

PRELIMINARY SITE PLANS FOR
GATEWAY OF ROCHESTER HILLS
 NWC SOUTH BOULEVARD & ROCHESTER ROAD
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

APPLICANT:

GATEWAY PROPERTIES – ROCHESTER HILLS, LLC
 38700 VAN DYKE AVE SUITE 200
 STERLING HEIGHTS, MI 48312
 CONTACT: EMILY D'AGOSTINI KUNATH
 PHONE: (586) 977-8640
 EMAIL: EDAGOSTINI@DAGOSTINI.NET

ARCHITECTS:

RETAIL/OFFICE/RESTAURANT:
 NORR
 150 W. JEFFERSON AVE, SUITE 1300
 DETROIT, MI 48226 ZIP
 CONTACT: CHERYL BOHREN
 PHONE: (313) 324-3083
 EMAIL: CHERYL.BOHREN@NORR.COM

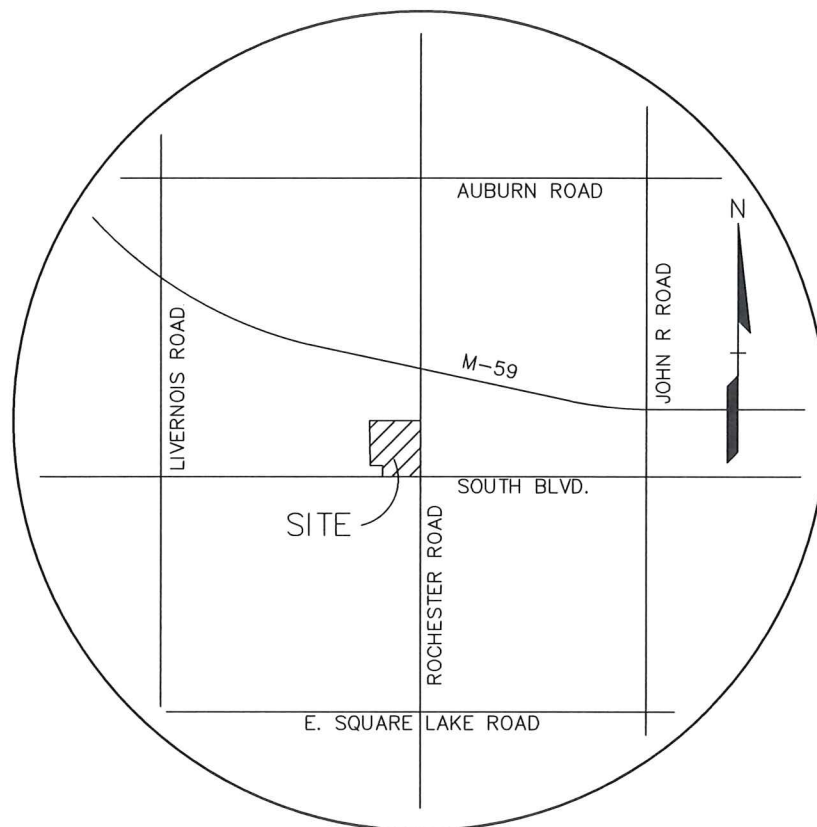
HOTEL:
 BOWERS AND ASSOCIATES
 2400 S. HURON PARKWAY
 ANN ARBOR, MI 48104
 CONTACT: SCOTT BOWERS
 PHONE: (734) 975-2400
 EMAIL: SCOTTB@BOWERSARCH.COM

CIVIL ENGINEER:

PEA, INC.
 2430 ROCHESTER CT, SUITE 100
 TROY, MI 48063
 CONTACT: JAMES P. BUTLER, P.E.
 PHONE: (248) 689-9090 EXT. 133
 EMAIL: JBUTLER@PEAINC.COM

LANDSCAPE ARCHITECT:

PEA, INC.
 7927 NEMCO WAY, SUITE 115
 BRIGHTON, MI 48116
 CONTACT: JEFF SMITH, R.L.A., LEED AP
 PHONE: (517) 546-8583
 EMAIL: JSMITH@PEAINC.COM



LOCATION MAP
 NO SCALE

INDEX OF DRAWINGS:

- C-1.0 COVER SHEET
- C-2.1 TOPOGRAPHIC SURVEY
- C-2.2 TREE LIST
- C-3.0 DIMENSION AND PAVING PLAN
- C-4.0 FIRE PROTECTION PLAN
- C-5.0 GRADING PLAN
- C-6.0 UTILITY PLAN
- C-7.0 DETAILS

- L-1.0 LANDSCAPE PLAN
- L-1.1 LANDSCAPE DETAILS

- SL-1.0 SITE PHOTOMETRIC PLAN
- SL-2.0 SITE PHOTOMETRIC DETAILS

- HOTEL
- A1.00 FIRST FLOOR PLAN
- A1.01 SECOND FLOOR PLAN
- A1.02 THIRD FLOOR PLAN
- A1.03 FOURTH FLOOR PLAN
- A5.00 EXTERIOR ELEVATIONS

- RETAIL/OFFICE/RESTAURANT
- A-101 FLOOR PLANS
- A-301 EXTERIOR ELEVATIONS



CAUTION!
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GATEWAY PROPERTIES ROCHESTER HILLS, LLC 38700 VAN DYKE AVE SUITE 200 - STERLING HEIGHTS, MI 48312	DES	CMP	DN	CMP	SUR	PEA	P.M.	JPB
	GATEWAY OF ROCHESTER HILLS PART OF THE SOUTHEAST 1/4 OF SECTION 34, TOWN, R11E CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN							

ORIGINAL ISSUE DATE:
 DECEMBER 14, 2017
 PEA JOB NO. 2017-237
 SCALE: NA
 DRAWING NUMBER:

NO.	BY	DATE	DESCRIPTION
1	JPB	12/14/17	PRELIMINARY SITE PLAN
2	JPB	12/14/17	DEPARTMENT REVIEW COMMENTS
3	JPB	12/14/17	DEPARTMENT REVIEW COMMENTS

BENCHMARKS
(GPS DERIVED - NAVD83)

BM #300
ARROW ON A HYDRANT LOCATED ON THE WEST SIDE OF ROCHESTER ROAD, APPROX. 80' FROM THE NORTHWEST CORNER OF ROCHESTER ROAD AND SOUTH BLVD.
ELEV. - 720.05

BM #301
ARROW ON THE SECOND HYDRANT NORTH OF SOUTH BLVD. ON THE WEST SIDE OF ROCHESTER ROAD.
ELEV. - 722.27

BM #302
ARROW ON A HYDRANT LOCATED IN THE ISLAND LOCATED AT THE NORTHWEST CORNER OF THE PARKING LOT FOR 3950 ROCHESTER ROAD.
ELEV. - 722.18

BM #303
DRILLED MAG/WASHER IN THE SOUTHEAST CORNER OF A TRANSFORMER PAD LOCATED WEST OF THE SOUTH BLVD. ENTRANCE FOR 3950 ROCHESTER ROAD.
ELEV. - 720.13

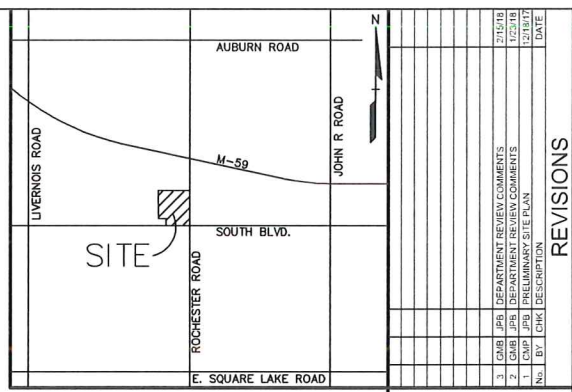
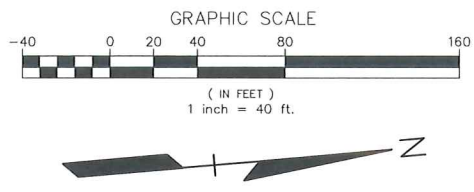
FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0532F, DATED SEPTEMBER 29, 2008.

LEGAL DESCRIPTION
(Per ALTA National Title Group, Commitment No. 63-17527010-SM, dated April 03, 2016)

PARCEL ID 15-34-477-015

The land referred to in this commitment is described as follows: City of Rochester Hills, County of Oakland, State of Michigan

Part of the Southeast 1/4 Section 34, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan, beginning at a point distant South 88 degrees 02 minutes 35 seconds West, 60.12 feet from Southeast Section corner; thence South 88 degrees 02 minutes 35 seconds West, 401.75 feet; thence North 05 degrees 13 minutes 47 seconds West, 233.05 feet; thence South 88 degrees 02 minutes 35 seconds West, 200.00 feet; thence North 05 degrees 13 minutes 47 seconds West, 537.62 feet; thence North 84 degrees 37 minutes 34 seconds East, 581.68 feet; thence North 84 degrees 45 minutes 17 seconds East, 15.00 feet and thence South 05 degrees 14 minutes 43 seconds East, 136.88 feet and thence South 05 degrees 34 minutes 41 seconds East, 670.10 feet along West line of Rochester Road to beginning.



CAUTION!
THE INFORMATION ON THIS PLAN IS THE PROPERTY OF MISS DIG SYSTEM, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS INFORMATION WITHOUT THE WRITTEN CONSENT OF MISS DIG SYSTEM, INC. IS STRICTLY PROHIBITED.

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GATEWAY PROPERTIES
ROCHESTER HILLS, LLC
38700 VAN DYKE AVE SUITE 200 - STERLING HEIGHTS, MI 48312

TOPOGRAPHIC SURVEY
GATEWAY OF ROCHESTER HILLS
PART OF THE SOUTHEAST 1/4 OF SECTION 34, T03N, R11E
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

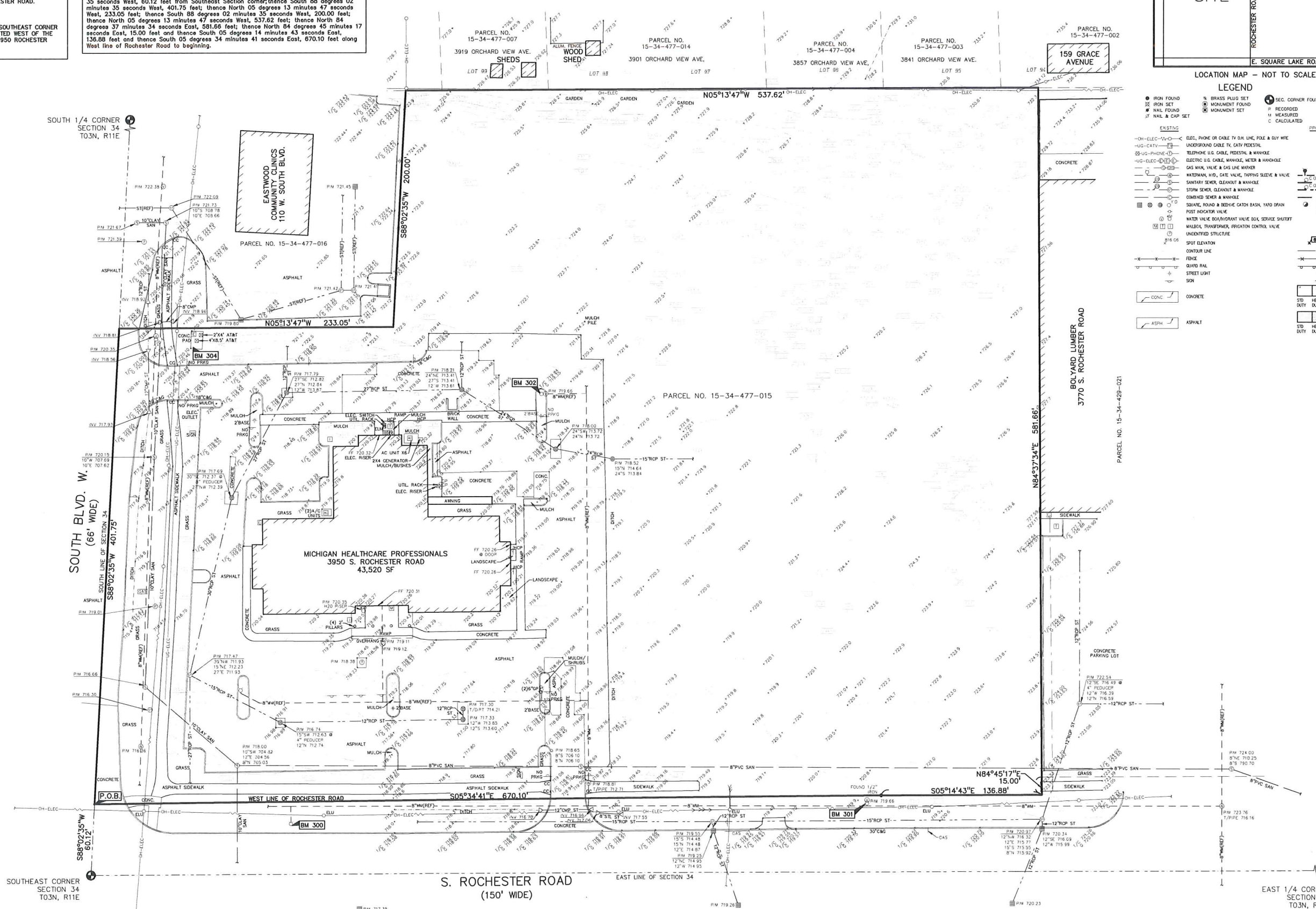
DES: JPB
DN: JPB
CMP: JPB
SUR: JPB
P.M.: JPB

ORIGINAL ISSUE DATE:
DECEMBER 14, 2017

PEA JOB NO. 2017-237

SCALE: 1" = 40'

DRAWING NUMBER:
C-2.1



SUPPLEMENTAL SITE PLAN NOTES:

- ALCOHOL SALES ARE ANTICIPATED FOR THE HOTEL, RESTAURANTS, AND GENERAL COMMERCIAL USES.
- REGARDING SECTION 138-8.500, THIS DEVELOPMENT MEETS THE REQUIREMENTS BY PROVIDING GROUND FLOOR USES ALONG THE MAIN STREET THAT INCLUDES RETAIL, RESTAURANT, AND OTHER USES THAT GENERATE PEDESTRIAN TRAFFIC THROUGHOUT THE DAY.
- A GEOTECHNICAL INVESTIGATION HAS NOT BEEN PERFORMED AT THIS TIME. EXISTING SOIL CONDITIONS AND THE ABILITY TO MEET INFILTRATION REQUIREMENTS WILL BE ASSESSED ONCE PRELIMINARY SITE PLAN APPROVAL IS RECEIVED.

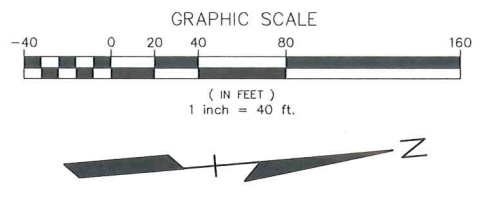
FIRE DEPARTMENT NOTES:

- FIRE LANES SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOTMORE THAN 100 FEET APART, FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 503.
- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14.
- OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.6.2.3
- A KNOX KEY SYSTEM SHALL BE INSTALLED AT EACH BUILDING IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE KNOXBOX.COM.

GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCHESTER HILLS CURRENT STANDARDS AND REGULATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
- ALL SIGNS MUST MEET SECTION 138-8.603 AND CHAPTER 134 OF THE CITY CODE OF ORDINANCES AND BE APPROVED UNDER A SEPARATE PERMIT ISSUED BY THE BUILDING DEPARTMENT.



ACCESSIBLE DOOR LEGEND:

INDICATES ACCESSIBLE ACCESS DOOR (A)

INDICATES ACCESSIBLE ROUTE (---)

REFER TO ARCHITECTURAL PLANS FOR FURTHER DETAILS.

GRADES AT DOOR MAY NOT EXCEED 2% IN ANY DIRECTION.

SIDEWALK RAMP LEGEND:

SIDEWALK RAMP 'TYPE R' (R)

SIDEWALK RAMP 'TYPE F' (F)

SIDEWALK RAMP 'TYPE P' (P)

CURB DROP ONLY (D)

REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS.

SIGN LEGEND:

'NO STOPPING STANDING PARKING FIRE LANE' SIGN (1)

'BARRIER FREE PARKING' SIGN (2)

'VAN ACCESSIBLE' SIGN (3)

REFER TO CONSTRUCTION PLANS FOR ADDITIONAL SIGN DETAILS.

LEGEND

IRON FOUND	BRASS PLUG SET	SEC. CORNER FOUND
IRON SET	MONUMENT FOUND	RECORDED
NAIL FOUND	MONUMENT SET	MEASURED
NAIL & CAP SET		CALCULATED

EXISTING

- OH-ELEC-120V-3P-4W
- OH-CATV-120V-3P-4W
- US-PHONE-120V-3P-4W
- US-ELEC-120V-3P-4W
- WATERMAN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMMONED SEWER & MANHOLE
- SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST INDICATOR VALVE
- WATER VALVE BOX/ARREST VALVE BOX, SERVICE SHUTOFF
- WALUS, TRANSFORMER, VENTILATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE
- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIGN

PROPOSED

- CONCRETE
- ASPHALT
- 50' HEAVY DUTY DUTY ONLY
- 50' HEAVY DUTY DUTY STRENGTH

CAUTION!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ROCHESTER HILLS AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) PRIOR TO CONSTRUCTION.

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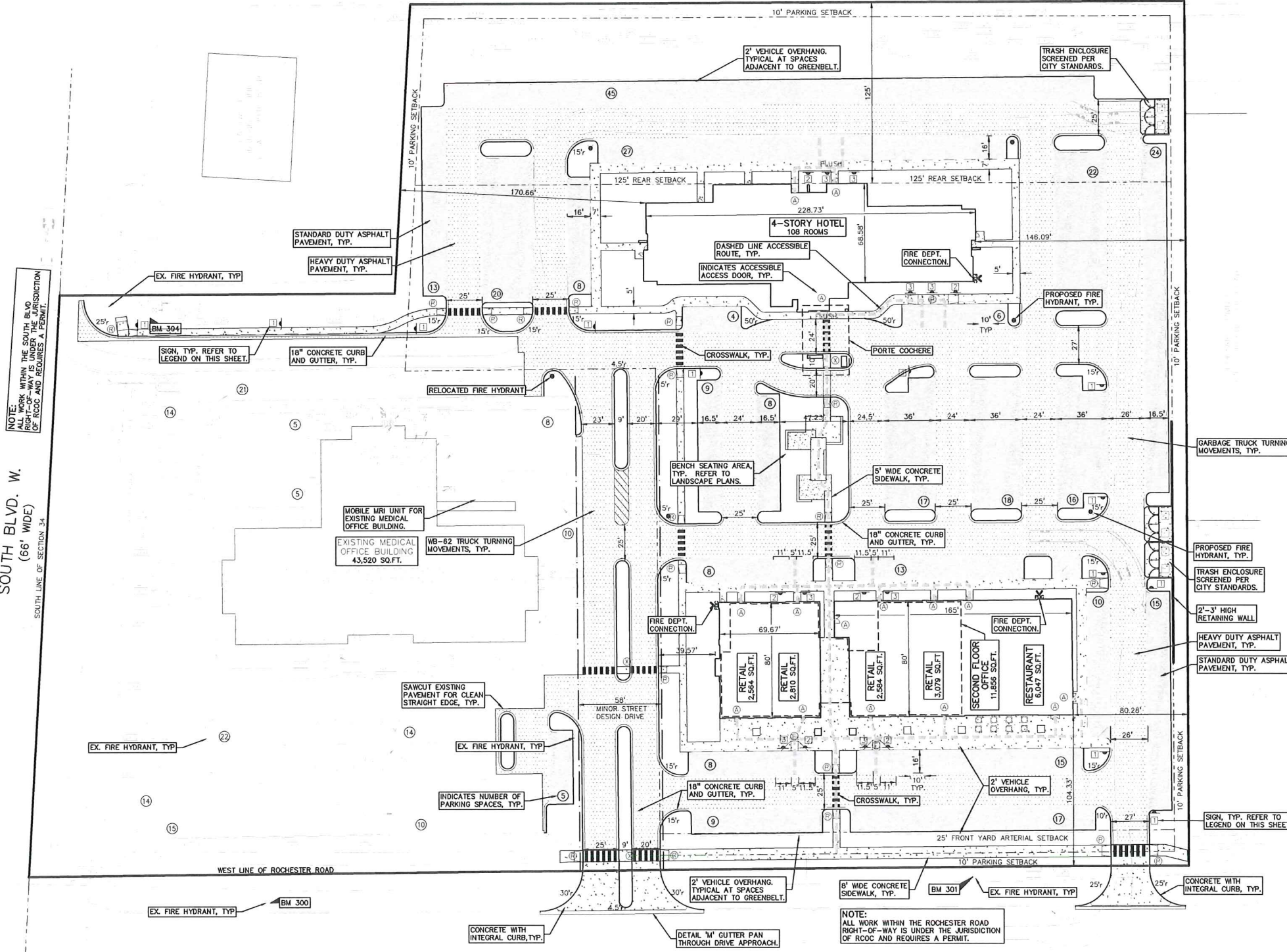
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REVISIONS

NO.	DATE	DESCRIPTION
1		PRELIMINARY SITE PLAN
2		DEPARTMENT REVIEW COMMENTS
3		LABOR DEPARTMENT REVIEW COMMENTS
4		CONTRACTOR REVIEW COMMENTS
5		FINAL



SITE DATA TABLE:

SITE AREA: 9.76 ACRES (425,310 SQ.FT.) NET AND GROSS
DEVELOPED AREA = 5.87 ACRES

ZONING:
NORTH: B-3, SHOPPING CENTER BUSINESS, WITH FB-3, FLEX BUSINESS OVERLAY
SOUTH: B-1, OFFICE BUSINESS, WITH FB-3, FLEX BUSINESS OVERLAY
EAST: B-2, GENERAL BUSINESS
WEST: R-4, ONE-FAMILY RESIDENTIAL

PROPOSED USE: MIXED USE:
OFFICE - 11,856 SF
RESTAURANT - 6,047 SF
EXISTING MEDICAL OFFICE - 43,520 SF
RETAIL - 11,037 SF
HOSPITALITY - 4 STORY (108 ROOMS)

BUILDING INFORMATION:
MAXIMUM ALLOWABLE BUILDING HEIGHT = 60' (4 STORIES)
PROPOSED BUILDING HEIGHT = 54' - 4" (4 STORY HOTEL)
PROPOSED BUILDING HEIGHT = 42' - 0" (2 STORY RETAIL/OFFICE/RESTAURANT)

SETBACK REQUIREMENTS:	REQUIRED	PROVIDED
FRONT SETBACK (EAST):	15-25 FEET	104.33 FEET
FRONT (MINOR) SETBACK (SOUTH):	5-20 FEET	39.57 FEET
SIDE SETBACK (NORTH):	25 FEET	80.28 FEET
REAR SETBACK (WEST):	125 FEET	125 FEET
PARKING SETBACK:	10 FEET	10 FEET

MIN. BUILDING FRONTAGE BUILD-TO-AREA CALCULATIONS:	REQUIRED	PROVIDED
ROCHESTER RD.		
- FRONT YARD ALONG 15' (PERM.)	40%	104.33'
ARTERIAL STREET	70'-NONE (OPT.)	245.33' = 57.8%
		423.61'
EAST/WEST DRIVE		
- FRONT YARD ALONG 5'-20'	70%	39.57'
MINOR STREET		0%

PARKING CALCULATIONS:

- OFFICE = 1 SPACE PER 350 SF FLOOR AREA = 11,856/350 = 34 SPACES
- RETAIL = 1 SPACE PER 300 SF FLOOR AREA = 11,037/300 = 37 SPACES
- RESTAURANT = 1 SPACE PER 2 PERSONS PERMITTED AT MAX OCCUPANCY = 200/2 = 100 SPACES
- HOSPITALITY = 1.1 SPACE PER ROOM = 108/1.1 = 119 SPACES
- EXISTING MEDICAL OFFICE = 1 SPACE PER 350 SF FLOOR AREA = 43,520/350 = 124.34 ~ 125 SPACES

TOTAL REQUIRED PARKING = 34 + 37 + 100 + 119 + 125 = 415 SPACES REQUIRED.

ALTERNATE TOTAL REQUIRED PARKING = 1 SPACE PER 400 SF = (11,856+11,037+6,047+43,520)/400 = 326.54 ~ 327 SPACES

TOTAL PROPOSED PARKING SPACES = 478 SPACES INC. 26 H/C SPACES.

NOTE: ALL WORK WITHIN THE SOUTH BLVD. (66' WIDE) IS UNDER THE JURISDICTION OF ROCO AND REQUIRES A PERMIT.

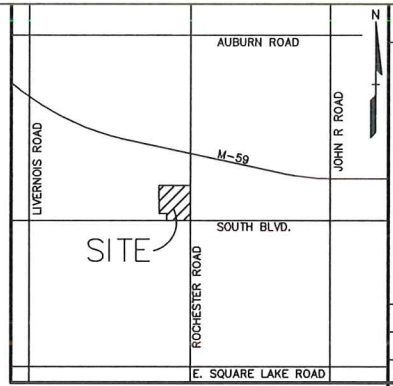
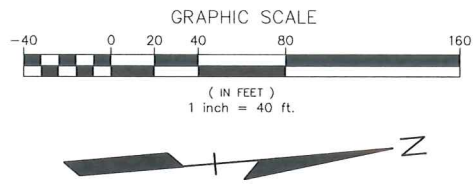
NOTE: ALL WORK WITHIN THE ROCHESTER ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF ROCO AND REQUIRES A PERMIT.

FIRE DEPARTMENT NOTES:

1. FIRE LANES SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART, FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE"; AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 503
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2	JPB	12/14/17	DEPARTMENT REVIEW COMMENTS
3	JPB	12/14/17	DEPARTMENT REVIEW COMMENTS

REVISIONS

LEGEND

● IRON FOUND	● BRASS PLUG SET	● SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	⊗ RECORDED
⊙ NAIL FOUND	⊙ MONUMENT SET	⊙ MEASURED
⊙ NAIL & CAP SET		⊙ CALCULATED

EXISTING

- OH-ELEC- W-O- C- ELEC. PHONE OR CABLE TV OR LINE POLE & OUT W/IE
- UG-CAT- E- UG. CATV
- UG-PHON- E- TELEPHONE U.S. CABLE, FIBER OPTIC & MANHOLE
- UG-ELEC- E- ELECTRIC U.S. CABLE, MANHOLE, METER & MANHOLE
- GAS- E- GAS MAIN, VALVE & GAS LINE W/VALVE
- WATER- E- WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
- SEWER- E- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM- E- STORM SEWER, CLEANOUT & MANHOLE
- COMB- E- COMBINED SEWER & MANHOLE
- SQUA- E- SQUARE, ROUND & REVEAL CATCH BASIN, YARD DRAIN
- POST- E- POST INDICATOR VALVE
- WATER- E- WATER VALVE, BOY/APPOINT VALVE, BOX, SERVICE SHUTOFF
- WALSO- E- WALSO, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNDEF- E- UNIDENTIFIED STRUCTURE
- SPOT- E- SPOT ELEVATION
- CONTOUR- E- CONTOUR LINE
- FENCE- E- FENCE
- GUARD- E- GUARD RAIL
- STREET- E- STREET LIGHT
- SIGN- E- SIGN

PROPOSED

- ELEC- E- ELEC. PHONE OR CABLE TV OR LINE POLE & OUT W/IE
- CATV- E- CATV
- PHON- E- TELEPHONE U.S. CABLE, FIBER OPTIC & MANHOLE
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CONCRETE

- CONC CONCRETE
- ASPH ASPHALT

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- 'FIRE LANE' SIGN
- 'BARRIER FREE PARKING' SIGN
- 'VAN ACCESSIBLE' SIGN

REFER TO CONSTRUCTION PLANS FOR ADDITIONAL SIGN DETAILS

BUILDING NOTES:

- ALL PROPOSED BUILDINGS ARE TYPE II-B.

Rochester Hills Fire Truck

Overall Length	46.67ft
Overall Width	8.50ft
Min Wheel Radius	42.5ft

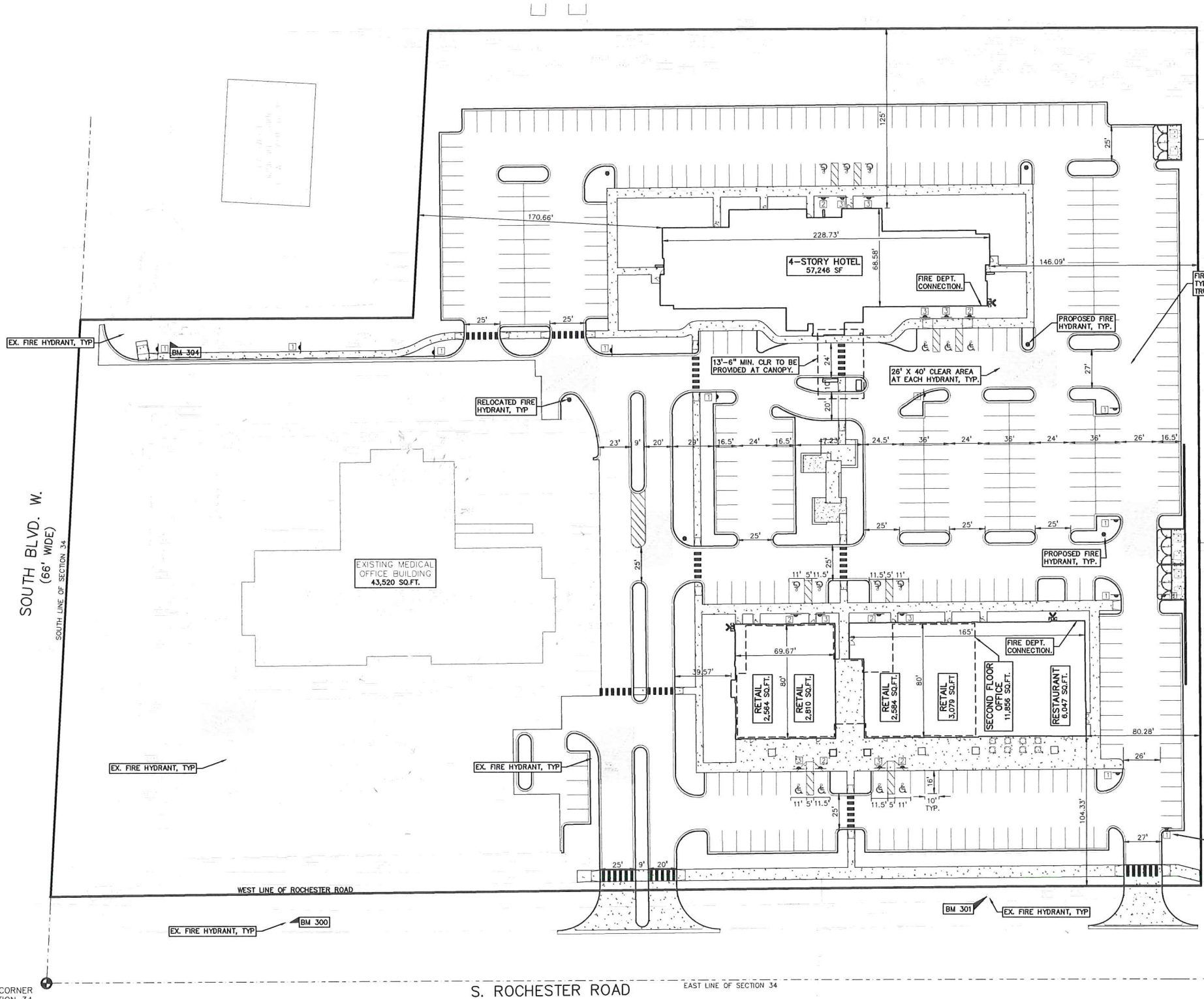


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GATEWAY PROPERTIES
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38700 VAN DYKE AVE SUITE 200 - STERLING HEIGHTS, MI 48312
FIRE PROTECTION PLAN
GATEWAY OF ROCHESTER HILLS
PART OF THE SOUTHEAST 1/4 OF SECTION 34, T33N, R11E
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES: CMR DN: CMR SUR: JPB
DATE: 12/14/17

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C-4.0



FIRE TRUCK TURNING MOVEMENT, TYP. REFER TO DETAIL OF FIRE TRUCK ON THIS SHEET.

SIGN, TYP. REFER TO LEGEND ON THIS SHEET.

T. CORNER

S. ROCHESTER ROAD

CITY FILE #95-044.2 NOT FOR CONSTRUCTION

BENCHMARKS
(GPS DERIVED - NAVD88)

BM #300
ARROW ON A HYDRANT LOCATED ON THE WEST SIDE OF ROCHESTER ROAD, APPROX 80' FROM THE NORTHWEST CORNER OF ROCHESTER ROAD AND SOUTH BLVD.
ELEV. - 720.05

BM #301
ARROW ON THE SECOND HYDRANT NORTH OF SOUTH BLVD. ON THE WEST SIDE OF ROCHESTER ROAD.
ELEV. - 722.27

BM #302
ARROW ON A HYDRANT LOCATED IN THE ISLAND LOCATED AT THE NORTHWEST CORNER OF THE PARKING LOT FOR 3950 ROCHESTER ROAD.
ELEV. - 722.18

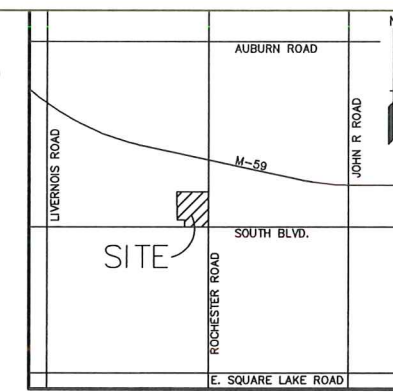
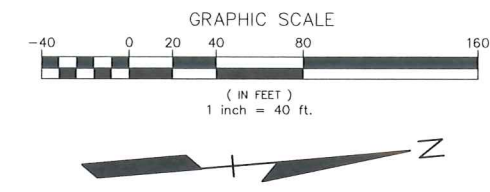
BM #303
DRILLED MAG/WASHER IN THE SOUTHEAST CORNER OF A TRANSFORMER PAD LOCATED WEST OF THE SOUTH BLVD. ENTRANCE FOR 3950 ROCHESTER ROAD.
ELEV. - 720.13

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0532F, DATED SEPTEMBER 29, 2008.

LEGAL DESCRIPTION
(Per ALTA National Title Group, Commitment No. 63-17527010-SM, dated April 03, 2016)
PARCEL ID 15-34-477-015

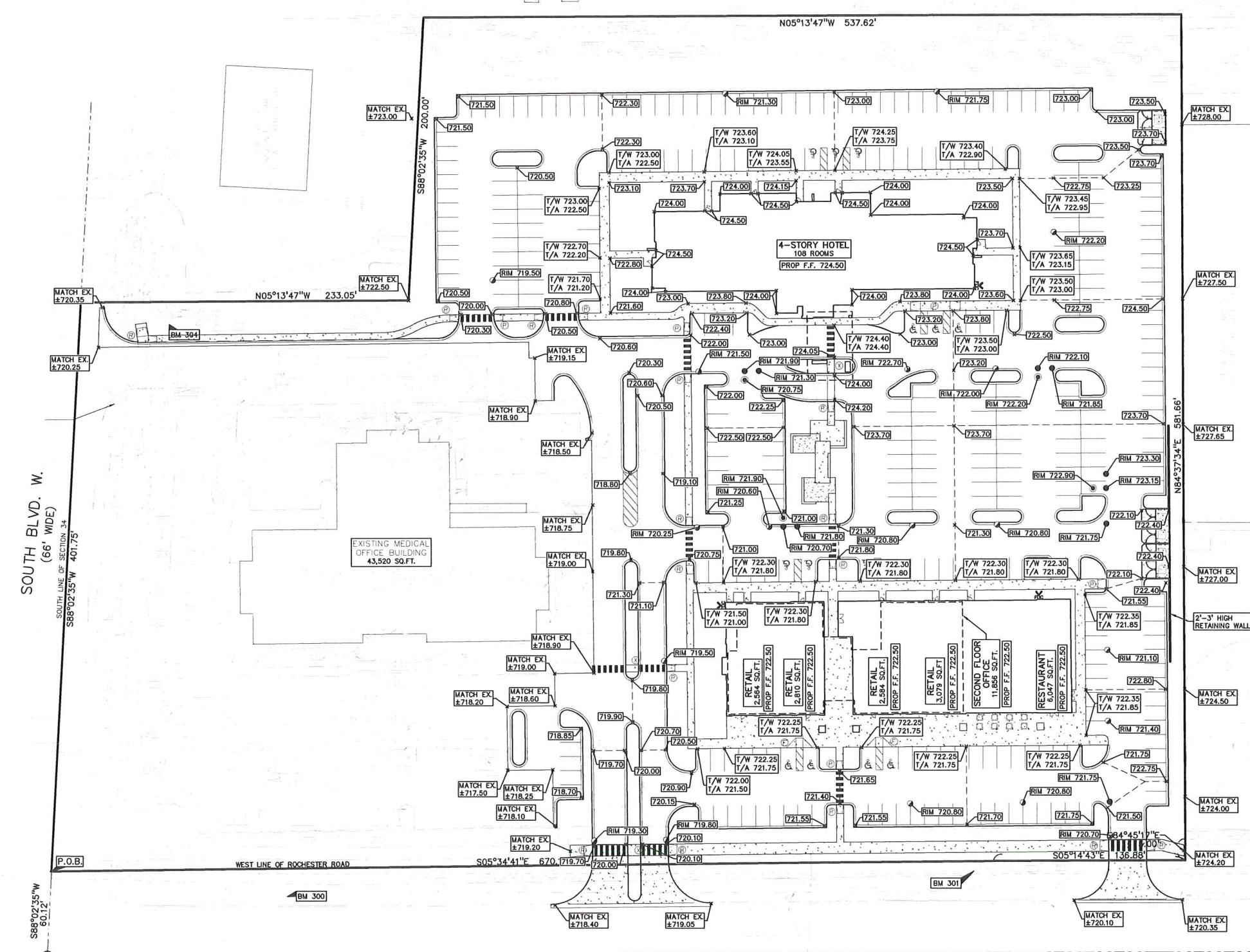
The land referred to in this commitment is described as follows: City of Rochester Hills, County of Oakland, State of Michigan

Part of the Southeast 1/4 Section 34, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan, beginning at a point distant South 88 degrees 02 minutes 35 seconds West, 60.12 feet from Southeast Section corner; thence South 88 degrees 02 minutes 35 seconds West, 401.75 feet; thence North 05 degrees 13 minutes 47 seconds West, 233.05 feet; thence South 88 degrees 02 minutes 35 seconds West, 200.00 feet; thence North 05 degrees 13 minutes 47 seconds West, 537.62 feet; thence North 84 degrees 37 minutes 3/4 seconds East, 581.86 feet; thence North 84 degrees 45 minutes 17 seconds East, 15.00 feet and thence South 05 degrees 14 minutes 43 seconds East, 136.88 feet and thence South 05 degrees 34 minutes 41 seconds East, 670.10 feet along West line of Rochester Road to beginning.



NO.	DATE	BY	DESCRIPTION
1	12/14/17	JPB	PRELIMINARY SITE PLAN
2	12/14/17	JPB	DEPARTMENT REVIEW COMMENTS
3	12/14/17	JPB	CITY REVIEW COMMENTS

REVISIONS



LEGEND

● IRON FOUND	⊕ SEC. CORNER FOUND
⊗ IRON SET	⊕ MONUMENT FOUND
⊙ NAIL FOUND	⊕ MONUMENT SET
⊚ NAIL & CAP SET	⊕ RECORDED
	⊕ MEASURED
	⊕ CALCULATED

EXISTING

- OH-ELEC—W—O— ELEC. PHONE OR CABLE TV OR LINE, POLE & OUT RISE
- UG-CAT— ELEC. UNDERGROUND CABLE TO CITY FEDERAL
- UG-FAND— TELEPHONE U.G. CABLE, FEEDLINE & MANHOLE
- UG-ELEC— ELEC. U.G. CABLE, MANHOLE, METER & MANHOLE
- GAS— GAS MAIN, VALVE & GAS LINE WARNER
- WATER— WATER MAIN, HYD. GATE VALVE, TAPPING SLAVE & VALVE
- SEWER— SANITARY SEWER, CLEANOUT & MANHOLE
- STORM— STORM SEWER, CLEANOUT & MANHOLE
- COMB— COMBINED SEWER & MANHOLE
- SOAK— SOAKING POND & BEEHIVE CATCH BASIN, YARD DRAIN
- POST— POST INDICATOR VALVE
- WATER VALVE BOX/IRRIANT VALVE BOX, SERVICE SHUTOFF
- METER— METER, TRANSFORMER, PRECISION CONTROL VALVE
- UNID— UNIDENTIFIED STRUCTURE
- SPOT— SPOT ELEVATION
- CONC— CONTOUR LINE
- FENCE— FENCE
- GUARD— GUARD RAIL
- STREET— STREET LIGHT
- SIGN— SIGN

PROPOSED

- SD— SD HEAVY RDM
- DUTY ONLY
- SD HEAVY DEEP
- DUTY STRENGTH

CONCRETE

ASPHALT

SIDEWALK RAMP LEGEND:

- ⊕ SIDEWALK RAMP "TYPE R"
- ⊕ SIDEWALK RAMP "TYPE F"
- ⊕ SIDEWALK RAMP "TYPE P"
- ⊕ CURB DROP ONLY

REFER TO LATEST M.D.O.T. R-2B STANDARD RAMP AND DETECTABLE WARNING DETAILS

SYMBOLS: GRADING

- ⊕ PROPOSED SPOT GRADE ELEVATION. ALL GRADES INDICATED ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- 722— PROPOSED CONTOUR LINE

EARTHWORK BALANCING NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

GENERAL GRADING AND EARTHWORK NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
2. ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
3. THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
4. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE CITY OF TROY AND OAKLAND COUNTY. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE CITY PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE GEOTECHNICAL ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.



CAUTION!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

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GATEWAY PROPERTIES - ROCHESTER HILLS, LLC
38700 VAN DYKE AVE SUITE 200 - STERLING HEIGHTS, MI 48312

GATEWAY OF ROCHESTER HILLS
PART OF THE SOUTHEAST 1/4 OF SECTION 34, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

GRADING PLAN

DES: CMP DN: CMP SUR: PEA P.M. JPB
DATE: 12/14/17

ORIGINAL ISSUE DATE:
DECEMBER 14, 2017

PEA JOB NO: 2017-237

SCALE: 1" = 40'

DRAWING NUMBER:
C-5.0

BENCHMARKS
(GPS DERIVED - NAVD83)

BM #300
ARROW ON A HYDRANT LOCATED ON THE WEST SIDE OF ROCHESTER ROAD, APPROX. 60' FROM THE NORTHWEST CORNER OF ROCHESTER ROAD AND SOUTH BLVD.
ELEV. - 720.05

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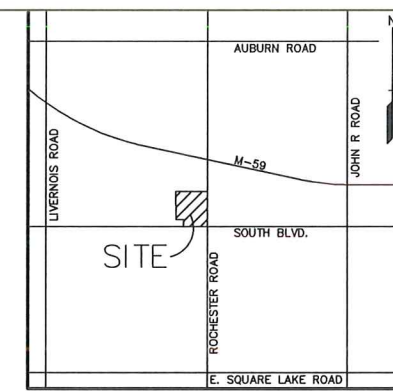
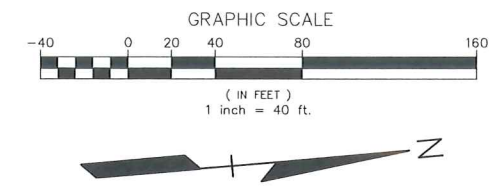
FLOODPLAIN NOTE:
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LEGAL DESCRIPTION
(Per ALTA National Title Group, Commitment No. 63-17527010-SM, dated April 03, 2016)

PARCEL ID 15-34-477-015

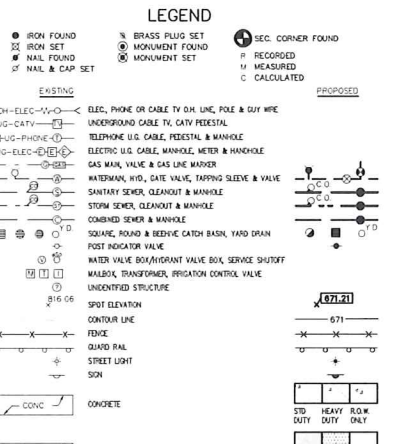
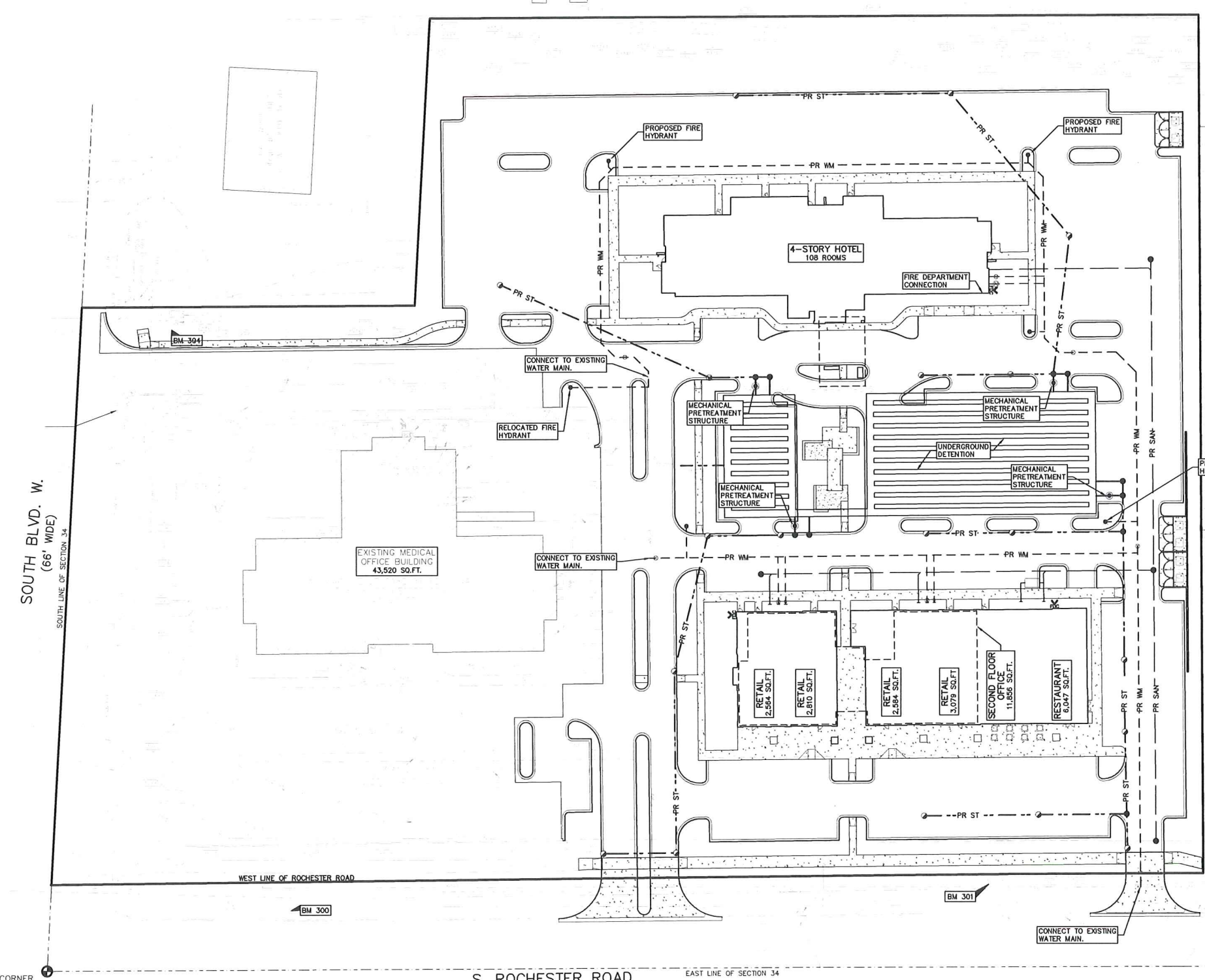
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NO.	DATE	DESCRIPTION
1	12/14/17	PRELIMINARY SITE PLAN
2	12/14/17	DEPARTMENT REVIEW COMMENTS
3	01/11/18	DEPARTMENT REVIEW COMMENTS

REVISIONS



GENERAL UTILITY NOTES:
ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE CITY OF ROCHESTER HILLS.

DRAINAGE NARRATIVE:
THE PROPOSED DEVELOPMENT WILL DRAIN TO AN UNDERGROUND DETENTION SYSTEM AND RELEASED TO THE EXISTING STORM SEWER AT THE PRE-DEVELOPMENT DISCHARGE RATE.

THE MEDICAL OFFICE SITE STUBBED A 24" STORM SEWER TO THE NORTH PROPERTY TO ACCOMMODATE FUTURE DRAINAGE.

	area	C	AxC
total	276,014		
pervious	85,822	0.25	21,455.5
impervious	190,192	0.95	180,681.9
		0.73235	202137.4

Project: G10 SOUTH AND ROCHESTER
 Location: ROCHESTER HILLS
 Date: 12/15/2017
 Project No: 2017-237

25 YEAR STORM DETENTION DESIGN (OAKLAND COUNTY DESIGN METHOD)

Contributing Area (A): 6.34 acres
 Allowable Discharge (Qa): 1.27 CFS (0.2 CFS/acre)
 Coefficient of Runoff (Ct): 0.73

Calculation of Required Discharge/Acre
 $Qa = ((Qa)(A)(Ct)) / 60$
 $T = -25 - ((8062.5)(Qa)) / 0.5$

Storage Volume Required:
 $Vs = (12900)(T)(T+25) - 400a(T)$
 $Vs = (Vs)(A)(Ct)$

PIPE STORAGE:
 L = 2250 ft
 SIZE = 60 in
 C.F./FT = 19.625 cf/ft
 VOLUME = 44,156.25 cf

PROPOSED SANITARY SEWER BASIS OF DESIGN:
(Unit Factors Based on Oakland County Unit Assignment Factors)

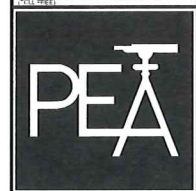
USE	Square Footage	Estimated No. of Employees	Unit Factor	Population (P) (3.5 PEOPLE/EDU)
RETAIL				
RETAIL	11,037 S.F.	17	0.16 per employee	9.3 People
RETAIL	2,584 SQ.FT.	2	2.6	7.0 People
RETAIL	2,810 SQ.FT.	2	2.6	7.0 People
RETAIL	2,584 SQ.FT.	2	2.6	7.0 People
RETAIL	3,079 SQ.FT.	2	2.6	7.0 People
SECOND FLOOR OFFICE	11,856 SQ.FT.	169	0.13 per seat	77.0 People
RESTAURANT	8,047 SQ.FT.	22	0.38 per room	41.0 People
OFFICE				
OFFICE	11,856	4	0.4 per 1,000 SF	16.6 People
OFFICE	4,700	108	0.38 per room	41.0 People
HOTEL				
HOTEL	16,600	108	0.38 per room	41.0 People
HOTEL	4,700	108	0.38 per room	41.0 People
TOTAL				
TOTAL	70.4	247 People		
Average Flow (100 GPCPD)	24,700 G.P.D.			
	0.038 C.F.S.			
P (1000s)	0.247			
Peaking Factor (PF)	4.00			
PF = (18 * sqrt(P)) / (4 * sqrt(P))				
Peak Flow (G.P.D.)	98,800 G.P.D.			
Peak Flow (C.F.S.)	0.153 C.F.S.			
8" Pipe Capacity Provided =	1.21 C.F.S.			



CAUTION!
THE DESIGN HEREIN IS A PRELIMINARY DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON.

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GATEWAY PROPERTIES ROCHESTER HILLS, LLC
38700 VAN DYKE AVE SUITE 200 - STERLING HEIGHTS, MI 48312

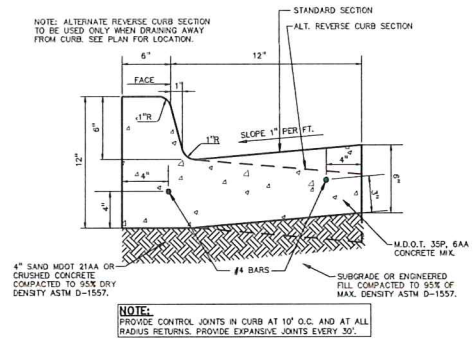
UTILITY PLAN
GATEWAY OF ROCHESTER HILLS
PART OF THE SOUTHEAST 1/4 OF SECTION 34, TOWNSHIP 3 NORTH, RANGE 11 EAST, COUNTY OF OAKLAND COUNTY, MICHIGAN

DESIGNED BY: JPB
CHECKED BY: PEA
SURVEYED BY: PEA
DATE: 12/14/17

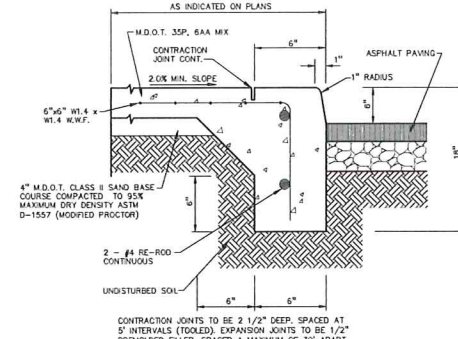
ORIGINAL ISSUE DATE: DECEMBER 14, 2017
 PEA JOB NO. 2017-237
 SCALE: 1" = 40'
 DRAWING NUMBER: C-6.0

T CORNER

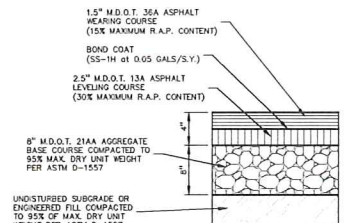
CITY FILE #95-044.2 NOT FOR CONSTRUCTION



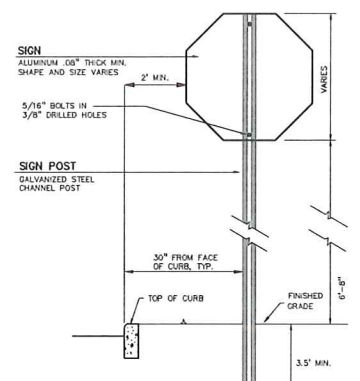
18"x6" STANDARD CONCRETE CURB AND GUTTER
NOT TO SCALE



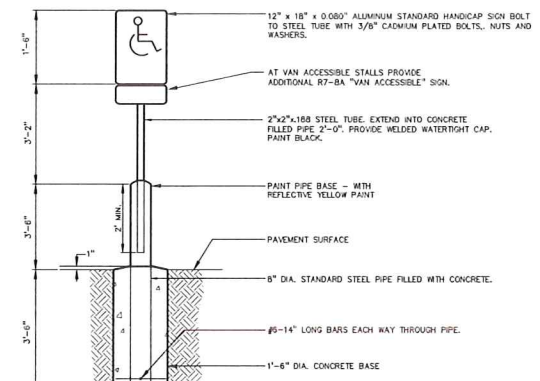
INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



STANDARD DUTY ASPHALT DETAIL
(NOT FOR USE IN THE RIGHT-OF-WAY)



SIGN AND POST INSTALLATION IN LANDSCAPED AREAS
NOT TO SCALE



SIGN AND POST INSTALLATION IN PAVED AREAS
NOT TO SCALE



CAUTION!!
THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

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GATEWAY PROPERTIES ROCHESTER HILLS, LLC
38700 VAN DYKE AVE SUITE 200 - STERLING HEIGHTS, MI 48312

GATEWAY OF ROCHESTER HILLS
PART OF THE SOUTHEAST 1/4 OF SECTION 34, T30N, R11E CITY OF ROCHESTER HILLS, OKLAND COUNTY, MICHIGAN

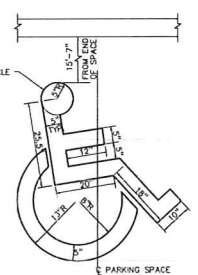
DES: CMP DN. CMP SUR. PEA P.M. JPB
DATE: 12/18/17

ORIGINAL ISSUE DATE: DECEMBER 14, 2017
PEA JOB NO. 2017-237
SCALE: NA
DRAWING NUMBER: **C-7.0**

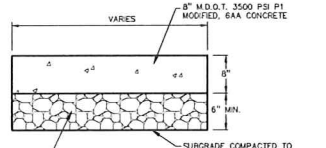


RESERVED PARKING ONLY

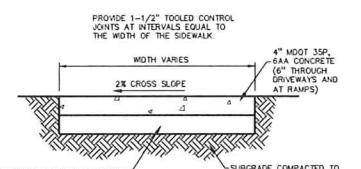
BARRIER FREE PARKING SIGN DETAIL
NOT TO SCALE



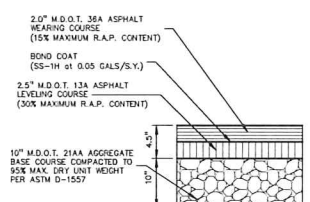
STANDARD "BARRIER FREE" SYMBOL FOR PARKING SIGN
NOT TO SCALE



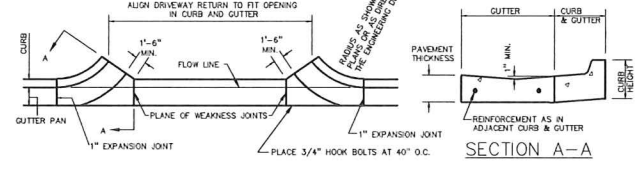
HEAVY DUTY CONCRETE DETAIL
NOT TO SCALE



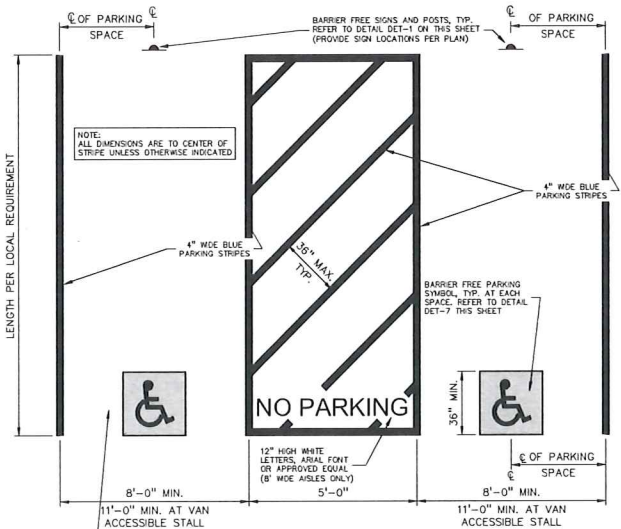
CONCRETE SIDEWALK
NOT TO SCALE



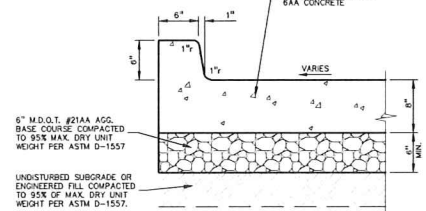
HEAVY DUTY ASPHALT DETAIL
(NOT FOR USE IN THE RIGHT-OF-WAY)



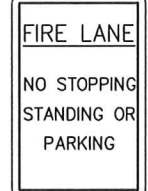
M.D.O.T. DRIVEWAY OPENING-DETAIL 'M'
NOT TO SCALE



BARRIER FREE PARKING STALL DETAIL
NOT TO SCALE

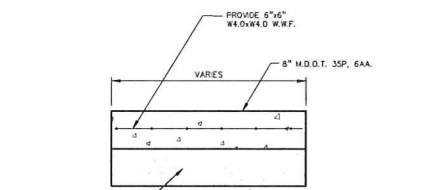


CONCRETE PAVEMENT WITH INTEGRAL CURB
NOT TO SCALE

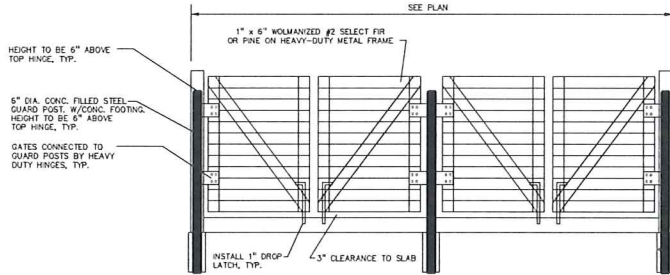


FIRE LANE NO STOPPING STANDING OR PARKING

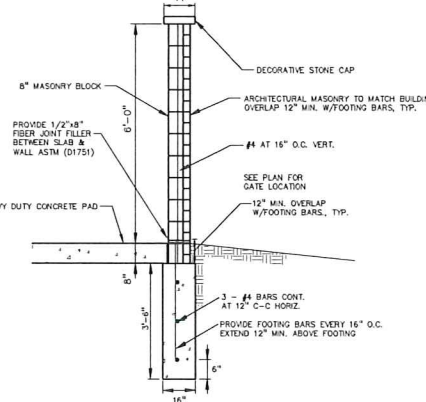
NO PARKING SIGN DETAIL
NOT TO SCALE



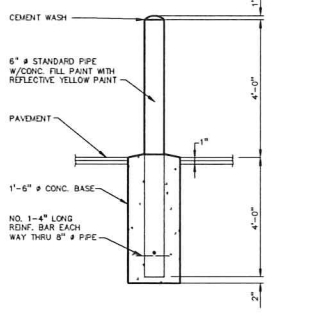
HEAVY DUTY CONCRETE PAD DETAIL
NOT TO SCALE



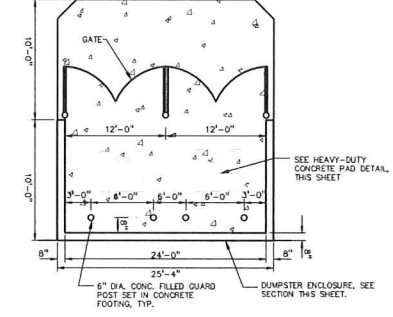
TRASH ENCLOSURE GATE DETAIL
NOT TO SCALE



DUMPSTER ENCLOSURE WALL CROSS SECTION



6" DIA. GUARD POST DETAIL
NOT TO SCALE

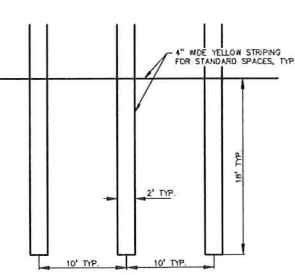


DOUBLE DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE

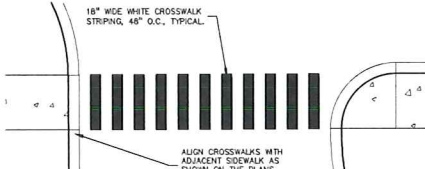


RESERVED PARKING VAN ACCESSIBLE

VAN ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



DOUBLE STRIPING DETAIL
NOT TO SCALE



STRIPED CROSSWALK DETAIL
NOT TO SCALE

CITY OF ROCHESTER HILLS NOTES:

TREE PLANTING RESTRICTIONS:
 Prior approval is required to plant any tree or shrub on the public right-of-way. All trees and shrubs must be planted at least 10' from the edge of the public road. Shade trees and shrubs must be planted at least 5' from the edge of the public roadway. Evergreen and ornamental trees must be planted at least 10' from the edge of the public roadway. No trees or shrubs may be planted within the triangular area formed at the intersection of any street right-of-way lines at a distance along each line of 25' from their point of intersection. No trees or shrubs may be planted in the triangular area formed at the intersection of any driveway with a public roadway at a distance along each line of 15' from their point of intersection. All trees and shrubs must be planted at least 10' from any fire hydrant. Shade and evergreen trees must be at least 15' away from the nearest overhead wire. Trees must be planted a minimum of 5' from an underground utility, unless the city's Landscape Architect requires a greater distance. These requirements are incorporated into the plan.

CLOSING COMMENT:
 Prior to the release of the performance bond, the City of Rochester Hills Forestry Division needs to inspect all trees, existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developer to remove, and possibly replace, any such trees.

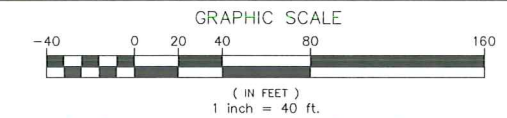
IRRIGATION NOTES:
 ALL LANDSCAPE AREAS MUST BE IRRIGATED. WATERING WILL ONLY OCCUR BETWEEN THE HOURS OF 12AM-SAM.

PER CITY OF ROCHESTER HILLS MAINTENANCE AGREEMENT:

Section 138-12-103 Maintenance
 The owner of the property shall be responsible for all maintenance of the site, including, but not limited to:
 A. Landscaping shall be kept in a neat, orderly and healthy growing condition, free from debris and refuse.
 B. Pruning shall be minimal at the time of installation, only to remove dead or diseased branches. No pruning shall be done at a time of year that will cause damage to the plants to be pruned.
 C. All dead, damaged, or diseased plant material shall be removed immediately and replaced with like plants of the same or better quality, unless otherwise specified. For purposes of this section, the planting season for deciduous plants shall be between March 1 and June 1, and for evergreen plants between May 1 and June 1. Plant material installed to replace dead or diseased material shall be as close as practical to the size of the material it is intended to replace. The City may notify property owners of the need to replace dead, damaged, or diseased material.
 D. The approved landscape plan shall be considered a permanent record and integral part of the Site Plan. Approval, unless otherwise specified in accordance with the aforementioned procedures, any additions to or removal of plants, materials, or law compliance with the maintenance requirements of this Section 138-12-103 shall since the plan is not conforming with the approved landscape plan and to a violation of this Ordinance.
 E. If protected trees are damaged, a fine shall be assessed on an inch-by-inch basis at a monetary rate as defined by the Forestry Department.

NATURAL FEATURES/ENVIRONMENTAL IMPACT STATEMENT
 A. ENVIRONMENTAL IMPACT STATEMENT Measures were taken to preserve existing features on site and minimize environmental impacts, especially with regard to maintaining as many trees as possible along the west border of the site.
 B. TREE REMOVAL The site is not subject to the City's tree preservation ordinance as the site was subdivided prior to the enactment of the tree preservation ordinance. As much existing vegetation as possible was preserved, especially along the west property line.
 C. WETLANDS The site does not contain regulated wetlands.
 D. NATURAL FEATURES SETBACK The site does not contain regulated natural features.
 E. STEEP SLOPES The site does not contain any regulated steep slopes.

NOTES
 A. If required trees cannot fit or planted due to infrastructure conflicts, a payment in lieu of may be made to the City's tree fund at a rate of \$205.50 per tree. Existing healthy vegetation on the site may be used to satisfy landscape requirements and must be identified on the plans.
 B. Prior to the release of the performance bond, the City of Rochester Hills must inspect all landscape plantings.



COST OPINION

PROJECT NAME	G-10 SOUTH & ROCHESTER ROAD	JOB NO.	2017-237
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LANDSCAPE COST OPINION

99 EA.	3" Deciduous Trees	\$400.00	\$38,400.00
31 EA.	1 1/2" Evergreen Trees	\$300.00	\$9,300.00
27 EA.	10HT Evergreen Trees	\$400.00	\$10,800.00
50 EA.	Ornamental Trees	\$250.00	\$12,500.00
142 EA.	Shrubs	\$50.00	\$7,100.00
6,139 S.Y.	Sod Lawn	\$6.00	\$36,834.00
23 C.Y.	Mulch AT 3" Depth	\$45.00	\$1,035.00
92 C.Y.	Plant Mix for Planting Beds at 12" depth	\$12.00	\$1,104.00
1,253 L.F.	Metal Edge	\$5.75	\$7,203.75
1 L.S.	Irrigation	\$30,000.00	\$30,000.00
511 C.Y.	Topsoil (Haul and Spread) for lawn at 3"	\$7.00	\$3,577.00
TOTAL LANDSCAPE			\$137,881.75

DOES NOT INCLUDE EDGING, MULCH, LAWN, PERENNIALS AND SHRUBS IN AMENITY SPACE

LANDSCAPE CALCULATIONS: B3 SHOPPING CENTER BUSINESS

PER CITY OF ROCHESTER HILLS ZONING ORDINANCE
OUTDOOR AMENITY SPACE
 REQUIRED: 2% OF GROSS LAND AREA OF DEVELOPMENT
 261,360 SF * 0.02 = 5,227 SF
 PROVIDED: 7,385 SF

BUFFER D - WEST PROPERTY LINE
 REQUIRED: 25 FOOT WIDE
 2.5 DECIDUOUS TREES, 1.5 ORNAMENTAL TREES, 5 EVERGREENS AND 8 SHRUBS PER 100 LF

537 LF/100 = 5.37
 5.37*2.5 = 13 DECIDUOUS TREES
 5.37*1.5 = 8 ORNAMENTAL TREES
 5.37*5 = 27 EVERGREENS
 5.37*8 = 43 SHRUBS

PROVIDED: 13 DECIDUOUS TREES, 8 ORNAMENTAL TREES, 27 EVERGREENS AND 43 SHRUBS

RIGHT OF WAY AT ROCHESTER ROAD
 REQUIRED: 25 FOOT WIDE
 368 LF/35 = 11 DECIDUOUS TREES
 368 LF/60 = 6 ORNAMENTAL TREES

PROVIDED: 11 DECIDUOUS TREES, 6 ORNAMENTAL TREES

(NOT ENOUGH ROOM TO BE PLACED BETWEEN PARKING LOT AND STREET DUE TO UTILITIES AND SITE LINES, TREES ARE LOCATED ELSEWHERE ON SITE.)

FRONT YARD IN FB DISTRICT ARTERIAL
 REQUIRED: 10 FT WIDTH, PLUS 2 DECIDUOUS TREES, 4 ORNAMENTAL TREES AND 12 SHRUBS PER 100 LF

368 LF/100 = 3.68
 3.68*2 = 7 DECIDUOUS TREES
 3.68*4 = 15 ORNAMENTAL TREES
 3.68*12 = 44 SHRUBS

PROVIDED: 8 DECIDUOUS TREES, 16 ORNAMENTAL TREES AND 48 SHRUBS
 (NOT ENOUGH ROOM TO BE PLACED BETWEEN PARKING LOT AND STREET DUE TO UTILITIES AND SITE LINES, TREES ARE LOCATED ELSEWHERE ON SITE.)

FRONT YARD IN FB DISTRICT MINOR
 REQUIRED: 5 FT WIDTH, PLUS 3 ORNAMENTAL TREES AND 8 SHRUBS PER 100 LF

320 LF/100 = 3.2
 3.2*3 = 10 ORNAMENTAL TREES
 3.2*8 = 26 SHRUBS

PROVIDED: 10 ORNAMENTAL TREES, 26 SHRUBS
 (NOT ENOUGH ROOM FOR TREES TO BE PLACED ALONG ROAD DUE TO WATER MAIN LOCATION, TREES ARE LOCATED ELSEWHERE ON SITE.)

INTERIOR STREET TREES
 REQUIRED: 1 DECIDUOUS TREE PER 35 LF

320 LF/35 = 9 DECIDUOUS TREES

PROVIDED: 9 DECIDUOUS TREES

PARKING LOT INTERIOR
 REQUIRED: 5% OF PARKING LOT, PLUS 1 DECIDUOUS TREE PER 150 SF LANDSCAPED AREA

122,793.05 = 6,140
 6,140 SF/150 = 41 TREES

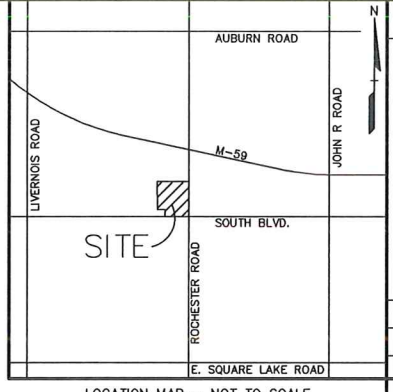
PROVIDED: 8,211 SF, 41 TREES

PARKING LOT PERIMETER
 REQUIRED: 1 DECIDUOUS TREE PER 25 LF, 1 ORNAMENTAL TREE PER 35 LF, SHRUB HEDGE

356 LF/25 = 14 DECIDUOUS TREES
 356 LF/35 = 10 ORNAMENTAL TREES

PROVIDED: 14 DECIDUOUS TREES, 10 ORNAMENTAL TREES, HEDGE ROW

(NOT ENOUGH ROOM TO BE PLACED BETWEEN PARKING LOT AND STREET DUE TO UTILITIES AND SITE LINES, TREES ARE LOCATED ELSEWHERE ON SITE.)

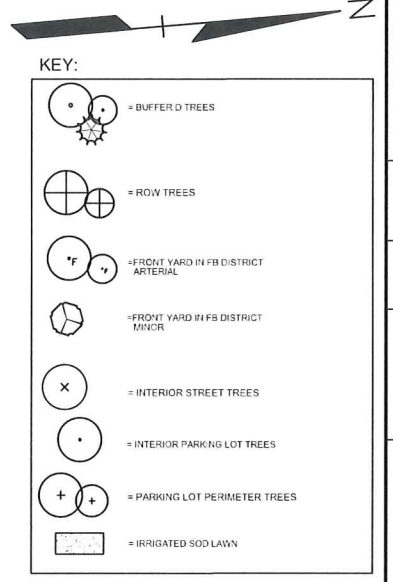


REVISIONS

NO.	DATE	DESCRIPTION
1	12/14/17	PRELIMINARY SITE PLAN
2	1/12/18	DEPARTMENT REVIEW COMMENTS
3	2/15/18	DEPARTMENT REVIEW COMMENTS



CAUTION!
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCHESTER HILLS AND THE STATE OF MICHIGAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCHESTER HILLS AND THE STATE OF MICHIGAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ROCHESTER HILLS AND THE STATE OF MICHIGAN.



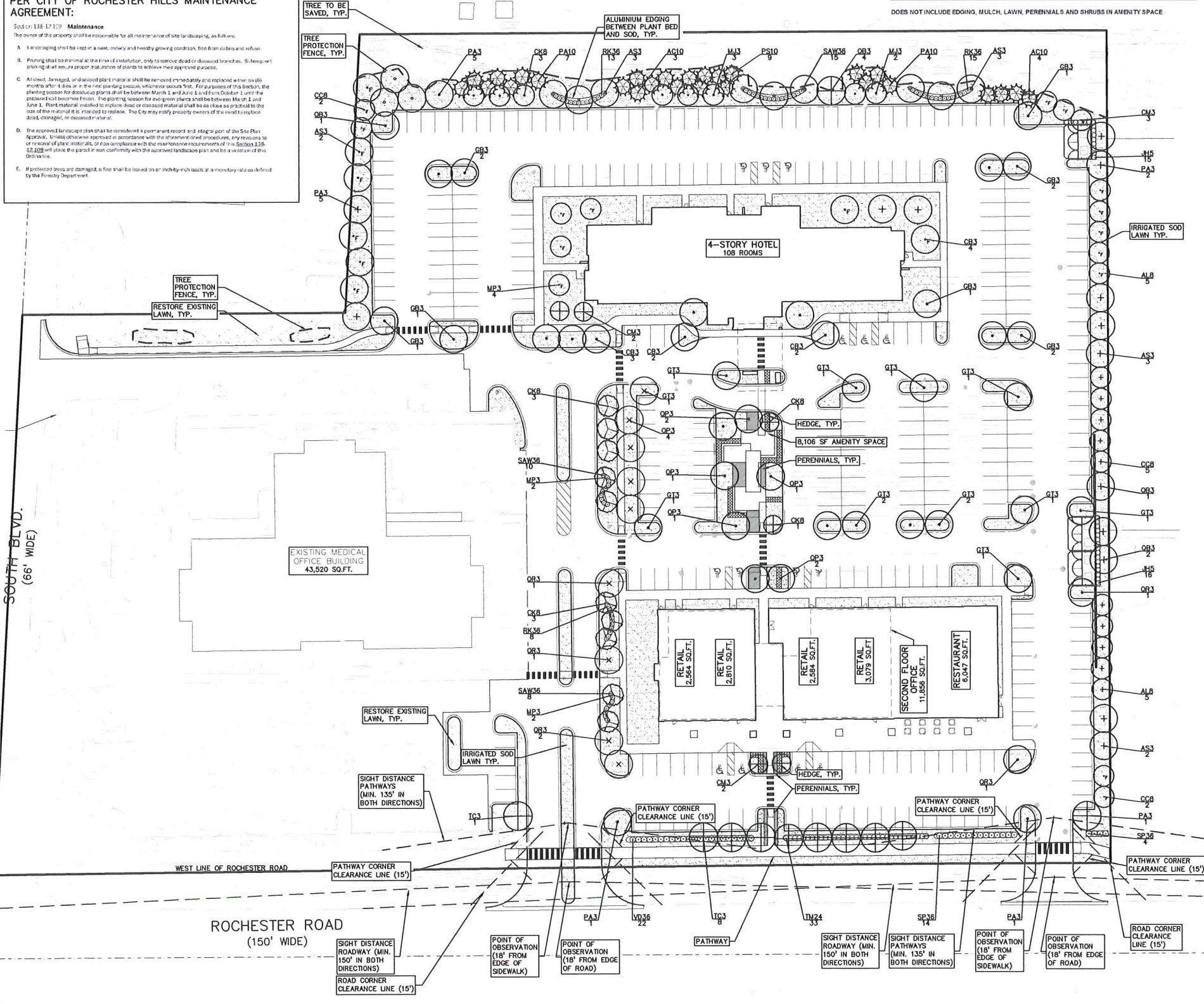
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GATEWAY PROPERTIES
ROCHESTER HILLS, LLC
LANDSCAPE PLAN
 38700 VAN DYKE AVE SUITE 200 - STERLING HEIGHTS, MI 48312
GATEWAY OF ROCHESTER HILLS
 PART OF THE SOUTHEAST 1/4 OF SECTION 34, T03N, R11E
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

ORIGINAL ISSUE DATE:
 DECEMBER 14, 2017
 PEA JOB NO. 2017-237
 SCALE: 1" = 40'
 DRAWING NUMBER:
L-1.0

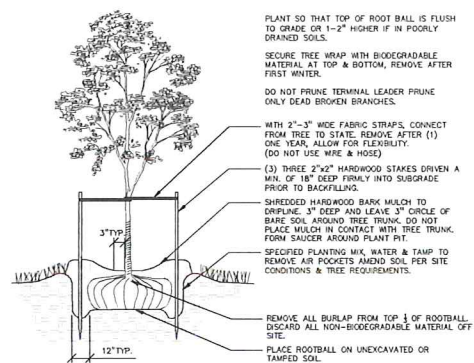


DECIDUOUS TREE PLANT LIST:

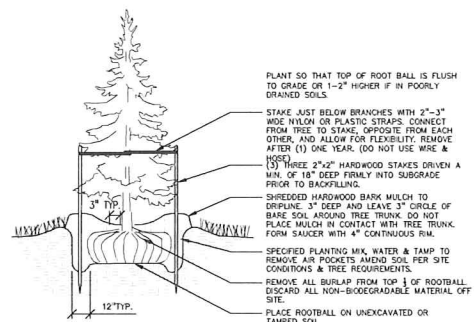
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
10	AL8	Allegheny Serviceberry	<i>Amelanchier laevis</i>	8" HL	B&B
13	AS3	Green Mountain Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	3" Cal.	B&B
11	CB3	Columnar Hornbeam	<i>Carpinus betulus 'Fastigata'</i>	3" Cal.	B&B
9	CC8	Eastern Redbud	<i>Cercis canadensis</i>	8" HL	B&B
11	CK8	Kousa Dogwood	<i>Cornus kousa</i>	8" HL	B&B
7	CM3	Cornelian Cherry Dogwood	<i>Cornus mas</i>	3" Cal.	B&B
10	GB3	Ginkgo	<i>Ginkgo biloba-male only</i>	3" Cal.	B&B
13	GT3	Skylinx Honeylocust	<i>Gleditsia triacanthos 'Skyline' Inermis</i>	3" Cal.	B&B
5	MJ3	Marlee Crab	<i>Malus 'Jarmir' PP</i>	3" Cal.	B&B
8	MP3	Prairiefire Crab	<i>Malus 'Prairiefire'</i>	3" Cal.	B&B
15	PA3	Encore London Planetree	<i>Platanus x acerifolia 'Encore'</i>	3" Cal.	B&B
8	QB3	Swamp White Oak	<i>Quercus bicolor</i>	3" Cal.	B&B
11	QR3	Regal Prince Oak	<i>Quercus robur x bicolor 'Long' (columnar)</i>	3" Cal.	B&B
6	QO3	Red Oak	<i>Quercus rubra</i>	3" Cal.	B&B
9	TC3	Summer Sprite Linden	<i>Tilia cordata 'Halka'</i>	3" Cal.	B&B

SHRUB PLANT LIST:

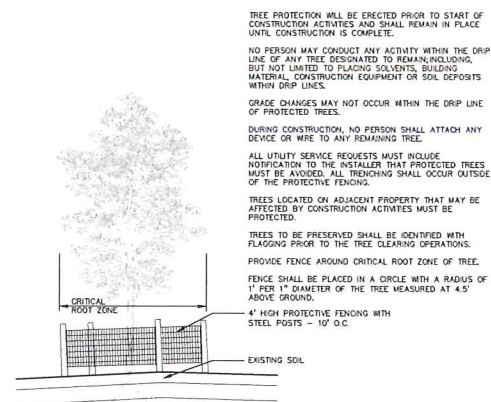
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
7	AC10	Concolor Fir	<i>Abies concolor</i>	10" HL	B&B
31	JH5	Hetz Columnar Juniper	<i>Juniperus chinensis 'Hetzai Columnaris'</i>	5" HL	B&B
11	PA10	Norway Spruce	<i>Picea abies</i>	8" HL	B&B
9	PS10	Eastern White pine	<i>Pinus strobus</i>	8" HL	B&B



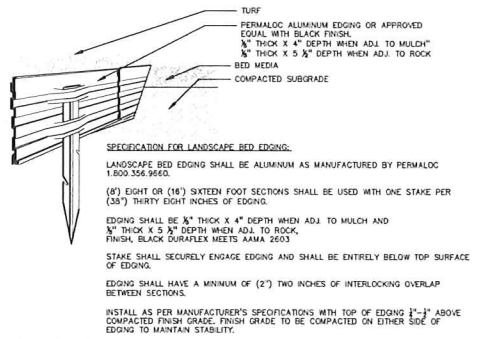
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



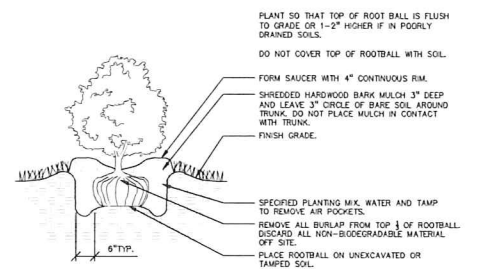
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



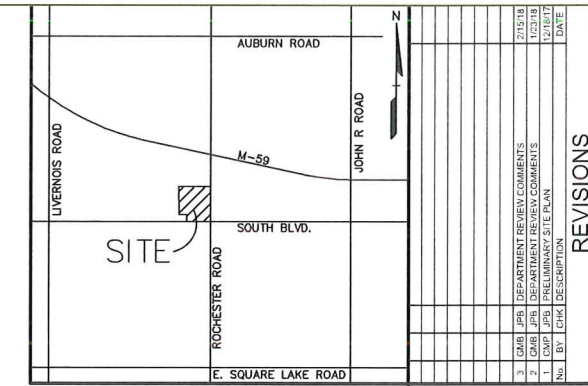
TREE PROTECTION DETAIL
NOT TO SCALE



ALUMINUM EDGE DETAIL
NOT TO SCALE

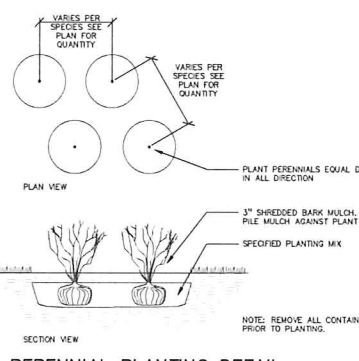


SHRUB PLANTING DETAIL
NOT TO SCALE



GENERAL PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES, CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1, GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER, TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS, ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS WILL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH, WITH PRE EMERGENT, SEE SPECIFICATIONS, SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.



CAUTION!!

THE INFORMATION HEREIN IS UNCHECKED AND UNVERIFIED. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION.

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GATEWAY PROPERTIES ROCHESTER HILLS, LLC
38700 VAN DYKE AVE SUITE 200 - STERLING HEIGHTS, MI 48312

LANDSCAPE DETAILS

GATEWAY OF ROCHESTER HILLS
PART OF THE SOUTHEAST 1/4 OF SECTION 34, TOWNSHIP 11E, RANGE 1E, COUNTY OF OAKLAND COUNTY, MICHIGAN

DES: JTS DN LAW SUR PEA P.M. JPB
S: UNCHECKED/NOT FOR CONSTRUCTION/ROCHESTER - PEAINC/LANDSCAPE SITE PLANS/LANDSCAPE PLAN - 27 - 237 (REV)

ORIGINAL ISSUE DATE:
DECEMBER 14, 2017

PEA JOB NO. 2017-237

SCALE: N/A

DRAWING NUMBER:
L-1.1

BENCHMARKS
(GPS DERIVED - NAVD83)

BM #300
ARROW ON A HYDRANT LOCATED ON THE WEST SIDE OF ROCHESTER ROAD, APPROX. 80' FROM THE NORTHWEST CORNER OF ROCHESTER ROAD AND SOUTH BLVD.
ELEV. - 720.05

BM #301
ARROW ON THE SECOND HYDRANT NORTH OF SOUTH BLVD. ON THE WEST SIDE OF ROCHESTER ROAD.
ELEV. - 722.27

BM #302
ARROW ON A HYDRANT LOCATED IN THE ISLAND LOCATED AT THE NORTHWEST CORNER OF THE PARKING LOT FOR 3950 ROCHESTER ROAD.
ELEV. - 722.18

BM #303
DRILLED MAG/WASHER IN THE SOUTHEAST CORNER OF A TRANSFORMER PAD LOCATED WEST OF THE SOUTH BLVD. ENTRANCE FOR 3950 ROCHESTER ROAD.
ELEV. - 720.13

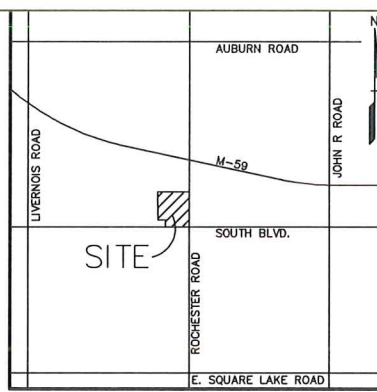
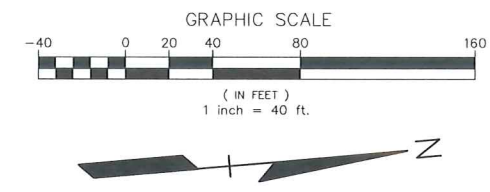
FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X1' AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 28125C0532F, DATED SEPTEMBER 29, 2006.

LEGAL DESCRIPTION
(Per ALTA National Title Group, Commitment No. 63-17527010-SM, dated April 03, 2016)

PARCEL ID 15-34-477-015

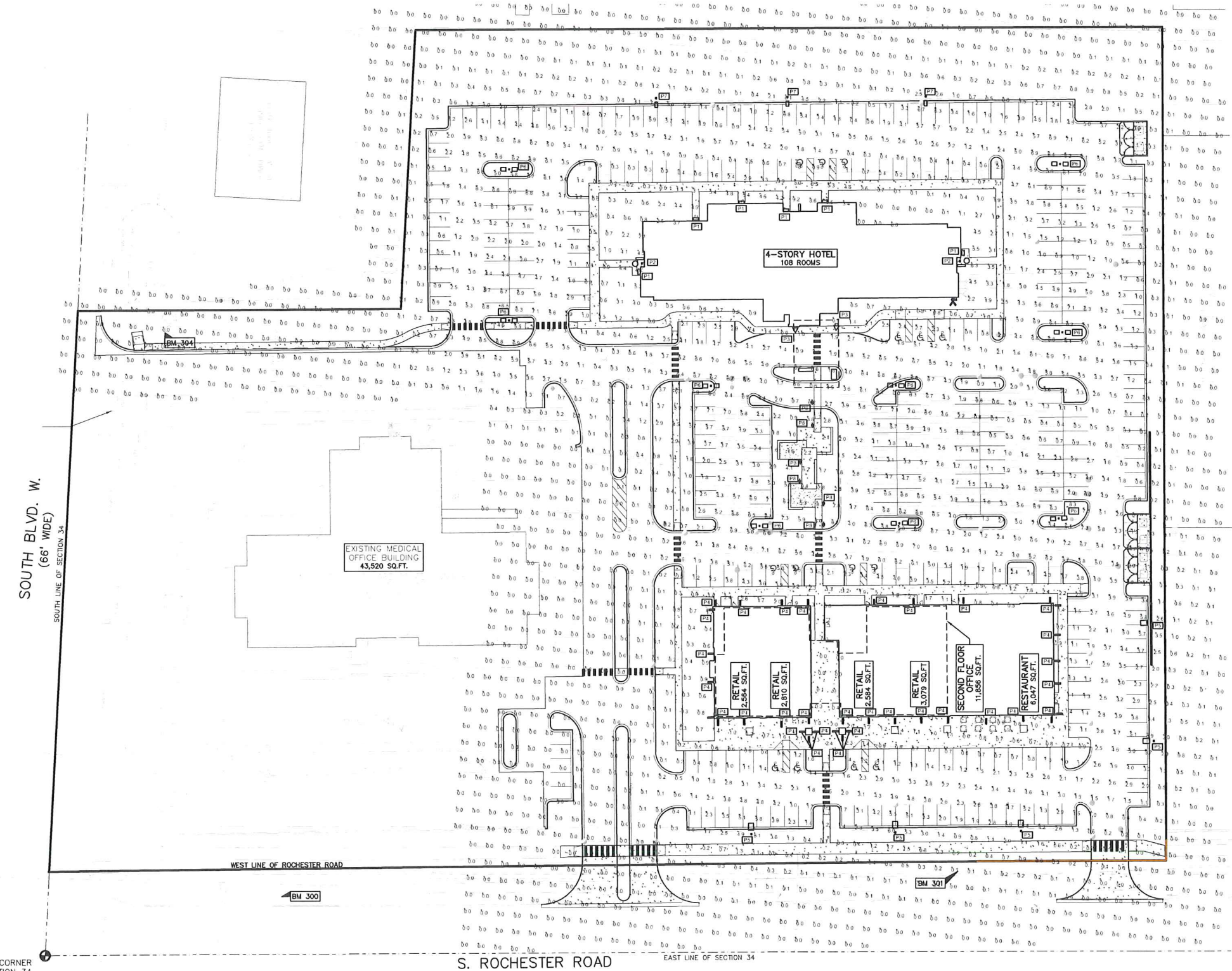
The land referred to in this commitment is described as follows: City of Rochester Hills, County of Oakland, State of Michigan

Part of the Southeast 1/4 Section 34, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan, beginning at a point distant South 88 degrees 02 minutes 35 seconds West, 60.12 feet from Southeast Section corner; thence South 88 degrees 02 minutes 35 seconds West, 401.75 feet; thence North 05 degrees 13 minutes 47 seconds West, 233.05 feet; thence South 88 degrees 02 minutes 35 seconds West, 200.00 feet; thence North 05 degrees 13 minutes 47 seconds West, 537.62 feet; thence North 84 degrees 37 minutes 34 seconds East, 581.68 feet; thence North 84 degrees 45 minutes 17 seconds East, 15.00 feet and thence South 05 degrees 14 minutes 43 seconds East, 136.88 feet and thence South 05 degrees 34 minutes 41 seconds East, 670.10 feet along West line of Rochester Road to beginning.



NO.	DATE	DESCRIPTION
1	12/14/17	PRELIMINARY SITE PLAN
2	12/14/17	DEPARTMENT REVIEW COMMENTS
3	12/14/17	DEPARTMENT REVIEW COMMENTS

REVISIONS



LEGEND

● IRON FOUND	○ BRASS PLUG SET	○ SEC. CORNER FOUND
⊗ IRON SET	⊗ MONUMENT FOUND	○ RECORDED
⊙ NAIL FOUND	⊙ MONUMENT SET	○ MEASURED
⊙ NAIL & CAP SET		○ CALCULATED

EXISTING

- ELEC—W—O— ELEC. PHONE OR CABLE TV DIAL LINE, POLE & OUT WIRE
- G—CAT—E— UNDERGROUND CABLE TV CATV FEEDER
- G—PHONE—E— TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
- ELEC—G—E—E— ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
- GAS—W—E— GAS MAIN, VALVE & GAS LINE WARMER
- WATER—W—E— WATERMAIN, W/O, GATE VALVE, TAPPING SLUICE & VALVE
- SEWER—W—E— SANITARY SEWER, CLEANOUT & MANHOLE
- STORM—W—E— STORM SEWER, CLEANOUT & MANHOLE
- COIN—W—E— COINDED SEWER & MANHOLE
- SOAK—W—E— SOAKWAY, ROAD & BEDDING CATCH BASIN, YARD DRAIN
- POST—W—E— POST INDICATOR VALVE
- WATER—W—E— WATER VALVE BOX/VALVE BOX, SERVICE SHUTOFF
- MIXED—W—E— MIXED, TRANSFORMER, OPERATOR CONTROL VALVE
- UNID—W—E— UNIDENTIFIED STRUCTURE

PROPOSED

- SPOT ELEVATION
- CONTOUR LINE
- FENCE
- GUARD RAIL
- STREET LIGHT
- SIGN
- CONC— CONCRETE
- ASPH— ASPHALT



CAUTION!
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- GENERAL SITE LIGHTING NOTES:**
1. THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.
 2. ALL POLES ARE TO BE MOUNTED ON CONCRETE PEDESTALS 2 FEET ABOVE GRADE AS SHOWN IN DETAIL.
 3. ALL POLES LOCATED OUTSIDE OF THE PARKING LOT AREA SHALL BE LOCATED 3 FEET FROM BACK OF CURB OR EDGE OF SIDEWALKS.
 4. SHOP DRAWINGS FOR THE ELECTRICAL WIRING OF THE FIXTURES NEED TO BE SUPPLIED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER FOR COORDINATION OF UNDERGROUND CONDUIT AND APPROVAL OF LAYOUT.
 5. ALL AREA LIGHT FIXTURES ARE TO BE DOWNWARD DIRECTED.
 6. CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIALS AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
 7. COORDINATE LIGHT FIXTURE PLACEMENT AND INSTALLATION WITH LANDSCAPE.
 8. ALL CONDUCTORS SHALL BE IN CONDUIT.

- SITE PHOTOMETRIC DATA:**
1. SITE FOOTCANDLE MAX.: 9.5 Fc.
 2. PARKING LOT FOOTCANDLE MAX.: 7.3 Fc.
 3. PARKING LOT FOOTCANDLE AVERAGE: 3.2 Fc.

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GATEWAY PROPERTIES
ROCHESTER HILLS, LLC
38700 VAN DYKE AVE SUITE 200 - STERLING HEIGHTS, MI 48312

SITE PHOTOMETRIC PLAN
GATEWAY OF ROCHESTER HILLS
PART OF THE SOUTHEAST 1/4 OF SECTION 34, T30N, R11E
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES: CMP DN: CMP SUR: PEA P.M.
JPB

ORIGINAL ISSUE DATE:
DECEMBER 14, 2017

PEA JOB NO. 2017-237

SCALE: 1" = 40'

DRAWING NUMBER:
SL-1.0

BENCHMARKS
(GPS DERIVED - NAVD83)

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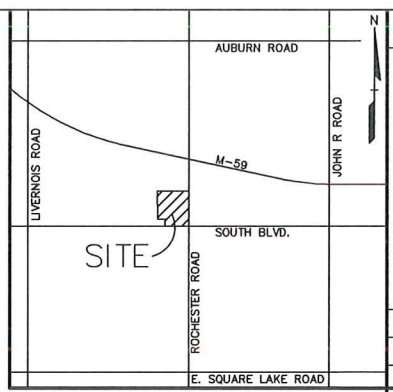
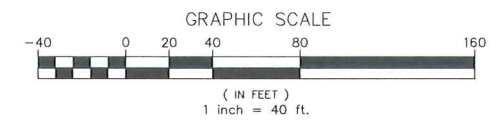
FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "X" AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0532F, DATED SEPTEMBER 29, 2006.

LEGAL DESCRIPTION
(Per ALTA National Title Group, Commitment No. 63-17527010-SM, dated April 03, 2016)

PARCEL ID 15-34-477-015

The land referred to in this commitment is described as follows: City of Rochester Hills, County of Oakland, State of Michigan

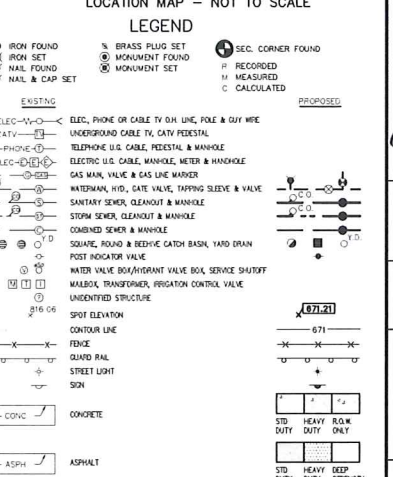
Part of the Southeast 1/4 Section 34, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan, beginning at a point distant South 88 degrees 02 minutes 35 seconds West, 60.12 feet from Southeast Section corner; thence South 88 degrees 02 minutes 35 seconds West, 401.79 feet; thence North 04 degrees 45 minutes 47 seconds West, 233.05 feet; thence South 88 degrees 02 minutes 35 seconds West, 200.00 feet; thence North 05 degrees 13 minutes 47 seconds West, 537.62 feet; thence North 84 degrees 37 minutes 34 seconds East, 581.66 feet; thence North 04 degrees 45 minutes 17 seconds East, 15.00 feet and thence South 05 degrees 14 minutes 43 seconds East, 136.88 feet and thence South 05 degrees 34 minutes 41 seconds East, 670.10 feet along West line of Rochester Road to beginning.



NO.	DATE	BY	DESCRIPTION
1	12/18/17	JPB	PRELIMINARY SITE PLAN
2	01/04/18	JPB	DEPARTMENT REVIEW COMMENTS
3	01/04/18	JPB	DEPARTMENT REVIEW COMMENTS

REVISIONS

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Fixture	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
□	P1	6	Lithonia Lighting	CSXW LED 30C 700 40K T3M	CONTOUR SERIES LED WALL MOUNT WITH 30 40K W LEDS OPERATED AT 700MA AND RECESSED OR HOLED ACRYLIC TYPE W/ LENS	LED	1	CSXW_LED_30C_700_40K_T3M	7941	0.95	69	10'
○	P2	2	Lithonia Lighting	WF4 50 S LED 30K	4" LED Ultra Thin Wafer Square Smooth 3000K	NA	1	WF4_50_S_LED_30K	669	0.95	10.23	10'
△	P3	2	Lithonia Lighting	WF4 3704 VL 6 VL 6 210T 120 DA BA2	REPORT NUMBER: ILL42203 DATE: 05-19-14	LED	2	WF4_3704_VL_6_VL_6_210T_120_13TT_120_DA_BA2	919	0.95	35.5	13'-6"
▬	P4	35	VIRAL LIGHTING	QV1544	WALL SCOPE - HALF CYLINDER 1/4"	LED	1	QV1544_L354_H	1771	0.95	15	9'-6"
□	P5	5	Lithonia Lighting	DSX1 LED 60C 1000 40K T3TM MVOLT HS	DSX1 LED with 60 LEDs @ 1000 mA 4000K, TYPE FORWARD THROW MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	1	DSX1_LED_60C_1000_40_K_T3TM_MVOLT_HS	12597	0.95	208	20'
□	P6	5	Lithonia Lighting	DSX1 LED 60C 1000 40K T3M MVOLT	DSX1 LED with 60 LEDs @ 1000 mA 4000K, TYPE MEDIUM OPTICS	LED	1	DSX1_LED_60C_1000_40_K_T3M_MVOLT_HS	23319	0.95	208	20'
□	P7	3	Lithonia Lighting	DSX1 LED 40C 1000 50K T3TM MVOLT HS	DSX1 LED with 40 LEDs @ 1000 mA 5000K, TYPE FORWARD THROW MEDIUM OPTICS WITH HOUSE-SIDE SHIELD	LED	1	DSX1_LED_40C_1000_50_K_T3TM_MVOLT_HS	12032	0.95	138	15'
⊕	P8	6	Lithonia Lighting	KBC8 LED 12C 50 40K ASY MVOLT	KBC8 WITH 3 LIGHT BOARDS (12 LEDs) 5000A DRIVER, 4000K COLOR TEMP, AND ASYMMETRIC OPTIC	LED	1	KBC8_LED_12C_50_40K_ASY_MVOLT_HS	1191	0.95	22	42'



CAUTION!
THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PROTECTING ALL UTILITIES.

LUMINAIRE P1

CSXW LED LED Wall Luminaire

Introduction
The Contour Series luminaires offer traditional square daylights with softened edges for a versatile look that complements many applications. The CSXW LED luminaire is the latest in LED technology with the familiar aesthetics of the Contour Series for stylish, high performance illumination that lasts. It is ideal for replacing 100-800W metal halide in wall-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

Ordering Information
EXAMPLE: CSXW LED 30C 700 40K T3M MVOLT D80BK

Order Code	Color	Temp	Beam Angle	Mounting	Finish	Notes
CSXW30	30C	700	40K	T3M	MVOLT	D80BK

Mounting Detail
Accessories

LUMINAIRE P2

WF4 4" LED Module

FEATURES & SPECIFICATIONS
Introduction
The WF4 4" LED module is a compact, high-quality LED light source designed for use in a variety of applications. It is ideal for replacing 100-800W metal halide in wall-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

Ordering Information
EXAMPLE: WF4 50 S LED 30K

Order Code	Color	Temp	Beam Angle	Mounting	Finish	Notes
WF450	50S	30K				

LUMINAIRE P3

3704 LED DOMINIQUE

Introduction
The 3704 LED luminaire is a compact, high-quality LED light source designed for use in a variety of applications. It is ideal for replacing 100-800W metal halide in wall-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

Ordering Information
EXAMPLE: 3704 LED 30K

Order Code	Color	Temp	Beam Angle	Mounting	Finish	Notes
3704	30K					

LUMINAIRE P4

OW1041 - COLONIADE™

Introduction
The ColoniaDE luminaire is a compact, high-quality LED light source designed for use in a variety of applications. It is ideal for replacing 100-800W metal halide in wall-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

Ordering Information
EXAMPLE: OW1041 30K

Order Code	Color	Temp	Beam Angle	Mounting	Finish	Notes
OW1041	30K					

LUMINAIRE P5, P6 & P7

D-Series Size 1 LED Area Luminaire

Introduction
The D-Series luminaire is a compact, high-quality LED light source designed for use in a variety of applications. It is ideal for replacing 100-800W metal halide in wall-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

Ordering Information
EXAMPLE: DSX1 LED 60C 1000 40K T3TM MVOLT SPA D80BK

Order Code	Color	Temp	Beam Angle	Mounting	Finish	Notes
DSX160	60C	1000	40K	T3TM	MVOLT	SPA D80BK

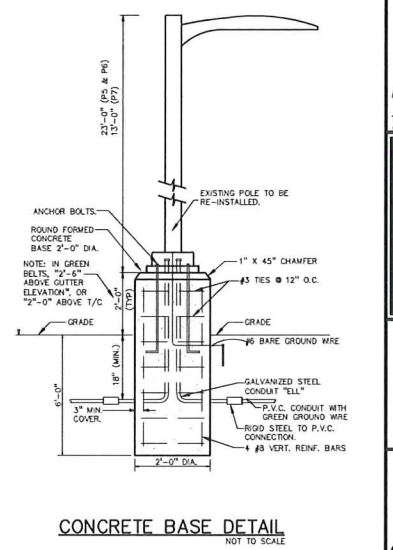
LUMINAIRE P8

KBC8 LED LED Specification Bollard

Introduction
The KBC8 LED bollard is a compact, high-quality LED light source designed for use in a variety of applications. It is ideal for replacing 100-800W metal halide in wall-mounted applications with typical energy savings of 80% and expected service life of over 100,000 hours.

Ordering Information
EXAMPLE: KBC8 LED 12C 50 40K ASY MVOLT D80BK

Order Code	Color	Temp	Beam Angle	Mounting	Finish	Notes
KBC812	12C	50	40K	ASY	MVOLT	D80BK



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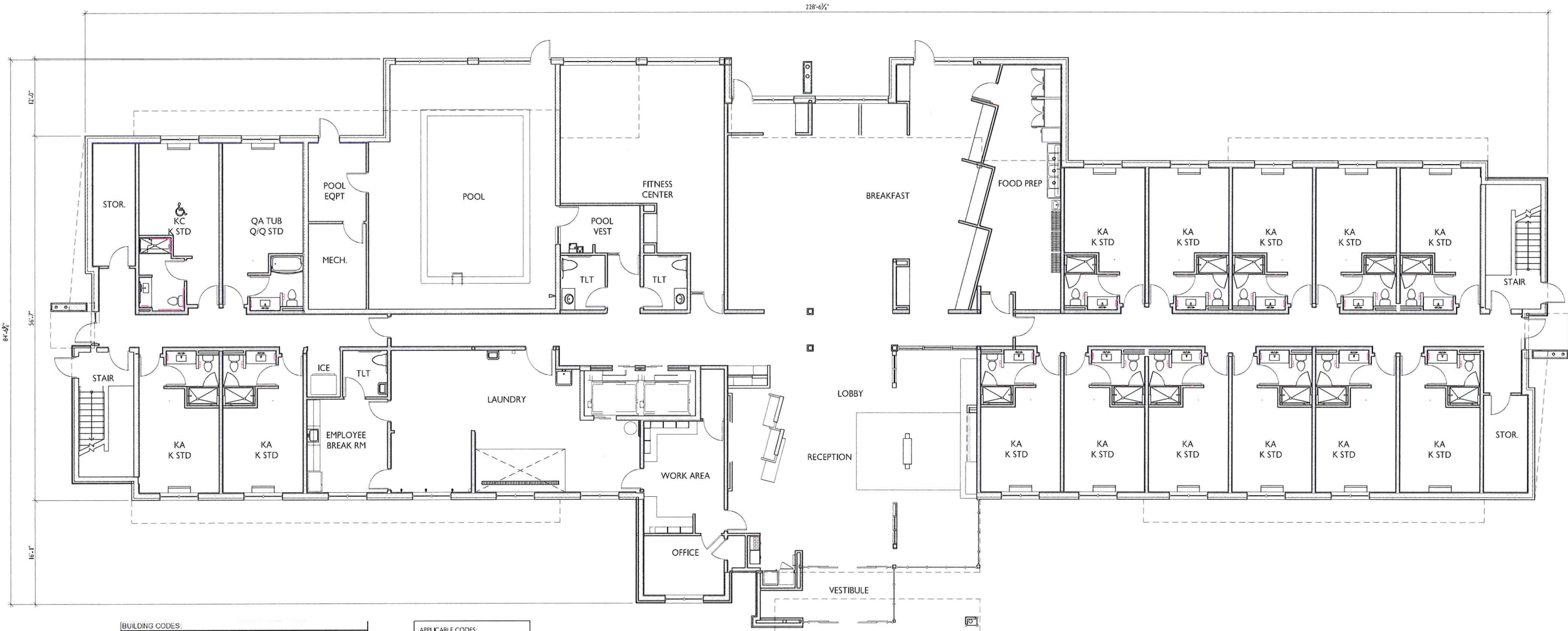
GATEWAY PROPERTIES
ROCHESTER HILLS, LLC
38700 VAN DYKE AVE SUITE 200 - STERLING HEIGHTS, MI 48312
SITE PHOTOMETRIC DETAILS
GATEWAY OF ROCHESTER HILLS
PART OF THE SOUTHEAST 1/4 OF SECTION 34, T30N, R11E
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

ORIGINAL ISSUE DATE:
DECEMBER 14, 2017

PEA JOB NO. 2017-237

SCALE: 1" = 40'

DRAWING NUMBER:
SL-2.0



BUILDING CODES:
OCCUPANCY:
 1ST FLOOR: A-2/ R-1 NON-SEPARATED MIXED USE
 1ST FLR SEPARATED FROM UPPER FLOORS
 UPPER FLOORS: R-1
CONSTRUCTION TYPE: 2B
BUILDING HEIGHT:
 IN FEET: 55' (13R- 60' ALLOWABLE)
 STORIES: 4 (13 R- 4 ALLOWABLE)
BUILDING AREA: SEE CALCULATION BELOW
SUPPRESSION:
 1ST FLOOR: NFPA 13
 UPPER FLOORS: NFPA 13R

APPLICABLE CODES:
BUILDING: IMC 2015
PLUMBING: IMC 2015
MECHANICAL: IMC 2015
ELECTRICAL: NEC 2014
FIRE CODE: IFC 2015
FIRE SUPPRESSION: NFPA 13 (2013)
 NFPA 13R (2013)
 NFPA 72 (2013)
 NFPA 17A (2013)
FIRE ALARM: NFPA 72 (2013)
ENERGY CODE: IMC 2015
 MEC 2015

GENERAL BUILDING HEIGHTS AND AREAS

ALLOWABLE HEIGHT BASED ON USE AND CONSTRUCTION TYPE	Actual Bldg. Hgt.	T-504.3	enter allowable building height in feet	55	Feet Actual
Allowable Bldg. Stories	T-504.4	4	enter allowable building height in stories	4	Stories Actual (S _a)

ALLOWABLE AREA BASED ON USE AND CONSTRUCTION TYPE: T-506.2

Allow. Floor Area/Use	R-1 (S1)	A ₁ (Allowable area (NS, S1, SM, or S13R fire suppression))	64,000	s. f.
Allow. NS Fir Area/Use 1	NS	Allowable area for non-sprinkled building (NS)	16,000	s. f.
Allow. Floor Area/Use 2	A-2 (S1)	A ₂ (Allowable area (NS, S1, SM, or S13R fire suppression))	38,000	s. f.
Allow. NS Fir Area/Use 2	NS	Allowable area for non-sprinkled building (NS)	9,500	s. f.
Allow. Floor Area/Use 4	R-1 (SM)	A ₁ (Allowable area (NS, S1, SM, or S13R fire suppression))	48,000	s. f.
Allow. NS Fir Area/Use 4	NS	Allowable area for non-sprinkled building (NS)	11,000	s. f.
Allow. Floor Area/Use 5	R-1 (S13R)	A ₁ (Allowable area (NS, S1, SM, or S13R fire suppression))	16,000	s. f.
Allow. NS Fir Area/Use 5	NS	Allowable area for non-sprinkled building (NS)	16,000	s. f.

SINGLE OCCUPANCY STORY

Max. Allow. Area	508.2.1	A ₁ (Allowable s. f.) = A ₁ + (NS * L)	14,938	s. f. Actual R-1 (S1)
MULTI OCCUPANCY STORY/STORY/STORIES SEPARATED Area of most restrictive use to determine area for all uses	508.2.2	A ₁ (Allowable s. f.) = A ₁ + (NS * L)	6,259	s. f. Actual R-1 (S1)
most restrictive	44,657	A ₁ (Allowable s. f.) = A ₁ + (NS * L)	8,280	s. f. Actual A-2 (S1)
OR		1 < (A ₁ / A ₁) + (A ₂ / A ₂) = Allowed	0.32	Calculated

SINGLE OCCUPANCY MULTI STORY

Max. Allow. Area	508.2.3	A ₁ (Allowable Total s. f. of All Firs) = (A ₁ + (NS * L)) * S _a	14,233	s. f. Actual Total of All Floors R-1 (S13R)
MULTI OCCUPANCY MULTI STORY/STORIES SEPARATED Area of most restrictive use to determine area for all uses PER FLOOR	508.4.2	A ₁ (Allowable s. f.) = A ₁ + (NS * L)	6,259	s. f. Actual (A ₁ / S _a) Fir 1: R-1 (S1)
most restrictive height	44,657	A ₁ (Allowable s. f.) = A ₁ + (NS * L)	8,280	s. f. Actual (A ₁ / S _a) Fir 1: A-2 (S1)
most restrictive area	59,212	A ₁ (Allowable s. f.) = A ₁ + (NS * L)	14,233	s. f. Actual (A ₁ / S _a) Fir 2: R-1 (SM)

PER FLOOR


Floor	1 OK	1	1 < (A ₁ / A ₁) + (A ₂ / A ₂) + (A ₃ / A ₃) = Allowed for all use groups PER FLOOR	0.27	Calculated - If over, different construction type required or increase frontage.
Floor 2-4 OK	1	1	1 < (A ₁ / A ₁) + (A ₂ / A ₂) = Allowed for all use groups PER FLOOR	0.52	Calculated - If over, different construction type required or increase frontage.

GUESTROOM MATRIX

SQ. FT./ UNIT	TYPE	FLOOR 1	FLOOR 2	FLOOR 3	FLOOR 4	TOTAL	PERCENTAGE
272 SF±	KA King Standard	13	8	8	8	37	34%
372 SF±	KB King Suite	0	7	7	7	21	19%
318 SF±	KC King BF	1	0	0	1	2	2%
474 SF±	KD King Suite BF	0	1	0	0	1	1%
318 SF±	QA Q/Q Standard	1	14	14	13	42	39%
474 SF±	QB Q/Q Suite	0	0	0	1	1	1%
378 SF±	QC Q/Q BF	0	1	1	1	3	3%
474 SF±	QD Q/Q Suite BF	0	0	1	0	1	1%
	TOTAL	15	31	31	31	108	100%

FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"




SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

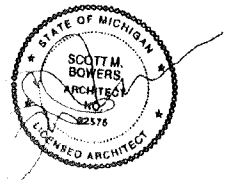
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 ARCHITECTS
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 P: 734.775.2600 • F: 734.775.3470
 WWW.BOWERSARCH.COM

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PROJECT + INFORMATION
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 ROCHESTER HILLS, MICHIGAN

PROJECT + NUMBER
17-215

ISSUE + DATE
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 15 DEC 2017 PERMIT
 23 JAN 2018 S PLAN REV.



SHEET + TITLE

SECOND FLOOR PLAN
 17215MAST DWG

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THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

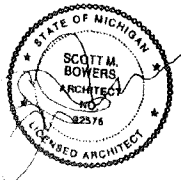
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THIRD FLOOR PLAN

17215:MAST DING


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A1.02

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ROOF ACCESS LADDER TO BE IN COMPLIANCE WITH INTERNATIONAL FIRE CODE 2015 SECTION 1011.12 WITH EXCEPTION. PROVIDE BLOCKING AS REQ'D.

LINE OF ROOF HATCH ABOVE 16 SF MIN. HATCH TO BE IN COMPLIANCE WITH INTERNATIONAL FIRE CODE 2015 SECTION 1011.12.2 WITH EXCEPTION

 **FOURTH FLOOR PLAN**
SCALE: 1/8" = 1'-0"

BOWERS ASSOCIATES
ARCHITECTS, PLLC
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P: 734.976.2400 • F: 734.976.2410
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FOURTH FLOOR PLAN
17215MAST.DWG

SHEET + NUMBER
A1.03

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EAST ELEV. MATERIAL SF	
PRIMARY: 6,510 SF	84%
ACCENT: 1,243 SF	16%
TOTAL: 7,753 SF	100%

EAST TRANSPARENCY:	
IST FLOOR	
NON-RESIDENTIAL USE	
TOTAL AREA: 1,419 S.F.	
TRANSPARENCY: 346 S.F.	24.3%
RESIDENTIAL USE	
TOTAL AREA: 1,627 S.F.	
TRANSPARENCY: 280 S.F.	17.2%
UPPER FLOOR	
RESIDENTIAL USE	
TOTAL AREA: 6,725 S.F.	
TRANSPARENCY: 1,392 S.F.	20.7%

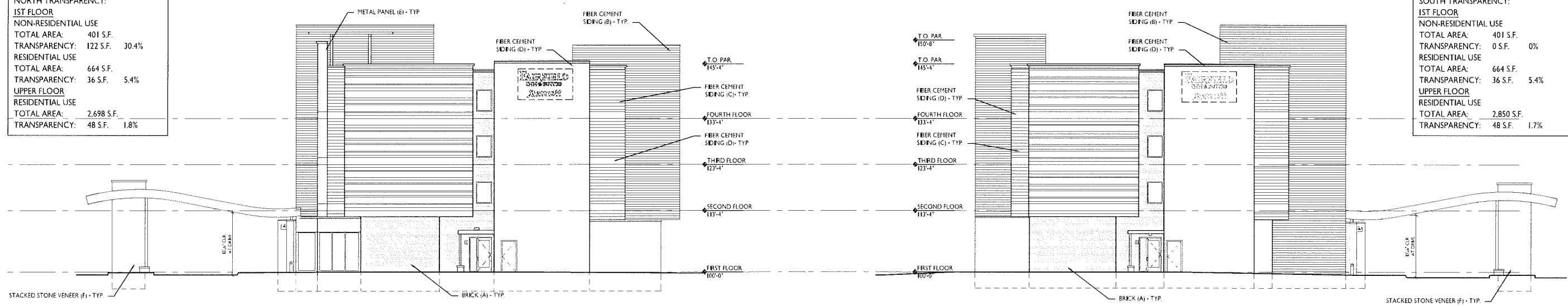
NORTH ELEV. MATERIAL SF	
PRIMARY: 3,434 SF	97%
ACCENT: 123 SF	3%
TOTAL: 3,557 SF	100%

NORTH TRANSPARENCY:	
IST FLOOR	
NON-RESIDENTIAL USE	
TOTAL AREA: 401 S.F.	
TRANSPARENCY: 122 S.F.	30.4%
RESIDENTIAL USE	
TOTAL AREA: 664 S.F.	
TRANSPARENCY: 36 S.F.	5.4%
UPPER FLOOR	
RESIDENTIAL USE	
TOTAL AREA: 2,698 S.F.	
TRANSPARENCY: 48 S.F.	1.8%

EAST ELEVATION
SCALE 1/8" = 1'-0"

SOUTH ELEV. MATERIAL SF	
PRIMARY: 3,831 SF	100%
ACCENT: 0 SF	0%
TOTAL: 3,831 SF	100%

SOUTH TRANSPARENCY:	
IST FLOOR	
NON-RESIDENTIAL USE	
TOTAL AREA: 401 S.F.	
TRANSPARENCY: 0 S.F.	0%
RESIDENTIAL USE	
TOTAL AREA: 664 S.F.	
TRANSPARENCY: 36 S.F.	5.4%
UPPER FLOOR	
RESIDENTIAL USE	
TOTAL AREA: 2,850 S.F.	
TRANSPARENCY: 48 S.F.	1.7%



NORTH ELEVATION
SCALE 1/8" = 1'-0"

SOUTH ELEVATION
SCALE 1/8" = 1'-0"



WEST ELEV. MATERIAL SF	
PRIMARY: 7,189 SF	97%
ACCENT: 255 SF	3%
TOTAL: 7,444 SF	100%

WEST TRANSPARENCY:	
IST FLOOR	
NON-RESIDENTIAL USE	
TOTAL AREA: 1,433 S.F.	
TRANSPARENCY: 669 S.F.	46.7%
RESIDENTIAL USE	
TOTAL AREA: 1,606 S.F.	
TRANSPARENCY: 280 S.F.	17.4%
UPPER FLOOR	
RESIDENTIAL USE	
TOTAL AREA: 6,746 S.F.	
TRANSPARENCY: 1,392 S.F.	20.6%

WEST ELEVATION
SCALE 1/8" = 1'-0"

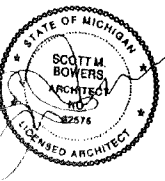
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2400 South Main Street, Suite 200, Rochester Hills, MI 48304
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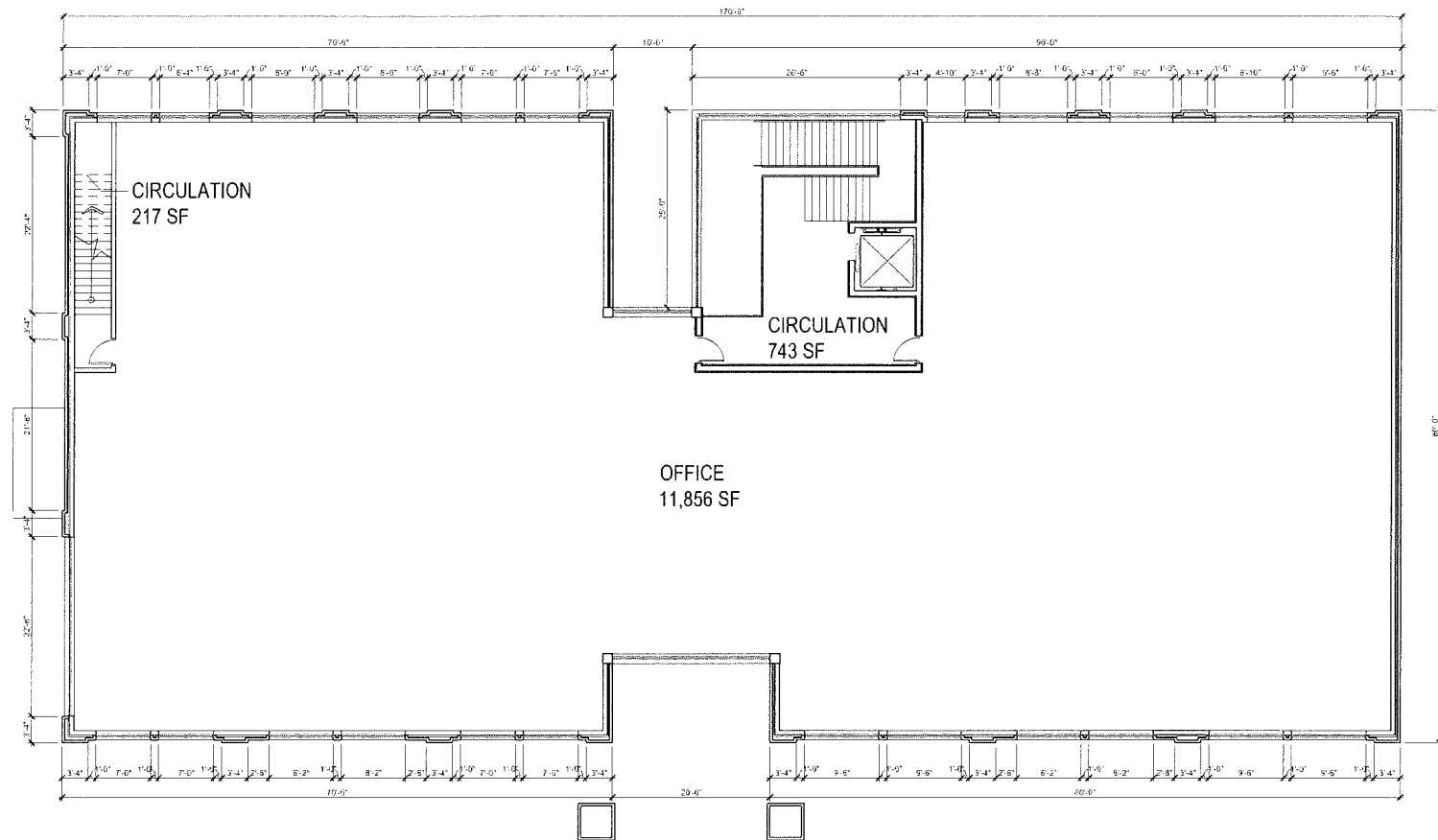
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EXTERIOR ELEVATIONS
17215A500.DWG

SHEET + NUMBER
A5.00

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SECOND FLOOR
SCALE: 3/32"

4
A3-01

Preliminary Code Analysis																														
BUILDING CODES	The building shall be in compliance with the following 2015 Michigan Building Code 2009 ICC AHSI A1 7.1 2015 Michigan Plumbing Code 2015 Michigan Mechanical Code 2015 International Fuel Gas Code 2014 NEC (National Electrical Code) with state part 9 amendments 2015 IFC as referenced in the 2015 SBC 2013 IEPA 13, 22 2015 Michigan Energy Code																													
USE AND OCCUPANCY	MIXED USE NON-SEPARATED OCCUPANCIES (S08.3) FIRST FLOOR "M" MERCANTILE "A 2" ASSEMBLY SECOND FLOOR "B" BUSINESS																													
CONSTRUCTION CLASSIFICATION	TYPE II-B FULLY SPRINKLERED (T 601) FIRE SEPARATION ≥ 30 FEET (T 602)																													
BASE HEIGHT & AREA LIMITATIONS	STRICTEST OCCUPANCY A-2 (S04.2) MAX HEIGHT- STORIES = 2 STORIES (T 504.4) WITH SPRINKLER INCREASE = 3 STORIES (T 504.4) MAX HEIGHT- FEET = 55 FEET (T 504.3) WITH SPRINKLER INCREASE = 75 FEET (T 504.3) MAX AREA PER FLOOR = 9,500 SQ FEET (T 506.2.1) WITH AREA MODIFICATIONS = 28,500 SQ FEET (S06.2.4)																													
ACTUAL BUILDING PROPERTIES BUILDING "A"	ACTUAL AREA FIRST FLOOR = 18,193 SF SECOND FLOOR = 12,816 SF ACTUAL HEIGHT (U/S DECK) = 32'-0" FT MAXIMUM HEIGHT (AT TOWER) = 42'-0"																													
FIRE RESISTANCE RATING REQUIREMENTS	(T 601)																													
	<table border="1"> <thead> <tr> <th></th> <th>0 HR</th> <th>1 HR</th> <th>2 HR</th> <th>3 HR</th> </tr> </thead> <tbody> <tr> <td>STRUCTURAL FRAME BEARING WALLS</td> <td>■</td> <td>■</td> <td></td> <td></td> </tr> <tr> <td>EXTERIOR BEARING WALLS- INTERIOR</td> <td>■</td> <td></td> <td></td> <td></td> </tr> <tr> <td>NON-BEARING WALLS- EXTERIOR</td> <td>■</td> <td></td> <td></td> <td></td> </tr> <tr> <td>NON-BEARING WALLS- INTERIOR FLOOR</td> <td>■</td> <td></td> <td></td> <td></td> </tr> <tr> <td>CONSTRUCTION ROOF CONSTRUCTION</td> <td>■</td> <td></td> <td></td> <td></td> </tr> </tbody> </table> STAIR ENCLOSURES TO HAVE 1 HR FIRE RATING (1 023.2)		0 HR	1 HR	2 HR	3 HR	STRUCTURAL FRAME BEARING WALLS	■	■			EXTERIOR BEARING WALLS- INTERIOR	■				NON-BEARING WALLS- EXTERIOR	■				NON-BEARING WALLS- INTERIOR FLOOR	■				CONSTRUCTION ROOF CONSTRUCTION	■		
	0 HR	1 HR	2 HR	3 HR																										
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FACADE TRANSPARENCY	<table border="1"> <thead> <tr> <th>ELEVATION</th> <th>GROUND LEVEL TRANSPARENCY</th> <th>UPPER LEVEL TRANSPARENCY</th> </tr> </thead> <tbody> <tr> <td>NORTH</td> <td>78%</td> <td>N/A</td> </tr> <tr> <td>EAST</td> <td>75%</td> <td>50%</td> </tr> <tr> <td>SOUTH</td> <td>33%</td> <td>50%</td> </tr> <tr> <td>WEST</td> <td>30%</td> <td>46%</td> </tr> </tbody> </table>	ELEVATION	GROUND LEVEL TRANSPARENCY	UPPER LEVEL TRANSPARENCY	NORTH	78%	N/A	EAST	75%	50%	SOUTH	33%	50%	WEST	30%	46%														
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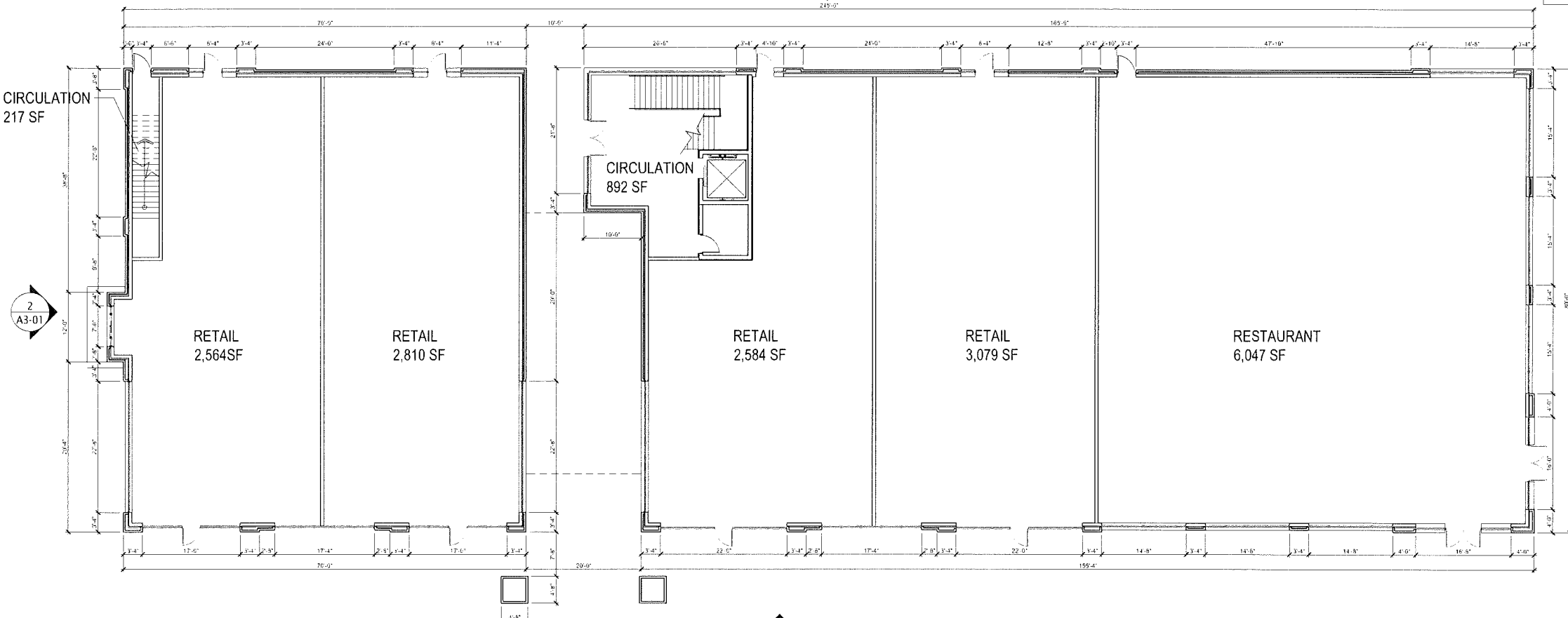
NORR

CONSULTANT:

PEA
 2430 Rochester Court, Ste 100
 Troy, MI 48063
 Phone: (248) 689-9090

SEAL:

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL THE SEAL AND SIGNATURE OF THE RESPONSIBLE REGISTRANT APPEARS ON THE DRAWING, AND PROPER PERMIT FORMS AND RELATED FEES ARE TRANSMITTED BY THE OWNER, OWNER'S AGENT OR CONTRACTOR TO THE AUTHORITY HAVING JURISDICTION.



FIRST FLOOR
SCALE: 3/32"

1
A3-01

3
A3-01

DATE	ISSUED FOR	REV

Project Manager	Drawn
Project Leader	Checked
Date	Dept Mgr Approval
12/13/2017	

Client
 D'AGOSTINI COMPANIES

Project
PROPOSED COMMERCIAL DEVELOPMENT
 SOUTH BLVD AND ROCHESTER RD
 ROCHESTER HILLS MI

Drawing Title
 FLOOR PLANS

DO NOT SCALE DRAWING
 Project No. Drawing No.
 A-101

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PROPOSED COMMERCIAL DEVELOPMENT
SOUTH BLVD AND ROCHESTER RD
ROCHESTER HILLS MI

Drawing Title
EXTERIOR ELEVATIONS

DO NOT SCALE DRAWING
Project No. Drawing No.
A-301



4 WEST ELEVATION
SCALE: 3/32"



2 SOUTH ELEVATION
SCALE: 3/32"



3 NORTH ELEVATION
SCALE: 3/32"



1 EAST ELEVATION - ROCHESTER RD
SCALE: 3/32"

EXTERIOR MATERIAL FINISHES				
TAG	MATERIAL	MFCR	COLOR / STYLE	REMARKS / NOTES
11	LIMESTONE		NATURAL	
12	LIMESTONE SILL		NATURAL	
13	BRICK	BELDEN BRICK	QUAKER BLEND	
14	ALUM STOREFRONT		DARK BRONZE	
15	ALUM ENTRANCE DOOR		DARK BRONZE	
16	DECORATIVE WALL SCIENCE			
17	PRE-FINISHED METAL CANOPY	FIRESTONE UNA CLAD	DARK BRONZE	COPING
18	PAINT	BENJAMIN MOORE	TO MATCH BRICK	DOORS, DOWNSPOUTS, AND EQUIPMENT
19	PRE-FINISHED METAL	FIRESTONE UNA CLAD	DARK BRONZE	COPING
20				

11 - RE EXTERIOR MATERIAL FINISHES