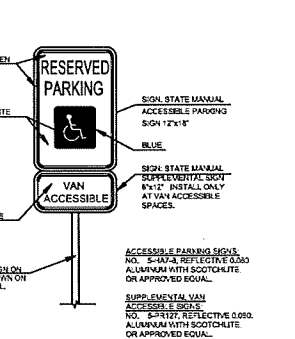
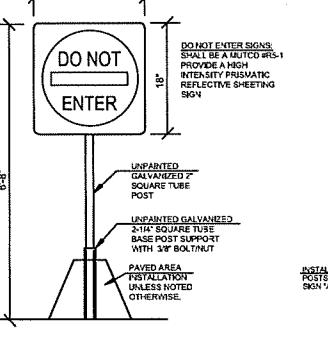
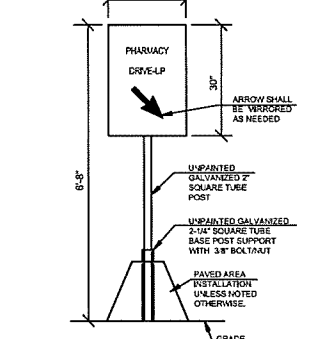
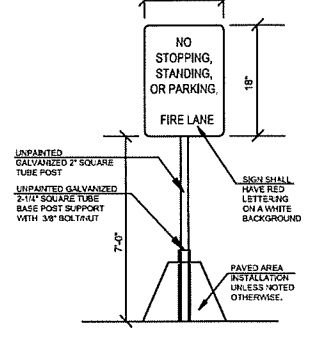
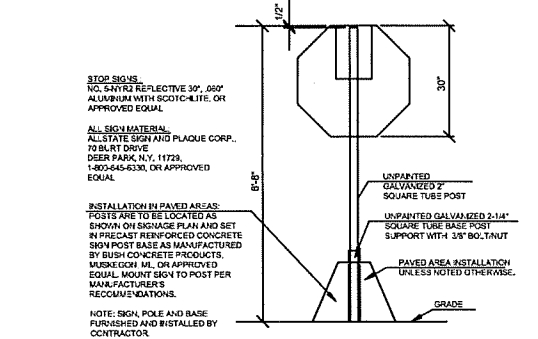
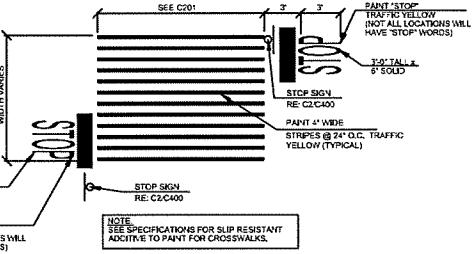
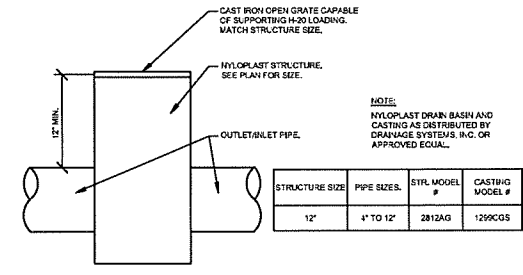
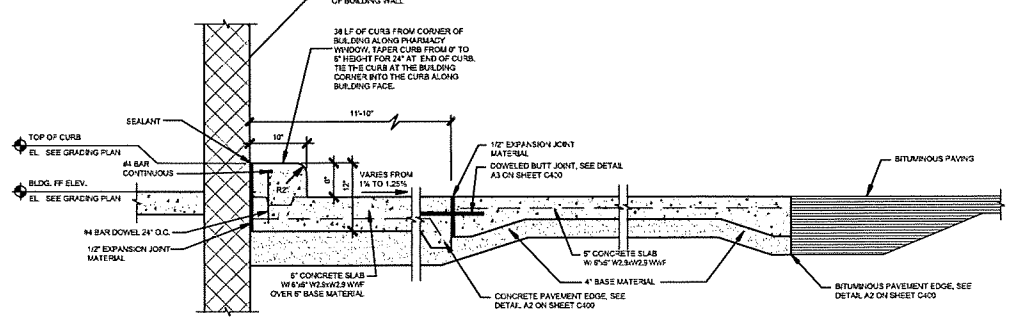
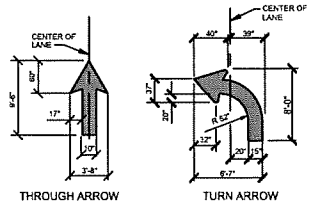


CASTING TYPE	CATALOG NUMBER	DESCRIPTION	PLAN VIEW	SECTION VIEW
M	NEENH EST. JORDAN	ADA GRATE OPEN W/ FISH LOGO		

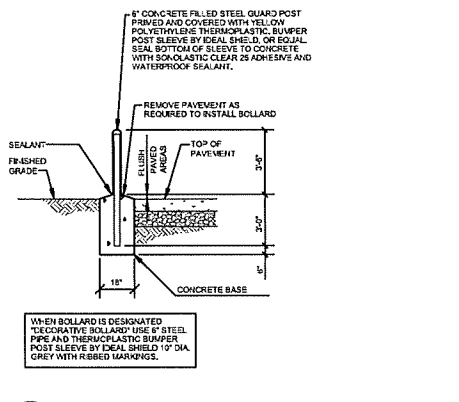
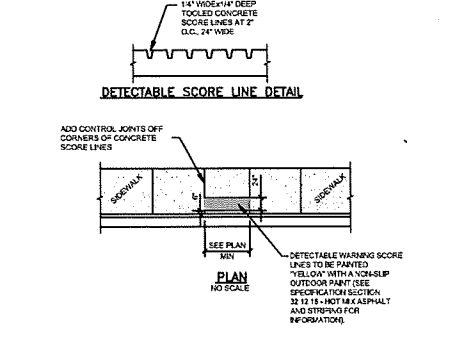
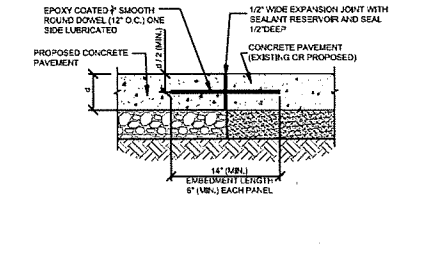
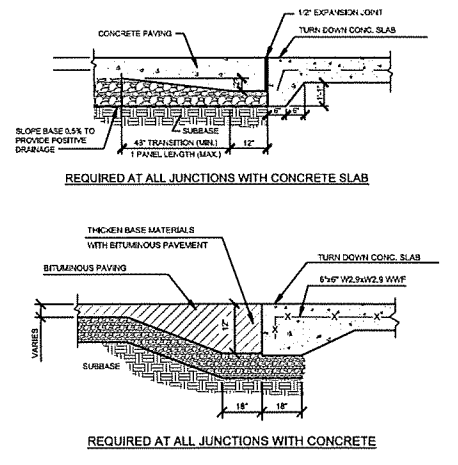
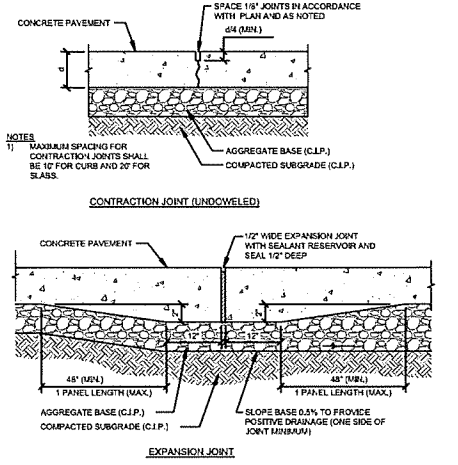
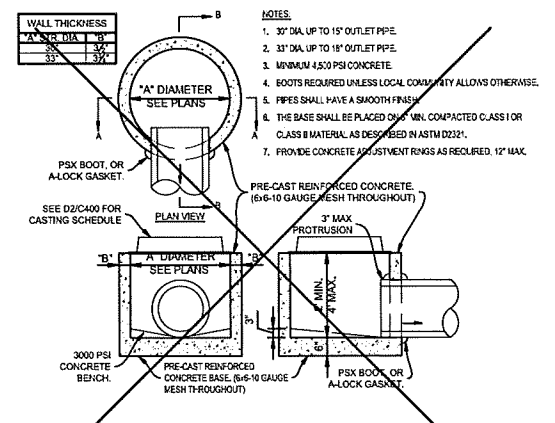
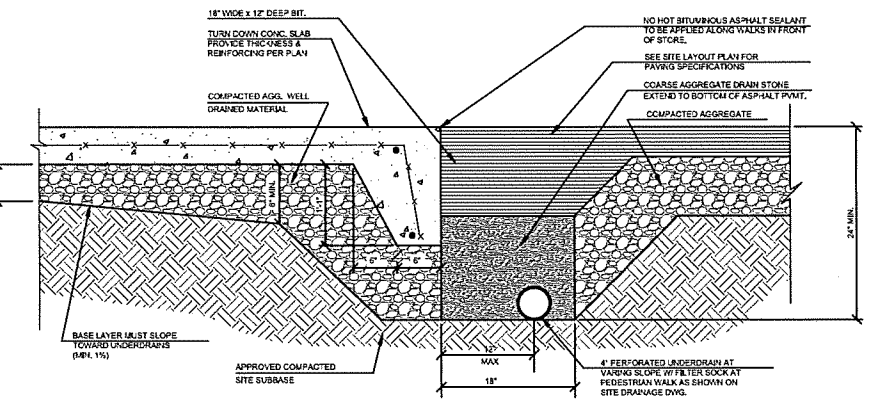
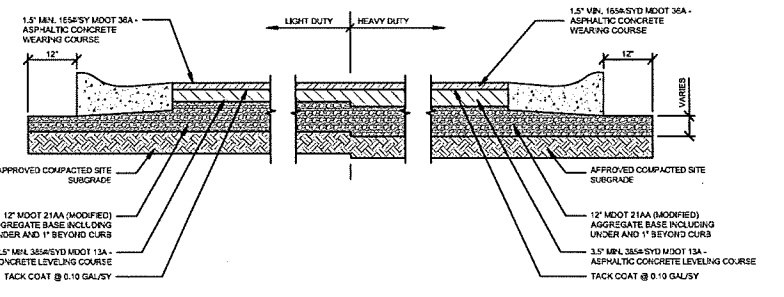
NOTES:  
 1. CASTINGS SPECIFIED, OR APPROVED EQUAL.  
 2. ALL BEARING SURFACES TO BE MACHINED.  
 3. COMPLY WITH ASTM A48-83 CLASS 30.  
 \*WHEN USED WITH STORM INLET, CONTRACTOR TO VERIFY IF A SPECIAL ORDER CASTING IS NEEDED TO PROVIDE SUFFICIENT SUPPORT.

**D1 CASTING SCHEDULE**  
 NTS  
**NOT USED**



**C2 TRAFFIC CONTROL SIGNAGE**  
 NTS

- NOTES:
- ALL ITEM NUMBERS REFER TO STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - THE SURFACE FOR BOTH TYPES CAN BE COMPLETED AT THE SAME TIME. ALL PAVEMENT JOINTS SHOULD BE SQUARE WITHOUT FEATHERING.
  - SEE SPECIFICATIONS FOR INDICATIONS TO STANDARD BITUMINOUS D.O.T. MIXES.
  - ANY EXISTING PAVEMENT REMOVED SHALL BE SAWCUT FULL DEPTH AND RESTORED TO MATCH THE EXISTING PAVEMENT CROSS SECTION WITH THE CROSS SECTION SHOWN IN THIS DETAIL AS A MINIMUM.
  - AFTER BITUMINOUS PAVEMENT HAS BEEN REPLACED, SAWCUT OR ROUTE JOINT BETWEEN EXISTING AND NEW PAVEMENT AND FILL HOT POURED RUBBER JOINT SEALER PRODUCT. HOT POURED RUBBER JOINT SEALER SHALL BE ONE OF THE FOLLOWING OR APPROVED EQUAL.
    - 5.1. ROADSAVER 221, CRAFTCO INC.
    - 5.2. PRODUCT #903 E 9930, KOCH MATERIAL COMPANY
    - 5.3. SEAL TIGHT 18-SPEC, WIL MEADOWS, INC.
    - 5.4. ELASTOFLEX 63 BY MAXWELL PRODUCTS.



**ELEVATUS ARCHITECTURE**  
 111 E. Wayne Street, Suite 555, Fort Wayne, IN 46802  
 262.424.0030  
 ElevatusArchitect.com

CONSULTANT  
**ENGINEERING RESOURCES, INC.**  
 11000 Diebold Road, Fort Wayne, IN 46845  
 PH: 260.490.1021 Fax: 260.490.1025  
 www.eengineeringresources.com

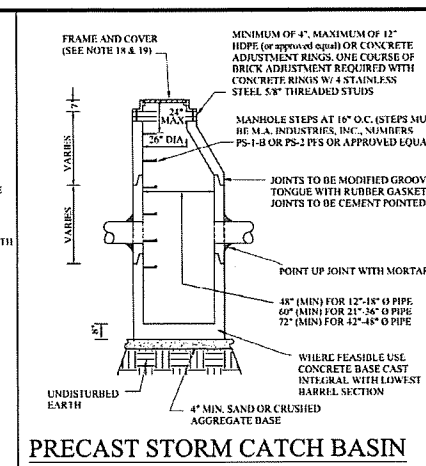
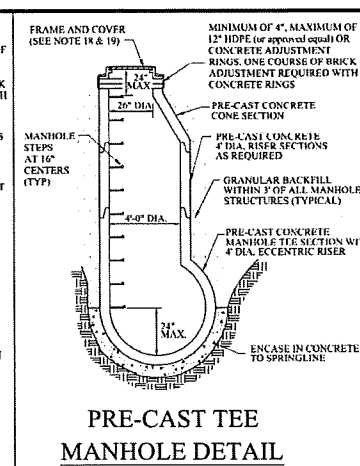
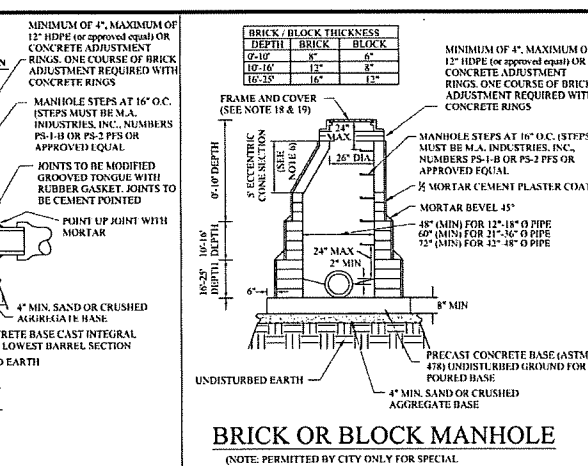
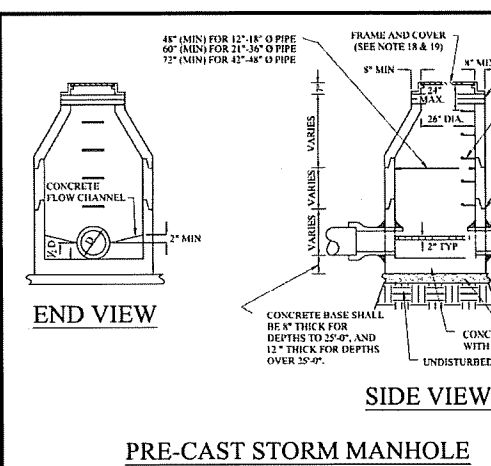
SEAL 12-21-2018  
  
**Daniel J. Schell**  
 FOR PERMITTING ONLY  
 OWNERS CONSTRUCTION MANAGER  
  
**ROCKFORD CONSTRUCTION**

**meijer**  
 STORE #057 MINOR RESET  
 MEIJER PROJECT #: CP-19-00057  
 3175 S. Rochester Rd., Rochester Hills, MI 48307  
 2019 STORE REFRESH

REVISIONS		
NO.	DESCRIPTION	DATE
1	Revisions to Documents	02/12/2019

PROJECT NO. 1901808 ISSUE DATE 12/21/2018  
 SUBMITTAL Permit 594  
 Site Details  
**C400**  
 CITY FILE #19-003 SECTION #35

March 11, 2019 3:07 PM  
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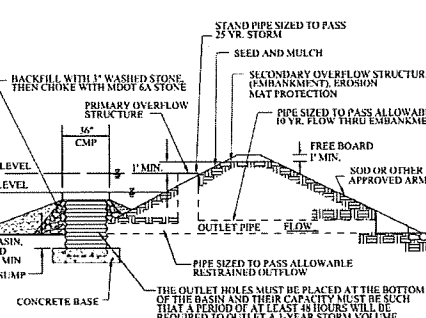
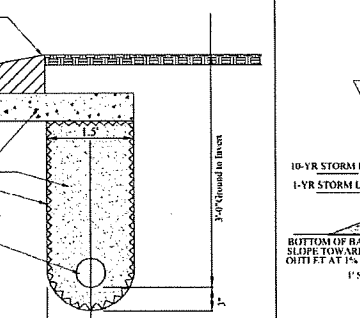
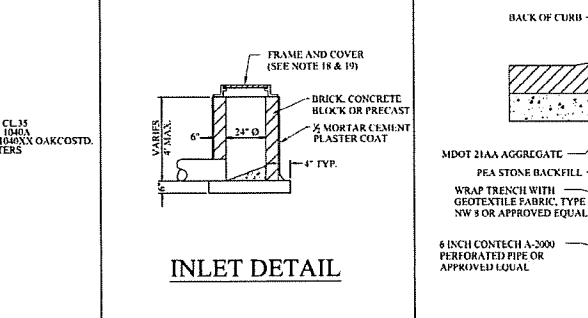
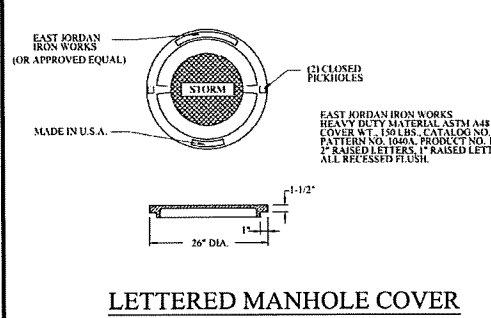


**GENERAL NOTES:**

1. ALL EXISTING AND NEW STORM SYSTEMS SHALL BE CLEANED AND FLUSHED ONCE PER YEAR TO REMOVE SEDIMENT, ROCK, AND OTHER DEBRIS. DEBRIS SHALL BE COLLECTED AND DISPOSED OF IN A PROPER MANNER. IN NO CASE SHALL DEBRIS BE FLUSHED DOWN A STORM OR SANITARY SEWER FOR DISPOSAL. ALL DAMAGED IRRIGATION AND HOUSE DRAINAGE PIPE, DRAIN TILES, SEWER LATERALS AND CURBETS SHALL BE REPAIRED EXPEDITIOUSLY. DEBRIS COLLECTED SHALL BE DISPOSED IN A COMMERCIAL LANDFILL OR OTHER APPROVED LOCATION.
2. STORM SEWER PIPE SHALL BE OF SIZE AND TYPE NOTED ON THE APPROVED PLANS.
3. REINFORCED CONCRETE PIPE (RCP) SHALL BE MODIFIED GROOVED TONGUE JOINTS WITH O-RING TYPE RUBBER GASKET, PER ASTM C43.
4. ALL CATCH BASIN LEADS AND INLET LEADS SHALL BE ASTM C76-CLASS IV PIPE.
5. MINIMUM PIPE SIZE FOR SEWERS, CATCH BASIN LEADS, AND INLET LEADS SHALL BE 12" NOMINAL INTERNAL DIAMETER.
6. ECCENTRIC CONES SHALL BE PROVIDED ON ALL STRUCTURES, REGARDLESS OF THE MATERIAL USED. PRECAST REINFORCED CONCRETE MANHOLE, BLOCK, OR BRICK TO PROVIDE A TRUE VERTICAL FACE FOR PLACEMENT OF MANHOLE STEPS.
7. THE INSIDE JOINTS OF PIPES SIZE 42" AND LARGER DIAMETER SHALL BE POINTED UP WITH MORTAR UPON COMPLETION OF BACKFILLING OPERATIONS.
8. ALL PIPES SHALL HAVE CLASS, LOT NUMBER, AND DATE OF MANUFACTURE CONSPICUOUSLY MARKED ON EACH LENGTH BY MANUFACTURER.
9. ALL END SECTIONS 18" AND LARGER SHALL BE PROVIDED WITH A GALVANIZED BAR SCREEN.
10. PRECAST REINFORCED CONCRETE SECTIONS SHALL CONFORM TO ASTM 2478.
11. IN DRY, STABLE SOILS, PEASTONS (EQUIVALENT TO M.D.O.T. JAR) SHALL BE SUBSTITUTED FOR ALL UNDERGROUND STORM AND SEWER CONSTRUCTION. TRENCH PRIOR TO THE PLACEMENT OF THE 2% SAND, PEASTONE, OR 1/4" - 1/2" ANGULAR GRADED STONE.
12. SCHEDULE INSPECTIONS 48 HOURS PRIOR TO START OF CONSTRUCTION BY CALLING THE CITY'S INSPECTION LINE AT 248-441-2510. TIME INSPECTION SHALL BE REQUIRED FOR ALL UNDERGROUND STORM AND SEWER CONSTRUCTION.
13. THE CONTRACTOR SHALL CONTACT MISS DIG 72 HOURS BEFORE CONSTRUCTION AT (811) TO LOCATE EXISTING UNDERGROUND UTILITIES.
14. PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL HAVE IN HIS POSSESSION A CURRENT SOIL EROSION CONTROL PERMIT AS ISSUED BY THE O.C.D.C.
15. MINIMUM SUMP DEPTH IS 2' FOR CATCH BASINS.
16. A FLOATABLE TRAP IS REQUIRED PRIOR TO THE OUTLET, IN ACCORDANCE WITH CURRENT CITY OF ROCHESTER HILLS DESIGN STANDARDS.
17. AS A MEANS OF INSURING PROPER INSTALLATION OF THE STORM SEWER PIPE, AT THE DISCRETION OF THE CITY ENGINEER, THE CONTRACTOR SHALL VIDEO INSPECT, ACCORDING TO THE CITY OF ROCHESTER HILLS VIDEO INSPECTION STANDARDS, 100% OF THE STORM SEWER PIPE 12" AND LARGER IN DIAMETER. VIDEO INSPECTION IS REQUIRED BY THE CITY ENGINEER. THE CONTRACTOR SHALL PROVIDE 24 HOURS NOTICE TO THE CITY OF ROCHESTER HILLS PRIOR TO VIDEO INSPECTION, SO A REPRESENTATIVE MAY BE PRESENT. ROCHESTER HILLS WILL BE PROVIDED WITH A DIGITAL COPY OF THE VIDEO INSPECTION AND LOG IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS VIDEO INSPECTION STANDARDS.

PREDICTS THAT THE CITY ENGINEER MAY IMPOSE THESE REQUIREMENTS ARE:

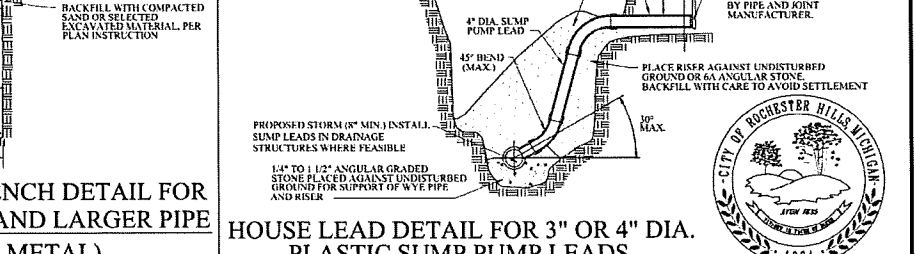
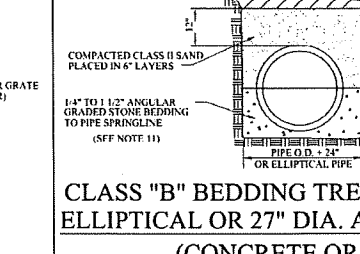
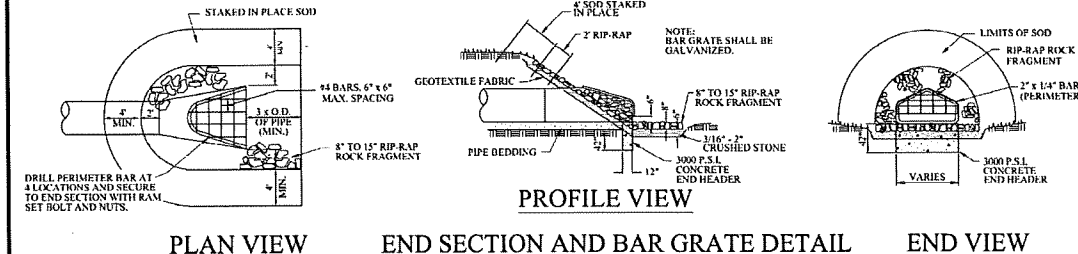
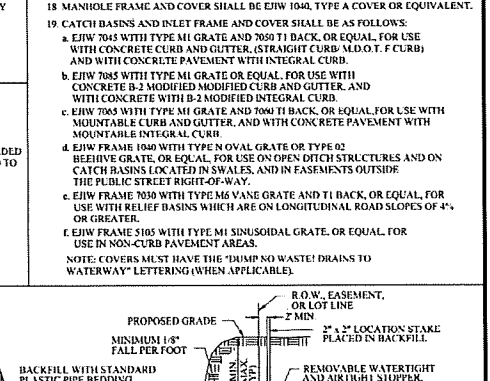
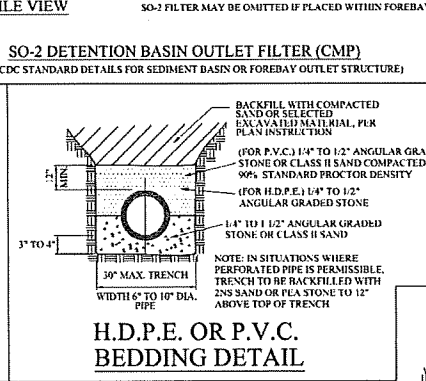
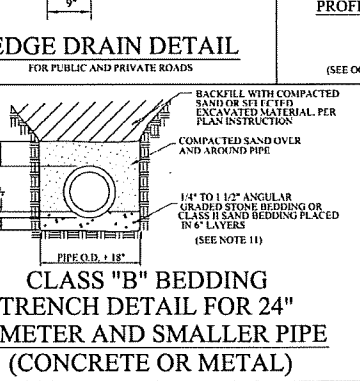
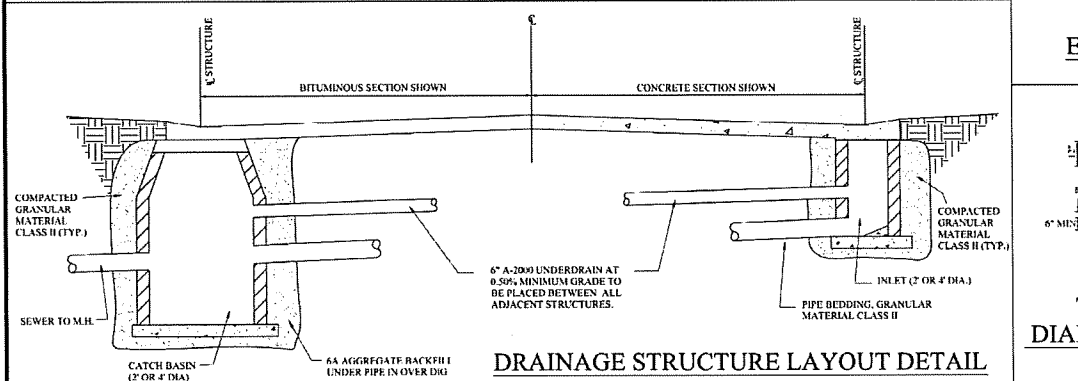
1. ALL PUBLIC PROJECTS OR PROJECTS BEING CONSTRUCTED ON PUBLIC PROPERTY.
2. ANY PROJECT INVOLVING A DEVELOPMENT, SUBDIVISION, SITE CONDOMINIUM, CONDOMINIUM, OR ASSOCIATION.
3. ANY PROJECT THAT WILL RESULT IN MORE THAN ONE OWNER RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE COMPLETE STORM DRAINAGE SYSTEM.



**COVERS FOR MANHOLES, CATCH BASINS, AND INLETS**

18. MANHOLE FRAME AND COVER SHALL BE E10W 104A TYPE A COVER OR EQUIVALENT.
19. CATCH BASINS AND INLET FRAME AND COVER SHALL BE AS FOLLOWS:
  - a. E10W 705 WITH TYPE M1 GRATE AND 7050 T1 BACK, OR EQUAL, FOR USE WITH CONCRETE CURB AND GUTTER, (STRAIGHT CURB-ALD O.T.F. CURB) AND WITH CONCRETE PAVEMENT WITH INTEGRAL CURB.
  - b. E10W 705 WITH TYPE M1 GRATE OR EQUAL, FOR USE WITH CONCRETE B-2 MODIFIED INTEGRAL CURB AND WITH CONCRETE WITH B-2 MODIFIED INTEGRAL CURB.
  - c. E10W 705 WITH TYPE M1 GRATE AND 7050 T1 BACK, OR EQUAL FOR USE WITH MOUNTABLE CURB AND GUTTER, AND WITH CONCRETE PAVEMENT WITH MOUNTABLE INTEGRAL CURB.
  - d. E10W FRAME 1040 WITH TYPE N OVAL GRATE OR TYPE 02 BEEHIVE GRATE, OR EQUAL, FOR USE ON OPEN DITCH STRUCTURES AND ON CATCH BASINS LOCATED IN SWALES, AND IN EASEMENTS OUTSIDE THE PUBLIC STREET RIGHT-OF-WAY.
  - e. E10W FRAME 7050 WITH TYPE M5 VANE GRATE AND T1 BACK, OR EQUAL, FOR USE WITH RELIEF BASINS WHICH ARE ON LONGITUDINAL ROAD SLOPES OF 4% OR GREATER.
  - f. E10W FRAME 5105 WITH TYPE M1 SINUSOIDAL GRATE, OR EQUAL, FOR USE IN NON-CURB PAVEMENT AREAS.

NOTE: COVERS MUST HAVE THE "DANGER WASTE! DRAINS TO WATERWAY" LETTERING (WHEN APPLICABLE).



REVISIONS	DATE	APPROVED BY
Edge Drain Detail	11-7-12	CITY COUNCIL, DATE: JULY 21, 2008

NOTIFY ROCHESTER HILLS ENGINEERING DEPARTMENT @ 248-441-2510 48 HRS. PRIOR TO START OF CONSTRUCTION

**City of Rochester Hills**  
1000 Rochester Hills Drive, Rochester Hills, Michigan 48309

**STORM SYSTEM STANDARD DETAILS**

NOT TO SCALE  
SHEET 1 OF 1  
DATE: 7/21/2008

PREPARED BY ENGINEERING DIVISION DEPARTMENT OF PUBLIC SERVICES

PERMITTED BY CITY ONLY FOR SPECIAL CIRCUMSTANCES

FOR PUBLIC AND PRIVATE ROADS

(SEE OGD STANDARD DETAILS FOR SEDIMENT BASIN OR FOREBAY OUTLET STRUCTURE)

SEE CITY OF ROCHESTER HILLS VIDEO INSPECTION STANDARDS

**ELEVATUS ARCHITECTURE**

111 E. Wayne Street, Suite 555, Fort Wayne, IN 46802  
262-424-0000  
ElevatusArchitecture.com

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CONSULTANT

**ENGINEERING RESOURCES, INC.**

13230 Diebold Road, Fort Wayne, IN 46845  
P: (260) 490-1031 F: (260) 490-1033  
www.eengineeringresources.com

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12-21-2018

**Daniel J. Schell**  
FOR PERMITTING ONLY

OWNERS CONSTRUCTION MANAGER

**ROCKFORD CONSTRUCTION**

---

**meijer**

STORE #057 MINOR RESET

MEIJER PROJECT #: CP-19-00057

3175 S. Rochester Rd. Rochester Hills, MI 48307

2019 STORE REFRESH

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REVISIONS		
NO.	DESCRIPTION	DATE
1	Revisions to Documents	02/12/2019

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PROJECT NO.	ISSUE DATE
1901808	12/1/2018

SUBMITTAL Permit Set

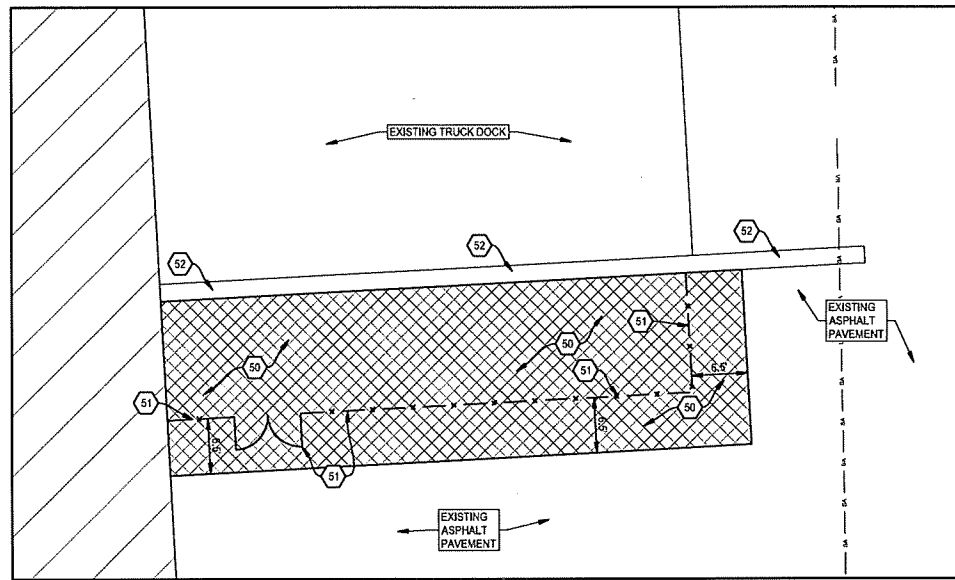
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City of Rochester Hills  
Storm Sewer Details

**C401**

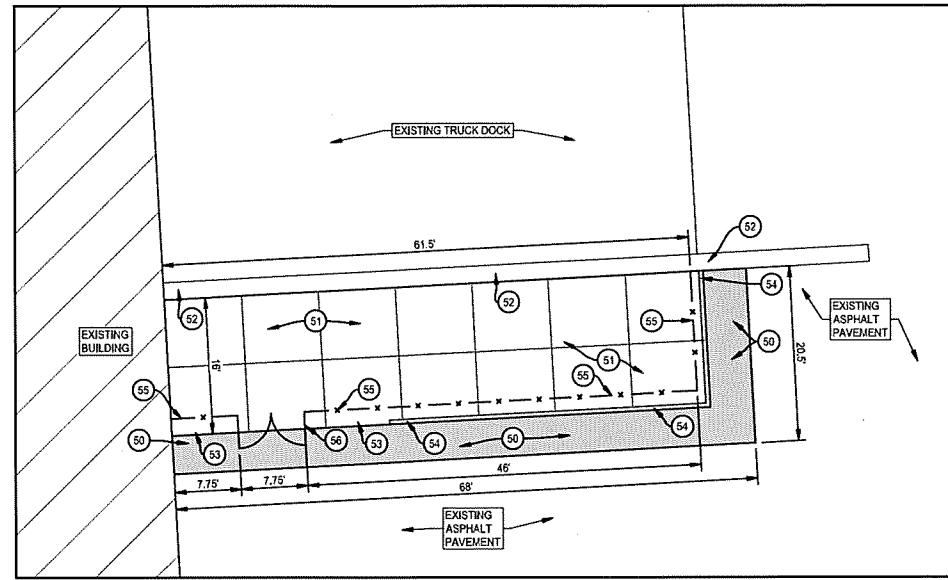
CITY FILE #19-003 SECTION #35

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**SITE DEMOLITION PLAN**

SCALE: 1" = 10'



**SITE LAYOUT PLAN**

SCALE: 1" = 10'

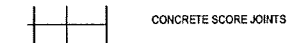


**CONSTRUCTION NOTES:**

ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS HER EXPENSE PER THE CONTRACT DOCUMENTS.

- 50 HEAVY DUTY BITUMINOUS PAVEMENT. SEE DETAIL B1/C400.
- 51 5" CONCRETE SLAB W/ 6"x6" W2.9xW2.9 WWF OVER NEW 4" COMPACTED BASE AGGREGATE COURSE. SEE A1/C400 FOR CONCRETE JOINT DETAILS. PROVIDE A DOWELED BUTT JOINT PER DETAIL A3/C400 WHEN CONCRETE IS ADJACENT TO PROPOSED CURBING.
- 52 EXISTING RETAINING WALL TO REMAIN. PROTECT DURING CONSTRUCTION.
- 53 THICKENED PAVEMENT EDGE PER DETAIL #2/C400.
- 54 CONCRETE TURNDOWN WALL WITH PER DETAIL #1/C500.
- 55 6' TALL CHAIN LINK FENCE PER DETAIL #2/C500.
- 56 6' TALL CHAIN LINK FENCE GATE PER DETAIL #2/C500.

**PROPOSED LEGEND:**

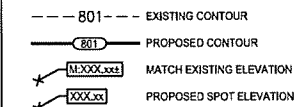


**LAYOUT LEGEND:**



NOTE: ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.

**GRADING LEGEND:**



NOTE: ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.

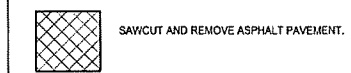
**GRADING NOTES:**

- ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS EXPENSE PER THE CONTRACT DOCUMENTS.
- 60 GENERAL NOTE (NOT LABELED ON PLAN). CONTRACTOR TO ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING STRUCTURE. MAXIMUM CROSS SLOPE SHALL BE NO MORE THAN 2% ON ALL PROPOSED CONCRETE SIDEWALK. CONTACT ENGINEER IF CONFLICT EXISTS FOR FURTHER INSTRUCTION.
- 61 GENERAL NOTE (NOT LABELED ON PLAN). SURVEY PROVIDED DURING THE DESIGN PHASE DID NOT INCLUDE ALL EXISTING UTILITIES. CONTRACTOR IS TO FIELD VERIFY AND ADJUST ANY UTILITY CASTINGS WITHIN PROJECT LIMITS TO PROPOSED GRADE.

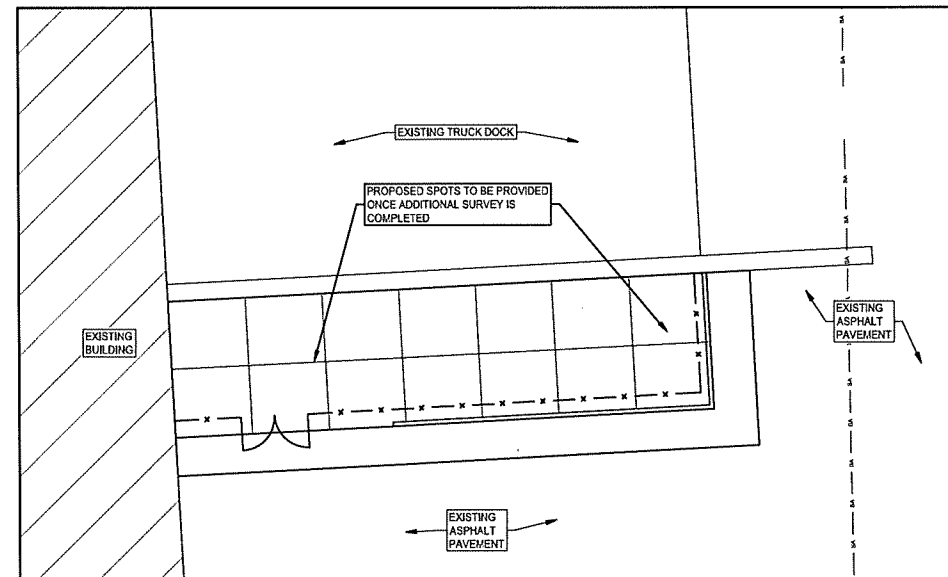
**DEMOLITION NOTES:**

- 50 SAWCUT AND REMOVE ASPHALT PAVEMENT.
- 51 REMOVE CHAIN LINK FENCE INCLUDING FOUNDATIONS. PROTECT EXISTING RETAINING WALL SCHEDULED TO REMAIN FROM DAMAGE DURING REMOVAL OF FENCE.
- 52 PROTECT EXISTING RETAINING WALL SCHEDULED TO REMAIN FROM DAMAGE DURING REMOVAL OF PAVEMENT.

**DEMOLITION LEGEND:**

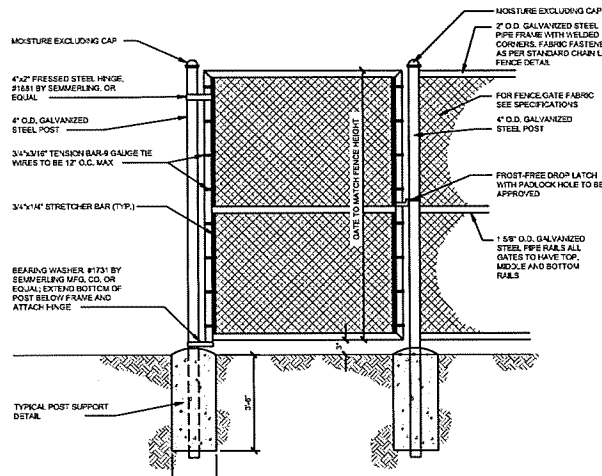


ALTERNATE NOTE: ALL WORK SHOWN ON SHEET C500 IS PART OF ALTERNATE #9 - SEE ALTERNATE SPECIFICATION.

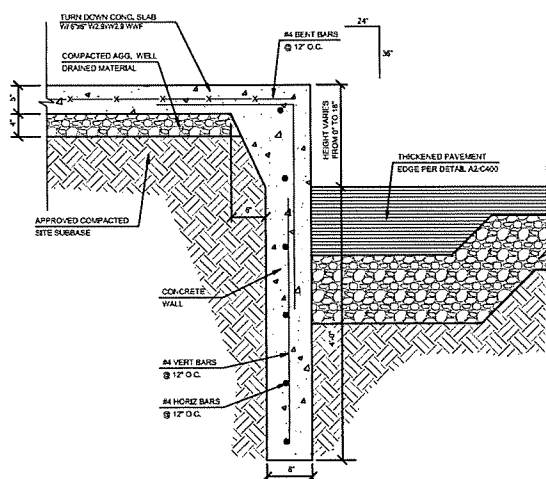


**SITE GRADING AND UTILITY PLAN**

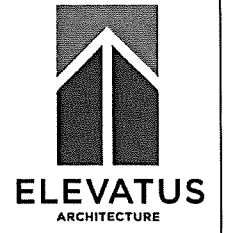
SCALE: 1" = 10'



2 CHAIN LINK FENCE WITH GATE  
NTS



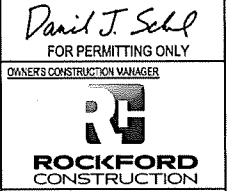
1 CONCRETE TURNDOWN WALL  
NTS



**ELEVATUS ARCHITECTURE**  
111 E. Wayne Street, Suite 555, Fort Wayne, IN 46802  
262.424.6000  
ElevatusArchitecture.com



12-21-2018  
DANIEL J. SCHL  
REGISTERED PROFESSIONAL ENGINEER  
No. 620100010



**meijer**  
STORE #057 MINOR RESET  
MEIJER PROJECT #: CP-19-00057  
3175 S. Rochester Rd.  
Rochester Hills, MI 48307  
2019 STORE REFRESH

REVISIONS		
NO.	DESCRIPTION	DATE
1	Revisions to Documents	02/12/2019
2	Revisions to Documents	03/19/2019

PROJECT NO. 1801808  
ISSUE DATE 12/21/2018  
SUBMITTAL Form Set

Site Demolition, Layout and Grading Plans for Milk Bosse Area  
C500

**GENERAL PROJECT NOTES**

- A. THE CONTRACTORS SHALL THOROUGHLY REVIEW THE CONTRACT DOCUMENTS, VISIT THE PROJECT SITE, AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING WORK BEFORE SUBMITTING THEIR BIDS.
1. THE SCOPE OF REQUIRED DEMOLITION IS NOT LIMITED TO ITEMS OR WORK INDICATED IN THE CONTRACT DOCUMENTS. THE CONTRACTORS SHALL DETERMINE FOR THEMSELVES THE EXACT NATURE AND EXTENT OF SELECTIVE DEMOLITION REQUIRED.
2. ANY DIFFERENCES BETWEEN EXISTING FIELD CONDITIONS AND THE CONTRACT DOCUMENTS SHALL BE REPORTED TO C.M. FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.
- B. THE CONTRACTOR SHALL OBTAIN ALL PERMITS & PAY ALL NECESSARY FEES THROUGHOUT THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL PROVIDE & MAINTAIN TEMPORARY ENCLOSURES, WHITE PLASTIC DUST BARRIERS, AND/OR TRAFFIC BARRIERS AS REQUIRED OR AS INDICATED ON DWGS. TO MAINTAIN A SAFE AND CLEAN ENVIRONMENT FOR STORE GUESTS AND TEAM MEMBERS.
- D. ANY SHUT-OFF (ELECT., PLUG., F.P., ETC.) MUST BE COORDINATED WITH THE CONTRACTOR/MANAGER, OWNER REPRESENTATIVE AND LOSS PREVENTION DEPT., A MINIMUM OF TWO (2) DAYS IN ADVANCE.
- E. SALVAGE AND DISPOSAL:
  1. SALVAGE: DESIGNATED EQUIPMENT SHALL REMAIN THE PROPERTY OF MEJER, INC. WITH DISPOSITION CONFIRMED BY C.M. DIRECTION.
  2. DISPOSAL: THE CONTRACTOR SHALL PROMPTLY AND LEGALLY DISPOSE OF NON-SALVAGED EQUIPMENT AND ALL DEBRIS FROM THE PROJECT AREA. THE CONTRACTORS MAY NOT USE THE STORE COMPACTOR FOR CONSTRUCTION DEBRIS DISPOSAL.
- F. ANY DAMAGES CAUSED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE PATCHED AND REPAIRED TO MATCH THE EXISTING ADJACENT CONSTRUCTION AT NO ADDITIONAL COST TO MEJER, INC.
- G. NEW MASONRY WALLS SHALL BE CUSTOM CUT TO ALIGN W/ EXIST. CMU & BRICK COURSING IF REQ'D.
- H. PATCH EXISTING FLOORS PER FOLLOWING INSTRUCTIONS:
  1. ALL CONCRETE USED FOR PATCHING AND REPAIR OF THE EXISTING SLAB ON GRADE SHALL MEET THE FOLLOWING PROPERTIES:
    - a. NORMAL WEIGHT (145 pcf)
    - b. MAXIMUM WATER-CEMENT RATIO (w/c) = 0.50
    - c. CEMENT SHALL MEET ASTM C150, TYPE 1
    - d. FINE AND COURSE AGGREGATES SHALL MEET ASTM C33
  2. REMOVE CONCRETE FLOOR SLABS AT LOCATIONS INDICATED ON THE DRAWINGS. THICKNESS OF CONCRETE FLOOR ASSUMED TO BE 5" AT SALES FLOOR AND FOOD PREP AREAS AND 5" AT BACKROOM AREAS. REFER TO CONSTRUCTION MANAGER BID SCOPE DOCUMENTS FOR PLAN OF GROUND PENETRATING RADAR AND REPORT DATA SHOWING MINOR VARIANCES FROM THESE VALUES. NOTIFY CONSTRUCTION MANAGER WHEN DIFFERENT CONDITIONS ARE ENCOUNTERED.
  3. IF CONCRETE SLABS ARE FOUND TO BE THINNER THAN 5" IN SALES AREA AND 5" IN BACKROOMS, REMOVE SLAB AND ADDITIONAL FILL IN ORDER TO POUR IN SLABS AT THOSE MINIMUM THICKNESSES PER H.A. CONCRETE REMOVAL SHALL BE SAW CUT AT EDGES DOWN TO PROVIDE A CLEAN TRANSITION BETWEEN THE EXISTING AND NEW. OVER-CUT CONCRETE TO BE REMOVED SUCH THAT UNDERMINING OF EXISTING DOES NOT OCCUR. IF UNDERMINING DOES OCCUR, FILL VOID WITH CONCRETE. DO NOT ATTEMPT TO RECONSTRUCT WITH SOIL. PRIOR TO SAW CUTTING AND REMOVAL, THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES AND POSSIBLE UNDERGROUND TRENCHES IN THE SURROUNDING AREA AND TAKE ANY PRECAUTION NECESSARY NOT TO DAMAGE OR DISRUPT THAT TO REMAIN. ANY DAMAGE TO EXISTING TO REMAIN SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
  4. FOR MINOR CONCRETE PATCHING ISOLATED PATCHES LESS THAN 1'-6" SQUARE OR STRIP PATCHES LESS THAN 1'-6" WIDE, PROVIDE NEW CONCRETE MEETING THE ABOVE REQUIREMENTS WITH A MIN. THICKNESS OF EXISTING SLAB. PROVIDE CONCRETE BONDING AGENT BETWEEN SURFACES OF NEW & OLD CONCRETE.
  5. FOR MAJOR CONCRETE PATCHING ISOLATED PATCHES GREATER THAN 1'-6" SQUARE OR STRIP PATCHES GREATER THAN 1'-6" WIDE, PROVIDE NEW CONCRETE MEETING THE ABOVE REQUIREMENTS WITH A MINIMUM THICKNESS OF 4" AT SALES / FOOD PREP AREAS, 5" AT BACKROOM AREAS, OR LARGER IF EXISTING THICKER SLABS PER NOTE "H-2" ARE ENCOUNTERED. PROVIDE CONCRETE BONDING AGENT BETWEEN SURFACES OF NEW AND OLD CONCRETE. DOWEL NEW TO EXISTING WITH #4@4" BARS AT 12" O.C. MAX. EMBED DOWEL 4" WITH GROUT. PROVIDE DOWELS ALL SIDES AND POSITION DOWELS IN CENTER OF NEW CONCRETE PATCH. PROVIDE EXPANSION JOINTS AND CONTROL JOINTS PER TO MATCH CURRENT LOCATIONS AND SPACING.
  6. SLOPE CONCRETE FLOOR SLABS TO DRAINS AS INDICATED ON PLANS AT APPROX. 1/8" : 1'-0" U.N.O. NOT USED.
  7. PRIOR TO CONCRETE PLACEMENT AND NEW UTILITIES, SUBBASE SHALL BE COMPACTED AND SMOOTH TO PROVIDE A UNIFORM THICKNESS OF CONCRETE PATCH.
  8. COORDINATE DEPTH AND PLACEMENT OF NEW UTILITIES SUCH THAT UTILITIES ARE NOT ENCASED IN NEW PATCH CONCRETE. MAINTAIN A MINIMUM 3" BETWEEN BOTTOM OF CONCRETE PATCH AND UTILITY.
  9. PROVIDE CONCRETE SEALER ON ALL SURFACES OF NEW CONCRETE PATCHES- REFER TO DRAWINGS AND SPECIFICATIONS.
  10. APPROVED MATERIALS FOR FILLING BOLT HOLES, CREVICES, CRACKS, OR USED FOR PATCHING SMALL AREAS OF CONCRETE SHALL BE AS FOLLOWS:
    - a. DAYTON SUPERIOR CORPORATION - PERMA PATCH
    - b. THE EUCRID CHEMICAL COMPANY - EUCOCRETE
    - c. SONNEBORN CHEMEX, INC. - EPOLITH PATCHER
- I. PAINT ALL NEW HVAC DUCT WORK THAT WILL BE EXPOSED IN THE SALES AREA. COLOR TO MATCH EXISTING SURROUNDING ROOF DECK AND STRUCTURE. PAINT ALL NEW EXISTING AND/OR RELOCATED MECHANICAL GRILLES IN PERIMETER SALES WALL OR BULKHEADS TO MATCH NEW WALL COLORS. PAINT ALL NEW OR EXISTING ELECTRICAL PANELS EXPOSED TO PUBLIC VIEW. COLOR TO MATCH ADJACENT FINISH.
- J. NOT USED.
- K. REPAIR ALL EXISTING INTERIOR STRUCTURAL COLUMNS AND COLUMN ENCLOSURE. ALL EXPOSED DRAIN PIPES, ALL PIPE CHASES AND DROPS, AND ANY EXPOSED PIPING CONNECTED TO COLUMNS- REFER TO FINISH REQUIREMENTS. PREP COLUMNS BY GRINDING OF ANY IMPERFECTIONS OR PAINT LINES. FILL ALL HOLES PRIOR TO PAINT. HOLES OVER 1/4" DIA. TO HAVE "BOND" OR OTHER SIMILAR SOLID FILLER. PREP AND PATCH ALL EXISTING COLUMN WRAPS PRIOR TO PAINT.
- L. REPLACE ALL EXISTING HDPE IMPACT PROTECTION THROUGHOUT AREAS EXPOSED TO PUBLIC VIEW. REFER TO DEMO FOR ADDITIONAL INFORMATION.
- M. NOT USED.
- N. ALL EXPOSED WALL SURFACE IN SALES AREA SHALL RECEIVE HDPE CRASH RAIL AND P-LAM WAIRSCOT. REFER TO A-501 AND COORDINATE W/ MEJER Q-SHEET.
- O. CORNER GUARDS TO BE PROVIDED AT ALL GYP. BD. CORNERS VISIBLE TO CUSTOMER VIEW OR TO TEAM MEMBER AREAS. REFER TO DOCUMENTS FOR ADDITIONAL INFORMATION.
- P. PROVIDE CONTROL JOINTS IN ALL NEW GYP. BD. CONSTRUCTION AT MAXIMUM SPACING OF 30'-0" O.C. OR AS SPECIFICALLY SHOWN ON PLANS, SUCH AS DOOR OPENINGS. PROVIDE VERTICAL MOVEMENT CONTROL JOINT AT ALL NEW ROOF-SUPPORTED BULKHEADS INTERSECTING WITH NEW OR EXISTING STUD WALL CONSTRUCTION.
- Q. WHERE NEW WALL CONSTRUCTION TO DECK IS PARALLEL TO AND ALIGNS WITH EXISTING ROOF STRUCTURE BEAM, JOIST OR GIRDERS, INFILL WEBSING OR BOX AROUND MEMBER ON PUBLIC SALES SIDE OF MEMBER.
- R. PATCH AND REPAIR ALL STUD AND GYP. BD. CONSTRUCTION AROUND EXISTING ELECTRICAL PANELS WHERE WIRES ARE "UNFISHABLE" AND SHEATHING DEMOLITION IS REQUIRED.
- S. PATCH AND REPAIR GYP. BD. AROUND NEW DOOR AND FRAMES ADDED TO EXISTING WALLS. RETURN GYP. BD. TO FRAME ON THICKER EXTERIOR WALLS.
- T. CALK FILL ALL PRECAST WALL SAW CUT "COVERAGES" PAST DESIRED OPENINGS. FILL ALL FLOOR OVERCUTS W/ MM80.
- U. PROVIDE 20-GA. CONCEALED FASTENER STAINLESS STEEL CLOSURE STRIPS AT ALL FIXED FOOD PREP EQUIPMENT AND COOLER/FREEZER PANELS AGAINST WALLS FOR FULL HEIGHT OF EQUIPMENT- REFER TO DOCUMENTS.
- V. NOT USED.
- W. NOT USED.
- X. ALL MEJER'S MAINTENANCE CONTRACTORS, IS RESPONSIBLE FOR MAINTENANCE CLEANING OF BUILDING COMPONENTS SUCH AS (BUT NOT LIMITED TO) VESTIBULE FLOOR, WALLS AND LINEAR METAL CEILING AS WELL AS EXTERIOR POWER WASHING OF CANOPIES, SOFFITS AND COLUMN BASES NOT AFFECTED BY REMODEL SPECIFIC SCOPE OF WORK SUCH AS EXTERIOR PAINTING. CONTRACTOR TO COORDINATE SCHEDULING W/ OWNER TO INTEGRATE THESE CLEANING REQUIREMENTS WITH CONSTRUCTION PROGRESS.

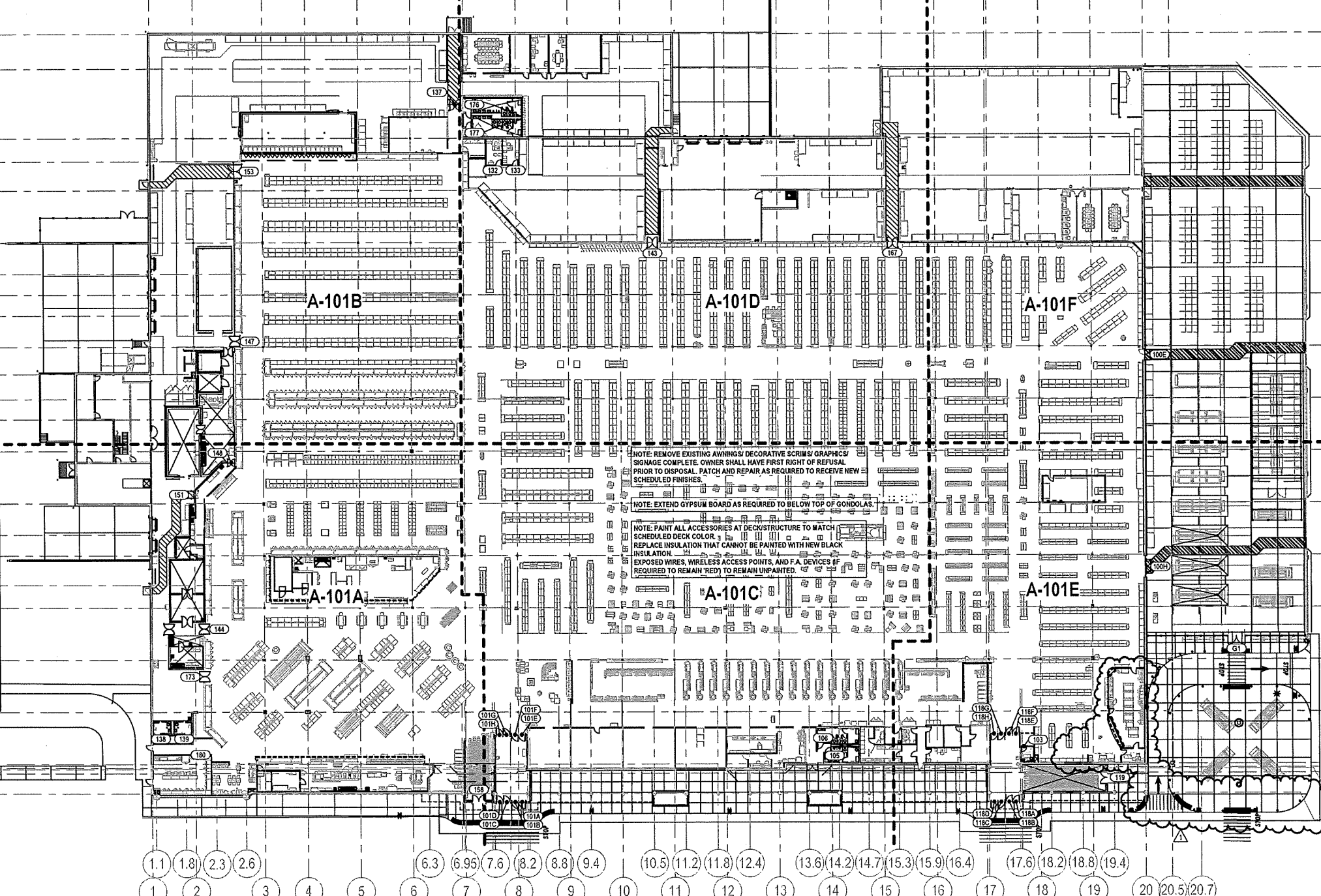
**DEMOLITION GENERAL NOTES**

1. DEMOLITION PLANS SHALL SERVE TO AID IN EVALUATION OF THE WORK AND EXTENT OF DEMOLITION BUT SHALL NOT BE HELD TO BE ALL INCLUSIVE. FIELD VERIFY EXISTING CONDITIONS, DEMOLITION AND REMOVALS AS REQUIRED FOR INSTALLATION OF THE NEW WORK AND FINISHES INDICATED WHETHER OR NOT SPECIFICALLY NOTED IN THESE DRAWINGS.
2. SCHEDULE DEMOLITION WORK EFFECTING OCCUPIED AREAS OF THE FACILITY IN ADVANCE WITH THE OWNER THROUGH CONSTRUCTION/PROJECT MANAGER. REFER TO SPECIFICATIONS.
3. FINISH REMOVAL NOTES APPLY TO PARTITIONS/WALLS THAT REMAIN. REMOVE ALL FINISHES FROM WALLS THAT REMAIN WITHIN THE LIMIT OF CONSTRUCTION, UNLESS NOTED OTHERWISE.
4. REMOVE INTERIOR WALL PARTITIONS ENTIRELY FROM DECK ABOVE TO DECK BELOW.
5. WHERE WALLS, PARTITIONS, ACCESSORIES OR OTHER TYPES OF CONSTRUCTION ARE REMOVED, PATCH AND REPAIR ADJACENT AREAS AS REQUIRED TO RECEIVE NEW CONSTRUCTION OR FINISHES AND TO MATCH ADJACENT SURFACES. MAINTAIN ALL EXISTING AND REQUIRED FIRE RATED CONSTRUCTION THROUGHOUT.
6. WHERE NEW FLOOR FINISHES ARE SCHEDULED OR INDICATED, REMOVE ALL EXISTING FLOOR FINISHES AND PREPARE & CLEAN SLAB TO RECEIVE NEW FLOOR FINISHES IN ACCORDANCE WITH THE NEW FLOOR FINISH MANUFACTURERS' WRITTEN RECOMMENDATIONS UNLESS NOTED OTHERWISE. PROPER PREPARATION OF EXISTING SURFACES SHALL INCLUDE, BUT NOT BE LIMITED TO, REMOVAL OF ACCUMULATED ADHESIVES & MASTICS, FILLING AND REPAIR OF CRACKS & VOIDS, SURFACE RESTORATION, THOROUGH CLEANING, ETC. & OTHER PROCEDURES AS MAY BE RECOMMENDED BY MANUFACTURER OF NEW FLOORING.
7. OFFER REMOVED ITEMS SUCH AS DOORS, HARDWARE, PLUMBING FIXTURES AND TOILET ACCESSORIES TO OWNER BEFORE REMOVAL FROM THE SITE. DETERMINE SALVAGE ITEMS WITH THE OWNER BEFORE DEMOLITION BEGINS. ALL ITEMS NOT DESIRED BY OWNER SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE LEGALLY DISPOSED OF OFF SITE.
8. PROTECT ALL ITEMS TO REMAIN AND REPAIR/REPLACE ANY DAMAGED ITEMS OR CONSTRUCTION.
9. REPLACE FIREPROOFING OF STRUCTURAL MEMBERS DISPLACED DURING DEMOLITION AND CONSTRUCTION.
10. CONSTRUCTION MANAGER IS RESPONSIBLE FOR COORDINATING THE WORK WITH OTHER TRADES.
11. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AS NECESSARY TO COMPLETE THE WORK.
12. ALL TRADES ARE RESPONSIBLE FOR SECURING CHASES AND RISERS BEFORE DEMOLITION WORK PROCEEDS TO PREVENT DEBRIS FROM FALLING THROUGH INTO SPACES BELOW.
13. CAP AND ROUTE EXISTING UTILITY SERVICES LOCATED IN WALLS, CEILINGS, OR FLOORS TO BE REMOVED, AS REQUIRED FOR NEW CONDITIONS AND IN ACCORDANCE WITH APPLICABLE CODES. SEE ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
14. REFER TO ENGINEERING DRAWINGS FOR RELATED WORK AND ITEMS TO BE REMOVED OR RE-INSTALLED IN NEW CONSTRUCTION. COORDINATE TEMPORARY LIGHTING, COMMUNICATION AND MECHANICAL SYSTEMS WITH OTHER TRADES. MAINTAIN ALL LIFE SAFETY DEVICES.
15. PROVIDE ALL NECESSARY DEMOLITION OF EXISTING CONSTRUCTION FOR NEW UTILITY SERVICES AS REQUIRED.
16. COORDINATE LOCATION AND SIZE OF ALL REQUIRED OPENINGS IN EXISTING FLOOR SYSTEM BETWEEN ARCHITECTURAL FLOOR PLAN AND ENGINEERING DRAWINGS.

NOTE: REFER TO SPECIFICATION SECTION 02 41 19 FOR ADDITIONAL SELECTIVE DEMOLITION REQUIREMENTS.

**FLOOR PLAN GENERAL NOTES**

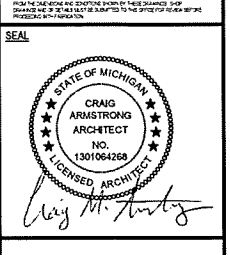
1. CONSTRUCTION MANAGER SHALL TAKE RESPONSIBILITY FOR COORDINATING REQUIRED WORK WITH ALL TRADES BASED UPON A COMPLETE SET OF CONSTRUCTION DOCUMENTS.
2. EACH CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AND OBTAIN ALL MEASUREMENTS REQUIRED FOR PROPER EXECUTION OF WORK. WHEN VERIFICATION OF EXISTING DIMENSIONS IS REQUIRED, THE CONTRACTOR REQUIRES SAID VERIFICATION FOR THE CONSTRUCTION OR FABRICATION OF HIS MATERIAL SHALL BE THE CONTRACTOR RESPONSIBLE FOR THE PROCUREMENT OF THE FIELD INFORMATION.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DO NOT SCALE DRAWINGS.
4. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
5. UNLESS NOTED OTHERWISE, PLAN DIMENSIONS ARE TAKEN FROM FACE OF STUD, CMU, CONCRETE OR EXISTING FINISH TO FACE OF STUD, CMU OR CONCRETE.
6. REPAIR ALL SURFACES DAMAGED BY RENOVATION AND NEW CONSTRUCTION TO MATCH EXISTING ADJACENT OR CONTIGUOUS FINISH.
7. GENERAL CONTRACTOR TO PATCH ALL CONCRETE SLAB MECHLED PENETRATIONS. PATCH SLAB FLUSH WITH EXISTING SLAB AND PROVIDE #4 DOWELS INTO EXISTING SLAB AS REQUIRED.
8. ALL CUTTING AND PATCHING AS A RESULT OF NEW CONSTRUCTION OR DEMOLITION SHALL BE PERFORMED IN A WORKMANLIKE MANNER, AND SHALL MATCH IN COLOR, SHAPE, SIZE AND TEXTURE ADJACENT AND/OR CONTIGUOUS FINISHED SURFACES.
9. WHERE PATCHING, REPAIRING OR INFILLING EXISTING MASONRY EXPOSED TO VIEW, "TOOTH-IN" NEW MASONRY TO ADJACENT EXISTING MASONRY TO REMAIN.
10. PATCH ALL CRACKS AND RESEAL JOINTS IN EXISTING SUBSTRATES SCHEDULED TO RECEIVE NEW FINISHES.
11. PROVIDE ALL BLOCKING NECESSARY FOR THE ATTACHMENT OF MISCELLANEOUS EQUIPMENT INCLUDING BUT NOT LIMITED TO CASEWORK, MILLWORK, TOILET ACCESSORIES, GRAB BARS, HANDRAILS, DOOR HARDWARE, ELECTRICAL DEVICES AND LABORATORY EQUIPMENT.
12. PROVIDE FIRE-BLOCKING AND DRAFT-STOPPING IN COMBUSTIBLE CONCEALED WALLS AT 10'-0" O.C. MAX. HORIZONTALLY & VERTICALLY.
13. DOORS NOT OTHERWISE DIMENSIONED SHALL BE 8" FROM FACE OF ADJACENT CMU OR CONCRETE WALL TO ROUGH DOOR OPENING, AND 4" FROM FACE OF ADJACENT STUD WALL TO ROUGH DOOR OPENING.
14. THE TRANSITION OF DIFFERENT FLOORING MATERIALS AT A DOORWAY SHALL OCCUR AT THE CENTERLINE OF DOOR UNLESS NOTED OTHERWISE.
15. ALL WALL SURFACES, DOOR FRAMES, BULKHEADS AND CEILINGS SHALL RECEIVE PAINT WHEN PAINT IS INDICATED ON THE FINISH SCHEDULE OR FINISH PLANS. PAINT SURFACES BEHIND MOVABLE EQUIPMENT AND FURNITURE SAME AS SIMILAR EXPOSED SURFACES. PAINT SURFACES BEHIND PERMANENTLY FIXED EQUIPMENT OR FURNITURE WITH PRIME COAT ONLY BEFORE FINAL INSTALLATION OF EQUIPMENT. PAINT ALL MECHANICAL AND ELECTRICAL EQUIPMENT EXPOSED IN FINISHED SPACES UNLESS NOTED OTHERWISE.
16. FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE PRODUCT MANUFACTURERS' WRITTEN INSTALLATION INSTRUCTIONS AND STANDARD DETAILS, IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATION REQUIREMENTS AND DESIGN INTENT.
17. REFER TO LIFE SAFETY PLANS FOR RATED PARTITIONS AND ASSEMBLIES.
18. UNLESS NOTED OTHERWISE, NEW WALLS TO BE 3/8" METAL STUDS @ 16" O.C. WITH (1) LAYER OF 5/8" TYPE "X" GYPSUM BOARD EACH SIDE. EXTEND STUD AND GYPSUM BOARD TO MINIMUM 6" ABOVE FINISHED CEILING. SEAL AS REQUIRED FOR WALL RATINGS INDICATED.
19. ALL SALES FLOOR WALLS AND BULKHEADS TO RECEIVE NEW STANDARD FINISHES UNLESS NOTED OTHERWISE. REFER TO INTERIOR ELEVATION DIAGRAMS.
20. EXTEND ALL SALES FLOOR PERIMETER WALL SHEATHING DOWN TO 6" BELOW TOP OF EQUIPMENT.
21. PAINT ALL EXISTING PVC CHASES, EXISTING AND NEW, THROUGHOUT SALES FLOOR AND IN ALL PREP AREAS VISIBLE TO CUSTOMER.



Overall First Floor Building Plan  
1/32" = 1'-0"

**ELEVATUS**  
ARCHITECTURE  
111 E Wayne Street, Suite 555, Fort Wayne, IN 46802  
260.424.5080  
ElevatusArchitecture.com

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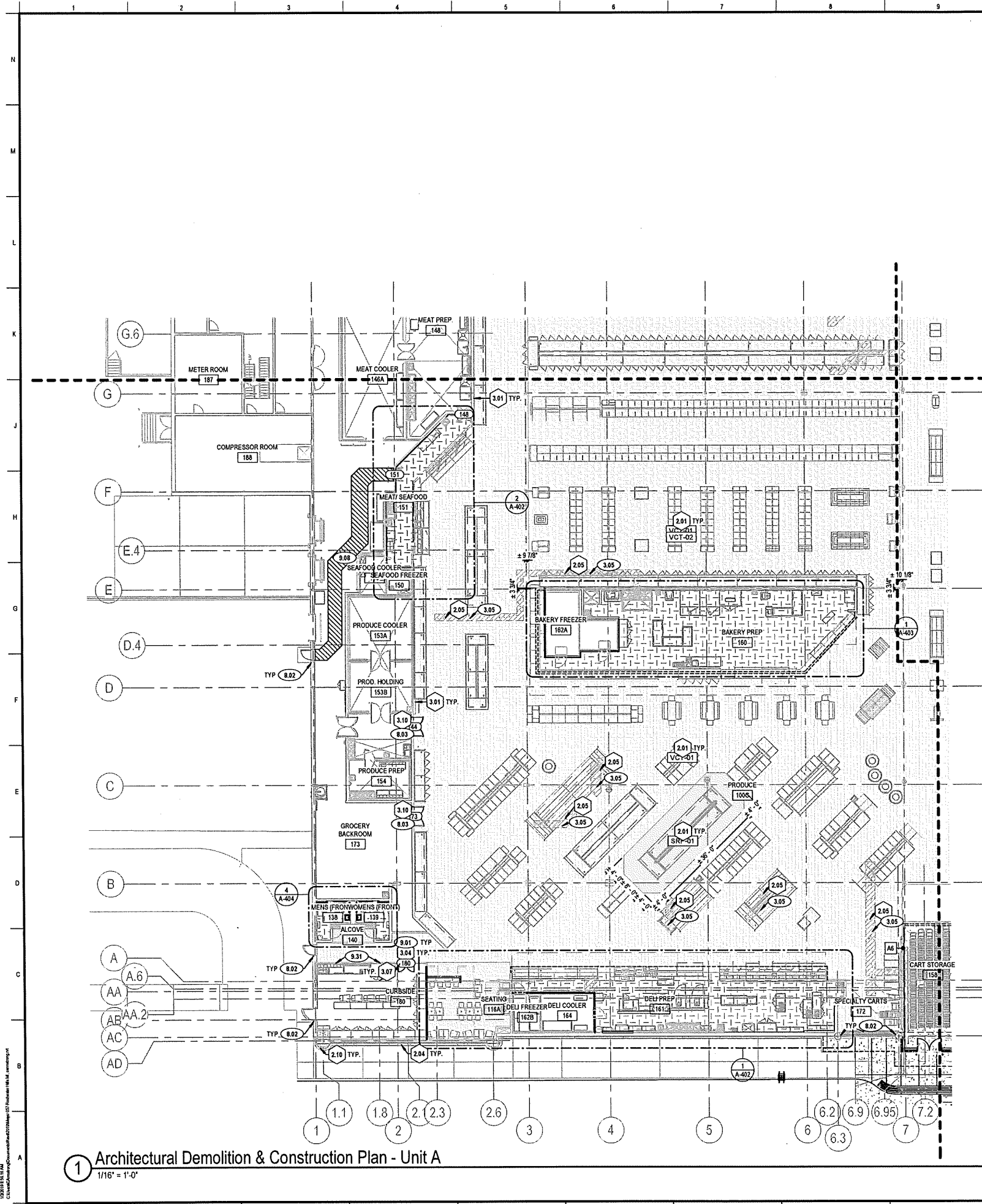
**STORE 057 MINOR RESET**  
**CP-19-00057**  
3175 S. Rochester Road  
Rochester, MI 48307

REVISIONS

NO.	DESCRIPTION	DATE
1	SPA Revisions	03/13/2019

PROJECT NO. 1801808  
ISSUE DATE 12/12/2019  
SUBMITTAL  
Issued for Bids, Permit, and Construction

Overall Floor Plan  
**A100**



1 Architectural Demolition & Construction Plan - Unit A  
1/16" = 1'-0"

3.01 FLOOR PLAN NOTES	
TAG	DESCRIPTION
DIV 3 - CONCRETE	
3.01	NEW EXTERIOR CONCRETE - REFER TO CIVIL.
3.02	NEW CONCRETE CURB ALONG BUILDING - REFER TO CIVIL / STRUCTURAL.
3.03	NEW BOLLARD - REFER TO CIVIL.
3.05	NEW INTERIOR CONCRETE SLAB - REFER TO GENERAL NOTES.
DIV 5 - METALS	
5.10	NEW STAINLESS STEEL SHROUD FROM TOP OF EXISTING HOOD UP TO 6" ABOVE CEILING SYSTEM. MODIFY CEILING SYSTEM AS REQUIRED TO ALLOW FOR INSTALLATION.
DIV 6 - WOOD, PLASTICS, AND COMPOSITES	
6.01	NEW CASEWORK - REFER TO MEJER 'Q' DOCUMENTS FOR ADDITIONAL INFORMATION.
6.04	EXISTING CABINETS AND COUNTERTOP TO RECEIVE NEW PLASTIC LAMINATE. INTERIOR CABINET FACES SHALL REMAIN AS IS.
DIV 8 - OPENINGS	
8.02	REMOVE OLD CAULKING AND PROVIDE NEW, FULL PERIMETER OF FRAME.
8.03	PAINT EXISTING DOOR & FRAME.
8.04	ADJUST HARDWARE ON DOORS AS REQUIRED FOR PROPER DOOR FUNCTION. PAINT DOOR AND FRAME.
8.05	REPLACE ALL EXISTING DOOR HARDWARE WITH LIKE/SIMILAR PRODUCTS, ONE FOR ONE. PAINT DOOR AND FRAME.
8.08	PROVIDE (1) ACCESS PANEL - COORDINATE WITH ELECTRICAL.
8.10	REPLACE DOOR AND HARDWARE TO MATCH EXISTING.
8.11	NEW ALUMINUM STOREFRONT SYSTEM - REFER TO SECTIONS.
DIV 9 - FINISHES	
9.01	REPAIR/REPLACE WALL SHEATHING TO MATCH ADJACENT. PREPARE WALL AS REQUIRED TO ACCEPT NEW FINISH. REFER TO TYPICAL INTERIOR ELEVATIONS OR ROOM FINISH SCHEDULE.
9.02	EXISTING BULKHEAD SHALL REMAIN. PREPARE GYPSUM BOARD AS REQUIRED FOR NEW FINISHES.
9.06	INFILL EXISTING OPENING WITH MATERIALS CONSISTENT WITH AND MATCHING ADJACENT WALL CONSTRUCTION. FINISH JOINT BETWEEN EXISTING AND NEW CONSTRUCTION IS UNDETECTABLE. CONTRACTOR TO FIELD VERIFY SCOPE OF WORK.
9.08	STRIP EGRESS PATH. REFER TO FINISH SCHEDULE NOTES.
9.09	PAINT REFRIGERATION PANEL TO MATCH EXISTING OR PT 112.
9.13	NEW BRICK VENEER SYSTEM. SEE EXTERIOR ELEVATIONS AND SECTIONS.
9.20	START EXISTING BRICK SYSTEM TO MATCH NEW BRICK VENEER. SEE ELEVATIONS.
9.21	CHASE WALL FOR LOZER CORNERS 1/2" GYP. BO. ON 3/8" METAL STUDS TO HEIGHT 1" TALLER THAN ADJACENT SHELVES (REFER TO MEJER 'Q' DOCUMENTS) CAP WITH 1/2" HDPE TOP AND TRIM.
9.22	PROVIDE NEW 1/2" MOISTURE RESISTANT GYP. BO. OVER EXISTING STUDS/CML. ALL WALLS IN THIS ROOM FROM FLOOR TO CEILING UNLESS NOTED OTHERWISE.
9.23	PROVIDE NEW ACOUSTICAL LAY-IN CEILING SYSTEM INSIDE BULKHEAD FRAMING. CEILING TILES TO BE WHYL FACED IN ALL WET & FOOD PREP AREAS.
9.24	EXISTING OPTI-GRID SYSTEM TO REMAIN. CLEAN ALL SURFACES.
9.30	PROVIDE NEW CEILING PADS IN EXISTING GRID. PAINT GRID PT 112.
9.31	EXTEND EXISTING WALL UP TO DECK. MATCH ADJACENT WALL CONSTRUCTION. PROVIDE DEFLECTION TRACK AT TOP OF WALL TO ALLOW FOR DEFLECTION.
9.34	PROVIDE NEW STAINLESS STEEL WRAPS AROUND COOLER/FREEZER DOORS AROUND DOOR FRAME. SIMILAR TO DETAIL 8/A-503.
DIV 10 - SPECIALTIES	
10.01	PROVIDE NEW TOILET PARTITION AND URINAL SCREEN SYSTEMS.
DIV 11 - EQUIPMENT	
11.01	CART GUIDE POST. REFER TO DTL 27/A-501 - VERIFY FINAL POST LOCATION AT ALL SWING AND SLIDER DOORS - COORDINATE LOCATION WITH C.M.
11.02	EAS THEFT DETECTION SYSTEM. REFER TO MEJER 'Q' DOCUMENTS.
11.05	CART GUIDE RAIL - REFER TO DTL 28/A-501 - VERIFY FINAL RAIL LOCATION AT ALL SWING AND SLIDER DOORS - COORDINATE LOCATION WITH C.M.
11.06	PROVIDE FENCE POST CAP AT ALL CUT ENDS OF SHADE CLOTH.
11.08	LOCATION OF PUSH-BUTTON ACTUATOR FOR DOORS - REFER TO ELECTRICAL.
DIV 32 - EXTERIOR IMPROVEMENTS	
32.01	NEW 6'-0" H DECORATIVE FENCE. REFER TO DETAILS ON A-002.
32.02	NEW 6'-0" H DECORATIVE FENCE GATE. REFER TO DETAILS ON A-002 & SPECIFICATIONS FOR HARDWARE SET.

1.01 DEMOLITION PLAN NOTES	
TAG	DESCRIPTION
CEILING DEMOLITION	
1.01	REMOVE ACOUSTICAL LAY-IN CEILING PANELS. EXISTING ACOUSTICAL LAY-IN CEILING GRID SHALL REMAIN. PREPARE EXISTING CEILING GRID AS REQUIRED TO ACCEPT NEW FINISH.
1.02	REMOVE ACOUSTICAL CEILING SYSTEM (TILE AND GRID) IN ITS ENTIRETY. PREPARE ADJACENT SURFACES AS REQUIRED TO RECEIVE NEW CEILING SYSTEM.
1.04	REMOVE DRYWALL BULKHEADS AND RELATED FRAMING AND SUPPORTS IN THEIR ENTIRETY. PATCH/REPAIR ADJACENT SURFACES AS REQUIRED TO ACCEPT SCHEDULED FINISHES.
1.07	REMOVE GYPSUM BOARD CEILING IN ITS ENTIRETY.
1.08	REMOVE OPTI-GRID, LIGHTING, AND BUS DUCT IN THEIR ENTIRETY. PREPARE ADJACENT SURFACES AS REQUIRED TO RECEIVE NEW CEILING SYSTEM.
1.09	REMOVE EXISTING CEILING SYSTEM AS REQUIRED FOR PLUMBING WORK. PATCH ADJACENT FINISH TO MATCH ADJACENT EXISTING CONSTRUCTION.
FLOORING DEMOLITION	
2.01	REMOVE FLOOR FINISH, WALL BASE, AND ALL RELATED MASTIC/ADHESIVE. CLEAN/PREP SUBFLOOR TO ACCEPT NEW FLOORING AS SCHEDULED. CONTRACTOR SHALL FIELD VERIFY SCOPE OF WORK.
2.03	EXISTING FLOOR FINISH SHALL REMAIN. CLEAN/PREPARE EXISTING FLOOR AS REQUIRED TO ACCEPT NEW FLOORING OVER EXISTING.
2.04	DEMOLISH EXTERIOR CONCRETE AS INDICATED. REFER TO CIVIL DRAWINGS.
2.05	REMOVE CONCRETE TO THE EXTENT INDICATED OR AS REQUIRED FOR NEW CONSTRUCTION.
2.06	REMOVE GRAVEL FROM PIT. PREPARE FOR NEW CONCRETE.
2.07	REMOVE ASPHALT - REFER TO CIVIL DRAWINGS.
2.08	REMOVE WALK-OFF SYSTEM. PROVIDE LEVELING COMPOUND AT REMOVED WALK-OFF SYSTEM AND PREP FLOOR TO ACCEPT NEW FLOORING AS SCHEDULED.
2.10	REMOVE CONCRETE CURBING AROUND BASE OF COLUMN.
PARTITION DEMOLITION	
3.01	REMOVE ACCENT BAND ASSEMBLY, AND ALL ACCESSORIES IN THEIR ENTIRETY. PRIOR TO REMOVAL, CONTRACTOR SHALL VERIFY ASSEMBLY IS NOT USED FOR ELECTRICAL RACEWAY CONCEALMENT. IF RACEWAY EXISTS, CONTACT ARCHITECT/ENGINEER FOR DIRECTION.
3.03	REMOVE TILE AND SUBSTRATE FROM EXISTING WALL. PREPARE EXISTING WALL AS REQUIRED TO ACCEPT SCHEDULED FINISH.
3.04	REMOVE CHAIR RAIL AND WALL FINISH BELOW CHAIR RAIL IN ITS ENTIRETY. PREPARE WALL SURFACE AS REQUIRED FOR SCHEDULED FINISHES.
3.05	REMOVE VINYL WALL COVERING AND ALL RELATED MASTIC/ADHESIVE. CLEAN/PREP WALL AS REQUIRED TO ACCEPT SCHEDULED FINISHES.
3.07	CUT AND REMOVE PARTITION AS NEEDED FOR NEW OPENING.
3.08	REMOVE MASONRY AND STEEL COLUMN IN THEIR ENTIRETY. REMOVE CONCRETE PIER AS REQUIRED FOR NEW SLAB CONSTRUCTION. FOUNDATION/FOOTER MAY REMAIN IN PLACE.
3.10	REMOVE DOOR, HARDWARE, AND ALL ACCESSORIES IN THEIR ENTIRETY. SALVAGE DOOR HARDWARE FOR REUSE. REPLACE DAMAGED HARDWARE WITH NEW. EXISTING FRAME SHALL REMAIN. PREPARE EXISTING FRAME AS REQUIRED FOR NEW FINISH AND DOOR INSTALLATION.
3.11	SAWCUT AND REMOVE PORTION OF PRECAST WALL AND PREP FOR NEW OPENING. VERIFY SIZE AND LOCATION W/ WINDOW SUPPLIER.
3.12	REMOVE DOOR AND FRAME COMPLETE. OFFER HARDWARE TO OWNER PRIOR TO DISPOSAL.
3.14	REMOVE FIBERGLASS REINFORCED PANELS AND SUBSTRATE FROM EXISTING WALL ONLY TO THE EXTENT REQUIRED FOR NEW CONSTRUCTION. PREPARE EXISTING WALL AS REQUIRED TO ACCEPT NEW CONSTRUCTION. SEE NEW CONSTRUCTION DRAWINGS FOR ADDITIONAL INFORMATION.
3.16	CUT & REMOVE PORTION OF PARTITION TO ALLOW FOR NEW CONSTRUCTION. REFER TO NEW CONSTRUCTION DRAWINGS FOR ADDITIONAL INFORMATION.
3.18	REMOVE DOOR, HARDWARE, AND ALL ACCESSORIES IN THEIR ENTIRETY. EXISTING FRAME SHALL REMAIN. PREPARE EXISTING FRAME AS REQUIRED FOR NEW FINISH AND DOOR INSTALLATION.
3.19	REMOVE WINDOW ASSEMBLY IN ITS ENTIRETY. PREP TO RECEIVE NEW SCHEDULED ITEM(S).
3.21	REMOVE PARTITION IN ITS ENTIRETY. PATCH/REPAIR ADJACENT MATERIALS AS REQUIRED TO ACCEPT NEW FINISHES.
3.22	REMOVE GRAPHIC/SIGNAGE FROM WALL. PATCH/REPAIR WALL TO MATCH ADJACENT. PREPARE WALL AS REQUIRED TO RECEIVE NEW FINISH.
3.23	REMOVE BRICK VENEER TO ALLOW FOR NEW BRICK VENEER.
3.24	REMOVE OVERHEAD CEILING DOOR AND TRACK. OFFER TO OWNER BEFORE DISPOSING.
3.27	DEMOLISH BULKHEAD IN ITS ENTIRETY. PATCH/REPAIR WALL TO MATCH ADJACENT WALL SURFACES TO REMAIN AND PREPARE TO RECEIVE SCHEDULED FINISHES.
3.28	DEMOLISH EXTERIOR SIGN BAND IN ITS ENTIRETY.
3.29	REMOVE CONCRETE COLUMN SURROUND - STEEL TO REMAIN.
3.32	REMOVE ENTIRE DOOR ENTRY SYSTEM, HARDWARE AND ACCESSORIES COMPLETE.
3.40	REMOVE BRICK VENEER AND SHEATHING IN THEIR ENTIRETY.
FIXTURE DEMOLITION	
4.01	REMOVE TOILET PARTITIONS, DOORS, AND ALL ACCESSORIES IN THEIR ENTIRETY.
4.02	REMOVE ALL TOILET ACCESSORIES IN THEIR ENTIRETY INCLUDING BUT NOT LIMITED TO SOAP DISPENSERS, BABY CHANGING TABLES, MIRRORS, HAND DRYER, SANITARY NAPKIN DISPENSERS AND DISPOSALS, AND TOILET PAPER DISPENSERS.
4.04	REMOVE CART GUIDE POSTRAIL IN ITS ENTIRETY. PREPARE AREA FOR NEW CONSTRUCTION.
4.08	REMOVE/RELOCATE EAS SYSTEM. REFER TO MEJER 'Q' DOCUMENTS.
4.13	REMOVE GARDEN CENTER FENCE, SCREEN WALL, PIERS, FOOTINGS, ETC. TO ALLOW FOR NEW CONSTRUCTION.
4.14	REMOVE GARDEN CENTER FENCE, GATE(S), AND POSTS. REMOVE CONCRETE AS REQUIRED AND TO THE NEAREST CONTROL JOINT TO ALLOW FOR NEW CONSTRUCTION.
4.17	REMOVE EXISTING CASH LAKE EQUIPMENT AND ALL ACCESSORIES IN THEIR ENTIRETY. PATCH ALL FLOORING FOR TEMPORARY ENTRANCE.

**ELEVATUS ARCHITECTURE**  
111 E Wayne Street, Suite 555, Fort Wayne, IN 46802  
260 424-5680  
ElevatusArchitecture.com

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STATE OF MICHIGAN  
CRAIG ARMSTRONG  
ARCHITECT  
NO. 1301064268  
LICENSED ARCHITECT

*Craig M. Armstrong*

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**CP-19-00057**  
3175 S. Rochester Road  
Rochester, MI 48307

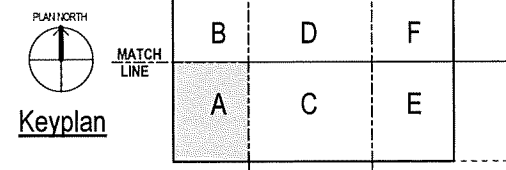
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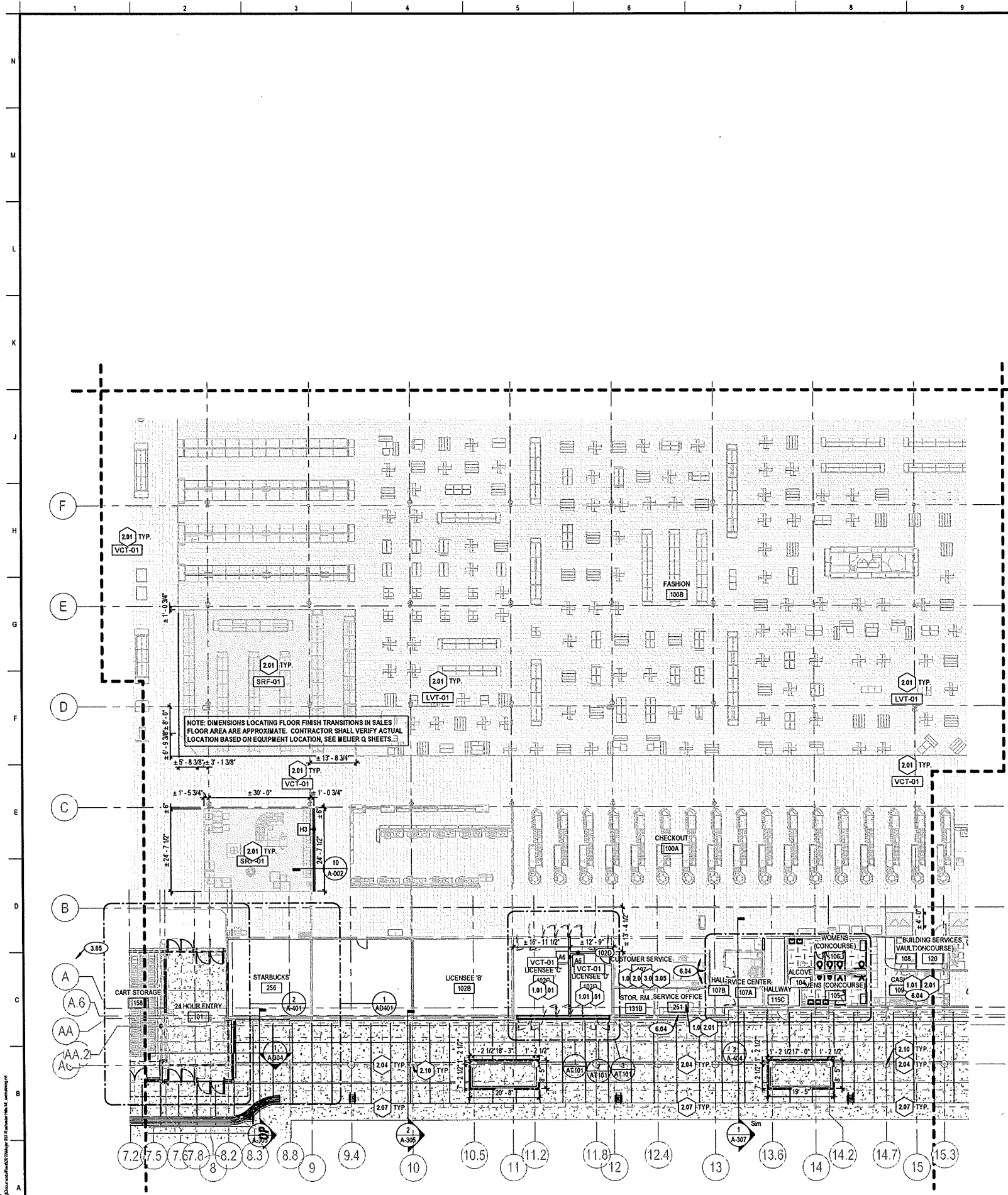
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PROJECT NO. 1601808  
ISSUE DATE 12/2/2018  
SUBMITTAL  
Owner Review Set

Architectural Demolition & Construction Plan - Unit A

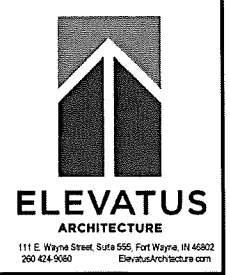
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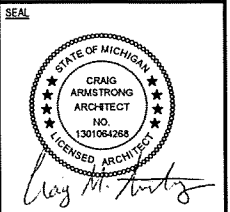


1.01 DEMOLITION PLAN NOTES	
TAG	DESCRIPTION
<b>CEILING DEMOLITION</b>	
1.01	REMOVE ACOUSTICAL LAY-IN CEILING PANELS. EXISTING ACOUSTICAL LAY-IN CEILING GRID SHALL REMAIN. PREPARE EXISTING CEILING GRID AS REQUIRED TO ACCEPT NEW FINISH.
1.02	REMOVE ACOUSTICAL CEILING SYSTEM (TILE AND GRID) IN ITS ENTIRETY. PREPARE ADJACENT SURFACES AS REQUIRED TO RECEIVE NEW CEILING SYSTEM.
1.04	REMOVE DRYWALL BULKHEADS AND RELATED FRAMING AND SUPPORTS IN THEIR ENTIRETY. PATCH/REPAIR ADJACENT SURFACES AS REQUIRED TO ACCEPT SCHEDULED FINISHES.
1.07	REMOVE GYPSUM BOARD CEILING IN ITS ENTIRETY.
1.08	REMOVE OPTI-GRID, LIGHTING, AND BUS DUCT IN THEIR ENTIRETY. PREPARE ADJACENT SURFACES AS REQUIRED TO RECEIVE NEW CEILING SYSTEM.
1.09	REMOVE EXISTING CEILING SYSTEM AS REQUIRED FOR PLUMBING WORK. PATCH OPENINGS AND FINISH TO MATCH ADJACENT EXISTING CONSTRUCTION.
<b>FLOORING DEMOLITION</b>	
2.01	REMOVE FLOOR FINISH, WALL BASE, AND ALL RELATED MASTIC/ADHESIVE. CLEAN/PREP SUBFLOOR TO ACCEPT NEW FLOORING AS SCHEDULED. CONTRACTOR SHALL FIELD VERIFY SCOPE OF WORK.
2.03	EXISTING FLOOR FINISH SHALL REMAIN. CLEAN/PREPARE EXISTING FLOOR AS REQUIRED TO ACCEPT NEW FLOORING OVER EXISTING.
2.04	DEMOLISH EXTERIOR CONCRETE AS INDICATED. REFER TO CIVIL DRAWINGS.
2.05	REMOVE CONCRETE TO THE EXTENT INDICATED OR AS REQUIRED FOR NEW CONSTRUCTION.
2.06	REMOVE GRAVEL FROM PIT. PREPARE FOR NEW CONCRETE.
2.07	REMOVE ASPHALT. REFER TO CIVIL DRAWINGS.
2.08	REMOVE WALK-OFF SYSTEM. PROVIDE LEVELING COMPOUND AT REMOVED WALK-OFF SYSTEM AND PREP FLOOR TO ACCEPT NEW FLOORING AS SCHEDULED.
2.10	REMOVE CONCRETE CURBING AROUND BASE OF COLUMN.
<b>PARTITION DEMOLITION</b>	
3.01	REMOVE ACCENT BAND ASSEMBLY, AND ALL ACCESSORIES IN THEIR ENTIRETY. PRIOR TO REMOVAL, CONTRACTOR SHALL VERIFY ASSEMBLY IS NOT USED FOR ELECTRICAL RACEWAY CONCEALMENT. IF RACEWAY EXISTS, CONTACT ARCHITECT/ENGINEER FOR DIRECTION.
3.03	REMOVE TILE AND SUBSTRATE FROM EXISTING WALL. PREPARE EXISTING WALL AS REQUIRED TO ACCEPT SCHEDULED FINISH.
3.04	REMOVE CHAIR RAIL AND WALL FINISH BELOW CHAIR RAIL IN ITS ENTIRETY. PREPARE WALL SURFACE AS REQUIRED FOR SCHEDULED FINISHES.
3.05	REMOVE VINYL WALL COVERING AND ALL RELATED MASTIC/ADHESIVE. CLEAN/PREP WALL AS REQUIRED TO ACCEPT SCHEDULED FINISHES.
3.07	CUT AND REMOVE PARTITION AS NEEDED FOR NEW OPENING.
3.08	REMOVE MASONRY AND STEEL COLUMN IN THEIR ENTIRETY. REMOVE CONCRETE PIER AS REQUIRED FOR NEW SLAB CONSTRUCTION. FOUNDATION/FOOTER MAY REMAIN IN PLACE.
3.10	REMOVE DOOR, HARDWARE, AND ALL ACCESSORIES IN THEIR ENTIRETY. SALVAGE DOOR HARDWARE FOR REUSE. REPLACE DAMAGED HARDWARE WITH NEW. EXISTING FRAME SHALL REMAIN. PREPARE EXISTING FRAME AS REQUIRED FOR NEW FINISH AND DOOR INSTALLATION.
3.11	SAW/CUT AND REMOVE PORTION OF PRECAST WALL AND PREP FOR NEW OPENING. VERIFY SIZE AND LOCATION WITH WINDOW SUPPLIER.
3.12	REMOVE DOOR AND FRAME COMPLETE. OFFER HARDWARE TO OWNER PRIOR TO DISPOSAL.
3.14	REMOVE FIBERGLASS REINFORCED PANELS AND SUBSTRATE FROM EXISTING WALL ONLY TO THE EXTENT REQUIRED FOR NEW CONSTRUCTION. PREPARE EXISTING WALL AS REQUIRED TO ACCEPT NEW CONSTRUCTION. SEE NEW CONSTRUCTION DRAWINGS FOR ADDITIONAL INFORMATION.
3.16	CUT & REMOVE PORTION OF PARTITION TO ALLOW FOR NEW CONSTRUCTION. REFER TO NEW CONSTRUCTION DRAWINGS FOR ADDITIONAL INFORMATION.
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3.22	REMOVE GRAPHIC/SIGNAGE FROM WALL. PATCH/REPAIR WALL TO MATCH ADJACENT. PREPARE WALL AS REQUIRED TO RECEIVE NEW FINISH.
3.23	REMOVE BRICK VENEER TO ALLOW FOR NEW BRICK VENEER.
3.24	REMOVE OVERHEAD COILING DOOR AND TRACK. OFFER TO OWNER BEFORE DISPOSING.
3.27	DEMOLISH BULKHEAD IN ITS ENTIRETY. PATCH/REPAIR WALL TO MATCH ADJACENT WALL SURFACES TO REMAIN AND PREPARE TO RECEIVE SCHEDULED FINISHES.
3.28	DEMOLISH EXTERIOR SIGN BAND IN ITS ENTIRETY.
3.29	DEMOLISH CONCRETE COLUMN SURROUND - STEEL TO REMAIN.
3.32	REMOVE ENTIRE DOOR ENTRY SYSTEM, HARDWARE AND ACCESSORIES COMPLETE.
3.40	REMOVE BRICK VENEER AND SHEATHING IN THEIR ENTIRETY.
<b>FIXTURE DEMOLITION</b>	
4.01	REMOVE TOILET PARTITIONS, DOORS, AND ALL ACCESSORIES IN THEIR ENTIRETY.
4.02	REMOVE ALL TOILET ACCESSORIES IN THEIR ENTIRETY INCLUDING BUT NOT LIMITED TO SOAP DISPENSERS, BABY CHANGING TABLES, MIRRORS, HAND DRYER, SANITARY NAPKIN DISPENSERS AND DISPOSALS, AND TOILET PAPER DISPENSERS.
4.04	REMOVE CART GUIDE POST/RAIL IN ITS ENTIRETY. PREPARE AREA FOR NEW CONSTRUCTION.
4.08	REMOVE/RELOCATE EAS SYSTEM. REFER TO MEJER 'Q' DOCUMENTS.
4.13	REMOVE GARDEN CENTER FENCE, SCREEN WALL, PIERS, FOOTINGS, ETC. TO ALLOW FOR NEW CONSTRUCTION.
4.14	REMOVE GARDEN CENTER FENCE, GATE(S) AND POSTS. REMOVE CONCRETE AS REQUIRED AND TO THE NEAREST CONTROL JOINT TO ALLOW FOR NEW CONSTRUCTION.
4.17	REMOVE EXISTING CASH LANE EQUIPMENT AND ALL ACCESSORIES IN THEIR ENTIRETY. PATCH ALL FLOORING FOR TEMPORARY ENTRANCE.

1.01 FLOOR PLAN NOTES	
TAG	DESCRIPTION
<b>DIV 3 - CONCRETE</b>	
3.01	NEW EXTERIOR CONCRETE - REFER TO CIVIL.
3.02	NEW CONCRETE CURB ALONG BUILDING - REFER TO CIVIL/STRUCTURAL.
3.03	NEW BOLLARD - REFER TO CIVIL.
3.05	NEW INTERIOR CONCRETE SLAB - REFER TO GENERAL NOTES.
<b>DIV 5 - METALS</b>	
5.10	NEW STAINLESS STEEL SHROUD FROM TOP OF EXISTING HOOD UP TO 6" ABOVE CEILING SYSTEM. MODIFY CEILING SYSTEM AS REQUIRED TO ALLOW FOR INSTALLATION.
<b>DIV 6 - WOOD, PLASTICS, AND COMPOSITES</b>	
6.01	NEW CASEWORK - REFER TO MEJER 'Q' DOCUMENTS FOR ADDITIONAL INFORMATION.
6.04	EXISTING CABINETS AND COUNTERTOP TO RECEIVE NEW PLASTIC LAMINATE. INTERIOR CABINET FACES SHALL REMAIN AS IS.
<b>DIV 8 - OPENINGS</b>	
8.02	REMOVE OLD CAULKING AND PROVIDE NEW, FULL PERIMETER OF FRAME.
8.03	PAINT EXISTING DOOR & FRAME.
8.04	ADJUST HARDWARE ON DOORS AS REQUIRED FOR PROPER DOOR FUNCTION. PAINT DOOR AND FRAME.
8.05	REPLACE ALL EXISTING DOOR HARDWARE WITH LIKE/SIMILAR PRODUCTS, ONE FOR ONE. PAINT DOOR AND FRAME.
8.08	PROVIDE (1) ACCESS PANEL - COORDINATE WITH ELECTRICAL.
8.10	REPLACE DOOR, AND HARDWARE TO MATCH EXISTING.
8.11	NEW ALUMINUM STOREFRONT SYSTEM - REFER TO SECTIONS.
<b>DIV 9 - FINISHES</b>	
9.01	REPAIR/REPLACE WALL SHEATHING TO MATCH ADJACENT. PREPARE WALL AS REQUIRED TO ACCEPT NEW FINISH. REFER TO TYPICAL INTERIOR ELEVATIONS OR ROOM FINISH SCHEDULE.
9.02	EXISTING BULKHEAD SHALL REMAIN. PREPARE GYPSUM BOARD AS REQUIRED FOR NEW FINISHES.
9.06	INFILL EXISTING OPENING WITH MATERIALS CONSISTENT WITH AND MATCHING ADJACENT WALL CONSTRUCTION. FINISH JOINT BETWEEN EXISTING AND NEW CONSTRUCTION IS UNDETECTABLE. CONTRACTOR TO FIELD VERIFY SCOPE OF WORK.
9.08	STRIP EGRESS PATH. REFER TO FINISH SCHEDULE NOTES.
9.09	PAINT REFRIGERATION PANEL TO MATCH EXISTING OR PT112.
9.13	NEW BRICK VENEER SYSTEM. SEE EXTERIOR ELEVATIONS AND SECTIONS.
9.20	STAIN EXISTING BRICK SYSTEM TO MATCH NEW BRICK VENEER. SEE ELEVATIONS.
9.21	CHASE WALL FOR LOBBY CORNERS 1/2" GYP. BD. ON 3/8" METAL STUDS TO HEIGHT 1' TALLER THAN ADJACENT SHELVES. REFER TO MEJER 'Q' DOCUMENTS) CAP WITH 1/2" HDPE TOP AND TRIM.
9.22	PROVIDE NEW 1/2" MOISTURE RESISTANT GYP. BD. OVER EXISTING STUDS/RAIL. ALL WALLS IN THIS ROOM FROM FLOOR TO CEILING UNLESS NOTED OTHERWISE.
9.23	REMOVE NEW ACOUSTICAL LAY-IN CEILING SYSTEM INSIDE BULKHEAD FRAMING. CEILING TILES TO BE VINYL FACED IN ALL WET & FOOD PREP AREAS.
9.24	EXISTING OPTI-GRID SYSTEM TO REMAIN. CLEAN ALL SURFACES.
9.30	PROVIDE NEW EXISTING PADS IN EXISTING GRID. PAINT GRID PT112.
9.31	EXTEND EXISTING WALL UP TO DECK. MATCH ADJACENT WALL CONSTRUCTION. PROVIDE DEFLECTION TRACK AT TOP OF WALL TO ALLOW FOR DEFLECTION.
9.34	PROVIDE NEW STAINLESS STEEL WRAPS AROUND COOLER/FREEZER DOORS AROUND DOOR FRAME, SIMILAR TO DETAIL 6A-503.
<b>DIV 10 - SPECIALTIES</b>	
10.01	PROVIDE NEW TOILET PARTITION AND URINAL SCREEN SYSTEMS.
<b>DIV 11 - EQUIPMENT</b>	
11.01	CART GUIDE POST - REFER TO DTL 37A-501 - VERIFY FINAL POST LOCATION AT ALL SWING AND SLIDER DOORS - COORDINATE LOCATION WITH C.M.
11.02	EAS THEFT DETECTION SYSTEM. REFER TO MEJER 'Q' DOCUMENTS.
11.05	CART GUIDE RAIL - REFER TO DTL 28A-501 - VERIFY FINAL RAIL LOCATION AT ALL SWING AND SLIDER DOORS - COORDINATE LOCATION WITH C.M.
11.06	PROVIDE FENCE POST CAP AT ALL CUT ENDS OF SHADE CLOTH.
11.08	LOCATION OF PUSH-BUTTON ACTUATOR FOR DOORS - REFER TO ELECTRICAL.
<b>DIV 32 - EXTERIOR IMPROVEMENTS</b>	
32.01	NEW 6'-0" H DECORATIVE FENCE - REFER TO DETAILS ON A-002.
32.02	NEW 6'-0" H DECORATIVE FENCE GATE - REFER TO DETAILS ON A-002 & SPECIFICATIONS FOR HARDWARE SET.



Professional seal area with text: 'I, CRAIG ANTHONY STROCK, ARCHITECT, LICENSE NO. 1301064263, hereby certify that I am the author of the design and construction documents shown on this plan. I am a duly licensed professional architect in the State of Michigan. My license is in good standing. I am not providing any services to the project of which I am the author of the design and construction documents shown on this plan. I am not providing any services to the project of which I am the author of the design and construction documents shown on this plan. I am not providing any services to the project of which I am the author of the design and construction documents shown on this plan.'



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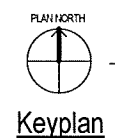
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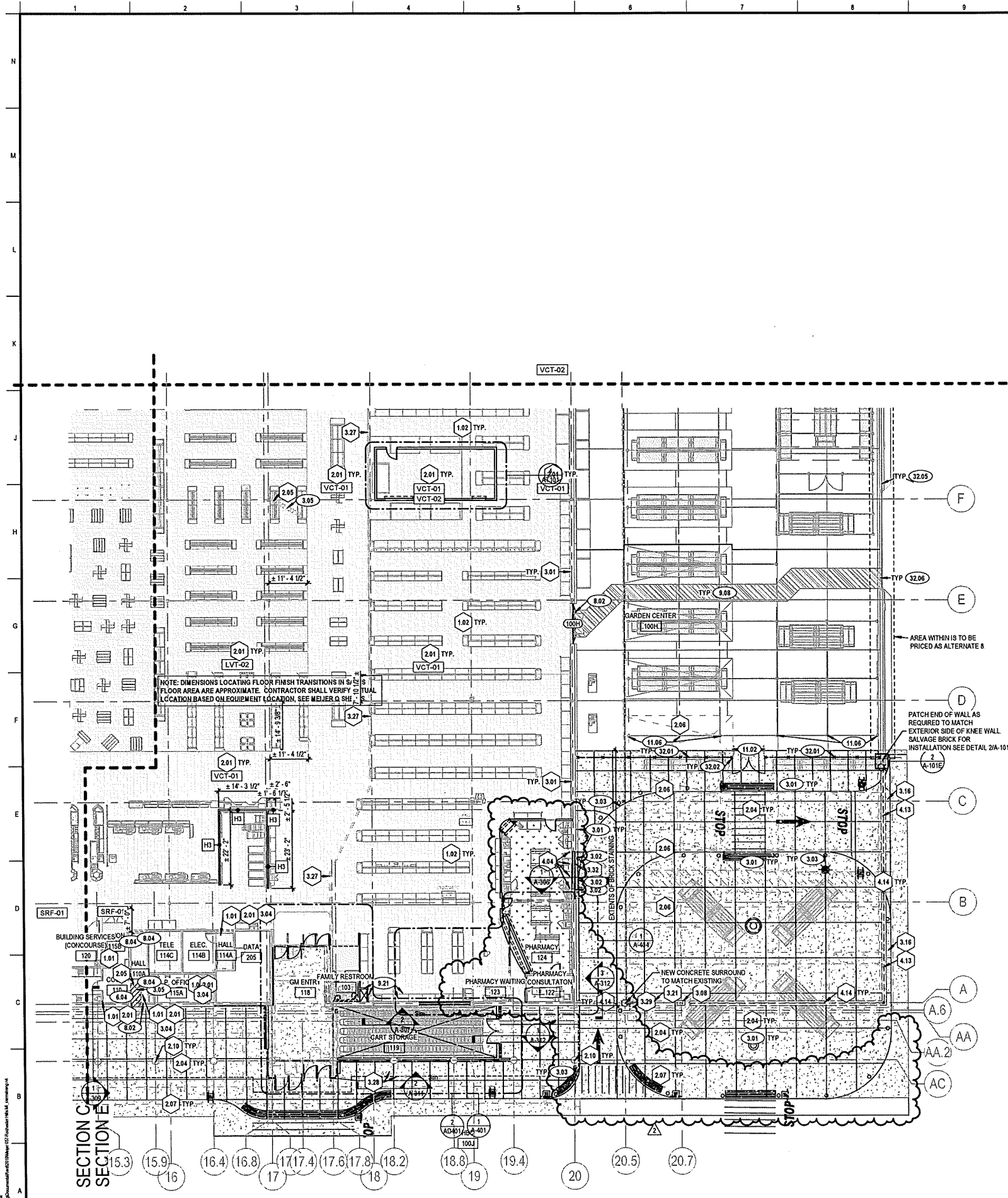
PROJECT NO. 180188  
ISSUE DATE 12/2/2018  
SUBMITTAL  
Owner Review Set

Architectural Demolition  
& Construction Plan -  
Unit C

**A101C**

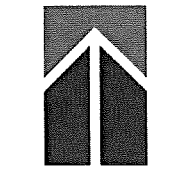


1 Architectural Demolition & Construction plan - Unit C  
1/16" = 1'-0"



1.01 DEMOLITION PLAN NOTES	
TAG	DESCRIPTION
<b>CEILING DEMOLITION</b>	
1.01	REMOVE ACCUSTICAL LAY-IN CEILING PANELS. EXISTING ACCUSTICAL LAY-IN CEILING GRID SHALL REMAIN. PREPARE EXISTING CEILING GRID AS REQUIRED TO ACCEPT NEW FINISH.
1.02	REMOVE ACCUSTICAL CEILING SYSTEM (TILE AND GRID) IN ITS ENTIRETY. PREPARE ADJACENT SURFACES AS REQUIRED TO RECEIVE NEW CEILING SYSTEM.
1.04	REMOVE DRYWALL BULKHEADS AND RELATED FRAMING AND SUPPORTS IN THEIR ENTIRETY. PATCH/REPAIR ADJACENT SURFACES AS REQUIRED TO ACCEPT SCHEDULED FINISHES.
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2.06	REMOVE GRAVEL FROM PIT. PREPARE FOR NEW CONCRETE.
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2.08	REMOVE WALK-OFF SYSTEM. PROVIDE LEVELING COMPOUND AT REMOVED WALK-OFF SYSTEM AND PREP FLOOR TO ACCEPT NEW FLOORING AS SCHEDULED.
2.10	REMOVE CONCRETE CURBING AROUND BASE OF COLUMN.
<b>PARTITION DEMOLITION</b>	
3.01	REMOVE ACENT BAND ASSEMBLY, AND ALL ACCESSORIES IN THEIR ENTIRETY. PRIOR TO REMOVAL, CONTRACTOR SHALL VERIFY ASSEMBLY IS NOT USED FOR ELECTRICAL RACEWAY CONCEALMENT. IF RACEWAY EXISTS, CONTACT ARCHITECT/ENGINEER FOR DIRECTION.
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3.16	REMOVE DOOR, HARDWARE, AND ALL ACCESSORIES IN THEIR ENTIRETY. SALVAGE DOOR HARDWARE FOR REUSE. REPLACE DAMAGED HARDWARE W/ NEW. EXISTING FRAME SHALL REMAIN. PREPARE EXISTING FRAME AS REQUIRED FOR NEW FINISH AND DOOR INSTALLATION.
3.12	REMOVE FIBERGLASS REINFORCED PANELS AND SUBSTRATE FROM EXISTING WALL ONLY TO THE EXTENT REQUIRED FOR NEW CONSTRUCTION. PREPARE EXISTING WALL AS REQUIRED TO ACCEPT NEW CONSTRUCTION. SEE NEW CONSTRUCTION DRAWINGS FOR ADDITIONAL INFORMATION.
3.15	REMOVE WALL SHEATHING DOWN TO EXISTING STUDS. REPLACE DAMAGED METAL STUD FRAMING WITH NEW TO MATCH EXISTING. PROVIDE NEW WALL SHEATHING TO MATCH EXISTING THICKNESS. PREPARE AS REQUIRED TO RECEIVE SCHEDULED FINISHES.
3.16	CUT & REMOVE PORTION OF PARTITION TO ALLOW FOR NEW CONSTRUCTION. REFER TO NEW CONSTRUCTION DRAWINGS FOR ADDITIONAL INFORMATION.
3.18	REMOVE DOOR, HARDWARE, AND ALL ACCESSORIES IN THEIR ENTIRETY. EXISTING FRAME SHALL REMAIN. PREPARE EXISTING FRAME AS REQUIRED FOR NEW FINISH AND DOOR INSTALLATION.
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3.01 FLOOR PLAN NOTES	
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<b>DIV 3 - CONCRETE</b>	
3.01	NEW EXTERIOR CONCRETE - REFER TO CIVIL.
3.02	NEW CONCRETE CURB ALONG BUILDING - REFER TO CIVIL / STRUCTURAL.
3.03	NEW BOLLARD - REFER TO CIVIL.
3.05	NEW INTERIOR CONCRETE SLAB - REFER TO GENERAL NOTES.
<b>DIV 5 - METALS</b>	
5.10	NEW STAINLESS STEEL SHROUD FROM TOP OF EXISTING HOOD UP TO 6" ABOVE CEILING SYSTEM. MODIFY CEILING SYSTEM AS REQUIRED TO ALLOW FOR INSTALLATION.
<b>DIV 6 - WOOD, PLASTICS, AND COMPOSITES</b>	
6.01	NEW CASEWORK - REFER TO MEJER "Q" DOCUMENTS FOR ADDITIONAL INFORMATION.
6.04	EXISTING CABINETS AND COUNTERTOP TO RECEIVE NEW PLASTIC LAMINATE. INTERIOR CABINET FACES SHALL REMAIN AS IS.
<b>DIV 8 - FINISHES</b>	
8.02	REMOVE OLD CAULKING AND PROVIDE NEW FULL PERIMETER OF FRAME.
8.03	PAINT EXISTING DOOR & FRAME.
8.04	ADJUST HARDWARE ON DOORS AS REQUIRED FOR PROPER DOOR FUNCTION. PAINT DOOR AND FRAME.
8.05	REPLACE ALL EXISTING DOOR HARDWARE WITH LIKE/SIMILAR PRODUCTS, ONE FOR ONE. PAINT DOOR AND FRAME.
8.07	INSTALL RELOCATED WINDOW IN ITS ENTIRETY.
8.08	PROVIDE (1) ACCESS PANEL - COORDINATE WITH ELECTRICAL.
8.10	REPLACE DOOR, AND HARDWARE TO MATCH EXISTING.
8.11	NEW ALUMINUM STOREFRONT SYSTEM - REFER TO SECTIONS.
<b>DIV 9 - FINISHES</b>	
9.01	REPAIR/REPLACE WALL SHEATHING TO MATCH ADJACENT. PREPARE WALL AS REQUIRED TO ACCEPT NEW FINISH. REFER TO TYPICAL INTERIOR ELEVATIONS OR ROOM FINISH SCHEDULE.
9.02	EXISTING BULKHEAD SHALL REMAIN. PREPARE GYPSUM BOARD AS REQUIRED FOR NEW FINISHES.
9.06	INFILL EXISTING OPENING WITH MATERIALS CONSISTENT WITH AND MATCHING ADJACENT WALL CONSTRUCTION. FINISH JOINT BETWEEN EXISTING AND NEW CONSTRUCTION IS UNDETECTABLE. CONTRACTOR TO FIELD VERIFY SCOPE OF WORK.
9.08	STRIP EGRESS PATH. REFER TO FINISH SCHEDULE NOTES.
9.09	PAINT REFRIGERATION PANEL TO MATCH EXISTING OR PTT12.
9.13	NEW BRICK VENEER SYSTEM. SEE EXTERIOR ELEVATIONS AND SECTIONS.
9.20	STAIN EXISTING BRICK SYSTEM TO MATCH NEW BRICK VENEER. SEE ELEVATIONS.
9.21	CHASE WALL FOR LOZGER CORNERS 1/2" GP. BD. ON 3/8" METAL STUDS TO HEIGHT 1" TALLER THAN ADJACENT SHELVES (REFER TO MEJER "Q" DOCUMENTS) CAP WITH 1/2" HDPE TOP AND TRIM.
9.22	PROVIDE NEW 1/2" MOISTURE RESISTANT GP. BD. OVER EXISTING STUDS/CML ALL WALLS IN THIS ROOM FROM FLOOR TO CEILING UNLESS NOTED OTHERWISE.
9.23	PROVIDE NEW ACCUSTICAL LAY-IN CEILING SYSTEM INSIDE BULKHEAD FRAMING. CEILING TILES TO BE VINYL FACED IN ALL WET & FOOD PREP AREAS.
9.24	EXISTING OPTI-GRID SYSTEM TO REMAIN. CLEAN ALL SURFACES.
9.30	PROVIDE NEW CEILING PADS IN EXISTING GRID. PAINT GRID PTT12.
9.31	EXTEND EXISTING WALL UP TO DECK. MATCH ADJACENT WALL CONSTRUCTION. PROVIDE DEFLECTION TRACK AT TOP OF WALL TO ALLOW FOR DEFLECTION.
9.33	EXTEND WALL UP TO 6" ABOVE NEW CEILING OR UP TO EXISTING REMAINING CEILING.
9.34	PROVIDE STAINLESS STEEL CORNER GUARDS AT NEW FURRING WALLS THAT ARE FRAMED AROUND COOLER / FREEZER DOORS & ACCESSORIES AS WELL AS BULKHEADS.
<b>DIV 10 - SPECIALTIES</b>	
10.01	PROVIDE NEW TOILET PARTITION AND URINAL SCREEN SYSTEMS.
<b>DIV 11 - EQUIPMENT</b>	
11.01	CART GUIDE POST - REFER TO DTL 271A-501 - VERIFY FINAL POST LOCATION AT ALL SWING AND SLIDER DOORS - COORDINATE LOCATION WITH C.M.
11.02	EAS THEFT DETECTION SYSTEM. REFER TO MEJER "Q" DOCUMENTS.
11.03	RELOCATED SHADE CLOTH ASSEMBLY. MATCH EXISTING ADJACENT CONDITIONS. PROVIDE CHAIN LINK FENCE POST CAP AT ALL OPEN ENDS.
11.05	CART GUIDE RAIL - REFER TO DTL 28A-501 - VERIFY FINAL RAIL LOCATION AT ALL SWING AND SLIDER DOORS - COORDINATE LOCATION WITH C.M.
11.06	PROVIDE FENCE POST CAP AT ALL CUT ENDS OF SHADE CLOTH.
11.08	LOCATION OF PUSH-BUTTON ACTUATOR FOR DOORS - REFER TO ELECTRICAL.
<b>DIV 32 - EXTERIOR IMPROVEMENTS</b>	
32.01	NEW 6'-0" H DECORATIVE FENCE. REFER TO DETAILS ON A-002.
32.02	NEW 6'-0" H DECORATIVE FENCE GATE. REFER TO DETAILS ON A-002 & SPECIFICATIONS FOR HARDWARE SET.
32.05	NEW ORNAMENTAL FENCE. ONE FOR ONE REPLACEMENT. REFER TO 3A-101E FOR ADDITIONAL INFORMATION.
32.06	NEW ORNAMENTAL FENCE GATE(S). ONE FOR ONE REPLACEMENT.
32.07	NEW CHAIN LINK FENCE GATE(S) - MATCH FENCE HEIGHT. PROVIDE HASP FOR OWNER PADLOCK - COORDINATE WITH OWNER.




**ELEVATUS**  
ARCHITECTURE

111 E. Wayne Street, Suite 556, Fort Wayne, IN 46802  
260.424.9090  
ElevatusArchitecture.com

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Craig M. Armstrong

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**CP-19-00057**  
 3175 S. Rochester Road  
 Rochester, MI 48307

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REVISIONS		
NO.	DESCRIPTION	DATE
1	Addendum #1	02/25/2019
2	SFA Revisions	03/13/2019

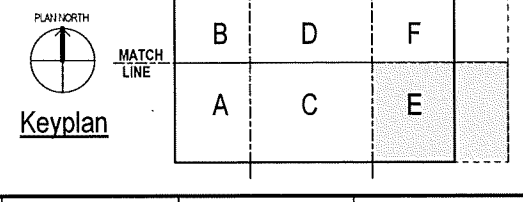
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PROJECT NO. 1801808      ISSUE DATE 1/21/2019

SUBMITTAL  
Issued for Bids, Permit, and Construction

Architectural Demolition  
& Construction Plan -  
Unit E

A101E

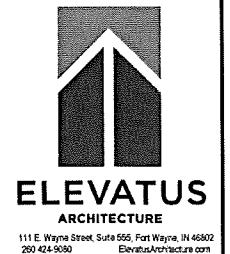


1 Architectural Demolition & Construction Plan - Unit E  
1/16" = 1'-0"

NOTE: REFER TO 09 91 00 FOR ADDITIONAL PAINTING AND PREPARATION REQUIREMENTS.

**EXTERIOR FINISH SCHEDULE**

TAG	DESCRIPTION
C-2	EXPOSED SITE CAST CONCRETE CURB
EF-1	EFS COLOR TO MATCH SW#142 "MACADAMIA". TEXTURE TO BE STO LIT 1.5 WITH 3/4" V-GROOVES.
EF-2	EFS COLOR TO MATCH SW#030 "ANEW GRAY". TEXTURE TO BE STO LIT 1.5 WITH 3/4" V-GROOVES.
EF-3	EFS COLOR TO MATCH SW#601 "TANBARK". TEXTURE TO BE STO LIT 1.5 WITH 3/4" V-GROOVES.
EPT-1	PAINT EXTERIOR SURFACE TO MATCH PAC-CLAD "BONE WHITE"
EPT-2	PAINT EXTERIOR SURFACE TO MATCH SW#142 "MACADAMIA"
EPT-3	PAINT EXTERIOR SURFACE TO MATCH PAC-CLAD "AWARD BLUE"
EPT-4	PAINT EXTERIOR SURFACE TO MATCH SW#030 "ANEW GRAY"
EPT-5	PAINT EXTERIOR SURFACE TO MATCH SW#010 "DORIAN GRAY"
EPT-6	PAINT EXTERIOR SURFACE TO MATCH SW#028 "GRIFFIN"
EPT-7	PAINT EXTERIOR SURFACE TO MATCH SW#044 "AMAZING GRAY"
EPT-8	PAINT EXTERIOR SURFACE TO MATCH EXISTING GREY EFS COLOR SHOWN IN VIEW #A201.
EPT-9	PAINT EXTERIOR SURFACE TO MATCH SW#601 "TANBARK"
EPT-10	PAINT EXTERIOR SURFACE TO MATCH
EPT-11	PAINT EXTERIOR SURFACE TO MATCH SW#019 "GAUNTLET GRAY"
G-1	GLASS - EXISTING TO REMAIN
G-2	GLASS UNIT CLEAR - 1/4" TEMPERED WHERE INDICATED.
G-3	GLASS UNIT CLEAR - 1/2" TEMPERED WHERE INDICATED.
G-4	GLASS - "DARK TINT" 1" INSULATED, TEMPERED AT CART STORAGE DOORS.
G-5	GLASS UNIT CLEAR - 1" INSULATED, TEMPERED WHERE INDICATED.
MA-1	FACE BRICK VENEER - COLOR "NO. 8532", UTILITY SIZE BY BELDEN BRICK - FIELD
MA-1A	THIN BRICK VENEER - COLOR "NO. 8532", UTILITY SIZE BY BELDEN BRICK - FIELD
MA-2	FACE BRICK VENEER - COLOR "SIENNA BLEND VELOUR", UTILITY SIZE BY BELDEN BRICK - FIELD
MA-2A	THIN BRICK VENEER - COLOR "SIENNA BLEND VELOUR", UTILITY SIZE BY BELDEN BRICK - FIELD
MA-3	STAIN EXISTING BRICK - COLOR MATCH "NO. 8532"
MT-1	PREFINISHED 22 GA METAL CAP FLASHING/BREAK METAL. COLOR TO BE PAC-CLAD "BONE WHITE"
MT-2	PREFINISHED 22 GA METAL CAP FLASHING/BREAK METAL. COLOR TO BE PAC-CLAD "AWARD BLUE"
MT-3	PREFINISHED METAL FASCIA PANEL. COLOR TO BE PAC-CLAD "AWARD BLUE"
MT-4	PREFINISHED ALUMINUM BREAK METAL TO MATCH WINDOW FRAMING SYSTEM. COLOR "CLEAR ANODIZED"
MT-5	STANDING SEAM PAC-CLAD "AWARD BLUE"



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 111 E. WAYNE STREET, SUITE 505, FORT WAYNE, IN 46802  
 260.424.5090  
 ELEVATUSARCHITECTURE.COM

PERMIT TO INSTALL OF THE EXISTING AND NEW ARCHITECTURE FOR THE PROJECT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



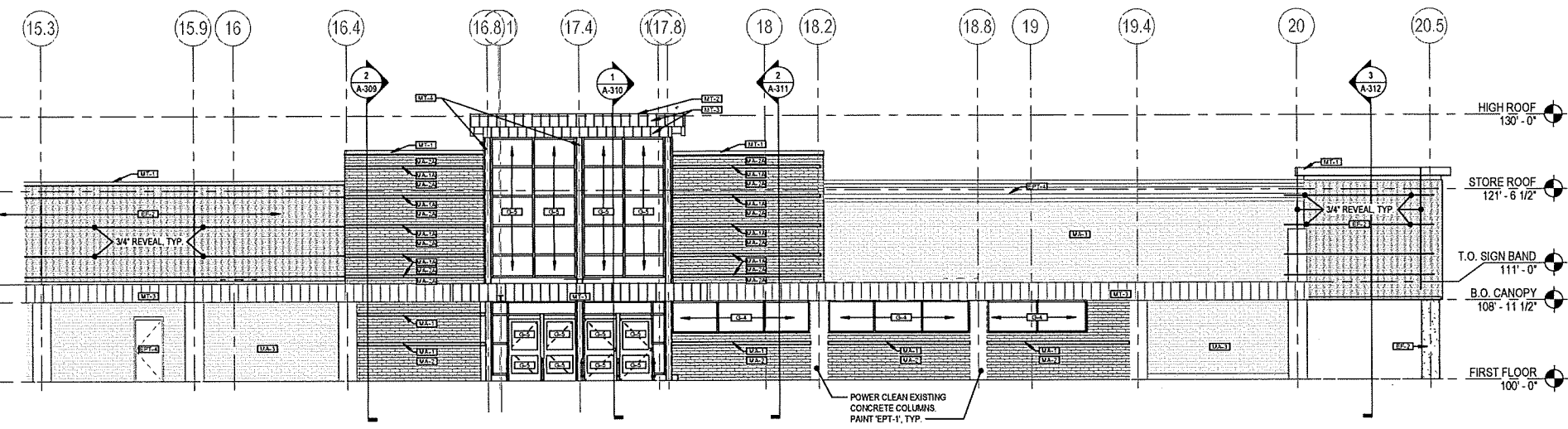
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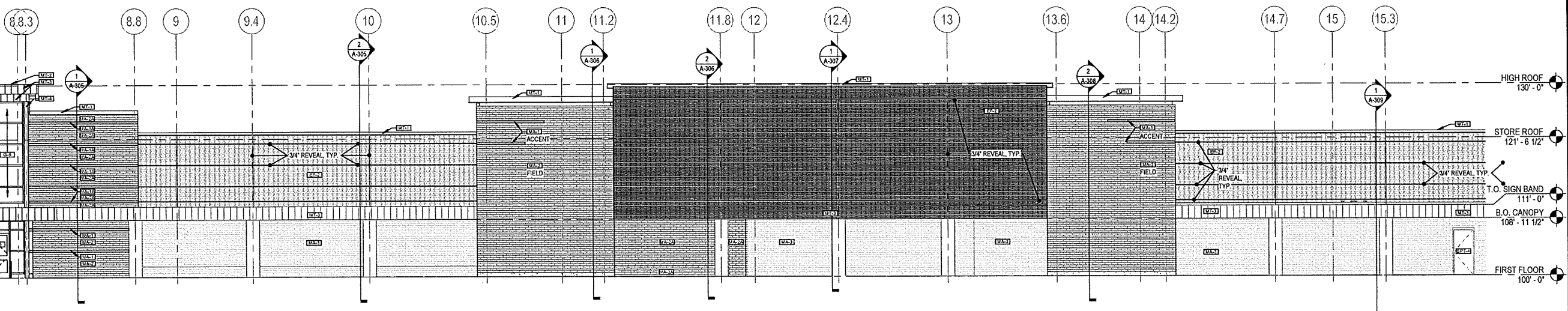
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 Owner Review Set

EXTERIOR ELEVATIONS

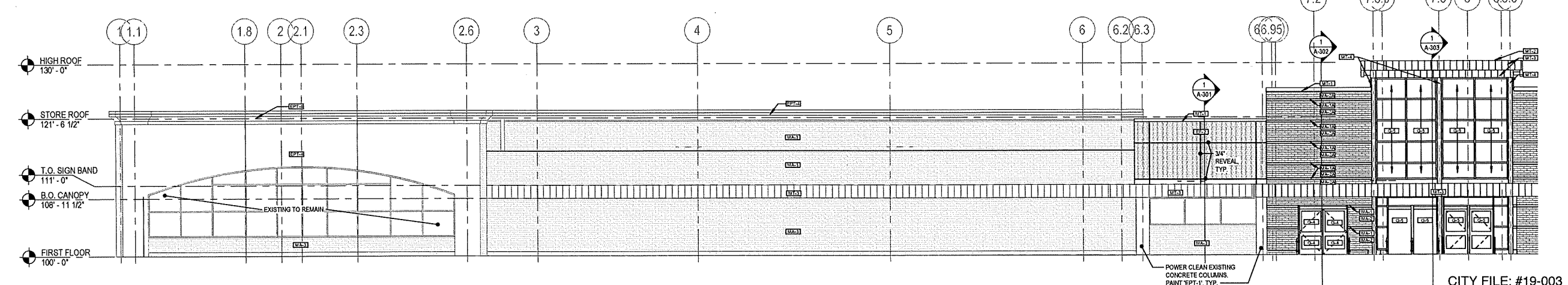
**A201**



**3 Exterior Elevation - GM Entry & Pharmacy**  
 1/8" = 1'-0"



**2 Exterior Elevation - Center Section**  
 1/8" = 1'-0"

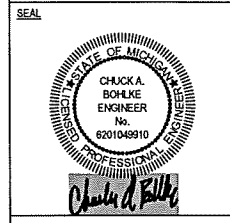


**1 Exterior Elevation - Grocery Entry**  
 1/8" = 1'-0"

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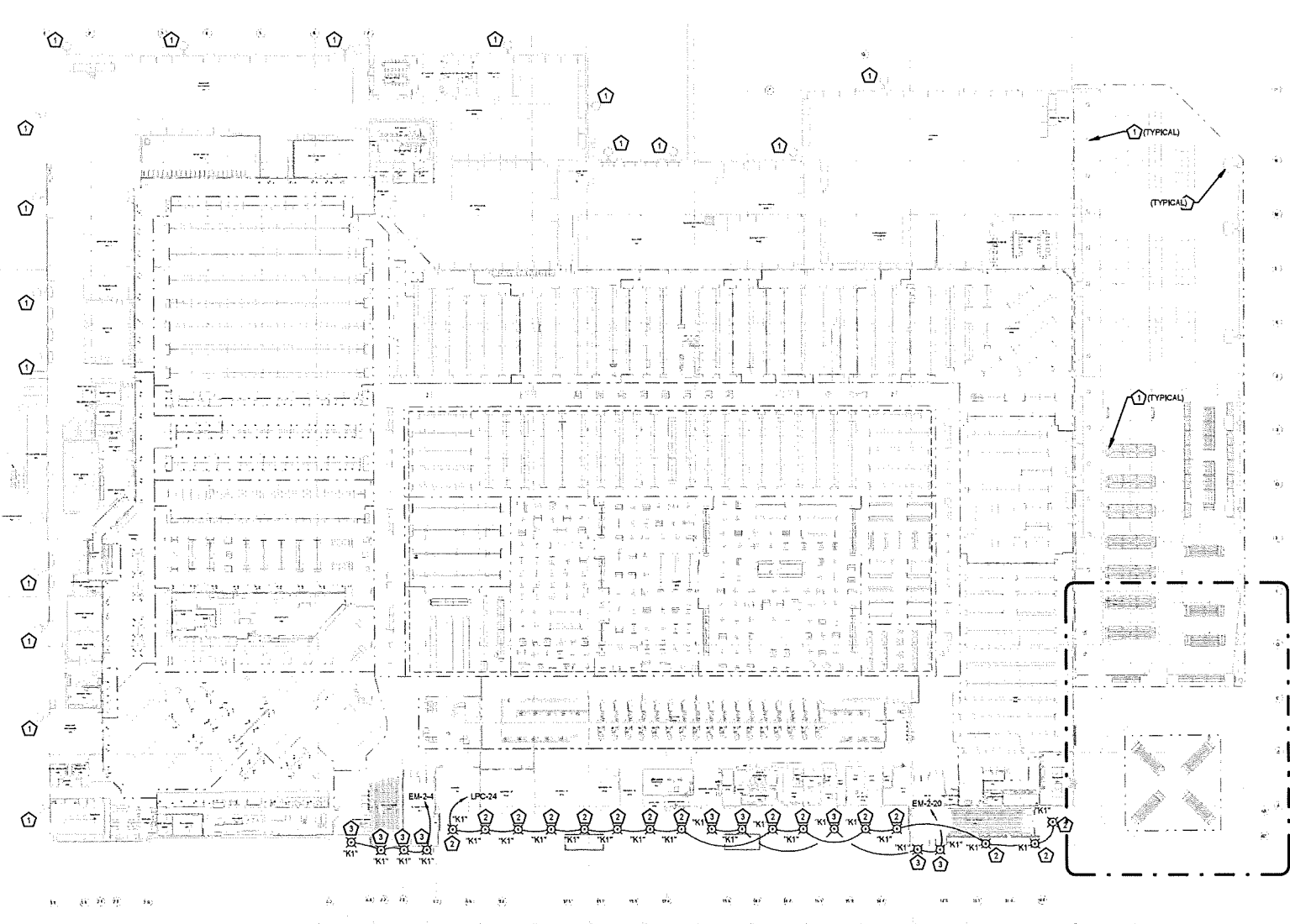
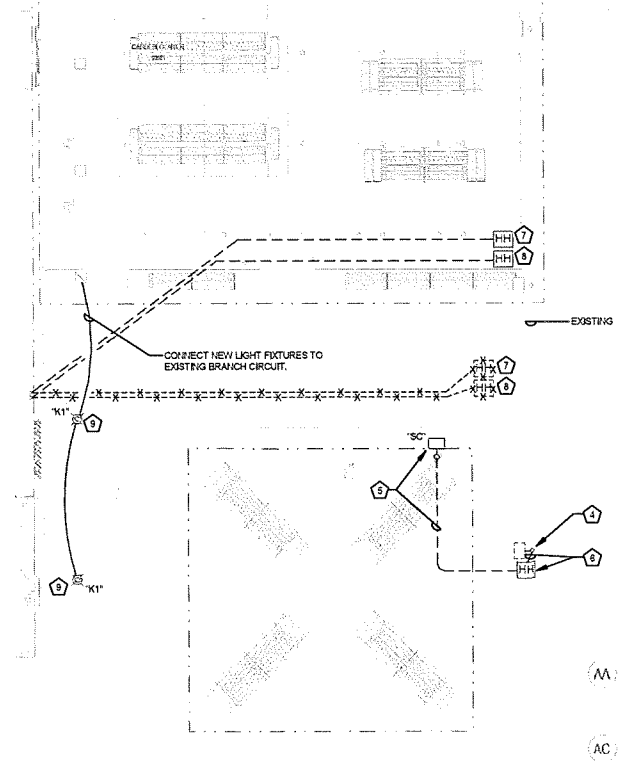
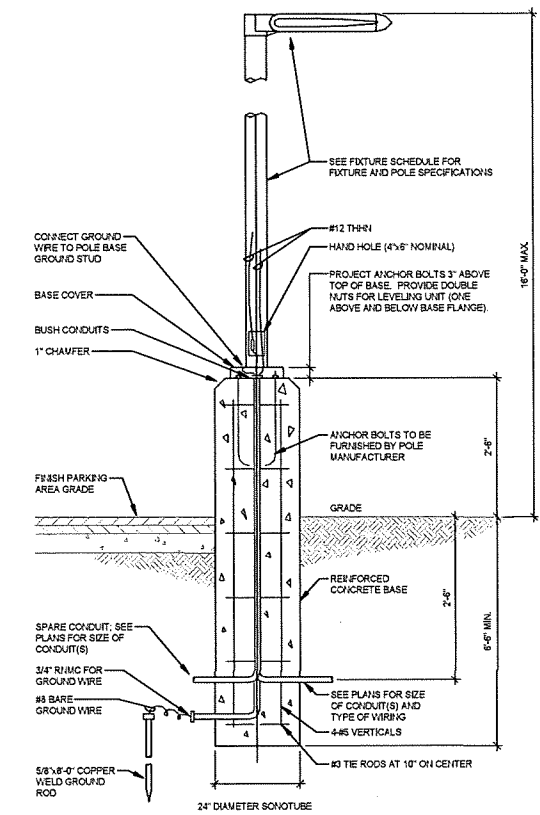
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NO.	DESCRIPTION	DATE

PROJECT NO. 1901608  
ISSUE DATE 12/2/18  
SUBMITTAL  
Owner Review Set

ELECTRICAL SITE PLAN

**ES101**

MDA JOB #18131  
**mda engineering, inc.**  
Mechanical and Electrical Engineers  
1415 Holland Road  
Mumma, Ohio 43337  
Phone: (615) 893-3141  
Fax: (615) 893-0687



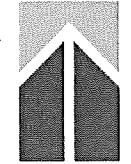
**1 SITE PLAN - ELECTRICAL**  
ES101 SCALE: 1" = 40'-0"

- PLAN NOTES**
- EXISTING TO REMAIN.
  - REMOVE EXISTING CANOPY MOUNTED FIXTURE AND INSTALL NEW FIXTURE IN SAME LOCATION OF EXISTING. RE-USE EXISTING CONDUIT/CONDUCTORS AND BOX. MOUNT NEW FIXTURE AND PLATE TO EXISTING JUNCTION BOX.
  - INSTALL NEW LIGHTING FIXTURE ABOVE ENTRY DOORS IN NEW CANOPY. THESE FIXTURE SHALL BE CONNECTED TO THE EXISTING EMERGENCY EXTERIOR LIGHTING CIRCUIT AS SHOWN AND CONTROLLED THROUGH EXISTING EXTERIOR LIGHTING CONTROL CIRCUITS.
  - REMOVE EXISTING LIGHT POLE, FIXTURE AND BASE AND RETURN TO OWNER.
  - NEW LIGHT FIXTURE POLE AND BASE. INSTALL NEW POLE BASE PER DETAIL, THIS SHEET AND INSTALL 2#10 & 1#100 - 3/4" C UNDERGROUND TO NEW HANDHOLE.
  - INTERCEPT EXISTING GARDEN CENTER SITE LIGHTING BRANCH CIRCUIT AT REMOVED LIGHT POLE LOCATION AND INSTALL A 13"W X 24"L X 18"D POLYMER CONCRETE HANDHOLE, TIER 15 RATED, OPEN BOTTOM, BOLTED ON COVER TO BE LABELED "LIGHTING", QUAZITE "PT" SERIES OR EQUAL. PROVIDE 12" DEEP FEA GRAVEL BELOW BOX AND EXTENDING 12" IN ALL DIRECTIONS FOR DRAINAGE.
  - EXISTING HANDHOLE LABELED "ELECTRIC" TO BE REMOVED. REMOVE EXISTING #410 & #100 CONDUCTORS AND CONDUIT ENTERING THE BUILDING. INSTALL A 13"W X 24"L X 18"D POLYMER CONCRETE HANDHOLE, TIER 15 RATED, OPEN BOTTOM, BOLTED ON COVER TO BE LABELED "ELECTRIC", QUAZITE "PT" SERIES OR EQUAL. INSTALL NEW #410 & #100 - 3/4" C AND INTERCEPT EXISTING BRANCH CIRCUIT AT INTERIOR OF BUILDING.
  - EXISTING HANDHOLE LABELED "TELEPHONE" TO BE REMOVED. REMOVE EXISTING 3/4" CONDUIT ENTERING THE BUILDING. INSTALL A 13"W X 24"L X 18"D POLYMER CONCRETE HANDHOLE, TIER 15 RATED, OPEN BOTTOM, BOLTED ON COVER TO BE LABELED "TELEPHONE", QUAZITE "PT" SERIES OR EQUAL. INSTALL NEW 3/4" C AND INTERCEPT EXISTING CIRCUIT AT INTERIOR OF BUILDING.
  - INSTALL NEW FIXTURE IN NEW SOFFIT. CONNECT TO EXISTING BRANCH CIRCUIT.

LIGHTING FIXTURE SCHEDULE-SITE						
MARK	QTY.	DESCRIPTION	MANUF. / CATALOG NO.	LAMPS	VOLTAGE	REMARKS
SC	1	ARM MOUNT TYPE V DISTRIBUTION LED FIXTURE AND POLE	FIXTURE: CREE #050-A-NM-SME-K-40K-UL-HH POLE: VALMONT #DSS330-400Q160-D1-WH-HH-AB-FBC	LED, 15,999 LUMENS, 130W, 4000°K, 70CRI	277 V	SEE POLE BASE DETAIL

**2 ENLARGED SITE PLAN - ELECTRICAL**  
ES101 SCALE: 1/16" = 1'-0"

CITY FILE: #19-003  
SECTION: #35

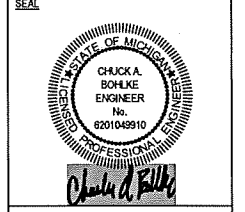


**ELEVATUS**  
ARCHITECTURE

111 E Wayne Street, Suite 555, Fort Wayne, IN 46802  
261-424-5080  
ElevatusArchitecture.com

**CONSENT TO CONTRACT**  
BY ARCHITECTURE, LLC AND ELEVATUS ARCHITECTURE

THIS AGREEMENT IS MADE THIS 15th day of August 2019, between ARCHITECTURE, LLC, a limited liability company organized under the laws of the State of Indiana, and ELEVATUS ARCHITECTURE, a professional corporation organized under the laws of the State of Indiana. ARCHITECTURE, LLC has agreed to provide professional architectural services to ELEVATUS ARCHITECTURE for the project described below. The fee for these services is set forth in the attached schedule of fees. ARCHITECTURE, LLC shall retain the right to terminate this agreement if ELEVATUS ARCHITECTURE fails to pay the fees as set forth in the schedule of fees. ARCHITECTURE, LLC shall not be responsible for any delay in the completion of the project caused by ELEVATUS ARCHITECTURE's failure to pay the fees as set forth in the schedule of fees. ARCHITECTURE, LLC shall not be responsible for any delay in the completion of the project caused by ELEVATUS ARCHITECTURE's failure to provide the necessary information to ARCHITECTURE, LLC in a timely manner. ARCHITECTURE, LLC shall not be responsible for any delay in the completion of the project caused by ELEVATUS ARCHITECTURE's failure to obtain the necessary permits from the appropriate authorities. ARCHITECTURE, LLC shall not be responsible for any delay in the completion of the project caused by ELEVATUS ARCHITECTURE's failure to coordinate with the other professionals involved in the project. ARCHITECTURE, LLC shall not be responsible for any delay in the completion of the project caused by ELEVATUS ARCHITECTURE's failure to provide the necessary information to ARCHITECTURE, LLC in a timely manner. ARCHITECTURE, LLC shall not be responsible for any delay in the completion of the project caused by ELEVATUS ARCHITECTURE's failure to obtain the necessary permits from the appropriate authorities. ARCHITECTURE, LLC shall not be responsible for any delay in the completion of the project caused by ELEVATUS ARCHITECTURE's failure to coordinate with the other professionals involved in the project.



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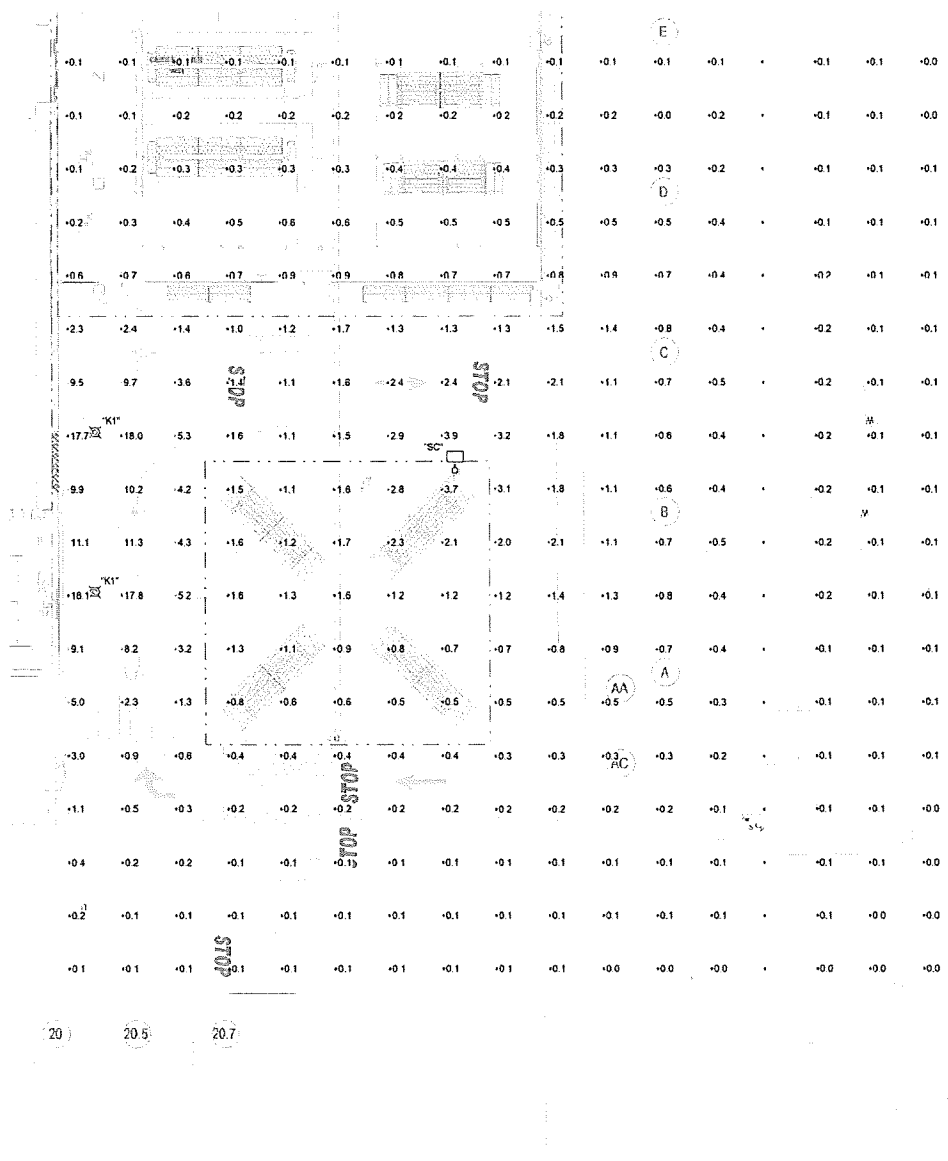
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NO.	DESCRIPTION	DATE

PROJECT NO. 1801868	ISSUE DATE 12/2/18
SUBMITTAL Owner Review Set	

ELECTRICAL SITE  
PLAN -  
PHOTOMETRICS

**ES102**



**1 PARTIAL SITE PLAN - PHOTOMETRIC**  
ES102 SCALE: 1/16" = 1'-0"

STATISTICAL AREA SUMMARY					
Calculation Points Name	Average	Maximum	Minimum	Maximum / Minimum	Average / Minimum
Pharmacy Drive up	1.12 fc	18.09 fc	0.00 fc	9550.2	615.1

STATISTICAL AREA SUMMARY - LIGHT FIXTURE				
MARK	DESCRIPTION	MANUF. / CATALOG NO.	Luminaire Lumens	Total Light Loss Factor
K1	LED CANOPY LIGHT, RUGGED CAST ALUMINUM, SILVER FINISH; SURFACE MOUNTED	CREE #CPY250-B-DM-F-A-UL-SV-40L	7600 lm	0.95
SC	ARM MOUNT TYPE V DISTRIBUTION LED FIXTURE AND POLE	FIXTURE: CREE #OSQ-A-NM-SME-K-40K-UL-WH POLE: VALMONT #DS330-400Q180-D1-WH-HH-AB-FBC	15999 lm	0.95

CITY FILE: #19-003  
SECTION: #35

**mda engineering, inc.**  
Mechanical and Electrical Engineers  
1415 Holland Road  
Mumma, Ohio 43337  
Phone: (419) 895-3141  
Fax: (419) 895-0687