

SITE PLAN DRAWINGS FOR
ROCHESTER RETAIL
 PART OF THE NE 1/4 OF SECTION 34, T. 3N., R. 11E.,
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN



LEGAL DESCRIPTION

(Per Chirco Title Agency, Inc. and agency for Fidelity National Title Insurance Company, File No.: R-120530F, dated April 06, 2012)

Parcel 1:
 Lot 10, AVONCROFTS SUBDIVISION, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, more particularly described as: Beginning at the point of intersection of the South line of Auburn Road (66 feet wide) with the West line of Rochester Road (66 feet wide), being the Northeast corner of said Lot 10; thence S00°02'20"W along the West line of Rochester Road (being the East line of said Lot 10), 101 feet to the Southeast corner of said Lot 10; thence West along the South line of said Lot 10, 214.06 feet to the Southwest corner of said Lot 10; thence N02°20'20"E along the West line of said Lot 10, 101.17 feet to a point on the South line of Auburn Road, being the Northwest corner of said Lot 10; thence S89°58'40"E along the South line of Auburn Road (being the North line of said Lot 10), 210 feet to the point of beginning.

Parcel 2:
 The Northerly 50.00 feet of Lot 9, AVONCROFTS SUBDIVISION, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, more particularly described as: Beginning at a point on the Westerly line of Rochester Road, (M-150), 66 feet wide, said point being S00°02'20"W, 101.00 feet from the intersection of the Westerly line of Rochester Road with the Southerly line of Auburn Road (M-59) 66 feet wide; thence S00°02'20"W along said Westerly line of Rochester Road 50.00 feet to a point; thence due West, 216.07 feet to a point; thence N02°20'20"E, 50.04 feet to a point; thence due East, 214.06 feet to the point of beginning.

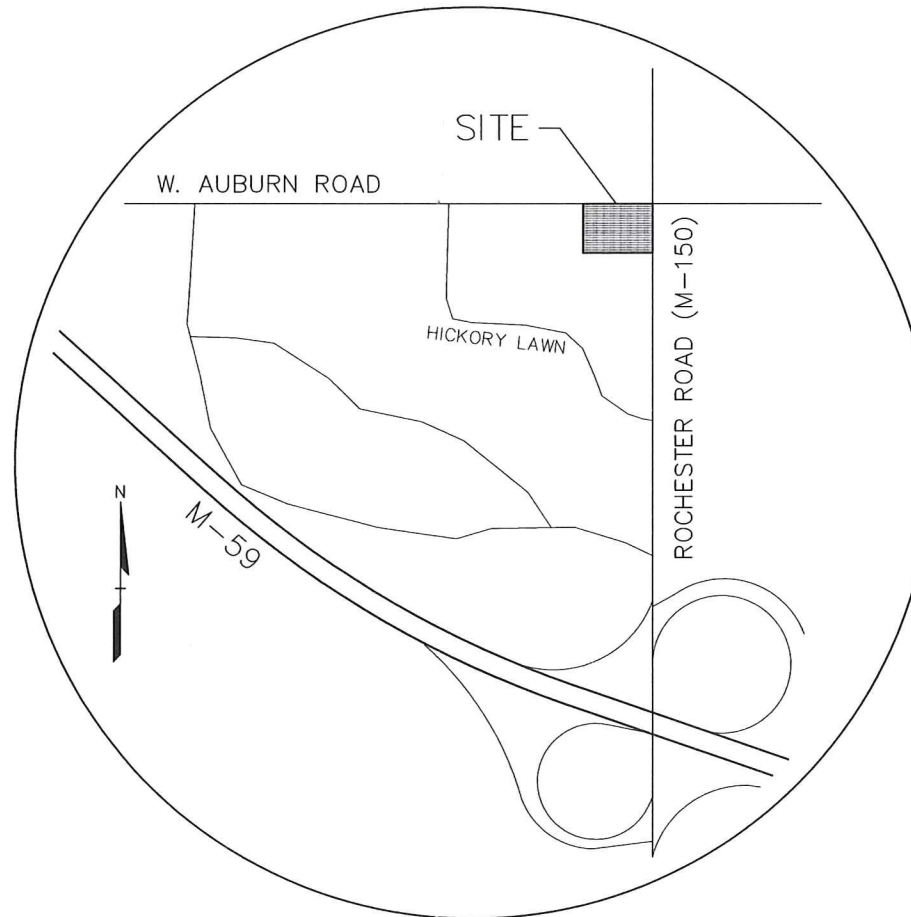
Tax Parcel 15-34-227-031

LEGAL DESCRIPTION

(Per Summa Engineering & Associates, Inc., ALTA/ACSM Land Title Survey Project No. 11-344, dated 8-11-2011)

3050 S Rochester Road:
 Lot 7 and 8, also Lot 9 EXCEPT the North 50 feet thereof, Lots 11, 12 and 13 and also the North 100 feet of Lots 21, 22 and 23, AVONCROFTS SUBDIVISION, according to the Plat thereof, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, containing 193,483 sq. ft. or 4.442 Acres, more or less.

Tax Parcel 15-34-227-037



LOCATION MAP - NOT TO SCALE

INDEX OF DRAWINGS:

- P-1 COVER SHEET
- P-2 TOPOGRAPHIC SURVEY
- P-3 PRELIMINARY SITE PLAN
- P-4 PRELIMINARY GRADING PLAN
- P-5 PRELIMINARY UTILITY PLAN
- P-6 PRELIMINARY DETAIL PLAN
- P-7 MDOT RAMP DETAILS
- P-8 WB-50 TRUCK ACCESS PLAN
- P-9 FIRE TRUCK ACCESS PLAN

- TREE-1 TREE PRESERVATION PLAN
- L-1 LANDSCAPE PLAN

PHOTOMETRIC PLAN

BUILDING 'A' ARCHITECTURAL PLANS:

- R-1.3 FLOOR PLAN
- A-2.0 ELEVATIONS
- A-2.1 ELEVATIONS

BUILDINGS 'B', 'C', AND 'D' ARCHITECTURAL PLANS:

- A-1 CONCEPTUAL BUILDING ELEVATIONS & SIGN DETAILS
- A-1.1 CONCEPTUAL BUILDING ELEVATIONS
- A-2 CONCEPTUAL FLOOR PLAN BUILDING 'B'
- A-3 CONCEPTUAL FLOOR PLAN BUILDINGS 'C' & 'D'

APPLICANT/DEVELOPER:

ROCHESTER AUBURN ASSOCIATES
 6750 OAKHILLS DRIVE
 BLOOMFIELD HILLS, MI 48301
 CONTACT: DORAI MARKUS
 PHONE: (248) 892-2222
 EMAIL: DSMARKUS@YAHOO.COM

PROJECT ARCHITECT:

ROGVOY ARCHITECTS
 32500 TELEGRAPH ROAD, SUITE 250
 BINGHAM FARMS, MI 48025
 CONTACT: MARK DRANE
 PHONE: (248) 540-7700
 FAX: (248) 540-2710

LANDSCAPE ARCHITECT:

PROFESSIONAL ENGINEERING ASSOCIATES, INC.
 2900 E. GRAND RIVER AVENUE
 HOWELL, MI 48843
 CONTACT: JEFF SMITH, R.L.A., LEED AP
 PHONE: (517) 546-8583
 FAX: (517) 546-8973

PROJECT ENGINEER:

PROFESSIONAL ENGINEERING ASSOCIATES, INC.
 2430 ROCHESTER COURT, SUITE: 100
 TROY, MICHIGAN 48063
 CONTACT: RACHEL L. SMITH, P.E., LEED AP, CFM
 PHONE: (248) 689-9090
 FAX: (248) 689-1044
 EMAIL: RACHEL.SMITH@PEAINC.COM

NO.	DATE	BY	CHK	DESCRIPTION

CAUTION!
 THE LOCATION AND RELATIONSHIP OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THIS DRAWING ARE FOR INFORMATION ONLY. THE ENGINEER HAS CONDUCTED VISUAL SURVEYS AND HAS NOT CONDUCTED ANY EXCAVATION OR TESTS TO VERIFY THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND SECTION ARE THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. THEY ARE LOANED TO YOU FOR YOUR USE ONLY. YOU SHALL NOT REPRODUCE OR TRANSMIT THIS DRAWING IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. ALL RIGHTS ARE RESERVED. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF PROFESSIONAL ENGINEERING ASSOCIATES, INC.

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 website: www.peainc.com

ROCHESTER AUBURN ASSOC.
 6750 OAKHILLS DRIVE
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COVER SHEET
ROCHESTER RETAIL
 PART OF THE NE 1/4 OF SECTION 34, T. 3N., R. 11E.,
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES.	RLS	DN	RLS	SUR	KTR	JFB
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ORIGINAL
 ISSUE DATE: MARCH 20, 2013
 PEA JOB NO. 2012-074
 SCALE: 1" = 30'
 DRAWING NUMBER:
P-1

**PRELIMINARY
 NOT FOR CONSTRUCTION
 CITY FILE #12-010**

REF: L:\2012\074\12074_T01\TOPOBASE_OVERALL.DWG
 REF: L:\2012\074\12074_T01\TOPOBASE_P-BASE-12074.DWG
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BENCHMARKS
(BENCHMARK DATUM IS GPS DERIVED NAVD83)
 BM 300:
 ARROW ON HYDRANT ON THE SOUTH SIDE OF AUBURN ROAD, ±270 FEET WEST OF THE WEST LINE OF ROCHESTER ROAD.
 ELEV=762.28'
 BM 301:
 ARROW ON HYDRANT ON THE SOUTH SIDE OF AUBURN ROAD, ±140 FEET WEST OF THE WEST LINE OF ROCHESTER ROAD.
 ELEV=760.70'
 BM 302:
 ARROW ON HYDRANT ±30 FEET NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #3050 ROCHESTER ROAD.
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 BM 303:
 SET GEAR SPIKE IN SOUTHEAST FACE OF UTILITY POLE, SOUTH SIDE OF AUBURN ROAD, ±130 FEET NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #157 W. AUBURN.
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 ARROW ON HYDRANT, ±50 FEET SOUTH OF BUILDING #3050 ROCHESTER ROAD AND ±85 FEET NORTHWEST OF THE NORTHWEST CORNER OF BUILDING #3100 ROCHESTER ROAD.
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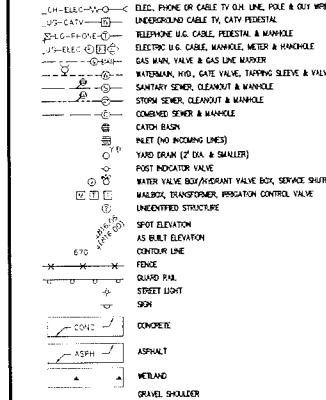
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Parcel 4:
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FLOOD NOTE:
 SUBJECT PARCELS LIE WITHIN AN AREA NOT MAPPED BY FEMA.

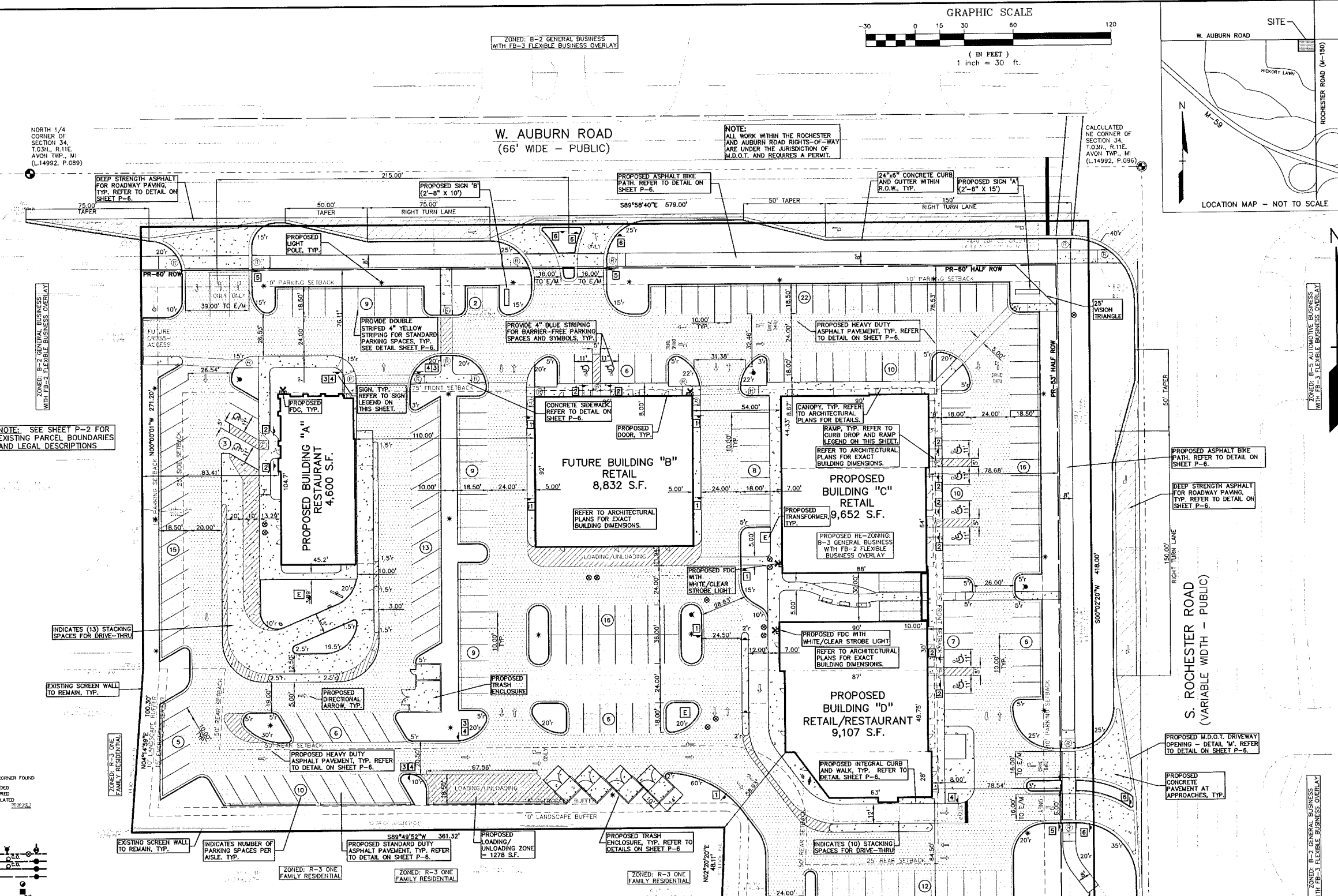
LEGEND

● IRON FOUND	○ BRASS PLUG SET	○ SEC. CORNER FOUND
○ IRON SET	○ MONUMENT FOUND	○ RECORDED
○ NAIL & CAP SET	○ MONUMENT SET	○ MEASURED
		○ CALCULATED



REFERENCE DRAWINGS

WATER MAIN	ROC-ESTER CTY. MAP, RECORDED 11-30-12
SEWER MAIN	ROC-ESTER CTY. MAP, RECORDED 11-30-12
STORM MAIN	ROC-ESTER CTY. MAP, RECORDED 11-30-12
CONCRETE	CONCRETE, PER 2011-11-11, DATED 08-07-09
ASPHALT	ALTA AC&A AND TITLE SURVEY FOR 3050 S. ROCHESTER ROAD, ROCHESTER HILLS, MI, BY QUINN ENGINEERING & ASSOCIATES, INC. DATED 05-25-11
WELDED	SITE ENGINEERING PLAN FOR 3050 S. ROCHESTER ROAD, ROCHESTER HILLS, MI, BY AN ENGINEER & ASSOCIATES, INC. DATED 11-11-1993
BRICK	45'-EQUIT FLAM FER W/ADJACENT DOOR, BY STENOGRAPH ASSOCIATES, DATED 8-1-1988



SITE DATA TABLE:

LAND AREA:	GROSS = 5.18 ACRES
	NET (TO PROPOSED R.O.W.) = 4.64 ACRES
PROPOSED BUILDING AREA (GROSS):	
BUILDING 'A' (RESTAURANT)	4,600 S.F.
BUILDING 'B' (RETAIL)	8,832 S.F.
BUILDING 'C' (RETAIL)	9,652 S.F.
BUILDING 'D' (RETAIL)	4,330 S.F.
BUILDING 'D' (RESTAURANT)	4,772 S.F.
TOTAL	32,186 S.F.
PARKING REQUIRED:	
RETAIL:	1 SPACE / 300 SF GROSS AREA = 22,814 / 300 = 76 SPACES
RESTAURANTS:	1 SPACE / 2 PERSONS AT MAX. CAPACITY = APPROX. 180 MAX. CAPACITY / 2 = 90 SPACES
TOTAL ON-SITE PARKING REQUIRED = 166 SPACES (INCLUDING 6 HC SPACES)	
MAXIMUM PARKING ALLOWED = 208 SPACES (125% OF REQUIRED)	
PARKING PROVIDED:	
PARKING SPACES PROVIDED = 200 SPACES (INCLUDING 10 HC SPACES)	

SITE DATA TABLE CONTINUED:

ZONING INFO:	
PROPOSED RE-ZONING:	RE-ZONING: B-2 GENERAL BUSINESS WITH FB-2 FLEXIBLE BUSINESS OVERLAY
BUILDING SETBACKS:	
FRONT (AUBURN)	REQUIRED: 75' PROVIDED: 76.11'
SIDE (ROCHESTER)	75' 76.54'
SIDE (WEST)	25' 83.41'
REAR (SOUTH)	100 (50') 58.93'
= PC CAN ALLOW 50' WHERE NO SIGNIFICANT IMPACTS. EXISTING BUILDING SETBACK IS APPROXIMATELY 55'.	
NOTES:	
1. Construction Type is V-B, fully sprinklered.	
2. Maximum building height allowed is 2 stories/30 feet.	
3. All roof and ground mounted mechanical equipment shall be screened from adjacent roads and properties.	
4. Fire lanes shall be designated by the fire code official, and shall be conspicuously posted on both sides of the fire lane, with fire lane signs spaced not more than 100 feet apart, and in conformance with the MUTCD.	
5. All pedestrian walkways and required egress doors shall comply with Michigan Barrier Free Design Criteria.	
6. The existing on-site soils consist of clays. The site has contaminated soils, therefore no stormwater infiltration is allowed.	

CURB DROP AND RAMP LEGEND:

CURB DROP AND RAMP 'TYPE F'	Ⓡ
CURB DROP AND RAMP 'TYPE P'	Ⓢ
CURB DROP AND RAMP 'TYPE R'	Ⓣ
REFER TO MOET STANDARD RAMP DETAILS, 'R-28' ON SHEET P-7 FOR RAMP DETAILS	
SIGN LEGEND:	
'NO STOPPING STANDING PARKING FIRE LANE' SIGN	1
'BARRIER FREE PARKING' SIGN	2
'ONE WAY' SIGN	3
'DO NOT ENTER' SIGN	4
'STOP' SIGN	5
'NO LEFT TURN' SIGN	6
REFER TO SHEET P-6 FOR SIGN DETAILS	

FIRE DEPARTMENT NOTES:

- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14.
- OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION.
- FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.6.2.3.
- FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART, 'NO STOPPING, STANDING, PARKING, FIRE LANE', AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 506.

REVISIONS

NO.	DATE	DESCRIPTION
1	05/23/12	ISSUED FOR CITY REVIEW
2	06/01/12	ISSUED FOR CITY REVIEW
3	06/01/12	ISSUED FOR CITY REVIEW

CAUTION!
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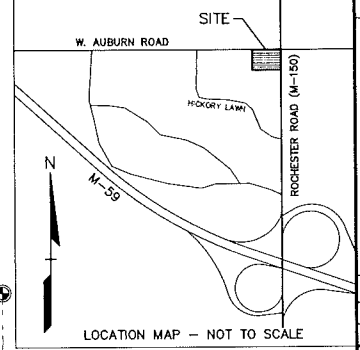
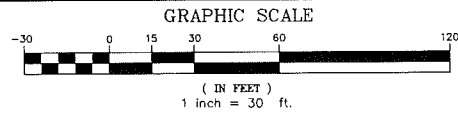
PROFESSIONAL ENGINEERING ASSOCIATES
 2430 Rochester Ct. Suite 100
 Troy, MI 48063-1872
 Phone: (248) 689-9090
 Fax: (248) 689-1044
 website: www.peainc.com

ROCHESTER AUBURN ASSOC.
 6750 DANFORTH DRIVE
 BLOOMFIELD HILLS, MI 48301

**PRELIMINARY SITE PLAN
 ROCHESTER RETAIL**
 PART OF THE NE 1/4 OF SECTION 34, T.3N., R.11E,
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. RLS. DN. RLS. SUR. KTR. P.M. JPB
 DATE: 05/23/12

ORIGINAL ISSUE DATE: MARCH 20, 2013
 PEA JOB NO. 2012-074
 SCALE: 1" = 30'
 DRAWING NUMBER: P-3



NO.	BY	CHK.	DESCRIPTION	DATE
1	REB	JPB	REVISION PER CITY REVIEW	5.3.13

BENCHMARKS
(BENCHMARK DATUM IS GPS DERIVED NAVD88)

BM 300
ARROW ON HYDRANT ON THE SOUTH SIDE OF AUBURN ROAD, ±270 FEET WEST OF THE WEST LINE OF ROCHESTER ROAD.
ELEV=762.28'

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BM 302
ARROW ON HYDRANT ±30 FEET NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #3050 ROCHESTER ROAD.
ELEV=758.40'

BM 303
SET GEAR SPIKE IN SOUTHEAST FACE OF UTILITY POLE, SOUTH SIDE OF AUBURN ROAD, ±150 FEET NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #157 W. AUBURN.
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ELEV=758.18'

NORTH 1/4 CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L14992, P.089)

CALCULATED NE CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L14992, P.086)

W. AUBURN ROAD
(66' WIDE - PUBLIC)

LEGAL DESCRIPTION

(Per Chicago Title Agency, Inc. and agency for Fidelity National Title Insurance Company, File No.: R-120530F, dated April 06, 2012)

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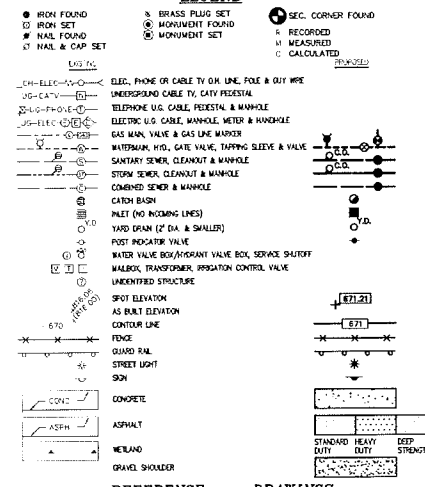
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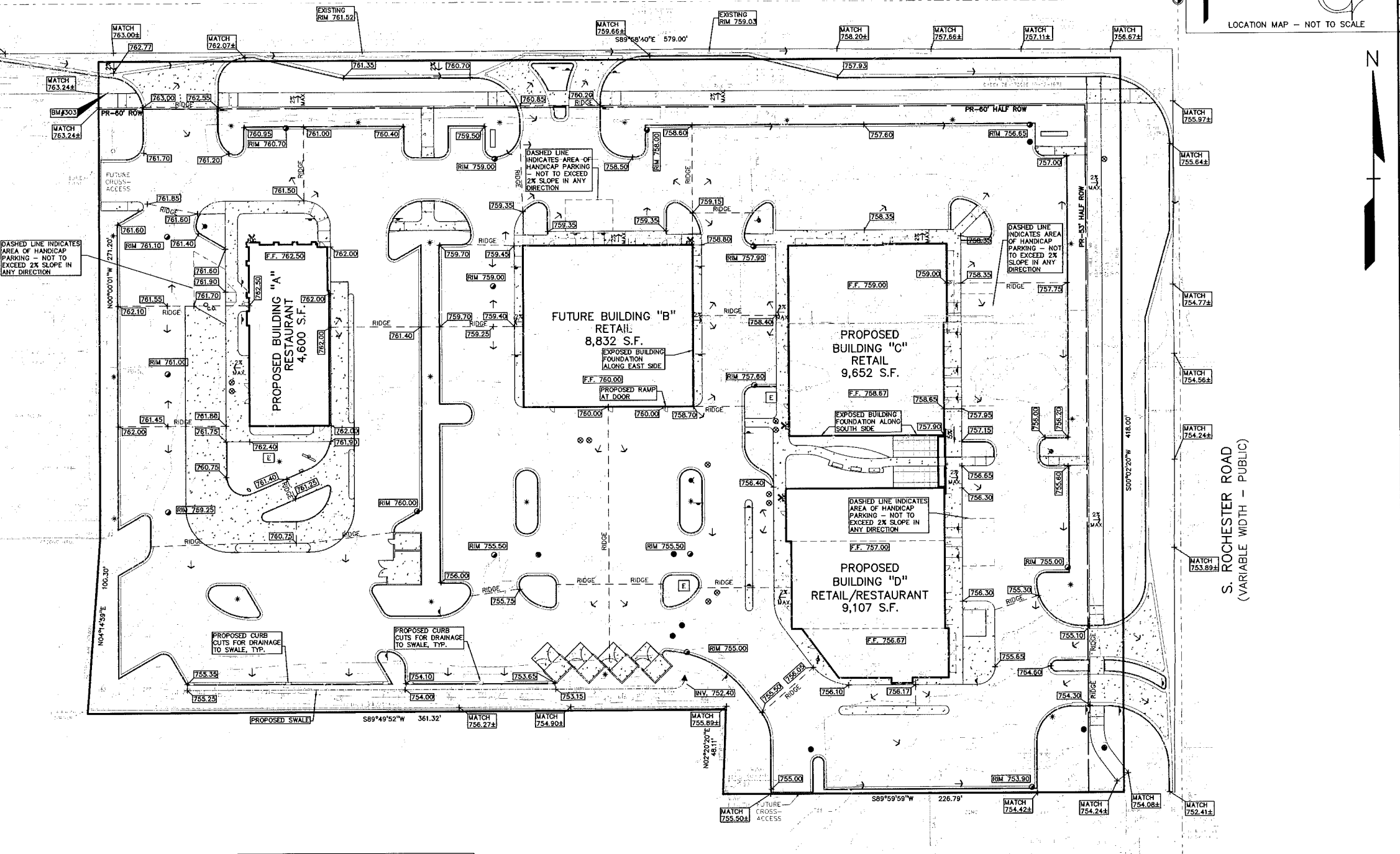
SUBJECT PARCELS LIE WITHIN AN AREA NOT MAPPED BY FEMA.

LEGEND



REFERENCE DRAWINGS

WATER MAIN: ROCHESTER CITY MAP, RECEIVED 11-28-12
SANITARY SEWER: ROCHESTER CITY MAP, RECEIVED 11-28-12
STORM SEWER: ROCHESTER CITY MAP, RECEIVED 11-28-12
ELECTRIC: ROCHESTER CITY MAP, RECEIVED 11-28-12
CITY: CONTACT MAP, RECEIVED 11-28-12
OTHER: ALTA/ACSM LAND TITLE SURVEY PROJECT NO. 11-344, DATED 08-07-11
CONTACT MAP, RECEIVED 11-28-12
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AS BUILT FROM MEASUREMENTS, DATED, BY SURVEYOR ASSOCIATES, DATED 5-1-1992



EARTHWORK BALANCING NOTE:
THIS PLAN IS NOT A BALANCED GRADING PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ADD 0.50" TO OBTAIN TOP OF CURB ELEVATION.

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QUALITY CONTROL AND INSPECTION SERVICES ARE PROVIDED BY PROFESSIONAL ENGINEERING ASSOCIATES, INC. (PEA) AND ARE NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF PEA. THE PROFESSIONAL ENGINEER'S RESPONSIBILITY IS TO INSURE THAT THE PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THE DESIGN AND SPECIFICATIONS OF THE CONTRACT DOCUMENTS AND TO REPORT ANY DEFICIENCIES TO THE OWNER AND THE CITY OF ROCHESTER.

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2430 Rochester Rd., Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

ROCHESTER AUBURN ASSOC.
8797 BLOOMFIELD HILLS, MI 48301

PRELIMINARY GRADING PLAN
ROCHESTER RETAIL
PART OF THE 12-010 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. RLS. DN. RLS. SUR. KTR. P.M. JPB
DATE: 03/20/2013

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ELEV=763.85'

BM 304
ARROW ON HYDRANT, ±50 FEET SOUTH-OF BUILDING #3050 ROCHESTER ROAD AND ±85 FEET NORTHWEST OF THE NORTHEAST CORNER OF BUILDING #3100 ROCHESTER ROAD.
ELEV=758.18'

LEGAL DESCRIPTION

(Per Chico Title Agency, Inc. and agency for Fidelity National Title Insurance Company, File No. R-120530F, dated April 06, 2012)

Parcel 1:
Lot 10, AVONCROFTS SUBDIVISION, as recorded in Liber 19, Page 15, of Plots, Oakland County Records, more particularly described as: Beginning at the point of intersection of the South line of Auburn Road (66 feet wide) with the West line of Rochester Road (66 feet wide), being the Northeast corner of said Lot 10, thence S00°02'20"W along the West line of Rochester Road (being the East line of said Lot 10), 101 feet to the Southeast corner of said Lot 10; thence West along the South line of said Lot 10, 214.06 feet to the Southeast corner of said Lot 10; thence S89°58'40"E along the West line of said Lot 10, 101.17 feet to a point on the South line of Auburn Road, being the Northeast corner of said Lot 10; thence S89°58'40"E along the South line of Auburn Road (being the North line of said Lot 10), 210 feet to the point of beginning.

Parcel 2:
The Northernly 50.00 feet of Lot 9, AVONCROFTS SUBDIVISION, as recorded in Liber 19, Page 15, of Plots, Oakland County Records, more particularly described as: Beginning at a point on the Westerly line of Rochester Road, (W-150), 66 feet wide, said point being S00°02'20"W, 101.00 feet from the intersection of the Westerly line of Rochester Road with the Southerly line of Auburn Road (W-59) 66 feet wide; thence S00°02'20"W along said Westerly line of Rochester Road 50.00 feet to a point; thence due West, 216.07 feet to a point; thence N02°20'20"E, 50.04 feet to a point; thence due East, 214.06 feet to the point of beginning.

LEGAL DESCRIPTION

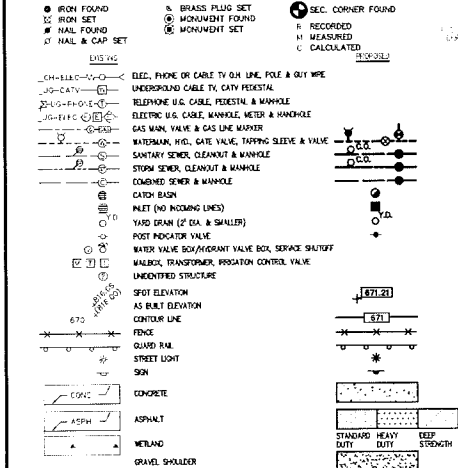
(Per Summit Engineering & Associates, Inc., ALTA/ACSM Land Title Survey Project No. 11-344, dated 8-11-2011)

3050 S Rochester Road:
Lot 7 and 8, also Lot 9 EXCEPT the North 50 feet thereof, Lots 11, 12 and 13 and also the North 100 feet of Lots 21, 22 and 23, AVONCROFTS SUBDIVISION, according to the Plat thereof, as recorded in Liber 19, Page 15, of Plots, Oakland County Records, containing 193.483 sq. ft. or 4.442 Acres, more or less.

FLOOD NOTE:

SUBJECT PARCELS LIE WITHIN AN AREA NOT MAPPED BY FEMA.

LEGEND



REFERENCE DRAWINGS

- ROCHESTER CITY MAP, RECORDED 11-30-12
- ROCHESTER CITY MAP, RECORDED 11-30-12
- ROCHESTER CITY MAP, RECORDED 11-30-12
- ALTA MAP, RECORDED 12-21-12
- CONCRETE MAP, RECORDED 12-21-12
- CONCRETE MAP, RECORDED 12-21-12
- ALTA MAP AND FILE SURVEY FOR 3050 S. ROCHESTER ROAD, ROCHESTER, MICHIGAN, BY SUMMIT ENGINEERING & ASSOCIATES, INC., DATED 8-11-2011
- ENGINEERING PLAN FOR 3050 S. ROCHESTER ROAD, ROCHESTER HILLS, MI, BY LARSEN & ASSOCIATES, INC., DATED 11-21-1992
- AS-BUILT PLAN FOR MECHANICAL EGRESS, BY STENOVO ASSOCIATES, DATED 5-14-08

25 YEAR STORM DETENTION DESIGN (OAKLAND COUNTY DESIGN METHOD)

Proposed "C" Value	Area (A/C)	C/C	C/C
Buildings	0.74	0.95	0.705
Pavement	3.08	0.95	2.928
Green Space	0.82	0.45	0.369
Total	4.64		3.998
Overall Proposed "C"		0.86	

Existing "C" Value	Area (A/C)	C/C	C/C
Buildings	0.66	0.95	0.6176
Pavement	3.28	0.95	3.1176
Green Space	0.74	0.45	0.333
Total	4.64		4.053
Overall Existing "C"		0.67	

Combining Area (A) = 4.64 AC
Allowable Discharge (Qa) = 6.98 C.F.S. (-0.2 C.F.S./AC)
C = Percent of Runoff (C)

Calculation of Required Discharge/Acre
Qa = 11.02(A)(C) = 0.23
T = 25 + (800C) / (Qa) = 161.37

Storage Volume Required
Vs = (1.29)(Qa)(T) = 9671.31

Vs = (Vs)(A)(C) = 38,665.89

PIPE STORAGE

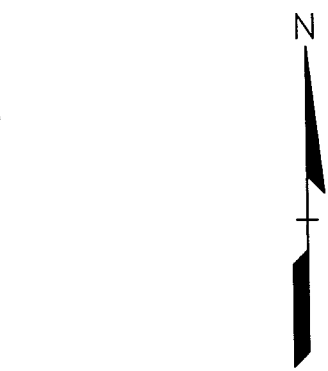
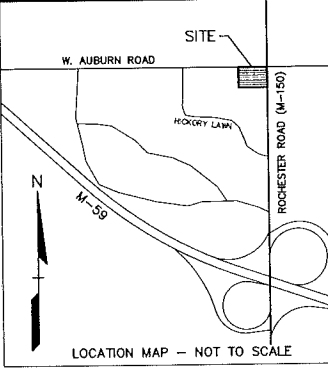
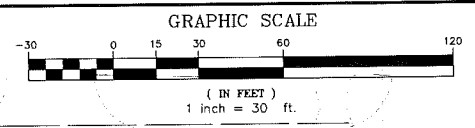
SIZE	2000 ft
SIZE	80 in
C/F/FT	16.625 c/ft
VOLUME	38260.00 cft

GENERAL UTILITY NOTES:

- ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS STANDARDS AND REQUIREMENTS.
- NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL THE NEW WATER LEAD PASSES ALL PRESSURE AND BACTERIOLOGICAL TESTS.
- ALL WATER LEADS 2" AND SMALLER SHALL BE TYPE 'K' COPPER.
- ALL WATER MAINS SHALL BE PROVIDED WITH 6 FEET MINIMUM COVER.
- ALL STORM LEADS SHALL BE P.V.C. SOLID WALL PIPE, SDR 23.5 UNLESS OTHERWISE NOTED. ALL 12" DIAMETER STORM SEWER AND LARGER SHALL BE REINFORCED CONCRETE (RCP) CL-IV, UNLESS OTHERWISE NOTED.
- ALL 6" SANITARY SEWER LEADS SHALL BE P.V.C. SOLID WALL PIPE, SDR 23.5 W/ RUBBER GASKET JOINTS.
- BOXES ARE TO BE PROVIDED FOR ALL CLEANSOUTS. THE BOXES SHALL BE E.I.J.W. # 1565 OR APPROVED EQUAL.
- ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER LEAD SYSTEM ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE CITY.
- A SOIL EROSION PERMIT WILL BE REQUIRED FROM THE CITY OF ROCHESTER HILLS.
- ALL ELECTRIC, TELEPHONE AND CABLE TV SERVICES WILL BE UNDERGROUND.

STORMWATER NOTE:

THE EXISTING SITE SOILS CONSIST OF CLAYS. IN ADDITION, THE SITE HAS CONTAMINATED SOILS AND THEREFORE, NO INFILTRATION IS PROPOSED. STORMWATER DETENTION WILL BE PROVIDED IN UNDERGROUND PIPES. STORMWATER QUALITY WILL BE PROVIDED WITH MECHANICAL PRE-TREATMENT STRUCTURES. THE PROPOSED OUTLET WILL BE AT THE EXISTING STORMWATER OUTLET FOR THE SITE WHICH DISCHARGES TO THE STORM SEWER IN ROCHESTER ROAD.



W. AUBURN ROAD
ROCHESTER ROAD (W-150)
HOXORY LANE

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EXISTING SANITARY SEWER BASIS OF DESIGN:
(Unit Factors Based on Oakland County Unit Assignment Factors)

Category	REU	People
CAR DEALERSHIP	25,962 S.F.	37 People
Unit Factor	0.3 per 1,000 S.F.	
REU	7.9	11.7 People
Population (P) (13.5 PEOPLE/REU)		158.1 People
GAS STATION	12	16.2 People
Unit Factor	0.24 per pump	
REU	2.9	3.9 People
Population (P) (13.5 PEOPLE/REU)		51.1 People
TOTAL	10.7	14.1 People
Average Flow (100 GPCFD)	2,700 G.P.D.	0.006 C.F.S.
Peak Factor (PF)	1.037	
Peak Flow (G.P.D.)	2,798 G.P.D.	0.006 C.F.S.
Peak Flow (C.F.S.)	14,800 G.P.D.	0.023 C.F.S.

PROPOSED SANITARY SEWER BASIS OF DESIGN:
(Unit Factors Based on Oakland County Unit Assignment Factors)

Category	REU	People
RETAIL	22,814 S.F.	31 People
Ext. rated No. of Employees	34	0.16 per employee
REU	5.5	7.4 People
Population (P) (13.5 PEOPLE/REU)		73.8 People
RESTAURANT (QUICK SERVICE)	2	2.7 People
Unit Factor	5.6 per restaurant	
REU	11.2	15.0 People
Population (P) (13.5 PEOPLE/REU)		151.8 People
RESTAURANT (CARRY OUT)	2	2.7 People
Unit Factor	1.8 per restaurant	
REU	3.6	4.8 People
Population (P) (13.5 PEOPLE/REU)		50.4 People
TOTAL	30.3	40.5 People
Average Flow (100 GPCFD)	7,100 G.P.D.	0.011 C.F.S.
Peak Factor (PF)	0.71	
Peak Flow (G.P.D.)	5,041 G.P.D.	0.007 C.F.S.
Peak Flow (C.F.S.)	28,400 G.P.D.	0.044 C.F.S.

6" Pipe Capacity Provided = 0.73 C.F.S.

REVISIONS

NO.	DATE	DESCRIPTION
1	11-15-12	REVISED PER CITY REVIEW
2	11-15-12	REVISED PER CITY REVIEW

CAUTION!!
THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND CONDITIONS SHOWN ON THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND CONDITIONS SHOWN ON THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES AND CONDITIONS SHOWN ON THIS DRAWING.

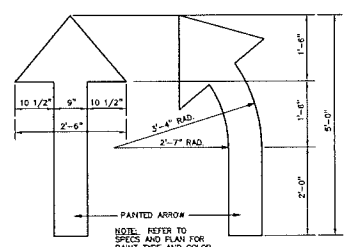
THIS DRAWING IS THE PROPERTY OF PEAK ENGINEERING ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PEAK ENGINEERING ASSOCIATES, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DRAWING IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

ROCHESTER AUBURN ASSOC.
4750 OAKHILLS DRIVE
BLOOMFIELD HILLS, MI 48301

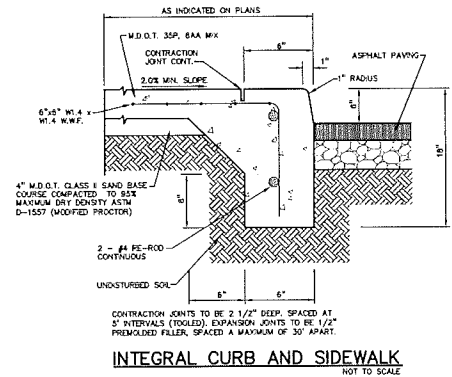
PROFESSIONAL ENGINEERING ASSOCIATES
2430 Rochester Ct. Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

PRELIMINARY UTILITY PLAN
ROCHESTER RETAIL
PART OF THE NE 1/4 OF SECTION 34, T. 3N., R. 11E,
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

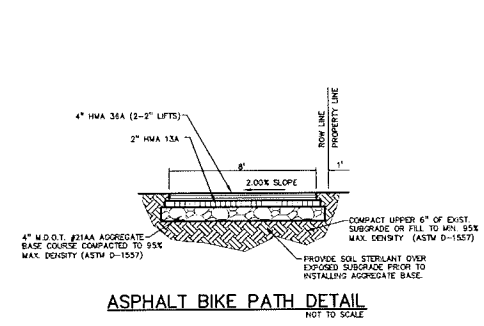
ORIGINAL ISSUE DATE: MARCH 20, 2013
PEA JOB NO. 2012-074
SCALE: 1" = 30'
DRAWING NUMBER: P-5



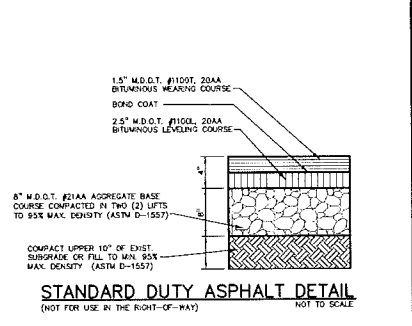
PAINTED DIRECTIONAL ARROWS
NOT TO SCALE



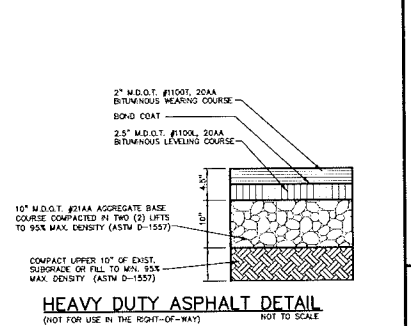
INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



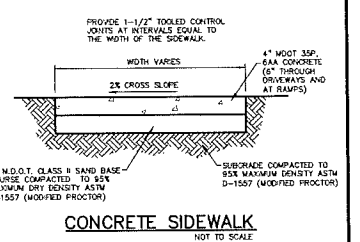
ASPHALT BIKE PATH DETAIL
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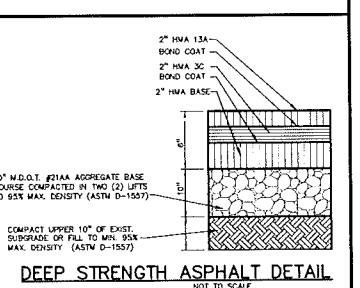
STANDARD DUTY ASPHALT DETAIL
NOT TO SCALE



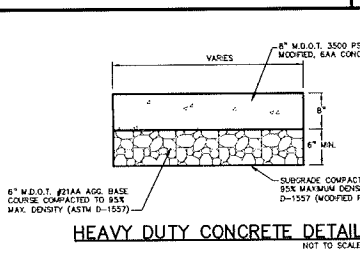
HEAVY DUTY ASPHALT DETAIL
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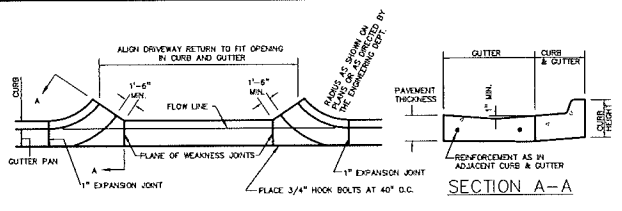
CONCRETE SIDEWALK
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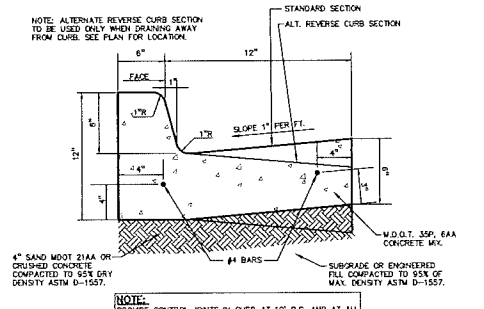
DEEP STRENGTH ASPHALT DETAIL
NOT TO SCALE



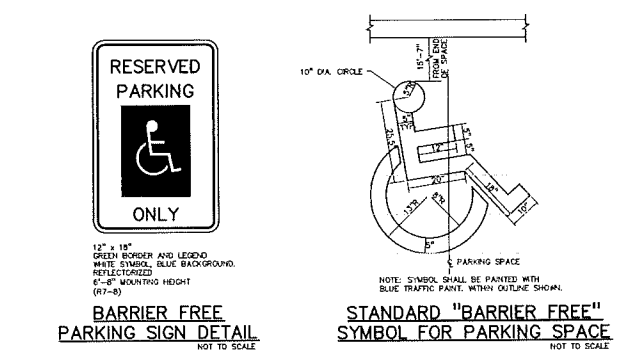
HEAVY DUTY CONCRETE DETAIL
NOT TO SCALE



M.D.O.T. DRIVEWAY OPENING-DETAIL 'M'
NOT TO SCALE

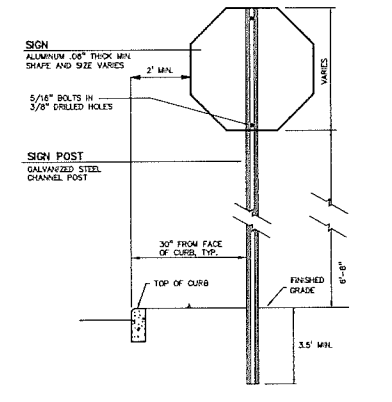


18"x6" STANDARD CONCRETE CURB AND GUTTER
NOT TO SCALE

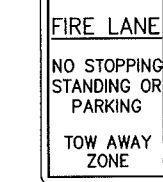


RESERVED PARKING ONLY
NOT TO SCALE

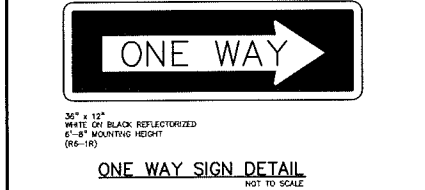
STANDARD "BARRIER FREE" SYMBOL FOR PARKING SPACE
NOT TO SCALE



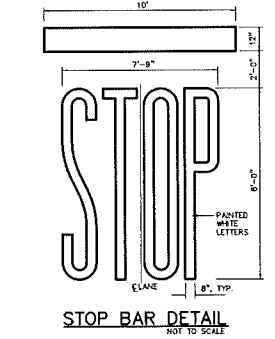
SIGN AND POST INSTALLATION IN LANDSCAPED AREAS
NOT TO SCALE



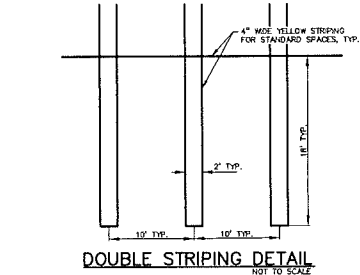
NO STOPPING OR PARKING
NOT TO SCALE



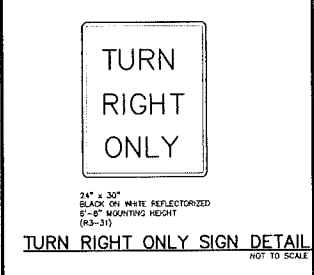
ONE WAY SIGN DETAIL
NOT TO SCALE



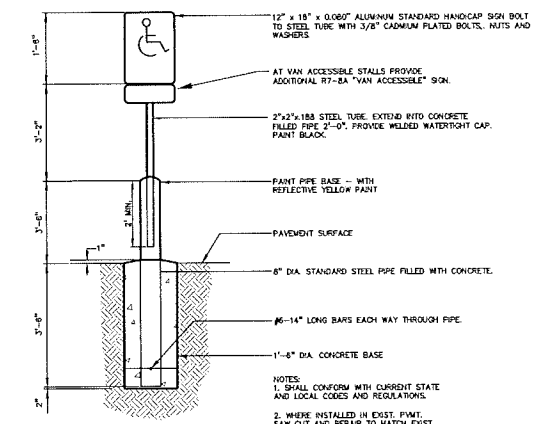
STOP BAR DETAIL
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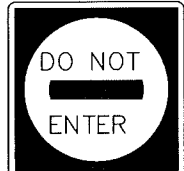
DOUBLE STRIPING DETAIL
NOT TO SCALE



TURN RIGHT ONLY SIGN DETAIL
NOT TO SCALE



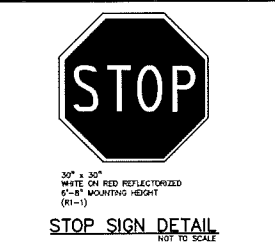
SIGN AND POST INSTALLATION IN PAVED AREAS
NOT TO SCALE



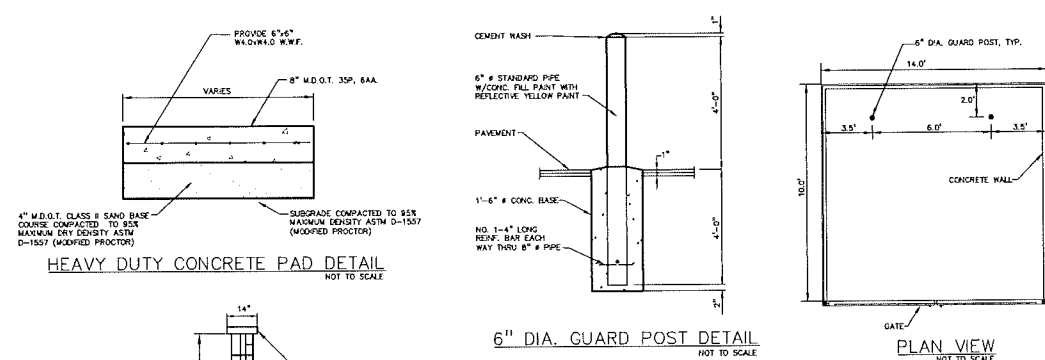
DO NOT ENTER SIGN DETAIL
NOT TO SCALE



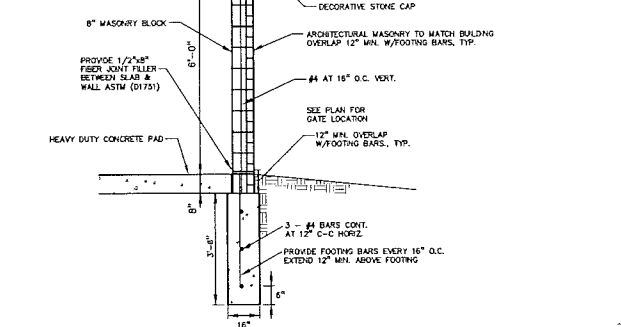
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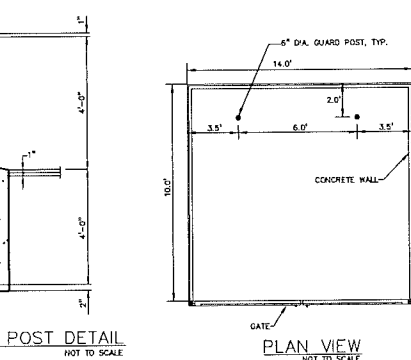
STOP SIGN DETAIL
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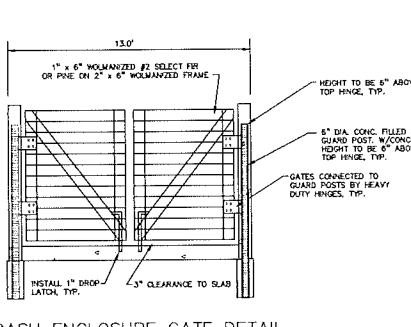
HEAVY DUTY CONCRETE PAD DETAIL
NOT TO SCALE



DUMPSTER ENCLOSURE WALL CROSS SECTION
NOT TO SCALE



6" DIA. GUARD POST DETAIL
NOT TO SCALE



TRASH ENCLOSURE GATE DETAIL
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6780 OAK HILLS DRIVE
BLOOMFIELD HILLS, MI 48301
PRELIMINARY DETAIL SHEET
ROCHESTER RETAIL
PART OF THE 16A OF SECTION 34.1, 3N, R. 11E,
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

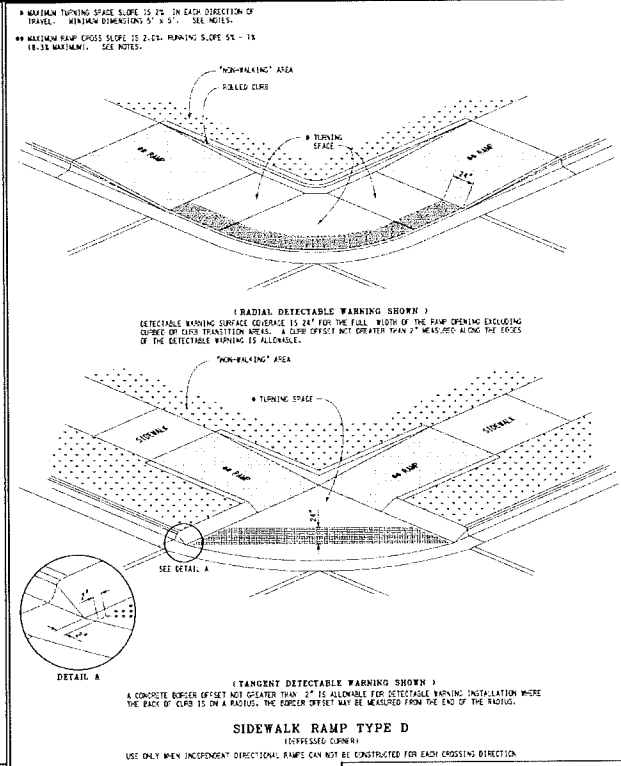
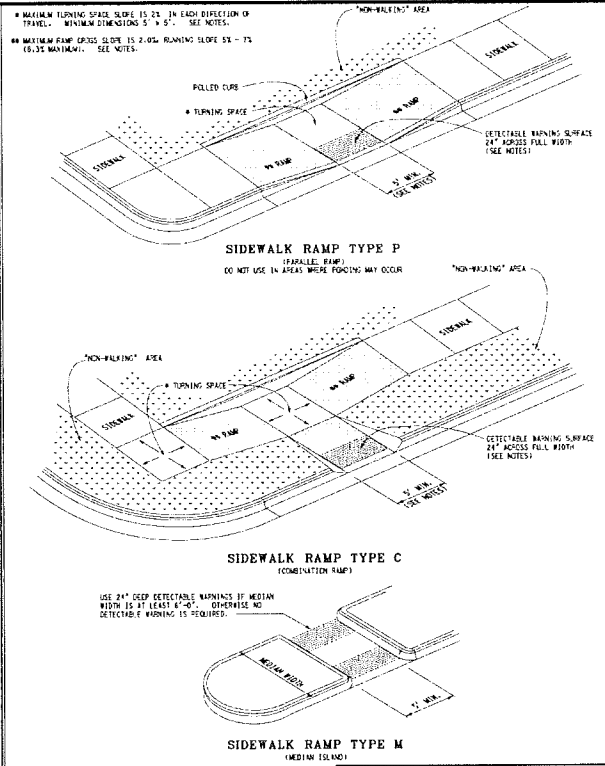
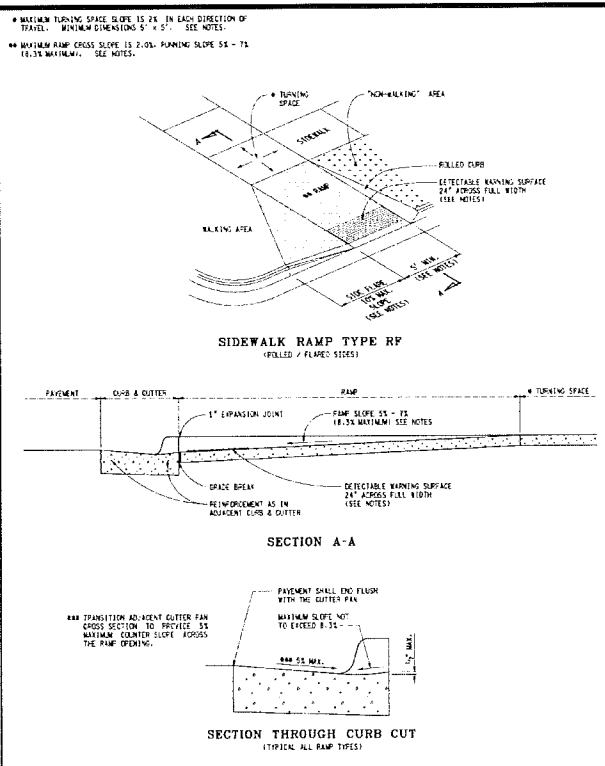
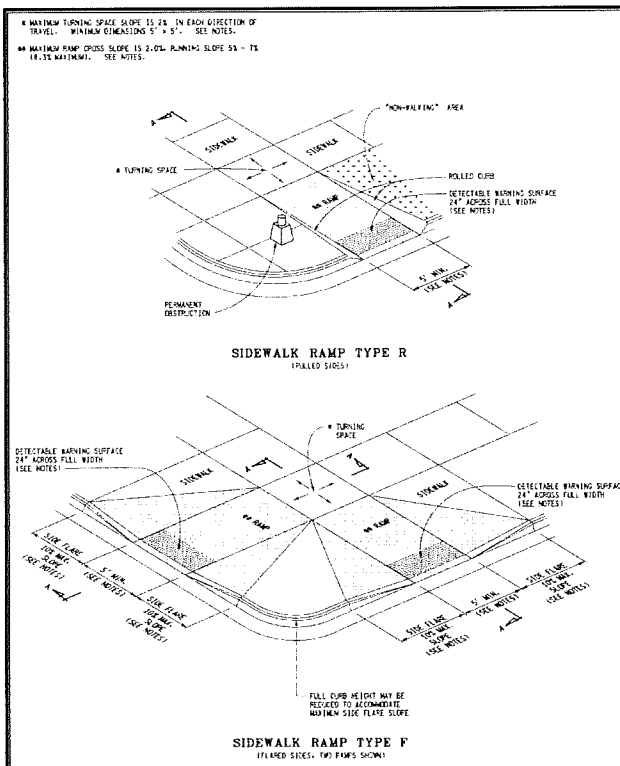
ORIGINAL ISSUE DATE: MARCH 20, 2013
PEA JOB NO. 2012-074
SCALE: 1" = 30'
DRAWING NUMBER: **P-6**

NO.	DATE	BY	CHK.	DESCRIPTION

CAUTION!
THE LOCATION AND RELATIONS OF EXISTING UTILITIES ARE NOT GUARANTEED BY ANY AGENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

THIS COMPANY AND DESIGN ARE THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

PEA
ROCHESTER AUBURN ASSOC.
PRELIMINARY DETAIL SHEET
ROCHESTER RETAIL
PART OF THE 16A OF SECTION 34.1, 3N, R. 11E,
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN
DES. RLS. DN. RLS. SUR. KTR. P.M.
JFB
1-800-482-7171



MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT DIVISION PLAN FOR

SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

1-25-2013 10-3-2012 R-28-H SHEET 1 OF 1

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT DIVISION PLAN FOR

SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

1-25-2013 10-3-2012 R-28-H SHEET 2 OF 1

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT DIVISION PLAN FOR

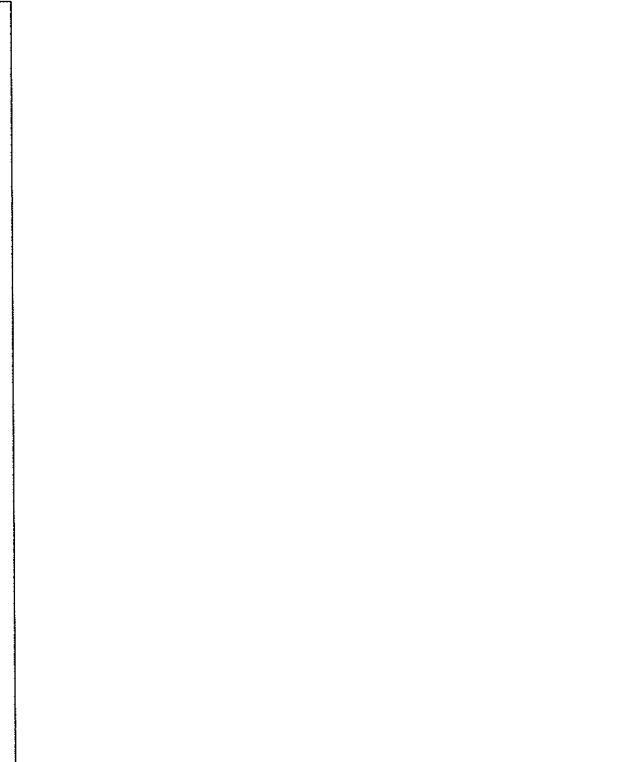
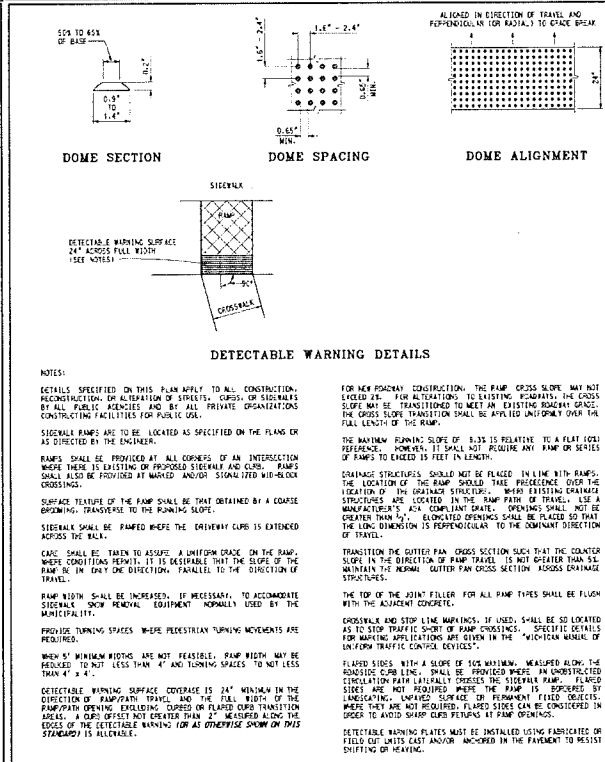
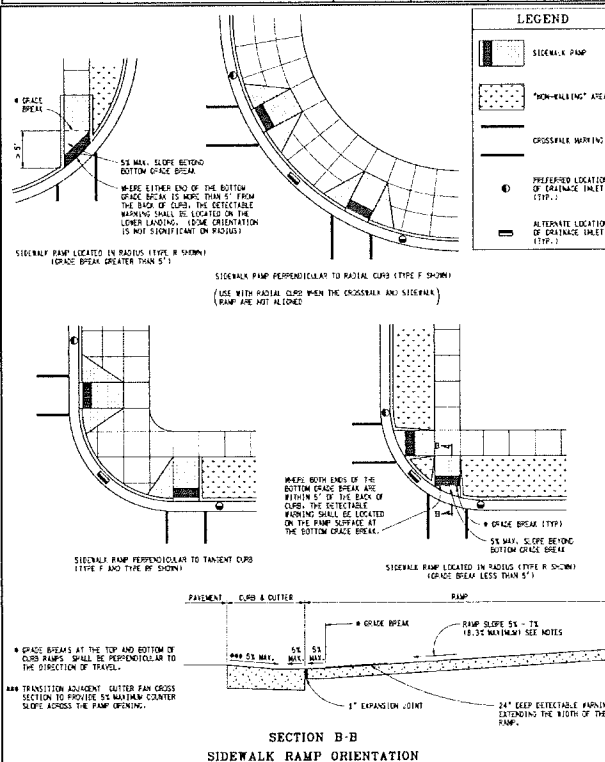
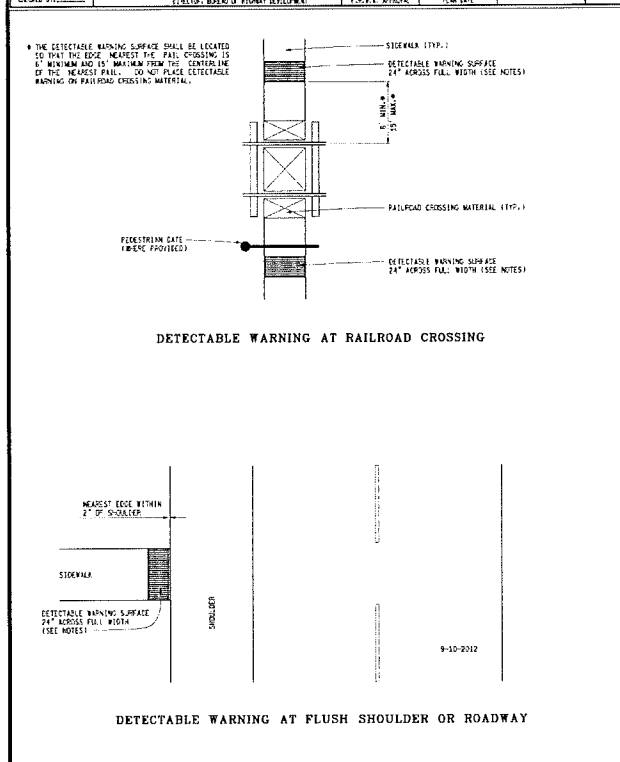
SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

1-25-2013 10-3-2012 R-28-H SHEET 3 OF 1

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT DIVISION PLAN FOR

SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

1-25-2013 10-3-2012 R-28-H SHEET 4 OF 1



MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT DIVISION PLAN FOR

SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

1-25-2013 10-3-2012 R-28-H SHEET 5 OF 1

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT DIVISION PLAN FOR

SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

1-25-2013 10-3-2012 R-28-H SHEET 6 OF 1

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT DIVISION PLAN FOR

SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

1-25-2013 10-3-2012 R-28-H SHEET 7 OF 1

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT DIVISION PLAN FOR

SIDEWALK RAMP AND DETECTABLE WARNING DETAILS

1-25-2013 10-3-2012 R-28-H SHEET 8 OF 1

NO.	DATE	REVISIONS
1	10/3/12	ISSUED FOR CITY REVIEW
2	10/3/12	FOR CITY REVIEW
3	10/3/12	FOR CITY REVIEW

CAUTION!
THE LOCATION AND INSTALLATION OF EXISTING DETECTABLE WARNING SURFACES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND INSTALLATION OF EXISTING DETECTABLE WARNING SURFACES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND INSTALLATION OF EXISTING DETECTABLE WARNING SURFACES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND INSTALLATION OF EXISTING DETECTABLE WARNING SURFACES.

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6750 OAKHILLS DRIVE
BLOOMFIELD HILLS, MI 48301

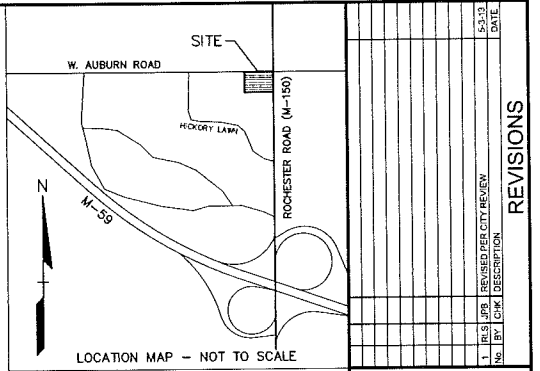
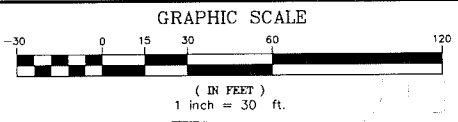
MDOT RAMP DETAILS
ROCHESTER RETAIL
PART OF THE I-75 SECTION 9A, 13N, R, 1E
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES: RLS DN SUR: KTR P.M.
JPB

ORIGINAL ISSUE DATE: MARCH 20, 2013
PEA JOB NO. 2012-074
SCALE: 1" = 30'
DRAWING NUMBER: P-7

PRELIMINARY NOT FOR CONSTRUCTION CITY FILE #12-010

REF: 1-2012074(04)2014 - OFFICE OVERALL DOC
REF: 1-2012074(04)2014 - PLAN W-28-H-1071(12)
REF: 1-2012074(04)2014 - PLAN W-28-H-1071(12)



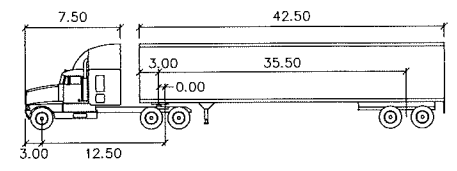
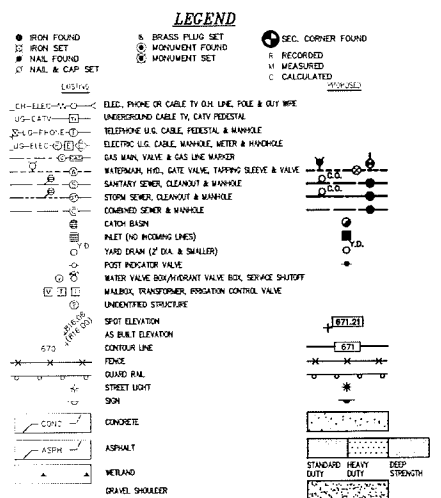
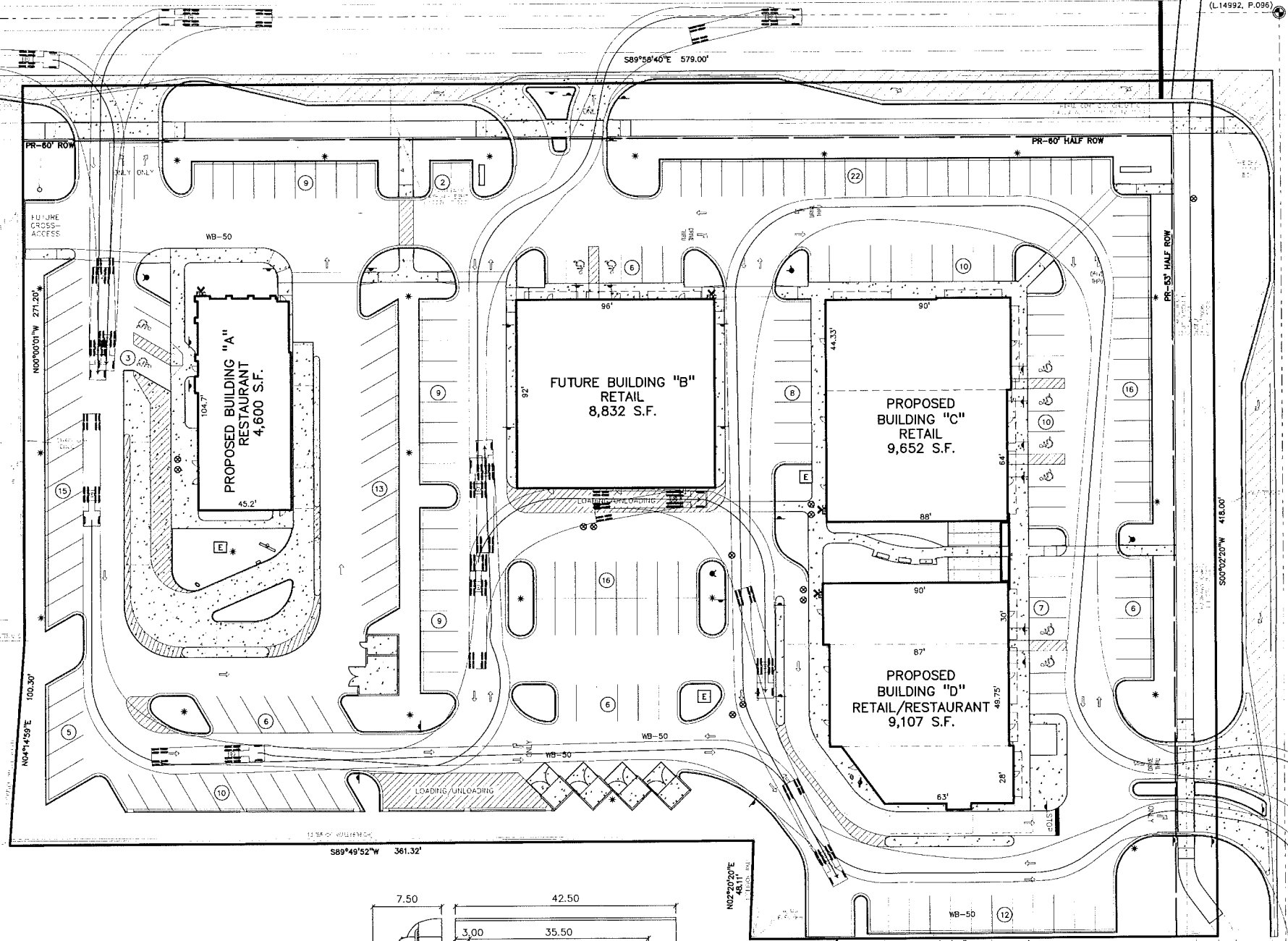
REVISIONS

NO.	BY	DATE	DESCRIPTION
1	JRB	03/20/13	REVISED PER CITY REVIEW
2	JKR	03/23/13	DATE

NORTH 1/4 CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L14992, P.089)

W. AUBURN ROAD
(66' WIDE - PUBLIC)

CALCULATED NE CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L14992, P.086)



WB-50

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 17.7
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

REFERENCE DRAWINGS

- ROCHESTER CITY MAP, RECORDED 11-30-12
- ROCHESTER CITY MAP, RECORDED 11-30-12
- ROCHESTER CITY MAP, RECORDED 11-30-12
- A-91 MAP "A" REVISION, DATED 12/23/12
- COUS. WESS ENERGY MAP 03-21-31-1, DATED 02-07-03
- CONCRETE MAP, RECORDED 11-30-12
- ATA ACQUA AND TILE SURVEY FOR 3050 S. ROCHESTER ROAD, ROCHESTER HILLS, MI, BY SUPRA ENGINEERING & ASSOCIATES, INC., DATED 8-2-11
- SITE ENGINEERING PLAN FOR 3025 S. ROCHESTER ROAD, ROCHESTER HILLS, MI, BY JAY BECKER & ASSOCIATES, INC., DATED 11-1-12
- AS-BUILT PLAN FOR MEADOWLAND DRIVE, BY STRONG ASSOCIATES, DATED 5-1-12

CAUTION!
THE LOCATION AND ELEVATION OF EXISTING UTILITIES ARE SHOWN AS FAR AS KNOWN ON THE DRAWING AND ONE APPROXIMATE. NO GUARANTEE IS MADE FOR THE ACCURACY OF THE LOCATION AND ELEVATION OF UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATION OF UTILITIES PRIOR TO THE START OF CONSTRUCTION.

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Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

ROCHESTER AUBURN ASSOC.
6790 OAK HILLS DRIVE
BLOOMFIELD HILLS, MI - 48301

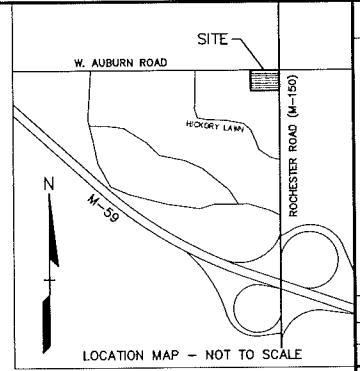
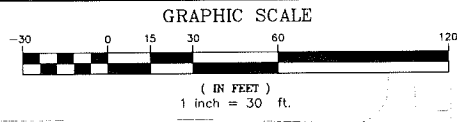
WB-50 TRUCK ACCESS PLAN
ROCHESTER RETAIL
PART OF THE NE 1/4 OF SECTION 34, T.3N., R.1E, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. RLS. DN. SUR. KTR. P.M. JPB

ORIGINAL ISSUE DATE: MARCH 20, 2013
PEA JOB NO. 2012-074
SCALE: 1" = 30'
DRAWING NUMBER: P-8

PRELIMINARY
NOT FOR CONSTRUCTION
CITY FILE #12-010

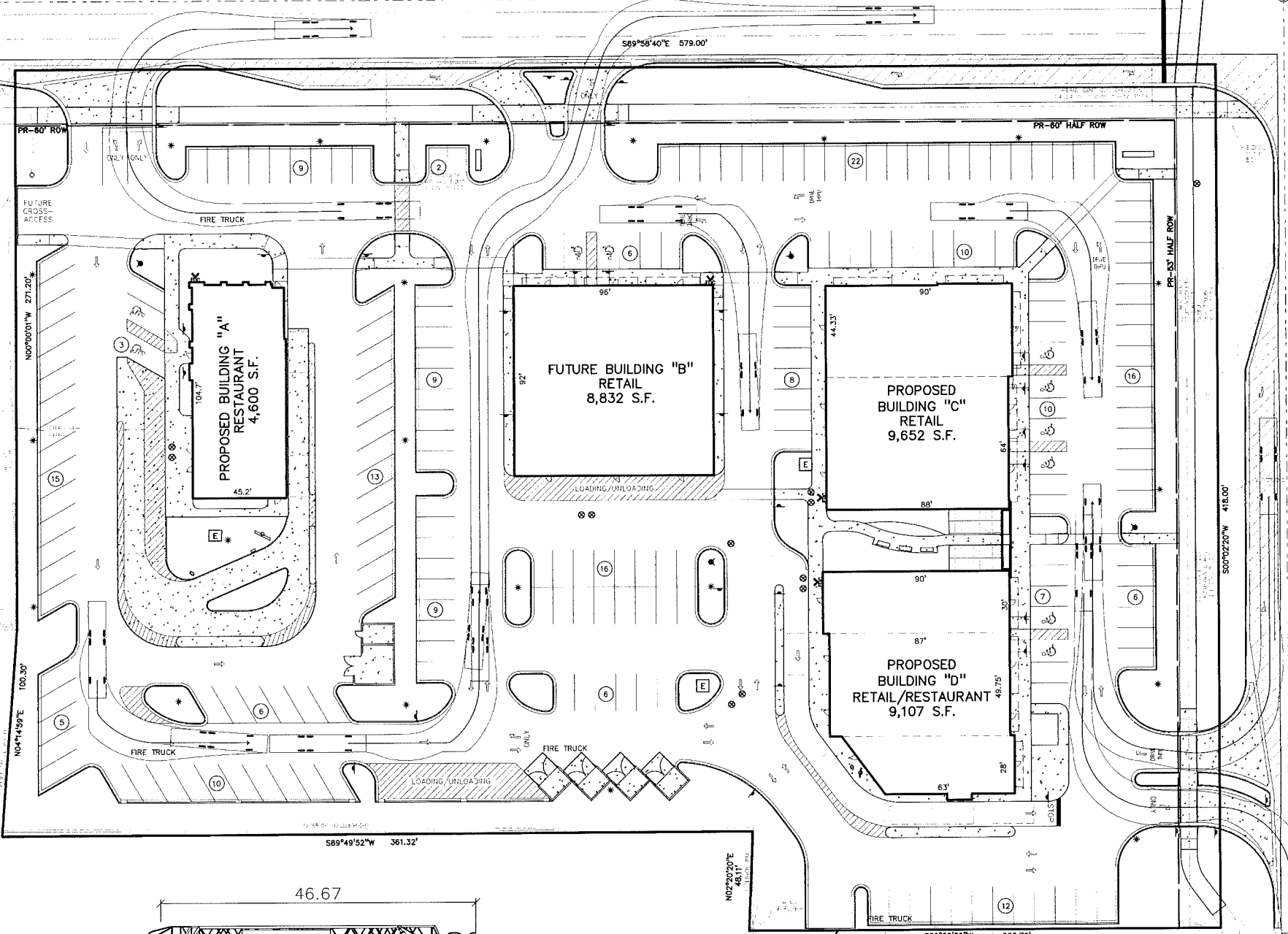
EAST 1/4 CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L14992, P.090)



NORTH 1/4 CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L.14992, P.089)

W. AUBURN ROAD (66' WIDE - PUBLIC)

EAST 1/4 CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L.14992, P.089)



CAUTION!
THE LOCATION AND ELEVATION OF EXISTING AND PROPOSED UTILITIES SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS MADE AS TO THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.
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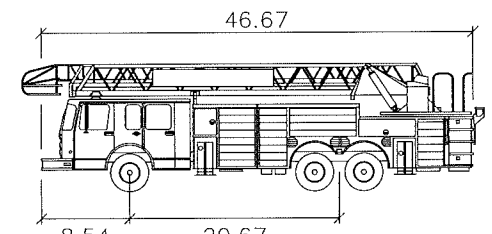
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Phone: (248) 689-9090
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website: www.peacinc.com

ROCHESTER AUBURN ASSOC.
BLOOMFIELD HILLS, MI 48301
FIRE TRUCK ACCESS PLAN
ROCHESTER RETAIL
PART OF ROCHESTER HILLS, MI
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

ORIGINAL ISSUE DATE: MARCH 20, 2013
PEA JOB NO. 2012-074
SCALE: 1" = 30'
DRAWING NUMBER:
P-9

- LEGEND**
- IRON FOUND
 - IRON SET
 - NAIL FOUND
 - ▲ NAIL & CAP SET
 - BRASS PLUG SET
 - MONUMENT FOUND
 - MONUMENT SET
 - SEC. CORNER FOUND
 - RECORDED
 - MEASURED
 - CALCULATED
- REFERENCE DRAWINGS**
- ROCHESTER CITY MAP, RECEIVED 11-30-12
 - ROCHESTER CITY MAP, RECEIVED 11-30-12
 - ROCHESTER CITY MAP, RECEIVED 11-30-12
 - AVON TWP. "A" ZONING, DATED 12/21/12
 - CONCEPT MAP, RECEIVED 11-28-12
 - CONCEPT MAP, RECEIVED 11-28-12
 - ALTA SURVEY/ADJ. TITLE SURVEY & ASSOCIATES, INC. DATED 8-25-11
 - SITE ENGINEERING PLAN FOR 300 S. ROCHESTER ROAD, ROCHESTER HILLS, MI BY ANGELO & ASSOCIATES, INC. DATED 1-5-1995
 - AS-BUILT PLAN FOR MEADOWBROOK GOLF, BY STRANCO ASSOCIATES, DATED 5-1-1993
- UTILITIES**
- ELEC. PHONE OR CABLE TV OR LINE, POLE & DUTY WIRE
 - UNDERGROUND CABLE TV, CABLE PEDESTAL
 - TELEPHONE OR CABLE, PEDESTAL & MANHOLE
 - ELECTRIC OR CABLE, MANHOLE, METER & MANHOLE
 - GAS MAIN, VALVE & GAS LINE MINDER
 - WATERMAIN, M.V., GATE VALVE, TAPPING SLAVE & VALVE
 - SANITARY SEWER, CLEANOUT & MANHOLE
 - STORM SEWER, CLEANOUT & MANHOLE
 - COMBINED SEWER & MANHOLE
 - CATCH BASIN
 - PILE (NO RECORD LINES)
 - YARD DRAIN (2" DIA. & SMALLER)
 - POST INDICATOR VALVE
 - WATER VALVE EQUIPMENT VALVE, G.O.L. SERVICE SHUTOFF
 - WALBUK, TRANSFORMER, IRRIGATION CONTROL VALVE
 - UNIDENTIFIED STRUCTURE
 - SPOT ELEVATION
 - AS BUILT ELEVATION
 - CONTOUR LINE
 - GRAVEL PAV.
 - STREET LIGHT
 - 90'
- FINISHES**
- CONCRETE
 - ASPHALT
 - VELAND
 - GRAVEL SHOULDER
 - SINGLE DUTY
 - HEAVY DUTY
 - SLIP RESISTANT



Rochester Hills Fire Truck

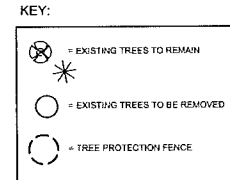
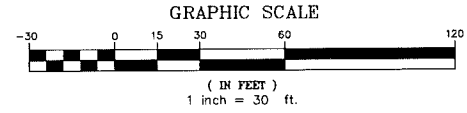
Width	: 8.50 feet
Track	: 7.61 feet
Lock to Lock Time	: 5.0 seconds
Steering Angle	: 40.0 degrees

EAST 1/4 CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L.14992, P.089)

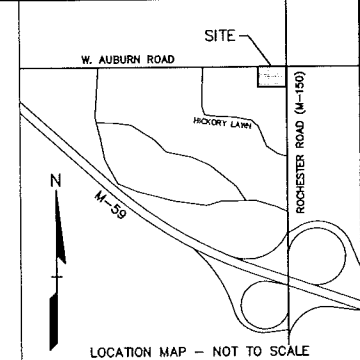
PRELIMINARY
NOT FOR CONSTRUCTION
CITY FILE #12-010

TH 1/4
NER OF
TION 34,
N, R.1E,
N TWP., MI
1992, P.089)

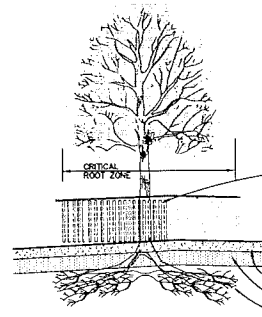
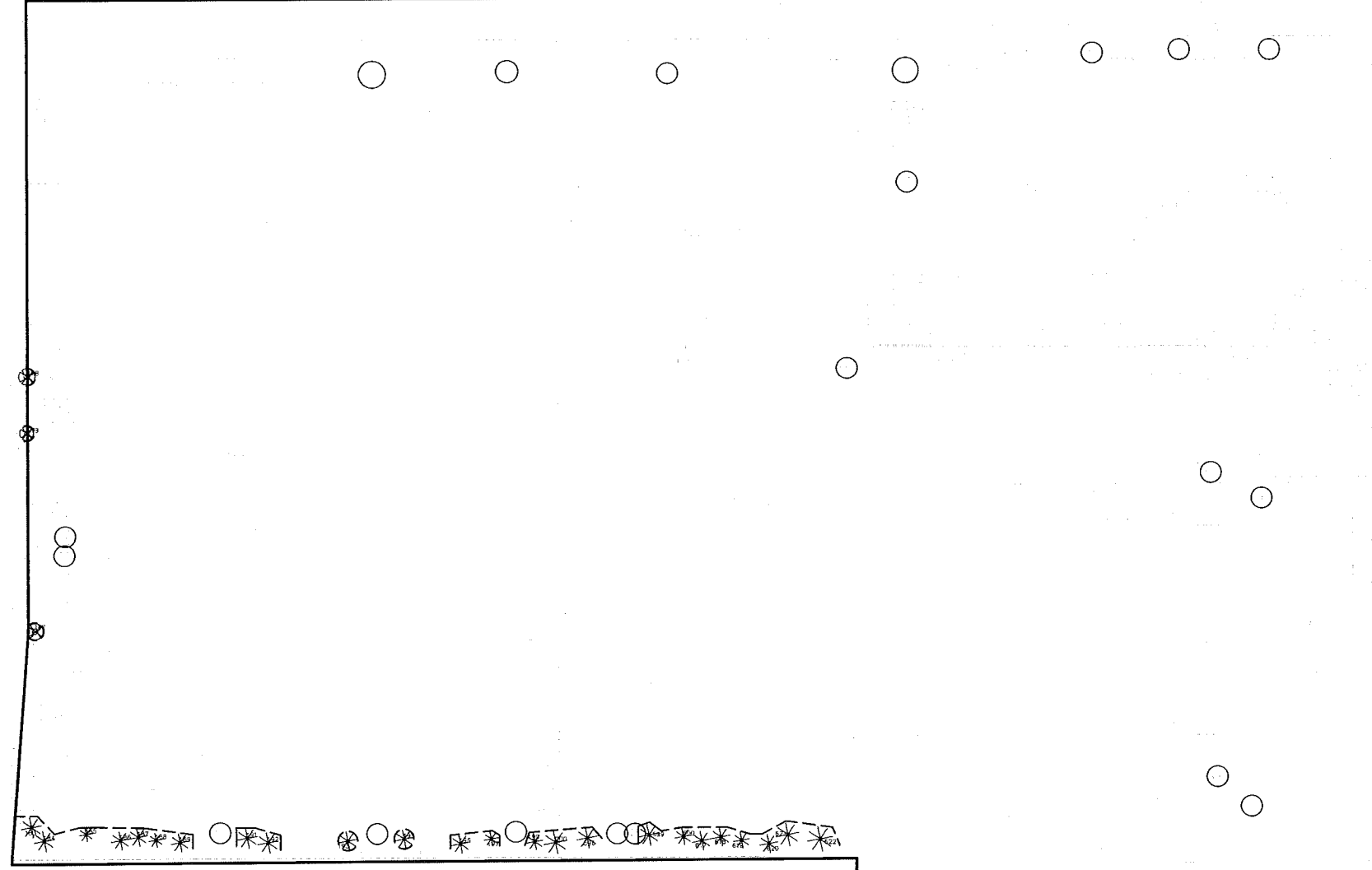
W. AUBURN ROAD
(66' WIDE - PUBLIC)



CALCULATED
NE CORNER OF
SECTION 34,
T.33N., R.1E,
AVON TWP., MI
(L14992, P.096)



NO.	DATE	DESCRIPTION
1	03-20-13	ISSUED FOR CITY REVIEW
2		REVISED
3		REVISED
4		REVISED
5		REVISED
6		REVISED
7		REVISED
8		REVISED
9		REVISED
10		REVISED



TREE PROTECTION DETAIL
NOT TO SCALE

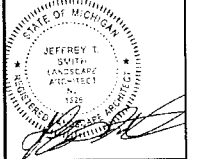
PROVIDE FENCE AROUND
CRITICAL ROOT ZONE OF TREE.
FENCE SHALL BE PLACED IN A
CIRCLE WITH A RADIUS OF 1'
PER 1" DIAMETER OF THE TREE
MEASURED AT 4.5' ABOVE
GROUND.
4" HIGH PROTECTIVE FENCING
W/ STEEL POST - 10' O.C.

S. ROCHESTER ROAD
(VARIABLE WIDTH - PUBLIC)

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	CONDITION	NOTE
176	E	7	American Elm	Ulmus americana	GOOD	Remain
179	E	6	American Elm	Ulmus americana	GOOD	Remain
180	E	7	American Elm	Ulmus americana	FAIR	To be removed
181	E	6	American Elm	Ulmus americana	FAIR	To be removed
182	HX	7	Basswood	Acer negundo	GOOD	Remain
185	AL	9	American Pine	Pinus nigra	GOOD	Remain
181	AL	9	American Pine	Pinus nigra	FAIR	Remain
185	AL	6	American Pine	Pinus nigra	GOOD	Remain
186	AL	8	American Pine	Pinus nigra	FAIR	Remain
187	AL	8	American Pine	Pinus nigra	GOOD	Remain
188	AL	6	American Pine	Pinus nigra	FAIR	Remain
189	AL	8	American Pine	Pinus nigra	FAIR	Remain
190	AL	8	American Pine	Pinus nigra	FAIR	To be removed
191	AL	9	American Pine	Pinus nigra	GOOD	Remain
192	AL	9	American Pine	Pinus nigra	GOOD	Remain
193	AL	8	American Pine	Pinus nigra	GOOD	Remain
194	AL	10	American Pine	Pinus nigra	GOOD	To be removed
195	AL	8	American Pine	Pinus nigra	GOOD	Remain
196	AL	8	American Pine	Pinus nigra	GOOD	Remain
197	AL	6.2	American Pine	Pinus nigra	GOOD	Remain
198	AL	8	American Pine	Pinus nigra	GOOD	To be removed
199	AL	7	American Pine	Pinus nigra	GOOD	Remain
200	AL	10	American Pine	Pinus nigra	GOOD	Remain
206	AL	9	American Pine	Pinus nigra	GOOD	Remain
207	AL	7	American Pine	Pinus nigra	GOOD	To be removed
208	AL	8	American Pine	Pinus nigra	GOOD	Remain
209	AL	9	American Pine	Pinus nigra	GOOD	Remain
210	AL	9	American Pine	Pinus nigra	GOOD	Remain
211	AL	7	American Pine	Pinus nigra	GOOD	Remain
212	AL	8	American Pine	Pinus nigra	GOOD	Remain
213	AL	7	American Pine	Pinus nigra	GOOD	Remain
214	AL	8	American Pine	Pinus nigra	GOOD	Remain
215	AL	8	American Pine	Pinus nigra	GOOD	Remain
216	AL	10	American Pine	Pinus nigra	GOOD	Remain
217	AL	8	American Pine	Pinus nigra	GOOD	Remain
218	AL	8	American Pine	Pinus nigra	GOOD	Remain
219	AL	7	American Pine	Pinus nigra	GOOD	Remain
220	AL	8	American Pine	Pinus nigra	GOOD	Remain
221	AL	10	American Pine	Pinus nigra	GOOD	Remain
222	AL	11	American Pine	Pinus nigra	GOOD	Remain
223	E	6.4	American Elm	Ulmus americana	POOR	Remain
224	AL	12	American Pine	Pinus nigra	GOOD	To be removed
225	AL	10	American Pine	Pinus nigra	GOOD	To be removed
226	HL	8	Honeylocust	Gleditsia triacanthos	GOOD	To be removed
227	HL	6	Honeylocust	Gleditsia triacanthos	GOOD	To be removed
228	HL	8	Honeylocust	Gleditsia triacanthos	GOOD	To be removed
229	HL	9	Honeylocust	Gleditsia triacanthos	GOOD	To be removed
230	HL	10	Honeylocust	Gleditsia triacanthos	GOOD	To be removed
1786	BP	8	Balsam Poplar	Populus balsamifera	GOOD	To be removed
1787	BP	8	Balsam Poplar	Populus balsamifera	GOOD	To be removed
1788	BP	8	Balsam Poplar	Populus balsamifera	GOOD	To be removed
1789	BP	8	Balsam Poplar	Populus balsamifera	GOOD	To be removed
1790	BP	8	Balsam Poplar	Populus balsamifera	GOOD	To be removed
1791	HL	9	Honeylocust	Gleditsia triacanthos	GOOD	To be removed
1792	HL	9	Honeylocust	Gleditsia triacanthos	GOOD	To be removed
1793	HL	12	Honeylocust	Gleditsia triacanthos	GOOD	To be removed

CITY OF ROCHESTER HILLS NOTES:
IMPORTANT:
ALL TREES ON ADJACENT PROPERTIES MUST BE PROTECTED. THE TREE PROTECTIVE FENCING MAY BE PLACED ALONG THE ACTUAL PROPERTY LINE IF THE BRANCHES OF THE TREES ON THE ADJACENT PROPERTIES DO NOT OVERHANG ONTO THE SITE BEING DEVELOPED. IF THE BRANCHES OVERHANG ONTO THE AREA OF THE SITE BEING DEVELOPED, THE TREE PROTECTIVE FENCING MUST BE PLACED AT THE ACTUAL Drip LINE OF THESE TREES. IT SHOULD ALSO BE NOTED THAT THE SILT FENCING MUST BE PLACED ON THE DEVELOPMENT SIDE OF THE TREE PROTECTIVE FENCING. THE SILT FENCING MAY NOT BE PLACED BETWEEN THE TREE BEING PRESERVED AND THE TREE PROTECTIVE FENCING. IF ANY REGULATED TREES ARE MANAGED ON THE ADJACENT PROPERTIES, THE DAMAGED TREES WILL BE EITHER REPLACED ON THE OWNER'S PROPERTY ON AN INCH FOR INCH BASIS OR A FINE IN THE SUM OF \$122.00 PER CALIPER INCH WILL BE ISSUED AGAINST THE DEVELOPMENT. THIS FINE WILL BE DUE PRIOR TO BUILDING PERMITS BEING ISSUED. IF YOU HAVE ANY QUESTIONS OR NEED ADDITIONAL INFORMATION, CALL THE CITY'S PLANNING DEPARTMENT AT 248-656-4660.

- TREE PROTECTION NOTES:**
- The tree protection fencing (TPF) shall be erected per the plans approved by the City of Rochester Hills Planning Department. The TPF must be in place and be inspected by the City of Rochester Hills' Planning Staff prior to the start of any earthwork or construction operations. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule a TPF inspection. The TPF shall remain in place throughout the entire construction process or until the City authorizes the removal or issues a final Certificate of Occupancy, whichever occurs first.
 - Upon completion of grading and the installation of the infrastructure, a second inspection of the TPF and the trees designated for preservation is required by the City of Rochester Hills' Forester prior to the start of any additional construction. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule this TPF inspection.
 - A final inspection by the City of Rochester Hills Planning Staff is required at the end of the warranty and maintenance period. The Landscape Maintenance Bond will not be released until this inspection is complete and all related issues are resolved. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule this inspection.
 - The Tree Conservation Ordinance prohibits any construction or development activities within the drip line of any regulated trees not approved for removal, including, but not limited to, land clearing, grubbing, trenching, grading or filling; no person shall place any solvents, building material, construction equipment, soil deposits or harmful materials within the drip line limit of trees designated for preservation.
 - Proposed grades are to match the existing elevations outside the limits of the TPF. No grading either cut or fill is permitted within the drip line of any tree designated for preservation.
 - During the construction process no person shall attach any device or wire/cable/rope to an existing tree designated to be preserved.
 - All utility service requests must include notification to the installer that protected trees must be avoided. All trenching shall occur outside the TPF.
 - Swales shall be routed to avoid the area within the drip line of the only tree designated for preservation. Swales shall be constructed so as to not direct any additional flow into the drip line of a tree designated for preservation.
 - If tree protection cannot be maintained for a tree throughout entire period required, the replacement of that tree will be required on an inch for inch basis prior to the issuance of any Certificate of Occupancy.
 - Regulated trees located off-site on adjacent properties that may be affected by construction operations must be protected defined herein.
 - The TPF shall consist of four-foot high orange snow fencing to be installed around the drip line of all trees designated to be saved. This fencing shall be supported by six-foot metal T-bar posts five-feet on center and driven a minimum of 24" into the ground. The TPF fencing shall remain upright and securely in place for the required time as specified above.
 - Prior to the release of the Performance Bond, the City of Rochester Hills Forestry Division needs to inspect all trees existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developer to remove and possibly replace any such trees.



CAUTION!
THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION SHOWN ON THIS PLAN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

ROCHESTER AUBURN ASSOC.
6750 OAKHILLS DRIVE
BLOOMFIELD HILLS, MI 48301
TREE PRESERVATION PLAN
ROCHESTER RETAIL
PART OF THE 1/4 OF SECTION 34, T. 33N., R. 1E,
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

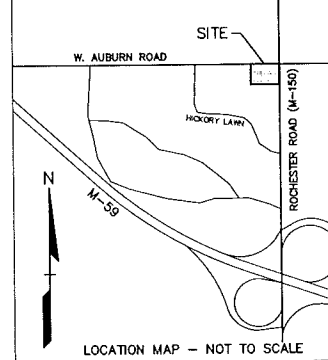
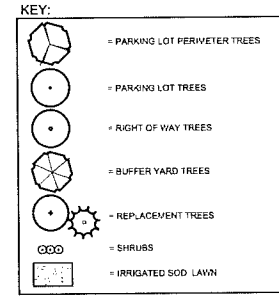
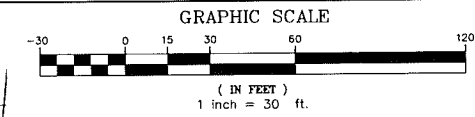
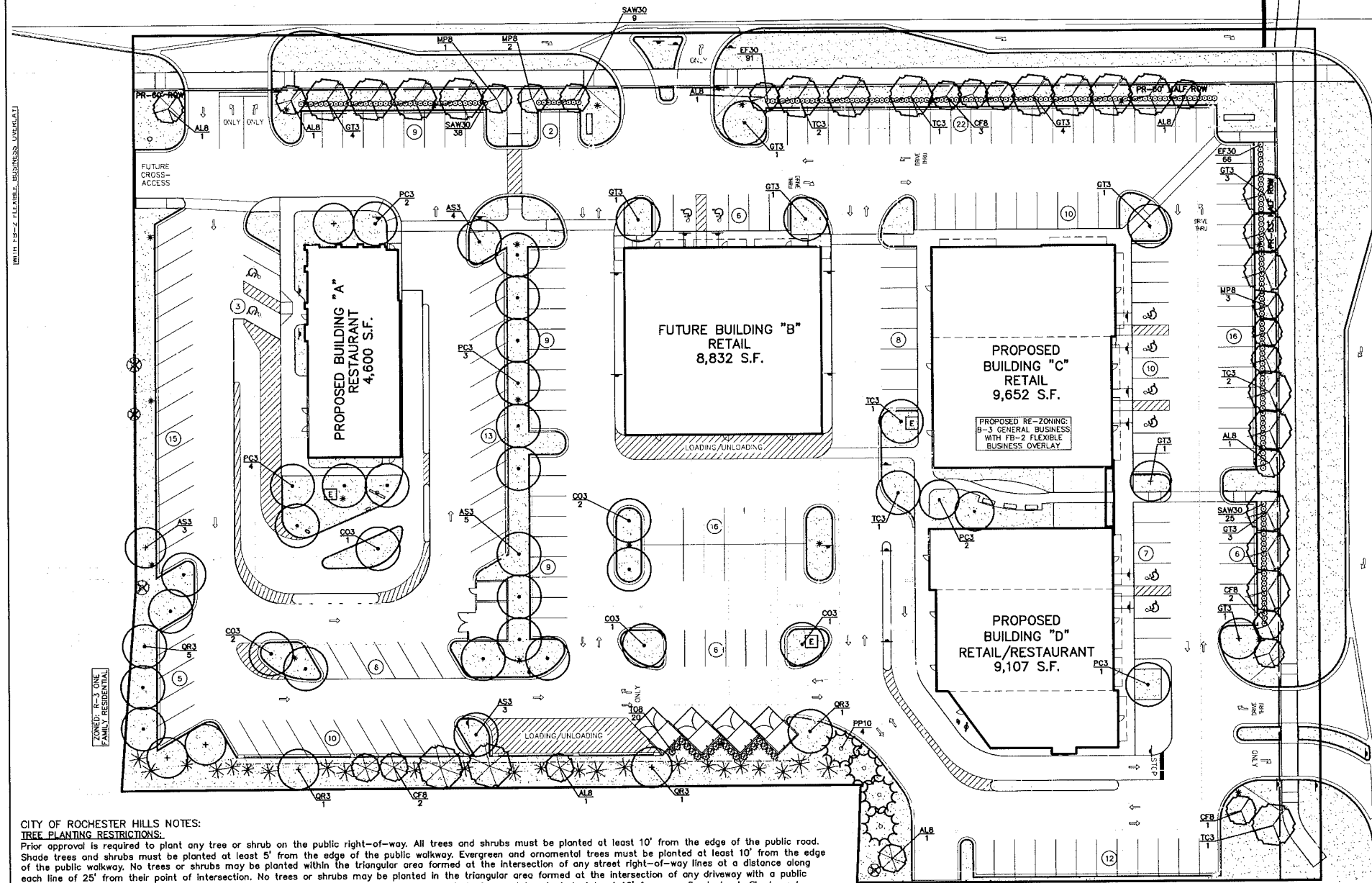
ORIGINAL
ISSUE DATE: MARCH 20, 2013
PEA JOB NO. 2012-074
SCALE: 1" = 30'
DRAWING NUMBER:
TREE-1

PRELIMINARY
NOT FOR CONSTRUCTION
CITY FILE #12-010

REF: L:\2012\2012\12074\2012074_SUBAREA_OVERALL.dwg
REF: L:\2012\2012\12074\2012074_BASE-12074.dwg
REF: L:\2012\2012\12074\2012074_BASE-12074.dwg

TH 1/4
NER OF
TON 34,
N. R. 11E,
N. TWP., M
1992, P. 089

W. AUBURN ROAD
(66' WIDE - PUBLIC)



LANDSCAPE CALCULATIONS:
PER CITY OF ROCHESTER HILLS ZONING ORDINANCE

INTERIOR PARKING LOT LANDSCAPE
REQUIRED: 5% OF VEHICAL USE AREA & 1 TREE / 150 SF
120,757 SQ FT + 5% = 6,038 SQ FT
6,038 SF / 150 SF = 40 TREES
PROVIDED: 8,105 SQ FT OF LANDSCAPE AREA & 40 TREES

PERIMETER PARKING LOT LANDSCAPE
REQUIRED: 1 DEC TREE / 25 LF
1 ORN TREE / 35 LF
CONTINUOUS SHRUB HEDGE AROUND PARKING LOT ADJACENT TO STREET
W. AUBURN ROAD: 333 LF / 25 = 13 DEC TREES
333 LF / 35 = 10 ORN TREES
ROCHESTER ROAD: 240.5 LF / 25 = 10 DEC TREES
240.5 LF / 35 = 7 ORN TREES
PROVIDED: W. AUBURN ROAD: 11 DEC & 10 ORN TREES PROPOSED
ROCHESTER ROAD: 8 DEC & 7 ORN TREES PROPOSED
(DUE TO UTILITY CONFLICTS)
CONTINUOUS SHRUB HEDGE

RIGHT OF WAY LANDSCAPING
REQUIRED: 1 DEC TREE / 35 LF OF RIGHT OF WAY
1 ORN TREE / 35 LF OF RIGHT OF WAY
W. AUBURN ROAD: 559 LF / 35 LF = 16 DEC & 16 ORN TREES
ROCHESTER ROAD: 391 LF / 35 LF = 11 DEC & 11 ORN TREES
PROVIDED: W. AUBURN ROAD: 0 DEC TREES & 0 ORN TREES
(DUE TO DECELERATION LANES & 5' OFFSET REQ.)
ROCHESTER ROAD: 0 DEC TREES & 0 ORN TREES
(DUE TO UTILITY CONFLICTS)

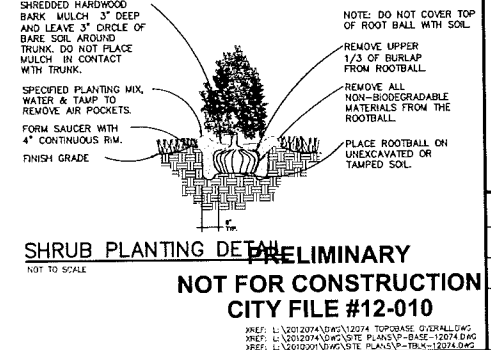
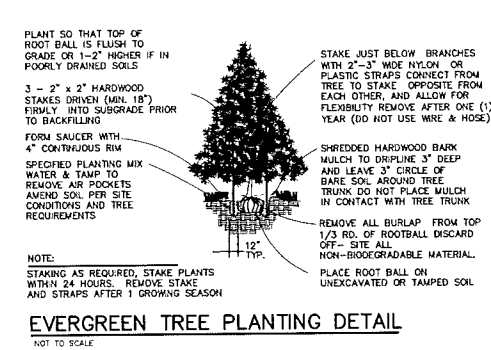
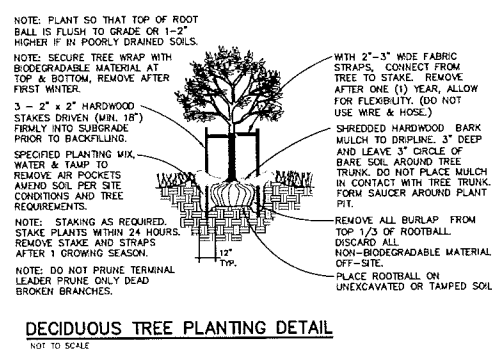
BUFFER YARD LANDSCAPING
REQUIRED: 2 DEC TREES / 100 LF
1.5 ORN TREES / 100 LF
2 EVG TREES / 100 LF
4 SHRUBS / 100 LF
509 LF / 100 LF = 10 DEC TREES,
8 ORN TREES, 10 EVG TREES & 20 SHRUBS
PROVIDED: 2 DEC & 24 EVG TO REMAIN, 4 ORN PROPOSED
& 20 SHRUBS

TREE REPLACEMENT
REQUIRED: 15 DEC TREES TO BE REMOVED & REPLACED BY 3" CAL TREES = 8-3" CAL REPLACEMENT TREES
7 EVG TREES TO BE REMOVED & REPLACED BY 10' HT. TREES = 4 EVG REPLACEMENT TREES
PROVIDED: 8-3" CAL DEC TREES & 4-10' HT EVG TREES

CITY OF ROCHESTER HILLS NOTES:
TREE PLANTING RESTRICTIONS:
Prior approval is required to plant any tree or shrub on the public right-of-way. All trees and shrubs must be planted at least 10' from the edge of the public road. Shade trees and shrubs must be planted at least 5' from the edge of the public walkway. Evergreen and ornamental trees must be planted at least 10' from the edge of the public walkway. No trees or shrubs may be planted within the triangular area formed at the intersection of any street right-of-way lines at a distance along each line of 25' from their point of intersection. No trees or shrubs may be planted in the triangular area formed at the intersection of any driveway with a public walkway at a distance along each line of 15' from their point of intersection. All trees and shrubs must be planted at least 10' from any fire hydrant. Shade and evergreen trees must be at least 15' away from the nearest overhead wire. Trees must be planted a minimum of 5' from an underground utility, unless the city's Landscape Architect requires a greater distance.

CLOSING COMMENT:
Prior to the release of the performance bond, the City of Rochester Hills Forestry Division needs to inspect all trees, existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developer to remove, and possibly replace, any such trees.

- GENERAL PLANTING NOTES:**
- Landscape contractor shall visit site, inspect existing site conditions and review proposed planting and related work. In case of discrepancy between plan and plant list, plan shall govern quantities. Contact Landscape Architect with any concerns.
 - Contractor shall verify locations of all on site utilities prior to beginning construction on his/her phase of work. Electric, gas, telephone, cable television may be located by calling MISS DIG 1-800-482-7171. Any damage or interruption of services shall be the responsibility of Contractor. Contractor shall coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to Owner's Representative prior to commencing.
 - All plant material to be premium grade nursery stock and shall satisfy American Association of Nurserymen standard for Nursery Stock. All landscape material shall be Northern Grown, No. 1. Grade.
 - Contractor is responsible for verifying all quantities shown on landscape plan prior to pricing the work.
 - The owner's representative reserves the right to reject any plant material not meeting specifications.
 - All single stem shade trees to have straight trunks and symmetrical crowns.
 - All single trunk shade trees to have a central leader; trees with forked or irregular trunks will not be accepted.
 - All multi stem trees shall be heavily branched and have symmetrical crowns. One sided trees or those with thin or open crowns shall not be accepted.
 - All evergreen trees shall be heavily branched and full to the ground, symmetrical in shape and not sheared for the last five growing seasons.
 - All trees to have clay or clay loam balls, trees with sand balls will be rejected.
 - No machinery is to be used within the drip line of existing trees; Hand grade oil lawn areas within the drip line of existing trees.
 - All tree locations shall be staked by Landscape Contractor and are subject to the approval of the landscape Architect prior to installation of the plant material.
 - It is mandatory that positive drainage is provided away from all buildings.
 - All planting beds shall receive 4" shredded hardwood bark mulch, see specifications. Shredded palette and died mulch will not be accepted.
 - All landscaped areas shall receive 3" compacted topsoil.
 - Maintenance: All plant material shall be maintained in good condition by mowing, watering, mulch, etc., so as to present a healthy neat and orderly appearance free from refuse and debris.



TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
7	ALB	Serviceberry	<i>Amelanchier laevis</i>	8" HL	B&B
15	AS3	Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	3" Cal.	B&B
8	CF8	Pink Dogwood	<i>Cornus florida var. 'Rubra'</i>	8" HL	B&B
7	CO3	Common Hackberry	<i>Celtis occidentalis</i>	3" Cal.	B&B
20	GT3	Skyline Honeylocust	<i>Gleditsia triacanthos 'Skyline'</i>	3" Cal.	B&B
6	MP8	Prairie Fire Crab	<i>Malus 'Prairie Fire'</i>	8" HL	B&B
12	PC3	Cleveland Select Pear	<i>Pyrus calleryana 'Cleveland Select'</i>	3" Cal.	B&B
4	PP10	Colorado Spruce	<i>Picea pungens</i>	10" HL	B&B
8	QR3	Red Oak	<i>Quercus rubra</i>	3" Cal.	B&B
8	TC3	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	3" Cal.	B&B

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
157	EF30	Green Lane Euonymus	<i>Euonymus fortunei 'Green Lane'</i>	30" HL	Cont.
72	SAV30	Anthony Waterer Spirea	<i>Spiraea x bum. 'Anthony Waterer'</i>	30" HL	Cont.
20	T08	Mission Arborvitae	<i>Thuja occidentalis 'Techny'</i>	8" HL	Cont.

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	03/20/20	JPB	ISSUED FOR PERMITS
2	03/20/20	JPB	REVISED PER CITY REVIEW
3	03/20/20	JPB	REVISED PER CITY REVIEW

STATE OF MICHIGAN
JEFFREY T. SMITH
LANDSCAPE ARCHITECT
1992

CAUTION!!
THE LOCATION AND ELEVATION OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE SUBJECT TO THE CONDITION THAT THE USER SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES PRIOR TO CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES PRIOR TO CONSTRUCTION.

3 FULL WORKING DAYS BEFORE YOU DIG CALL 811
Know what's below
Call before you dig
MISS DIG System, Inc.
1-800-482-7171 www.missdig.net

PROFESSIONAL ENGINEERING ASSOCIATES
2430 Rochester Ct. Suite 100
Troy, MI 48063-1872
Phone: (248) 688-9090
Fax: (248) 688-1044
website: www.peainc.com

ROCHESTER AUBURN ASSOC.
6750 ORCHILLS DRIVE
BLOOMFIELD HILLS, MI 48301

PRELIMINARY LANDSCAPE PLAN
ROCHESTER RETAIL
PART OF THE NE 1/4 OF SECTION 34, T. 3N., R. 11E,
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. RLS. JPB
CHK. RLS. KTR
APP. RLS. JPB

ORIGINAL
ISSUE DATE: MARCH 20, 2013
PEA JOB NO. 2012-074
SCALE: 1" = 30'
DRAWING NUMBER:
L-1

SHRUB PLANTING DETAIL
NOT TO SCALE

NOT FOR CONSTRUCTION
CITY FILE #12-010

REF: L:\2012\074\02\12074_T03BASE_02\DRAWING_SHEET_L\2012074\02\SITE PLANS\PEA-BASE-12074.DWG
REF: L:\2012\074\02\12074_T03BASE_02\DRAWING_SHEET_L\2012074\02\SITE PLANS\PEA-BASE-12074.DWG

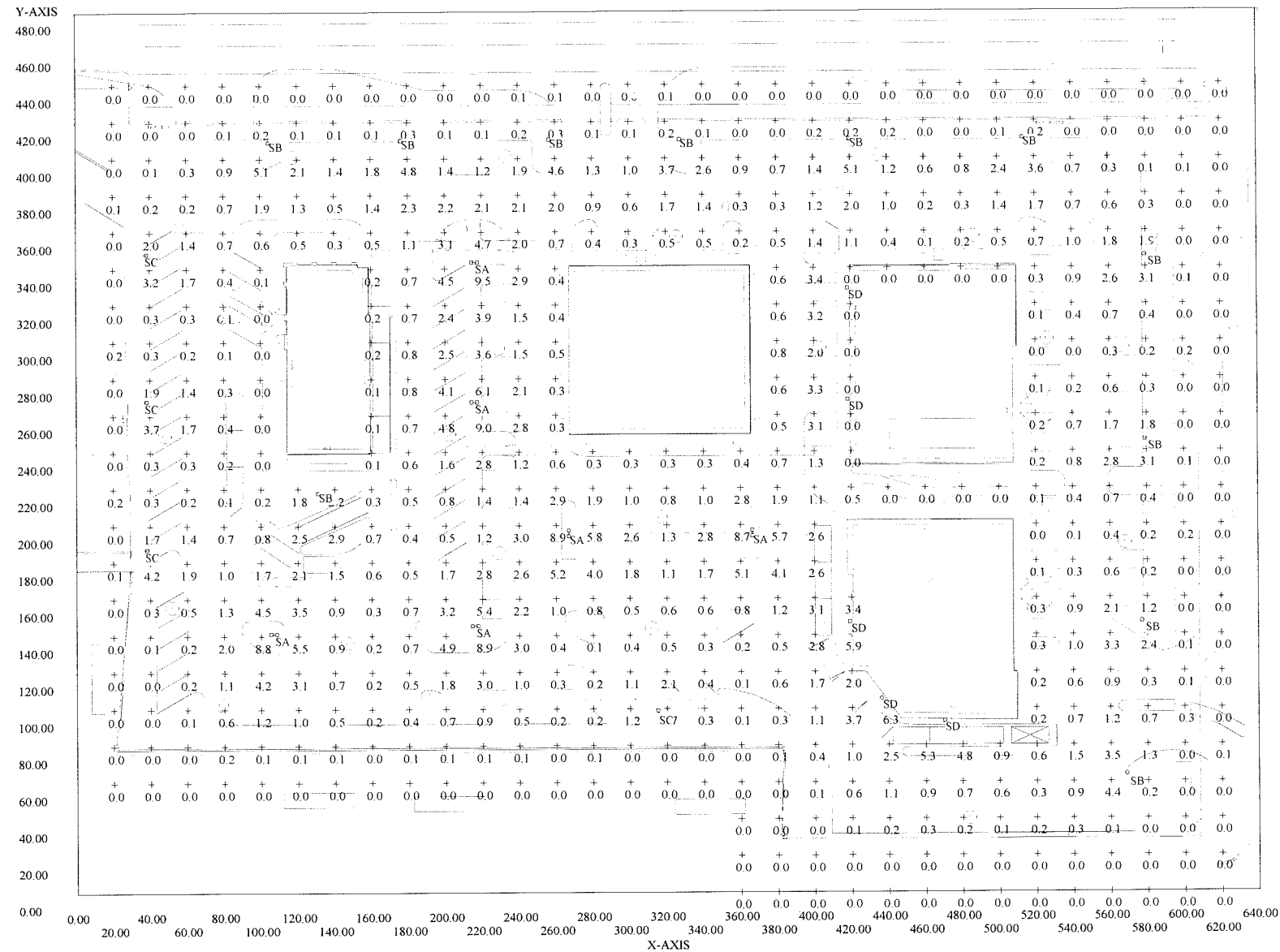
PROJECT: Rochester Rd and Auburn Rd/10417 GROUP: Group A AREA: Area 1 GRID: New Grid
 PREPARED BY: The Lighting Group - Mark Williams
 VALUES ARE FC, SCALE: 1 IN=45.0 FT, HORZ GRID (U), HORZ CALC. Z= 0.0

Computed in accordance with IES recommendations
 Statistics

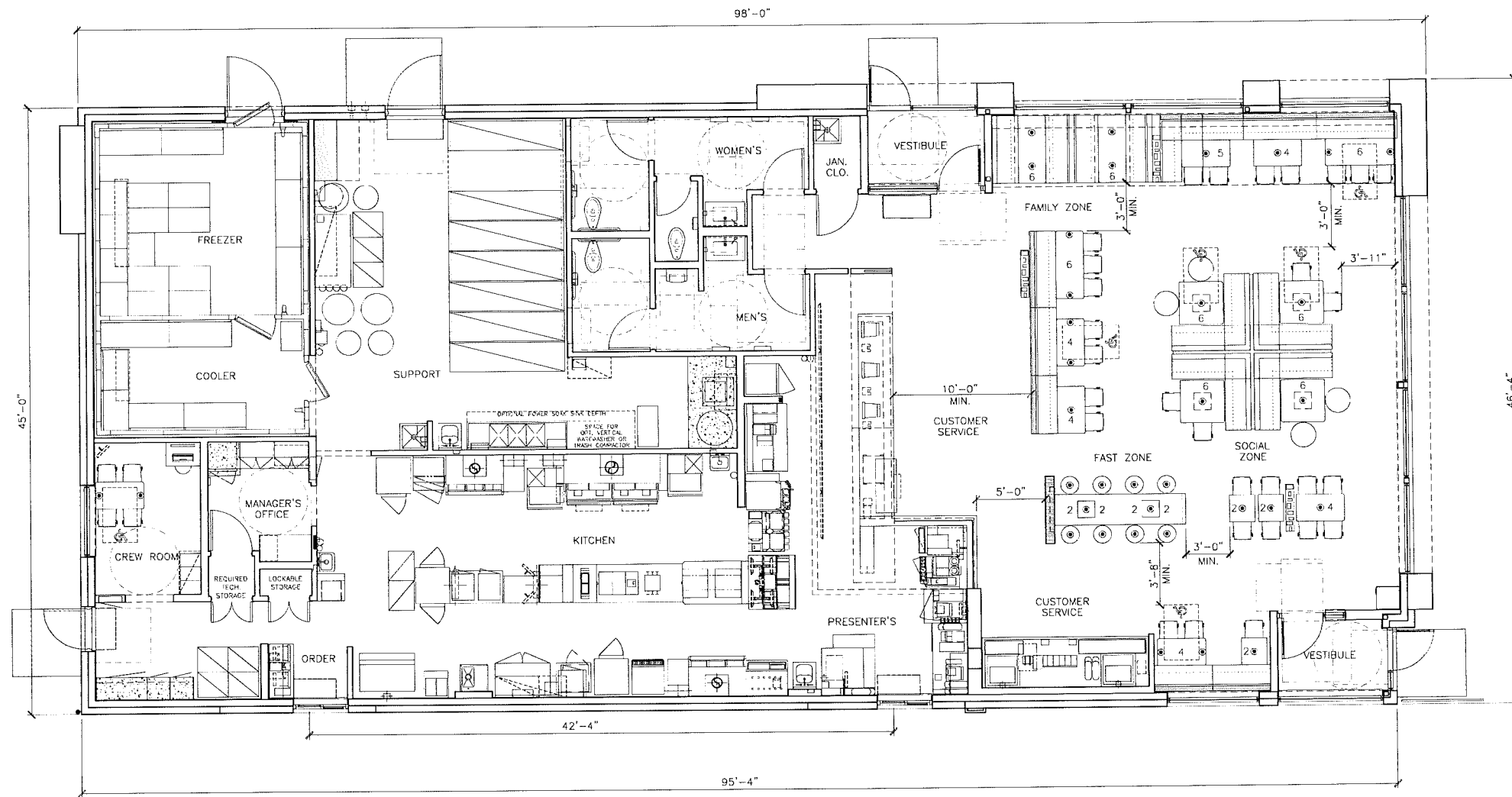
GROUP	MIN	MAX	AVE	AVE/MIN	MAX/MIN
(+)	0.0	9.5	1.0	N/A	N/A

Luminaires Used

TYPE	QTY	TEST#	DESCRIPTION
SA	6		2-PTHS-5-250PSM, 4SQB5-S11G-17.5, 30" Conc Base (2) A <PTHS-5-250-PSMH-F>, LLF= 0.70;
SB	11		1-PTHS-FT-250PS, 4SQB5-S11G-17.5, 30" Conc. Base (1) B <PTHS-FT-250-PSMH-F-HSS>, LLF= 0.70;
SC	4		1-PTHS-FT-175PS, 4SQB5-S11G-12.5, 30" Conc. base (1) C <PTHS-FT-175-PSMH-F-HSS>, LLF= 0.70;
SD	5		CHWM-FT-250PSM, Wall mounted, 18' above grade (1) D <CHWM FT 250 MHR MT F>, LLF= 0.70;



\\MCDOWR\PROJ\2013\STANDARD BUILDINGS - 4TH QUARTER RELEASE\45 97 - WW (FULLY)-REFERENCE PLANS.DWG 10-08-2012 14:33



1 FLOOR PLAN
R1.3 1/4" = 1'-0"

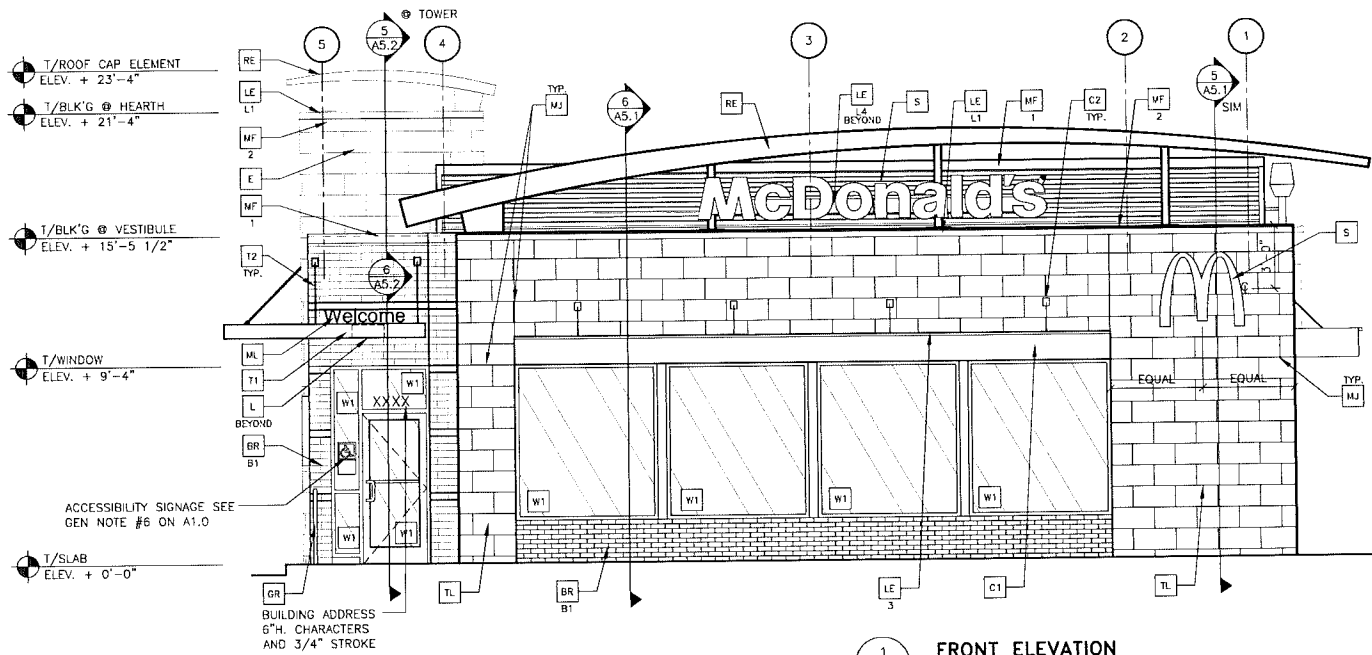
4597- WW PLAN

4,387 GROSS SQ. FT. / 4,055 NET SQ. FT.

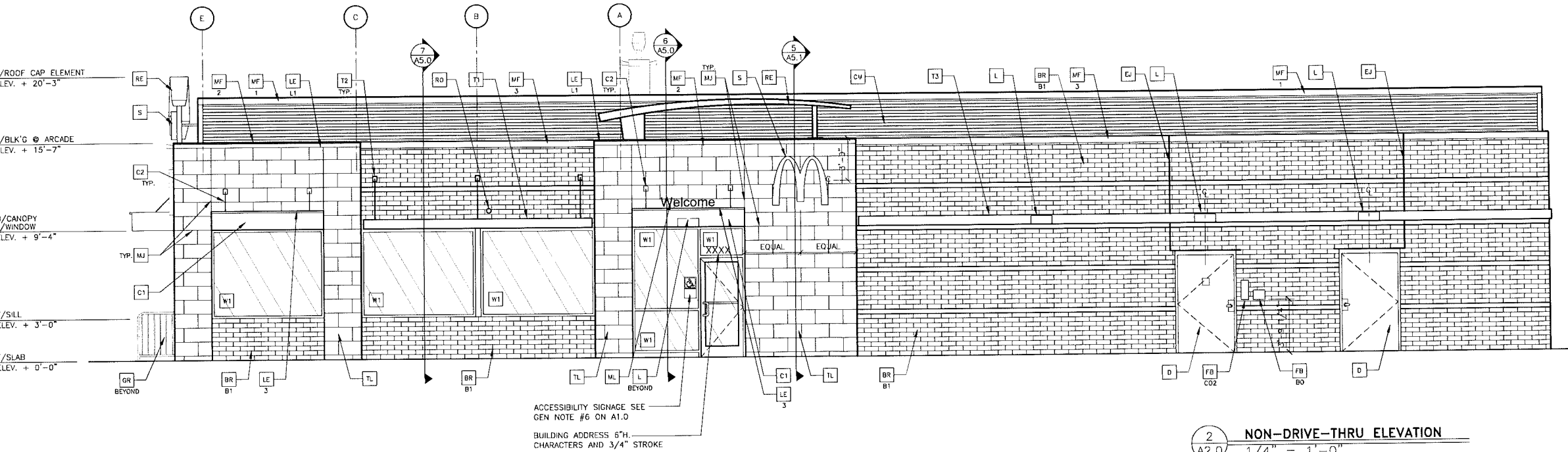
87 SEATS (5 ACCESSIBLE SEATS)

THIS DRAWING IS
FOR REFERENCE ONLY
NOT FOR CONSTRUCTION
SEATING LAYOUT IS SCHEMATIC, THE FINAL
SEATING LAYOUT TO BE PROVIDED BY OTHERS.

DRAWN BY	PREPARED FOR	DATE	REVISED BY	DATE	REVISED BY	DATE	DESCRIPTION
	McDonald's USA, LLC	2013.01					
TITLE		PROJECT NO.		SHEET NO.		DATE	
2013 STANDARD BUILDING		4597- WOOD/WOOD		R1.3		SEATING PLAN	
WOOD BIRKING WALLS W/7" BRICK EXTERIOR FINISH		WOOD ROOF TRUSS FRAMING		E.J.E.S. EXTERIOR FINISH ARCH/ENTRY		SITE ADDRESS	



1 FRONT ELEVATION
A2.0 1/4" = 1'-0"



2 NON-DRIVE-THRU ELEVATION
A2.0 1/4" = 1'-0"

- T/ROOF CAP ELEMENT
ELEV. + 20'-3"
- T/BLK'G @ PARAPET
ELEV. + 18'-9 1/2"
- T/BLK'G @ ARCADE
ELEV. + 15'-7"
- T/WINDOW & B/CANOPY
ELEV. + 9'-4"
- T/SILL
ELEV. + 3'-0"
- T/SLAB
ELEV. + 0'-0"

- T/BLK'G @ PARAPET
ELEV. + 18'-9 1/2"
- T/BLOCKING
ELEV. + 15'-7"
- B/BRICK
ELEV. + 12'-0"
- B/TRELLIS & T/BRICK
ELEV. + 9'-4"
- B/BRICK
ELEV. + 6'-0"
- B/BRICK
ELEV. + 3'-0"
- T/SLAB
ELEV. + 0'-0"

KEY NOTES:

- BR BRASS METAL
COLOR = CITSYSCAPE BY METAL-ERA
- C1 ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2 ALUMINUM CANOPY TIE-BACK SYSTEM
- C3 4"x4"x16" CONCRETE BRICK, TYPE- BELLA BRICK
CONTACT: CONSUMERS CONCRETE PRODUCTS
(616-243-3551)
COLOR:
B1 = OLYMPIA BLEND TEXTURE, SMOOTH FACE
B2 = MIDLAND, SMOOTH FACE
- C4 CONTROL JOINT, SEE DETAIL 7/A4.1.
- CM CORRUGATED METAL PANEL. COLOR = CITSYSCAPE BY METAL-ERA
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.09)
- BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- CONFIRM USE WITH MCD PROJECT MANAGER
- GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
- L LIGHT FIXTURE (WALL SCOURCE) - SEE ELECTRICAL
- LE ACENT LIGHTING - SEE ELECTRICAL
- LI - LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = UP ONLY FIXTURE
- ML METAL LETTERING - BY OTHERS

- MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/A5.0
1 - TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
3 = PRE-FAB MASONRY CAP FASCIA
- MJ MOVEMENT JOINT
SCHLUTER DILEX PRODUCT # BAB100HB
- PB PIPE BOLLARD - PAINTED YELLOW
(RMHC) COIN COLLECTOR
UNIT #MPT DT2000 CHU
CALL 1-888-743-7435 TO ORDER
- RE ROOF CAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.

- SS STAINLESS STEEL PRODUCT #
- C = CONNER STRIP RONDEC R0100SP
E = (EDGE STRIP) A100SP
- T1 ALUMINUM TRELLIS SYSTEM
- T2 TRELLIS TIE-BACK SYSTEM
- T3 ALUMINUM TRELLIS 2' x 8' WALL FASCIA SYSTEM
- REFER TO SIM DETAIL 3 ON SHEET A5.1
- TL TILE: BRUSH STROKE SERIES BY EUROWEST
COLOR: OYSTER
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
- SEE ASSEMBLY NOTES
- W2 DRIVE-THRU WINDOW BY READY ACCESS 600
SERIES, 36" SERVICE HEIGHT WITH TRANSOM -
MANUAL OPEN, ELECTRONIC RELEASE
- XX SLIDE DIRECTION:
RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

EUROWEST TILE

EUROWEST CONTACT: JAN DETER, (714) 937-7500
EUROWEST TILE: OYSTER BRUSHSTROKE 12"x24"x3/8" PORCELAIN
BRUSHED HONED FINISH
LAYOUT PATTERN: 33% MAX.
WATERPROOFING, SETTING MATERIAL AND GROUT: BY MAPEI
GROUT COLOR: 30 AVALANCHE
GROUT WIDTH: 1/8" TO 3/16"
INITIAL CLEANING: DETERDEK
*** POST INSTALLATION CLEANER IS REQUIRED ON ALL TILE APPLICATIONS. VERIFY CLEANING SOLUTION PRODUCT AND INSTRUCTIONS WITH MANUFACTURER.***
ADDITIONAL MATERIALS
BY SCHLUTER/SCHLUTER SYSTEMS L.P.

OUTSIDE CORNERS
COLOR: FOR OYSTER TILE - SAND PEBBLE RONDEC R0100SP (COLOR COATED ALUMINUM)

MOVEMENT JOINTS:
COLOR: FOR OYSTER TILE - SAND PEBBLE DILEX BAB100SP

END OF TILE FIELD ABOVE ROOF AT HEARTH:
COLOR: FOR OYSTER TILE - SAND PEBBLE RONDEC R0100SP (COLOR COATED ALUMINUM)

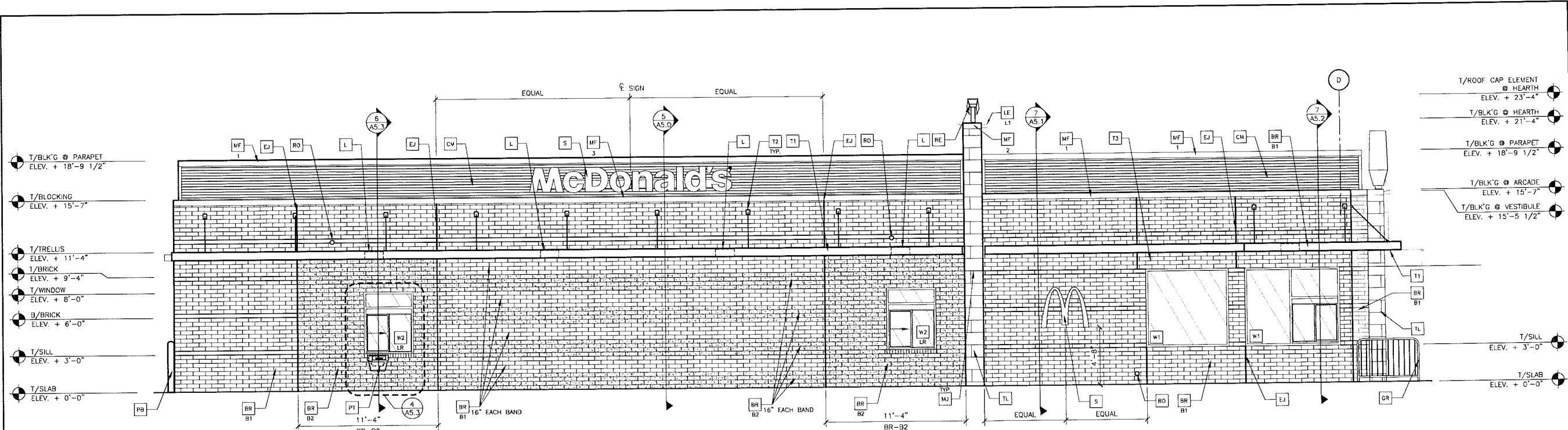
SCHLUTER SYSTEMS L.P. CONTACT: EARL MACUS, (518) 324-3410

TILE GENERAL NOTES:

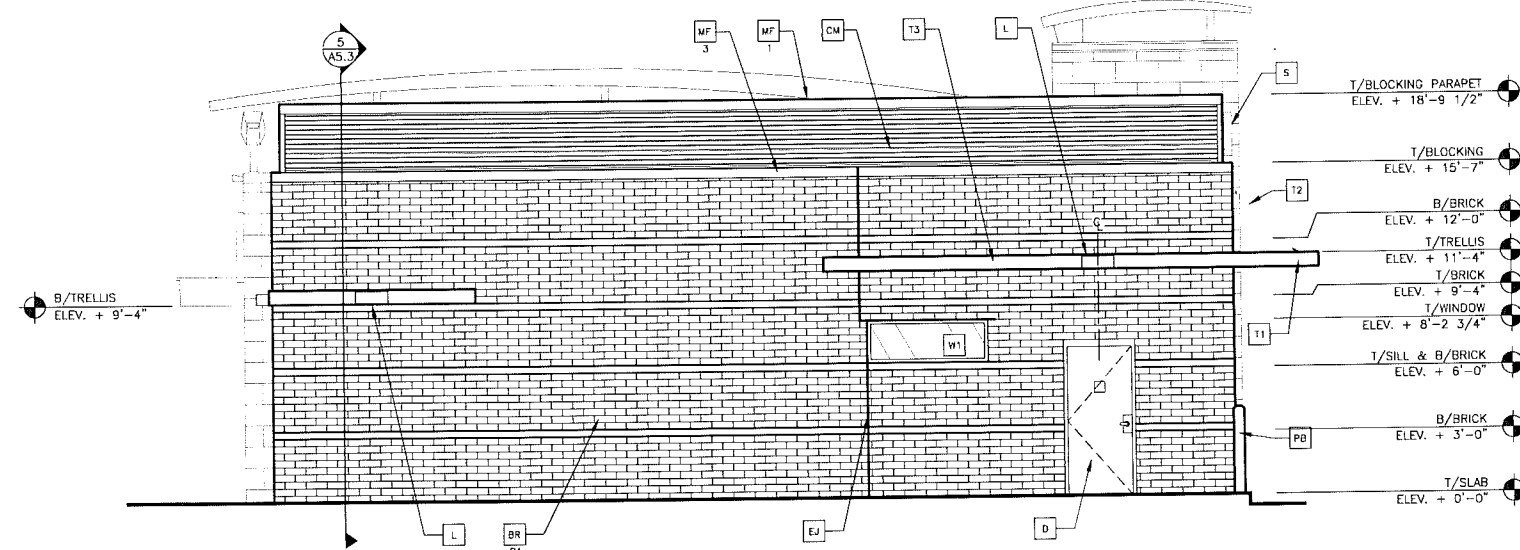
- REFERENCE 2011 TCNA HANDBOOK - E3171 MOVEMENT JOINT GUIDELINES
- 1. LOCATION AND FREQUENCY OF JOINTS
EXTERIOR: 8' TO 12' FEET IN EACH DIRECTION, OR AS INDICATED ON ELEVATIONS.
- 2. JOINT WIDTH
EXTERIOR: MINIMUM 3/8" FOR JOINTS 8' ON CENTER, MINIMUM 1/2" FOR JOINTS 12' ON CENTER.
- 3. PERIMETER JOINTS - MOVEMENT JOINTS ARE REQUIRED WHERE TILE WORK ADJUTS RESTRAINING SURFACES SUCH AS PERIMETER WALLS, AND GRADE. FLEXIBLE SEALANT AND COMPRESSIBLE BACK-UP WHEN REQUIRED OR BOND BREAKER TAPE.
JOINT MATERIAL: URETHANE
COLOR: TO MATCH TILE AND GROUT COLOR
- 4. TIE-BACK AND SIGNAGE ATTACHMENT - PRE-DRILL TILE AND SLEEVE AND SEAL ALL ATTACHMENT POINTS.

PREPARED BY: URS Corporation Great Lakes 3890 Sparks Drive, SE Grand Rapids, MI 49546 973.812.8972 FAX 973.812.0984 http://www.urscorp.com	DOWN BY DATE 2013_01	DATE ISSUED 02 18 2013	DATE 2013_01
	TITLE 2013 STANDARD BUILDING 4597-WOOD/WOOD	DESCRIPTION WOOD BRACING WALLS W/4" BRICK EXTERIOR FINISH WOOD KNOCK TRUSS ROOFING EUROWEST OYSTER TILE EXTERIOR FINISH ARCADE/ENTRY	SHEET NO. 021-0308.00.0
DESCRIPTION T/ROOF CAP ELEMENT ELEV. + 20'-3" T/BLK'G @ PARAPET ELEV. + 18'-9 1/2" T/BLK'G @ ARCADE ELEV. + 15'-7" T/WINDOW & B/CANOPY ELEV. + 9'-4" T/SILL ELEV. + 2'-0" T/SLAB ELEV. + 0'-0" T/BLK'G @ PARAPET ELEV. + 18'-9 1/2" T/BLOCKING ELEV. + 15'-7" B/BRICK ELEV. + 12'-0" B/TRELLIS & T/BRICK ELEV. + 9'-4" B/BRICK ELEV. + 6'-0" B/BRICK ELEV. + 3'-0" T/SLAB ELEV. + 0'-0" T/BLK'G @ PARAPET ELEV. + 18'-9 1/2" T/BLOCKING ELEV. + 15'-7" B/BRICK ELEV. + 12'-0" B/TRELLIS & T/BRICK ELEV. + 9'-4" B/BRICK ELEV. + 6'-0" B/BRICK ELEV. + 3'-0" T/SLAB ELEV. + 0'-0" T/BLK'G @ PARAPET ELEV. + 18'-9 1/2" T/BLOCKING ELEV. + 15'-7" B/BRICK ELEV. + 12'-0" B/TRELLIS & T/BRICK ELEV. + 9'-4" B/BRICK ELEV. + 6'-0" B/BRICK ELEV. + 3'-0" T/SLAB ELEV. + 0'-0"	REV. DATE	DESCRIPTION	BY

K:\STD\STANDARD\PRELIM\2011\STANDARD BUILDINGS - APRIL 2012 RELEASE\4587 WW-FULL SET\DWG\A-ELEV.DWG 04-26-2012 14:40



1 DRIVE THRU ELEVATION
A2.1 1/4" = 1'-0"



2 REAR ELEVATION
A2.1 1/4" = 1'-0"

KEY NOTES:

- BM BRAKE METAL
COLOR = CITYSCAPE BY METAL-ERA
- C1 ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2 ALUMINUM CANOPY TIE-BACK SYSTEM
- CB 4"x4"x16" CONCRETE BRICK, TYPE- BELLA BRICK
CONTACT: CONSUMERS CONCRETE PRODUCTS
(616-243-3651)
COLOR:
B1 = OLYMPIA BLEND TEXTURE, SMOOTH FACE
B2 = MIDLAND, SMOOTH FACE
- CJ CONTROL JOINT, SEE DETAIL 7/44.1.
- CW CORRUGATED METAL PANEL, COLOR = CITYSCAPE BY METAL-ERA
OVER SMOOTH FACE CONCRETE BLOCK - SEE 1B/AS.0
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
- BD = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- CONFIRM USE WITH MCD PROJECT MANAGER
- GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- LE ACCENT LIGHTING - SEE ELECTRICAL
- LT-LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = UP ONLY FIXTURE
- ML METAL LETTERING - BY OTHERS

- MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/AS.0
1-TYPE:
1 = PRE-FAB ANCHOR-TIE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
3 = PRE-FAB MASONRY CAP FASCIA
- MJ MOVEMENT JOINT
SCHLUTER DILEX PRODUCT # BWB100HB
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
UNIT #HPT DT2000 CMAJ
CALL 1-888-743-7435 TO ORDER
- RE ROOF CAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- SS STAINLESS STEEL PRODUCT #
C = (CONNER STRIP) RONDEC R0100SP
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- T1 ALUMINUM TRELLIS SYSTEM
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- T3 ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM - REFER TO SIM. DETAIL 3 ON SHEET AS.1
- TL TILE: BRUSH STROKE SERIES BY EUROWEST
COLOR: OYSTER
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS - SEE ASSEMBLY NOTES
- W2 DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM - MANUAL OPEN, ELECTRONIC RELEASE
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

- EUROWEST TILE
EUROWEST CONTACT: JAN DETER, (714) 937-7500
COLOR: FOR OYSTER TILE - SAND PEBBLE RONDEC R0100SP (COLOR COATED ALUMINUM)
- EUROWEST TILE: OYSTER BRUSHSTROKE 12"x24"x3/8" PORCELAIN BRUSHED HONED FINISH
LAYOUT PATTERN: 33X MAX.
WATERPROOFING, SETTING MATERIAL AND GROUT: BY MAPEI
GROUT COLOR: 38 ANAQUICHE
GROUT WIDTH: 1/8" TO 3/16"
- INITIAL CLEANING: DETERDEX
*** POST INSTALLATION CLEANER IS REQUIRED ON ALL TILE APPLICATIONS. VERIFY CLEANING SOLUTION PRODUCT AND INSTRUCTIONS WITH MANUFACTURER.***
- ADDITIONAL MATERIALS BY SCHLUTER SYSTEMS L.P.
- OUTSIDE CORNERS
COLOR: FOR OYSTER TILE - SAND PEBBLE RONDEC R0100SP (COLOR COATED ALUMINUM)
- MOVEMENT JOINTS:
COLOR: FOR OYSTER TILE - SAND PEBBLE DILEX BWB100SP
- END OF TILE FIELD ABOVE ROOF AT HEARTH
COLOR: FOR OYSTER TILE - SAND PEBBLE RONDEC R0100SP (COLOR COATED ALUMINUM)
- SCHLUTER SYSTEMS L.P. CONTACT: EARL MAJUS, (518) 324-3410

- TILE GENERAL NOTES:
REFERENCE 2011 TCNA HANDBOOK -EJ171 MOVEMENT JOINT GUIDELINES
- 1. LOCATION AND FREQUENCY OF JOINTS
EXTERIOR: 8' TO 12' FEET IN EACH DIRECTION, OR AS INDICATED ON ELEVATIONS.
- 2. JOINT WIDTH
EXTERIOR: MINIMUM 3/8" FOR JOINTS 8' ON CENTER, MINIMUM 1/2" FOR JOINTS 12' ON CENTER.
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JOINT MATERIAL: URETHANE
COLOR: TO MATCH TILE AND GROUT COLOR
- 4. TIE-BACK AND SIGNAGE ATTACHMENT - PRE-DRILL TILE AND SLEEVE AND SEAL ALL ATTACHMENT POINTS.

PREPARED FOR: **McDonald's USA, LLC**
 CORPORATION GREAT LAKES
 3950 SPARKS DRIVE, SE
 GRAND RAPIDS, MI 49546
 973.812.6872 FAX 973.812.0984
 HTTP://WWW.URSCOPP.COM

PREPARED BY: **URS**

DATE: 02-19-2013

REV: 01

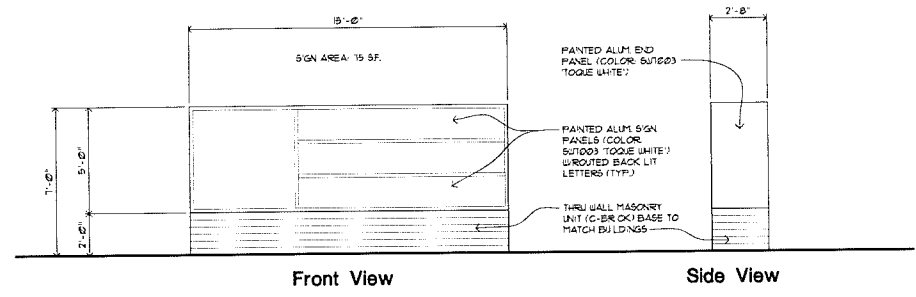
DESCRIPTION: 2013 STANDARD BUILDING 4597 - WOOD/WOOD

SHEET NO. A2.1 ELEVATIONS

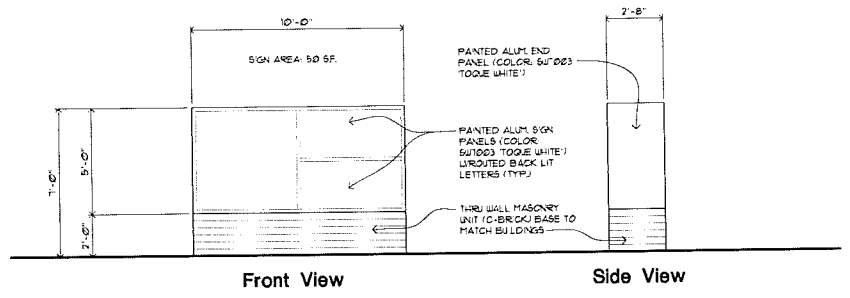
DATE: 02-19-2013

FLINT, MI 48308

issued for:
 SUBMITTED FOR PRELIMINARY
 SITE PLAN REVIEW 18 MAR 13
 SUBMITTED FOR PRELIMINARY
 SITE PLAN REVIEW 03 MAY 13

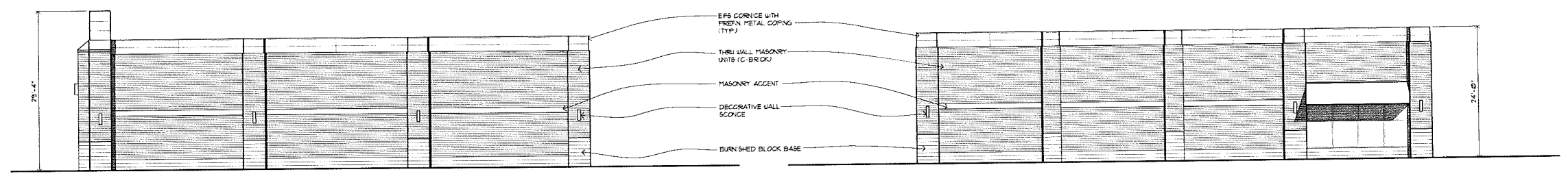


Monument Sign A (2-Sided)
 Scale: 1/4"=1'-0"



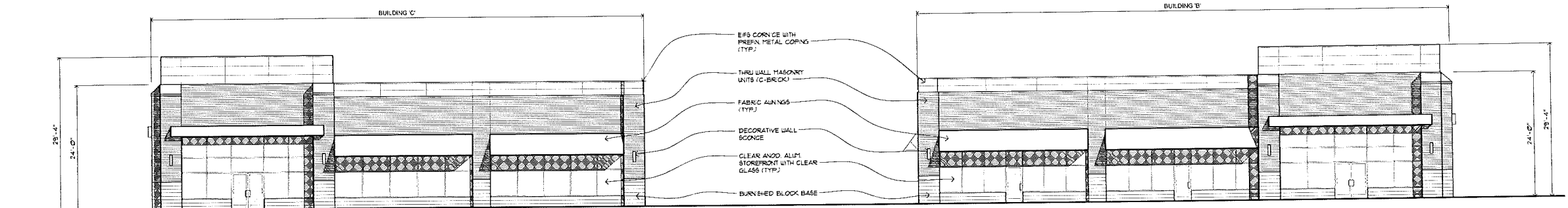
Monument Sign B (2-Sided)
 Scale: 1/4"=1'-0"

project:



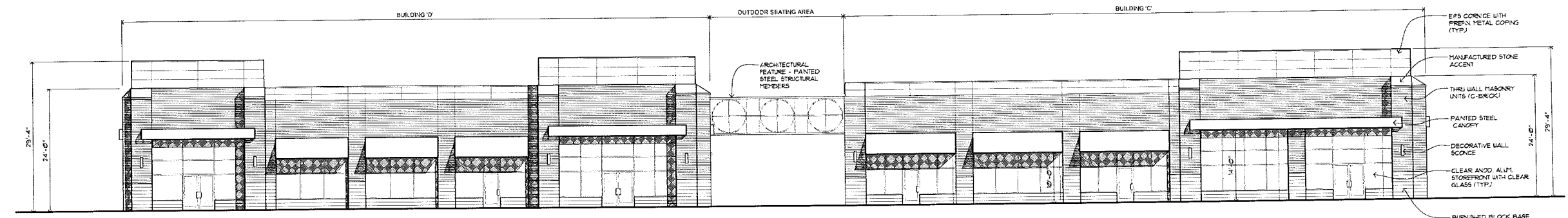
North Elevation - Bldg. D
 Scale: 3/32"=1'-0"

East Elevation - Bldg. B
 Scale: 3/32"=1'-0"



North Elevation - Bldg. C - Auburn Road
 Scale: 3/32"=1'-0"

North Elevation - Bldg. B - Auburn Road
 Scale: 3/32"=1'-0"



East Elevation - Bldg. D - Rochester Road
 Scale: 3/32"=1'-0"

East Elevation - Bldg. C - Rochester Road
 Scale: 3/32"=1'-0"

Proposed
Commercial Development
 SWC Rochester Rd. & Auburn Rd.
 Rochester Hills, Michigan

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 ARCHITECTS
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 SUITE 250
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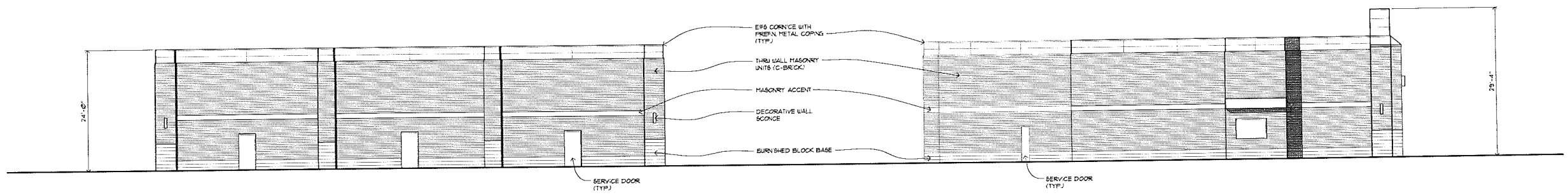
drawing:
Conceptual Building Elevations & Sign Details
 DO NOT SCALE DRAWING
 issue date: 18 MAR. 13
 drawn: KL
 checked: MD
 approved: MD
 file number: 10079
 sheet:

issued for: _____
 SUBMITTED FOR PRELIMINARY _____
 SITE PLAN REVIEW 03 MAY 13 _____

project:

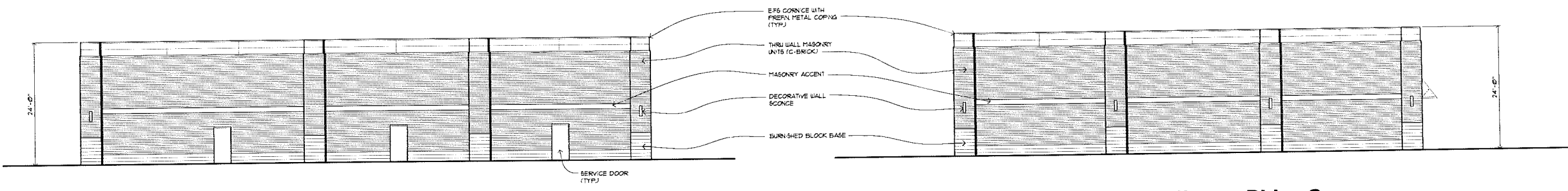
Proposed
Commercial Development

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 Rochester Hills, Michigan



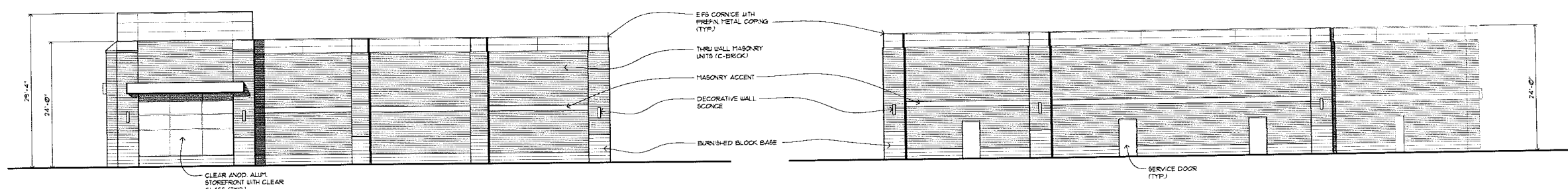
South Elevation - Bldg. B
 Scale: 3/32"=1'-0"

South Elevation - Bldg. D
 Scale: 3/32"=1'-0"



West Elevation - Bldg. C
 Scale: 3/32"=1'-0"

South Elevation - Bldg. C
 Scale: 3/32"=1'-0"



West Elevation - Bldg. B
 Scale: 3/32"=1'-0"

West Elevation - Bldg. D
 Scale: 3/32"=1'-0"



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drawing:
Conceptual Building Elevations

DO NOT SCALE DRAWING
 issue date: 03 MAY 13
 drawn: KL
 checked: MD
 approved: MD

file number: 10079
 sheet:

issued for:
 SUBMITTED FOR PRELIMINARY
 SITE PLAN REVIEW 03 MAY 13

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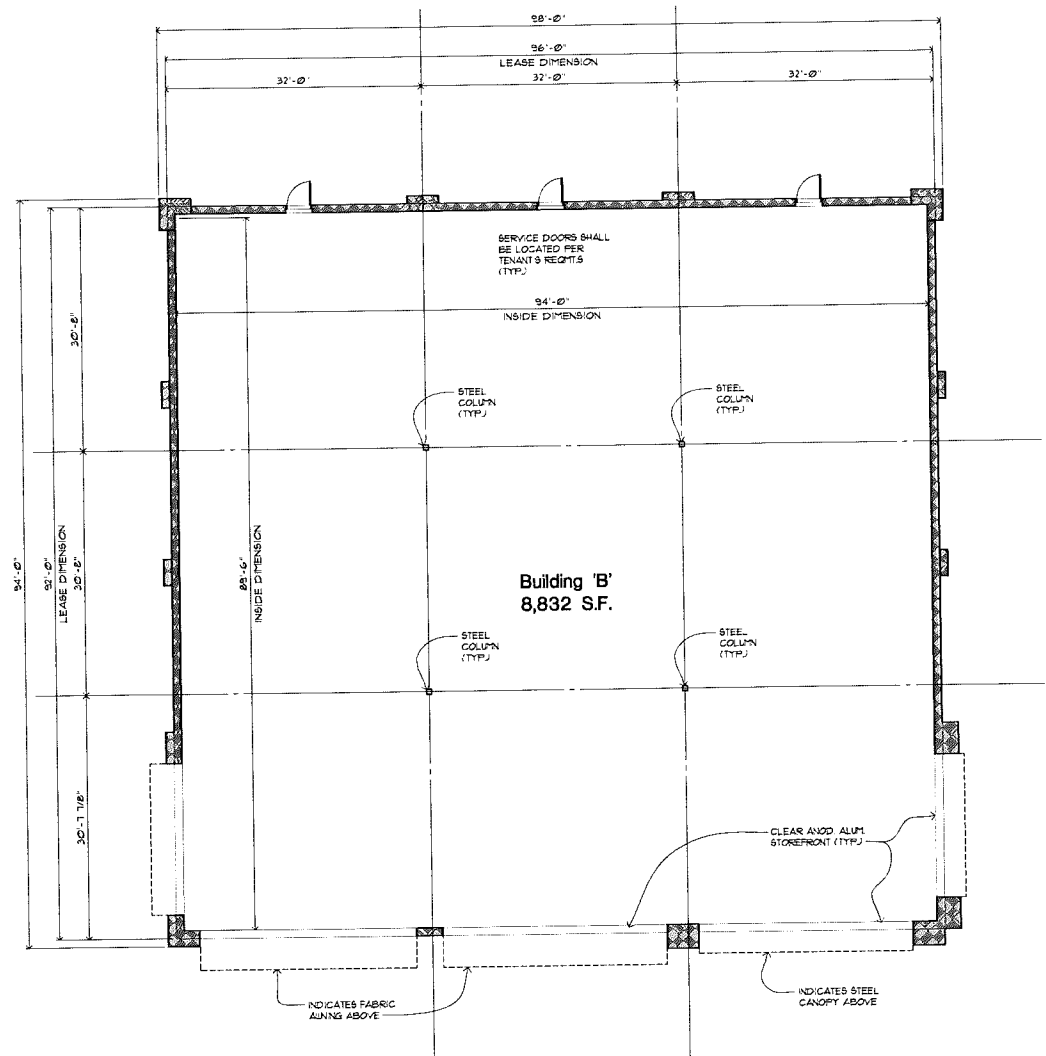
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drawing:
**Conceptual
 Floor Plan
 Building 'B'**

DO NOT SCALE DRAWING
 issue date: 20 MAR. 13
 drawn: KL
 checked: MD
 approved: MD

file number: 10079
 sheet:



Floor Plan - Building 'B'
 Scale: 3/32"=1'-0"
 North

project:

Proposed
Commercial Development
 SWC Rochester Rd. & Auburn Rd.
 Rochester Hills, Michigan



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drawing:

**Conceptual
 Floor Plan
 Buildings 'C' & 'D'**

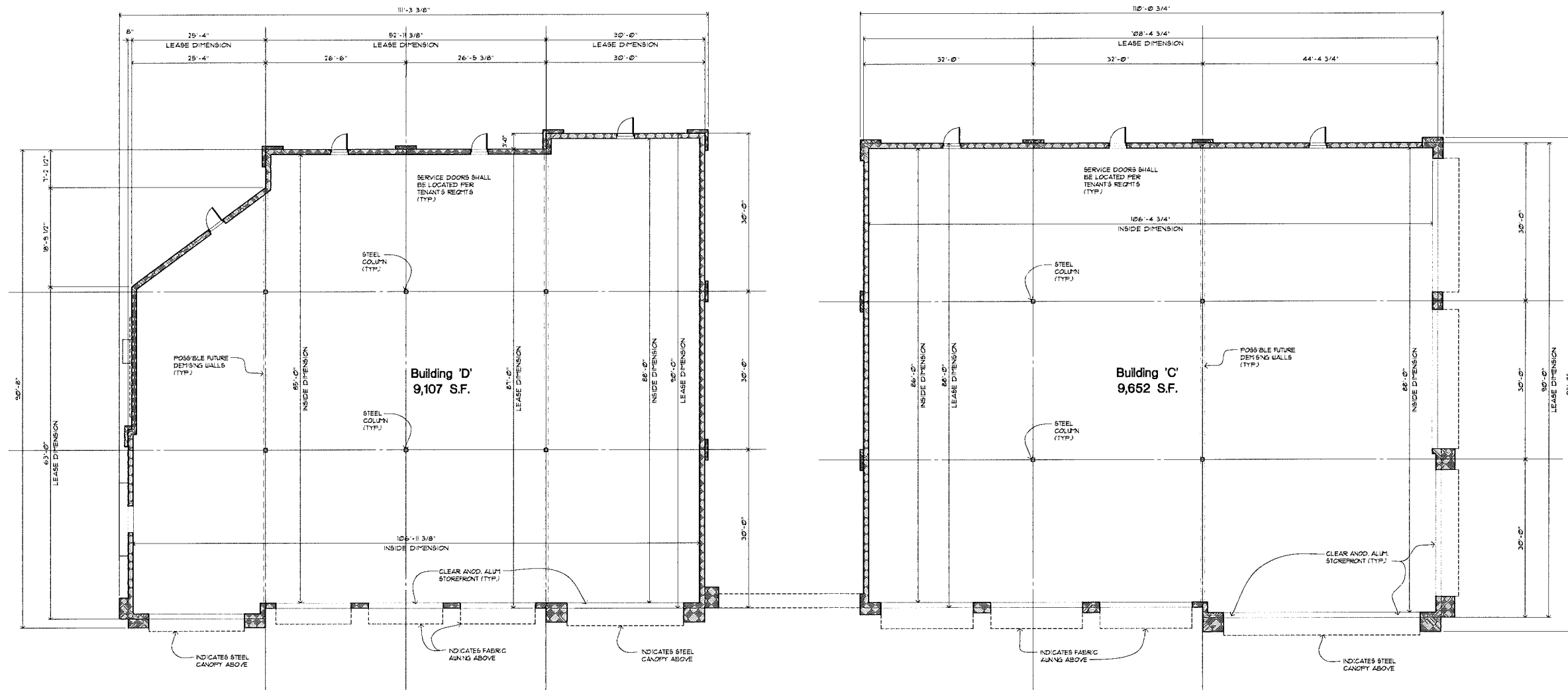
DO NOT SCALE DRAWING

issue date: 20 MAR. 13
 drawn: KL
 checked: MD
 approved: MD

file number: 10079

sheet:

A-3



Floor Plan - Buildings 'C' & 'D'
 North
 Scale: 3/32"=1'-0"