

LOCATION MAP
NO SCALE

LEGEND

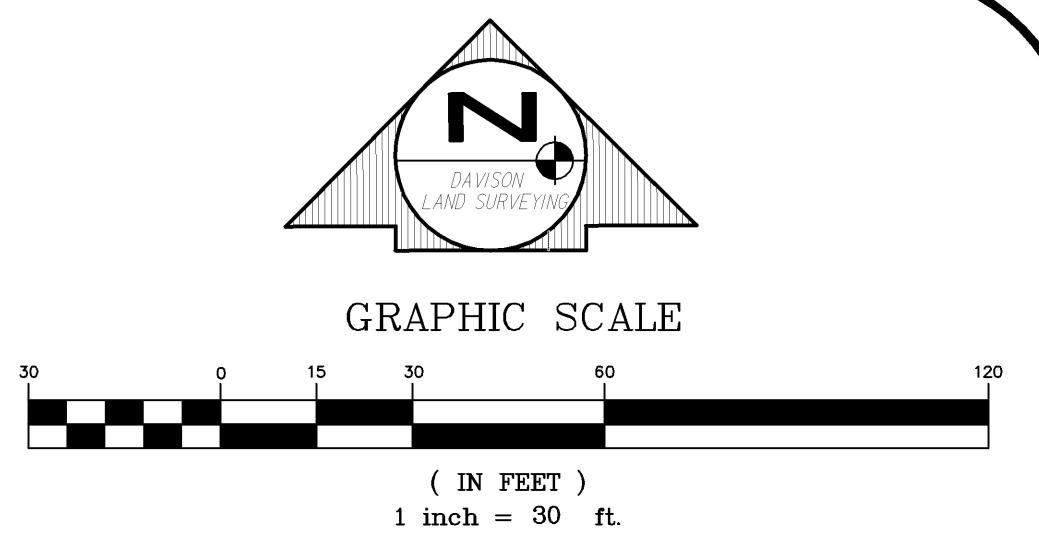
EXISTING	PROPOSED
● FOUND IRON SET MARK	○ RECORDED MEASURES
○ FOUND MONUMENT	○ CALCULATED
□ SET MONUMENT	● SECTION CORNER
ST STORM SEWER & MANHOLE	ST STORM SEWER & MANHOLE
SS SANITARY SEWER & MANHOLE	SS SANITARY SEWER & MANHOLE
W WATERMAIN, HYDRANT, & GATE VALVE	W WATERMAIN, HYDRANT, & GATE VALVE
D GAS MAIN & VALVE	D GAS MAIN & VALVE
B BURIED TELEPHONE (MISS DIG MARKERS -)	B BURIED TELEPHONE (MISS DIG MARKERS -)
E OVERHEAD ELECTRIC POLE, & QTY WIRE	E OVERHEAD ELECTRIC POLE, & QTY WIRE
G GATCH BASIN (CURB & ROUND)	G GATCH BASIN (CURB & ROUND)
CL CONTOUR LINE	CL CONTOUR LINE
FR FENCE	FR FENCE
SH SHED RAIL	SH SHED RAIL
M WELL	M WELL
LP LIGHT POLE	LP LIGHT POLE
SO SIGN	SO SIGN
ST STREET SIGN	ST STREET SIGN
MA MAILBOX	MA MAILBOX
C CONC CONCRETE	C CONC CONCRETE
A S P H ASPHALT	A S P H ASPHALT

PROJECT INFORMATION

ITEM	REQUIRED	PROVIDED
ZONING & USE	PLANNED & VACANT	PLANNED & HOTEL
SITE ACREAGE	N/A	2.82 AC.
BUILDING COVERAGE	N/A	±15.2% (±0.43 AC.)
PARKING, DRIVE & FIRE LANE COVERAGE	N/A	±44.3% (±1.25 AC.)
BUILDING FOOTPRINT, TYPE & USE GROUP	SEE ARCHITECTURAL PLAN	
FRONT BLDG SETBACK	10'	75.7' TO CANOPY
SIDE BLDG SETBACK	10' & 25'	24' & 96.0'
REAR BLDG SETBACK	50'	85'
PARKING SETBACK	10' GREENBELTS	10' OR MORE SEE PLAN
PARKING SPACES	SEE NOTES *	SEE NOTES *



SITE SIGN NOTE
ALL SIGNS TO CONFORM TO THE TERMS OF THE EXISTING CONSENT JUDGMENT



***PARKING CALCULATION FOR HOTEL**
1.1 SPACE PER GUEST ROOM WITH 83 ROOMS = 91.3
TOTAL = 92 REQUIRED WITH 92 PROVIDED (INCLUDES 4 BARRIER FREE)

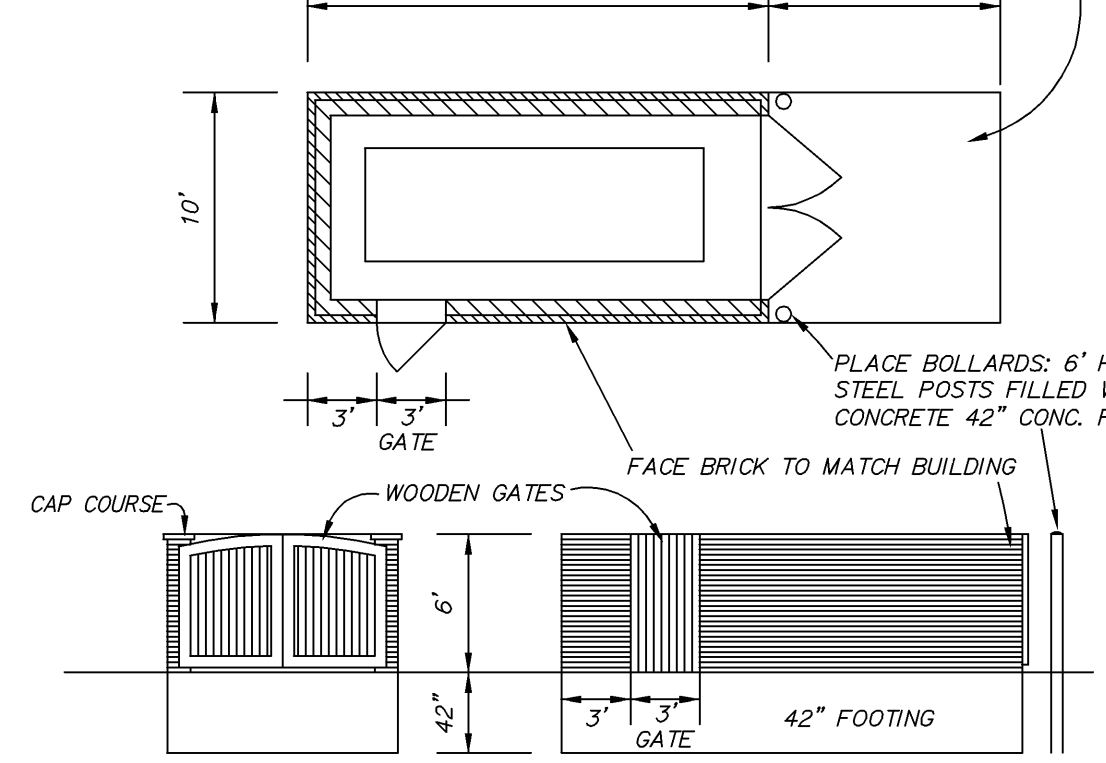
WATERMAIN NOTE
PROVIDE SPLIT FOR SEPARATE 4" DOMESTIC LEAD & 6" FIRE SUPPRESSION LEAD. EXTEND EXISTING 6" HYDRANT LEAD & RELOCATE HYDRANT PER CITY REQUIREMENTS. PLACE FIRE DEPARTMENT CONNECTION AS REQUIRED BY CITY.

WATERMAIN NOTE
CONNECT TO EXISTING WATERMAIN AND PROVIDE NEW 8" WATERMAIN FOR SOUTHWEST HYDRANT PER CITY. PROVIDE EASEMENT.

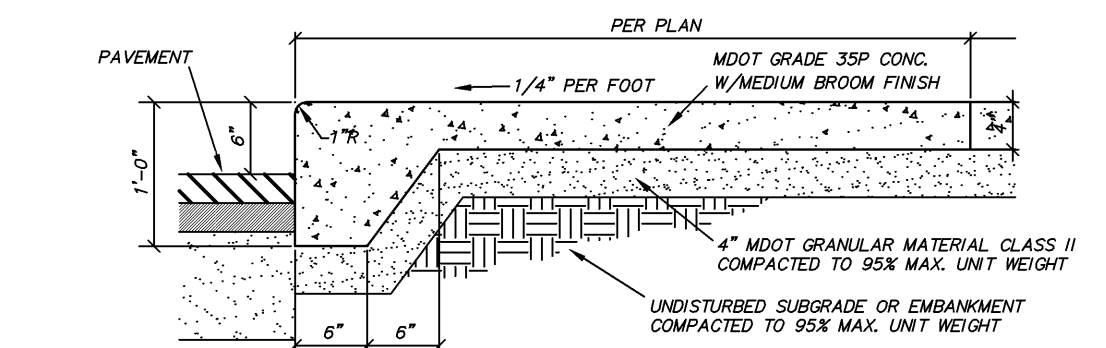
SANITARY SEWER NOTE
USE EXISTING 6" SANITARY LEAD, PROVIDE SEPARATE KITCHEN LEAD (WITH UNDER SINK GREASE TRAP) AND ELEVATOR PIT LEAD (WITH ALARM SHUT OFF) AS REQUIRED BY CODE AND APPROVED BY THE CITY. VERIFY APPROVALS PRIOR TO INSTALLATION. PLACE CLEANOUTS ALONG OUTLET AS REQUIRED BY CODE. COORDINATE WITH PLUMBING PLAN FOR DEPTH.

SANITARY SEWER NOTE
PROVIDE NEW 6" SANITARY SEWER LEAD TAP WITH CLEANOUTS AS REQUIRED BY CODE.

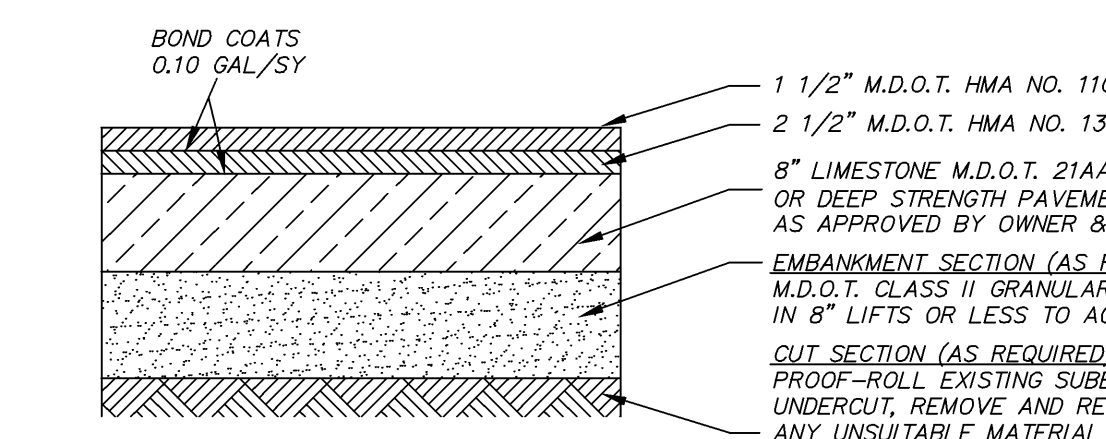
CONCRETE SECTION
6" MDOT GRADE P1 CONCRETE (REINFORCED) OVER 6" LIMESTONE M.D.O.T. (21AA) OVER M.D.O.T. CLASS II GRANULAR FILL IF REQUIRED
20' (REDUCE TO 10' OPTION)



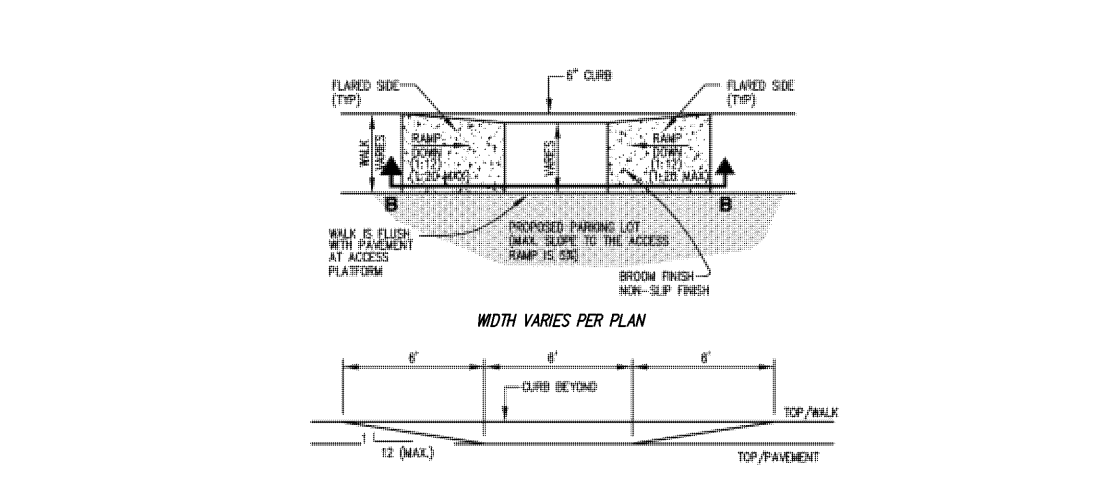
DUMPSTER PAD DETAIL
NO SCALE



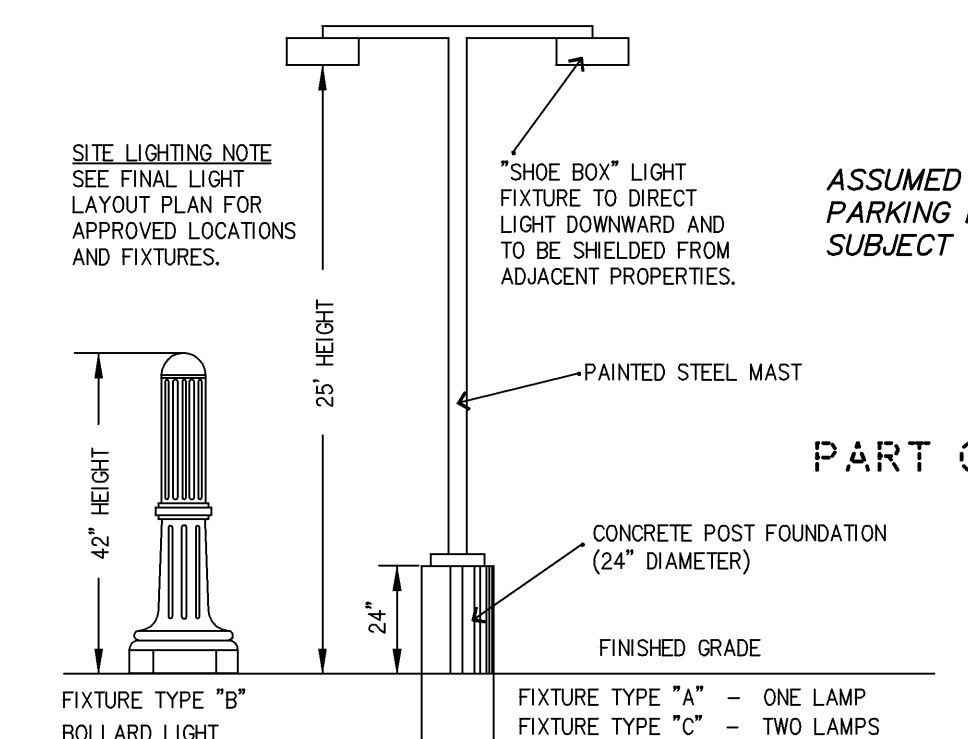
INTEGRAL WALK & CURB DETAIL
NO SCALE



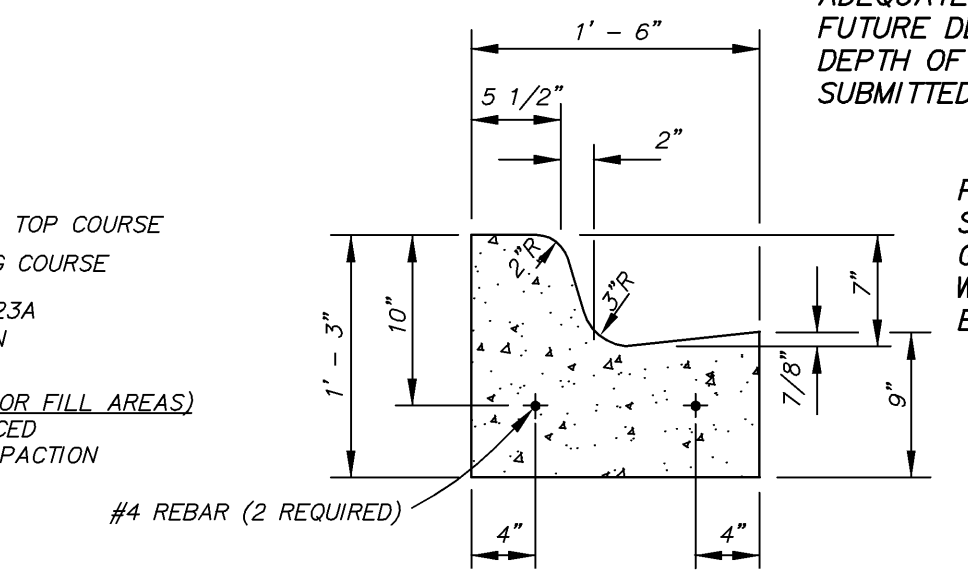
PAVEMENT DETAIL
NO SCALE



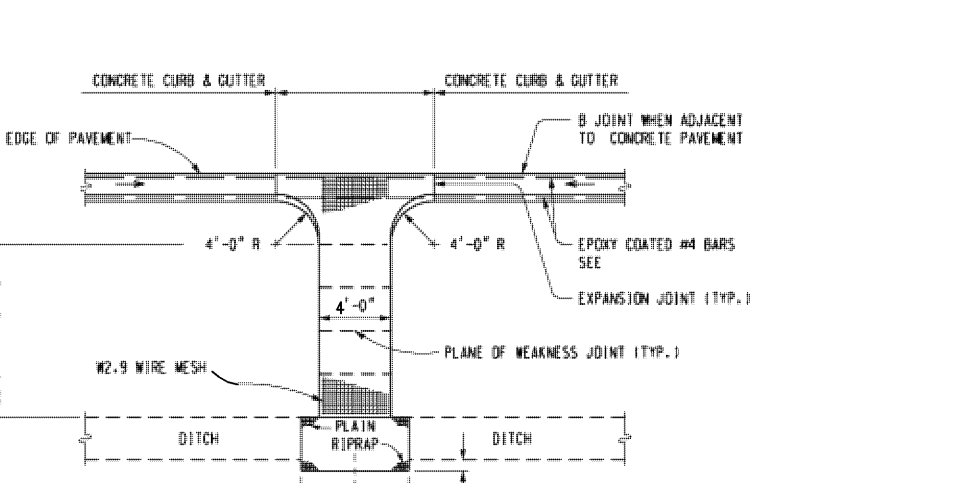
SIDEWALK RAMP DETAIL
NO SCALE



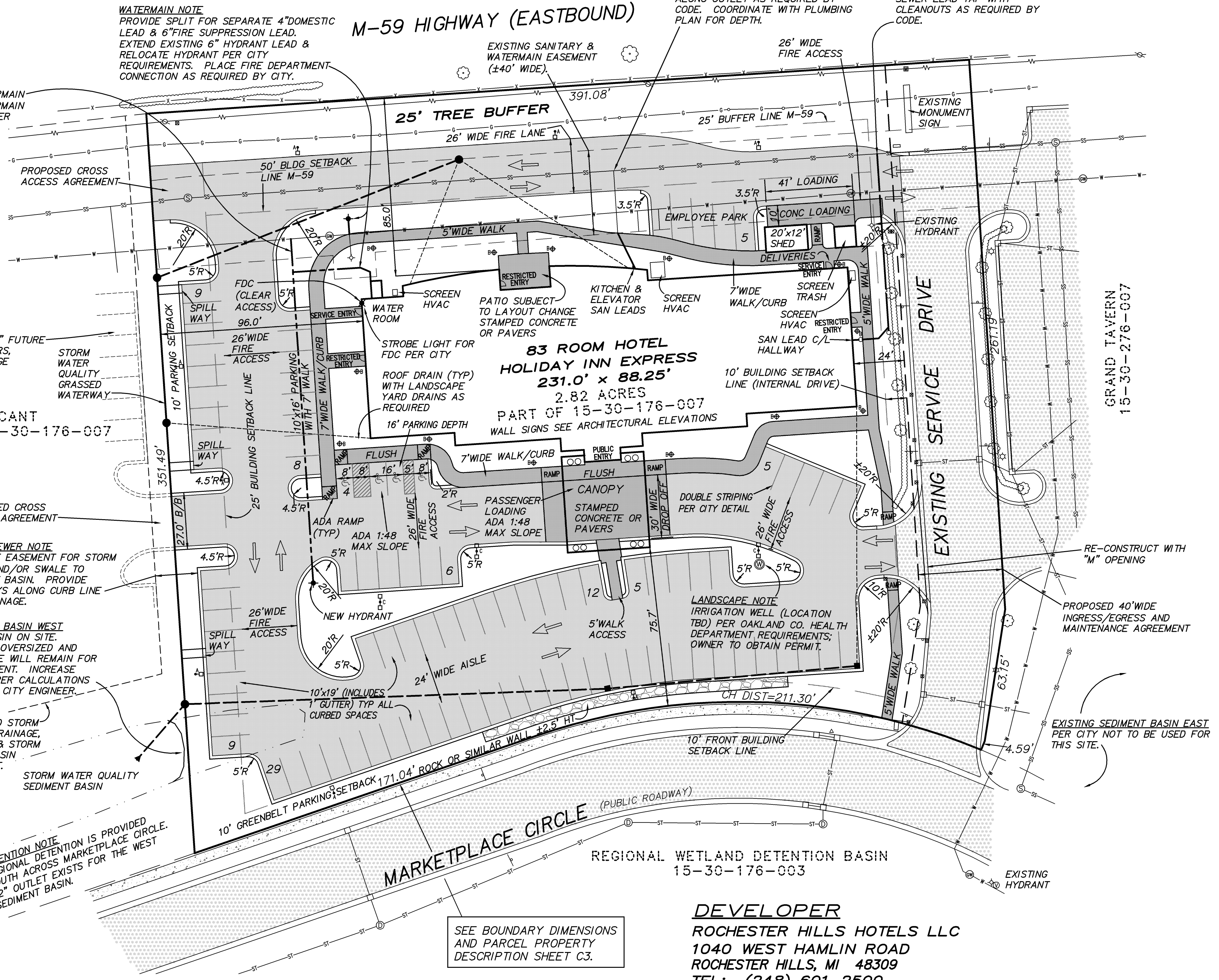
LIGHT DETAIL
NO SCALE



MDOT C-2 CURB DETAIL
ON-SITE CURBED AREAS
NO SCALE (PITCH OUT AS REQUIRED)



CONCRETE SPILLWAY DETAIL
NO SCALE



FIRE DEPARTMENT NOTES

- A Knox key system shall be installed, in a location approved by the Fire Code Official. Ordering information is available from the Rochester Hills Fire Department at (248) 656-4717. IFC 2006 Sec. 506.
- Fire lanes shall be designated by the Fire Code Official, and shall be conspicuously posted on both sides of the fire lane, with fire lane signs, spaced not more than 100 feet apart. Fire lane signs shall read "No Stopping, Standing, Parking, Fire Lane", and shall conform to the Michigan Manual of Uniform Traffic Control Devices. FIRE PREVENTION ORDINANCE Chapter 58, Sec. 503.
- Construction sites shall be safeguarded in accordance with IFC 2006 Chapter 14.
- Open burning is not permitted including the burning of trash, debris, or land clearing materials. Open burning for warming of sand and/or water for the preparation of mortar shall be within the City of Rochester Hills Burn Permit Guidelines. FIRE PREVENTION ORDINANCE Chapter 58, Sec. 307.6.2 & 307.6.2.3.

SEE BOUNDARY DIMENSIONS AND PARCEL PROPERTY DESCRIPTION SHEET C3.

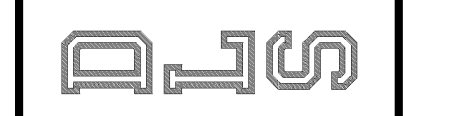
DEVELOPER
ROCHESTER HILLS HOTELS LLC
1040 WEST HAMLIN ROAD
ROCHESTER HILLS, MI 48309
TEL: (248) 601-2500
FAX: (248) 651-0717

SHEET INDEX
C1. SITE PLAN
C2. PRELIMINARY GRADING PLAN
C3. EXISTING CONDITION & SURVEY SKETCH

*NOTE, ARCHITECTURAL PLAN, LANDSCAPE PLAN AND LIGHTING PLAN BY OTHERS

CITY FILE #12-011
NOT TO BE USED AS CONSTRUCTION DRAWINGS

DAVISON LAND SURVEYING, Inc.
1063 South State Street, Suite 9
Davison, MI 48423
Office (810) 653-5969 Fax (810) 658-9388



REVISIONS

No.	Description	Date	By
1	WEST SED BASIN UPDATE & BLDG FOOTPRINT	8-14-12	R.V.
2	PER CITY REVIEW	10-29-12	R.V.

SURVEYOR:
Field: C.L., R.V.
Checked by: W.P.M.
Designed by: R.V.V.
Date: 08/06/12
Date Revised: 10/29/12

JOB No. 12-054
Charles T. Lillieberg P.S. No. 40162

SITE PLAN FOR HOLIDAY INN EXPRESS HOTEL & SUITES
ROCHESTER HILLS HOTELS LLC
SURVEY LOCATION
PART OF THE NW 1/4 SECTION 30, T34N-R11E, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MI

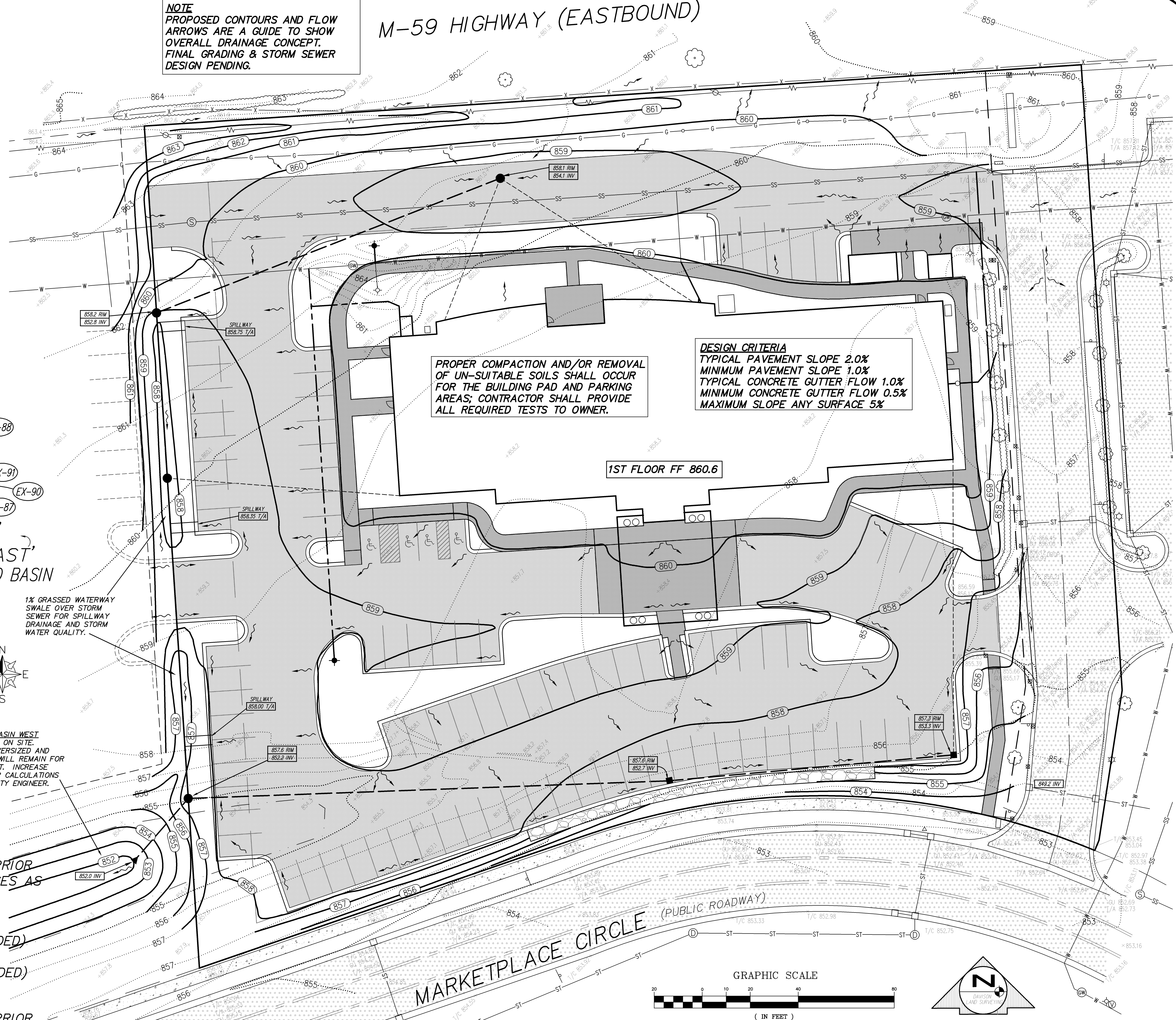
12-054
SHEET NO.
C1 OF 3

LEGEND

Table with 2 columns: EXISTING and PROPOSED. Lists symbols for various utilities and features like storm sewer, water main, gas main, and electrical lines.

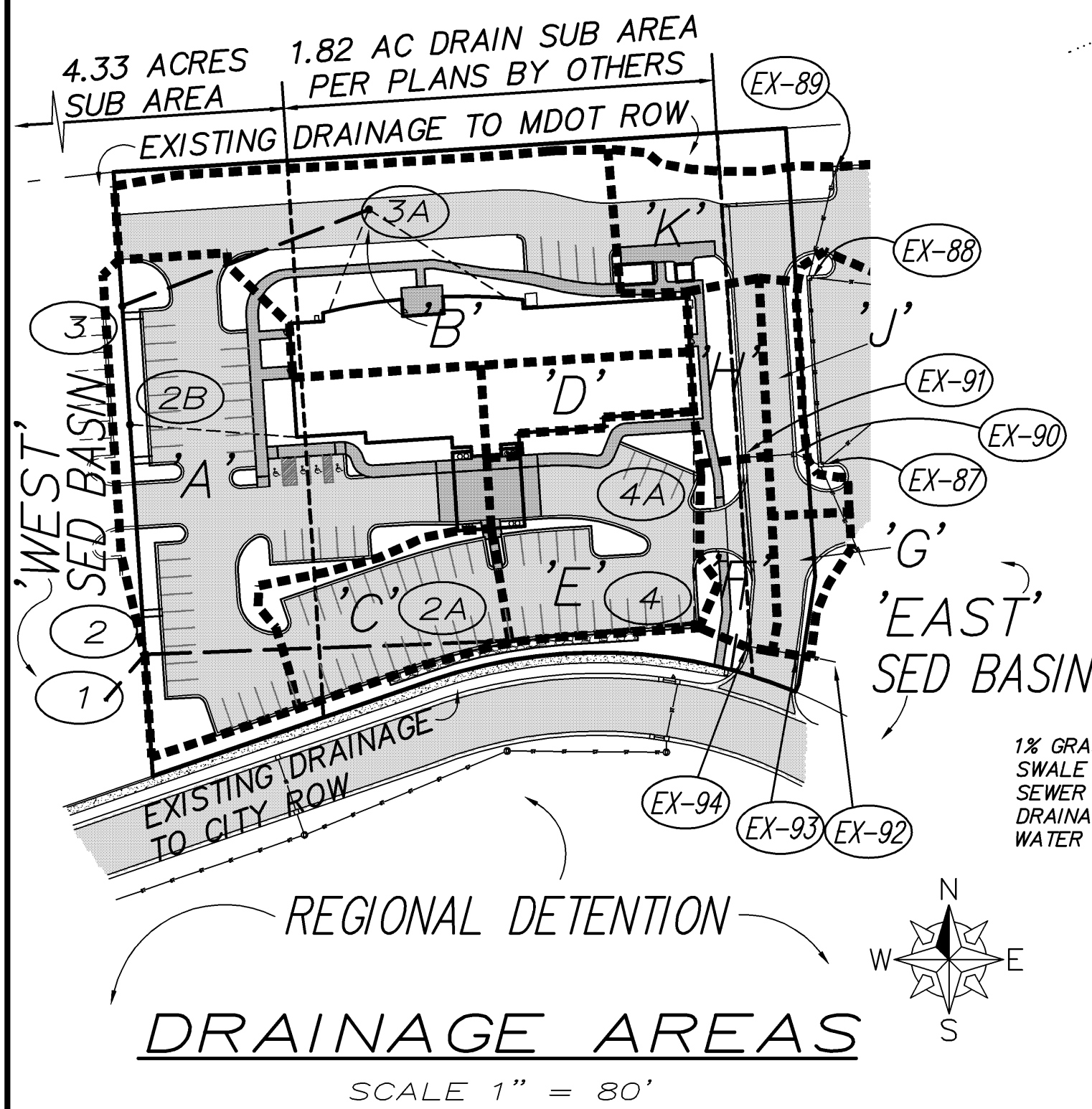
NOTE
PROPOSED CONTOURS AND FLOW
ARROWS ARE A GUIDE TO SHOW
OVERALL DRAINAGE CONCEPT.
FINAL GRADING & STORM SEWER
DESIGN PENDING.

M-59 HIGHWAY (EASTBOUND)

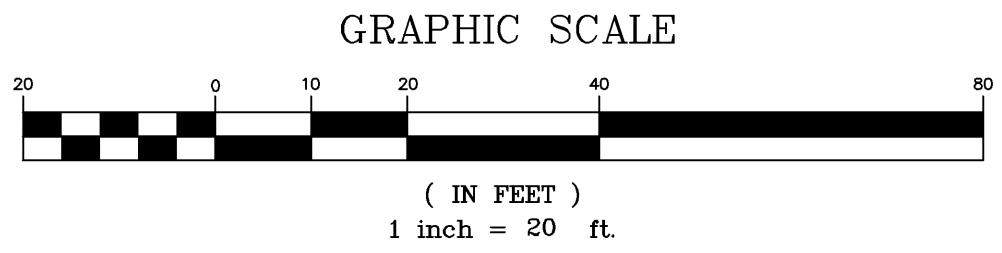


PROPER COMPACTION AND/OR REMOVAL
OF UN-SUITABLE SOILS SHALL OCCUR
FOR THE BUILDING PAD AND PARKING
AREAS; CONTRACTOR SHALL PROVIDE
ALL REQUIRED TESTS TO OWNER.

DESIGN CRITERIA
TYPICAL PAVEMENT SLOPE 2.0%
MINIMUM PAVEMENT SLOPE 1.0%
TYPICAL CONCRETE GUTTER FLOW 1.0%
MINIMUM CONCRETE GUTTER FLOW 0.5%
MAXIMUM SLOPE ANY SURFACE 5%



- DRAINAGE AREAS
'A' = 0.94 ACRES TO SWALE
'B' = 0.70 ACRES
'C' = 0.22 ACRES
'D' = 0.11 ACRES
'E' = 0.31 ACRES
TOTAL FROM HOTEL TO WEST SED BASIN = 2.18 ACRES
TOTAL TO WEST SED BASIN 6.15 ACRES PER PRIOR CHILI'S PLAN BY OTHERS FOR DESIGN PURPOSES AS REQUIRED BY THE CITY
TOTAL = 6.15 ACRES ULTIMATE WEST BASIN
'F' = 0.11 ACRES (OF WHICH 0.06 AC NEW ADDED)
'G' = 0.06 ACRES
'H' = 0.10 ACRES (OF WHICH 0.05 AC NEW ADDED)
'J' = 0.08 ACRES
'K' = 0.11 ACRES NEW ADDED
TOTAL TO EAST SED BASIN 3.55 ACRES PER PRIOR CHILI'S PLAN BY OTHERS PLUS 0.22 AC FOR SERVICE DRIVE ENTRANCE CONNECTIONS
'NEW' TOTAL = 3.77 ACRES ULTIMATE EAST BASIN



CITY FILE #12-011
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Office (810)653-5969 Fax (810)658-9388

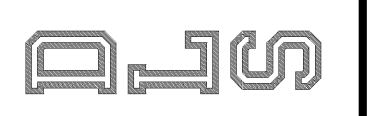


Table with 4 columns: No., Description, Date, By. Lists revisions to the drawing.

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SURVEYOR:
Drawn by: R.J.V. Field: C.L., R.V.
Designed by: R.J.V. Checked by: W.P.M.
Date: 08/06/12 Date Revised: 10/29/12
Charles T. Lillieberg P.S. No. 40162
JOB No. 12-054

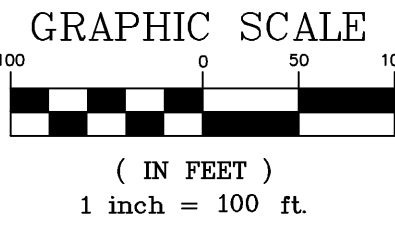
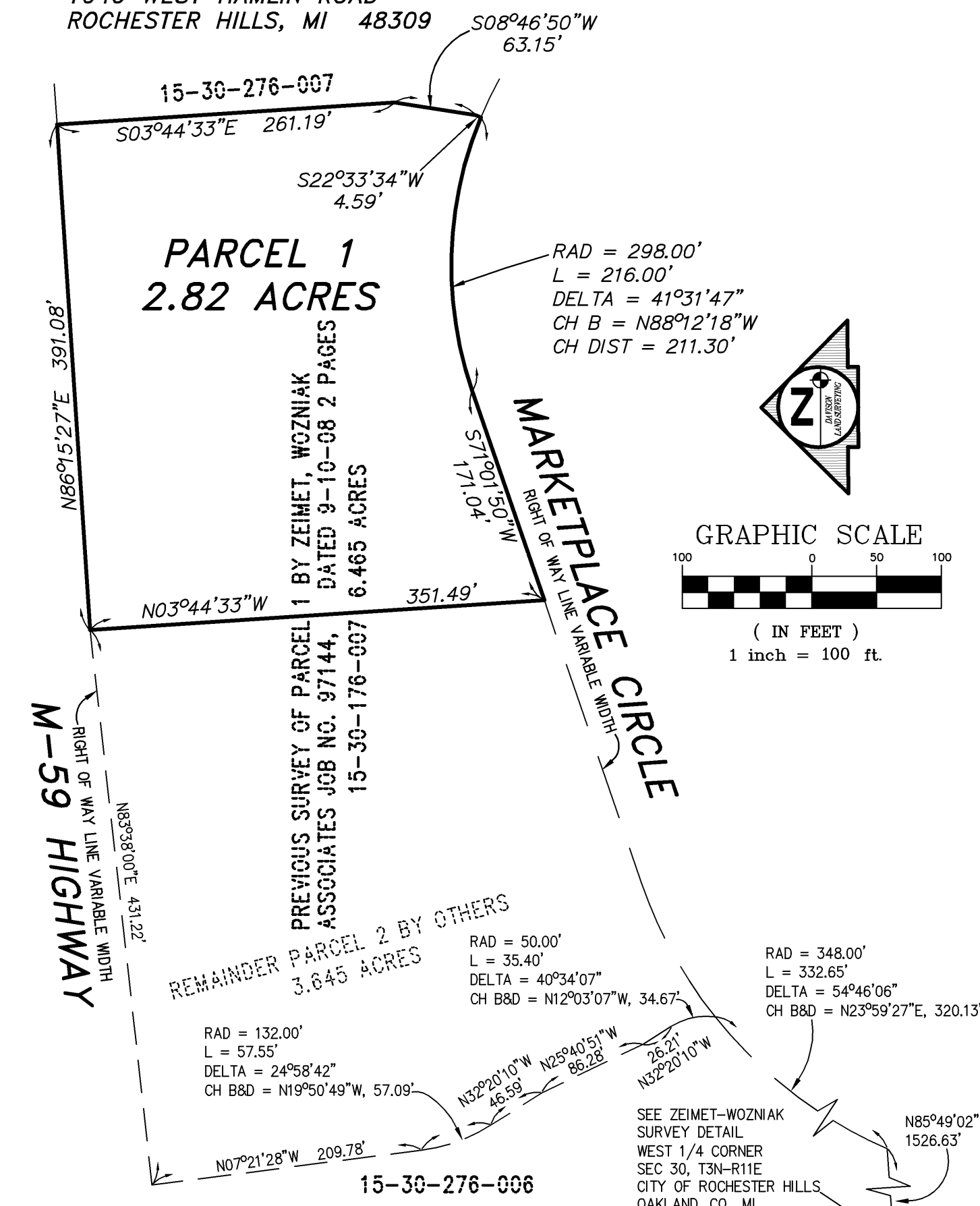
PRELIMINARY GRADING PLAN FOR
HOLIDAY INN EXPRESS
HOTEL & SUITES
ROCHESTER HILLS HOTELS LLC
SURVEY LOCATION
PART OF THE NW 1/4, SECTION 30, T34N-R11E,
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MI

12-054
SHEET NO.
C2 OF 3

PARCEL 1 SKETCH

For: **ROCHESTER HILLS HOTELS LLC**
1040 WEST HAMLIN ROAD
ROCHESTER HILLS, MI 48309

JOB No. 12-054



BEARINGS ARE REFERENCED TO:
ZEIMET, WOZNIAK & ASSOCIATES JOB NO. 97144, DATED 9-10-08 (2 PAGES).

NOTES
DRAWING AND DESCRIPTION FROM AVAILABLE RECORDS ONLY; FIELD SURVEY NOT COMPLETED AT THIS TIME BY DLS.
TITLE WORK NOT PROVIDED, EASEMENTS OR RESTRICTIONS NOT SHOWN.

DAVISON LAND SURVEYING INC.

1063 S. State, Suite 9 Davison, MI 48423
Phone: 810-653-5969 Fax: 810-658-9388

CHARLES T. LILLIEBERG P.S. No. 40162

LEGEND: ○=IRON SET, ●=IRON FOUND, ■=MONUMENT FOUND, x-x=FENCE, (R)=RECORDED, (M)=MEASURED
DATE: 06/28/12, 7/10/12, REV 07/24/12 SCALE: 1" = 100' DRAWN BY: RJV CREW CHIEF: CTL CHECKED BY: RJV SHEET: 1 OF 1

UTILITY WARNING

UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLANS WERE OBTAINED FROM UTILITY OWNERS, AND WERE NOT FIELD LOCATED. A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY "MISS DIG" (1-800-482-7171) AND HAVE ALL UNDERGROUND UTILITIES STAKED BEFORE ANY WORK MAY BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION. THREE (3) WORKING DAYS BEFORE YOU DIG - CALL MISS DIG (1-800-482-7171).

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF FACILITIES ONLY, AS DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANY'S RECORDS. NO GUARANTEE IS EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATION AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN FIELD. DURING CONSTRUCTION, CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR OVERHEAD AND/OR BURIED UTILITIES.



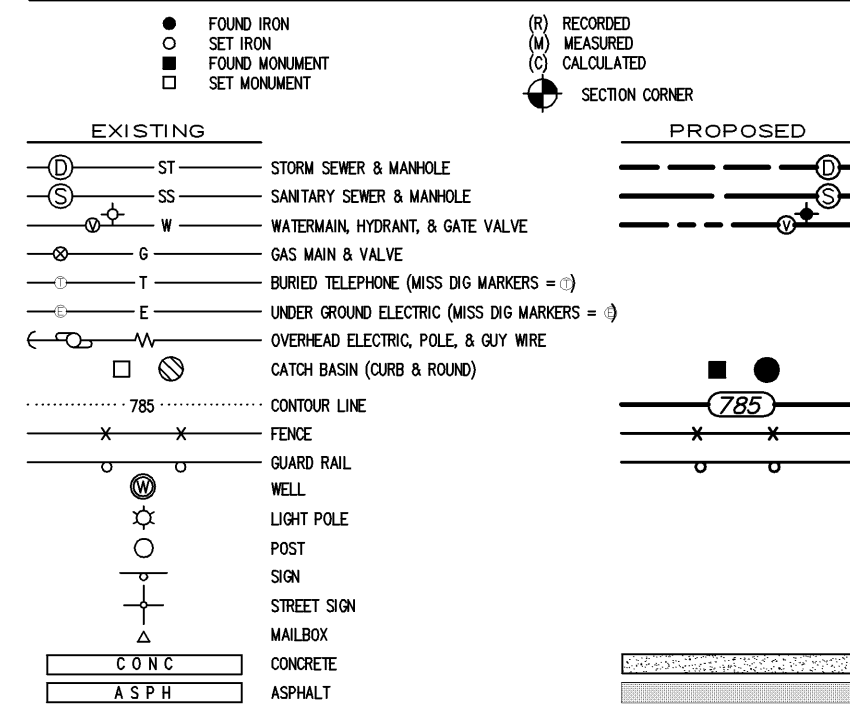
Proposed Description Parcel 1

A parcel of land located in part of the Northwest 1/4 of Section 30, T3N-R11E, City of Rochester Hills, Oakland County, Michigan, more particularly described as:

Commencing at the West 1/4 corner of said Section 30 (as re-monumented) said 1/4 corner being N85°49'02"E 1.93 feet along the westerly extension of the East and West 1/4 line of said Section 30 from a Property Controlling Corner (formerly described as the West 1/4 corner) of Section 30 and proceeding along said East and West 1/4 line N85°49'02"E 1526.63 feet to a point on the Westerly right of way line of Marketplace Circle (variable width); thence along said Westerly right of way line 332.65 feet along the arc of a curve to the right, radius 348.00 feet, central angle 54°46'06" and a chord that bears N23°59'27"E 320.13 feet; thence 35.40 feet along the arc of a curve to the left, radius 50.00 feet, central angle 40°34'07" and a chord that bears N12°03'07"W 34.67 feet; thence N32°20'10"W 26.21 feet; thence N25°40'51"W 86.28 feet; thence N32°20'10"W 46.59 feet; thence 57.55 feet along the arc of a curve to the right, radius 132.00 feet, central angle 24°58'42" and a chord that bears N19°50'49"W 57.09 feet; thence N07°21'28"W 209.78 feet; thence along the Southerly right of way line of M-59 Highway N83°38'00"E 431.22 feet to the POINT OF BEGINNING; thence along said M-59 right of way line N86°15'27"E 391.08 feet; thence leaving said M-59 right of way line S03°44'33"E 261.19 feet; thence S08°46'50"W 63.15 feet; thence S22°33'34"W 4.59 feet to a point on the Northerly right of way line of Marketplace Circle (variable width); thence along said Northerly right of way line the following two (2) courses: 1) 216.00 feet along the arc of a curve to the left, radius 298.00 feet, central angle 41°31'47" and a chord that bears N88°12'18"W 211.30 feet, 2) S71°01'50"W 171.04 feet; thence leaving said Northerly right of way line N03°44'33"W 351.49 feet to the point of beginning. Containing 2.82 acres more or less and being subject to easements and restrictions of record.

Note: Description from available records only. Field survey not completed at this time. Nor was title work provided, easements or restrictions not shown.

LEGEND



GRAPHIC SCALE

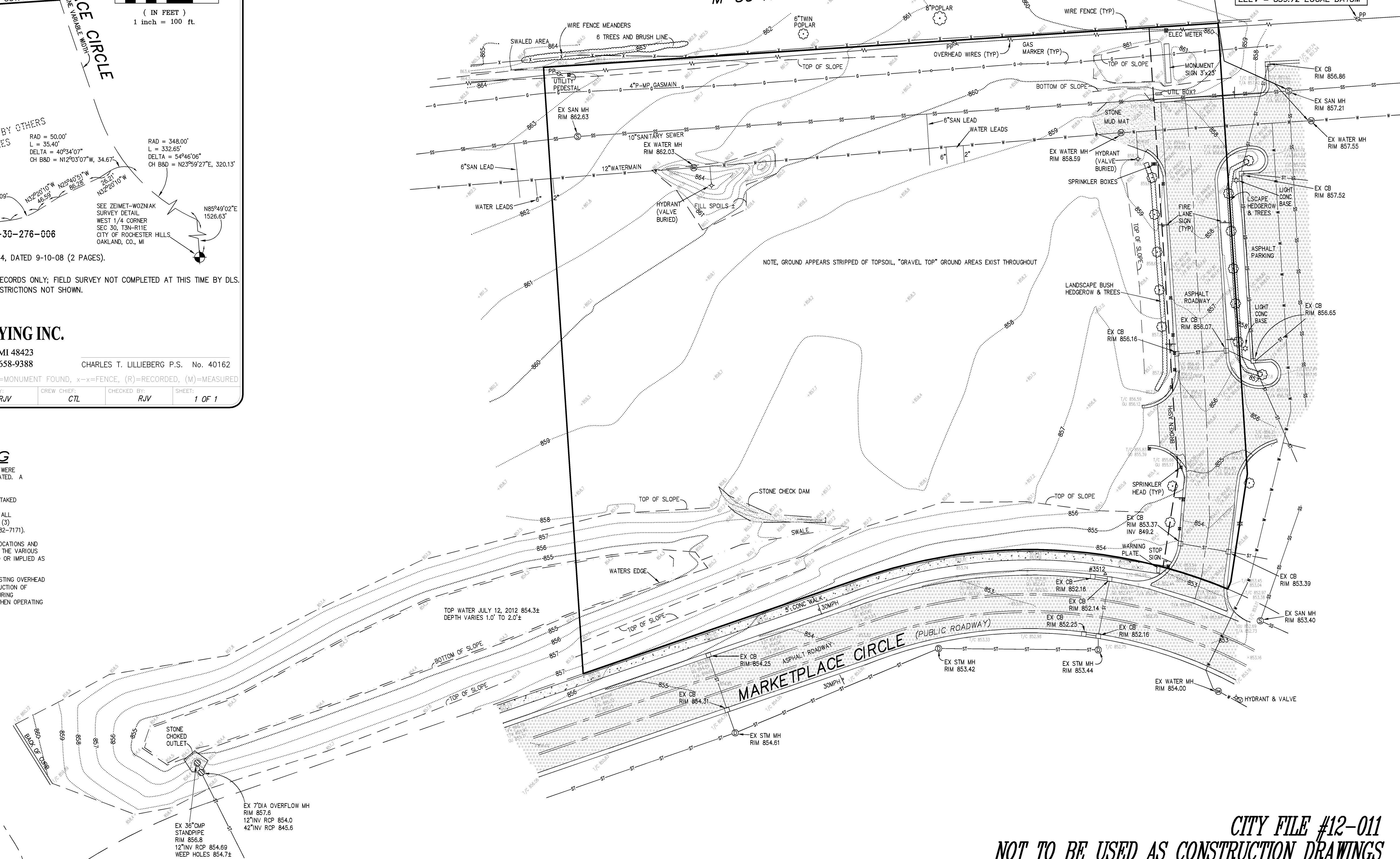


(IN FEET)
1 inch = 30 ft.

REFERENCE BENCHMARK
RIM SAN MANHOLE ELEV = 857.21 AND
RIM WATER MH ELEV = 857.55
FROM CITY FILE 05-030.6 SHEET CE1
"CHILI'S". NOTE, NO DATUM NOTED.

BENCHMARK
NAIL & PLASTIC COVER SOUTH
FACE OF UTILITY POLE
ELEV = 859.72 LOCAL DATUM

M-59 HIGHWAY (EASTBOUND)



REVISIONS

No.	Description	Date	By
1	WEST SED BASIN UPDATE & BLDG FOOTPRINT	8-14-12	RJV
2	PER CITY REVIEW	10-29-12	RJV

SURVEYOR:

Drawn by: R.J.V. Field: C.L., R.V.
Designed by: R.J.V. Checked by: W.P.M.
Date: 08/06/12 Date Revised: 10/29/12
Charles T. Lillieberg P.S. No. 40162
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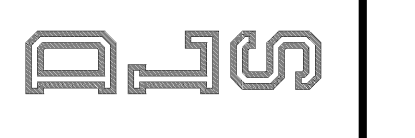
EXISTING CONDITION & SURVEY SKETCH FOR

HOLIDAY INN EXPRESS
HOTEL & SUITES
ROCHESTER HILLS HOTELS LLC
SURVEY LOCATION
PART OF THE NW 1/4 SECTION 30, T3N-R11E,
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MI

12-054
SHEET NO.
C33
OF 3

CITY FILE #12-011
NOT TO BE USED AS CONSTRUCTION DRAWINGS

DAVISON Land Surveying, Inc.
1063 South State Street, Suite 9
Davison, MI 48423
Office (810)653-5969 Fax (810)658-9388





LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
■	HA	5	LITHONIA #KSF2 400M R4SC	Specification Area Luminaire, 400W Metal Halide, R4SC Sharp Cutoff Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	KSF2_400M_R 4SC.ies	38000	0.72	912
■	HB	6	LITHONIA #KSF2 400M R4SC	Specification Area Luminaire, 400W Metal Halide, R4SC Sharp Cutoff Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	KSF2_400M_R 4SC.ies	38000	0.72	456
■	HC	0	LITHONIA #KSF2 400M R3	Specification Area Luminaire, 400W Metal Halide, R3 Reflector, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION	KSF2_400M_R 3.ies	38000	0.72	456
■	HE	4	LITHONIA #KSF2 400S R3 HS	Specification Area Luminaire, 400W High Pressure Sodium, R3 Reflector with house side shield, Full Cutoff MEETS THE NIGHTTIME FRIENDLY CRITERIA	ONE 400-WATT CLEAR ET-18 HIGH PRESSURE SODIUM, HORIZONTAL POSITION.	KSF2_400S_R 3_HS.ies	50000	0.72	468

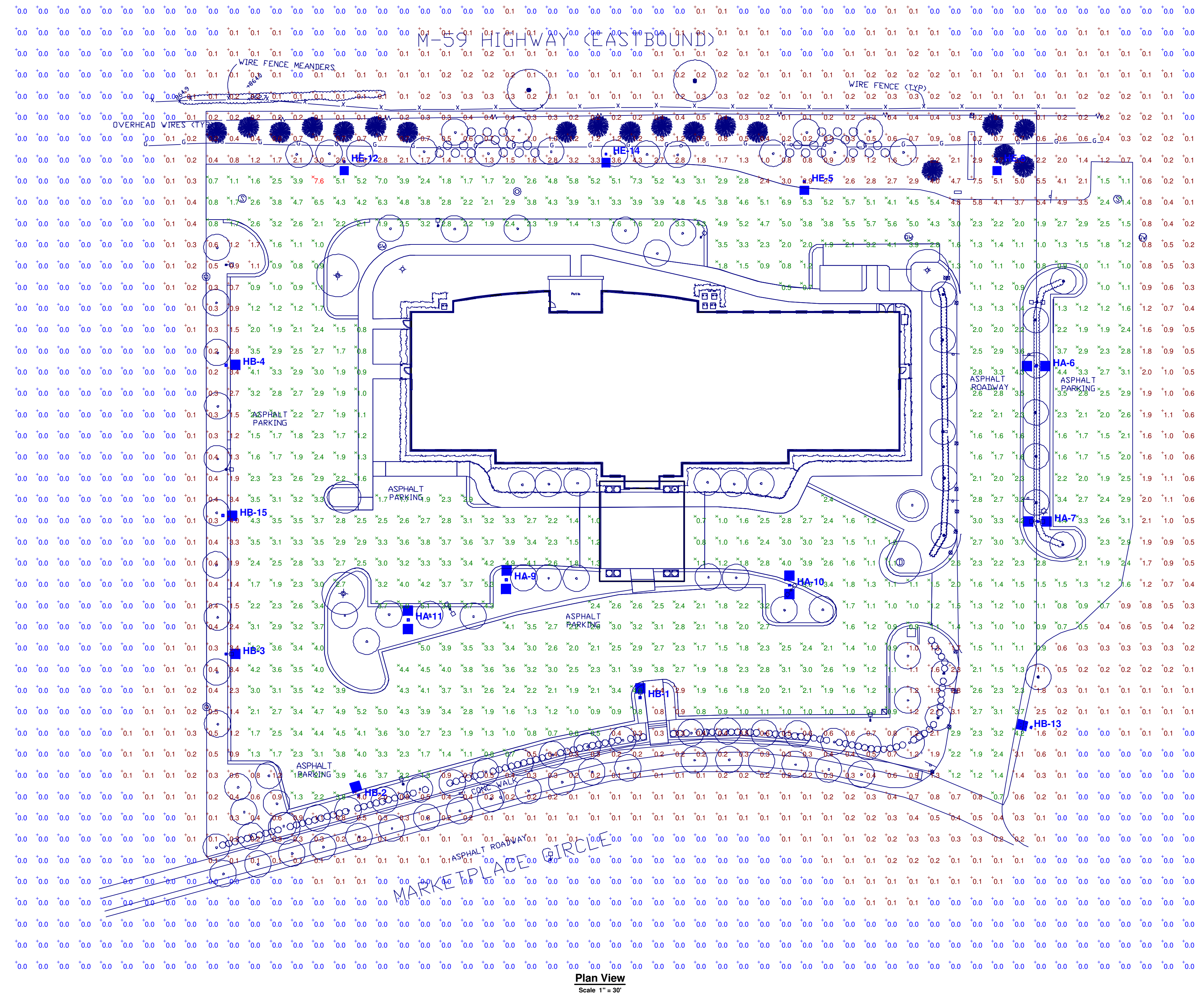
STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
OVERALL LTG VALUES AT GRADE	+	1.0 fc	7.6 fc	0.0 fc	N / A	N / A
PARKING LOT	X	2.5 fc	7.6 fc	0.5 fc	15.2:1	5.0:1

LUMINAIRE LOCATIONS						
No.	Label	Location		MH	Orientation	Tilt
		X	Y			
1	HB	797.0	-269.2	25.0	0.0	0.0
2	HB	664.4	-315.5	25.0	-18.7	0.0
3	HB	601.9	-248.7	25.0	90.0	0.0
4	HB	602.0	-112.6	25.0	90.0	0.0
5	HE	874.3	-26.2	25.0	180.0	0.0
6	HA	983.5	-113.1	25.0	90.0	0.0
7	HA	984.2	-186.2	25.0	90.0	0.0
8	HE	965.1	-16.8	25.0	180.0	0.0
9	HA	734.0	-213.7	25.0	0.1	0.0
10	HA	867.4	-216.2	25.0	0.1	0.0
11	HA	687.7	-232.6	25.0	0.1	0.0
12	HE	657.6	-16.8	25.0	180.0	0.0
13	HB	981.1	-283.3	25.0	-76.1	0.0
14	HE	780.8	-13.2	25.0	180.0	0.0
15	HB	600.4	-183.5	25.0	90.0	0.0

NOTES

- SEE MH COLUMN OF LUMINAIRE LOCATIONS FOR MOUNTING HEIGHTS.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTORS.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP. GBA DOES NOT ACT AS THE CIVIL OR STRUCTURAL ENGINEER AND DOES NOT DETERMINE BASE REQUIREMENTS. POLES SPECIFICATIONS ARE NOT INCLUDED WITH EXTERIOR LIGHTING PHOTOMETRIC ANALYSIS. THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.



HOLIDAY INN EXPRESS SITE

ROCHESTER, MI
SITE LTG VALUS AT GRADE
GASSER BUSH ASSOCIATES

Designer

KJS

Date

Sep 21 2012

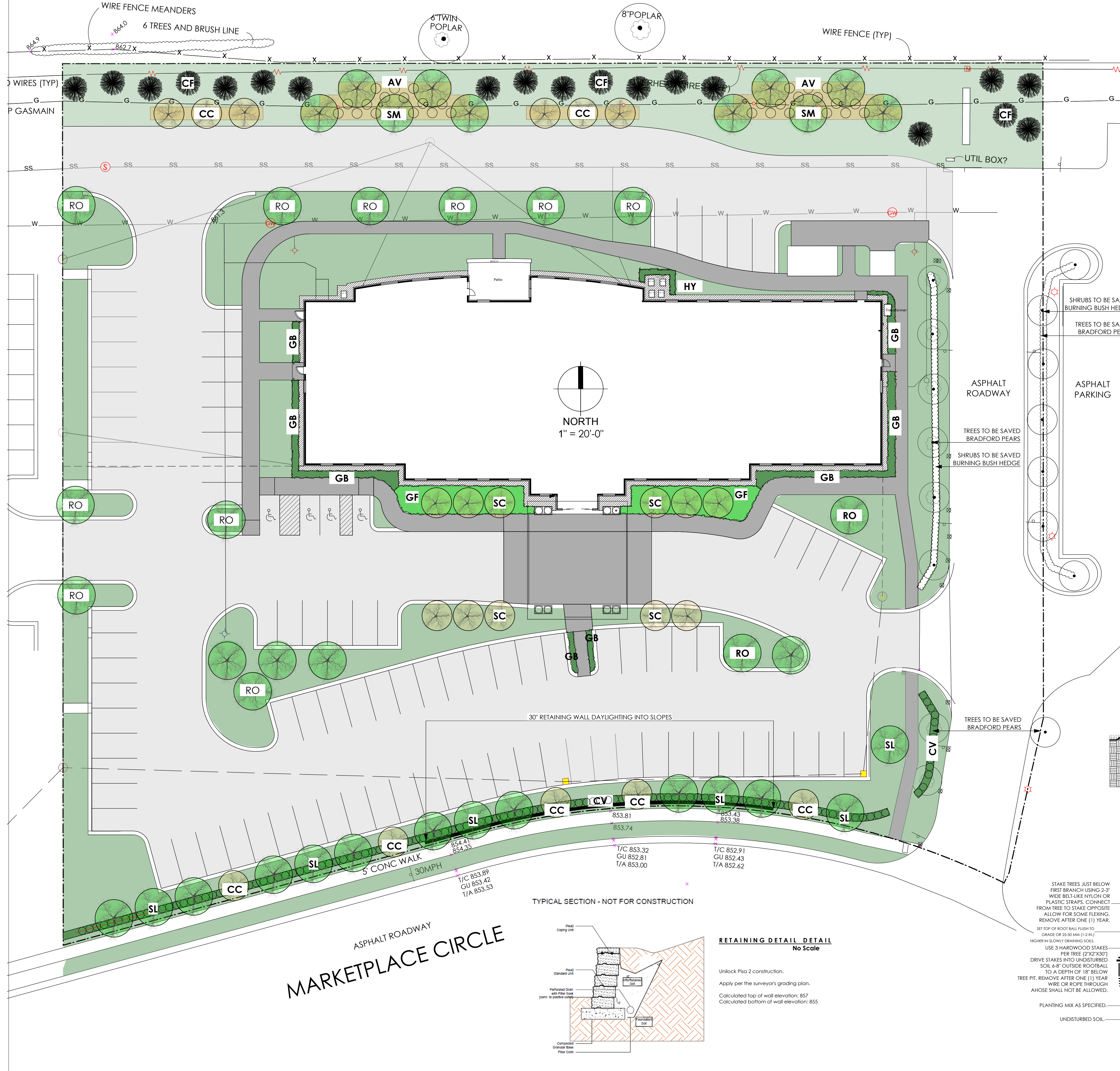
Scale

AS SHOWN

Drawing No.

GBA12-45999-V1

M-59 HIGHWAY (EASTBOUND)



INTERIOR LANDSCAPING CALCULATION
TOTAL VEHICLE USE AREA: 48,074 SF INTERIOR LANDSCAPING AREA (5%): 2,404 SF ONE SHADE TREE PER 150 SF SHADE TREES REQUIRED: 16

TREES ARE LOCATED AT PLANTING ISLANDS, AROUND BUILDING FOUNDATION AND WEST PERIMETER ISLAND.

BUFFER REQUIREMENT CALCULATION
TOTAL LENGTH AT M-59: 375 LF SHADE TREES REQUIRED: 10 ORNAMENTAL TREES REQUIRED: 6 EVERGREEN TREES REQUIRED: 19 SHRUBS REQUIRED: 30

SHADE TREES PER 100 LF: 2.5 X 3.75 OR 10 TREES ORNAMENTAL TREES PER 100 LF: 1.5 X 3.75 OR 6 TREES EVERGREEN TREES PER 100 LF: 5 X 3.75 OR 19 TREES SHRUBS PER 100 LF: 8 X 3.75 OR 30 SHRUBS.

PERIMETER LANDSCAPING CALCULATION
TOTAL SOUTH PROPERTY LINE PERIMETER: 350 LF SHADE TREE REQUIRED: 14 ORNAMENTAL TREES REQUIRED: 10 CONTINUOUS HEDGE 30" O.C.

1 SHADE TREES PER 25 LF LOCATED ALONG SOUTHERN PERIMETER 1 ORNAMENTAL TREE PER 35 LF LOCATED ALONG SOUTHERN PERIMETER AND PARKING DIVIDER AT BUILDING CANOPY.

RIGHT OF WAY LANDSCAPING CALCULATION
TOTAL SOUTH PROPERTY LINE RIGHT OF WAY: 350 LF SHADE TREES REQUIRED: 11 ORNAMENTAL TREES REQUIRED: 11

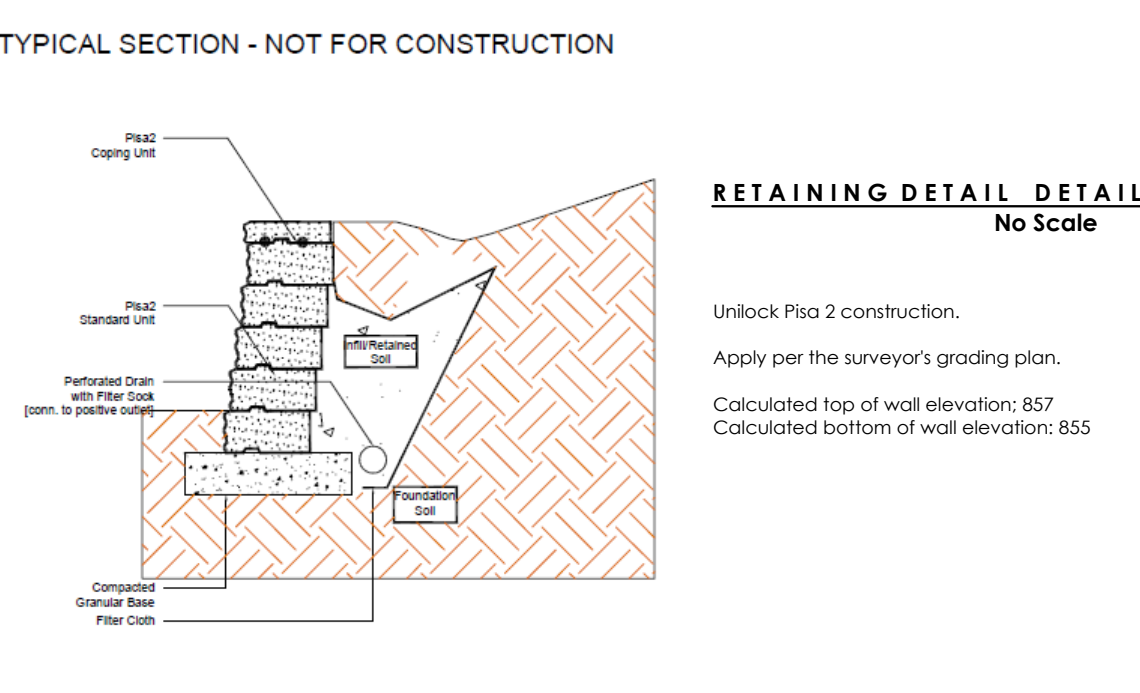
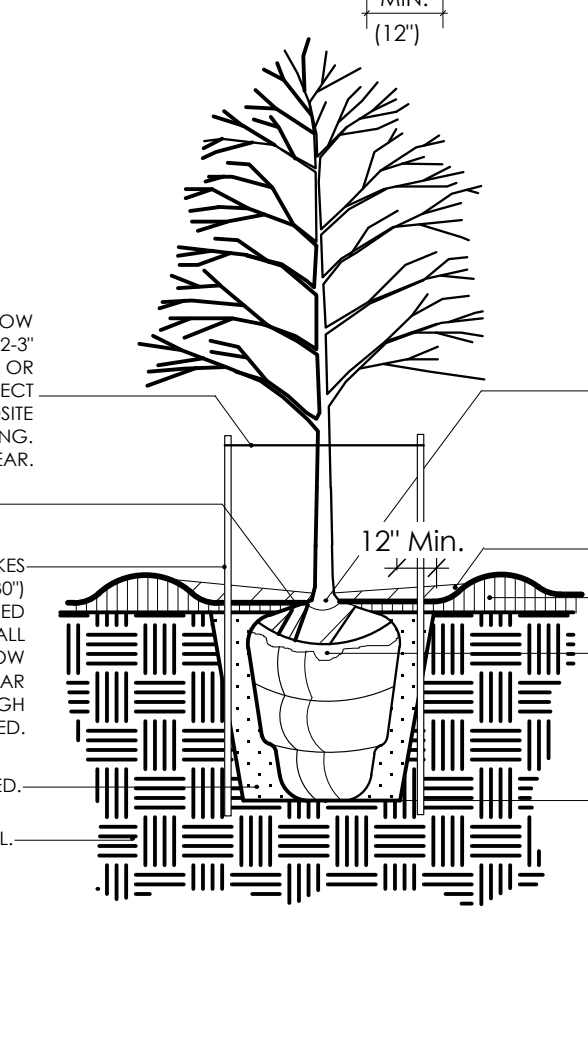
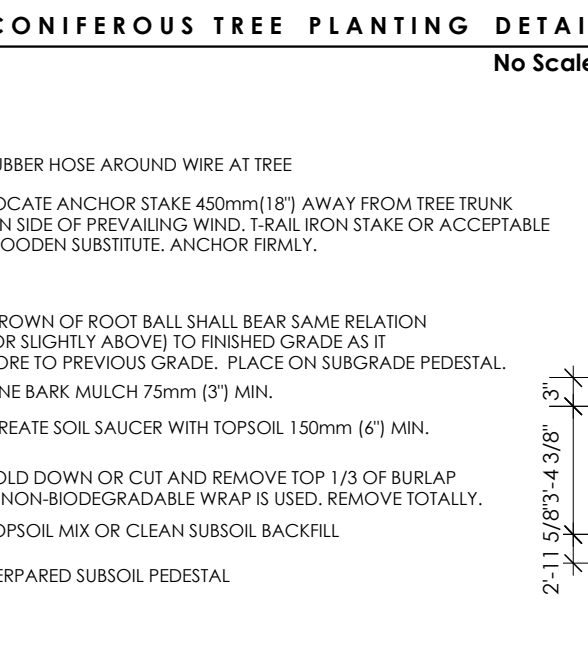
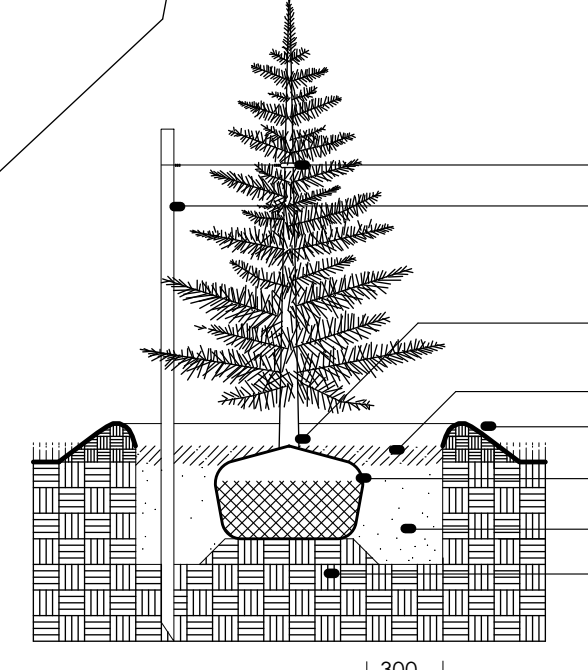
1 SHADE TREE PER 35 LF OR 10 PLUS ONE EXTRA PER CITY PLANNER 1 ORNAMENTAL TREE PER 35 LF OR 10 PLUS 1 PER CITY PLANNER.

NOTE THAT ALL REQUIRED RIGHT OF WAY TREES WILL BE PLANTED OFF SITE ALONG THE ADAMS ROAD RIGHT OF WAY AND LOCATED WITH CITY APPROVAL.

- GENERAL LANDSCAPE NOTES**
- THE LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS AND REVIEW THE PROPOSED PLANTING AND RELATED WORK. IN THE CASE OF A DISCREPANCY BETWEEN THE PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY CONCERNS.
 - THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES, AND SHALL REPORT ANY UNACCEPTABLE SITE CONDITIONS TO THE GENERAL CONTRACTOR PRIOR TO COMMENCEMENT.
 - PLANTS SHALL BE FULL, WELL BRANCHED AND IN VIGOROUS GROWING CONDITION. PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.
 - ALL TREES SHALL BE STAKED IN WINDY OR CLAY SOIL CONDITIONS, MULCHED AND BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE YEAR FOLLOWING PLANTING.
 - ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK".
 - THE CONTRACTOR SHALL SUPPLY A FINISH GRADE AND EXCAVATE AS NECESSARY TO SUPPLY PLANT MIX 6" DEPTH IN ALL PLANTING BEDS AND A DEPTH OF 3" IN LAWN AREAS. BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO THE TOP OF THE CURB OR WALK TO SUPPORT PEDESTRIAN WEIGHT WITHOUT SETTLING. THE PARKING LOT AND LANDSCAPE BEDS SHOULD HAVE ALL ASPHALT, GRAVEL AND BUILDING MATERIALS REMOVED TO A DEPTH OF 6-18" DEPENDING ON THE DEPTH OF THE SUB BASE AND DISPOSED OF OFF SITE.
 - THE CONTRACTOR SHALL PROVIDE CLEAN BACKFILL SOIL USING MATERIAL STOCKPILED ON-SITE, THE SOIL SHALL BE SCREENED AND FREE OF DEBRIS, FOREIGN MATERIAL AND STONE.
 - SLOW-RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT PITS BEFORE BEING BACKFILLED AND APPLIED AT THE MANUFACTURERS RECOMMENDED RATES.
 - THE PLANTING MIX OR PREPARED TOPSOIL SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND AND 1/3 COMPOST.
 - ALL PLANTINGS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO A DEPTH OF 3" FOR TREES AND SHRUBS AND 2" ON PERENNIALS AND ORNAMENTAL GRASSES.
 - NO SUBSTITUTIONS OR CHANGES OF LOCATION OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR GENERAL CONTRACTOR.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEE PERIOD.
 - THE LANDSCAPE ARCHITECT OR GENERAL CONTRACTOR SHALL HAVE THE RIGHT TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLAN AND OR SPECIFICATIONS.
 - THE LANDSCAPE CONTRACTOR SHALL HYDROSEED OR SEED ALL AREAS DESIGNATED AS SUCH ON THE PLANS WITH THE PROPER SEED MIX (SHADY OR SUNNY). THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING AREAS DISTURBED DURING CONSTRUCTION, NOT IN THE CONTRACT LIMITS, TO EQUAL OR GREATER CONDITION.
 - ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.
 - AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL PLANTINGS. ROCHESTER REQUIRES THAT LANDSCAPE WATERING WITH CITY WATER OCCUR BETWEEN 12 AM AND 5 AM.
 - ALL LANDSCAPE BEDS SHALL BE EDGED WITH METAL EDGING WHERE THEY ARE ADJACENT TO LAWN.

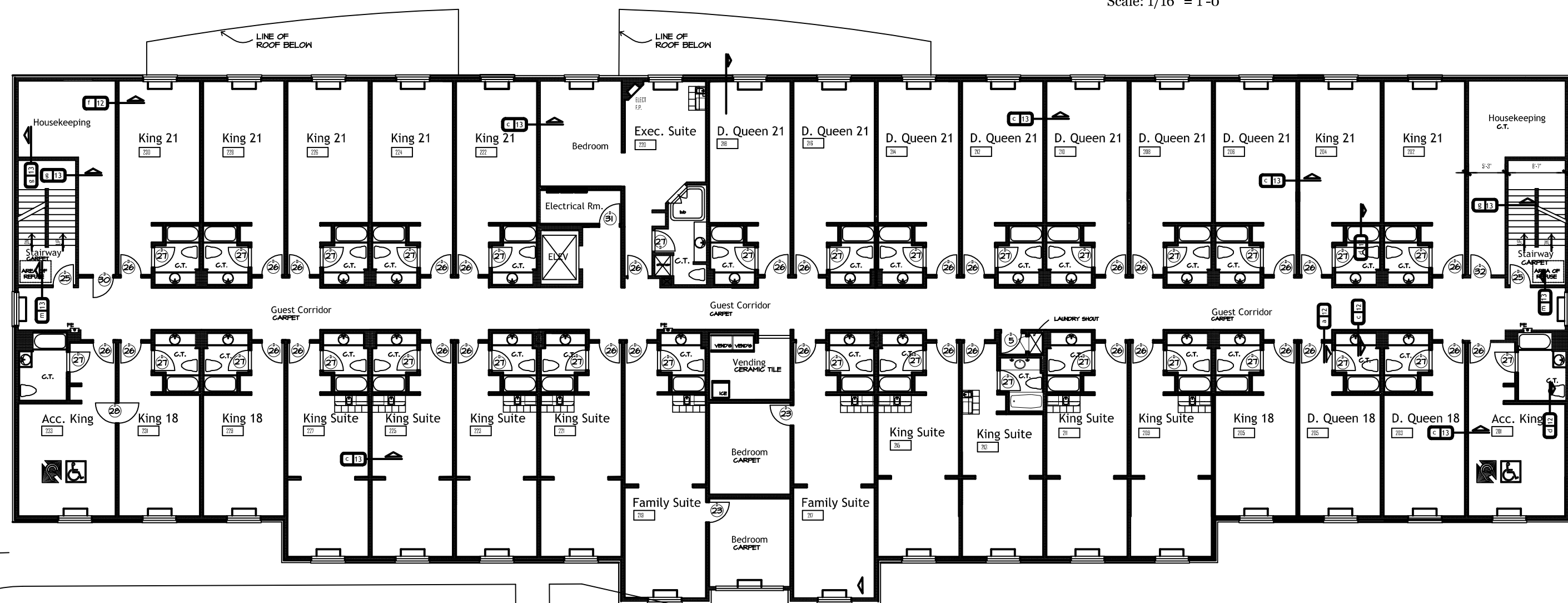
PLANT LIST

ID	Qty	Botanical Name	Common Name	Scheduled Size	Remark	Cost
CF	19	Abies Concolor	Concolor Fir	9-10'		\$10,260.00
SM	10	Acer Saccharum	Sugar Maple	3" cal.		\$3,375.00
SL	14	Gleditsia Tricantinos 'Shademaster'	Shademaster Honeylocust	3" cal.		\$5,600.00
SL	11	Gleditsia Tricantinos 'Shademaster'	Shademaster Honeylocust	3" cal.	OFF SITE	\$4,400.00
RO	14	Quercus Rubra	Red Oak	3" cal.		\$7,360.00
CC	11	Cornus Mas 'Golden Glory'	Golden Glory Cornelian Cherry	2" cal.		\$4,180.00
SC	11	Malus 'Sulyzani'	Sugar Tyme Crabapple	2" cal.		\$2,860.00
SC	11	Malus 'Sulyzani'	Sugar Tyme Crabapple	2" cal.	OFF SITE	\$2,860.00
HY	13	Taxus 'Hicksii'	Hicks Yew	30-36"	30" O.C.	\$1,885.00
GB	132	Buxus 'Green Mountain'	Green Mountain Boxwood	15-18"	24" O.C.	\$9,240.00
GF	130	Forsythia 'Gold Tide'	Gold Tide Dwarf Forsythia	#3 pot	36" O.C.	\$4,550.00
AV	30	Viburnum Dentatum	Arrowwood Viburnum	30-36"		\$1,200.00
CV	114	Viburnum Trilobum 'Compactum'	Compact Am. Cranberry Viburnum	30-36"	36" O.C.	\$5,130.00
						Total Cost \$42,900.00

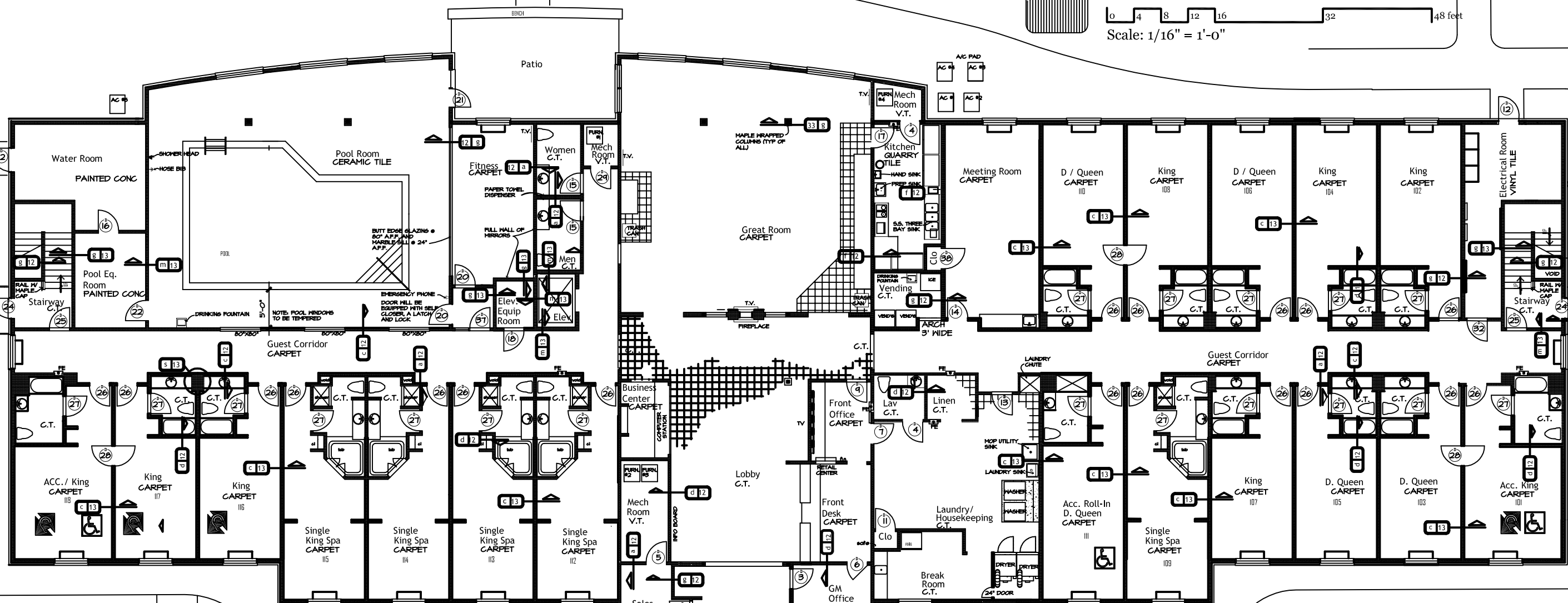




Third Floor Plan
Scale: 1/16" = 1'-0"



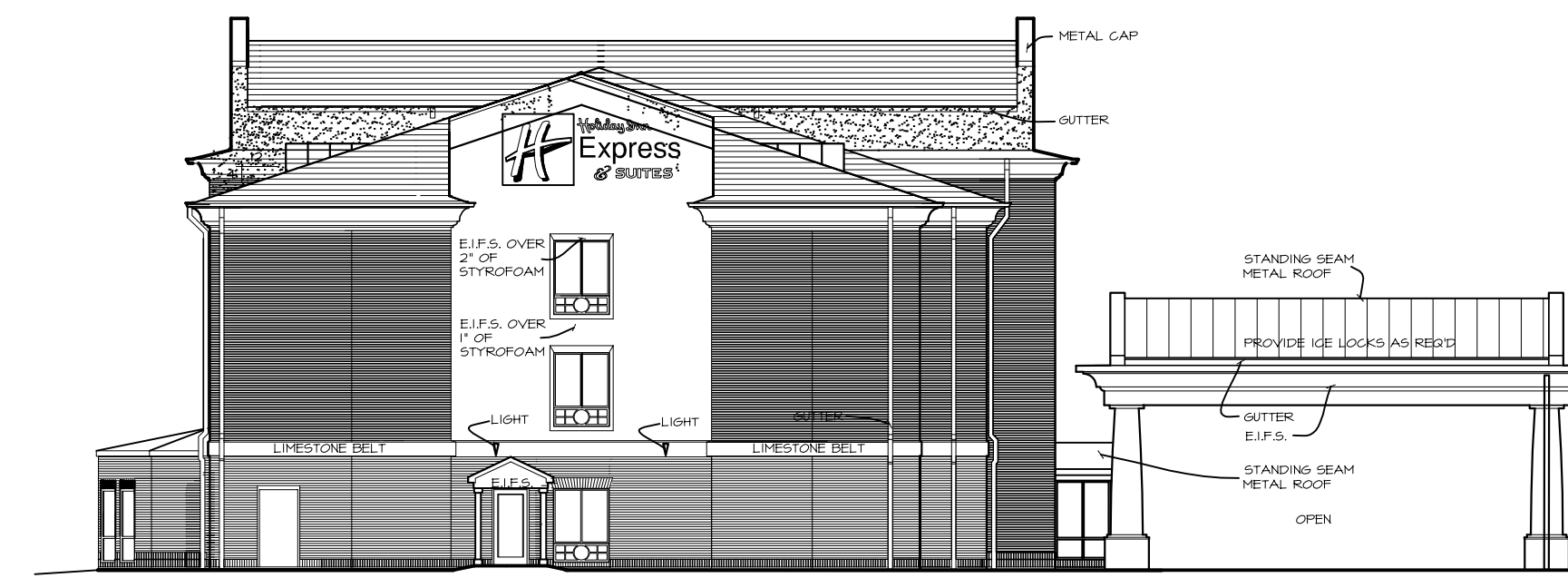
Second Floor Plan
Scale: 1/16" = 1'-0"



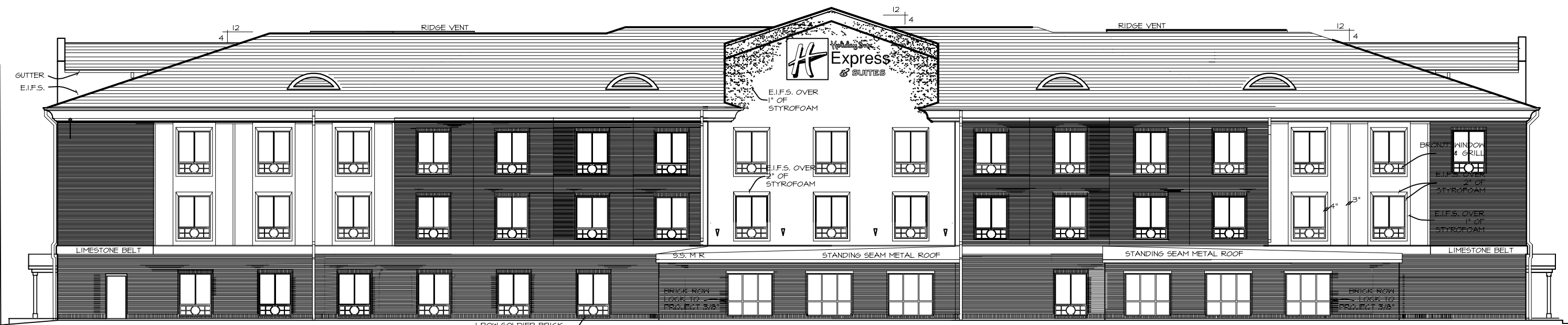
First Floor Plan
Scale: 1/16" = 1'-0"



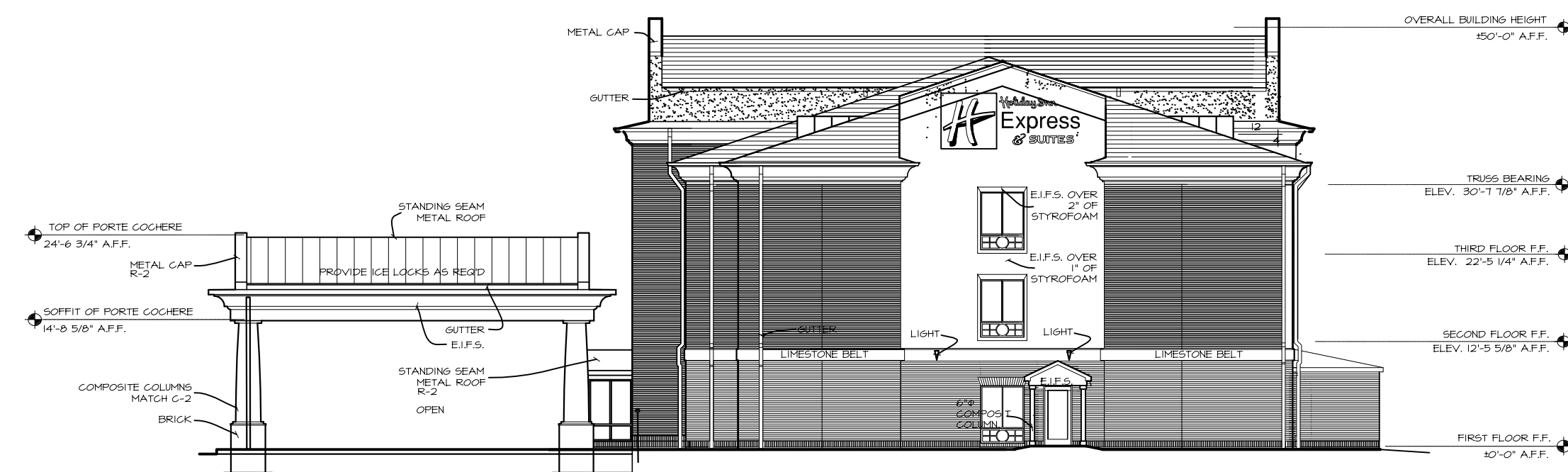
South Elevation
Scale: 1/16" = 1'-0"



West Elevation
Scale: 1/16" = 1'-0"



North Elevation
Scale: 1/16" = 1'-0"



East Elevation
Scale: 1/16" = 1'-0"

BUILDING CONSTRUCTION TYPE:
5-A PROTECTED

BUILDING USE:
R-1 HOTEL

BUILDING AREA:
FIRST FLOOR: 15,611 SQ. FT.
SECOND FLOOR: 15,185 SQ. FT.
THIRD FLOOR: 15,185 SQ. FT.
TOTAL: 45,981 SQ. FT.
PORTE-COCHERE: 1,860 SQ. FT.

BUILDING DIMENSION:
WIDTH:
AT ENTRY 88'-0"
AT TYPICAL GUEST ROOM 66'-2"

LENGTH 231'-0"

HEIGHT
AT MAIN ROOF PEAK 50'-0"
MAXIMUM HEIGHT 50'-0"
STORIES 3

SLATELINE SHINGLES:
SLATE GREEN BLEND

STANDING SEAM METAL ROOF:
TERRA COTTA

FACE BRICK:
BORAL BRICK COMPANY
PALETTE 2: BURGUNDY 10300

EXTERIOR INSULATING AND FINISH SYSTEM (EIFS):
FIELD: DRYVIT SYSTEM, INC.:
AMARILLO WHITE
TRIM: DRYVIT SYSTEM, INC.:
CHINA WHITE

CONCEPT
THIS DRAWING IS FOR DESIGN PURPOSES ONLY. THIS DRAWING SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

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A new hotel for:
Holiday Inn Express Hotel & Suites

Location: Rochester Hills, Michigan
Consultant:

Issued:
16AUG12
25OCT12

Revisions:
25OCT12

Sheet Contents:
Floor Plans
Exterior Elevations

Project Number: 2012-18
Drawn by: OEC
Date: 28JUNE12
Sheet Number:

