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Birmingham, MI 48009  
t:248.554.9500  
Contact Person: Kevin Biddison  
e.mail: kb@biddison-ad.com

PROPOSED SHELL BUILDING FOR:

# Hampton Plaza Outlot

## CONDITIONS OF WORK

### CONSTRUCTION COORDINATION:

1. ALL CONTRACTORS SHALL REVIEW ALL DRAWINGS & ARE RESPONSIBLE FOR A COMPLETE REVIEW & SITE VISIT. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT SET & NO "EXTRAS" FOR MISSED ITEMS IN OTHER SECTIONS WILL BE PERMITTED. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY OR ERRORS WHICH THEY DISCOVER UPON EXAMINATION OF DOCUMENTS, THE SITE OR LOCAL CONDITIONS.
2. ANY CONTRACTOR OR SUBCONTRACTOR BY SUBMITTING A BID WARRANTS THAT HE HAS VISITED THE SITE AND IS AWARE OF ANY AND ALL SITE CONDITIONS AFFECTING HIS BID.
3. THE CONTRACTOR BY COMMENCING WORK ACCEPTS THE CONDITIONS OF THE SITE & THE COMPLETENESS OF CONTRACT DOCUMENTS.
4. FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.
5. ANY MATERIAL OR LABOR (EITHER SHOWN ON THE DRAWINGS OR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK IN A WORKMANLIKE MANNER SHALL BE FURNISHED WITHOUT COST TO THE OWNER.
6. ALL MATERIALS FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR SHALL BE FREE FROM DEFECTS. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF (1) YEAR FROM DATE OF ACCEPTANCE OF WORK. DURING THIS PERIOD THE GENERAL CONTRACTOR SHALL CORRECT ANY PROBLEMS DUE TO DEFECTIVE MATERIALS OR FAULTY WORKMANSHIP AT NO COST TO THE OWNER. ANY PROBLEM THAT OCCURS DURING CONSTRUCTION SHALL IMMEDIATELY BE CORRECTED TO THE SATISFACTION OF THE OWNER.
7. NO SUBSTITUTIONS OF SPECIFIED MATERIAL OR EQUIPMENT WILL BE ACCEPTED UNLESS WRITTEN REQUEST FOR APPROVAL HAS BEEN RECEIVED BY THE ARCHITECT AND CONTRACTOR HAS RECEIVED WRITTEN APPROVAL FROM ARCHITECT.
8. DURING AND AT THE COMPLETION OF THE CONTRACTOR'S DAILY WORK, CONTRACTOR IS RESPONSIBLE FOR THE CLEANING UP AND REMOVAL OF ALL RUBBISH AND DEBRIS BEFORE LEAVING THE PROJECT JOB SITE.

### PERMITS & SAFETY:

1. GENERAL CONTRACTOR SHALL APPLY & SUBMIT FOR BUILDING PERMIT.
2. GENERAL CONTRACTOR SHALL OBTAIN "ALL RISK" INSURANCE AND ALL CUSTOMARY STATUTORY INSURANCE FOR COMPREHENSIVE GENERAL LIABILITY, ETC. AS REQUIRED BY OWNER/LANDLORD.
3. GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. IN LEASED SPACE FROM LOSS OR DAMAGE FROM FIRE, THEFT OR VANDALISM.
4. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA). THE FOLLOWING ARE STRICTLY PROHIBITED WORK PRACTICES.
  - A. ANY COMBUSTIBLE MATERIALS ABOVE FINISHED CEILING OR IN ANY NON-SPRINKLED LOCATIONS.
  - B. IMPOSING ANY STRUCTURAL LOAD, TEMPORARY OR PERMANENT ON ANY PART OF THE LANDLORD'S WORK OR STRUCTURE WITHOUT PRIOR WRITTEN APPROVAL.
  - C. CUTTING ANY HOLES IN LANDLORD'S EXISTING FLOOR SLABS, WALLS OR ROOF WITHOUT PROPER APPROVALS FROM LANDLORD. BEFORE STARTING ANY UNDERSLAB WORK CONTRACTORS MUST CHECK WITH THE LANDLORD OR SUPERINTENDENT OF THE LANDLORD'S GENERAL CONTRACTOR TO DETERMINE IF ANY COMMON UTILITY OR OTHER TENANT UTILITY LINES EXIST WITHIN THE SPACE.

### FIRE PROTECTION NOTES:

TYPE 2A FIRE EXTINGUISHERS SHALL BE PROVIDED AND SPACED A MAX. OF 75' APART PER SECTION 908.1 OF THE 2015 INTERNATIONAL FIRE CODE AND / OR BY THE DIRECTION OF THE FIRE MARSHAL.

### FIRE PROTECTION NOTES:

SHOULD ANY FUTURE TENANT SPACE BE A RESTAURANT OR SIMILAR USE AND HAVE AN AREA GREATER THAN 5,000 S.F. OR AN OCCUPANT LOAD OF 100 OR GREATER, A FIRE SUPPRESSION SYSTEM WILL BE REQUIRED PER SECTION 903.1.2.

### CODE COMPLIANCE:

1. WORK INDICATED IS TO BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES.
2. FIRE EXTINGUISHERS SHALL BE PROVIDED BY G.C. AND INSTALLED PER THE BUILDING DEPARTMENT FIELD INSPECTOR'S INSTRUCTIONS.
3. ALL WALL FINISHES TO MEET CLASS B FLAME SPREAD RATING FOR "A-2" USE-GROUP TENANT SPACES AND CLASS C FLAME SPREAD RATING FOR "M" AND "B" USE-GROUP TENANT SPACES.
4. INTERIOR FINISHES IN EXIT ACCESS CORRIDORS AND OTHER EXIT WAYS IN NON-SPRINKLERED BUILDINGS UNDER USE GROUPS "B," "M" AND "A-2" ARE REQUIRED TO HAVE AT LEAST A CLASS A FLAME SPREAD 0-25/SMOKE DEVELOPED 0-450 RATING AS LISTED IN THE 2015 MICHIGAN BUILDING CODE.
5. SAFETY GLAZING MUST HAVE PERMANENT IDENTIFICATION IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE.
6. ALL REQUIREMENTS OF THE MICHIGAN BARRIER FREE ACT & THE AMERICANS WITH DISABILITIES ACT SHALL BE MAINTAINED.
7. ALL ENTRANCE AND EXIT DOORS SHALL HAVE BARRIER FREE ACCESSIBILITY.
8. TO COMPLY WITH ADA REQUIREMENTS, CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE RAMPED AND CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED A MAXIMUM OF 1:2.
9. SIGNAGE INDICATING ACCESSIBILITY PROVISIONS SHALL BE PROVIDED AT EACH DOOR TO AN EXIT DISCHARGE. A TACTILE SIGN STATING EXIT AND COMPLYING WITH ICC/ANSI A117.1 SHALL BE PLACED ADJACENT TO THE DOOR. PLEASE REFER TO SHEET A. 901 FOR ADDITIONAL INFORMATION AND LOCATION.

## IN RESPONSIBLE CHARGE DEFERRED SUBMITTAL STATEMENT:

DESIGN PROFESSIONAL IN CHARGE:  
KEVIN BIDDISON, AIA  
PRESIDENT  
BIDDISON ARCHITECTURE + DESIGN  
MI REGISTRATION #34144

THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR ROCHESTER HILLS CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL FOR GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. DEFERRED SUBMITTAL ITEMS FOR THIS PROJECT WILL INCLUDE:

- REVIEW OF THE ALUMINUM-FRAMED STOREFRONTS;
- REVIEW OF STEEL SHOP DRAWINGS

(1) COPY OF EACH DEFERRED SUBMITTAL WILL BE SUBMITTED TO THE CITY ALONG WITH AN APPROVAL LETTER OF THE DEFERRED SUBMITTAL BY THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE AS REQUIRED.

### PROJECT LOCATION:

Rochester Road  
Rochester Hills, Michigan

### APPLICANT INFORMATION:

Hampton Plaza Associates  
1334 Maplelawn Drive  
Troy, Michigan 48084  
Phone: (248) 649-2924  
Fax: (248) 649-2373  
Contact person: Stuart Frankel

### SHEET INDEX:

- T.101 TITLE SHEET
- SP.101 SITE PLAN
- C0 CIVIL ENGINEERING COVER
- C1 BOUNDARY / TOPO SURVEY
- C2 DEMOLITION PLAN
- C3 PAVING AND GRADING PLAN
- C4 UTILITY PLAN
- C5 SOIL EROSION/DRAINAGE AREA PLAN
- C6 PROFILE, DETAILS AND CALC. PLAN
- LS1 LANDSCAPE PLAN
- SP.401 SITE DETAILS
- SE.101 SITE ELECTRICAL PLAN
- PHOTOMETRIC PLAN
- A.101 FLOOR PLAN
- A.201 ELEVATIONS

TYPE: II-B

(UNPROTECTED)

OCCUPANCY CLASSIFICATION: A2

→ (1) STORY: 20'-0" (< 55'-0" TABLE 504.3)

→ 8,154 S.F. (PROPOSED LARGEST SINGLE FLOOR AREA)

ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLAN:

→ (2) STORY ALLOWABLE, TABLE 504.4)

→ 8,500 S.F. ALLOWABLE LARGEST SINGLE FLOOR AREA)

### Consultants

### Project data

GOVERNING CODES: 2015 MICHIGAN BUILDING CODE  
2015 MICHIGAN PLUMBING CODE  
2015 MICHIGAN MECHANICAL CODE  
2015 INTERNATIONAL FUEL GAS CODE  
2014 N.E.C. MICHIGAN ELECTRICAL CODE,  
W/ PART 8 STATE AMENDMENTS  
ICC/ANSI A117.1-2003 AND MICHIGAN  
BARRIER FREE DESIGN LAW OF 1966 AS  
AMENDED,  
2015 MICHIGAN UNIFORM ENERGY CODE  
RULES PART 10 WITH ANSI/ASHRAE/IESNA  
STANDARD 90.1  
2015 INTERNATIONAL FIRE CODE  
NFPA 13 - 2010  
NFPA 72 - 2007

BUILDING USE: MIXED SEPARATED USE PER 2015  
MBC S508.4:  
ASSEMBLY A-2  
BUSINESS B  
MERCANTILE M

2 HOUR FIRE BARRIER REQD  
BETWEEN A-2 & ANY B OR M USE  
GROUP/TENANT SPACE (PER TABLE  
707 & S.508.4).

BUILDING AREA: 8,154 S.F.  
BUILDING USE: BUSINESS: -B  
RESTAURANT: A-2

TYPE OF CONSTRUCTION:  
2015 MBC: IIB (UNPROTECTED)  
NFPA 220: TYPE II-000

### Issued for

SITE PLAN REVIEW	10.14.17
SITE PLAN REVIEW	12.29.17
① PER CITY REVIEW	03.09.18
② REV. PER CITY	03.13.19
③ REV. PER CITY	06.20.19

### Project no.

HAMPTON PLAZA 2002.17



CITY FILE #: 18-002

### Sheet no.

T.101

**GENERAL SITE NOTES:**

- WHERE INDICATED, PROVIDE 12" X 18" ALUMINUM "RESERVED PARKING" SIGN WITH SILK-SCREEN SYMBOL AND LETTERING EQUAL TO R7-8 AS REQUIRED BY THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
- SIGNS SHALL BE MOUNTED ON 1/2" SQUARE GALVANIZED STEEL POST, WALL OR FENCE MOUNTED AS INDICATED ON THE PLANS, LOCATE AND INSTALL IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND REGULATIONS.
- PARKING STALL STRIPES SHALL BE PAINTED AS SHOWN ON THE DRAWINGS. LINES SHALL BE 4" WIDE, APPLIED IN ONE COAT USING A STANDARD STRIPING MACHINE. PAINT SHALL BE WHITE AS REQUIRED TO CONFORM TO THE MUTCD.
- PROVIDE STRIPING AT NEW PAVEMENT AS INDICATED ON THE DRAWINGS.
- ALL SITE LIGHTING SHALL BE SHIELDED DOWNWARD AND AWAY FROM ADJACENT PROPERTY.
- SITE IDENTIFICATION SIGNAGE SHALL CONFORM TO THE LATEST REQUIREMENTS OF THE ROCHESTER HILLS STANDARDS.
- EXTERIOR CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING CRITERIA:
  - CURB RAMPS SHALL BE PROVIDED WHERE EVER AN ACCESSIBLE ROUTE CROSSES A CURB.
  - MAXIMUM SLOPE SHALL BE 1:12. THE TRANSITION FROM WALKS, GUTTERS OR STREETS SHALL BE FLUSH.
- THE MINIMUM WIDTH SHALL BE 36", EXCLUSIVE OF FLARES, UNLESS OTHERWISE NOTED ON THE PLANS.
- CURB RAMPS SHALL HAVE A DETECTABLE WARNING CONSISTING OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 INCHES AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.
- A DETECTABLE WARNING SHALL BE PROVIDED IN SIDEWALKS WHERE A WALK CROSSES OR ADJOINS A VEHICULAR WAY, AND THE WALKING SURFACES ARE NOT SEPARATED BY CURBS, RAILINGS OR OTHER ELEMENTS. THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS 36" WIDE MINIMUM. THE DETECTABLE WARNING SHALL COMPLY WITH THE CRITERIA STATED ABOVE FOR CURB RAMPS.
- CALL MISS DIG 72 HOURS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER HILLS.
- ALL ROOF TOP AND/OR GROUND MOUNTED MECHANICAL UNITS SHALL BE SCREENED AS REQUIRED BY ROCHESTER HILLS.
- NO SIGNS (OTHER THAN OFFICIAL TRAFFIC CONTROL SIGNS) ARE APPROVED AS PART OF THIS SITE PLAN APPROVAL. PRIOR TO ERECTION OF A SIGN, AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL AND ISSUANCE OF A SIGN PERMIT.

**FIRE DEPARTMENT NOTES:**

- FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 503.
- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IPC 2006 CHAPTER 14.
- OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES, FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 307.4.2 & 307.4.3.

- NOTE:**  
BUILDING IS NOT PROVIDED WITH A WET FIRE SUPPRESSION SYSTEM.
- NOTE:**  
SHARED PARKING AGREEMENT W/ ADJACENT SHOPPING CENTER PROPERTY.
- NOTE:**  
ALL SIGNS MUST MEET SECTION 134-8.603 AND CHAPTER 134 OF THE CITY CODE OF ORDINANCES. APPROVED INFORMATION IS AVAILABLE FROM THE KNOX COMPANY AT KNOXBOX.COM

**ENGINEERING DEPARTMENT NOTES:**

- INDIVIDUAL GREASE TRAP FOR ANY FUTURE RESTAURANTS WILL BE PROVIDED AS REQUIRED BY THE CITY OF ROCHESTER HILLS.
- THE EXISTING SANITARY SEWER SYSTEM WAS DESCRIBED AND WAS PREVIOUSLY OPERATING FOR A SINGLE LARGER SCALE RESTAURANT OF EQUAL SIZE TO THE PROPOSED BUILDING.
- THE EXISTING STORM SEWER SYSTEM WILL BE LEFT AS CURRENTLY DESIGNED FOR PARKING LOT AREAS. THE PROPOSED BUILDING WILL BE BUILT ON THE EXISTING BUILDING PAD FROM PREVIOUS RESTAURANT STRUCTURE.

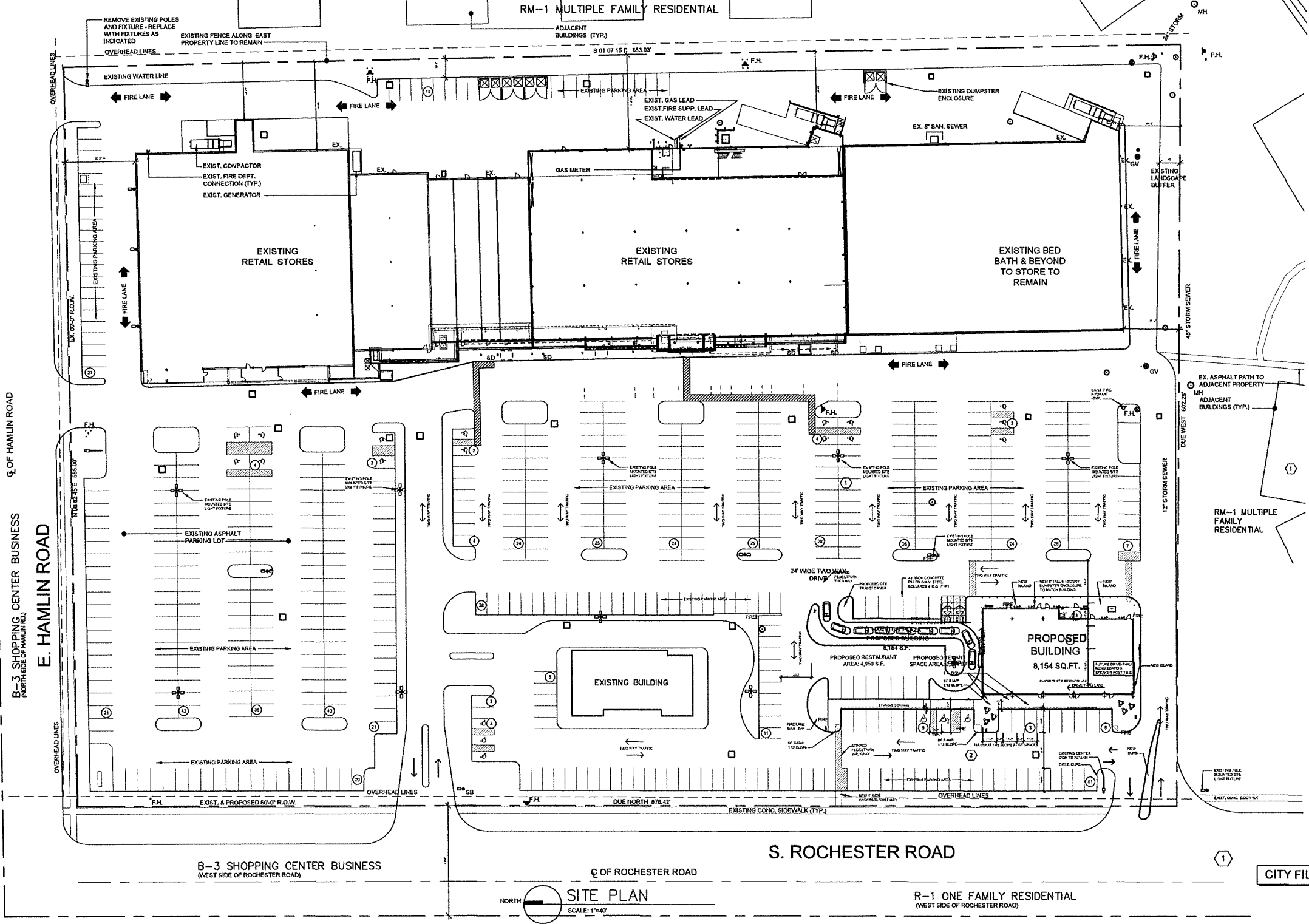
**FIRE DEPT. NOTES:**

"A" KNOX KEY SYSTEM SHALL BE INSTALLED. IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE FROM THE KNOX COMPANY AT KNOXBOX.COM

- NOTE:**  
ALL PROPOSED PUBLIC BUILDING ENTRANCES ALONG THE WEST (FRONT) OF THE PROPOSED BUILDING WILL BE PROVIDED WITH BARRIER FREE ACCESS.
- NOTE:**  
PROVIDE PARKING LOT STRIPING AND DIRECTIONAL ARROWS PER TENANT'S CONSTRUCTION DOCUMENTS AND PER LOCAL CODE.
- NOTE:**  
FURNISH AND INSTALL REINFORCED CONCRETE PER AND ANCHOR BOLTS PER TENANT'S PIER DETAILS AT LOCATIONS AS SPECIFIED BY TENANT FOR THE FOLLOWING ITEMS:  
(1) ORDER MENU BOARD  
(2) SPEAKER POST  
(3) DIRECTIONAL SIGNAGE  
(4) HEIGHT RESTRICTION BAR  
(5) TENANT'S DESIGNATED WORK/VENT SIGN / PYLON SIGN
- NOTE:**  
FURNISH AND INSTALL 6" DIAMETER STEEL PIPE BOLLARDS, FILLED WITH CONCRETE, PARKED AND LOCATED PER TENANT'S CONSTRUCTION DOCUMENTS.
- CONSTRUCTION TYPE IIB SEPARATED MIXED USES "M," "A" & "B"**
- NOTE:**  
"A" USE BUILDINGS OR TENANT SPACES LESS THAN 50 OCCUPANTS CAN BE TREATED AS "B" USE

**biddison | architecture + design**  
320 Martin St., Suite 10  
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248.554.6500

Consultants



**SITE STATISTICS:**

EXISTING ZONING: B3 SHOPPING CENTER BUSINESS  
USE GROUP: (M) MERCANTILE (UNLIMITED AREA BUILDING)  
CONSTRUCTION TYPE: B-B  
GROSS SITE AREA: 14.12 ACRES = 615,200 S.F.  
NET SITE AREA: 12.022 ACRES = 523,700 S.F.

**SET BACKS:**  
FRONT REQUIRED = 75'-0"  
FRONT PROVIDED = 85'-0"  
BACK REQUIRED = 60'-0"  
BACK PROVIDED = N/A  
SIDE REQUIRED = 45'-0" (NORTH) 45'-0" (SOUTH)  
SIDE PROVIDED = N/A (NORTH) 164'-0" (SOUTH)

**BUILDING AREA:** 120,318 S.F. + 3,750 S.F. + 8,154 S.F. = 132,222 S.F.  
**ACTUAL LOT COVERAGE:** 132,222 S.F. / 523,700 = 25%  
**ALLOWABLE LOT COVERAGE:** 50%  
**BUILDING HEIGHT:** 20'-0"

**PARKING CALCULATIONS**

**EXISTING BUILDING AREA:** 120,318 S.F. + 3,750 S.F. = 124,068 S.F.  
**PROPOSED BUILDING AREA:** 8,154 S.F.  
**TOTAL BUILDING AREA:** 124,068 S.F. + 8,154 S.F. = 132,222 S.F.

**REQ. SPACES PER AREA:** 132,222 S.F. / 300 = 441 SPACES  
**REQ. STACKING SPACES:** 10+9+3 = 22 STACKING SPACES

**TOTAL STACKING SPACES PROVIDED:** 22  
**TOTAL PARKING SPACES PROVIDED:** 245

**LEGAL DESCRIPTION**

LAND SITUATED IN THE CITY OF ROCHESTER HILLS, COUNTY OF OAKLAND, STATE OF MICHIGAN DESCRIBED AS:  
PART OF THE NORTHWEST 1/4 OF SECTION 28, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT OF WHICH IS NORTH 89 DEGREES 52 MINUTES 45 SECONDS EAST 75.01 FEET ALONG THE NORTH LINE OF SECTION 28 AND DUE SOUTH 60.01 FEET FROM THE NORTHWEST CORNER OF SECTION 28, TOWN 3 NORTH, RANGE 11 EAST; THENCE NORTH 88 DEGREES 52 MINUTES 45 SECONDS EAST 585.00 FEET ALONG A LINE PARALLEL TO AND 60.00 FEET SOUTH OF THE NORTH LINE OF SECTION 28; THENCE SOUTH 01 DEGREES 07 MINUTES 15 SECONDS EAST 886.03 FEET; THENCE DUE WEST 602.28 FEET; THENCE DUE NORTH 876.42 FEET ALONG A LINE PARALLEL TO AND 75.00 FEET EAST OF THE WEST LINE OF SECTION 28 TO THE POINT OF BEGINNING

2011-2135 6, ROCHESTER ROAD, ROCHESTER HILLS, MI 48307  
TAX ID: 15-26-100-007

Project title

PROPOSED BUILDING FOR:  
**HAMPTON PLAZA OUTLOT**

ROCHESTER ROAD  
ROCHESTER HILLS, MICHIGAN

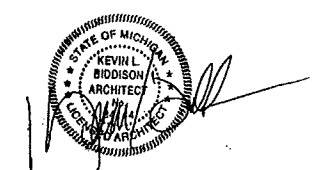
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SITE PLAN REVIEW	11.14.17
SITE PLAN REVIEW	12.29.17
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**NOTE:**  
REFER TO ELECTRICAL SHEETS FOR LIGHT FIXTURE SCHEDULE

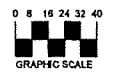
Sheet title

**SITE PLAN**



Project no.

2002-17



CITY FILE #: 18-002

Sheet no.

SP.101

**SITE PLAN**  
SCALE: 1"=40'

**S. ROCHESTER ROAD**

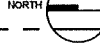
**R-1 ONE FAMILY RESIDENTIAL**  
(WEST SIDE OF ROCHESTER ROAD)

**B-3 SHOPPING CENTER BUSINESS**  
(WEST SIDE OF ROCHESTER ROAD)

**B-3 SHOPPING CENTER BUSINESS**  
(NORTH SIDE OF HAMLIN ROAD)

**E. HAMLIN ROAD**

**OF ROCHESTER ROAD**



Consultants

Project title

PROPOSED BUILDING FOR:  
**HAMPTON PLAZA  
 OUTLOT**

ROCHESTER ROAD  
 ROCHESTER HILLS, MICHIGAN

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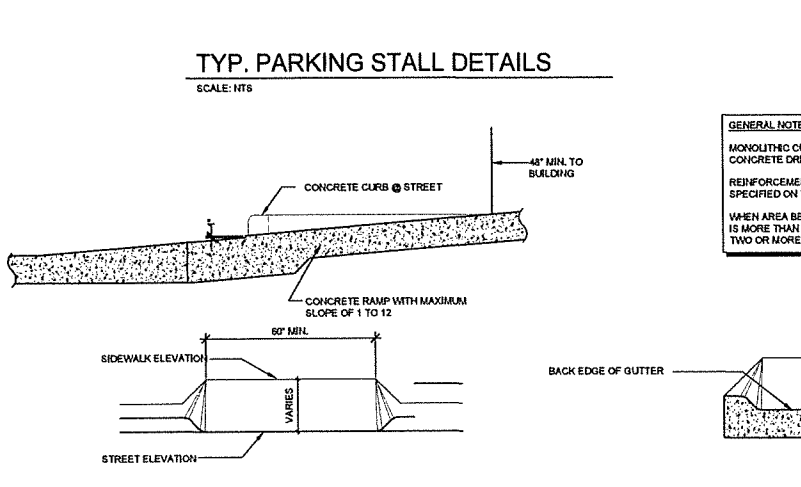
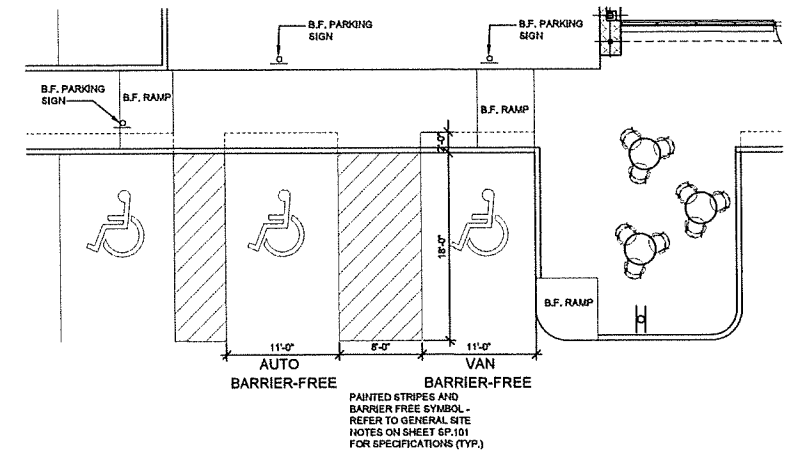
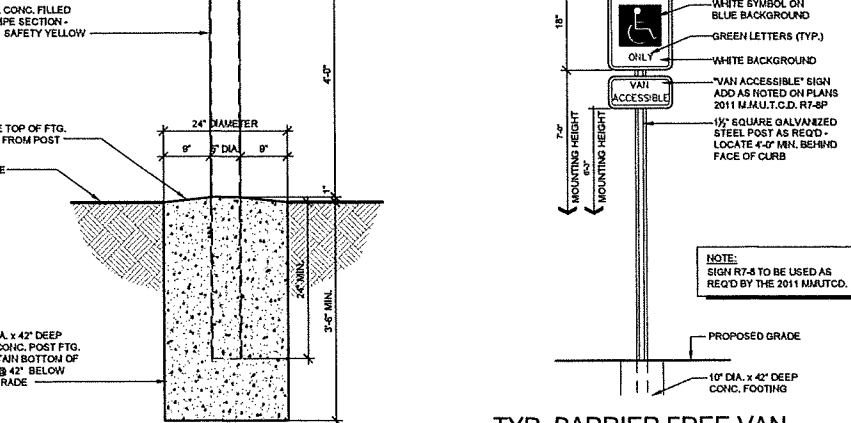
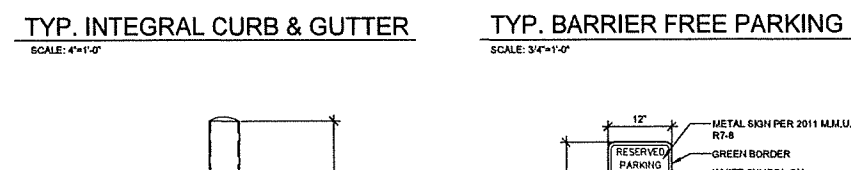
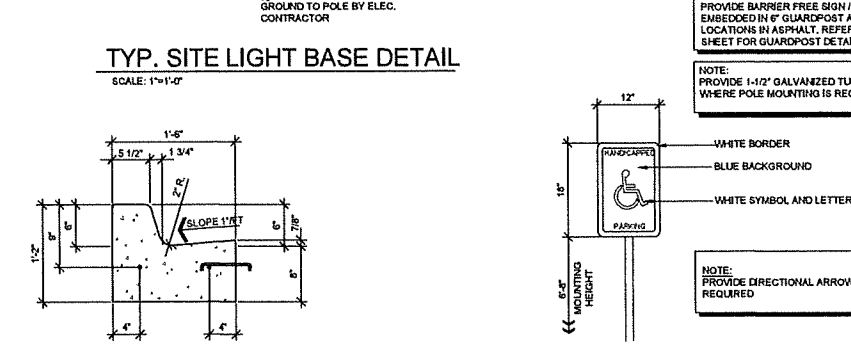
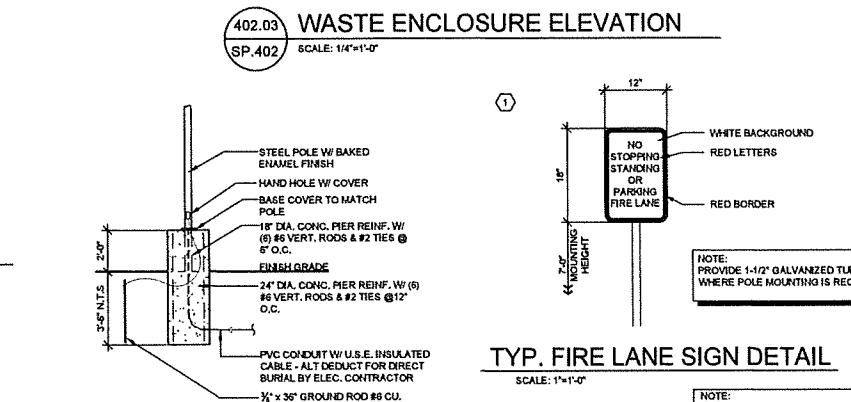
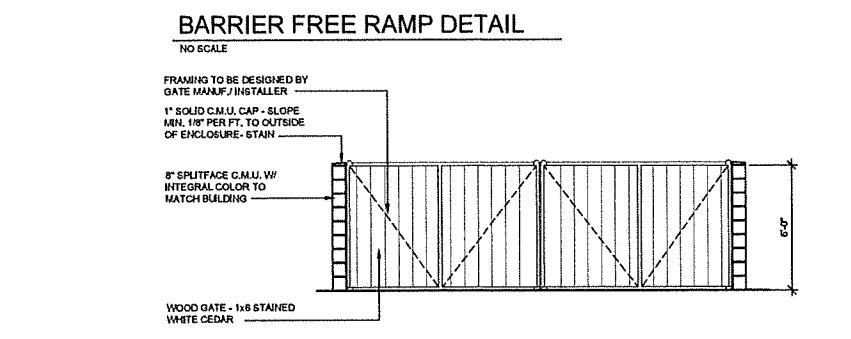
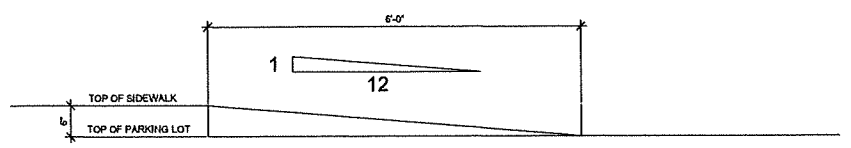
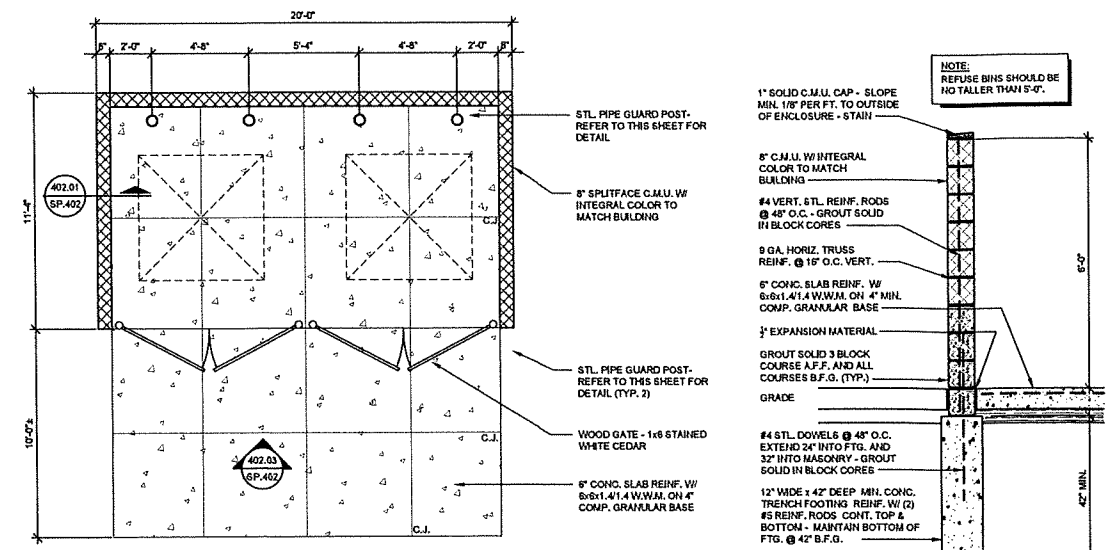
**SITE DETAILS**

Project no.

2002-17

Sheet no.

SP.401



NOTE: SHOULD ANY FUTURE TENANT SPACE BE A RESTAURANT OR SIMILAR USE AND HAVE AN AREA GREATER THAN 5,000 S.F. OR AN OCCUPANT LOAD OF 100 OR GREATER, A FIRE SUPPRESSION SYSTEM WILL BE REQUIRED PER SECTION 903.1.1.2.

NOTE: SAFETY GLAZINGS MUST HAVE PERMANENT IDENTIFICATION IN ACCORDANCE WITH SECTION 2406.1.1 OF THE 2015 MICHIGAN BUILDING CODE.

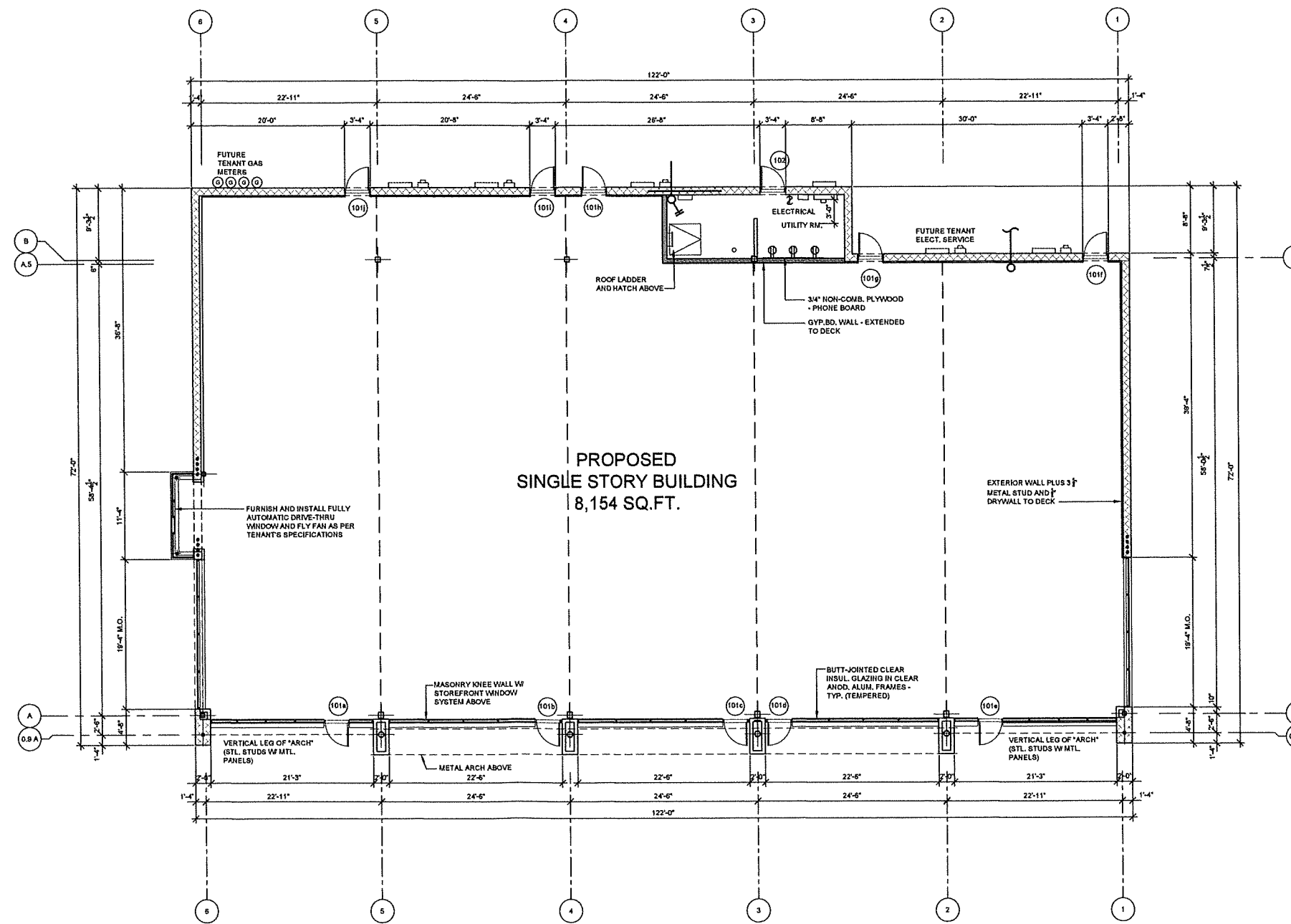
NOTE: ALL ENTRANCE AND EXIT DOORS HAVE BARRIER FREE ACCESSIBILITY.

**WALL LEGEND**

INTERIOR GYP. BD. TO HAVE A LEVEL IV FINISH AT ALL GYP. BOARD SURFACES AS CALLED OUT ON SHEET A.116. REFER TO CHAPTER 5 OF 'USG GYPSUM CONSTRUCTION HANDBOOK' FOR FINISH DEFINITIONS.

TENANT DEMISHING WALLS:  
1 HR. RATED WALL TO COMPLY W/ UL # 412.  
W/ (2) LAYERS OF 1/2" GYP. BD. TYPE 'X' EACH SIDE OF 3 5/8" MTL. STUD FRAMING @ 16" O.C. WALLS TO EXTEND TO DECK ABOVE. PROVIDE FIRE CAULK @ ALL WALL PENETRATIONS AND AT FLOOR DECK ABOVE.

EXTERIOR WALLS:  
REINF. CONC. MASONRY WALL  
- REFER TO ELEVATIONS, SECTIONS AND NOTE BOX FOR FINISHES



PROPOSED  
SINGLE STORY BUILDING  
8,154 SQ. FT.

Project title

PROPOSED BUILDING FOR:  
**HAMPTON PLAZA  
OUTLOT**

ROCHESTER ROAD  
ROCHESTER HILLS, MICHIGAN

Issued dr/ch

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**FLOOR PLAN**



Project no.

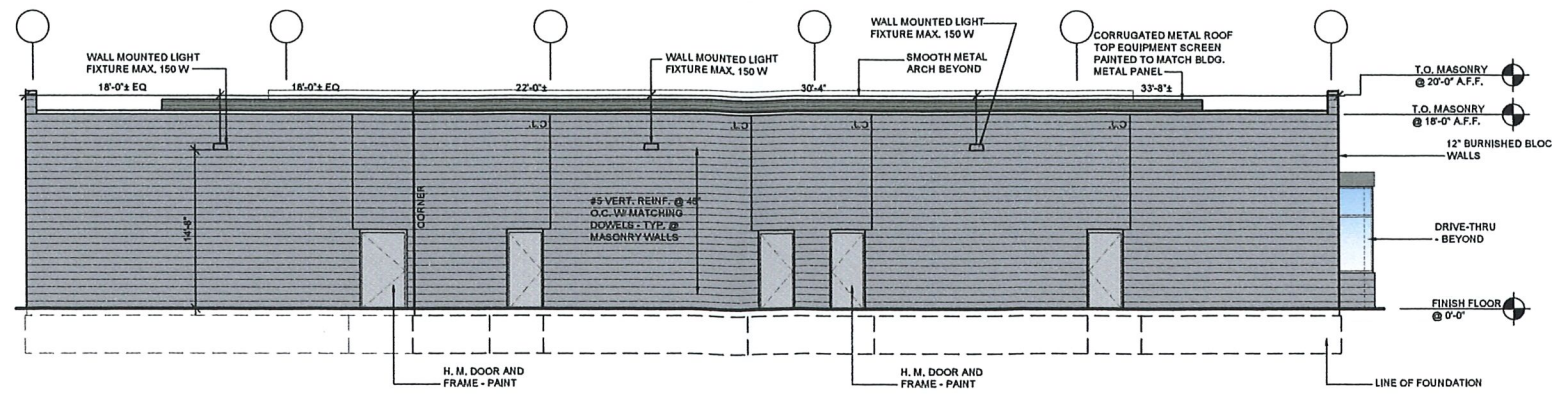
2002-17

CITY FILE #: 18-002

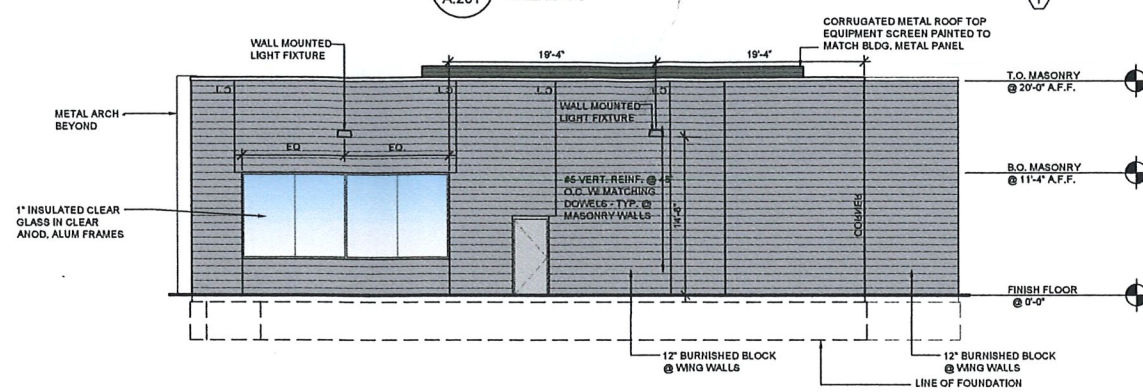
NORTH  
**FLOOR PLAN**  
SCALE: 1/8"=1'-0"

Sheet no.

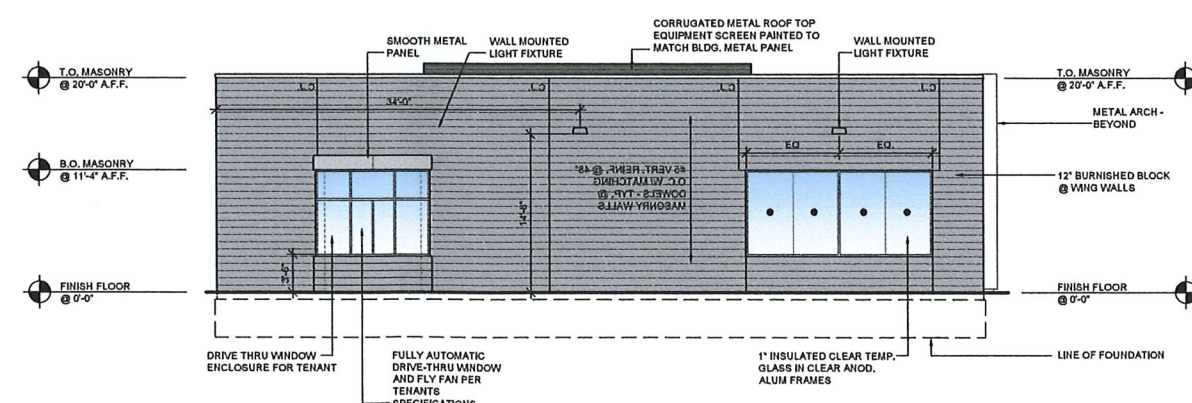
A.101



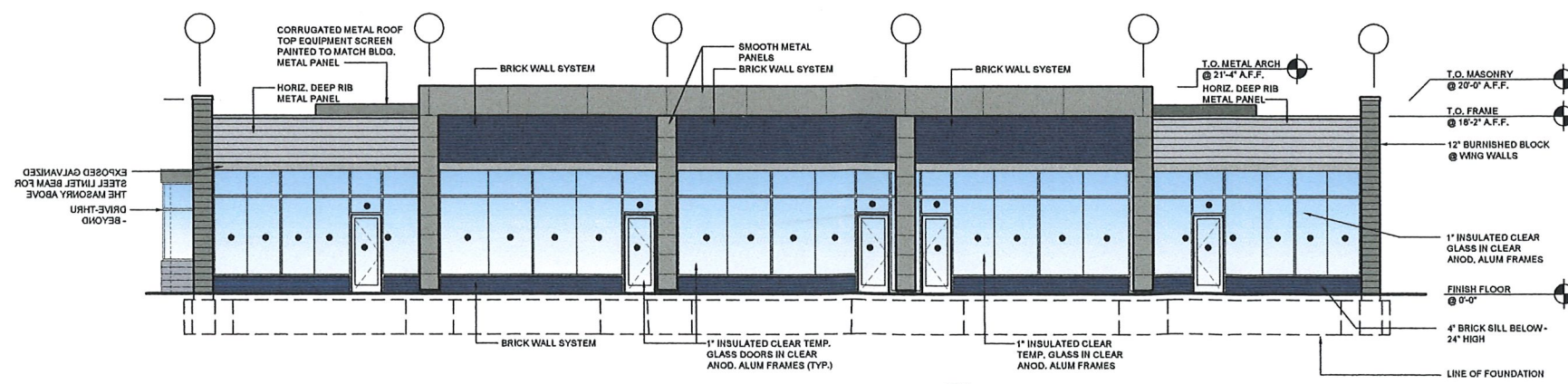
201.04 EAST ELEVATION  
A.201 SCALE: 1/8"=1'-0"



201.02 SOUTH ELEVATION  
A.201 SCALE: 1/8"=1'-0"



201.03 NORTH ELEVATION  
A.201 SCALE: 1/8"=1'-0"



201.01 WEST ELEVATION  
A.201 SCALE: 1/8"=1'-0"

NOTES:  
● INDICATES TEMPERED GLASS

● DENOTES CLEAR TEMPERED GLASS

CONSTRUCTION NOTE SCHEDULE

GENERAL NOTES	
1.	ALL MATERIALS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS U.N.C.
2.	REFER TO SHEET A.201 FOR EXTERIOR MATERIAL & FINISH SCHEDULES.
3.	REFER TO STRUCTURAL SHEETS FOR ALL STEEL AND REINF. SIZES.
4.	ALL DETAILED SPECIFICATIONS MAY BE REPLACED BY 'EQUAL' PRODUCTS UPON APPROVAL BY ARCHITECT.
5.	ALL WELDED CONNECTIONS AT GALV. STEEL TO BE DONE IN SHOP PRIOR TO GALVANIZING. ALL FIELD CONNECTIONS OF GALV. STEEL TO BE BOLTED CONNECTIONS. ALL EXPOSED GALV. STEEL TO HAVE NO MORE THAN 1" IN 20'-0" CUP OR WARP. FINISH ON ALL EXPOSED GALV. STEEL TO BE INSPECTED PRIOR TO ERECTION BY OWNER & ARCHITECT.
6.	ALL WELDS ON A.E.S.S. TO BE FULL CONTINUOUS (J.L.O.) & GROUND SMOOTH. ALL CONSTRUCTION AND FINISHES INCLUDING WELDS ON A.E.S.S. TO BE COMPLETED TO THE SATISFACTION OF THE ARCHITECT.
3 CONCRETE	
3a	FUTURE 4" CONC. SLAB REINF. W/ 8#x14 @ 14" W/W.M. ON MIN. 10" MIN. VAPOR BARRIER W/ 5" OVERLAPPED TAPED SEAMS BY STEEL WRAP OR APPROVED EQ.) ON MIN. 4" COMPACTED GRANULAR BASE
4 MASONRY	
4a	4" UTILITY BRICK VENEER AND AIRSPACE (WIDTH VARIES) WITH #1100 HOT DIP GALV. TYPE 3 ADJ. BRICK TIES BY "VIRE BOND" AT 16" O.C. VERT. AND 16" O.C. HORIZ. - MANUFACTURED BY ENCOITT - SMOOTH W/ S.G.S. COLORED MORTAR COLOR: S.G.S. 9TH - PROVIDE SAMPLE FOR APPROVAL
4b	① VISIBLE AREAS - 12" or 4" INTEGRAL COLOR BURNISHED AND SPLITFACE CONCRETE MASONRY W/ COLORED MORTAR TO MATCH BY GRAND BLANG CEMENT PRODUCTS OR APPROV. EQ. W/ INTEGRAL WATER REPELLANT ADMIXTURE REINF. W/ HOT DIP GALV. 8 GA. HORIZ. TRUSS REINF. AT 16" O.C. VERT. - GROUT SOLID @ BOTTOM COURSE & VERT. REINFORCING LOCATIONS - REFER TO STRUCTURAL FOR VERT. REINF. SIZE & SPACING - PROVIDE INSULATION INSERTS BY KORTIL OR APPROVED EQ. AND A FIELD APPLIED CLEAR SEALER PER MANUF. - PROVIDE SAMPLES FOR APPROVAL
4c	STANDARD C.M.U. REINF. W/ HOT DIP GALV. 8 GA. HORIZ. TRUSS REINF. AT 16" O.C. VERT. - REFER TO STRUCTURAL SHEETS FOR VERT. REINF.
4d	BID ALT.: PROVIDE C.M.U. BOND BEAM REINF. W/ (2) CONT. #5 REINF. RODS (OVERLAP DISCONTINUOUS ENDS) - GROUT SOLID - FINISH TO MATCH MASONRY 4b
5 METALS	
5a	1/2" VERT. FACE 22GA. ANOD. ALUM. FLASH/SILL TO MATCH ADJACENT SURFACE - CONT. CAULK ALONG EDGE INTERIOR & EXTERIOR - ALL SILL JOINTS TO OCCUR @ C.L. OF VERTICAL MULLIONS (TYP.)
5b	ALUM. CAP FLASH - FINISH TO MATCH ADJACENT SURFACE W/ 4" VERTICAL FACE BY ROOFING CONTRACTOR - CONT. CAULK ALONG EDGES OF FLASH
5c	COMPOSITE ALUMINUM PANEL SYSTEM SIMILAR OR EQUAL TO "DR-DESIGN PAINTED ALUMINUM" KYMAR MCA 70% 3-COAT OR ARCHITECT AND OWNER APPROVED EQUAL. PROVIDE WALL MTD. GALV. METAL HAT CHANNELS AS REQUIRED - VERIFY EXACT LOCATIONS W/ METAL PANEL MANUFACTURER. PROVIDE VAPOR BARRIER, CLIPS AND ALL MOUNTING HARDWARE AS REQD.
5d	CORRUGATED METAL PANEL SIM. OR EQUAL 20 GA. 3" ECONOLAP ALUMINUM PANEL WITH #9946 SILVERSMITH MCA KYMAR FINISH BY "CENTRIA" OR ARCHITECT APPROVED EQUAL. HANG HORIZONTALLY WITH EXPOSED STAINLESS STEEL FASTENERS AND HARD RUBBER WASHERS AT 16" O.C. - PROVIDE MITRED / FACTORY WELDED CORNERS
5e	ALUM. WRAP TO MATCH GLASS FRAMES. SECURE WITH NO EXPOSED FASTENERS OVER "TYVEK" COMMERCIAL WRAP MOISTURE BARRIER W/ "TYVEK" TAPE ON EXT. FACE OF 3" (J.L.O.) "SHEETROCK" EXT. SHEATHING ON METAL STUD FRAMING @ 16" O.C.
7 THERMAL AND MOISTURE	
7a	45 MIL. MEMBRANE EPDM MECHANICALLY FASTENED ROOF SYSTEM OVER MIN. R-23 RIGID ISOCYANURATE BOARD W/ STAGGERED JOINTS. MECHANICALLY FASTENED TO 1-1/2" TYPE 304 PRINED MET. ROOF DECK - TACK WELD DECK TO STL JOIST, BEAM OR ANGLE (SLOPE BUILDING MIN. 1/4" PER FT.)
7b	THRU-WALL FLEXIBLE MEMBRANE BY "PERMA-BARRIER" W/ 6 S.S. DRIP EDGE (PREFINISHED TO MATCH ADJACENT SURFACE) FLASH W/ 3/8" x 2" HEAD JOINT WEEP HOLES AT 24" O.C. - PROVIDE PLASTIC WEEP INSERTS 200SG BY WARE BOND
8 DOORS AND WINDOWS	
8a	1" EXTERIOR GLASS ASSEMBLY IN ANOD. ALUM. FRAMES SIM. OR EQUAL TO TRIFAB VG 451T FRONT SET BY KAWNEER - PROVIDE VERTICAL BUTT JOINTS AND/OR FRAMES AS SHOWN VISION GLASS SHALL HAVE 1/2" THICK CLEAR FLOAT GLASS ANNEALED EXT. PANEL OVER 1/2" CLEAR FLOAT GLASS INT. PANEL SHADE COEFFICIENT: _____ SPANDREL PANELS (TRANSLUCENT) GLASS SHALL HAVE 1/2" THICK CLEAR FLOAT GLASS ANNEALED EXT. PANEL OVER 1/2" THICK GLASS INTERIOR PANELS W/ PVB INTERLAYER. 000 TYLE WHITE BY CLUBAK CORP. OR APPROVED EQUAL

PROPOSED BUILDING FOR:  
**HAMPTON PLAZA OUTLOT**

ROCHESTER ROAD  
ROCHESTER HILLS, MICHIGAN

Issued dr/oh

SITE PLAN REVIEW	11.14.17
SITE PLAN REVIEW	12.29.17
1) PER CITY REVIEW	03.09.18
REV. PER CITY	03.13.19
2) REVISED PER CITY	06.19.19

Sheet title  
**ELEVATIONS**



Project no.  
**2002-17**

Sheet no.  
**A.201**

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