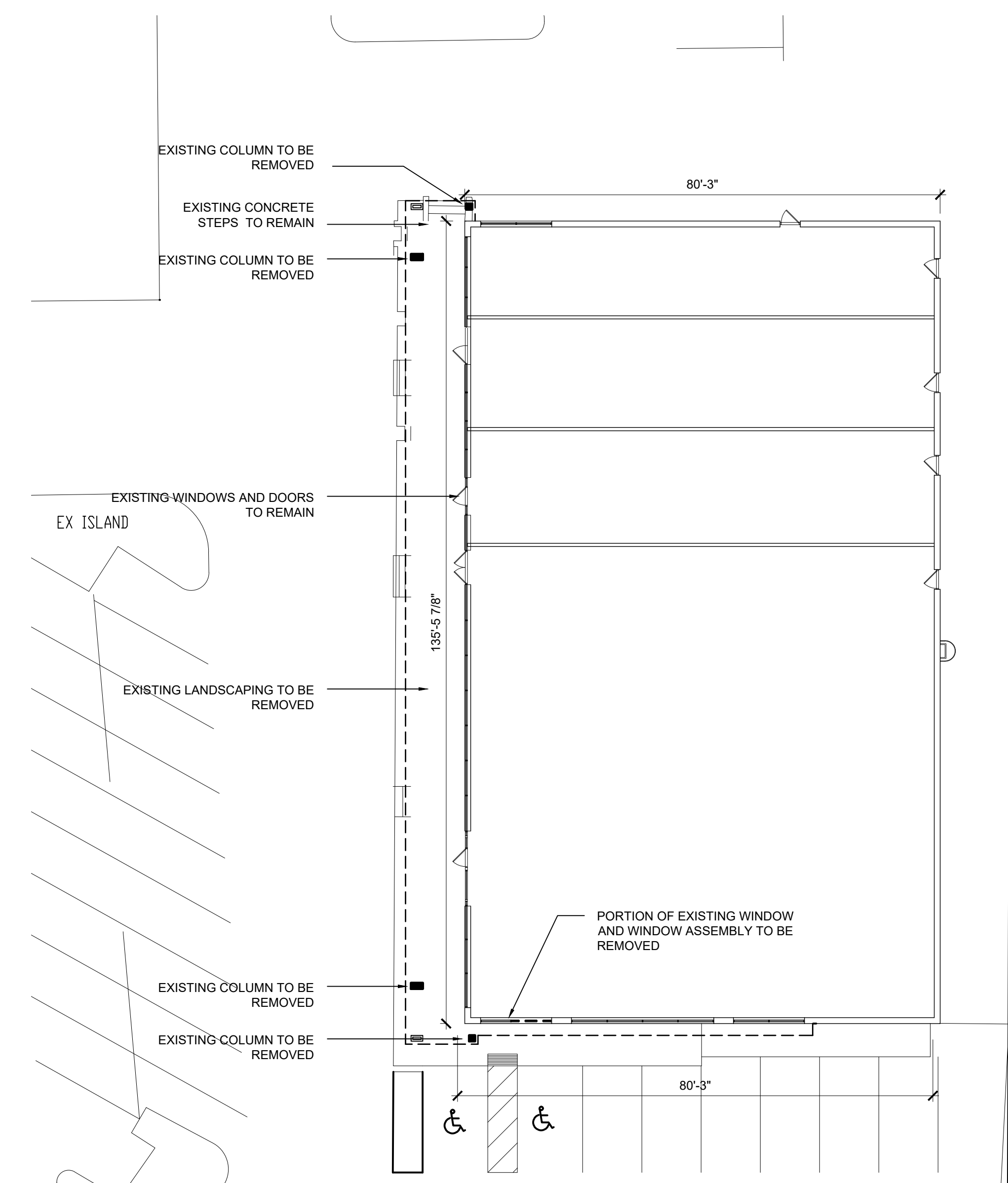
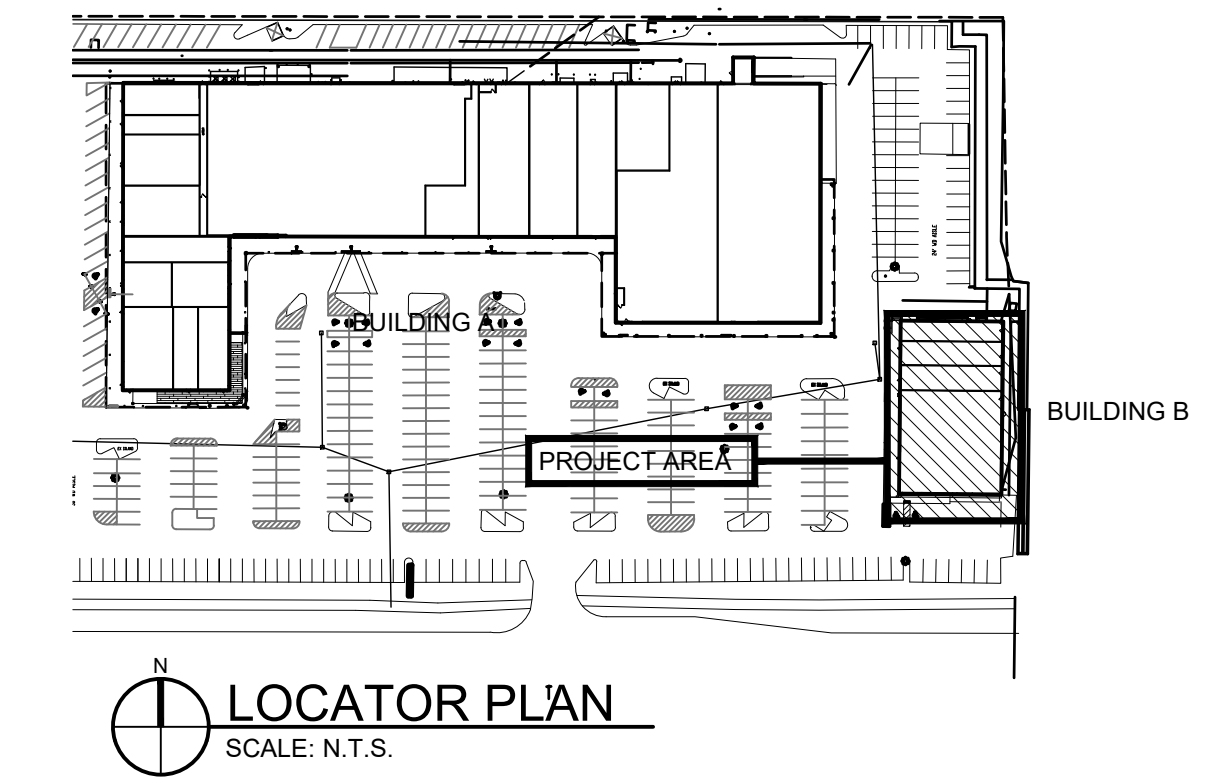
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 A1.2

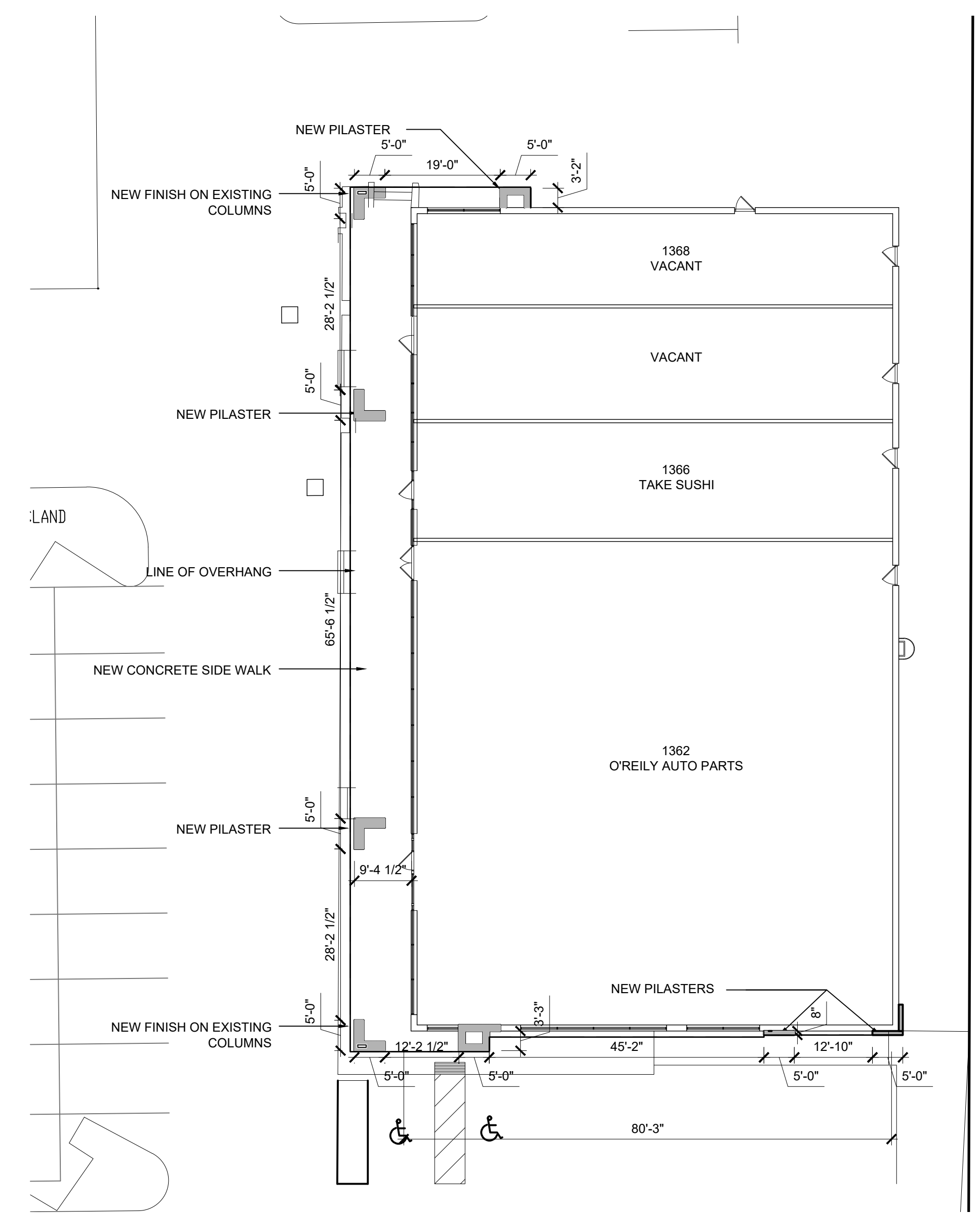
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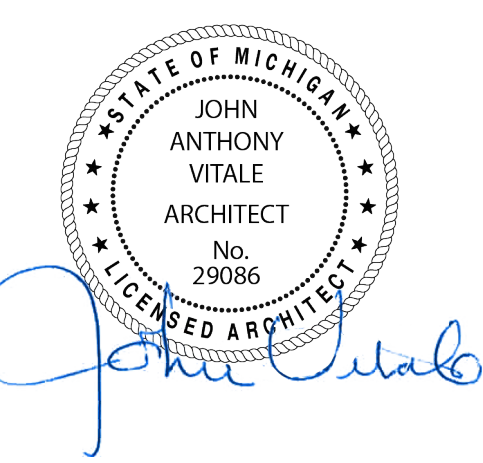
OVERALL EXISTING/ DEMO ARCHITECTURAL FLOOR PLAN
 SCALE: 1/16" = 1'-0"



OVERALL NEW WORK ARCHITECTURAL FLOOR PLAN
 SCALE: 1/16" = 1'-0"

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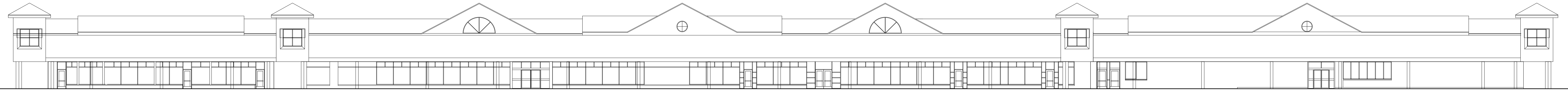
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Sheet Title :
 OVERALL FLOOR PLAN
 BUILDING B

Project No. :
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Sheet No. :
 A1.3

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1 EXIST'G SOUTH ELEVATION
A3.1 SCALE: 1/16" = 1'-0" BUILDING A



2 SOUTH ELEVATION
A3.1 SCALE: 1/16" = 1'-0" BUILDING A



3 WEST ELEVATION
A3.1 SCALE: 1/16" = 1'-0" BUILDING A

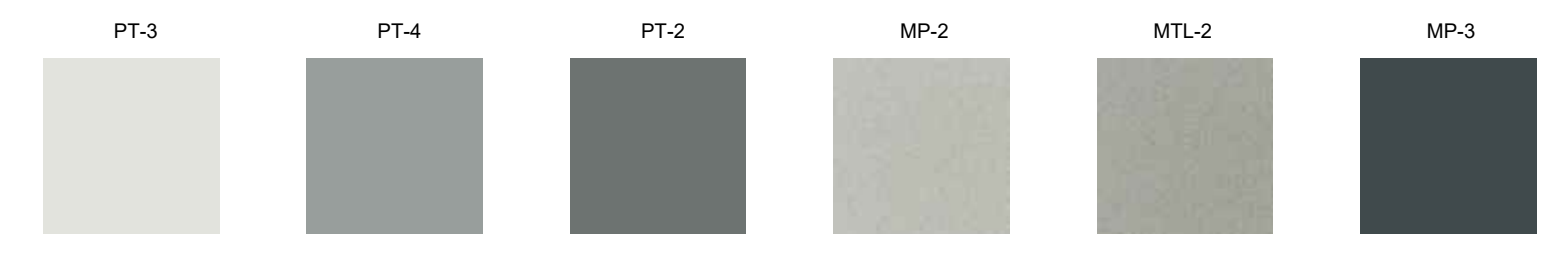
4 EAST ELEVATION
A3.1 SCALE: 1/16" = 1'-0" BUILDING A



5 INTERIOR EAST ELEVATION
A3.1 SCALE: 1/16" = 1'-0" BUILDING A



6 INTERIOR WEST ELEVATION
A3.1 SCALE: 1/16" = 1'-0" BUILDING A

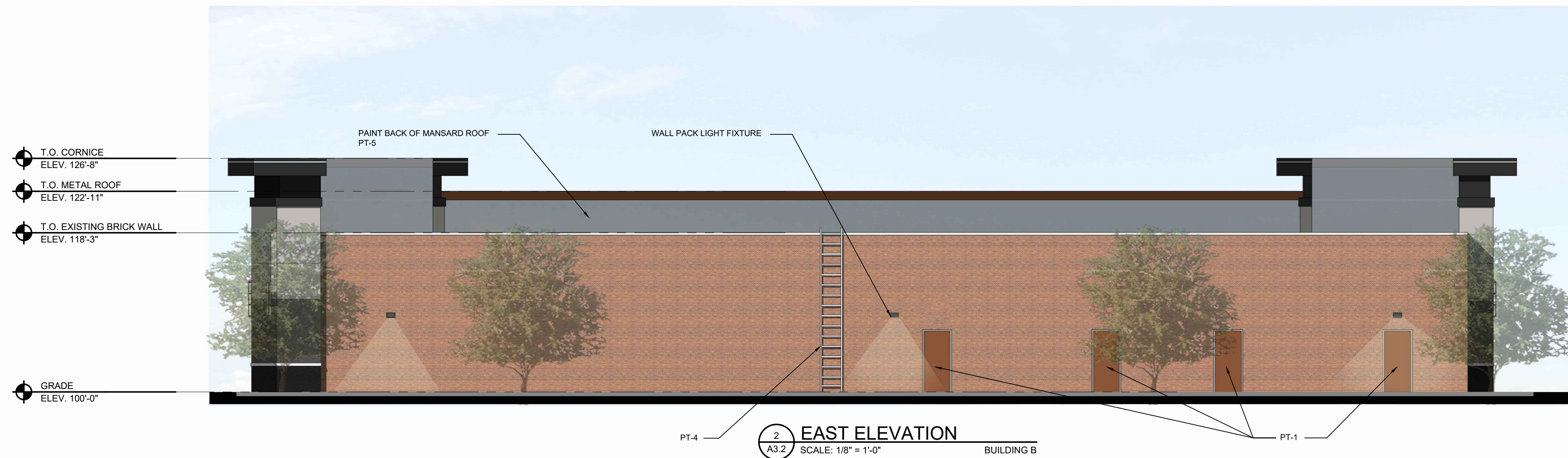


COLOR SWATCH REFERENCE
SCALE: N/A BUILDING A

| EXTERIOR FINISH SCHEDULE | | | | |
|--------------------------|-------|---|-------|--|
| MASONRY | BL-1 | CMU MFG: TBD COLOR: MATCH BR-1 FINISH: SPLIT FACE (ROCK) FINISH SIZE: 4x8x24 | SF-1 | STOREFRONT MFR: KAWNEER OR EQUIV SIZE: 2" X 4 - 1/2" COLOR: CLEAR ANODIZED ALUMINUM |
| | BR-1 | BRICK MFG: GLEN-GERY COLOR: BLACK PEARL | DR-1 | ALUMINUM ENTRANCE DOORS MFR: KAWNEER STYLE: 2" X 4 1/2" COLOR: TO MATCH WINDOW FRAMES W/ CLEAR GLASS |
| | CS-1 | CAST STONE SILL AND TRIM MFG: ROCK CAST COLOR: INDIGO | GL-1 | 1" LOW-E, INSULATED GLASS MFR: VIRACON OR EQUAL COLOR/STYLE: CLEAR - |
| ROOFING | MTL-2 | STANDING SEAM METAL ROOF MFG: TBD COLOR: TO MATCH VALSPAR ZATIQUE 399C491 | PT-2 | BM ROCKY COAST - 1595 |
| | SHG-1 | ASPHALT SHINGLES MFG: TBD COLOR: CHARCOAL STYLE: DIMENSIONAL - ARCHITECTURAL SERIES | PT-3 | BM PAPER WHITE - 1590 |
| E.I.F.S | EF-1 | EXTERIOR INSULATION & FINISH SYSTEM MFG: - STO CORPORATION STYLE: MEDIUM TEXTURE COLOR: AS NOTED | PT-4 | BM TIMBER WOLF - 1600 |
| | | | MISC. | MP-2 |
| | | | MP-3 | ACCENT METL PANEL MFG: TBD COLOR: MATCH VALSPAR CHARCOAL 392F232 |



1 WEST ELEVATION
A3.2 SCALE: 1/8" = 1'-0" BUILDING B



2 EAST ELEVATION
A3.2 SCALE: 1/8" = 1'-0" BUILDING B



3 NORTH ELEVATION
A3.2 SCALE: 1/8" = 1'-0" BUILDING B



4 SOUTH ELEVATION
A3.2 SCALE: 1/8" = 1'-0" BUILDING B

| EXTERIOR FINISH SCHEDULE | | | | | | |
|--------------------------|---|---|-------------|-------|--|---|
| MASONRY | BL-1 | CMU MFG: TBD COLOR: MATCH BR-1 FINISH: SPLIT FACE (ROCK) FINISH SIZE: 4x8x24 | WIND. | SF-1 | STOREFRONT MFR: KAWNEER OR EQUIV SIZE: 2' x 4 1/2" COLOR: CLEAR ANODIZED ALUMINUM | |
| | BR-1 | BRICK MFG: GLEN-GERY COLOR: BLACK PEARL | | DR-1 | ALUMINUM ENTRANCE DOORS MFR: KAWNEER STYLE: 2' X 4 1/2" COLOR: TO MATCH WINDOW FRAMES W/ CLEAR GLASS | |
| | CS-1 | CAST STONE SILL AND TRIM MFG: ROCK CAST COLOR: INDIGO | | GL-1 | 1", LOW-E, INSULATED GLASS MFR: VIRACON OR EQUAL COLOR/STYLE: CLEAR - | |
| ROOFING | MTL-1 | STANDING SEAM METAL ROOF MFG: TBD COLOR: TO MATCH VALSPAR TERRA COTTA 394F068 | GLASS DOORS | PAINT | PT-1 | BM GEORGIAN BRICK HC-60 |
| | MTL-2 | STANDING SEAM METAL ROOF MFG: TBD COLOR: TO MATCH VALSPAR ZATIQUE 399C491 | | | PT-2 | BM ROCKY COAST - 1595 |
| | SHG-1 | ASPHALT SHINGLES MFG: TBD COLOR: CHARCOAL STYLE: DIMENSIONAL - ARCHITECTURAL SERIES | | | PT-3 | BM PAPER WHITE - 1590 |
| E.I.F.S. | EF-1 | EXTERIOR INSULATION & FINISH SYSTEM MFG: STO CORPORATION STYLE: MEDIUM TEXTURE COLOR: AS NOTED | GLASS DOORS | PAINT | PT-4 | BM TIMBER WOLF - 1600 |
| | | | | | PT-5 | BM MARINA GREY - 1599 |
| | | | | | MISC. | TR-1 |
| MP-1 | CORRUGATED MTL PANEL MFG: TBD COLOR: MATCH VALSPAR ZATIQUE 399C491 | | | | | |
| MP-2 | SMOOTH METL PANEL MFG: TBD COLOR: MATCH VALSPAR BRIGHT SILVER 399X440 | | | | | |
| | | | | | MP-3 | ACCENT MTL PANEL MFG: TBD COLOR: MATCH VALSPAR CHARCOAL 392F232 |