

SITE PLAN DRAWING PACKAGE FOR "ZEENAT PLAZA" AT: LOTS 1545-1548 OF "SUPERVISOR'S PLAT OF BROOKLANDS PARK NO.4" (COMMONLY KNOWN AS VACANT E. AUBURN ROAD)

OWNER / APPLICANT:

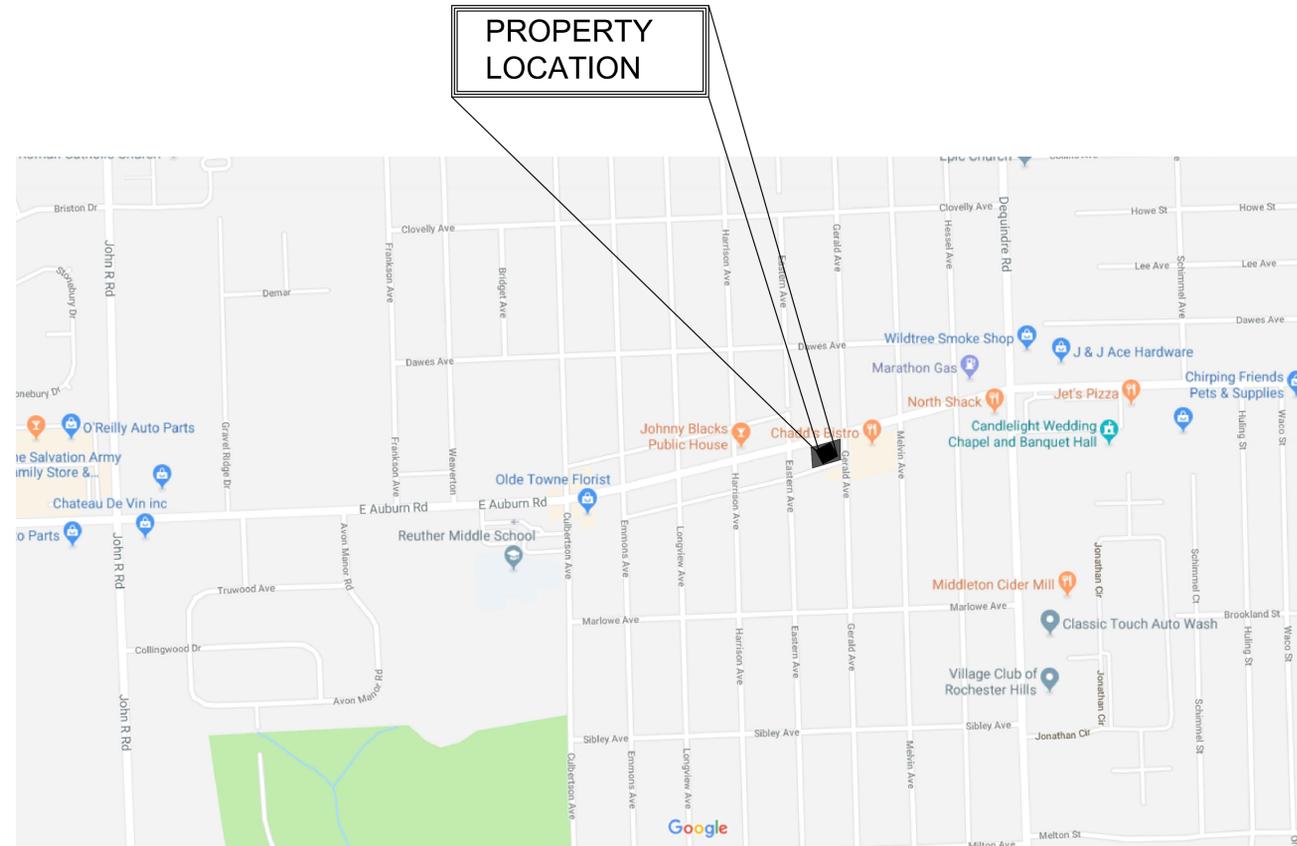
CONTACT : IFTEQUAR FAZAL
 ADDRESS : 650 ROBINSON DRIVE
 ROCHESTER HILLS, MI 48307
 PHONE : CELL = 248-390-5807
 E-MAIL : iftequarfazal@hotmail.com

ARCHITECT:

COMPANY : TURK ARCHITECTS
 CONTACT : HISHAM TURK, AIA, LEED AP
 ADDRESS : 6340 PEACOCK DRIVE
 TROY, MI 48085
 PHONE : O = 248-291-5168
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Approved by the Rochester Hills
 Planning Commission
 Date: 2-16-21
 Approved by the Rochester Hills
 City Council
 Date: 2-22-21
 Approved by the Rochester Hills
 Planning Staff
 Date: 4-20-21

REVISION	DATE
PLANNING COMMISSION	04/15/2021
PLANNING COMMISSION	02/01/2021
PLANNING COMMISSION	01/05/2021
SITE PLAN COMMENTS -2	11/03/2020
SITE PLAN COMMENTS	10/12/2020
SITE PLAN APPLICATION	08/06/2020
CONCEPT MEETING	06/08/2020
OWNER REVIEW	05/25/2020
ISSUED FOR	DATE

COVER SHEET **CS-00**

ZEENAT PLAZA
 CITY FILE #20-022, SECTION 36
 LOT # 1545 - 1548 AUBURN ROAD
 ROCHESTER HILLS, MI 48307
18007

Turk Architects
 Architects Planners Engineers

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STATE OF MICHIGAN

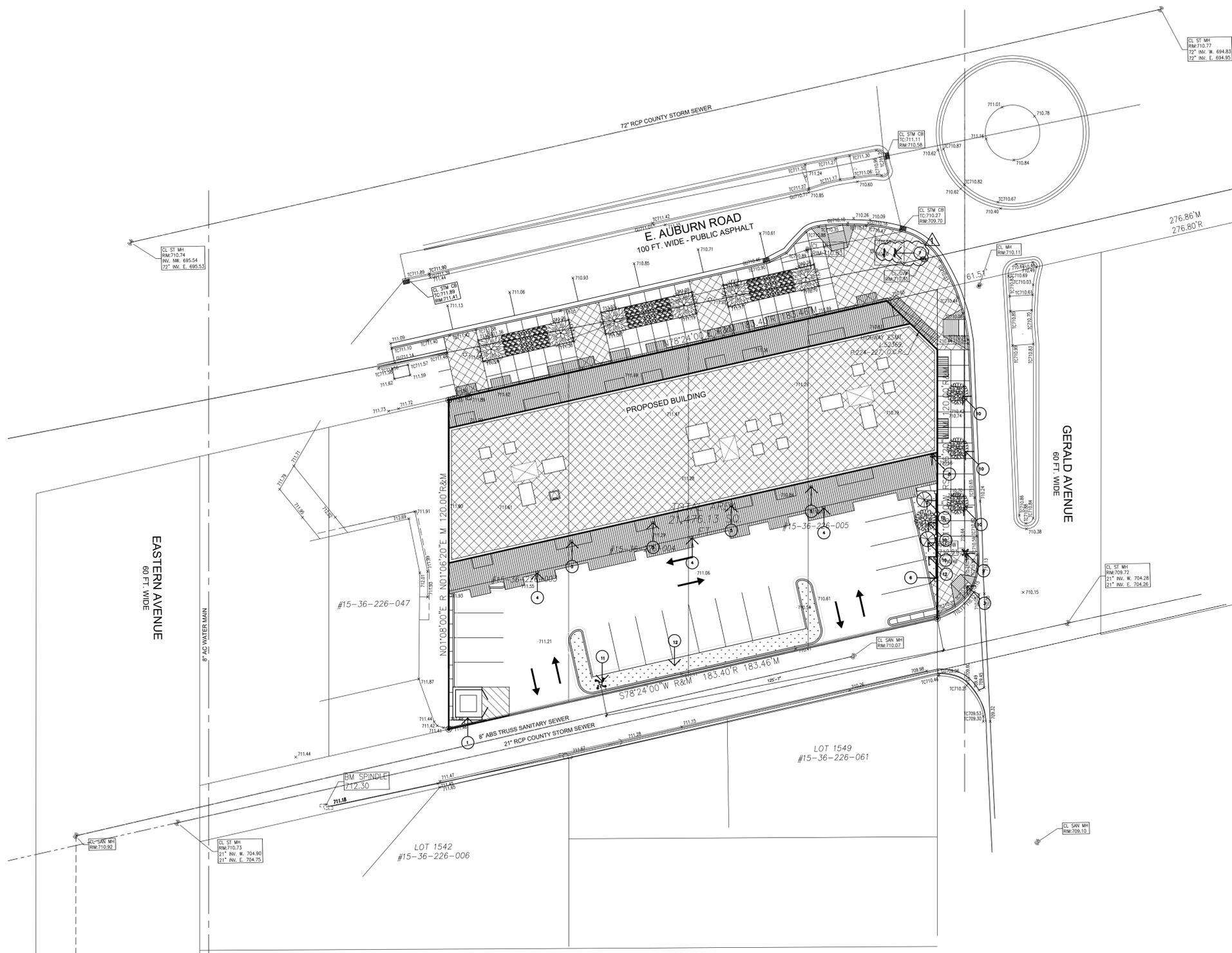
HISHAM AL TURK

ARCHITECT

No. 1301052206

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PROPOSED SITE PLAN + ROOF PLAN
1" = 20'-0"

BUILDING DATA		REFERENCE MICHIGAN BUILDING CODE - 2015 (MBC-2015)	
USE GROUP	ALLOWED (MBC-2015)	MIXED USE, NON-SEPARATED	
FIRST FLOOR AREA B (BUSINESS USE GROUP)	27,000 S.F. (MAXIMUM)	GROSS FLOOR AREA =	8387 G.S.F.
		NET BUSINESS SPACE AREA =	7050 S.F.
SECOND FLOOR AREA R-2 (RESIDENTIAL) 6 UNITS: 5 (2 BEDROOM) 1 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA =	12646 G.S.F.
THIRD FLOOR AREA R-2 (RESIDENTIAL) 4 UNITS: 4 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA =	8775 G.S.F.
BUILDING HEIGHT	3 STORIES (MAXIMUM) 60 FEET (MAXIMUM)	3 STORIES 45 FEET	
		TOTAL GROSS FLOOR AREA =	29,808 G.S.F.
TYPE OF CONSTRUCTION : V-B (ALL FLOORS SHALL BE EQUIPPED THROUGHOUT WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1, MBC 2015)			

ADDITIONAL CODE ANALYSIS:

- ACCESSIBLE RESIDENTIAL UNITS SHALL BE PROVIDED PER SECTION 1107, MBC-2015, AND SHALL COMPLY WITH A117.1 2009, SECTION 1004 FOR TYPE B UNITS.
- BALCONY PROJECTIONS SHALL COMPLY WITH SECTION 705.2, 3202.3.3, MBC-2015.

DRAWING NOTES:

- NEW TRASH ENCLOSURE SHALL BE AT LEAST 6' HIGH OR EQUAL TO THE HEIGHT OF THE RECEPTACLE ENCLOSED, WHICHEVER IS GREATER, AND SHALL BE CONSTRUCTED OF 8" CMU COVERED WITH 4" BRICK VENEER (BRICK TO MATCH THE BRICK OF THE PROPOSED BUILDING, HAVE SCREENED GATES AND BE PLACED UPON A MINIMUM 10' x 16' CONCRETE PAD THAT PROVIDES AN 8' WIDE APRON.
- CONCRETE WALK WAY.
- ACCESSIBLE CURB RAMP.
- WALL MOUNTED LIGHT FIXTURE LOCATIONS MOUNTED AT HEIGHT OF 15 FEET.
- CEILING MOUNTED LIGHT FIXTURE LOCATIONS MOUNTED AT HEIGHT OF 14 FEET.
- 2.5 FEET HIGH KNEE WALL BRICK COLUMNS WITH ORNAMENTAL METAL FENCING ADJACENT TO GERALD AVE. SEE DETAIL-1 DRAWING THIS SHEET.
- LOOP BIKE RACK BY LANDSCAPE FORMS TO BE INSTALLED PER MANUFACTURERS INSTALLATION GUIDE (TYP. 2). MATCH EXISTING LOOP BIKE RACKS INSTALLED BY CITY OF ROCHESTER HILLS AT AUBURN ROAD CORRIDOR. SEE DETAIL -2 ON SHEET SP-01.
- FIRE DEPARTMENT CONNECTION.
- EXISTING FIRE HYDRANT.
- NEW TREE, REFER TO LP-1: LANDSCAPE PLANTING PLAN.
- PROPOSED NEW FIRE HYDRANT WITH GUARD POSTS PER CITY DETAILS.
- LANDSCAPE AREA, REFER TO SHEET LP-1: LANDSCAPE PLANTING PLAN

FIRE DEPARTMENT NOTES:

- AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3, MICHIGAN BUILDING CODE - 2015, SHALL BE PROVIDED THROUGHOUT THE BUILDING.
- A KNOX KEY SYSTEM SHALL BE INSTALLED IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE FROM THE KNOX COMPANY AT knoxbox.com.
- FIRE LANES SHALL BE DESIGNED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 503.
- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14
- OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.6.2.3
- FIRE DEPARTMENT CONNECTIONS SHALL NOT BE OBLSCURED OR OBSTRUCTED BY LANDSCAPING, PARKING OR BY ANY OTHER PERMANENT OR TEMPORARY MATERIALS OR DEVICE.
- IF FIRE DEPARTMENT CONNECTION IS NOT LOCATED ON THE STREET FRONT OF THE BUILDING, A WHITE/CLEAR STROBE LIGHT SHALL BE TIED INTO THE FIRE ALARM SYSTEM AND INSTALLED OVER THE FIRE DEPARTMENT CONNECTION.
- PROVIDE A "NO PARKING FIRE DEPARTMENT CONNECTION" SIGN OVER THE FIRE DEPARTMENT CONNECTION.
- CLASS I STANDPIPE SYSTEM SHALL BE INSTALLED IN THE STAIRWELLS OF THE PROPOSED BUILDING IN LIEU OF FIRE APPARATUS ACCESS.
- A NEW FIRE HYDRANT SHALL BE INSTALLED AT THE SOUTH WEST SIDE OF THE PROPERTY. (REFER TO DRAWING NOTE 11 FOR LOCATION OF THE NEW FIRE HYDRANT)

REVISION	DATE
PLANNING COMMISSION	04/15/2021
PLANNING COMMISSION	02/01/2021
PLANNING COMMISSION	01/05/2021
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SITE PLAN APPLICATION	08/06/2020
CONCEPT MEETING	06/08/2020
OWNER REVIEW	05/25/2020
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PROPOSED SITE PLAN

SP-02

ZEENAT PLAZA
CITY FILE #20-022, SECTION 36
 LOT # 1545 - 1548 AUBURN ROAD
 ROCHESTER HILLS, MI 48307

18007

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STATE OF MICHIGAN
 HISHAMAL TURK
 ARCHITECT
 No. 1301052206
 4/15/2021

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PAVING AND GRADING NOTES

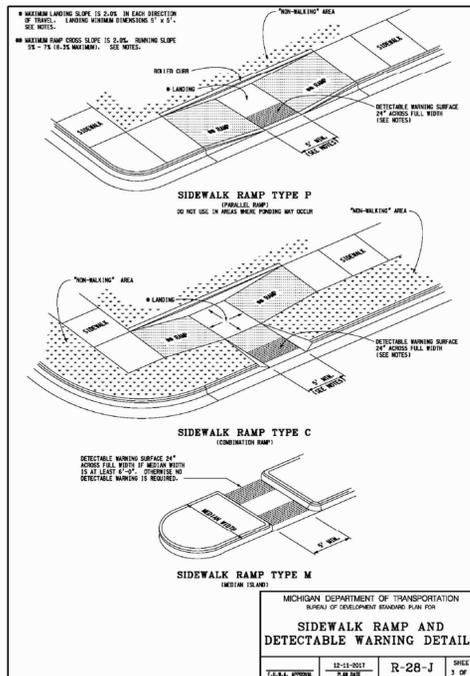
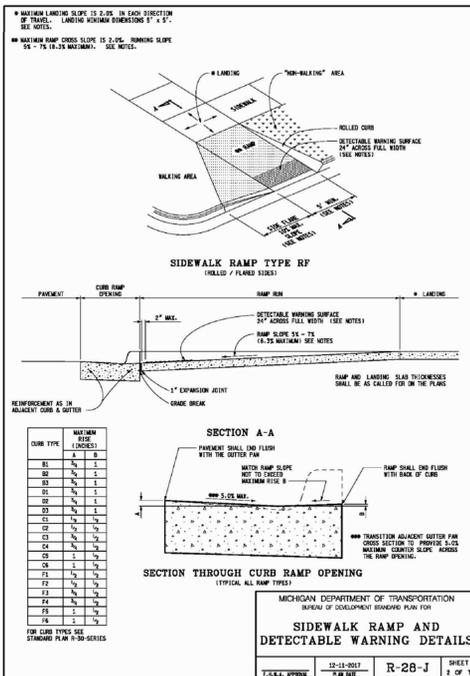
- EARTHWORK AND PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
- REMOVE ANY EXISTING TOPSOIL, VEGETATION, TREES AND OTHER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREE ROOTS SHALL BE COMPLETELY REMOVED.
- EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM.
- THE TOP 12 INCHES OF THE EXPOSED SUBGRADE SHALL BE COMPACTED TO ACHIEVE A 95 PERCENT COMPACTION LEVEL (MODIFIED PROCTOR - ASTM D 1557-91).
- SUBGRADE SHALL BE THOROUGHLY PROFFERED UNDER THE OBSERVATION OF THE JURISDICTIONAL AGENCY AND/OR GEOLOGICAL ENGINEER. SUBGRADE UNDERCUTTING TO BE PERFORMED AS NECESSARY TO REMOVE AND REPLACE UNSUITABLE GROUND, ON AN "AS NEEDED" BASIS AND AS DIRECTED, IN ACCORDANCE WITH CURRENT MDOT STANDARD SPECIFICATIONS.
- THE AGGREGATE BASE SHALL BE COMPACTED TO ACHIEVE A 95 PERCENT COMPACTION LEVEL (MODIFIED PROCTOR - ASTM D 1557-91). THE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE.
- ON SITE FILL MATERIAL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON SITE MATERIAL IS USED, SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANIC, OR OTHER DELETERIOUS MATERIALS.
- CONSTRUCTION ACCESS SHALL BE KEPT CLEAN AND MAINTAINED IN GOOD CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE SUB-GRADE BASED ON THE GRADES AND CROSS-SECTIONS SHOWN ON THESE PLANS AND ANY OTHER ACCOMPANYING PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO GRADE THE SITE SO THAT THE BUILDING PAD REMAINS DRY AND FREE FROM OBSTRUCTION AT ALL TIMES.
- SITE SHALL FIRST BE ROUGH-GRADED, THEN CONTRACTOR SHALL RETURN UPON COMPLETION OF UTILITIES TO FINE GRADE THE SITE FOR PAVEMENT CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EARTHWORK QUANTITIES FOR THE PROJECT. THE CONTRACTOR'S BID SHALL INCLUDE ANY REQUIRED IMPORT OR EXPORT OF MATERIALS TO OR FROM THE SITE.
- STRIPING AND MARKINGS SHALL BE FURNISHED USING GUIDE LINES, FORMS STENCILS AND TEMPLATES PER CURRENT MDOT STANDARDS. FREE HAND PAINTING NOT ALLOWED.
- REMOVE PAVEMENT, DRIVEWAYS, CURB, GUTTERS, SIDEWALK, TO AN EXISTING JOINT OR SAVED JOINT. BITUMINOUS AND CONCRETE SHALL BE SAVED FULL DEPTH. ADJACENT CUT SOILS OR BASE MATERIALS REMOVED. WHEN REMOVING CONCRETE SHALL BE REPLACED WITH IN-KIND ACCEPTABLE MATERIAL.

CITY NOTES

1.

PROPOSED LEGEND

- TC 000.00 TOP OF CURB ELEVATION
- G 000.00 GUTTER ELEVATION
- TP 000.00 TOP OF PAVEMENT ELEVATION
- TW 000.00 TOP OF WALK ELEVATION
- FG 000.00 FINISH GRADE ELEVATION
- FLOW DIRECTION
- CONCRETE
- ASPHALT
- COMPACTED SAND BACKFILL
- WATERMAIN
- SANITARY SEWER
- STORM SEWER
- GAS MAIN
- ELECTRIC LINE
- HYDRANT
- GATE VALVE & WELL
- TAPPING SLEEVE VALVE & WELL
- REAR YARD CATCH BASIN
- STORM MANHOLE
- CATCH BASIN
- INLET
- END SECTION
- SANITARY MANHOLE
- STM MH 48 STRUCTURE TYPE
- STRUCTURE ID NO

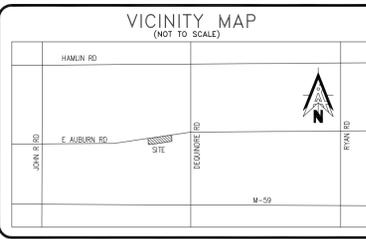


ESTIMATED QUANTITIES THIS SHEET (ONSITE)

ITEM	UNIT	QUANTITY
8" CONCRETE PAVEMENT (PARKING)	SY	978
8" CONCRETE PAVEMENT (DUMPSTER)	SY	22
6" 21AA AGGREGATE BASE	SY	1000
6" INTEGRAL CONCRETE SIDEWALK	SY	245
4" SAND BASE (MDOT CLII)	SY	245
6" CURB & GUTTER	LF	766
PAVEMENT MARKINGS	LS	1
ADA RAMPS	EA	2

ESTIMATED QUANTITIES THIS SHEET (ROW)

ITEM	UNIT	QUANTITY
DRIVEWAY OPENING (MDOT TYPE M)	EA	2
4" CONCRETE SIDEWALK	SY	100
4" SAND BASE (MDOT CLII)	SY	100
ADA RAMPS	EA	1

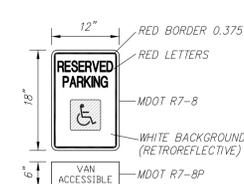


LEGAL DESCRIPTION

LOTS 1545 - 1548 OF "SUPERVISOR'S PLAT OF BROOKLAND PARK NO. 4" A SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY MICHIGAN AS RECORDED IN LIBER 28 OF PLATS, PAGE 49, OAKLAND COUNTY RECORDS.

ADDRESS: (COMMONLY KNOWN AS VACANT E. AUBURN ROAD)
 SIDWELL: 15-36-226-003, 15-36-226-004, 15-36-226-005

Note: All survey info shown herein was obtained from topographical survey by Reichert Surveying Inc. job number 14-090 dated 07/23/20 as supplied by the developer. TCEC has not performed a survey of this parcel.



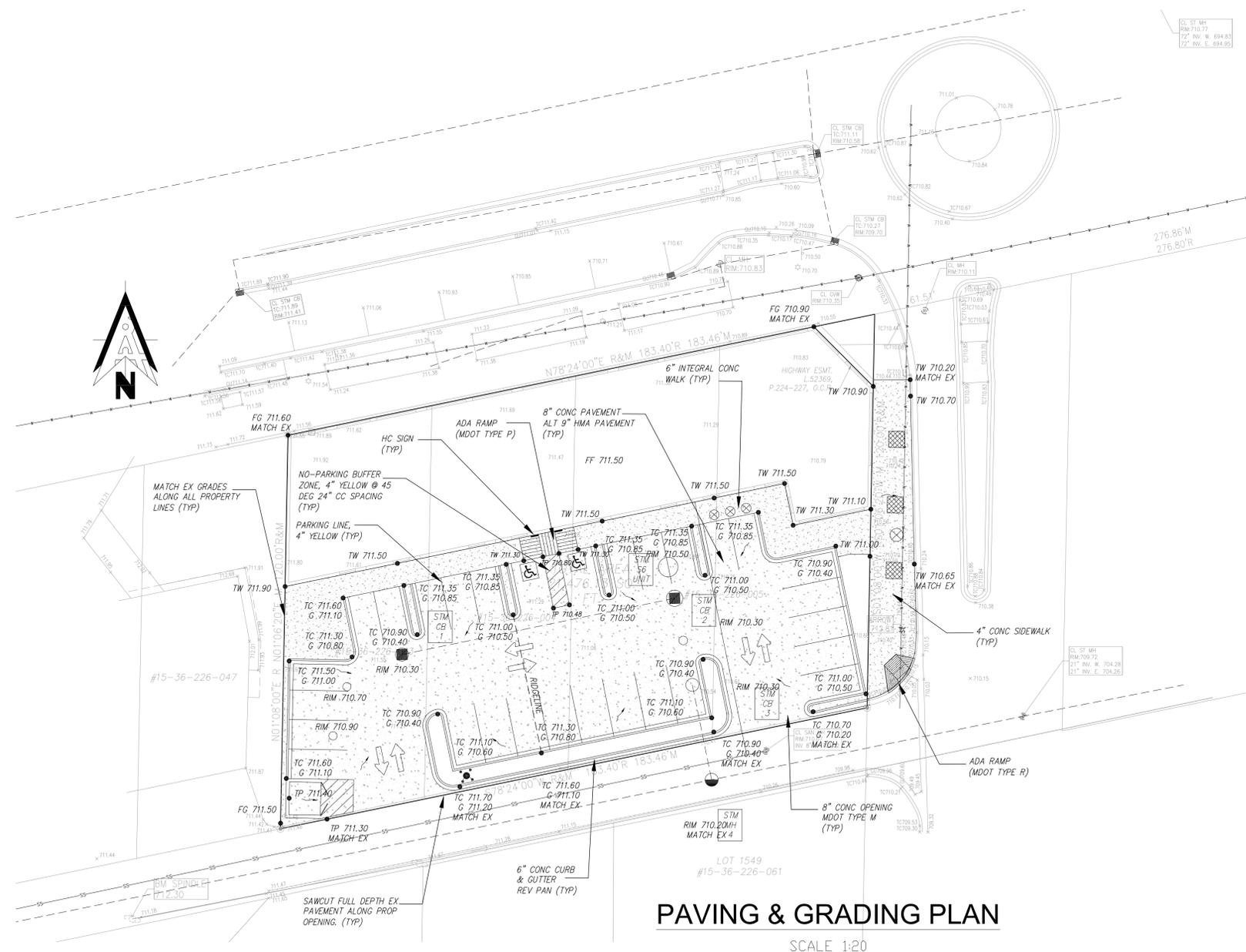
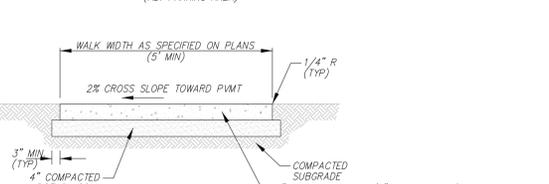
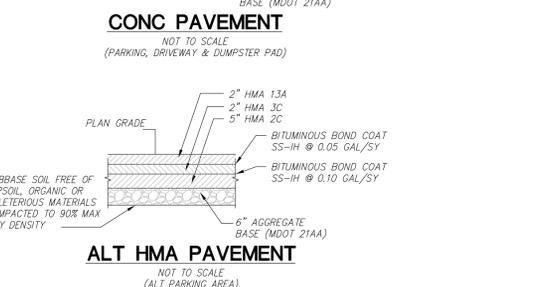
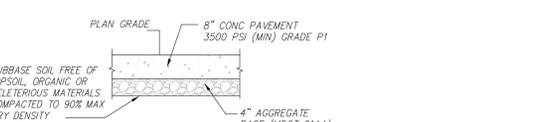
BENCH MARK INFORMATION

Site Bench Mark:
 Arrow on hydrant located at the southeast corner of site. Elevation: 712.81 NAVD 88 Datum.

Site Bench Mark:
 Spindle in the north face of utility pole; located at the southwest corner of the site, south of the alley. Elevation: 712.50 NAVD 88 Datum.

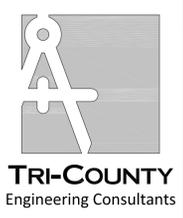
Job Bench Mark:
 ACS brass disc set in concrete monument (50648), 104' south of CL of Jonathan Circle and 27.4 feet southwest of a fire hydrant. Elevation: 696.40 NAVD 88 Datum.

HANDICAP SIGN



PAVING & GRADING PLAN

SCALE 1:20



48701 Hayes Road
 Shelby Twp, MI 48315
 TEL: (810) 394-7887
 FAX: (586) 566-4642

www.Tri-CountyEng.com

CLIENT NAME:

Iftqear Fazal
 2780 Stonebury Dr
 Rochester Hills, MI 48307
 248-875-3134

3 WORKING DAYS
 800-482-7171



Know what's below.
 Call before you dig.

PRIOR TO CONSTRUCTION, ALL EXISTING UTILITIES LOCATION AND DEPTH WITHIN THE PROJECT AREA SHALL BE FIELD VERIFIED. CALL MISS DIG SYSTEM 3 WORKING DAYS PRIOR TO CONSTRUCTION.

UTILITY INFORMATION SHOWN ON THIS DRAWING ARE APPROXIMATE AND MAY BE ACCORDING TO AVAILABLE RECORD OR DISCLOSED INFORMATION BY VARIOUS UTILITY COMPANIES, PUBLIC AGENCIES, OR OTHER SOURCES AND THIS MAY NOT NECESSARILY REFLECT ACTUAL FIELD LOCATIONS AND NO GUARANTEE IS GIVEN TO COMPLETENESS OR ACCURACY.

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PROJECT NAME:

ZEENAT PLAZA
 Site Development
 Vacant E Auburn Rd
 (Lots 1545-1548)
 Rochester Hills, MI 48307

PAVING & GRADING PLAN

PROJECT LOCATION:

SEC 36, T03N, R11E
 CITY OF ROCHESTER HILLS
 OAKLAND COUNTY

Drawn By: FH
 Checked By: SS
 Approved By: SS

REVISIONS:

- PRELIM PLANS 07/24/20
- PER CITY 10/13/20
- PER CITY 12/05/20
- PER CITY 01/13/21



SCALE VERIFICATION:

0.5
 BAR IS ONE-INCH
 ADJUST SCALES ACCORDINGLY IF NOT

SCALE:
 1" = 20'

PROJECT NO:
 TA20001

DRAWING NO:
 TA20001GP

GP-1

GENERAL NOTES

- THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL SITE CONDITIONS ILLUSTRATED TO BE DEMOLISHED AND IF THERE ARE QUESTIONS OR PERCEIVED & REAL CONFLICTS REGARDING CONSTRUCTION DOCUMENTS COMPARED TO ACTUAL FIELD CONDITIONS, SAID CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OR OWNER PRIOR TO BIDDING.
- THE CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES DURING THE DEMOLITION. IF A UTILITY INTERRUPTION IS REQUIRED, THE CONTRACTOR SHALL COORDINATE THE INTERRUPTION WITH THE OWNER AND PROPER NOTIFICATIONS WILL BE ISSUED TO THE JURISDICTIONAL AGENCY. NOTIFICATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN ADJOINING PROPERTIES DISTURBED OR DAMAGED DURING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICULAR TRAFFIC. CONTROLS MAY CONSIST OF, BUT NOT BE LIMITED TO: FLAGGERS, DRUMS, BARRIERS, SIGNS, LIGHTS, AND FENCING. COST OF TRAFFIC CONTROL SHALL BE BORNE BY THE CONTRACTOR.
- SITE UTILITIES ILLUSTRATED ON THE CONTRACT DRAWINGS ARE APPROXIMATE AND SHALL NOT BE CONSIDERED AS 100% ACCURATE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN THEREON. THE CONTRACTOR SHALL FIELD LOCATE DEPTH AND LOCATION OF ALL UTILITIES LOCATED WITHIN THE LIMITS OF SITE EXCAVATION. CONTRACTOR SHALL CALL MISS-DIG PRIOR TO EXCAVATING AND LOCAL UTILITIES SHALL BE MARKED OR CLEARED BY UTILITY OWNER PRIOR TO EXCAVATING.
- THE MUNICIPALITY AND/OR JURISDICTIONAL AGENCY STANDARD DETAIL SHEETS ARE INCORPORATED AND MADE A PART OF THESE PLANS. ALL UTILITY LINE, STRUCTURES, AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE STANDARDS AND ALL OTHER RELATED REQUIREMENTS.
- NO PHYSICAL CONNECTION TO THE EXISTING UTILITIES SHALL BE MADE UNTIL ALL NEW UTILITIES ARE TESTED AND ACCEPTED BY THE MUNICIPALITY AND/OR JURISDICTIONAL AGENCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JURISDICTIONAL AGENCIES PERMIT COSTS.
- MAINTAIN 10' MIN HORIZONTAL SEPARATION BETWEEN UTILITIES AND 18" CLEARANCE AT CROSSINGS.
- MAINTAIN 5.5' MIN COVER OVER ALL EXISTING & PROPOSED WATER MAIN.
- MAINTAIN 4' MIN COVER OVER ALL EXISTING & PROPOSED SANITARY SEWER.
- MAINTAIN 3' MIN COVER OVER ALL EXISTING & PROPOSED STORM SEWER.
- IF REQUIRED, A STORM WATER MAINTENANCE AGREEMENT SHALL BE PROVIDED TO THE MUNICIPALITY PRIOR TO FINAL ACCEPTANCE.

CITY NOTES

- PROVIDE 1 MASTER CITY METER FOR RETAIL 1ST FLOOR AND 1 MASTER METER FOR RESIDENTIAL 2ND & 3RD FLOORS.
- PROVIDE PRIVATE SUB METERS FOR EACH INDIVIDUAL RESIDENTIAL & RETAIL UNIT.
- THE EXISTING SANITARY LEAD SHALL BE VIDEOTAPE PRIOR TO CONNECTION TO VERIFY IT IS IN GOOD WORKING CONDITION.
- A CITY RIGHT-OF-WAY (ROW) USE PERMIT IS REQUIRED & MUST BE APPROVED PRIOR TO CONSTRUCTION.
- SIDEWALK ALONG GERALD AVE WILL BE THE LANDOWNERS RESPONSIBILITY TO MAINTAIN.
- A STORM SYSTEM MAINTENANCE AGREEMENT IS REQUIRED.

PROPOSED LEGEND

- TC 000.00 TOP OF CURB ELEVATION
- G 000.00 GUTTER ELEVATION
- TP 000.00 TOP OF PAVEMENT ELEVATION
- TW 000.00 TOP OF WALK ELEVATION
- FG 000.00 FINISH GRADE ELEVATION
- FLOW DIRECTION
- CONCRETE
- GRAVEL
- COMPACTED SAND BACKFILL
- WATERMAIN
- SANITARY SEWER
- STORM SEWER
- GAS MAIN
- ELECTRIC LINE
- HYDRANT
- GATE VALVE & WELL
- TAPPING SLEEVE VALVE & WELL
- REAR YARD CATCH BASIN
- STORM MANHOLE
- CATCH BASIN
- INLET
- END SECTION
- SANITARY MANHOLE
- STRUCTURE TYPE
- STRUCTURE ID NO

Detention Basin
(OAKLAND COUNTY FORMULA - 100-YEAR STORM)
Job Name: Zeenat Plaza
Job No.: TA20001

Designed by: FH
Checked by: SS

Total Area Tributary (At) = 0.49

Area Label	A (ac)	C	A ² C
Lawn Area	333	0.20	67
Hard Surface	12,552	0.95	11,924
Roof Area	8,387	0.95	7,968
Sum	21,272	2.10	19,959

Overall site average C factor: **0.94**

Enter Standard Allowable Discharge (q): **0.20**

Overall site C factor: **0.94**

Overall site acreage contributing to the basin (A): **0.49** Ac.

Maximum allowable outflow, Qa (q * A): **0.10** CFS

VOLUME CALCULATIONS
Qo = (allowable outflow, Qa) / (runoff coefficient)
= **0.217 CFS/acre(imperviousness)**

Storage time calculation:
T = -25 + sqrt(10312.5 / Qo) (100 year storm)
T = **192.94 min.**

Maximum volume of storage per acre imperviousness:
Vs = (16,500 (T) / (T + 25)) - 40(Qo)(T) (100 year storm)
Vs = **12931.72 CF/acre(imperviousness)**

Total volume of storage REQUIRED for the entire site:
Vt = (Vs)(site acreage)(runoff coefficient)
Vt = **5,956.35 CF (VOLUME REQUIRED)**

ORIFICE SIZING CALCULATIONS
Enter design depth of storage for the basin: **1** feet

ORIFICE AREA ("A") = Qa / (0.62xSQRT(2GH)) = 0.020 square feet
2.89 square inches

AREA = Pi x R squared, SOLVE FOR R = 0.96 in. (radius)
RESTRICTOR SIZE REQUIRED = 2 in.
RESTRICTOR SIZE PROVIDED = 4 in.

SANITARY BASIS OF DESIGN

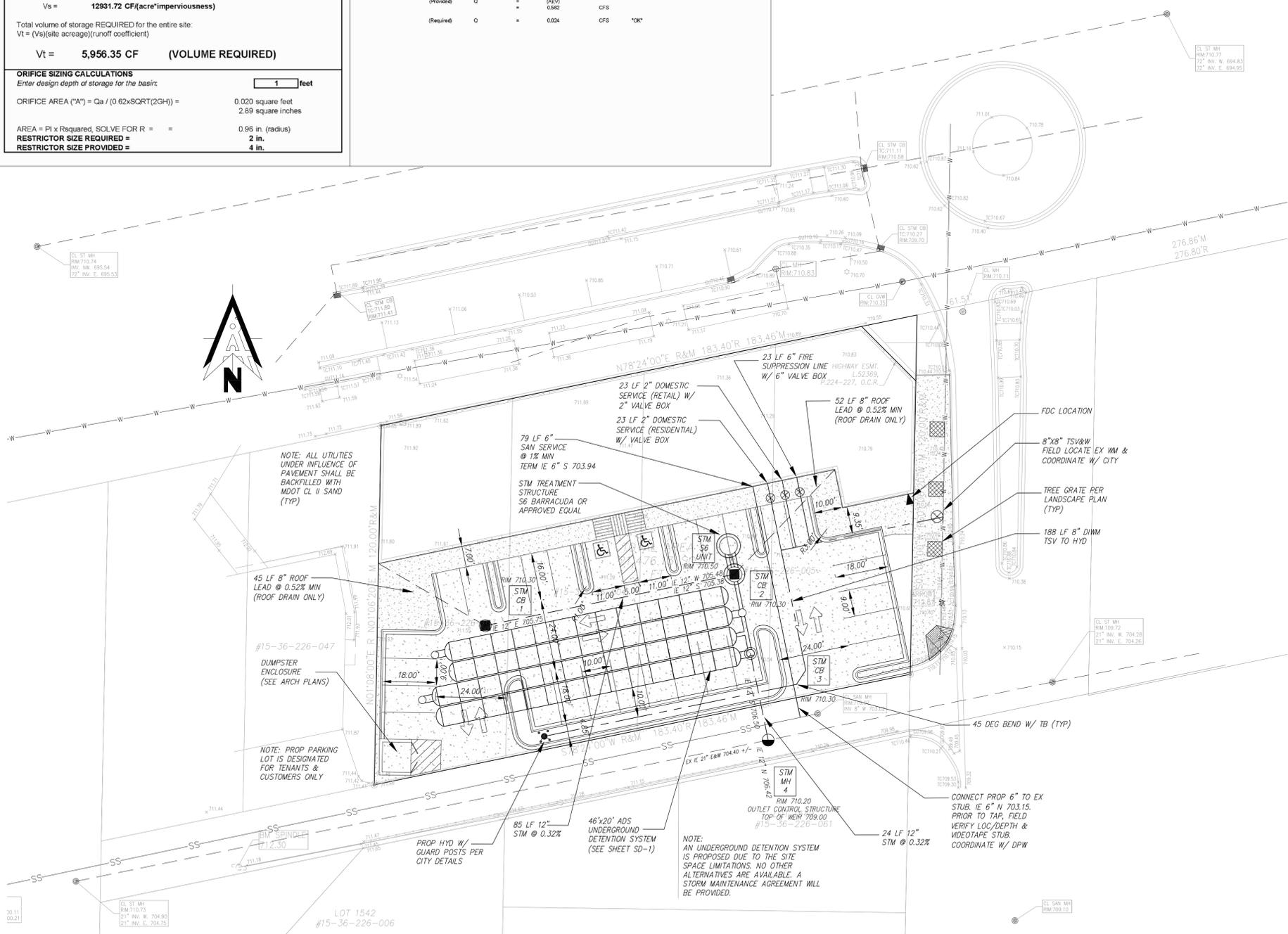
Job Name: Zeenat Plaza
Job No: TA20001
Date: 10/10/20
Prepared by: SS
Checked by: SS

District	Name	Usage	Approx. Area (SF)	Area Per 1,000 FT ²	REU Unit Factor	REU's	Units	Pop/ REU	Pop/ Acre	UL
Onsite	First Floor	Retail (ret)	7,050	7.05	0.26 / 1,000 SF	1.83	5	3.00	5	5
Onsite	Second Floor (2 bed)	Residential Homes	10,038				5	3.00	15	15
Onsite	Second Floor (3 bed)	Residential Homes	2,108				1	3.00	3	3
Onsite	Third Floor (3 bed)	Residential Homes	6,775				4	3.00	12	12
Total Area			26,171.00							35

DESIGN ULTIMATE POPULATION (Ultimate Conditions)
Pop. Equivalents (P) = 35 Thousands
Area Contributing = 0.49 Acre
Density = 35 / 0.49 = 72.447 Pop./Ac.

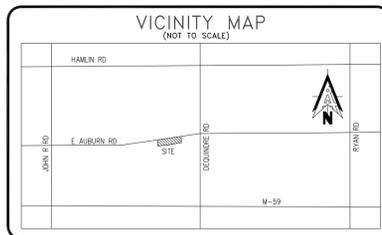
Peak Flow
Average Flow (Q_{avg}) = (100 GPCD) 35 = 17.48 GPM (60)(60)(24)
Average Flow (Q_{avg}) = 0.006 CFS
Peak Flow (PF) = 18 * (P / (4 * A)) = 18 * (35 / (4 * 0.49)) = 4.14 CFS
Peak Flow (Q_{peak}) = (Q_{avg})(PF) = 0.024 CFS

Gravity Sewer Pipe Capacity
Inch Diameter Pipe (d) 1.000%
f = (3.14)(D⁵/s) = 0.196 FT
r = (D)(1) = 0.015 FT
s = 1.00%
v = (1.49)(d^{4.75})(s^{0.047}) = 2.865 FPS
C = (Provided) 0.940 CFS
C = (Required) 0.982 CFS
C = 0.024 CFS "OK"



UTILITY & GEOMETRY PLAN

SCALE 1:20



LEGAL DESCRIPTION

LOTS 1545 - 1548 OF "SUPERVISOR'S PLAT OF BROOKLAND PARK NO. 4" A SUBDIVISION OF PART OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 36, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY MICHIGAN AS RECORDED IN LIBER 28 OF PLATS, PAGE 49, OAKLAND COUNTY RECORDS.

ADDRESS: (COMMONLY KNOWN AS VACANT E. AUBURN ROAD)
SIDWELL: 15-36-226-003, 15-36-226-004, 15-36-226-005

Note: All survey info shown herein was obtain from topographical survey by Reichert Surveying Inc. job number 14-090 dated 07/23/20 as supplied by the developer. TECC has not performed a survey of this parcel.

BENCH MARK INFORMATION

Site Bench Mark:
Arrow on hydrant located at the southeast corner of site.
Elevation: 712.81 NAVD 88 Datum.

Site Bench Mark:
Spindle in the north face of utility pole; located at the southwest corner of the site, south of the alley.
Elevation: 712.30 NAVD 88 Datum.

Job Bench Mark:
NGS brass disc set in concrete monument (50648), 104' south of CL of Jonathan Circle and 27.4 feet southwest of a fire hydrant.
Elevation: 696.40 NAVD 88 Datum.

ESTIMATED QUANTITIES THIS SHEET

ITEM	UNIT	QUANTITY
6" SAN LEAD (PVC SCHD 40)	LF	79
8" WM DIP CL54	LF	188
6" WM DIP CL54	LF	23
2" WM SERVICE (TYPE K COPPER)	LF	46
8"X8" TAPPING SLEEVE VALVE & WELL	EA	1
HYDRANT ASSEMBLY	EA	1
8" ROOF LEAD (PVC SCHD 40)	LF	90
12" STM PIPE (RCP C76 CLIV)	LF	115
4' DIA STORM CATCH BASIN	EA	2
5' DIA STORM MANHOLE	EA	1
STM TREATMENT STRUCTURE	EA	1
ADS UNDERGROUND DETENTION SYSTEM	LS	1
MOOT CL II SAND BACKFILL	LF	505



48701 Hayes Road
Shelby Twp, MI 48315
TEL: (810) 394-7887
FAX: (586) 566-4642

www.Tri-CountyEng.com

CLIENT NAME:
Iftqear Fazal
2780 Stonebury Dr
Rochester Hills, MI 48307
248-875-3134

3 WORKING DAYS
800-482-7171

Know what's below.
Call before you dig.

PRIOR TO CONSTRUCTION, ALL EXISTING UTILITIES LOCATION AND DEPTH WITHIN THE PROJECT AREA SHALL BE FIELD VERIFIED. CALL MISS DIG SYSTEM 3 WORKING DAYS PRIOR TO CONSTRUCTION.

UTILITY INFORMATION SHOWN ON THIS DRAWING ARE APPROXIMATE AND MAY BE ACCORDING TO AVAILABLE RECORD OR UNDISCLOSED INFORMATION BY VARIOUS UTILITY COMPANIES, PUBLIC AGENCIES, OR OTHER SOURCES AND THIS MAY NOT NECESSARILY REFLECT ACTUAL FIELD LOCATIONS AND NO GUARANTEE IS GIVEN TO COMPLETENESS OR ACCURACY.

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PROJECT NAME:
ZEENAT PLAZA
Site Development
Vacant E Auburn Rd
(Lots 1545-1548)
Rochester Hills, MI 48307
UTILITY & GEOMETRY PLAN

PROJECT LOCATION:
SEC 36, T03N, R11E
CITY OF ROCHESTER HILLS
OAKLAND COUNTY

Drawn By: FH
Checked By: SS
Approved By: SS

- REVISIONS:**
- PRELIM PLANS 07/24/20
 - PER CITY 10/13/20
 - PER CITY 12/05/20
 - PER CITY 01/13/21



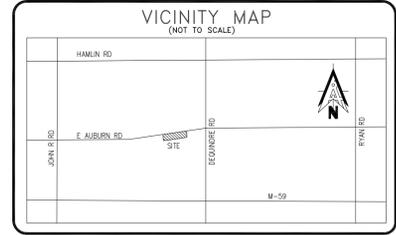
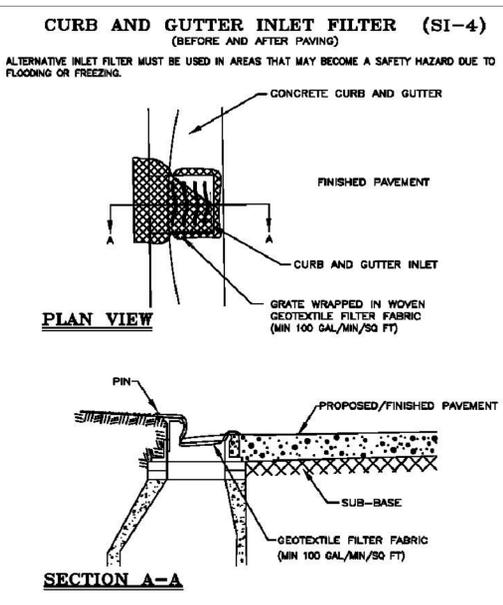
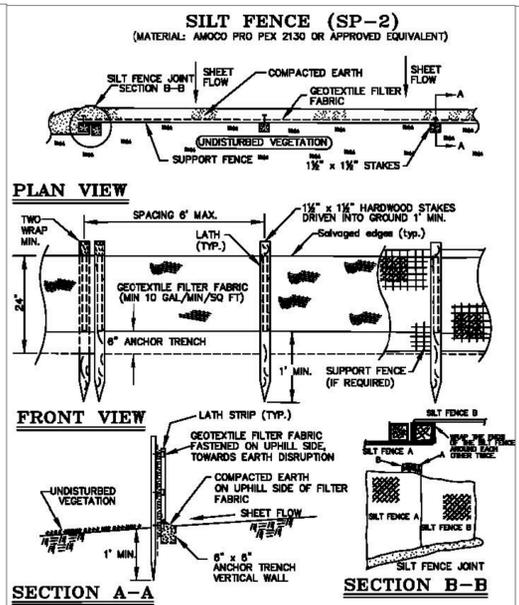
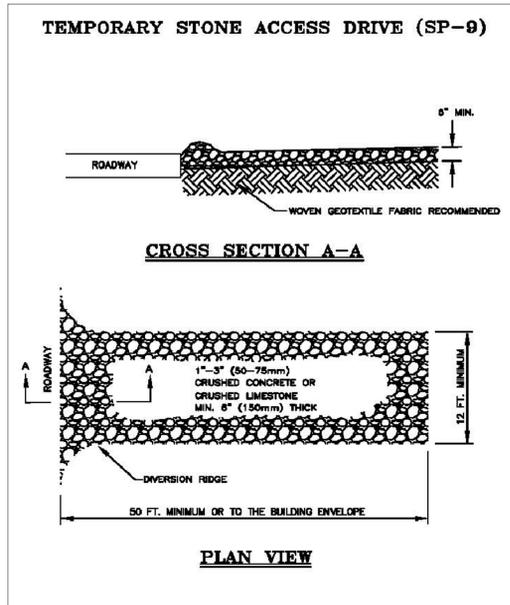
SCALE VERIFICATION:
0.5
BAR IS ONE-INCH
ADJUST SCALES ACCORDINGLY IF NOT

SCALE:
1" = 20'

PROJECT NO:
TA20001

DRAWING NO:
TA20001UT

UT-1



LEGAL DESCRIPTION

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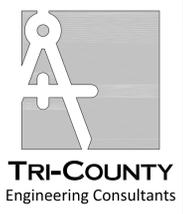
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PROJECT NAME:
ZEENAT PLAZA
Site Development
Vacant E Auburn Rd
(Lots 1545-1548)
Rochester Hills, MI 48307

SOIL EROSION & SEDIMENTATION CONTROL PLAN

PROJECT LOCATION:
SEC 36, T03N, R11E
CITY OF ROCHESTER HILLS
OAKLAND COUNTY

Drawn By: FH
Checked By: SS
Approved By: SS

REVISIONS:

1. PRELIM PLANS 07/24/20
2. PER CITY 10/13/20
3. PER CITY 12/05/20
4. PER CITY 01/13/21



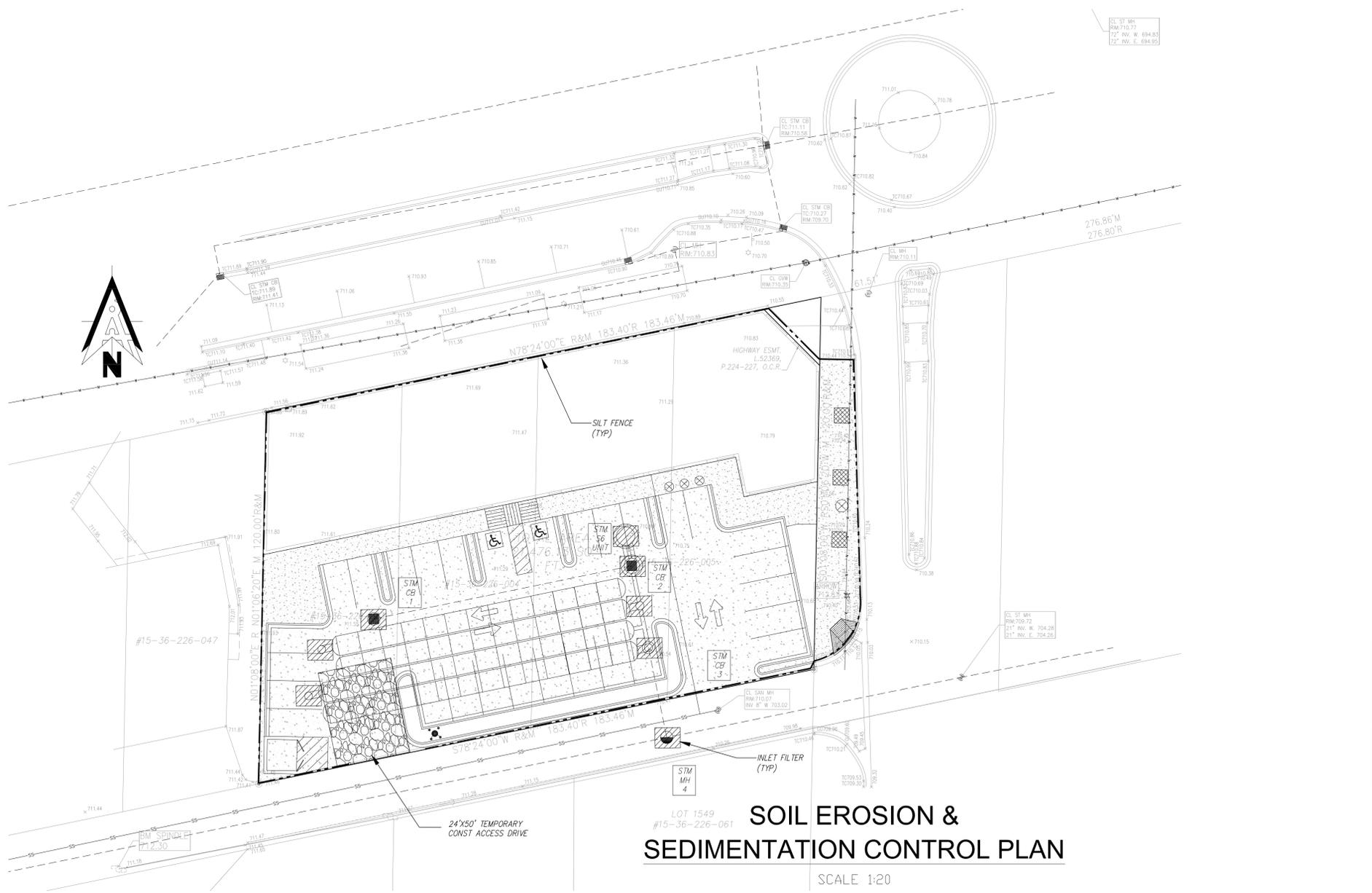
SCALE VERIFICATION:
0.5
BAR IS ONE-INCH
ADJUST SCALES ACCORDINGLY IF NOT

SCALE:
1" = 20'

PROJECT NO:
TA20001

DRAWING NO:
TA20001SE

SE-1

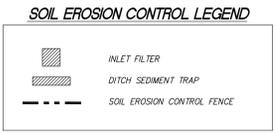


SOIL EROSION CONTROL NOTES:

1. INSTALL SILT FENCE AROUND DEFINED PERIMETER AS SHOWN. INSTALL TREE PROTECTION & CONSTRUCT TEMPORARY CONSTRUCTION ACCESS.
2. CLEAR CURB & STRIP TOPSOIL IN AREAS OF EARTH DISRUPTION.
3. COMPLETE LAND BALANCING OPERATIONS.
4. INSTALL UNDERGROUND UTILITIES & PLACE INLET FILTERS WHERE INDICATED.
5. PERFORM PAVING OPERATIONS, FINE GRADING, LANDSCAPING.
6. EROSION CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL THE LOCAL MUNICIPALITY AND/OR COUNTY GRANTS ITS APPROVAL.
7. EROSION CONTROL MEASURES SHALL BE PERIODICALLY INSPECTED & MAINTAINED WEEKLY & AFTER EVERY STORM EVENT.
8. PERSON(S) RESPONSIBLE FOR THE MAINTENANCE OF ALL SOIL EROSION CONTROL MEASURES: PROJECT OWNER LISTED.
9. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED APPROXIMATELY ACCORDING TO THE FOLLOWING SCHEDULE:
10. PROJECT COMMENCEMENT ON OR ABOUT 9/1/20.

SCHEDULE

- A. INSTALL SILT FENCE AS SHOWN ON PLANS (2-3 DAYS)
- B. STRIP, STOCKPILE TOPSOIL, ROUGH GRADE. (N/A)
- C. INSTALL UNDERGROUND UTILITIES. (N/A)
- D. FINE GRADE SITE, PAVE, LANDSCAPING & ESTABLISH VEGETATION. (6 WEEKS)
- E. CLEAN PAVEMENTS, WALKS, CULVERTS, WATERCOURSES OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH REMOVING ALL TEMPORARY DEVICES. (1 WEEK)
- F. RE-ESTABLISHMENT OF PERMANENT VEGETATION REQUIRED PRIOR TO FINAL BUILDING INSPECTION.



ESTIMATED QUANTITIES THIS SHEET

ITEM	UNIT	QUANTITY
SILT FENCE	LF	590
INLET FILTER	EA	8
TEMP CONST ACCESS DRIVE	EA	1

SOIL TYPES

(FOR SOIL EROSION CONTROL PURPOSES)
62B - Urban Land-Spinks, 0%-8% Slope

(197). SOIL SURVEY OF OAKLAND COUNTY, MICHIGAN

NEAREST WATER COURSE: Plum Brook ±2000 FT
APPRX GROSS ACREAGE DISTURBED = 0.50 ACRE
DOMINANT EX LAND FEATURES: ASPHALT PAVEMENT

SOIL EROSION & SEDIMENTATION CONTROL PLAN

SCALE 1:20

LANDSCAPE PLANTING NOTES:

PLANTING

- Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by the City of Rochester Hills, Michigan.
- The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
- The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
- Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
- Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
- The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
- When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
- Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Perennial beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Only natural color, finely shredded hardwood bark mulch will be accepted.
- Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems. All tree wrap, stakes, and guys are to be removed after one (1) winter season.
- All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
- Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
- All plantings shall be completed no later than November 30 in the fall season. The date of intended installation for landscape plant materials is approximately Spring, 2021. Plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
- Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.

MATERIAL

- Required landscape material shall satisfy the criteria of the *American Association of Nurserymen Standards for Nursery Stock* and be: a.) Northern nursery grown; b.) State Department of Agriculture inspected; c.) No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted); d.) Staked, wrapped, watered, and mulched according to the details provided; and e.) Guaranteed for one (1) year.
- Topsoil shall be friable, fertile soil of clay loam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.

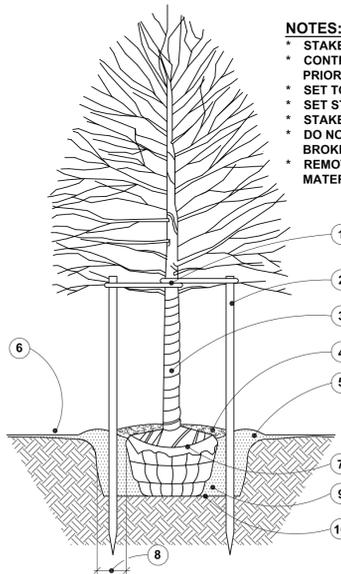
PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
AGR	2	<i>Amelanchier x grandiflora</i> 'Robin Hill'	Robin Hill Single Stem Serviceberry	2" cal. B&B
GBF	3	<i>Gingko biloba</i> 'Fastigiata'	Fastigiata Maidenhair Tree	3" cal. B&B
LSS	1	<i>Liquidambar styraciflua</i> 'Slender Silhouette'	Slender Silhouette American Sweetgum	3" cal. B&B
RAG	14	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	24" ht., 3 gal. pot
CVM	8	<i>Coreopsis verticillata</i> 'Moonbeam'	Moonbeam Threadleaf Coreopsis	1 gal. pot, 24" o.c.
PAB	10	<i>Pennisetum alopecuroides</i> 'Burgandy Bunny'	Burgandy Bunny Dearf Fountain Grass	1 gal. pot, 18" o.c.

NOTES:

- STAKE TREES UNDER FOUR INCH (4") CALIPER.
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- SET TOP OF BALL THREE INCHES (3") ABOVE FINISH GRADE.
- SET STAKES VERTICAL & EVENLY SPACED.
- STAKES OR GUYS TO BE SECURED ABOVE THE FIRST BRANCH.
- DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
- REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE DAMAGE.

- STAKE TREE JUST ABOVE THE FIRST BRANCH USING TWO INCH TO THREE INCH (2"-3") WIDE BELT-LIKE MATERIAL OF FABRIC. (NO WIRE OR HOSE TO BE USED TO GUY TREES.) THREE (3) GUYS EVENLY SPACED PER TREE. REMOVE AFTER ONE (1) WINTER SEASON.
- 2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL.
- APPLY TREE WRAP AND SECURE WITH A BIODEGRADABLE MATERIAL AT TOP AND BOTTOM. REMOVE AFTER ONE (1) WINTER.
- SHREDDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE INCH (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE.
- MOUND TO FORM TREE SAUCER.
- FINISH GRADE SLOPED AWAY FROM TREE.
- CUT AND REMOVE WIRE, BURLAP, AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- WIDTH OF ROOTBALL ON EACH SIDE.
- PLANTING MIXTURE SHALL CONSIST OF 50% TOPSOIL AND 50% SAND.
- SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO FOUR INCH (4") DEPTH.



DECIDUOUS TREE

PLANTING DETAILS

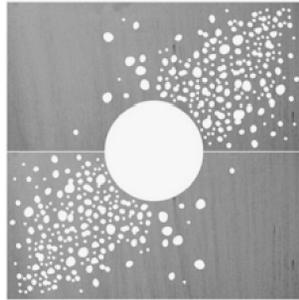
- Proposed perennials shall be full, well-rooted plants.
- Callery Pear (*Pyrus calleryana*) and Norway Maple (*Acer platanoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.
- Cobblestone mulch to consist of two inch to six inch (2"-6") cobbles eight inches deep with geotextile fabric beneath.

GENERAL

- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
- The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
- The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
- All landscape areas shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
- All written dimensions override scale dimensions on the plans.
- All substitutions or deviations from the landscape plan must be approved by the City of Rochester Hills prior to installation.
- All bidders must inspect the site and report any discrepancies to the Owner's representative.
- All specifications are subject to change due to existing conditions.
- The Owner's representative reserves the right to approve all plant material.

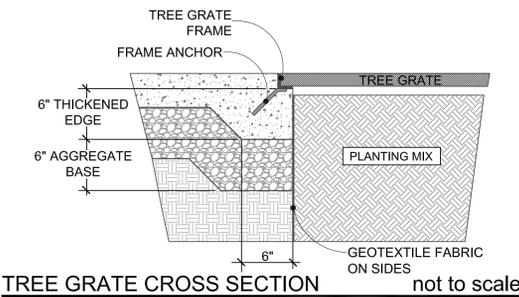
MAINTENANCE

- The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
- All unhealthy, damaged, diseased, and/or dead material shall be removed immediately and replaced within six (6) months after it dies or in the next growing season. The planting season for deciduous plants shall be between March 1 and June 1 and from October 1 until the prepared soil becomes frozen. The planting season for evergreen plants shall be between March 1 and June 1. Plant material installed to replace dead or diseased material shall be as close as practical to the size of the material it is intended to replace. The City may notify property owners of the need to replace dead, damaged, or diseased material.
- The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), watering, and snow removal during winter. Pruning shall be minimal at the time of installation, only to remove dead or diseased branches. Subsequent pruning will assure proper maturation of plants to achieve their approved purpose.
- The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
- Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
- All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
- The approved landscape plan will be considered a permanent record and integral part of the Site Plan Approval. Unless otherwise approved in accordance with the aforementioned procedures, any revisions to or removal of plant materials, or non-compliance with the maintenance requirements in Section 138-12.109 of the City Ordinance will place the parcel in non-conformity with the approved landscape plan and be a violation of the ordinance.



TREE GRATES:

- Streetlife America, L.L.C.: Tree Grille Corten - Cloud of Nuts 59" x 59" square. Match color of existing tree grilles along E. Auburn Road.
- Install according to the Manufacturer's specifications.



TREE GRATE CROSS SECTION not to scale

COST ESTIMATE

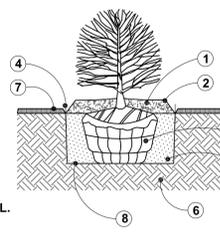
TOTAL MATERIALS SPECIFIED:			
* Deciduous Trees	4	\$350	\$1,400.00
* Ornamental Trees	2	\$200	\$400.00
* Deciduous Shrubs	14	\$50	\$700.00
* Perennials	18	\$15	\$270.00
* Sodded Lawn			\$400.00
* Planting Soil Mix	6 cu. yds.	\$40	\$240.00
* Shredded Hardwood Bark	8 cu. yds.	\$30	\$240.00
* Tree Grates	3	\$800	\$2,400.00
* Underground Irrigation			\$3,000.00
			=====
TOTAL			\$9,050.00

GENERAL NOTES FOR ALL PLANTINGS:

- DO NOT CUT CENTRAL LEADER. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES.
- REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
- PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS.
- CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB. GENTLY TAMP IF NEEDED.

NOTE:

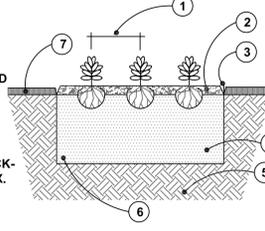
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- THE PLANTING MIXTURE SHALL CONSIST OF 20% TOPSOIL, 60% SAND, AND 20% COMPOST.



SHRUB

NOTE:

- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- PERENNIALS TO BE PLANTED UP TO THE EDGE OF THE SAUCER AROUND A TREE OR SHRUB BED.
- THE PLANTING MIXTURE SHALL CONSIST OF 20% TOPSOIL, 60% SAND, AND 20% COMPOST.

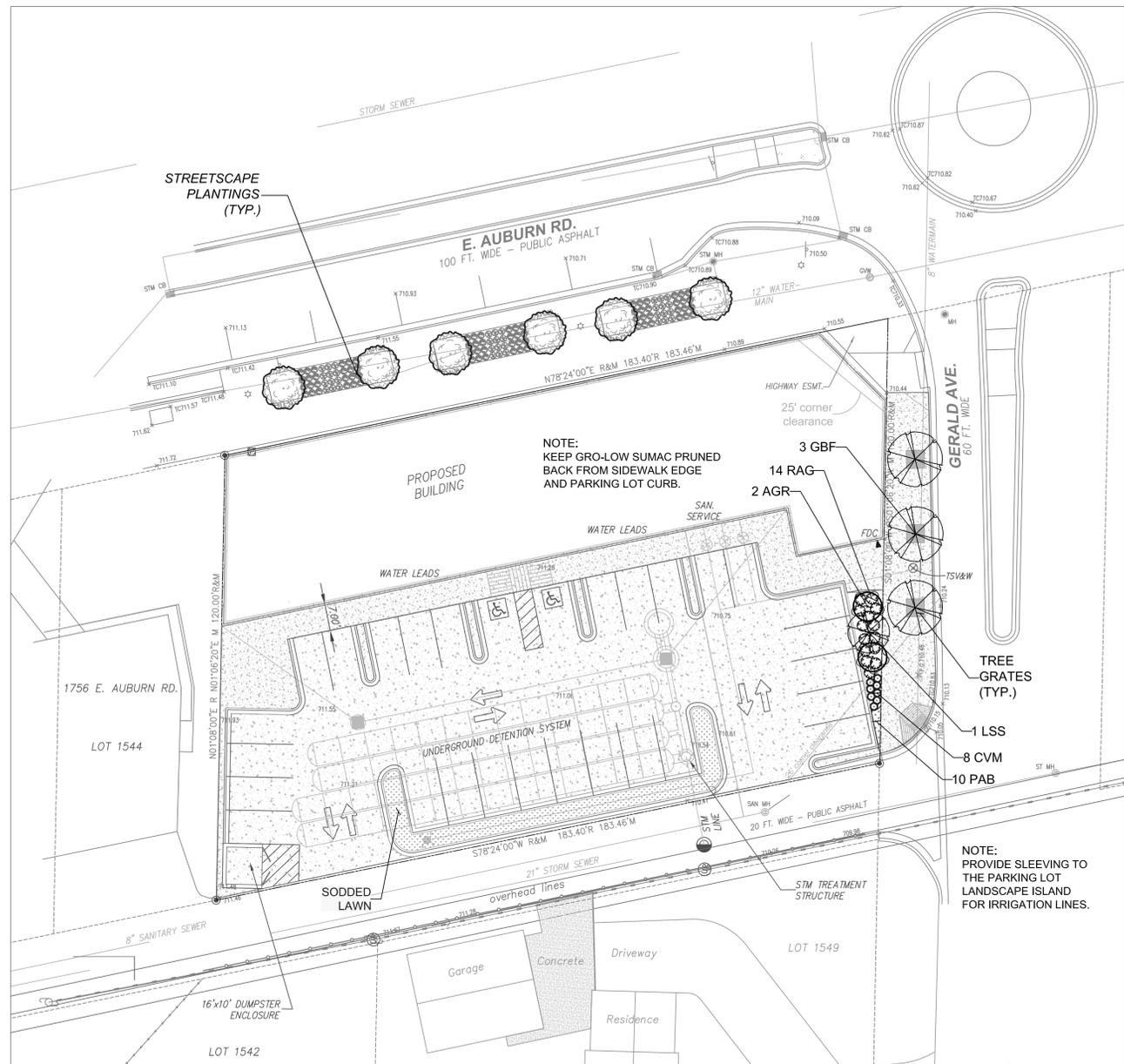


PERENNIAL / GROUNDCOVER

not to scale

CITY OF ROCHESTER HILLS NOTES:

- All landscape areas must be irrigated. An irrigation plan must be submitted prior to Staff approval of the final site plan. Watering will occur only between the hours of 12 a.m. and 5 a.m.
- Prior to the release of the performance bond, the City of Rochester Hills must inspect all landscape plantings.
- Prior approval is required to plant any tree or shrub on the public right-of-way. All trees and shrubs must be planted at least 10' from the edge of the public road. (Trees must be planted at least 15' away from curb or road edge where the speed limit is more than 35mph). Shade trees and shrubs must be planted at least 5' from the edge of the public walkway. Evergreen and ornamental trees must be planted at least 10' from the edge of the public walkway. No tree or shrubs may be planted with the triangular area formed at the intersection of any street right-of-way lines at a distance along each line of 25' from their point of intersection. No trees or shrubs may be planted in the triangular area formed at the intersection of any driveway with a public walkway at a distance along each line of 15' from their midpoint of intersection. All trees and shrubs must be planted at least 10' from any fire hydrant. Shade and evergreen trees must be at least 15' away from the nearest overhead wire. Trees must be planted a minimum of 5' from an underground utility, unless the city's Landscape Architect requires a greater distance.
- Prior to the release of the performance bond, the City of Rochester Hills Forestry Division needs to inspect all trees, existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developerto remove, and possibly replace, any such trees.
- These requirements are incorporated into this plan.



LANDSCAPE PLANTING PLAN

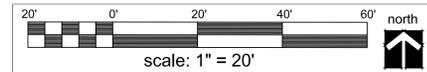
scale: 1" = 20'

LANDSCAPE CALCULATIONS:

- PERIMETER PARKING LOT LANDSCAPING (62 linear feet)
- One (1) deciduous tree for each twenty-five lineal feet (25 l.f.) = 2.48 = 3 trees
 - Four (4) deciduous tree provided
 - One (1) ornamental tree for each thirty-five lineal feet (35 l.f.) = 1.77 = 2 trees
 - Four (4) ornamental trees provided
- RIGHT-OF-WAY LANDSCAPING ALONG GERALD AVENUE (120 lineal feet)
- One (1) deciduous tree for each thirty-five lineal feet (35 l.f.) = 3.4 = 4 trees
 - Three (3) deciduous trees provided
 - One (1) ornamental tree for each sixty lineal feet (60 l.f.) = 2.0 trees
 - Zero (0) ornamental trees provided
- (The tree planting requirements are deficient in quantity by five (5) trees, therefore, a contribution to the City Tree Fund will be made in the amount of \$1,520.)

NOTE:

- SEE ENGINEERING PLANS FOR THE SPECIFICATION OF SITE IMPROVEMENTS, UTILITY LAYOUT, AND SITE MODIFICATIONS. BEFORE IMPLEMENTING THE LANDSCAPE PLAN, REVIEW ALL ENGINEERING DOCUMENTS FOR ANY AMENDMENTS THAT MAY HAVE BEEN COMPLETED AFTER SITE PLAN APPROVAL. IF CONFLICTS OCCUR NOTIFY THE LANDSCAPE ARCHITECT SO APPROPRIATE MODIFICATIONS CAN BE MADE TO THE LANDSCAPE PLANTING PLAN.



scale: 1" = 20'

date: July 29, 2020
 revised:
 10-14-2020 Revise for City review.
 12-10-2020 Revise for utility layout changes & add trees to parking lot island.
 01-09-2021 Revise for City review.
 03-10-2021 Add Arborvitae on adjacent property.
 03-15-2021 Adjust Arborvitae on adjacent property.
 04-14-2021 Change tree grate & remove Arbs.



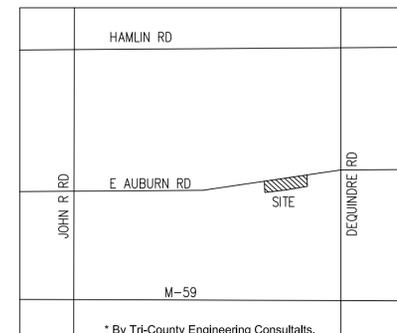
LANDSCAPE PLAN FOR:
 Turk Architects
 1412 East Eleven Mile Road, Suite 2
 Madison Heights, Michigan 48071
 (248) 291-5168

PROJECT LOCATION:
 Zeenat Plaza
 Southwest Corner of
 East Auburn Road &
 Gerald Avenue
 Rochester Hills, Michigan

LANDSCAPE PLAN BY:
 Nagy Devlin Land Design
 31736 West Chicago Ave.
 Livonia, Michigan 48150
 (734) 634-9208



LP - 1: LANDSCAPE PLANTING PLAN
 * Base data provided by Tri-County Engineering Consultalts.
 CITY OF ROCHESTER HILLS FILE NUMBER: 20-022



LOCATION MAP

not to scale

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
PARKING	✕	2.7 fc	9.7 fc	0.3 fc	32.3:1	9.0:1	0.3:1
PL	+	0.1 fc	0.2 fc	0.0 fc	N/A	N/A	0.5:1
SITE	+	0.6 fc	9.7 fc	0.0 fc	N/A	N/A	0.1:1



CNY LED Canopy/Ceiling Luminaire

Specifications

CNY LED P01/P2/P3
10" x 14"

Width: 4.5" x 14"

Height: 10" x 14"

Depth: 5.5ba 13ba

Introduction

The CNY LED canopy luminaires are energy efficient and budget friendly, perfect for replacing up to 400W metal halide luminaires while saving up to 80% energy costs. Quick mount mechanism significantly reduces the installation time. An LED array and translucent lens create uniform and visually comfortable illumination. CNY LED luminaires are DLC Premium listed and deliver quick payback!

Ordering Information

EXAMPLE: CNY LED P1 50K MVOLT DDB

Series	Performance Package	Color Temperature	Wattage	Stock
CNY LED	P1	40K	50W	120-277V
	P2	40K	50W	120-277V
	P3	40K	50W	120-277V

Accessories

1. See ordering tree for details.

FEATURES & SPECIFICATIONS

INTENDED USE: CNY LED luminaires are ideal, energy efficient replacements for up to 400W MH canopy luminaires. The 10" x 14" canopy luminaire is designed for use in parking lots, walkways, loading areas, covered walkways and loading docks.

CONSTRUCTION: CNY LED luminaires feature a heavy-duty aluminum housing with a powder-coated finish for long life. The canopy luminaire is designed for use in parking lots, walkways, loading areas, covered walkways and loading docks.

ELECTRICAL: CNY LED P1/P2/P3 are 10" x 14" canopy luminaires with a 120-277V or 120-277V/50Hz input.

INSTALLATION: CNY LED luminaires are designed for quick and easy installation. The canopy luminaire is designed for use in parking lots, walkways, loading areas, covered walkways and loading docks.



KAXW LED Wall Luminaire

Specifications

KAXW LED P3
10" x 14"

Length: 10"

Width: 14"

Height: 10"

Weight: 1.7 lb

CSA Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.

This luminaire is A+ Certified when ordered with DTL+ controls marked by a **shaded background**. DTL+ equipped luminaires meet the A+ specification for luminaire to photocell interoperability.

This luminaire is part of an A+ Certified solution for ICANET or XSense™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with **shaded background** and control options marked by a **shaded background**.

To learn more about A+, visit www.acuitybrands.com/a+.

1. See ordering tree for details.

Ordering Information

EXAMPLE: KAXW LED P3 40K R3 MVOLT DDBX

Series	Performance Package	Color Temperature	Wattage	Stock
KAXW LED	P3	40K	40W	120-277V
	P4	40K	40W	120-277V
	P5	40K	40W	120-277V

Accessories

1. See ordering tree for details.

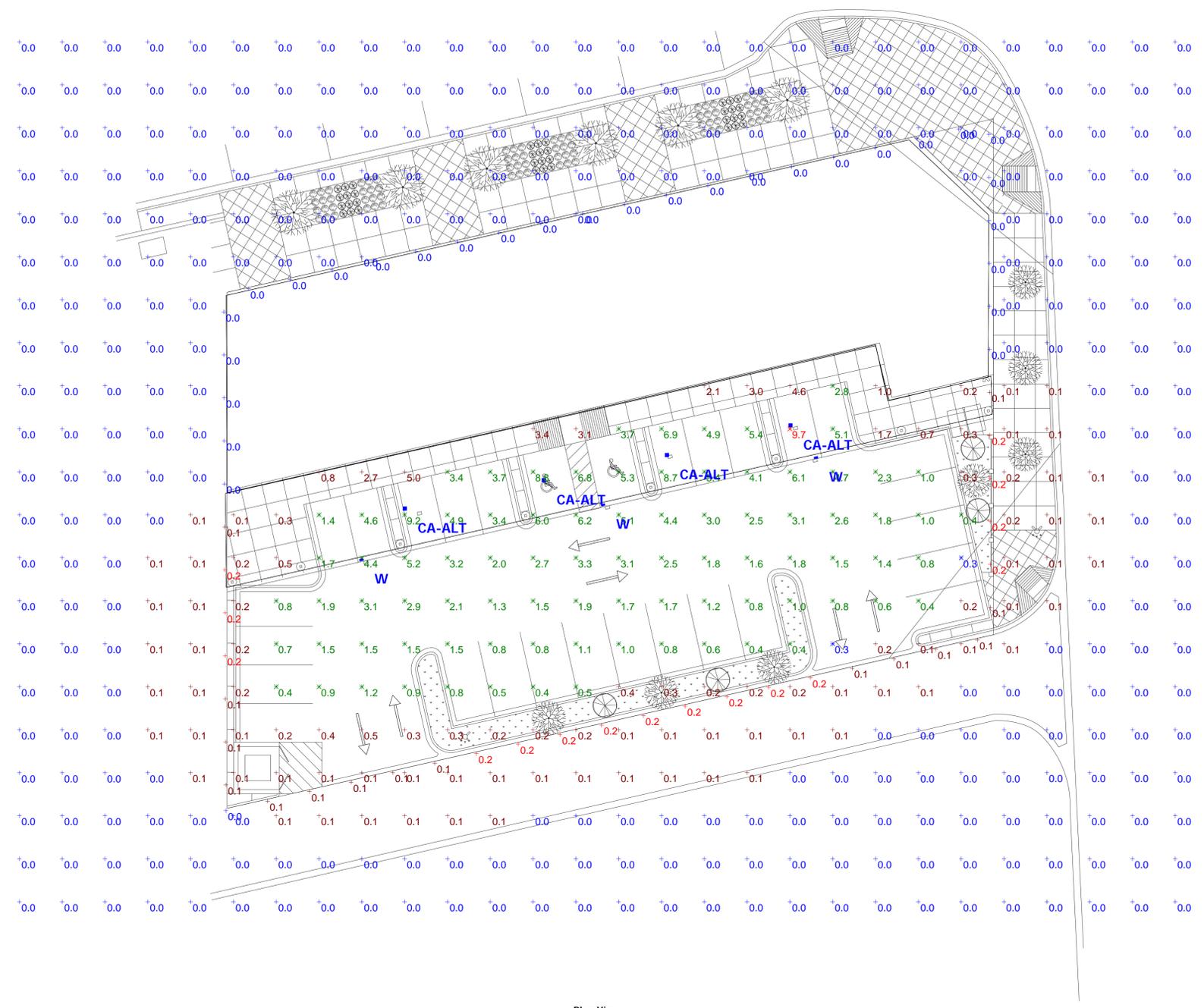
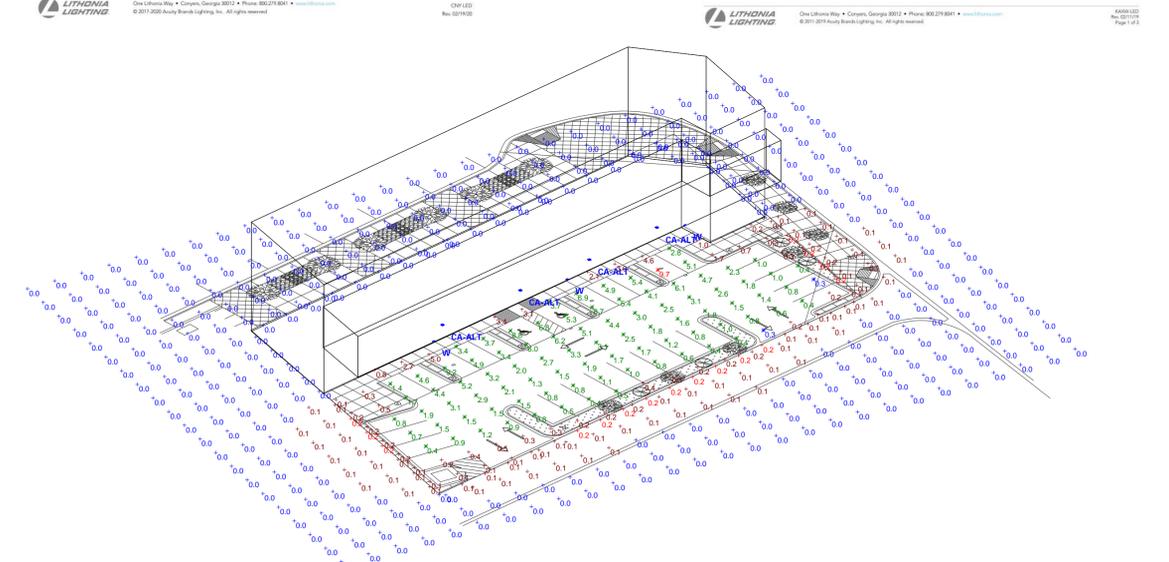
FEATURES & SPECIFICATIONS

INTENDED USE: KAXW LED wall luminaires are ideal for use in parking lots, walkways, loading areas, covered walkways and loading docks.

CONSTRUCTION: KAXW LED wall luminaires feature a heavy-duty aluminum housing with a powder-coated finish for long life. The wall luminaire is designed for use in parking lots, walkways, loading areas, covered walkways and loading docks.

ELECTRICAL: KAXW LED P3/P4/P5 are 10" x 14" wall luminaires with a 120-277V or 120-277V/50Hz input.

INSTALLATION: KAXW LED wall luminaires are designed for quick and easy installation. The wall luminaire is designed for use in parking lots, walkways, loading areas, covered walkways and loading docks.



Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

General Note

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Schedule

Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Mounting Height
W	W	3	KAXW LED P1 40K R4 MVOLT	KAXW LED, PERFORMANCE PACKAGE 1, 4000K, TYPE 4, 120-277V	LED	1	3643	0.9	29	15'
CA-ALT	CA-ALT	4	CNY LED P2 40K MVOLT	CNY LED Canopy P2=6,600lm	LED	168	6601	0.9	51.86	14'

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

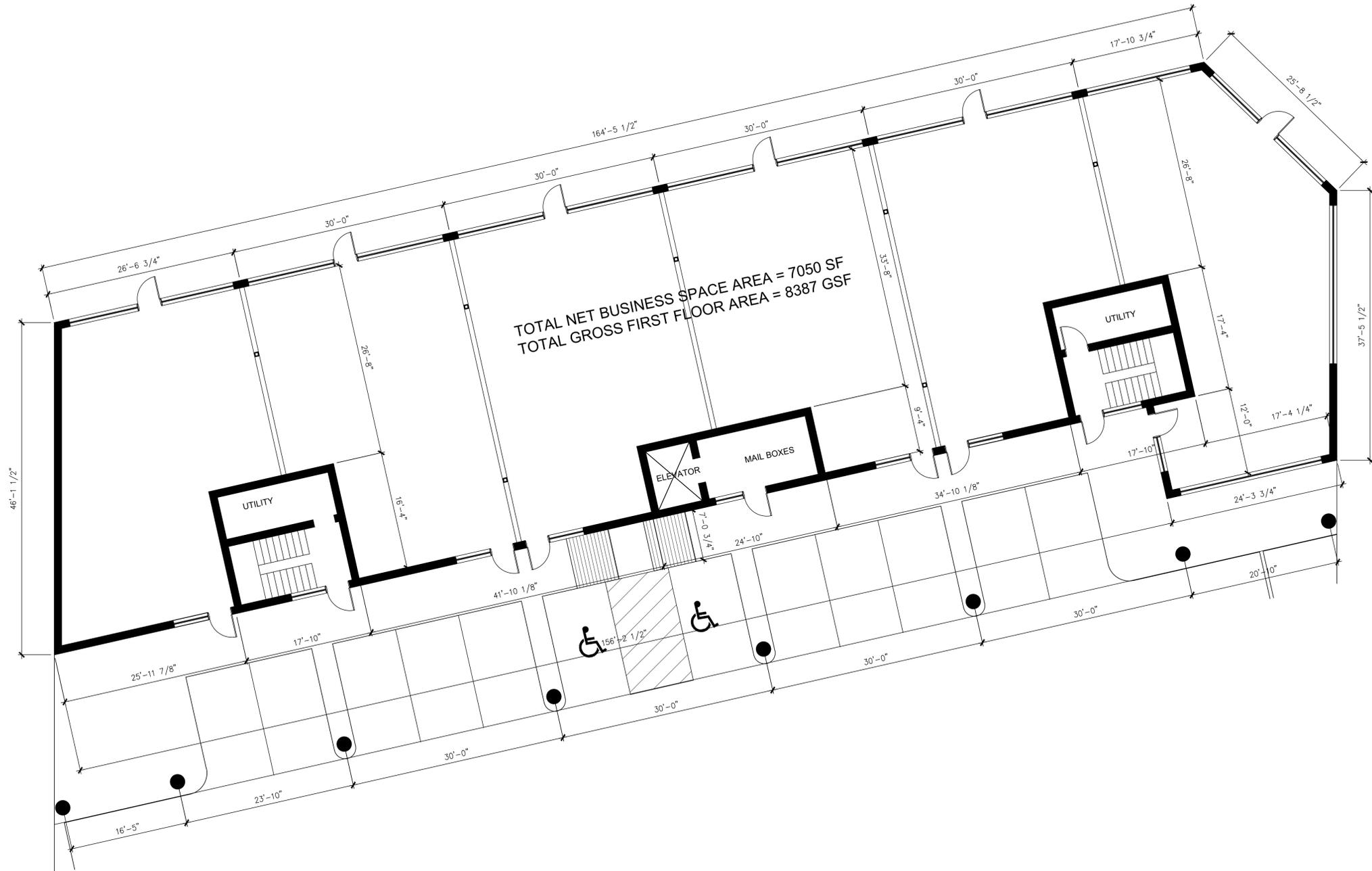
THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.



AUBURN ROAD OFFICE
EXTERIOR PHOTOMETRIC SITE PLAN
PREPARED FOR: IBI
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM

Designer
nae
Date
7/13/2020
REV. 7/16/20
Scale
Not to Scale
Drawing No.
#20-51776 V4
1 of 1



FIRST FLOOR PLAN
 1/8" = 1'-0"

BUILDING DATA		REFERENCE MICHIGAN BUILDING CODE - 2015 (MBC-2015)	
USE GROUP	MIXED USE, NON-SEPARATED		
	ALLOWED (MBC-2015)	PROPOSED	
FIRST FLOOR AREA B (BUSINESS USE GROUP)	27,000 S.F. (MAXIMUM)	GROSS FLOOR AREA =	8387 G.S.F.
		NET BUSINESS SPACE AREA =	7050 S.F.
SECOND FLOOR AREA R-2 (RESIDENTIAL) 6 UNITS: 5 (2 BEDROOM) 1 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA =	12646 G.S.F.
THIRD FLOOR AREA R-2 (RESIDENTIAL) 4 UNITS: 4 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA =	8775 G.S.F.
BUILDING HEIGHT	3 STORIES (MAXIMUM) 60 FEET (MAXIMUM)	3 STORIES 45 FEET	
		TOTAL GROSS FLOOR AREA =	29,808 G.S.F.
TYPE OF CONSTRUCTION : V-B (ALL FLOORS SHALL BE EQUIPPED THROUGHOUT WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1, MBC 2015)			

ADDITIONAL CODE ANALYSIS TO BE ADDRESSED IN CONSTRUCTION DRAWINGS:

1. ACCESSIBLE RESIDENTIAL UNITS SHALL BE PROVIDED PER SECTION 1107, MBC-2015, AND SHALL COMPLY WITH A117.1.2009, SECTION 1004 FOR TYPE B UNITS.
2. BALCONY PROJECTIONS SHALL COMPLY WITH SECTION 705.2, 3202.3.3, MBC-2015.

PLANNING COMMISSION	01/05/2021
SITE PLAN COMMENTS -2	11/03/2020
SITE PLAN COMMENTS	10/12/2020
SITE PLAN APPLICATION	08/06/2020
CONCEPT MEETING	06/08/2020
OWNER REVIEW	05/25/2020
ISSUED FOR	DATE

FIRST FLOOR PLAN **A-01**

ZEENAT PLAZA
CITY FILE #20-022, SECTION 36
 LOT # 1545 - 1548 AUBURN ROAD
 ROCHESTER HILLS, MI 48307 **18007**

Turk Architects
Architects Planners Engineers

6340 PEACOCK DRIVE
 TROY, MI 48065
 T: 248-291-5168 (O)
 248-521-0961 (C)
 E: turkarchitects@gmail.com

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SECOND FLOOR PLAN
1/8" = 1'-0"

BUILDING DATA		REFERENCE MICHIGAN BUILDING CODE - 2015 (MBC-2015)	
USE GROUP	MIXED USE, NON-SEPARATED	ALLOWED (MBC-2015)	PROPOSED
FIRST FLOOR AREA B (BUSINESS USE GROUP)	27,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 8387 G.S.F. NET BUSINESS SPACE AREA = 7050 S.F.	
SECOND FLOOR AREA R-2 (RESIDENTIAL) 6 UNITS: 5 (2 BEDROOM) 1 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 12646 G.S.F.	
THIRD FLOOR AREA R-2 (RESIDENTIAL) 4 UNITS: 4 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 8775 G.S.F.	
BUILDING HEIGHT	3 STORIES (MAXIMUM) 60 FEET (MAXIMUM)	3 STORIES 45 FEET	
		TOTAL GROSS FLOOR AREA = 29,808 G.S.F.	
TYPE OF CONSTRUCTION : V-B (ALL FLOORS SHALL BE EQUIPPED THROUGHOUT WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1, MBC 2015)			

ADDITIONAL CODE ANALYSIS TO BE ADDRESSED IN CONSTRUCTION DRAWINGS:

1. ACCESSIBLE RESIDENTIAL UNITS SHALL BE PROVIDED PER SECTION 1107, MBC-2015, AND SHALL COMPLY WITH A117.1.2009, SECTION 1004 FOR TYPE B UNITS.
2. BALCONY PROJECTIONS SHALL COMPLY WITH SECTION 705.2.3202.3.3, MBC-2015.

PLANNING COMMISSION	01/05/2021
SITE PLAN COMMENTS -2	11/03/2020
SITE PLAN COMMENTS	10/12/2020
SITE PLAN APPLICATION	08/06/2020
CONCEPT MEETING	06/08/2020
OWNER REVIEW	05/25/2020
ISSUED FOR	DATE

SECOND FLOOR PLAN		A-02
ZEENAT PLAZA		
CITY FILE #20-022, SECTION 36		
LOT # 1545 - 1548 AUBURN ROAD ROCHESTER HILLS, MI 48307		
		18007

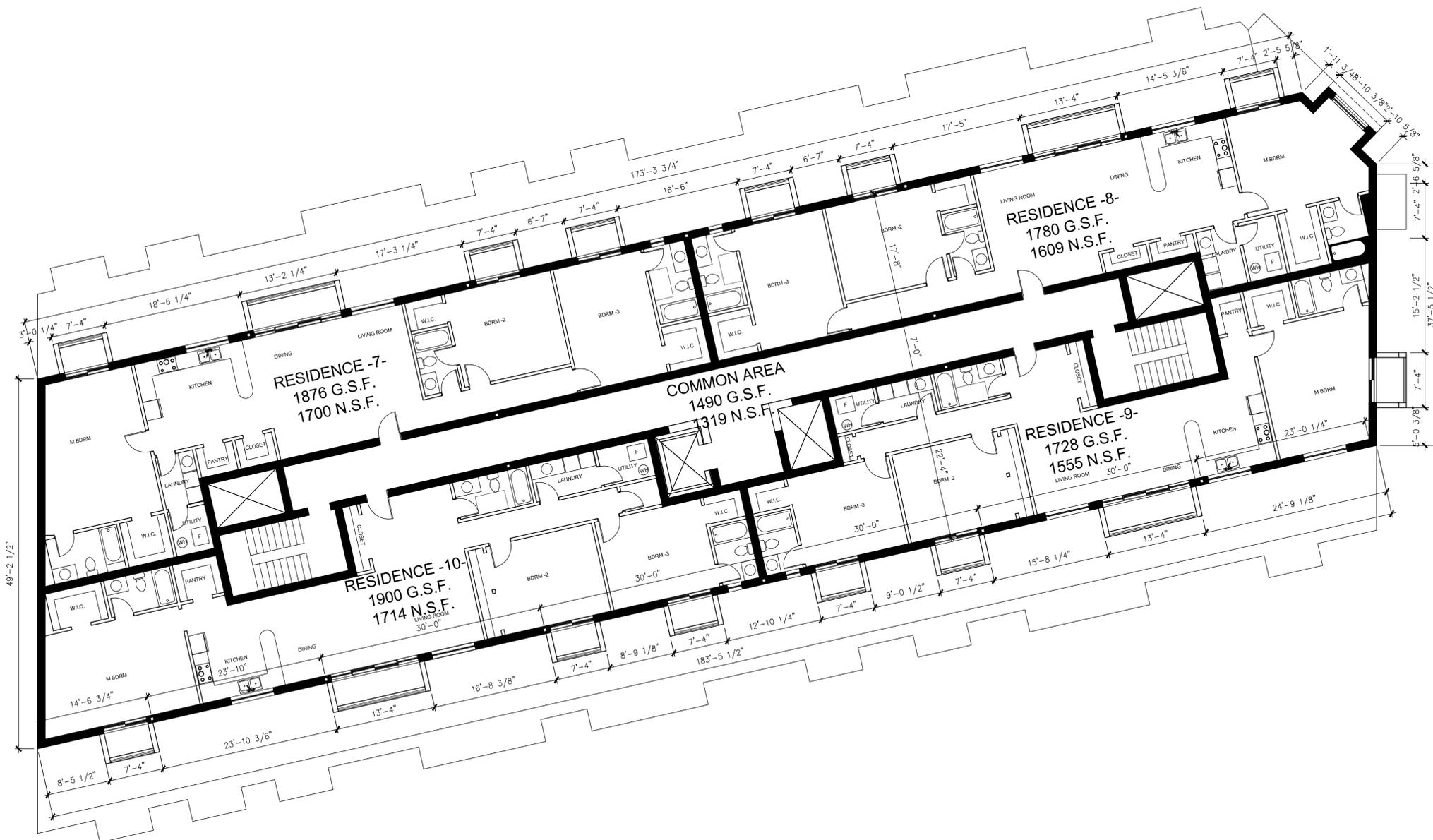
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Architects Planners Engineers

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E: turkarchitects@gmail.com

STATE OF MICHIGAN
HISHAM AL TURK
ARCHITECT
No. 1301052206
10/05/2021

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THIRD FLOOR PLAN
1/8" = 1'-0"

BUILDING DATA		REFERENCE MICHIGAN BUILDING CODE - 2015 (MBC-2015)	
USE GROUP	MIXED USE, NON-SEPARATED		
	ALLOWED (MBC-2015)	PROPOSED	
FIRST FLOOR AREA B (BUSINESS USE GROUP)	27,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 8387 G.S.F. NET BUSINESS SPACE AREA = 7050 S.F.	
SECOND FLOOR AREA R-2 (RESIDENTIAL) 6 UNITS: 5 (2 BEDROOM) 1 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 12646 G.S.F.	
THIRD FLOOR AREA R-2 (RESIDENTIAL) 4 UNITS: 4 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 8775 G.S.F.	
BUILDING HEIGHT	3 STORIES (MAXIMUM) 60 FEET (MAXIMUM)	3 STORIES 45 FEET	
		TOTAL GROSS FLOOR AREA = 29,808 G.S.F.	
TYPE OF CONSTRUCTION : V-B (ALL FLOORS SHALL BE EQUIPPED THROUGHOUT WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1, MBC 2015)			

ADDITIONAL CODE ANALYSIS TO BE ADDRESSED IN CONSTRUCTION DRAWINGS:

1. ACCESSIBLE RESIDENTIAL UNITS SHALL BE PROVIDED PER SECTION 1107, MBC-2015, AND SHALL COMPLY WITH A117.1.2009, SECTION 1004 FOR TYPE B UNITS.
2. BALCONY PROJECTIONS SHALL COMPLY WITH SECTION 705.2, 3202.3.3, MBC-2015.

PLANNING COMMISSION	01/05/2021
SITE PLAN COMMENTS -2	11/03/2020
SITE PLAN COMMENTS	10/12/2020
SITE PLAN APPLICATION	08/06/2020
CONCEPT MEETING	06/08/2020
OWNER REVIEW	05/25/2020
ISSUED FOR	DATE

THIRD FLOOR PLAN A-03

ZEENAT PLAZA
CITY FILE #20-022, SECTION 36

LOT # 1545 - 1548 AUBURN ROAD
ROCHESTER HILLS, MI 48307

18007

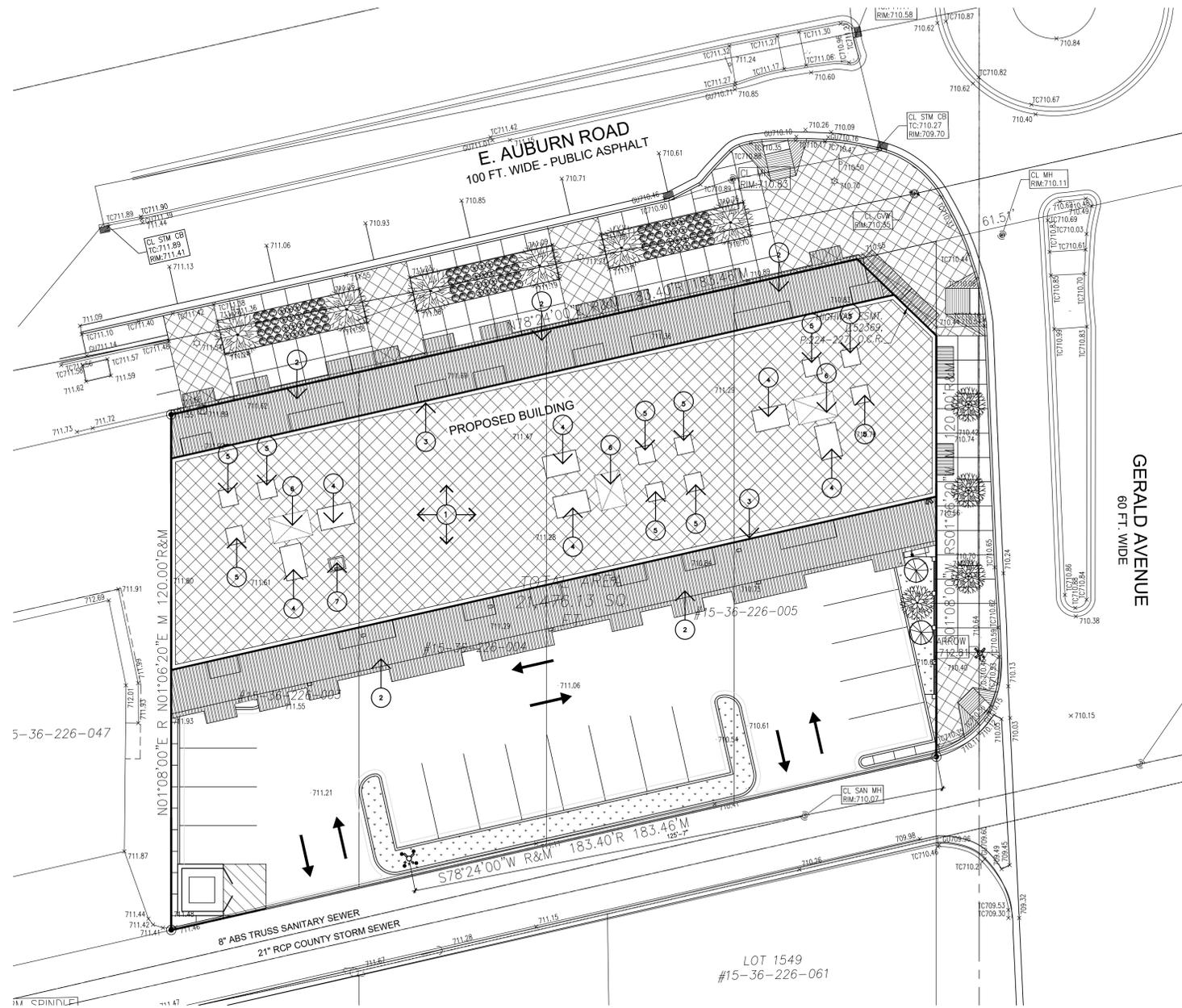
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HISHAM AL TURK
ARCHITECT
No. 1301052206

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01/05/2021



PROPOSED ROOF PLAN
1/16" = 1'-0"

BUILDING DATA		REFERENCE MICHIGAN BUILDING CODE - 2015 (MBC-2015)	
USE GROUP	MIXED USE, NON-SEPARATED	ALLOWED (MBC-2015)	PROPOSED
FIRST FLOOR AREA B (BUSINESS USE GROUP)	27,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 8387 G.S.F.	NET BUSINESS SPACE AREA = 7050 S.F.
SECOND FLOOR AREA R-2 (RESIDENTIAL) 6 UNITS: 5 (2 BEDROOM) 1 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 12646 G.S.F.	
THIRD FLOOR AREA R-2 (RESIDENTIAL) 4 UNITS: 4 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 8775 G.S.F.	
BUILDING HEIGHT	3 STORIES (MAXIMUM) 60 FEET (MAXIMUM)	3 STORIES 45 FEET	
		TOTAL GROSS FLOOR AREA = 29,808 G.S.F.	
TYPE OF CONSTRUCTION : V-B (ALL FLOORS SHALL BE EQUIPPED THROUGHOUT WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1, MBC 2015)			

ADDITIONAL CODE ANALYSIS:

1. ACCESSIBLE RESIDENTIAL UNITS SHALL BE PROVIDED PER SECTION 1107, MBC-2015, AND SHALL COMPLY WITH A117.1.2009, SECTION 1004 FOR TYPE B UNITS.
2. BALCONY PROJECTIONS SHALL COMPLY WITH SECTION 705.2, 3202.3.3, MBC-2015.

DRAWING NOTES:

1. FULLY ADHERED EPDM ROOFING MEMBRANE ON 3" RIGID INSULATION BOARD.
2. STANDING SEAM METAL ROOF.
3. 3' FEET HIGH PARAPET.
4. HVAC ROOF TOP UNIT.
5. COOLING CONDENSER UNIT.
6. MECHANICAL SHAFT LOCATION.
7. ROOF ACCESS HATCH LOCATION.

FIRE DEPARTMENT NOTES:

1. AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3, MICHIGAN BUILDING CODE - 2015, SHALL BE PROVIDED THROUGHOUT THE BUILDING.
2. A KNOX KEY SYSTEM SHALL BE INSTALLED IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE FROM THE KNOX COMPANY AT knoxbox.com.
3. FIRE LANES SHALL BE DESIGNED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 503.
4. CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14.
5. OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.6.2.3.
6. FIRE DEPARTMENT CONNECTIONS SHALL NOT BE OBSCURED OR OBSTRUCTED BY LANDSCAPING, PARKING OR BY ANY OTHER PERMANENT OR TEMPORARY MATERIALS OR DEVICE.
7. IF FIRE DEPARTMENT CONNECTION IS NOT LOCATED ON THE STREET FRONT OF THE BUILDING, A WHITE/CLEAR STROBE LIGHT SHALL BE TIED INTO THE FIRE ALARM SYSTEM AND INSTALLED OVER THE FIRE DEPARTMENT CONNECTION.
8. PROVIDE A "NO PARKING FIRE DEPARTMENT CONNECTION" SIGN OVER THE FIRE DEPARTMENT CONNECTION.
9. CLASS I STANDPIPE SYSTEM SHALL BE INSTALLED IN THE STAIRWELLS OF THE PROPOSED BUILDING IN LIEU OF FIRE APPARATUS ACCESS.
10. A NEW FIRE HYDRANT SHALL BE INSTALLED AT THE SOUTH WEST SIDE OF THE PROPERTY. (REFER TO DRAWING NOTE 11 FOR LOCATION OF THE NEW FIRE HYDRANT)

PLANNING COMMISSION	01/05/2021
SITE PLAN COMMENTS -2	11/03/2020
SITE PLAN COMMENTS	10/12/2020
SITE PLAN APPLICATION	08/06/2020
CONCEPT MEETING	06/08/2020
OWNER REVIEW	05/25/2020
ISSUED FOR	DATE

ROOF PLAN A-04

ZEEENAT PLAZA
CITY FILE #20-022, SECTION 36

LOT # 1545 - 1548 AUBURN ROAD
ROCHESTER HILLS, MI 48307

18007

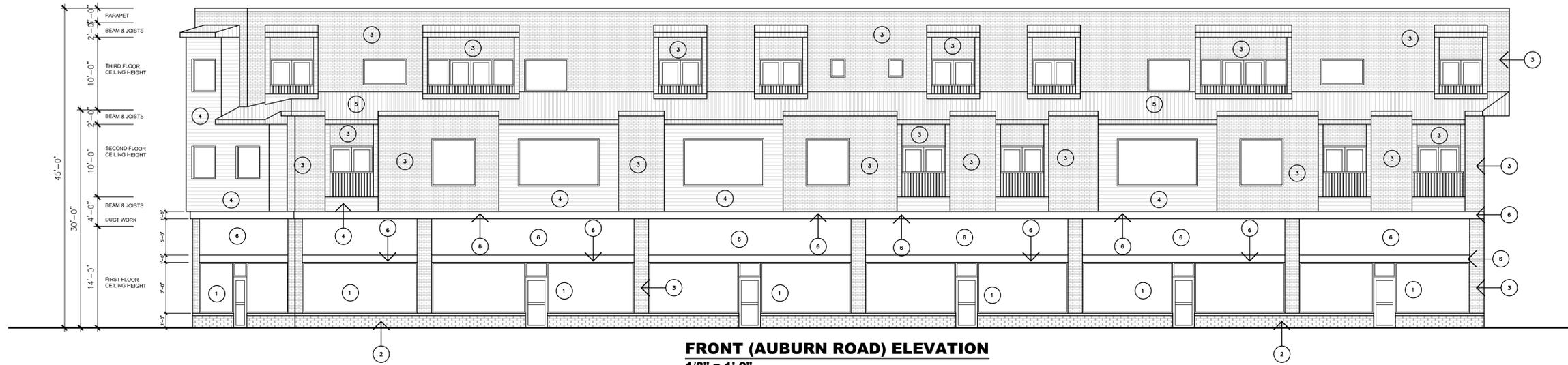
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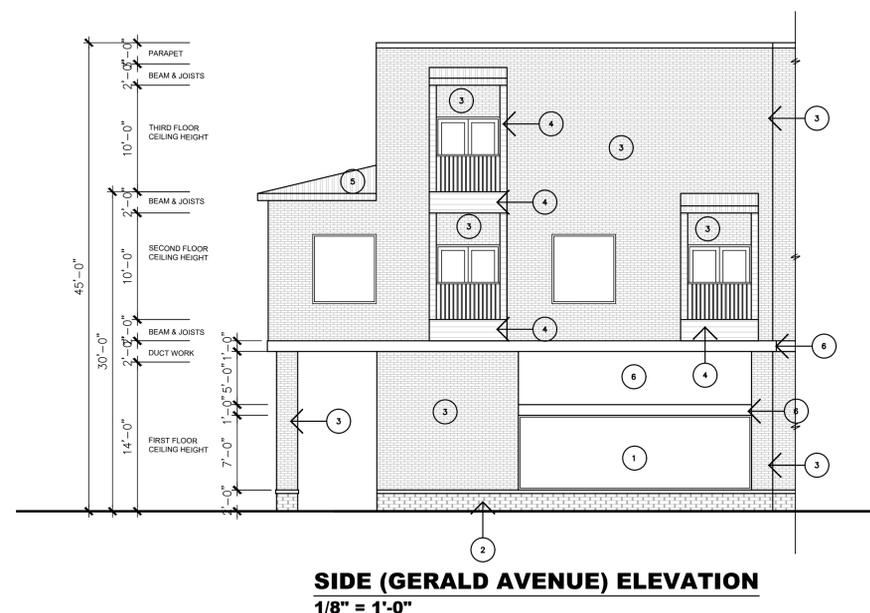
STATE OF MICHIGAN
HISHAM AL TURK
ARCHITECT
No. 1301052206
1/16/2021

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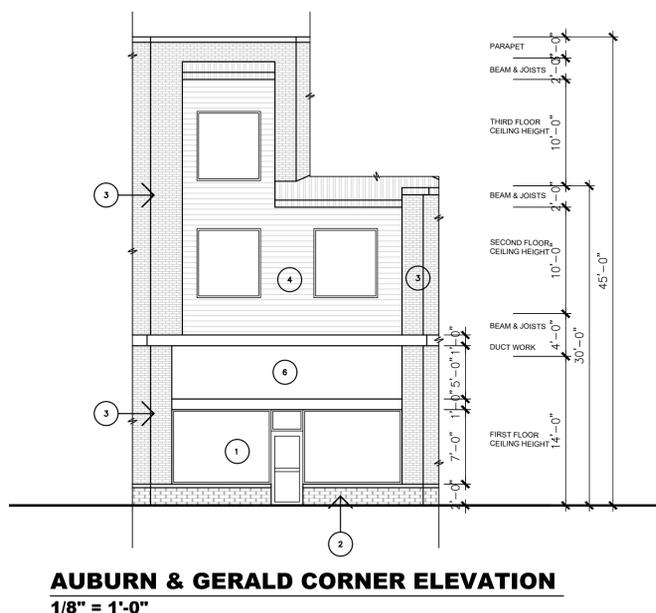
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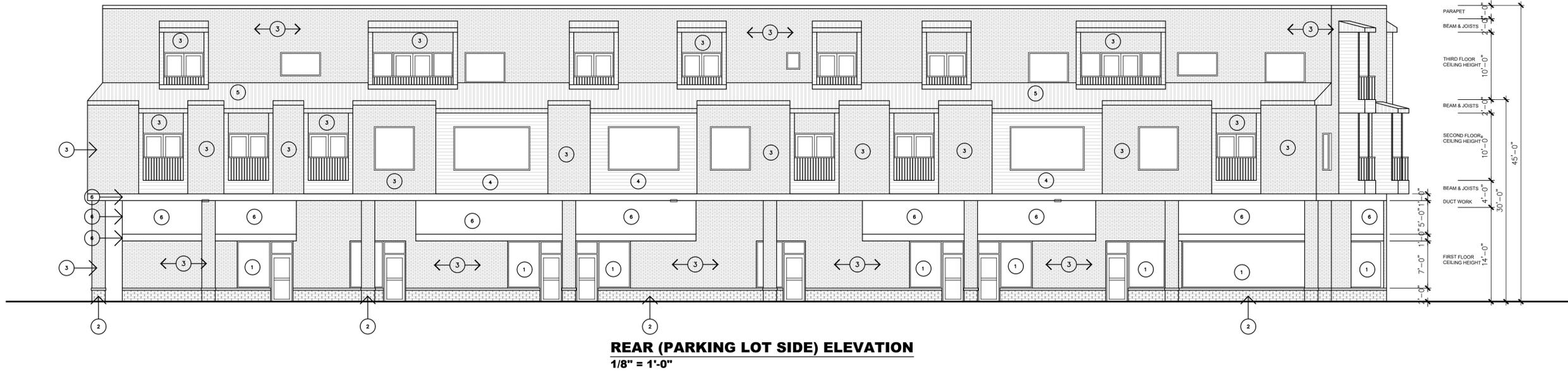
FRONT (AUBURN ROAD) ELEVATION
1/8" = 1'-0"



SIDE (GERALD AVENUE) ELEVATION
1/8" = 1'-0"



AUBURN & GERALD CORNER ELEVATION
1/8" = 1'-0"



REAR (PARKING LOT SIDE) ELEVATION
1/8" = 1'-0"

GENERAL NOTES:

- ALL NEW SIGNAGE MUST MEET CHAPTER 134 OF THE CITY CODE OF ORDINANCES AND BE APPROVED UNDER A SEPARATE PERMIT ISSUED BY THE BUILDING DEPARTMENT.

FACADE TRANSPARENCY NOTES:

- WINDOW GLAZING SHALL BE CLEAR WITH A VISIBLE LIGHT TRANSMITTANCE OF NOT LESS THAN 65% (0.65) ON GROUND FLOOR, PER GLASS MANUFACTURER SPECIFICATIONS.
- PROPOSED FACADE TRANSPARENCY AT GROUND FLOOR RETAIL USE (NON-RESIDENTIAL), ON AUBURN ROAD AND GERALD AVENUE, MEASURED BETWEEN 2 FEET AND 8 FEET ABOVE GARDE IS 85.7% (MINIMUM 70% REQUIRED).
- WINDOW GLAZING SHALL BE CLEAR WITH A VISIBLE LIGHT TRANSMITTANCE OF NOT LESS THAN 45% (0.45) ON SECOND AND THIRD FLOORS, PER GLASS MANUFACTURER SPECIFICATIONS.
- PROPOSED FACADE TRANSPARENCY AT SECOND FLOOR RESIDENTIAL USE, ON AUBURN ROAD AND GERALD AVENUE, MEASURED FROM FLOOR TO FLOOR IS 34% (MINIMUM 20% REQUIRED).
- PROPOSED FACADE TRANSPARENCY AT THIRD FLOOR RESIDENTIAL USE, ON AUBURN ROAD AND GERALD AVENUE, MEASURED FROM FLOOR TO FLOOR IS 27% (MINIMUM 20% REQUIRED).

BUILDING MATERIAL NOTES:

- STORE FRONT WINDOWS AT GROUND FLOOR RETAIL SPACES.
 - STONE VENEER TOPPED WITH LIME STONE CAP.
 - BRICK VENEER.
 - COMPOSITE PANEL SYSTEM.
 - METAL ROOFING.
 - METAL PANEL SYSTEM.
- COVERAGE PERCENTAGE OF BUILDING FACADE MATERIALS AT AUBURN ROAD AND GERALD AVENUE COMBINED, BASED ON EXTERIOR WALL SURFACE AREA, EXCLUDING WINDOWS AND DOORS, ARE:
- PRIMARY BUILDING MATERIALS (BRICK VENEER, STONE VENEER AND COMPOSITE PANEL SYSTEM) ARE COVERING 65% OF THE EXTERIOR WALL SURFACE AREA. (REQUIRED MINIMUM OF 60%).
 - ACCENT BUILDING MATERIALS (METAL PANEL SYSTEM AND METAL ROOFING) ARE COVERING 35% OF THE EXTERIOR WALL SURFACE AREA. (REQUIRED MAXIMUM OF 40%).

PLANNING COMMISSION	01/05/2021
SITE PLAN COMMENTS -2	11/03/2020
SITE PLAN COMMENTS	10/12/2020
SITE PLAN APPLICATION	08/06/2020
CONCEPT MEETING	06/08/2020
OWNER REVIEW	05/25/2020
ISSUED FOR	DATE

BUILDING ELEVATIONS	A-05
ZEENAT PLAZA	
CITY FILE #20-022, SECTION 36	
LOT # 1545 - 1548 AUBURN ROAD	
ROCHESTER HILLS, MI 48307	
	18007

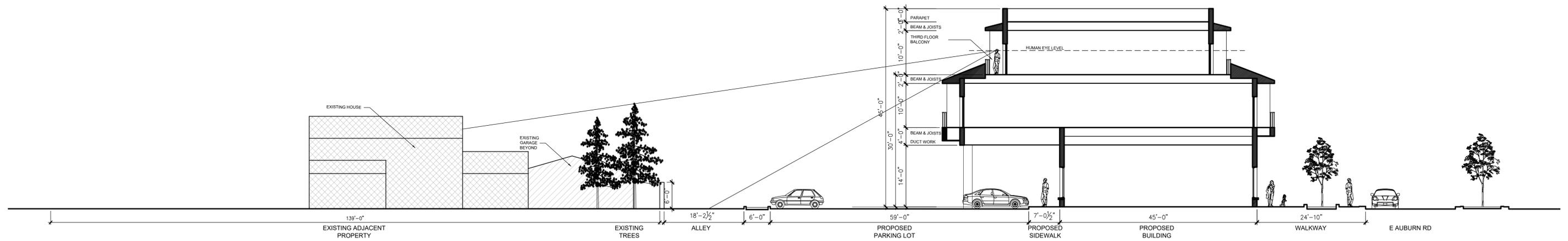
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SITE SECTION
3/32" = 1'-0"



VIEW FROM GERALD AVE TOWARD E AUBURN RD



VIEW FROM E AUBURN RD TOWARD GERALD AVE

PLANNING COMMISSION	01/05/2021
SITE PLAN COMMENTS -2	11/03/2020
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SITE SECTION	A-06
ZEENAT PLAZA	
CITY FILE #20-022, SECTION 36	
LOT # 1545 - 1548 AUBURN ROAD	
ROCHESTER HILLS, MI 48307	
	18007

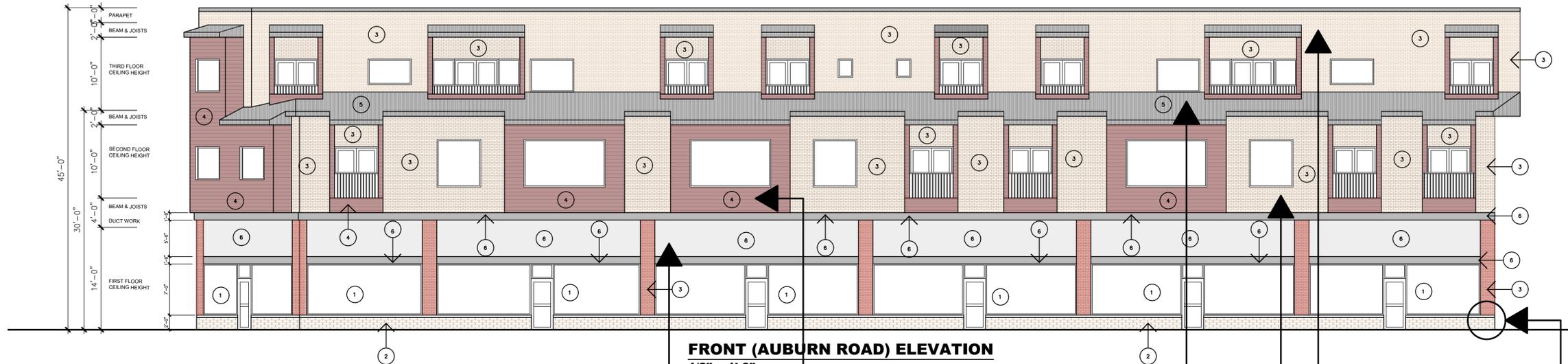
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FRONT (AUBURN ROAD) ELEVATION
1/8" = 1'-0"

GENERAL NOTES:

- ALL NEW SIGNAGE MUST MEET CHAPTER 134 OF THE CITY CODE OF ORDINANCES AND BE APPROVED UNDER A SEPARATE PERMIT ISSUED BY THE BUILDING DEPARTMENT.

FACADE TRANSPARENCY NOTES:

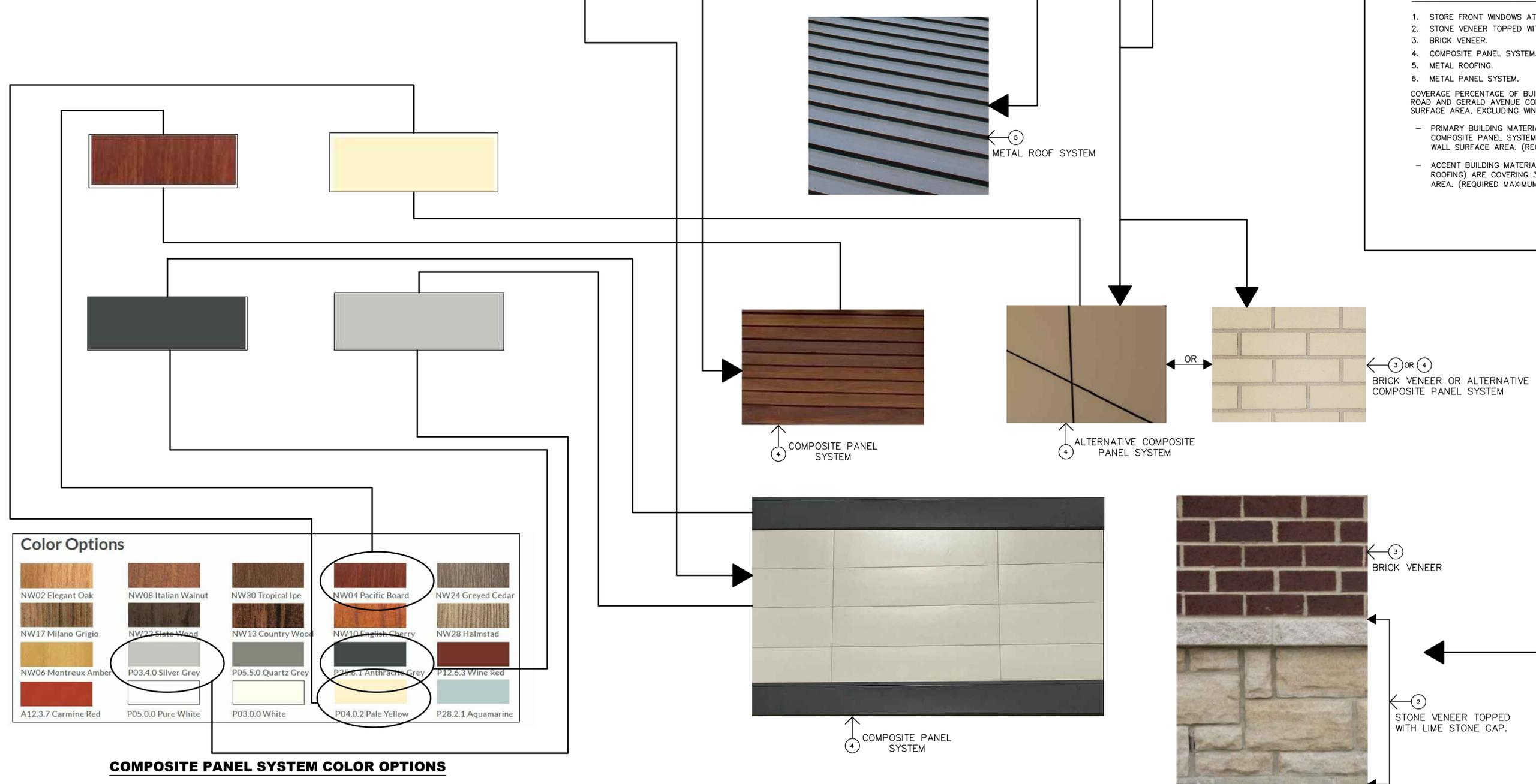
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- METAL PANEL SYSTEM.

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Color Options

NW02 Elegant Oak	NW08 Italian Walnut	NW30 Tropical Ipe	NW04 Pacific Board	NW24 Greyed Cedar
NW17 Milano Grigio	NW22 Slate Wood	NW13 Country Wood	NW10 English Cherry	NW28 Halmstad
NW06 Montreux Amber	P03.4.0 Silver Grey	P05.5.0 Quartz Grey	P25.8.1 Anthracite Grey	P12.6.3 Wine Red
A12.3.7 Carmine Red	P05.0.0 Pure White	P03.0.0 White	P04.0.2 Pale Yellow	P28.2.1 Aquamarine

COMPOSITE PANEL SYSTEM COLOR OPTIONS

PLANNING COMMISSION	02/01/2021
PLANNING COMMISSION	01/05/2021
SITE PLAN COMMENTS -2	11/03/2020
SITE PLAN COMMENTS	10/12/2020
SITE PLAN APPLICATION	08/06/2020
CONCEPT MEETING	06/08/2020
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BUILDING ELEVATIONS MATERIAL BOARD A-07

ZEENAT PLAZA
CITY FILE #20-022, SECTION 36

LOT # 1545 - 1548 AUBURN ROAD
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