

TH Management - Rochester Hills

254 Hampton Cir, Rochester Hills, MI 48307

ARCHITECT
STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

CIVIL / LANDSCAPE ENGINEER
STONEFIELD ENGINEERING & DESIGN
607 SHELBY ST.
SUITE 200
DETROIT, MI 48226
(248) 247-1115

MECH/PLUMB/ELEC ENGINEER
MA ENGINEERING
180 HIGH OAK RD
BLOOMFIELD HILLS, MI 48304
(248) 258-1610

STRUCTURAL ENGINEER
SJW ENGINEERING
7325 TRIANGLE DR
STERLING HEIGHTS, MI 48314
(810)282-9258

POOL
Next Steps: Schedule Planning Commission Date
10733 SUNSET OFFICE DR
STE 400
SAINT LOUIS, MO 63127
(314) 894-1245

<p>J2024-0082 PSP2024-0007 Revision #2 Received 8/1/2024</p>	<p>City of Rochester Hills Planning & Economic Development</p>
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Site Plan Review
Reviewed for compliance with City Ordinance, Building and Fire Codes
Conditions and mark-ups noted throughout plan set must be addressed prior to final approval

Department	Reviewer	Approved
Assessing	Assessing	Yes
Building	Mark Artinian 248-841-2446 ArtinianM@RochesterHills.org	Yes
Engineering - Utilities	Jason Boughton 248-841-2490 BoughtonJ@RochesterHills.org	Yes
Engineering Legal	Seth Bucholz 248-841-2491 bucholz@rochesterhills.org	YES Date:08/16/2024
Fire	Lt. Jon Mills 248-841-2708 MillsJ@RochesterHills.org	Yes
Natural Resources	Matt Einheuser 248-841-2551 EinheuserM@RochesterHills.org	Yes W/ conditions
Planning	Chris McLeod 248-841-2572 mcleodc@RochesterHills.org	Yes W/Conditions
Traffic	Keith Depp 248-841-2503 DeppK@RochesterHills.org	Yes

PROJECT INFORMATION

PROJECT DESCRIPTION
EXTERIOR RENOVATION OF COMMON AREA INCLUDING: PICKLE BALL COURTS, TENNIS COURTS, VOLLEYBALL COURT, POOL/SPLASHPAD, POOL HOUSE, PLAYGROUNDS, AND GREEN SPACES.

APPLICABLE CODES
2015 MICHIGAN BUILDING CODE (MBC)
2021 MICHIGAN MECHANICAL CODE (MMC)
2021 MICHIGAN PLUMBING CODE (MPC)
2015 MICHIGAN ENERGY CODE (MEC)
2013 ANSIAHRAE/IESNA 90.1
2023 NATIONAL ELECTRICAL CODE (NEC)
2015 NFPA-101 LIFE SAFETY CODE
2015 INTERNATIONAL SWIMMING POOL & SPA CODE

BARRIER FREE REQUIREMENTS:
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)
MBC-2015, CHAPTER 11
ICC / ANSI 117.1 - 2009, EXCEPT SECTION 611 & 707

SHEET DESIGNATION

DRAWINGS ARE NUMBERED ACCORDING TO THE FOLLOWING CONVENTIONS:

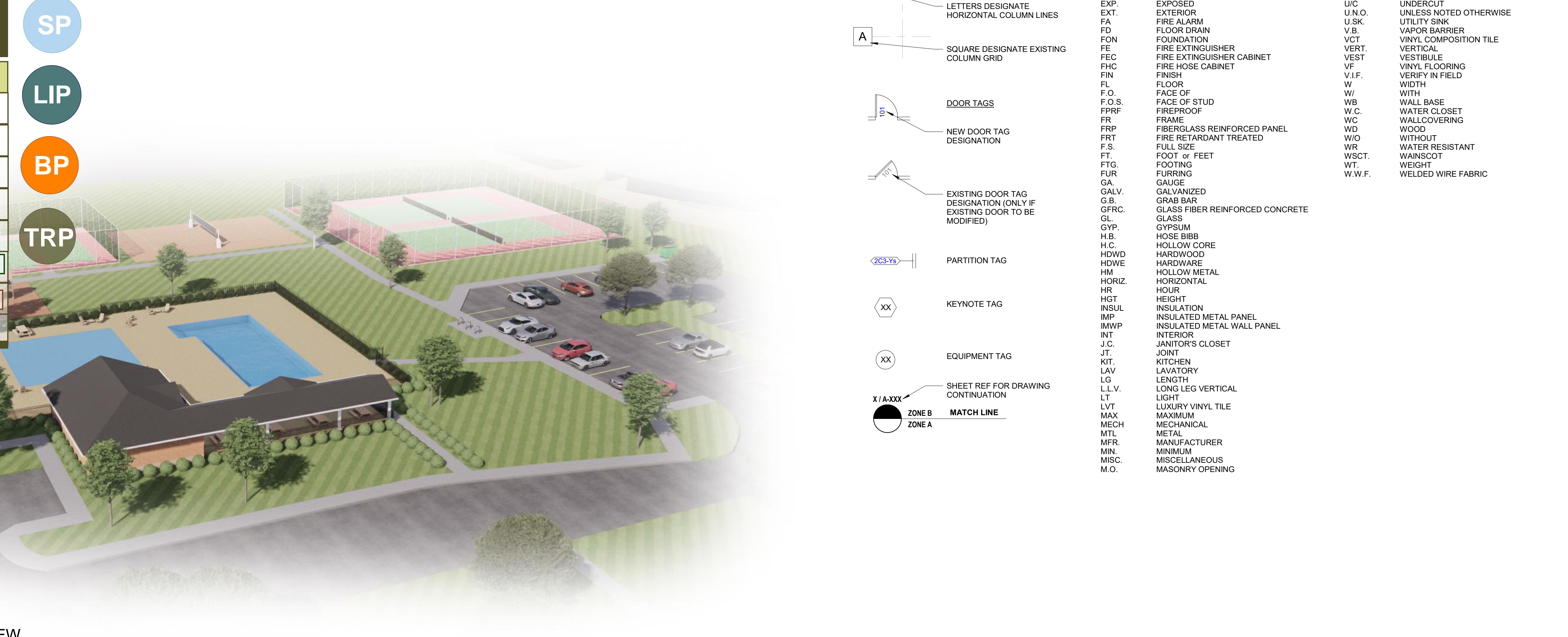
A001

PC	DRAWING SEQUENCE NUMBER
SP	DRAWING TYPE DESIGNATOR

LIP	DISCIPLINE DESIGNATOR
BP	GENERAL, LEGENDS
TRP	PLANS
	3 EXTERIOR ELEVATIONS

SHEET INDEX - GENERAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
G001	COVER SHEET, GENERAL INFORMATION, DRAWING INDEX	SPA Response	08.01.24
DRAWINGS: 1			
SHEET INDEX - LIFE SAFETY			
DWG #	DRAWING NAME	ISSUED FOR	DATE
LS101	CODE INFORMATION AND FLOOR LIFE SAFETY PLAN	SPA Response	08.01.24
DRAWINGS: 1			
SHEET INDEX - CIVIL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
1 OF 1	ALTA / NSPS LAND TITLE SURVEY	FOR REFERENCE	
C-1	COVER SHEET	SPA Response	08.01.24
C-2	DEMOLITION & TREE REMOVAL PLAN	SPA Response	08.01.24
C-3	SITE PLAN	SPA Response	08.01.24
C-4	GRADING & STORMWATER MANAGEMENT PLAN	SPA Response	08.01.24
C-5	UTILITY PLAN	SPA Response	08.01.24
C-6	FIRE PROTECTION PLAN	SPA Response	08.01.24
C-7	LIGHTING PLAN	SPA Response	08.01.24
C-8	LANDSCAPING PLAN	SPA Response	08.01.24
C-9	LANDSCAPING DETAILS	SPA Response	08.01.24
C-10	IRRIGATION PLAN	SPA Response	08.01.24
C-11	IRRIGATION DETAILS	SPA Response	08.01.24
C-12	SOIL EROSION & SEDIMENT CONTROL PLAN	SPA Response	08.01.24
C-13	CONSTRUCTION DETAILS	SPA Response	08.01.24
C-14	CONSTRUCTION DETAILS	SPA Response	08.01.24
C-15	CONSTRUCTION DETAILS	SPA Response	08.01.24
DRAWINGS: 16			
SHEET INDEX - ARCHITECTURAL DEMOLITION			
DWG #	DRAWING NAME	ISSUED FOR	DATE
AD001	ARCHITECTURAL SITE PLAN DEMOLITION	SPA Response	08.01.24
DRAWINGS: 1			
SHEET INDEX - ARCHITECTURAL			
DWG #	DRAWING NAME	ISSUED FOR	DATE
A001	PROPOSED ARCHITECTURAL SITE PLAN	SPA Response	08.01.24
A110	FIRST LEVEL CONSTRUCTION PLAN	SPA Response	08.01.24
A301	EXTERIOR ELEVATIONS	SPA RESPONSE	05.31.24
A310	EXTERIOR RENDER	SPA Response	08.01.24
DRAWINGS: 4			

NOTE:
THESE CONSTRUCTION DRAWINGS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY CODE AUTHORITY CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.



SYMBOL LEGEND

	ENLARGED CALLOUT TAG
	INTERIOR ELEVATION TAG
	EXTERIOR ELEVATION TAG
	DETAIL NUMBER
	VIEW TITLE
	VIEW SCALE
	SHEET NUMBER
	ROOM TAG
	LEVEL REFERENCE
	DATUM WORKPOINT
	COLUMN GRIDS
	NUMBERS DESIGNATE VERTICAL COLUMN LINES
	LETTERS DESIGNATE HORIZONTAL COLUMN LINES
	SQUARE DESIGNATE EXISTING COLUMN GRID
	DOOR TAGS
	NEW DOOR TAG DESIGNATION
	EXISTING DOOR TAG DESIGNATION (ONLY IF EXISTING DOOR TO BE MODIFIED)
	PARTITION TAG
	KEYNOTE TAG
	EQUIPMENT TAG
	SHEET REF FOR DRAWING CONTINUATION
	MATCH LINE

ABBREVIATION LEGEND

& L @	AND ANGLE AT	€ or Ø ±	CENTERLINE DIAMETER PLUS OR MIN
ACCESS.	ACCESSIBILITY	N	NORTH
ACOUS.	ACOUSTICAL	NIC	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NOM	NOMINAL
A.D.	AREA DRAIN	NTS	NOT TO SCALE
ADJ	ADJUSTABLE	O/C	ON CENTER
A.F.F.	ABOVE FINISH FLOOR	OFC	OFFICE
AL	ALUMINUM	OPNG	OPENING
ANOD.	ANODIZED	OPPOSITE	OPPOSITE
ARCH.	ARCHITECTURAL or ARCHITECT	OVFD	OVERFLOW DRAIN
ASPH.	ASPHALT	PL	PLATE
BD.	BOARD	PLAM	PLASTIC LAMINATE
BF	BARRIER FREE	PLAS	PLASTER
BLDG.	BUILDING	PNT	PAINT
BLK.G.	BLOCKING	PLYWD	PLYWOOD
BOT.	BOTTOM	PREFAB	PREFABRICATED
BR	BRICK	PFN	PREFINISH or PREFINISHED
CAB.	CABINET	PROJ	PROJECTION
CEM.	CEMENT	PT	POINT
C.J.	CONTROL JOINT	R.	RISER
CLG	CEILING	RCP	REFLECTED CEILING PLAN
C.F.M.F.	COLD FORMED METAL FRAMING	R.C.	ROOF CONDUCTOR
C.O.	CLEAN OUT	RD	ROOF DRAIN
CLC.O.	CLOSED	REIN	REINFORCING
CLR.	CLEAR	REQ'D	REQUIRED
COL.	COLUMN	RESIL	RESILIENT
CONC.	CONCRETE	RFG	ROOFING
C.G.	CORNER GUARD	RM	ROOM
CONST.	CONSTRUCTION	R.S.	ROOF SUMP
CONT.	CONTINUOUS	SAN	SANITARY
COR.	CORRIDOR	SC	SOLID CORE
CORR.	CORRUGATED	SCHE	SCHEDULE
CPT	CARPET	SHT	SHEET
C.T.	CERAMIC TILE	SIM	SIMILAR
CTSK.	COUNTER SUNK	SPEC	SPECIFICATIONS
CW	CURTAIN WALL	SO	SQUARE
D.F.	DRINKING FOUNTAIN	ST.STL.	STAINLESS STEEL
DET.	DETAIL	SS	SOLID SURFACE
DIA.	DIAMETER	STN	STONE
DIM.	DIMENSION	STD	STANDARD
DN.	DOWN	STL	STEEL
D.O.	DOOR OPENING	STN	STAIN
DR.	DOOR	STOR	STORAGE
D.S.	DOWN SPOUT	STRUCT	STRUCTURAL or STRUCTURE
DWG.	DRAWING	SUSP	SUSPENDED
DWR.	DRAWER	SYM	SYMMETRICAL
EA	EACH	T.	TREAD
E.J.	EXPANSION JOINT	T&B	TOP AND BOTTOM
EL.	ELEVATION	TERR.	TERRAZZO
ELEC.	ELECTRICAL	T.O.C.	TOP OF CURB
ELEV.	ELEVATOR	T&G	TONGUE AND GROOVE
E.O.S./E.O.S./E.O.D./E.O.D.	EDGE OF SLAB	THK	THICK
EP	EDGE OF DECK	THRES.	THRESHOLD
EPCX	ELECTRICAL PANEL	T.O.P.	TOP OF PARAPET
EPOX	EPOXY	TA	TOILET ACCESSORY
EQ.	EQUAL	TV	TELEVISION
EQPM	EQUIPMENT	T.O.W.	TOP OF WALL
E.W.	EACH WAY	TOS / T.O.S.	TOP OF STEEL
EXIST. / EX	EXISTING	TYP.	TYPICAL
EXT.	EXPOSED	U/C	UNDERCUT
EXT.	EXTERIOR	U.N.O.	UNLESS NOTED OTHERWISE
FA	FIRE ALARM	U.S.K.	UTILITY SINK
FD	FLOOR DRAIN	V.B.	VAPOR BARRIER
FON	FOUNDATION	VCT	VINYL COMPOSITION TILE
FE	FIRE EXTINGUISHER	VERT	VERTICAL
FEC	FIRE EXTINGUISHER CABINET	VEST	VESTIBULE
FHC	FIRE HOSE CABINET	VF	VINYL FLOORING
FIN	FINISH	V.I.F.	VERIFY IN FIELD
FL	FLOOR	W	WIDTH
F.O.	FACE OF	W	WITH
F.O.S.	FACE OF STUD	WB	WALL BASE
FR	FIREPROOF	W.C.	WATER CLOSET
FR	FRAME	WC	WALLCOVERING
FRP	FIBERGLASS REINFORCED PANEL	WD	WOOD
FRT	FIRE RETARDANT TREATED	WO	WITHOUT
F.S.	FULL SIZE	WR	WATER RESISTANT
FT.	FOOT or FEET	WSCT.	WAINSCOT
FTG.	FOOTING	WT.	WEIGHT
FUR	FURRING	W.W.F.	WELDED WIRE FABRIC
GA	GAUGE		
GALV.	GALVANIZED		
G.B.	GRAB BAR		
GFR.C.	GLASS FIBER REINFORCED CONCRETE		
GL.	GLASS		
GYP.SUM	GYP.SUM		
H.B.	HOSE BIBB		
H.C.	HOLLOW CORE		
HDWD	HARDWOOD		
HDWE	HARDWARE		
HM	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HR	HOUR		
HGT	HEIGHT		
INSUL	INSULATION		
IMP	INSULATED METAL PANEL		
IMWP	INSULATED METAL WALL PANEL		
INT	INTERIOR		
J.C.	JANITOR'S CLOSET		
JT.	JOINT		
KIT.	KITCHEN		
LAV.	LAVATORY		
LG	LENGTH		
L.L.V.	LONG LEG VERTICAL		
LT	LIGHT		
LVT	LUXURY VINYL TILE		
MAX	MAXIMUM		
MECH	MECHANICAL		
MTL	METAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		



STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
P. 248.546.6700
F. 248.546.8454
WWW.STUCKYVITALE.COM

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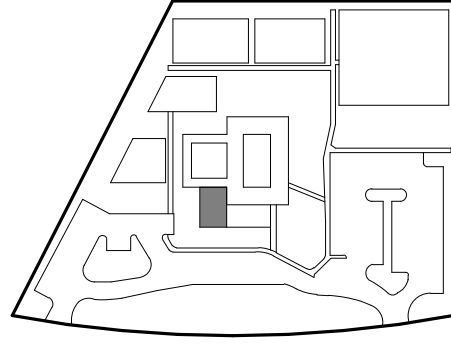
Consultants

Seal:

Project:

TH Management - Rochester Hills

254 Hampton Cir, Rochester Hills, MI 48307



Key Plan:

Issued for

SPA 03.26.24
SPA RESPONSE 05.31.24
SPA Response 08.01.24

ROCHESTER HILLS CITY FILE #:
24-0082, SEC. #28
Drawn by: JML
Checked by: ARR
Sheet Title: COVER SHEET, GENERAL INFORMATION, DRAWING INDEX
Project No.: 2023.064
Sheet No.: G001

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CODE SUMMARY

PROJECT SCOPE
EXTERIOR RENOVATION OF COMMON AREA INCLUDING: PICKLE BALL COURTS, TENNIS COURTS, VOLLEYBALL COURT, POOL/SPLASHPAD, POOL HOUSE, PLAYGROUNDS, AND GREEN SPACES.

APPLICABLE CODES AND REFERENCES

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- 2015 INTERNATIONAL SWIMMING POOL & SPA CODE

BUILDING CHARACTERISTICS

ENCLOSED BUILDING AREA = 2,628GSF
OPEN POOL DECK AREA = 12,050GSF

BUILDING HEIGHT - NUMBER OF STORIES = 1
HIGHEST OCCUPIED FLOOR = 0'-0"
HIGHEST PORTION OF BUILDING = 16'-4" (TOP OF ROOF)

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION
ASSEMBLY A-3U, MIXED USE, NON-SEPARATED

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

BASED ON TYPE 5B CONSTRUCTION - NOT-SPRINKLERED

ALLOWABLE BUILDING HEIGHT IN FEET = 40'-0" (PER TABLE 504.3)
ALLOWABLE BUILDING HEIGHT IN STORIES = 1 STORIES (PER TABLE 504.4)
ALLOWABLE BUILDING AREA = 5,500 (PER TABLE 506.2 FOR "U")

CHAPTER 6 - TYPES OF CONSTRUCTION

TABLE 601
FOR TYPE 5B FIRE RESISTANCE RATINGS FOR BUILDING ELEMENTS

STRUCTURAL FRAME = 0 HRS
BEARING WALLS (INT. & EXT.) = 0 HRS
NON-LOAD BEARING WALLS (EXT.) = 0 HRS
NON-BEARING WALLS & PARTITIONS = 0 HRS
FLOOR CONSTRUCTION = 0 HRS
ROOF CONSTRUCTION = 0 HRS

CHAPTER 9 - FIRE PROTECTION SYSTEMS

NOT REQUIRED

CHAPTER 10 - MEANS OF EGRESS

CALCULATED PER TABLE 1004.1.2 BUT TO BE REVIEWED BY BUILDING OFFICIAL PER SECTION 1004.5.
BUILDING OCCUPANCY = 3
OPEN POOL DECK OCCUPANCY = 647 (POOL + SPLASH PAD + PATIO + DECK)

TOTAL OCCUPANCY = 650

1004.5 OUTDOOR AREAS

YARDS, PATIOS, COURTS AND SIMILAR OUTDOOR AREAS ACCESSIBLE TO AND USABLE BY THE BUILDING OCCUPANTS SHALL BE PROVIDED WITH MEANS OF EGRESS AS REQUIRED BY THIS CHAPTER. THE OCCUPANT LOAD OF SUCH OUTDOOR AREAS SHALL BE ASSIGNED BY THE BUILDING OFFICIAL IN ACCORDANCE WITH THE ANTICIPATED USE.

1005.3.2 OTHER EGRESS COMPONENTS

CAPACITY OF OTHER THAN STAIRWAY WIDTH IN INCHES OF MEANS OF EGRESS - 0.2"/OCCUPANT.

1005.5 DISTRIBUTION OF MEANS OF EGRESS

MEANS OF EGRESS SHALL BE CONFIGURED SUCH THAT THE LOSS OF ONE, WHERE MORE THAN ONE IS REQUIRED, WILL NOT REDUCE THE AVAILABLE CAPACITY TO LESS THAN 50% OF REQUIRED.

TABLE 1006.3.1 MINIMUM NUMBER OF EXITS

ANY LEVEL WITH AN OCCUPANCY >1000 SHALL HAVE A MINIMUM OF 4 EXITS.

-3 EXITS PROVIDED

1024.2 EXIT PASSAGEWAY WIDTH

MINIMUM WIDTH OF EXIT PASSAGEWAYS SHALL NOT BE LESS THAN 44".

CHAPTER 11 - ACCESSIBILITY

1109.2 TOILET AND BATHING FACILITIES

EACH TOILET ROOM AND BATHING ROOM SHALL BE ACCESSIBLE.

1109.2.1 FAMILY OR ASSISTED-USE TOILET AND BATHING ROOMS

IN ASSEMBLY OCCUPANCIES, A FAMILY OR ASSISTED-USE TOILET ROOM SHALL BE PROVIDED WHERE AN AGGREGATE OF SIX OR MORE MALE AND FEMALE WATER CLOSETS IS REQUIRED.

1109.2.1.4 LOCATION

FAMILY OR ASSISTED-USE TOILET AND BATHING ROOMS SHALL BE LOCATED ON AN ACCESSIBLE ROUTE. MAXIMUM DISTANCE FROM ANY SEPARATE SEX TOILET ROOM IS 500'-0".

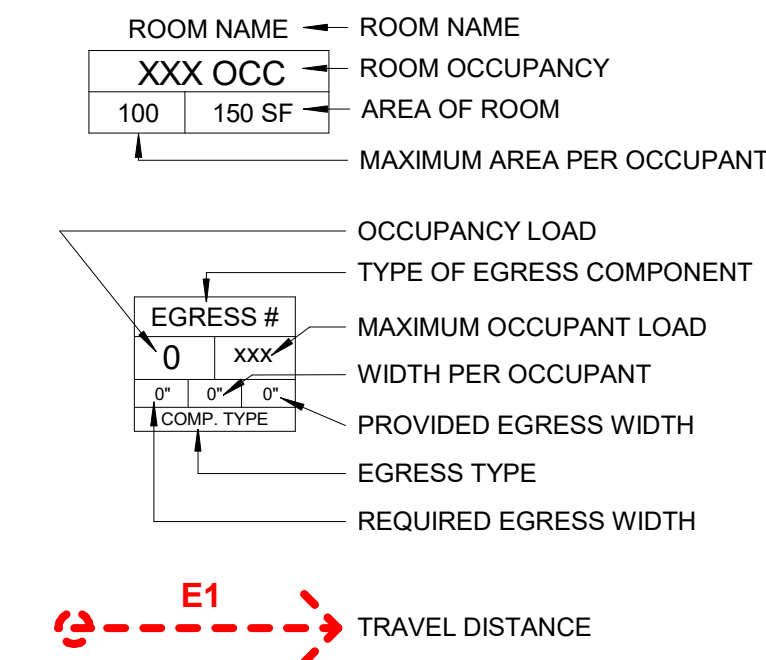
1109.2.2 WATER CLOSET COMPARTMENT

AT LEAST ONE WHEELCHAIR ACCESSIBLE COMPARTMENT SHALL BE PROVIDED IN EACH TOILET ROOM. WHERE COMBINED TOTAL WATER CLOSETS EXCEEDS SIX, AT LEAST ONE AMBULATORY COMPARTMENT SHALL ALSO BE PROVIDED.

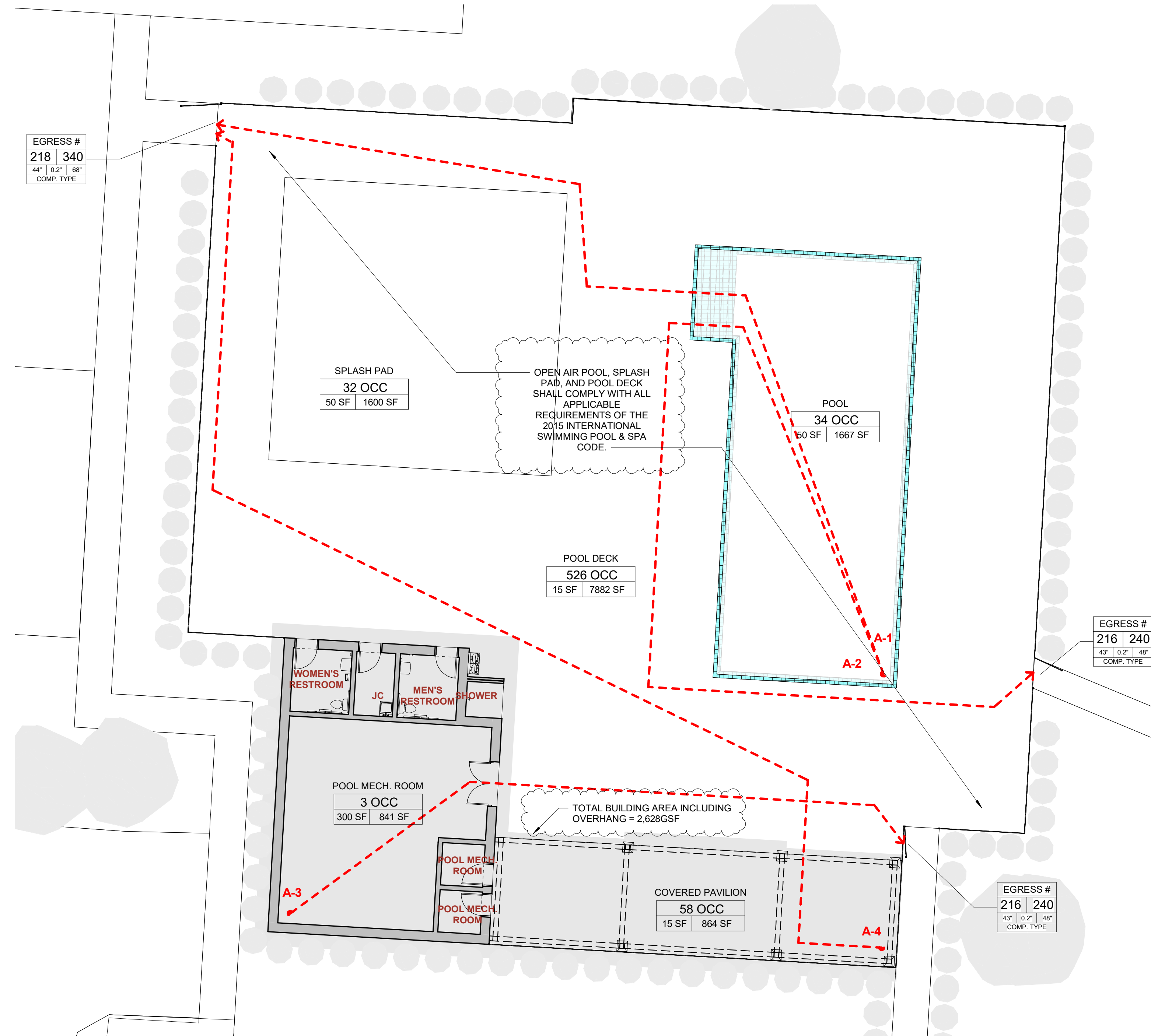
1109.2.3 LAVATORIES

AT LEAST 5% OF PROVIDED LAVATORIES, BUT NOT LESS THAN ONE, SHALL BE ACCESSIBLE. WHERE THE TOTAL NUMBER OF LAVATORIES EXCEEDS SIX, AT LEAST ONE ENHANCED RANGE LAVATORY SHALL BE PROVIDED.

LIFE SAFETY LEGEND



EGRESS TRAVEL DISTANCE			
EGRESS PATH	TRAVEL DISTANCE	MAXIMUM DISTANCE	OVER
A-1	146'-0"	200'-0"	No
A-2	171'-5"	200'-0"	No
A-3	95'-0"	200'-0"	No
A-4	180'-2"	200'-0"	No



1 LIFE SAFETY PLAN
1" = 10'-0"



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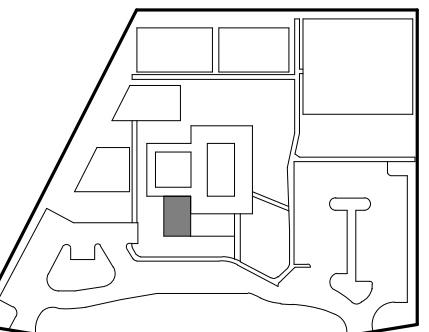
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Seal:

Project :
TH Management - Rochester Hills

254 Hampton Cir, Rochester Hills, MI 48307

Key Plan:



Issued for
SPA RESPONSE 05.31.24
SPA Response 08.01.24

ROCHESTER HILLS CITY FILE #:
24-0082 SEC. #26

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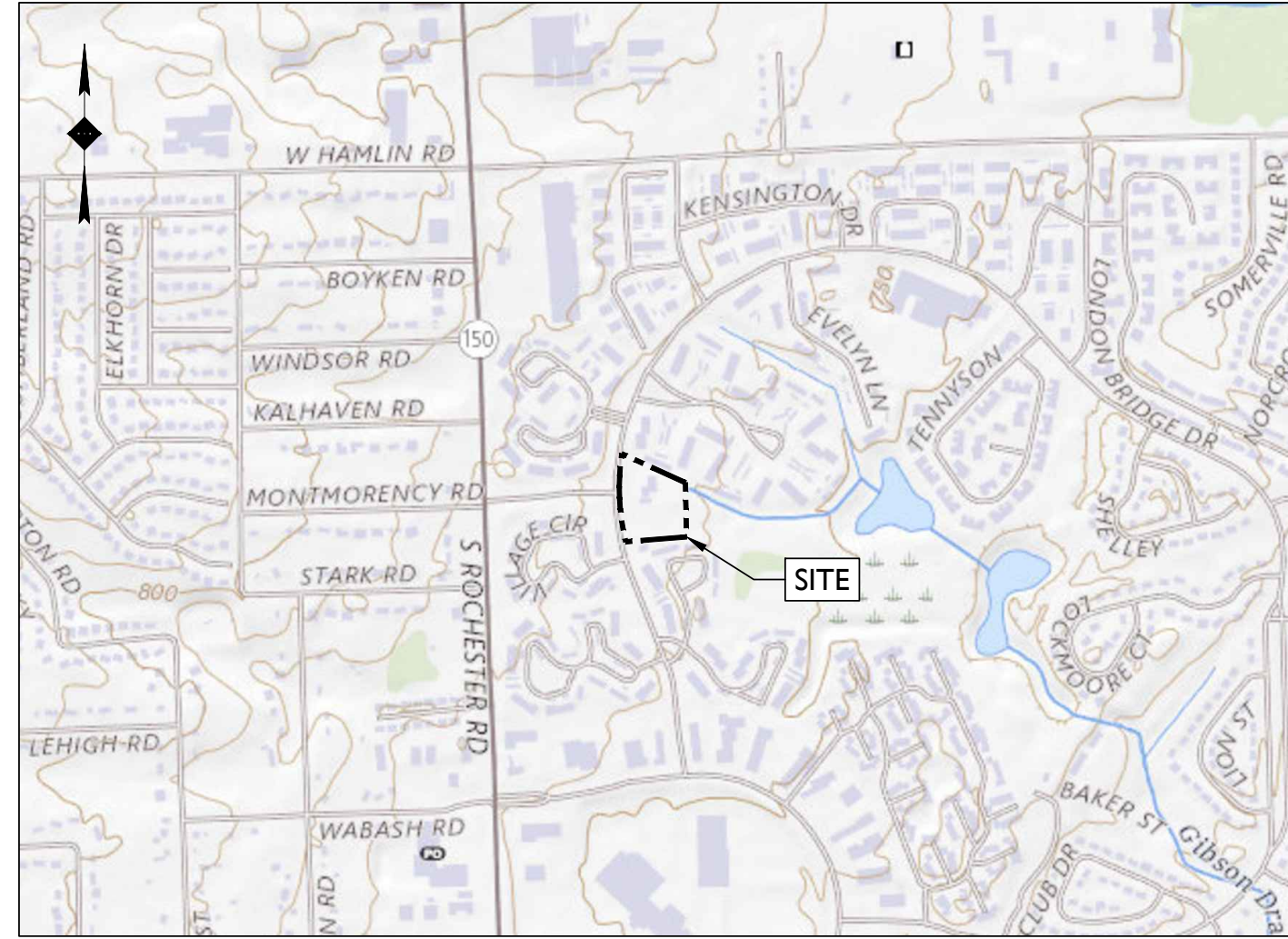
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Sheet Title :
CODE INFORMATION AND FLOOR LIFE SAFETY PLAN

Project No. :
2023.064

Sheet No. :
LS101

DO NOT SCALE DRAWINGS
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SOURCE: USGS MAPS, DATE RETRIEVED 03/21/2024

LOCATION MAP

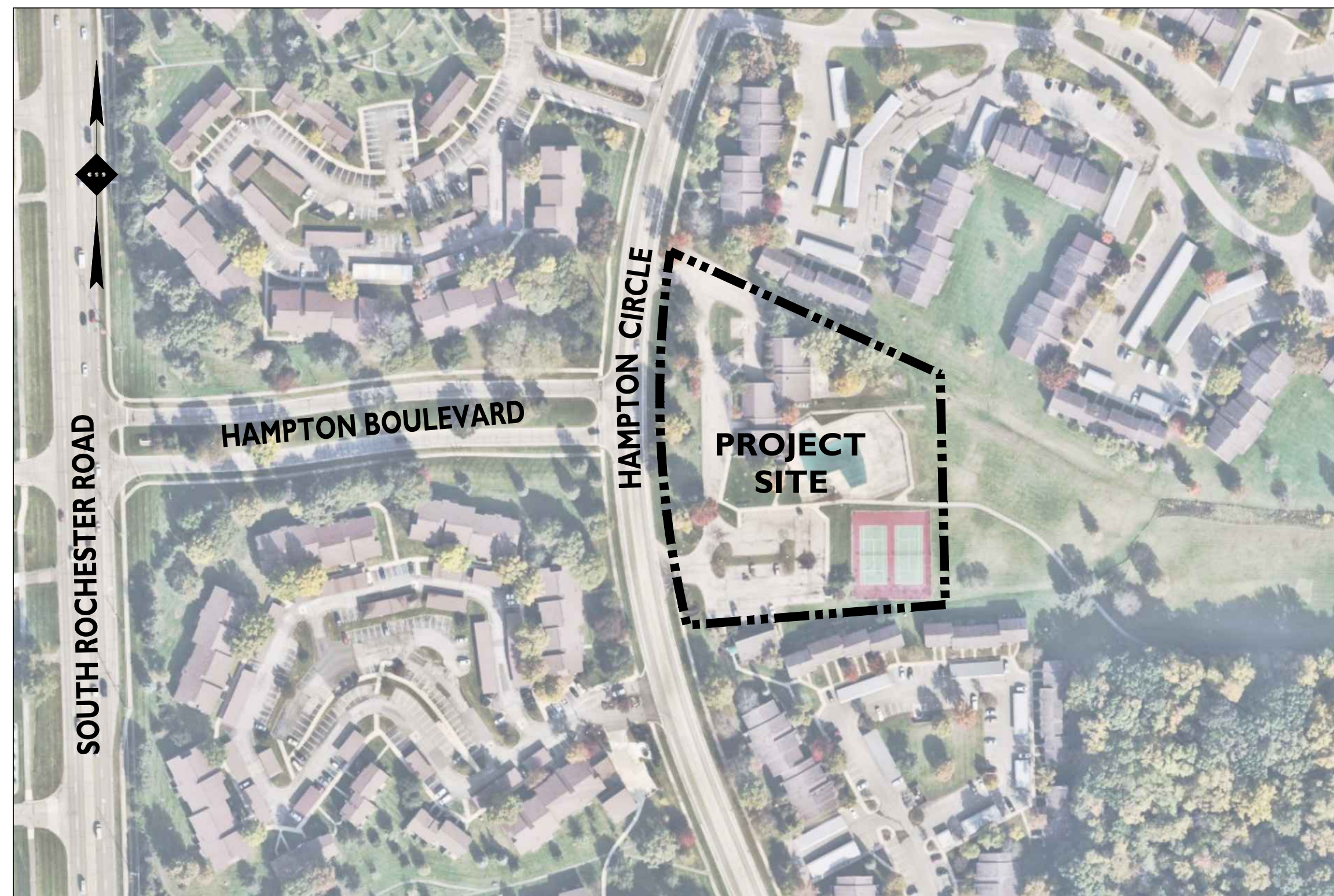
SCALE: 1" = 1,000±

SITE IMPROVEMENT PLANS FOR HAMPTON COMMUNITY CENTER COMMUNITY AREA IMPROVEMENTS

OWNER
PROPERTY OWNER'S ASSOCIATION OF HAMPTON
1607 EAST BIG BEAVER ROAD, SUITE 105
TROY, MICHIGAN 48063

ARCHITECT
STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067
248.546.6700
ARUDNYCKY@STUCKYVITALE.COM

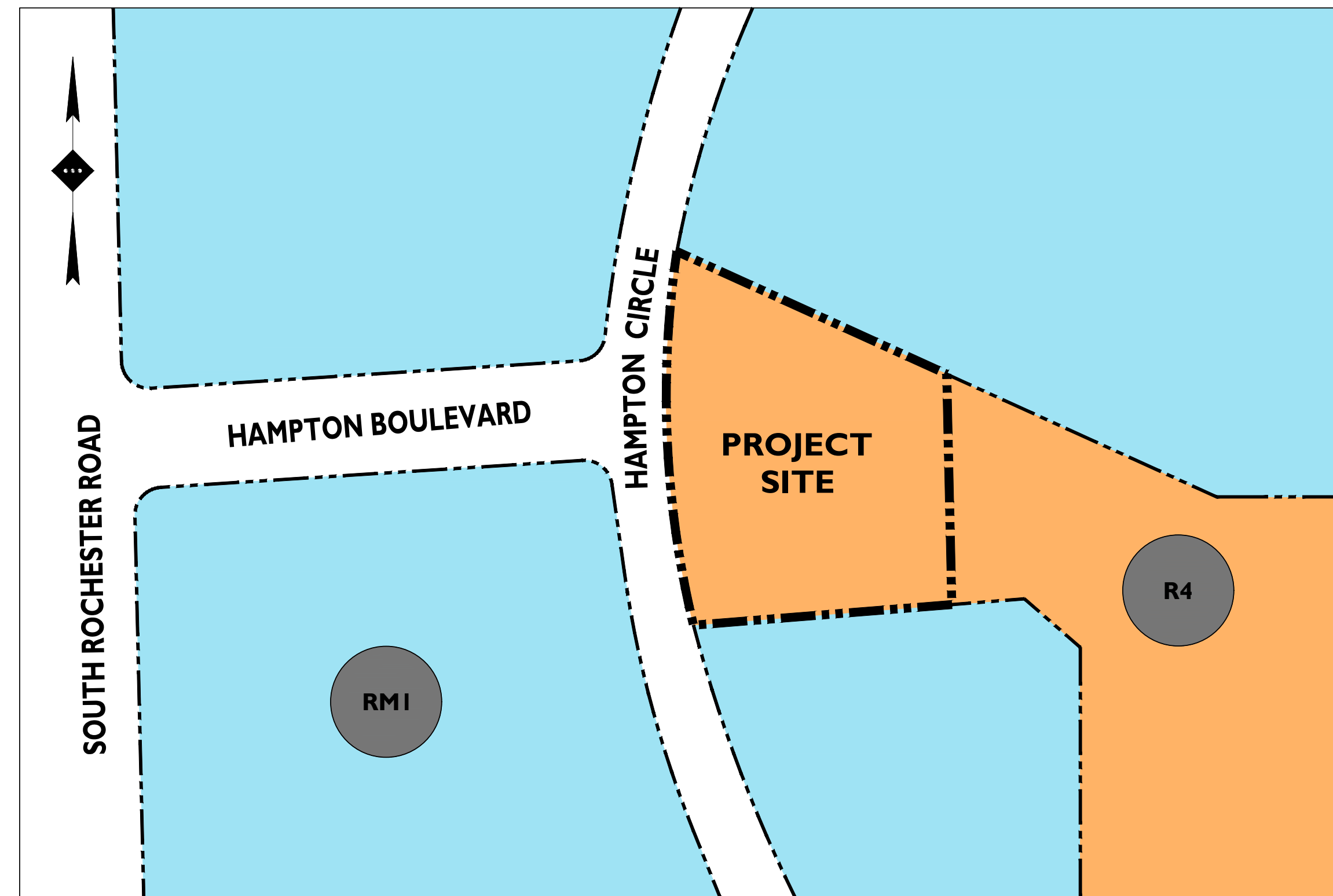
PID: 15-26-176-003
254 HAMPTON CIRCLE
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN



SOURCE: NEARMAP ONLINE MAPPING SYSTEM, DATE RETRIEVED 03/21/2024

AERIAL MAP

SCALE: 1" = 150'±



SOURCE: ROCHESTER HILLS PLANNING AND ECONOMIC DEVELOPMENT MAP, DATE RETRIEVED 03/21/2024

ZONING MAP

SCALE: 1" = 150'±

PLANS PREPARED BY:



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PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTA / NSPS LAND TITLE SURVEY PREPARED BY KEM-TEC, DATE RECEIVED 06/05/2023
 - ARCHITECTURAL PLANS PREPARED BY STUCKY VITALE ARCHITECTS, DATE RECEIVED 02/15/2024
 - AERIAL MAP PROVIDED BY NEARMAP ONLINE MAPPING SYSTEM, DATE RETRIEVED 03/21/2024
 - LOCATION MAP PROVIDED BY USGS MAPS, DATE RETRIEVED 03/21/2024
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
DEMOLITION & TREE REMOVAL PLAN	C-2
SITE PLAN	C-3
GRADING & STORMWATER MANAGEMENT PLAN	C-4
UTILITY PLAN	C-5
FIRE PROTECTION PLAN	C-6
LIGHTING PLAN	C-7
LANDSCAPING PLAN	C-8
LANDSCAPING DETAILS	C-9
IRRIGATION PLAN	C-10
IRRIGATION DETAILS	C-11
SOIL EROSION & SEDIMENT CONTROL PLAN	C-12
CONSTRUCTION DETAILS	C-13 - C-15

ADDITIONAL SHEETS

DRAWING TITLE	SHEET #
ALTA / NSPS LAND TITLE SURVEY	1 OF 1

NOT APPROVED FOR CONSTRUCTION

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607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

SITE IMPROVEMENT PLANS
HAMPTON COMMUNITY CENTER
COMMUNITY AREA IMPROVEMENTS

PARCEL ID: 15-26-176-003
254 HAMPTON CIRCLE
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN



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ROCHESTER HILLS CITY FILE #: 24-0082, SEC. # 26

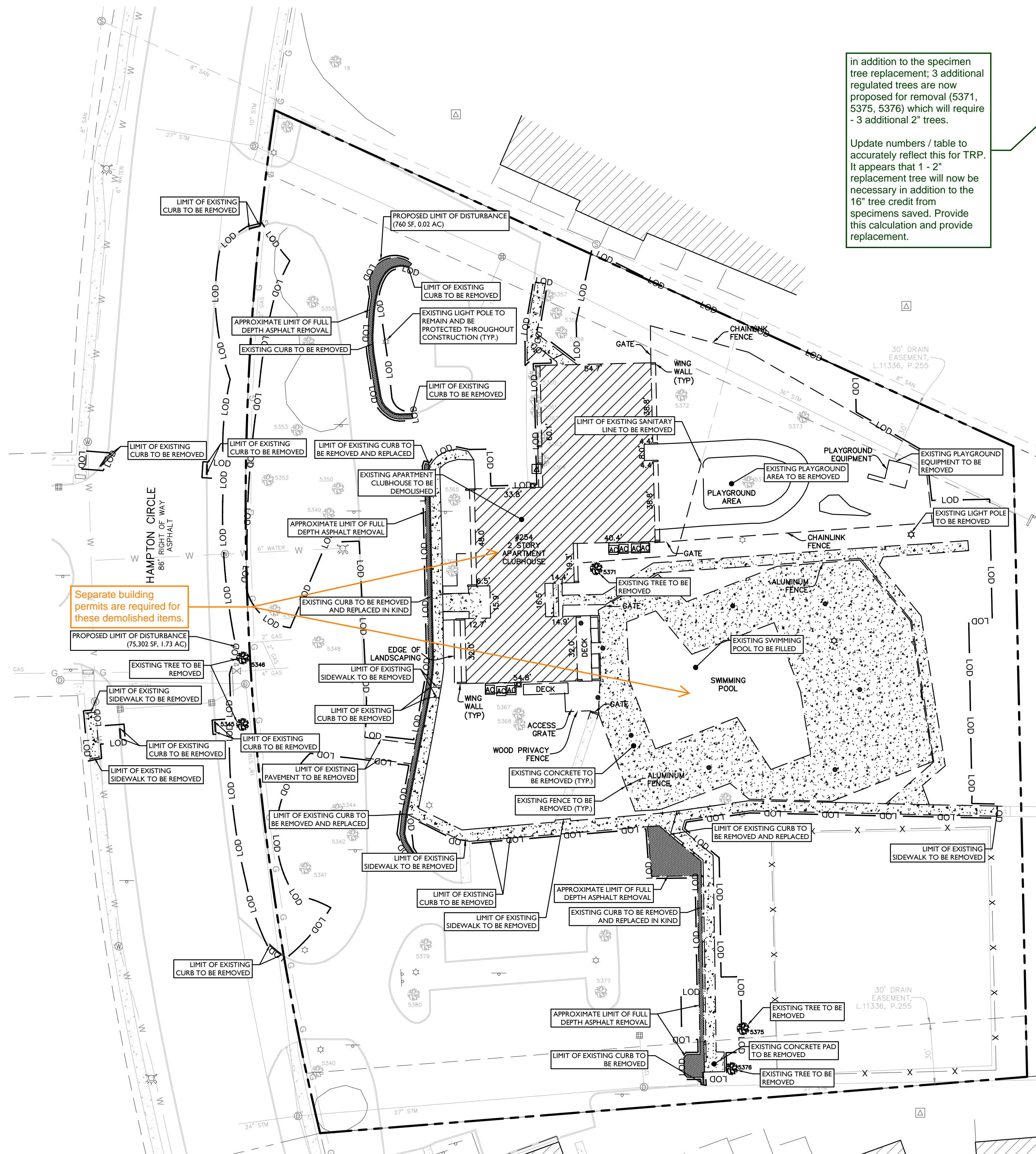
SCALE: AS SHOWN PROJECT ID: DET-230078

TITLE:

COVER SHEET

DRAWING:

C-1



TREE MITIGATION REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 126-327(2)	MINIMUM PRESERVATION PERCENTAGE 40% OF THE TOTAL NUMBER OF REGULATED TREES THAT EXIST WITHIN THE LAND AREA BEING DEVELOPED SHALL BE PRESERVED 28 TOTAL REGULATED TREES (28 TREES) * (0.40) = 11 TREES REQUIRED TO BE PRESERVED	23 TREES TO BE PRESERVED
§ 126-397.(3)	SPECIMEN TREE REPLACEMENT (1) 50% OF DBH REMOVED SHALL BE REPLACED 21\"/>	

NOTES:
PER § 126-261, REGULATED TREES INCLUDE ALL TREES HAVING 6\"/>

SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LIMIT OF DISTURBANCE
[Pattern]	CONCRETE SIDEWALK REMOVAL
[Pattern]	ASPHALT PAVEMENT REMOVAL
[Tree Symbol]	TREES TO BE REMOVED
[Tree Symbol]	TREES TO BE SAVED

TREES ON SITE: 41 TOTAL
SPECIMEN TREES: 9 TOTAL
REGULATED TREES: 19 TOTAL
NON REGULATED TREES: 13 TOTAL

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS

TREE INVENTORY for: Hampton Community Center, 254 Hampton Circle, Rochester Hills, Michigan									
Tree #	d.b.h. (inches)	Canopy Radius (feet)	Botanical Name	Common Name	Condition	Comments	(N) Not Regulated (Y = size, C = condition)	Specimen (S)	Recommendation
5340	17	10	Acer saccharum	Silver Maple	poor	- 75% or more dead	N (C)		To Remain
5341	7 / 6 / 6 / 6	9	Mulb. spp.	Crispapple	fair	- Dead branches			To Remain
5342	26	33	Acer saccharum	Silver Maple	fair	- V-shaped crotches		S	To Remain
5343	13	16	Pinus nigra	Austran Pine	fair	- Sunned & thinning foliage			To Remain
5344	17	21	Pinus nigra	Austran Pine	fair	- Lowerhaded branches dead/missing			To Remain
5345	14	20	Pinus nigra	Austran Pine	poor	- Sunned & significantly dead/dying branches	N (C)		To Be Removed
5346	21	26	Pinus nigra	Austran Pine	fair	- Lowerhaded branches dead/missing		S	To Be Removed
5347	21	26	Acer saccharum	Silver Maple	fair	- Grinding roots			To Remain
5348	20	25	Pinus nigra	Austran Pine	fair	- Sunned & thinning foliage		S	To Remain
5349	6	8	Acer rubrum	Red Maple	poor	- Deformed crown, unbalanced, & rot in trunk	N (C)		To Remain
5350	7	9	Acer rubrum	Red Maple	poor	- Extensive rot & dead branches	N (C)		To Remain
5351	12	15	Acer rubrum	Red Maple	fair	- V-shaped crotches			To Remain
5352	15	10	Pinus pungens	Colorado Spruce	poor	- Top half or more dead/declining	N (C)		To Remain
5353	9 / 7	11	Acer rubrum	Red Maple	fair	- Galls/cankers throughout crown & thinning foliage			To Remain
5354	15	19	Pinus nigra	Austran Pine	poor	- Sunned & significantly dead/dying branches	N (C)		To Remain
5355	19	24	Pinus nigra	Austran Pine	poor	- Sunned, thin foliage & dead branches	N (C)		To Remain
5356	21	26	Acer rubrum	Red Maple	fair	- Sparse foliage/crown		S	To Remain
5357	18	23	Pinus nigra	Austran Pine	fair	- Lowerhaded branches dead/missing		S	To Remain
5358	13	16	Pinus nigra	Austran Pine	fair	- Lowerhaded branches dead/missing			To Remain
5359	17	21	Pinus nigra	Austran Pine	fair	- Lowerhaded branches dead/missing			To Remain
5360	4 / 4 / 3 / .	5	Thuja spp.	Arboretize	fair	- Crowded	N (C)		To Remain
5361	5	6	Thuja spp.	Arboretize	fair	- Crowded	N (C)		To Remain
5362	5 / 3	6	Thuja spp.	Arboretize	fair	- Crowded	N (C)		To Remain
5363	4 / 4 / 4 / .	5	Thuja spp.	Arboretize	fair	- Crowded	N (C)		To Remain
5364	7	9	Prunus spp.	Ornamental Cherry	fair	- Crowded			To Remain
5365	20	25	Pinus nigra	Austran Pine	fair	- Sunned & thinning foliage		S	To Remain
5366	6 / 6	8	Acer rubrum	Red Maple	poor	- Extensive rot/hollow @ crotch	N (C)		To Remain
5367	8 / 7 / 4	10	Acer rubrum	Red Maple	fair	- V-shaped crotches			To Remain
5368	20	25	Metasequoia glyptostrobilus	Dawn Redwood	good				To Remain
5369	8	10	Acer rubrum	Red Maple	fair	- Contorted crown			To Remain
5370	6 / 5 / 4	8	Acer rubrum	Red Maple	poor	- Extensive rot & dead branches	N (C)		To Remain
5371	14 / 8	18	Acer rubrum	Red Maple	fair	- Dead branches			To Remain
5372	38	48	Acer saccharum	Silver Maple	fair	- Dead branches		S	To Remain
5373	33	41	Acer saccharum	Silver Maple	fair	- Dead branches		S	To Remain
5374	17	21	Acer platanoides	Norway Maple	fair	- Grinding roots			To Remain
5375	15	19	Pinus strobus	Scotch Pine	fair	- Contorted crown			To Remain
5376	7 / 5	9	Mulb. spp.	Crispapple	fair	- Rot in trunk			To Remain
5377	11	14	Gleditsia inaequalis 'terrestris'	Thornless Honeylocust	fair	- Sparse foliage/crown			To Remain
5378	10	13	Gleditsia inaequalis 'terrestris'	Thornless Honeylocust	fair	- Sparse foliage/crown			To Remain
5379	12	15	Gleditsia inaequalis 'terrestris'	Thornless Honeylocust	fair	- Sparse foliage/crown			To Remain
5380	9 / 8	11	Gleditsia inaequalis 'terrestris'	Thornless Honeylocust	fair	- Sparse foliage/crown			To Remain

(1) TREE INVENTORY WAS COMPLETED ON 6/5/2023.
 NOTES:
 PER § 126-261, REGULATED TREES INCLUDE ALL TREES HAVING 6\"/>

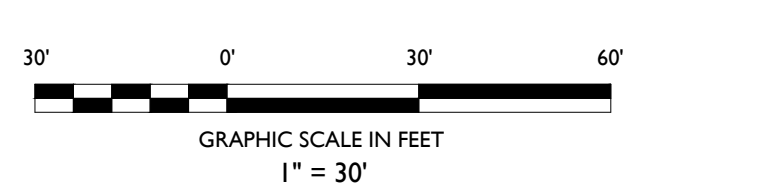


Know what's below
 Call before you dig.

Shown as removed on plan - update table

DEMOLITION NOTES

- THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
- EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
- ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
- DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



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HAMPTON COMMUNITY CENTER
COMMUNITY AREA IMPROVEMENTS

PARCEL ID: 15-26-176-003
254 HAMPTON CIRCLE
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN REID
COOKSEY ENGINEER
JAMES COOKSEY
PROFESSIONAL ENGINEER

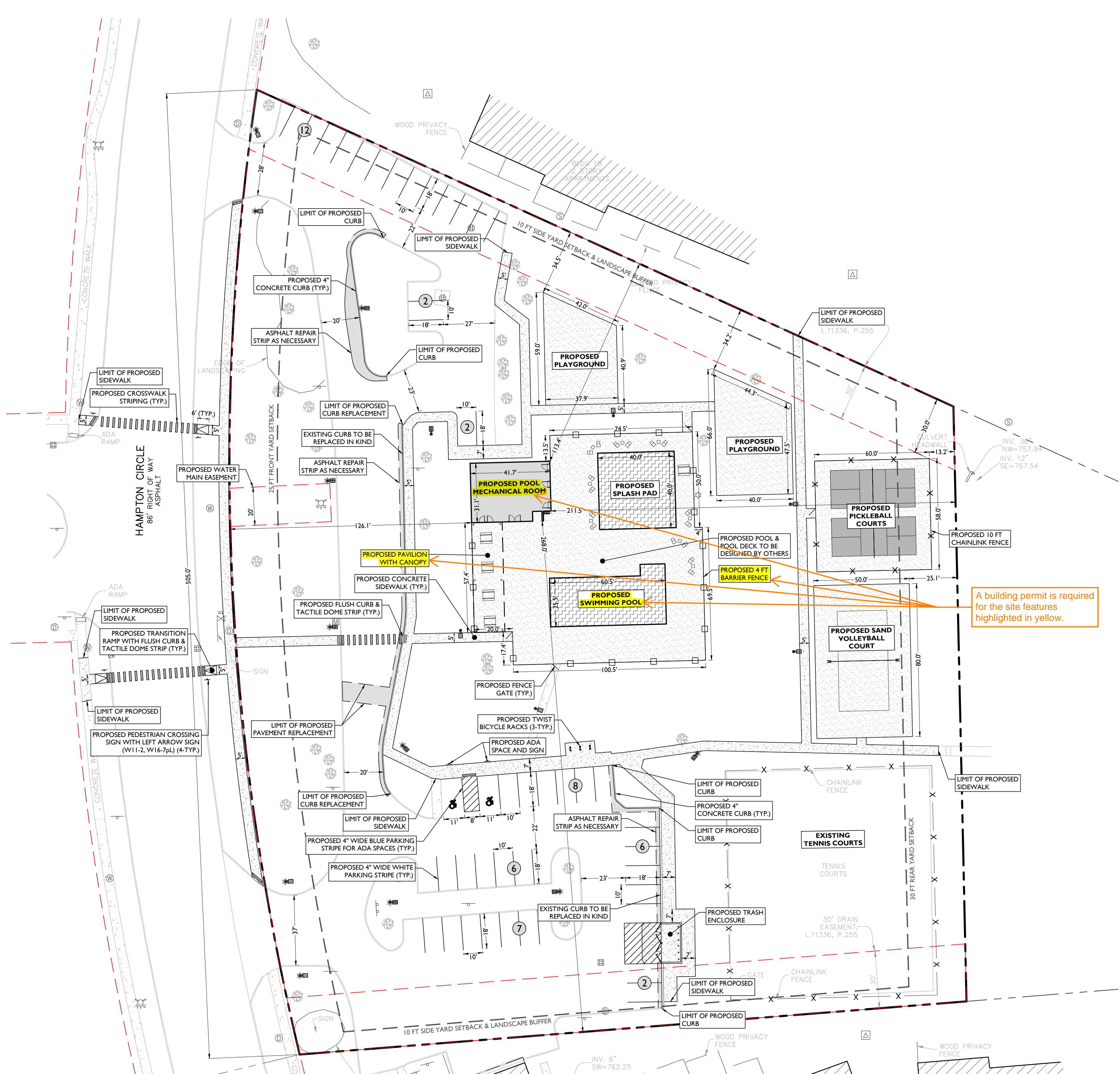
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ROCHESTER HILLS CITY FILE #: 24-0082, SEC. # 26
SCALE: 1" = 30' PROJECT ID: DET-230078

TITLE:
DEMOLITION & TREE REMOVAL PLAN

DRAWING:
C-2

NO. 10020120272-10001 STUDY TITLE: SPORTS CENTER HAMPTON CIRCLE, ROCHESTER HILLS, MICHIGAN 02/01/2025



LAND USE AND ZONING
PARCEL ID: 15-26-176-003
ONE FAMILY RESIDENTIAL (R-4) DISTRICT

ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	9,000 SF	152,462 SF (3.50 AC)
MINIMUM LOT WIDTH	80 FT	505.0 FT
MAXIMUM BUILDING HEIGHT	2 STORIES (30 FT)	< 2 STORIES (30 FT)
MAXIMUM BUILDING COVERAGE	30%	< 30%
MINIMUM FRONT YARD SETBACK	25 FT	200.1 FT
MINIMUM SIDE YARD SETBACK	10 FT	160.0 FT
MINIMUM REAR YARD SETBACK	30 FT ⁽¹⁾	132.9 FT
MINIMUM FRONT YARD PARKING SETBACK	15 FT	15.0 FT
MINIMUM LANDSCAPE BUFFER	10 FT	0 FT (EN)
INTERIOR LANDSCAPING REQUIREMENTS	1,914 SF ⁽²⁾	PROVIDED

(EN) EXISTING NON-COMFORMITY
(1) REAR YARD SETBACK MAY BE REDUCED TO 30 FT WHEN ADJACENT TO OPEN SPACE
(2) EQUIVALENT TO 5% VEHICLE USE AREA: (0.05)(38,287 SF) = 1,914 SF

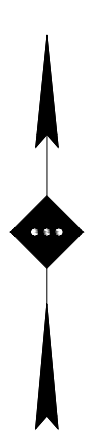
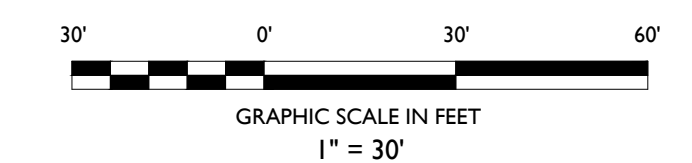
OFF-STREET PARKING REQUIREMENTS

CODE SECTION	REQUIRED	PROPOSED
§ 138-11.204	RECREATION DEFAULT STANDARD: 1 SPACE PER 3 PERSONS AT MAXIMUM OCCUPANCY	45 SPACES
§ 138-11.302	90° PARKING SPACE DIMENSIONS: 10 FT X 18 FT W/ 24 FT AISLE	10 FT X 18 FT W/ 22 FT AISLE (EN)

(EN) EXISTING NON-COMFORMITY

- SYMBOL DESCRIPTION**
- PROPERTY LINE
 - SETBACK LINE
 - SAWCUT LINE / LIMIT OF PROPOSED SIDEWALK
 - PROPOSED CURB
 - PROPOSED FLUSH CURB
 - PROPOSED SIGNS
 - PROPOSED BUILDING
 - PROPOSED CONCRETE
 - PROPOSED ASPHALT
 - PROPOSED CHAINLINK FENCE
 - PROPOSED ALUMINUM BARRIER FENCE
 - PROPOSED BUILDING DOORS
 - PROPOSED AREA LIGHT

- GENERAL NOTES**
1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
 8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



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SITE IMPROVEMENT PLANS
HAMPTON COMMUNITY CENTER
COMMUNITY AREA IMPROVEMENTS

PARCEL ID: 15-26-176-003
254 HAMPTON CIRCLE
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

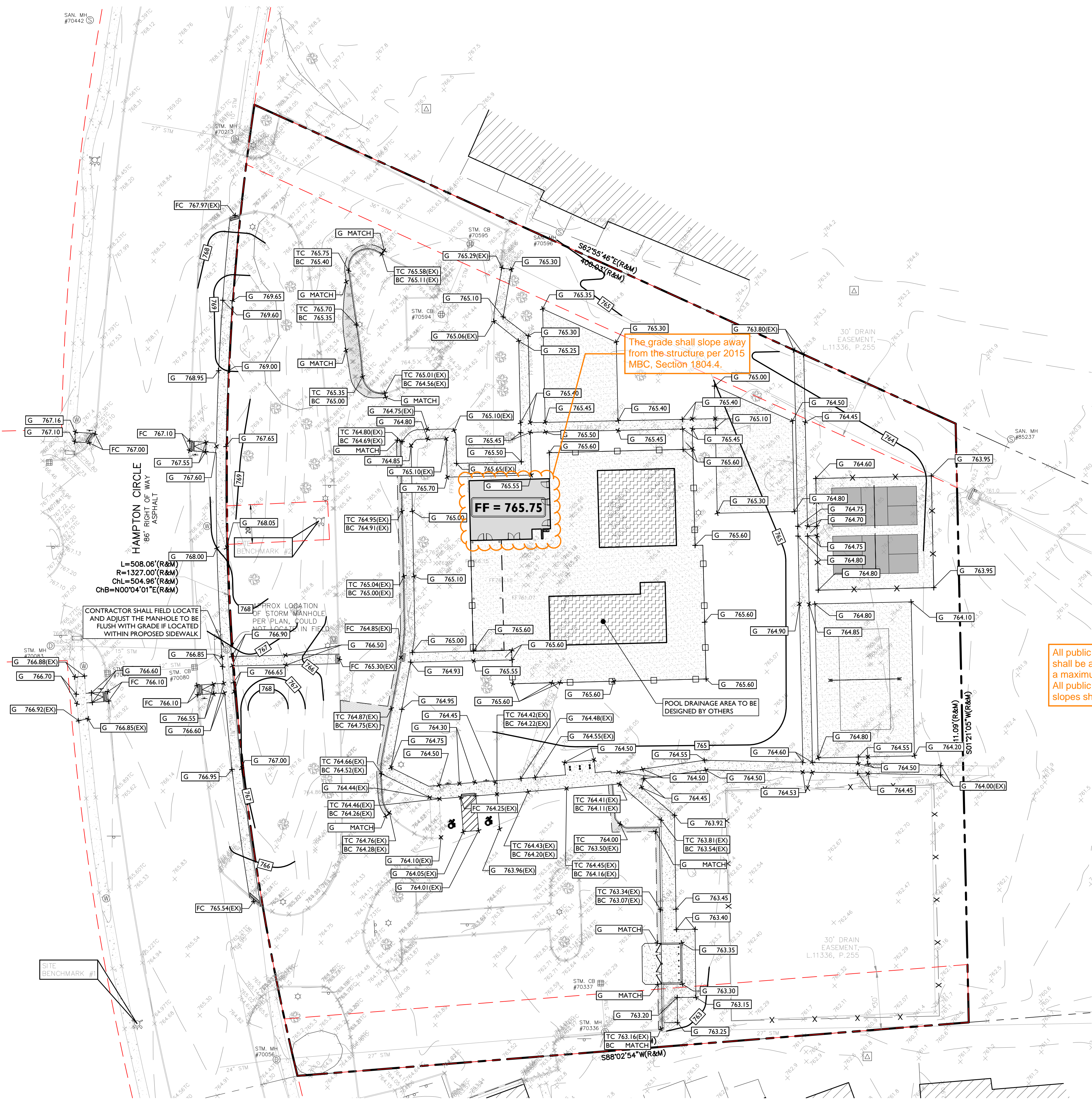
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ROCHESTER HILLS CITY FILE #: 248-0082, SEC. # 26
SCALE: 1" = 30' PROJECT ID: DET-230078

TITLE:
SITE PLAN

DRAWING:
C-3

FOR SITE PLAN APPROVAL	FOR SITE PLAN APPROVAL	FOR SITE PLAN APPROVAL	FOR SITE PLAN APPROVAL	BY	DATE	ISSUE	DESCRIPTION
KG	KG	JDK/G	JDK/G				
07/26/2024	05/31/2024	03/26/2024	03/26/2024				
3	2	1	1				



BENCHMARKS
 SITE BENCHMARK #1
 TOP OF NUT ON HYDRANT S.W. OF SITE, WEST SIDE OF HAMPTON CIRCLE 250' SOUTH OF HAMPTON BLVD. ELEVATION = 767.35' (NAVD 88)
 SITE BENCHMARK #2
 TOP OF NUT ON HYDRANT 50' N.W. OF ENTRANCE TO BLDG #234. ELEVATION = 767.97' (NAVD 88)

NUM	TYPE	RIM (FT)	SIZE (IN)	DIR	INV ELEV (FT)
70056	STORM MANHOLE	764.88	18	N	756.33
		764.88	27	E	754.48
		764.88	24	W	754.78
		764.88	24	E	760.18
70080	CATCH BASIN	766.04	12	NE	760.82
		766.04	12	W	761.04
70081	CATCH BASIN	766.01	12	E	761.91
70083	STORM MANHOLE	767.56	12	W	760.56
		767.56	12	N	760.66
		767.56	15	E	760.46
70213	STORM MANHOLE	768.36	27	W	759.16
		768.36	36	E	758.96
		768.36	10	N	759.26
70336	STORM MANHOLE	762.56	27	W	753.61
		762.56	27	E	753.51
		762.56	12	N	754.23
70337	CATCH BASIN	762.27	12	S	754.27
70442	SANITARY MANHOLE	769.68	8	N	753.84
		769.68	8	E	753.78
		769.68	8	S	754.43
70594	CATCH BASIN	764.02	12	NE	760.87
70595	CATCH BASIN	764.90	36	W	758.70
		764.90	36	E	758.60
		764.90	12	S	759.60
70596	SANITARY MANHOLE	764.93	8	W	752.43
		764.93	8	E	752.33
85237	SANITARY MANHOLE	761.91	8	W	747.61
		761.91	8	N	748.96
		761.91	8	E	747.41

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRADING CONTOUR
X [G 100.00]	PROPOSED GRADE SPOT SHOT
X [G 100.00(EX)]	EXISTING GRADE SPOT SHOT
X [TC 100.50(EX)] [BC 100.00(EX)]	EXISTING TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X [FC 100.00(EX)]	PROPOSED FLUSH CURB SPOT SHOT TO MEET EXISTING GRADE

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4" INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4" INCHES AND 1/2" INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4" INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATIONS) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4" INCH.

STAGE	AREA
PRE-DEVELOPMENT	82,436 SF
POST-DEVELOPMENT	76,334 SF
OVERALL REDUCTION	6,102 SF

All public routes (sidewalks) shall be accessible and have a maximum slope of 5%. All public sidewalk cross slopes shall not exceed 2%.

This proposed redevelopment falls within the Hampton Drain District. A WRC storm sewer permit may be necessary. During the construction plan phase it will be determined what storm improvements are necessary for this redevelopment.

DATE	ISSUE	BY	DESCRIPTION
07/26/2024	3	KG	FOR SITE PLAN APPROVAL
05/31/2024	2	KG	FOR SITE PLAN APPROVAL
02/26/2024	1	JDK/G	FOR SITE PLAN APPROVAL

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SITE IMPROVEMENT PLANS

HAMPTON COMMUNITY CENTER
COMMUNITY AREA IMPROVEMENTS

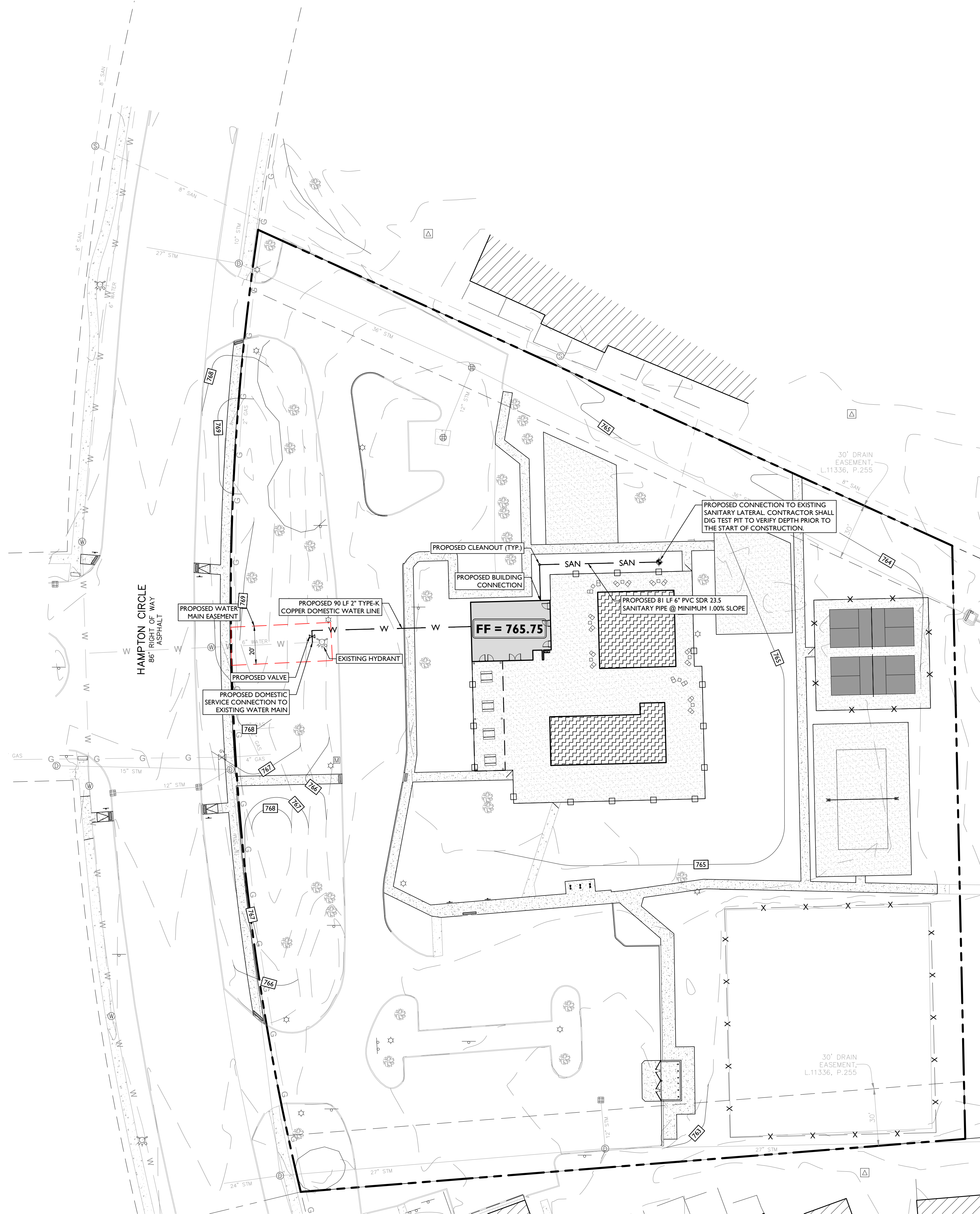
PARCEL ID: 15-26-176-003
254 HAMPTON CIRCLE
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

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ROCHESTER HILLS CITY FILE #: 204-0082, SEC. # 26
SCALE: 1" = 30' PROJECT ID: DET-230078

TITLE:
GRADING PLAN &
STORMWATER
MANAGEMENT PLAN

DRAWING:
C-4



MANHOLE SCHEDULE

NUM	TYPE	RIM (FT)	SIZE (IN)	DIR	INV ELEV (FT)
70056	STORM MANHOLE	764.88	18	N	756.33
		764.88	27	E	754.48
		764.88	24	W	754.78
70080	CATCH BASIN	764.88	24	E	760.18
		766.04	12	NE	760.82
		766.04	12	W	761.04
70081	CATCH BASIN	766.01	12	E	761.91
70083	STORM MANHOLE	767.56	12	W	760.56
		767.56	12	N	760.66
		767.56	15	E	760.46
70213	STORM MANHOLE	768.36	27	W	759.16
		768.36	36	E	758.96
		768.36	10	N	759.26
70336	STORM MANHOLE	762.56	27	W	753.61
		762.56	27	E	753.51
		762.56	12	N	754.23
70337	CATCH BASIN	762.27	12	S	754.27
70442	SANITARY MANHOLE	769.68	8	N	753.84
		769.68	8	E	753.78
		769.68	8	S	754.43
70594	CATCH BASIN	764.02	12	NE	760.87
70595	CATCH BASIN	764.90	36	W	758.70
		764.90	36	E	758.60
		764.90	12	S	759.60
70596	SANITARY MANHOLE	764.93	8	W	752.43
		764.93	8	E	752.33
		761.91	8	W	747.61
85237	SANITARY MANHOLE	761.91	8	N	748.96
		761.91	8	E	747.41

BENCHMARKS
 SITE BENCHMARK #1
 TOP OF NUT ON HYDRANT S.W. OF
 SITE, WEST SIDE OF HAMPTON CIRCLE
 250' SOUTH OF HAMPTON BLVD.
 ELEVATION = 767.35' (NAVD 88)
 SITE BENCHMARK #2
 TOP OF NUT ON HYDRANT 50' N.W.
 OF ENTRANCE TO BLDG #254.
 ELEVATION = 767.97' (NAVD 88)

SYMBOL DESCRIPTION

- PROPERTY LINE
- SAN PROPOSED SANITARY LATERAL
- W PROPOSED DOMESTIC WATER SERVICE
- V PROPOSED VALVE
- ⊙ PROPOSED SANITARY MANHOLE / CLEANOUT

SANITARY BASIS OF DESIGN CALCULATIONS

Project: 254 Hampton Circle, Rochester Hills, MI Designer: KG Date: 05/30/24

INITIAL SANITARY REU DETERMINATION

Health Club/Fitness Center w/ Showers &/or Pool	1.29 REU / Fixture*	8	Fixtures	=	10.32	
					INITIAL TOTAL:	10.32

*Oakland County Capacity Unit Factors

ULTIMATE SANITARY REU DETERMINATION

Health Club/Fitness Center w/ Showers &/or Pool	1.29 REU / Fixture*	8	Fixtures	=	10.32	
					ULTIMATE TOTAL:	10.32

*Oakland County Capacity Unit Factors

PEAKING FACTOR

Population Factor:	2.44 Persons/ REU				
Initial Population:	Initial Total * Population Factor	=	25.18 Persons		
Initial Peaking Factor:	$((18 + \sqrt{P}) / (4 + \sqrt{P}))$	=	4.366		
Ultimate Population:	Ultimate Total * Population Factor	=	25.18 Persons		
Ultimate Peaking Factor:	$((18 + \sqrt{P}) / (4 + \sqrt{P}))$	=	4.366		

SANITARY SEWER BASIS OF DESIGN

Oakland County Basis of Design: 350 GPD/REU

Initial Site REU:	10.32 REU	Ultimate Site REU:	10.32 REU
Initial Average Flow:	Oakland Co. Basis of Design * Initial Site REU	=	3,612.00 GPD = 0.0056 CFS
Ultimate Average Flow:	Oakland Co. Basis of Design * Ultimate Site REU	=	3,612.00 GPD = 0.0056 CFS
Initial Peak Flow:	Initial Average Flow * Initial Peaking Factor	=	15,771.61 GPD = 0.0244 CFS
Ultimate Peak Flow:	Ultimate Average Flow * Ultimate Peaking Factor	=	15,771.61 GPD = 0.0244 CFS

EXISTING SANITARY BASIS OF DESIGN CALCULATIONS

Project: 254 Hampton Circle, Rochester Hills, MI Designer: KG Date: 05/30/24

EXISTING SANITARY REU DETERMINATION

Health Club/Fitness Center w/ Showers &/or Pool	1.29 REU / Fixture*	11	Fixtures	=	14.19	
					INITIAL TOTAL:	14.19

*Oakland County Drain Commissioner Schedule of Unit Assignment Factors

PEAKING FACTOR

Initial Population:	Initial Total * Population Factor	=	34.62 Persons
Initial Peaking Factor:	$((18 + \sqrt{P}) / (4 + \sqrt{P}))$	=	4.344

EXISTING SANITARY SEWER BASIS OF DESIGN

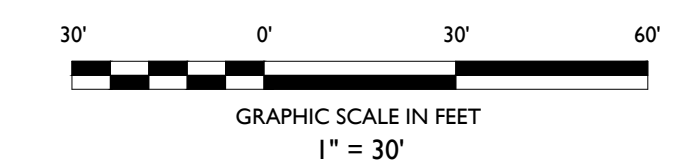
Oakland County Basis of Design: 350 GPD/REU

Existing Site REU:	14.19 REU		
Existing Average Flow:	Oakland Co. Basis of Design * Initial Site REU	=	4,966.50 GPD = 0.0077 CFS
Existing Peak Flow:	Initial Average Flow * Initial Peaking Factor	=	21,576.57 GPD = 0.0334 CFS

ALL BUILDING MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW WITH APPROPRIATE ARCHITECTURAL TREATMENT

DRAINAGE AND UTILITY NOTES

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- A MINIMUM HORIZONTAL SEPARATION OF 18 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
- CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



FOR SITE PLAN APPROVAL	KG	BY
07/26/2024	KG	
05/31/2024	KG	
02/26/2024	JDK/G	
3	2	1
ISSUE	DATE	BY

NOT APPROVED FOR CONSTRUCTION

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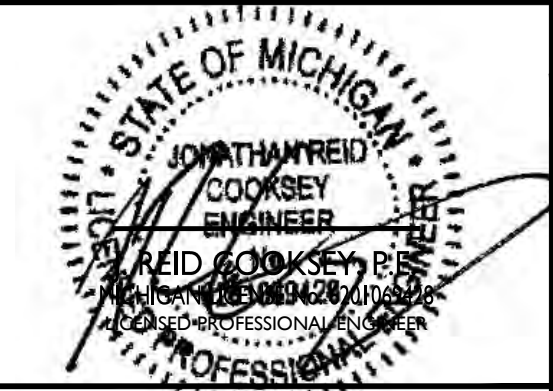
607 Shelby Suite 200, Detroit, MI 48226
 Phone 248.247.1115

SITE IMPROVEMENT PLANS

HAMPTON COMMUNITY CENTER

COMMUNITY AREA IMPROVEMENTS

PARCEL ID: 15-26-176-003
 254 HAMPTON CIRCLE
 CITY OF ROCHESTER HILLS
 OAKLAND COUNTY, MICHIGAN



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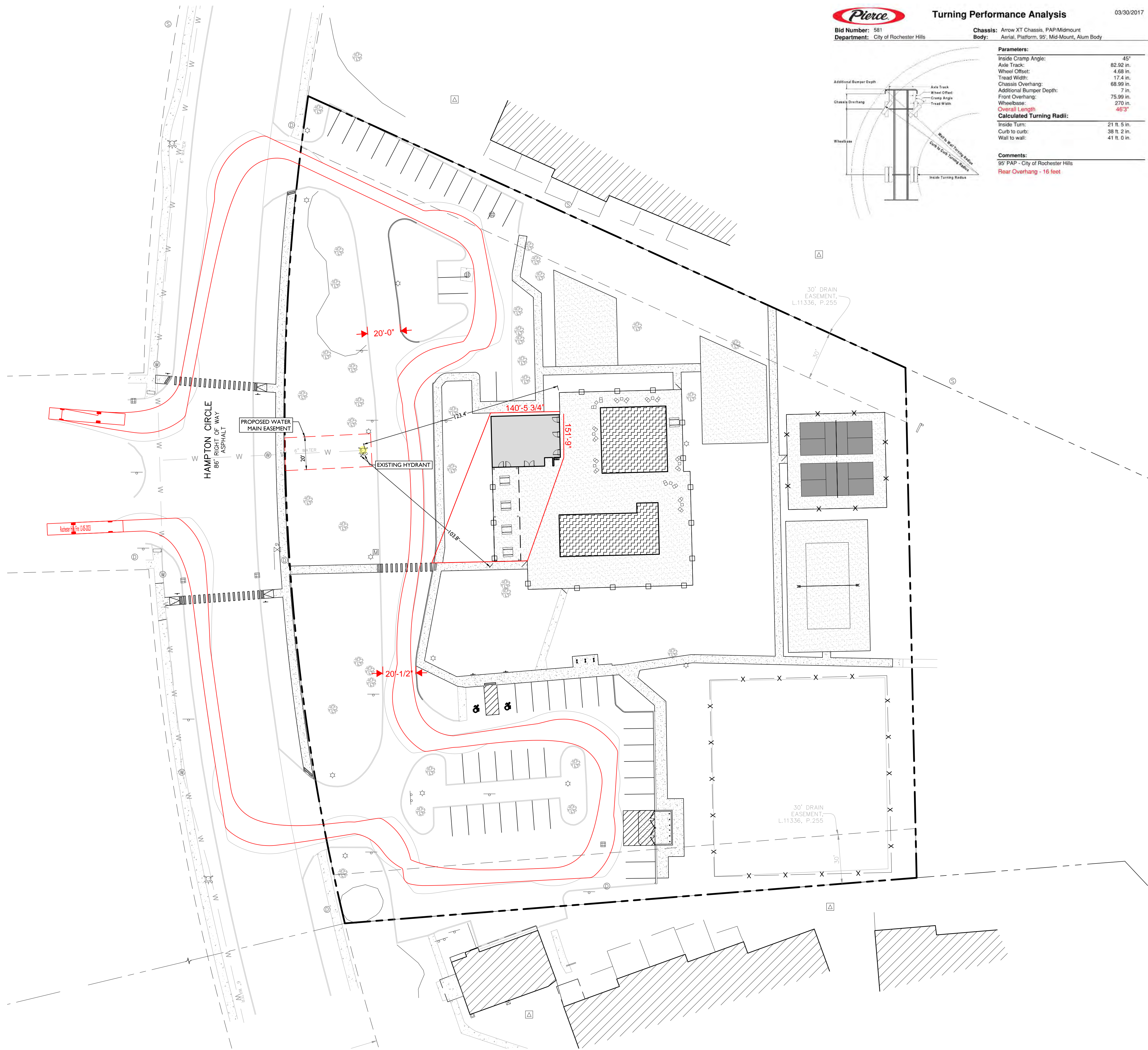
ROCHESTER HILLS CITY FILE #: 24-0082, SEC. # 26
 SCALE: 1" = 30' PROJECT ID: DET-230078

TITLE:
UTILITY PLAN

DRAWING:
C-5

V:\073012017\2024 STUDY\HILL AREA PROJECTS\254 HAMPTON CIRCLE ROCHESTER HILLS\KGD\073012017\2024\053024\UTL.DWG

V:\03\2024\2024 STUDY\WHALE ARCHITECTS\254 HAMPTON CIRCLE ROCHESTER HILLS\PROJECTS\2024\254 HAMPTON CIRCLE\DWG



Pierce Turning Performance Analysis 03/30/2017

Bid Number: 581
Department: City of Rochester Hills

Chassis: Arrow XT Chassis, PAP-Midmount
Body: Aerial, Platform, 95', Mid-Mount, Alum Body

Parameters:

Inside Cramp Angle:	45°
Axle Track:	82.92 in.
Wheel Offset:	4.68 in.
Tread Width:	17.4 in.
Chassis Overhang:	68.99 in.
Additional Bumper Depth:	7 in.
Front Overhang:	75.99 in.
Wheelbase:	270 in.
Overall Length:	46'3"
Calculated Turning Radii:	
Inside Turn:	21 ft. 5 in.
Curb to curb:	38 ft. 2 in.
Wall to wall:	41 ft. 0 in.

Comments:
 95' PAP - City of Rochester Hills
 Rear Overhang - 16 feet

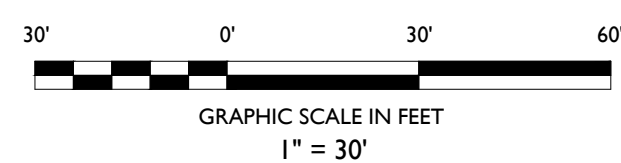
City of Rochester Hills Hydrant Flow Test
 Date: May 29, 2024 Location: 254 Hampton Circle Time: 12:45pm

Test Performed By: W. Rybak, S. Bott, Mike Greenwood
 Calculations Performed By: Wayne Rybak

Number of Hydrants Flowing: 1
 Number of Outlets Open: 2
 Size of Outlet D (inches): 2 1/2
 Friction Loss Coefficient: 0.9
 Static Pressure (psi): 56
 Residual Pressure (psi): 44
 Pito Pressure (psi): 28
 Residual Flow (GPM): 1776
 Fire Flow at 20 psi (GPM): 3214
 Supply Main Size (pito hydrant): 6"
 Supply Main Size (static hydrant) 12'

FIRE CODE CHECKLIST	
TYPE OF CONSTRUCTION:	TYPE VB
SQUARE FOOTAGE:	MECHANICAL BUILDING - 1,251 SF (ONE STORY)
SPRINKLER SYSTEM:	NOT APPLICABLE

- FIRE DEPARTMENT NOTES**
- KNOX KEY SYSTEM SHALL BE INSTALLED IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE THROUGH THE KNOX COMPANY AT WWW.KNOXBOX.COM (IFC 2021 SEC. 506)
 - FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE. WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE" AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (FIRE PREVENTION ORDINANCE CHAPTER 58, SEC 503)
 - CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2021 CHAPTER 33.
 - OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING. OPEN BURNING FOR WARMING OF SAND AND / OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC 307.6.2 & 307.6.2.3) MORTAR PERMIT CAN BE APPLIED FOR ONLINE AT WWW.ROCHESTERHILLS.ORG/FIRE IN THE "FOR YOUR BUSINESS" SECTION.
 - FIRE APPARATUS ACCESS ROADWAYS SHOULD BE DESIGNED TO SUPPORT THE LOAD OF THE FIRE APPARATUS (75,000 POUNDS) AND BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES.
 - FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF 20 FEET ACROSS (26 FEET ACROSS WHERE FIRE-HYDRANTS ARE PRESENT) AND AN UNOBSTRUCTED HEIGHT OF 13 FEET 6 INCHES.
 - IN ORDER TO OBTAIN SITE PLAN APPROVAL, A FLOW TEST IS REQUIRED TO EVALUATE THE CAPABILITIES OF THE WATER SUPPLY. THIS CAN BE OBTAINED BY CONTACTING THE ROCHESTER HILLS ENGINEERING DEPARTMENT AT 248-656-4640.



ISSUE	DATE	BY	DESCRIPTION
3	07/26/2024	KG	FOR SITE PLAN APPROVAL
2	05/31/2024	KG	FOR SITE PLAN APPROVAL
1	02/26/2024	JD/KG	FOR SITE PLAN APPROVAL

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SITE IMPROVEMENT PLANS

HAMPTON COMMUNITY CENTER
 COMMUNITY AREA IMPROVEMENTS

PARCEL ID: 15-26-176-003
 254 HAMPTON CIRCLE
 CITY OF ROCHESTER HILLS
 OAKLAND COUNTY, MICHIGAN

STATE OF MICHIGAN
 JONATHAN FREED
 COOKSEY
 ENGINEER
 FREED COOKSEY & ASSOCIATES
 PROFESSIONAL ENGINEERS

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ROCHESTER HILLS CITY FILE #: 24-0082, SEC. # 26
 SCALE: 1" = 30' PROJECT ID: DET-230078

TITLE:
FIRE PROTECTION PLAN

DRAWING:
C-6

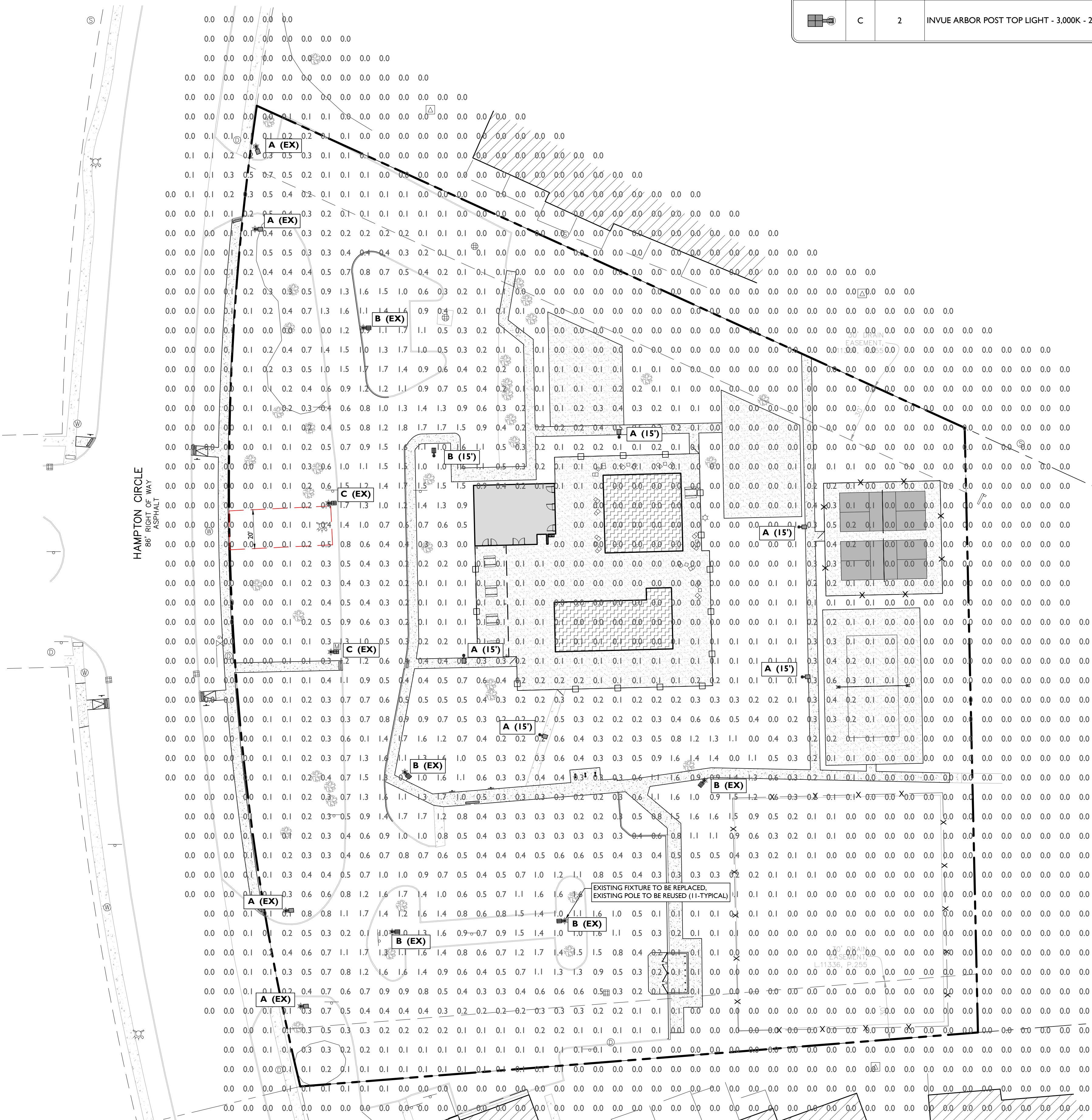
PROPOSED LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QUANTITY	SECURITY LIGHTING	DISTRIBUTION	LLF	MANUFACTURER
	A	9	INVUE ARBOR POST TOP LIGHT - 3,000K - 863 LUMENS	TYPE III	0.9	COOPER LIGHTING
	B	6	INVUE ARBOR POST TOP LIGHT - 3,000K - 8,500 LUMENS	TYPE V	0.9	COOPER LIGHTING
	C	2	INVUE ARBOR POST TOP LIGHT - 3,000K - 2,300 LUMENS	TYPE III	0.9	COOPER LIGHTING

LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 138-10.202.A	SHIELDING: EXTERIOR LIGHTING TO BE FULLY SHIELDED	N/A
§ 138-10.202.E	REQUIRED ILLUMINATION: PEDESTRIAN AREAS: 0.2 TO 1.0 FC BUILDING ENTRANCES: 1.0 TO 5.0 FC DRIVEWAY LIGHTING: 0.2 TO 1.0 FC PARKING AREAS: 0.2 TO 2.0 FC	0.0 TO 0.7 FC (BY OTHERS) 0.2 TO 0.8 FC 0.0 TO 1.8 FC ⁽¹⁾
§ 138-10.202.C	MAXIMUM ILLUMINATION AT PROPERTY LINE: 0.1 FC ABUTTING RESIDENTIAL OR R.O.W.	0.2 FC ⁽²⁾
§ 138-10.202.E	AVERAGE TO MINIMUM ILLUMINATION RATIO: 4:1	PROVIDED
§ 138-10.203.A	FIXTURE HEIGHT: MAXIMUM OF 15 FT IN RESIDENTIAL ZONES	15 FT

- (1) LIGHTING UPGRADES ONLY APPLY TO AREAS WHERE SITE UPGRADES ARE PROPOSED. ENTIRE SITE AND SURROUNDING LIGHTING IS NOT BEING UPGRADED.
- (2) TO MAINTAIN MINIMUM DRIVEWAY FOOTCANDLE VALUE OF 0.2 FC, ILLUMINATION AT R.O.W. EXCEEDS MINIMUM OF 0.1 FC (0.2 FC PROPOSED).
- N/A PROPOSED PEDESTRIAN SCALE ARBOR POST TOP LIGHTS WERE CHOSEN TO MATCH STYLE OF EXISTING LIGHT FIXTURES ON-SITE, WHICH DO NOT HAVE BACKSHIELDING.

SYMBOL	DESCRIPTION
A (XX)	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
A (EX)	PROPOSED LIGHTING FIXTURE TO BE MOUNTED ON EXISTING POLE AT EXISTING HEIGHT
XXX	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
 - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE UTILITY, OR OTHER IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.
 - ALL FIXTURES SHALL COMPLY WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA STANDARDS.
 - ALL EXTERIOR LIGHTING IN NON-RESIDENTIAL DISTRICTS SHALL INCORPORATE AUTOMATIC TIMERS AND SHALL BE TURNED OFF BETWEEN THE HOURS OF MIDNIGHT AND SUNRISE, EXCEPT FOR LIGHTING NECESSARY FOR SECURITY PURPOSES OR ACCESSORY TO A USE THAT CONTINUES AFTER MIDNIGHT. SECURITY LIGHTING SHALL TO THE EXTENT PRACTICAL, USES SENSORS AND DIM OR TURN OFF WHEN THERE IS NO ACTIVITY ON SITE.
 - ALL PROPOSED LIGHTING SHALL BE DIRECTED DOWNWARD.



NO.	DATE	ISSUE	BY	DESCRIPTION
3	07/26/2024	KG		FOR SITE PLAN APPROVAL
2	05/31/2024	KG		FOR SITE PLAN APPROVAL
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SITE IMPROVEMENT PLANS

HAMPTON COMMUNITY CENTER

COMMUNITY AREA IMPROVEMENTS

PARCEL ID: 15-26-176-003
254 HAMPTON CIRCLE
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

STATE OF MICHIGAN

JONATHAN REID
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ENGINEER

PROFESSIONAL ENGINEER

STONEFIELD
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ROCHESTER HILLS CITY FILE #: 24-0082, SEC. # 26

SCALE: 1" = 30' PROJECT ID: DET-230078

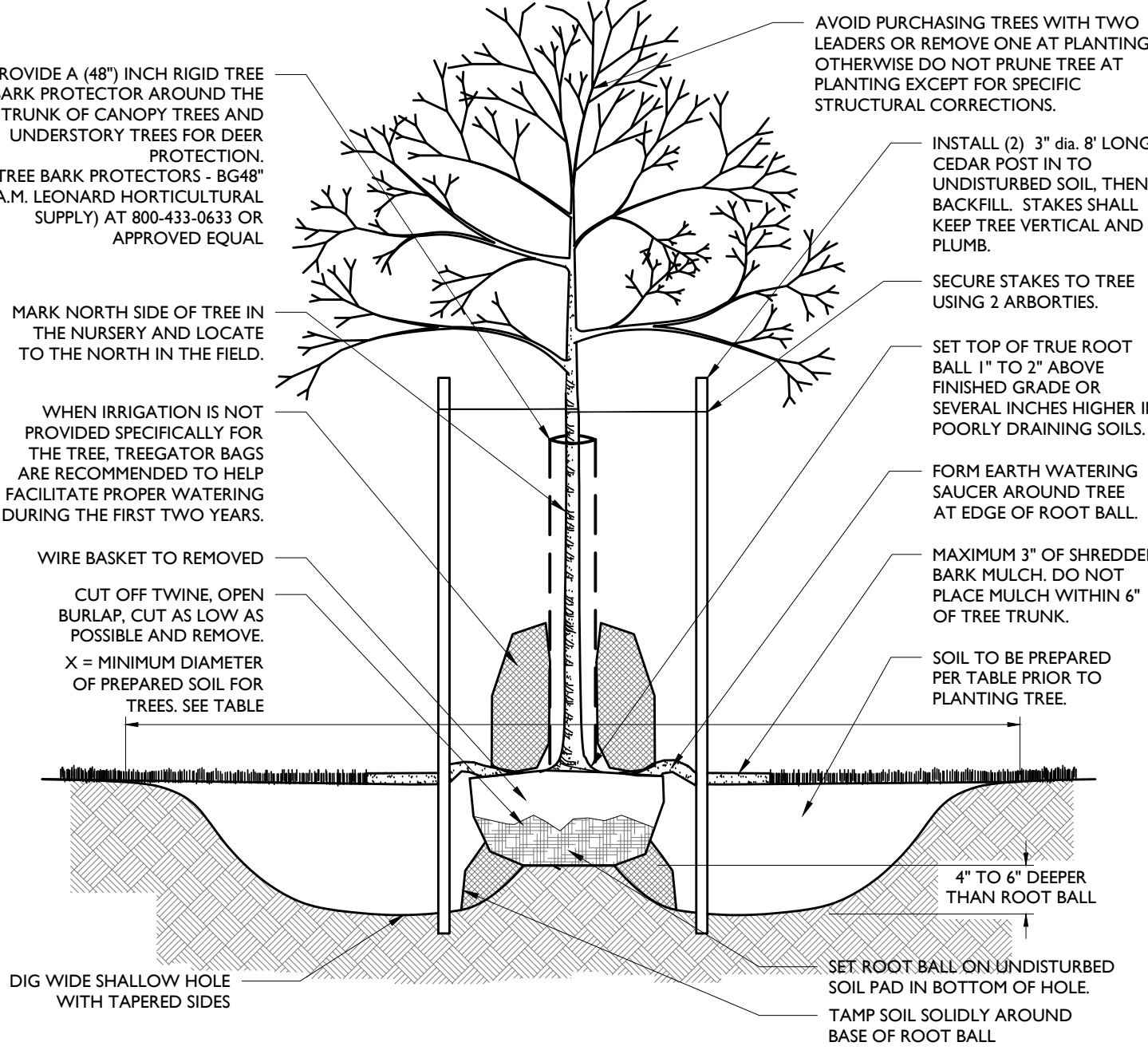
TITLE:
LIGHTING PLAN

DRAWING:

C-7

NOTES:

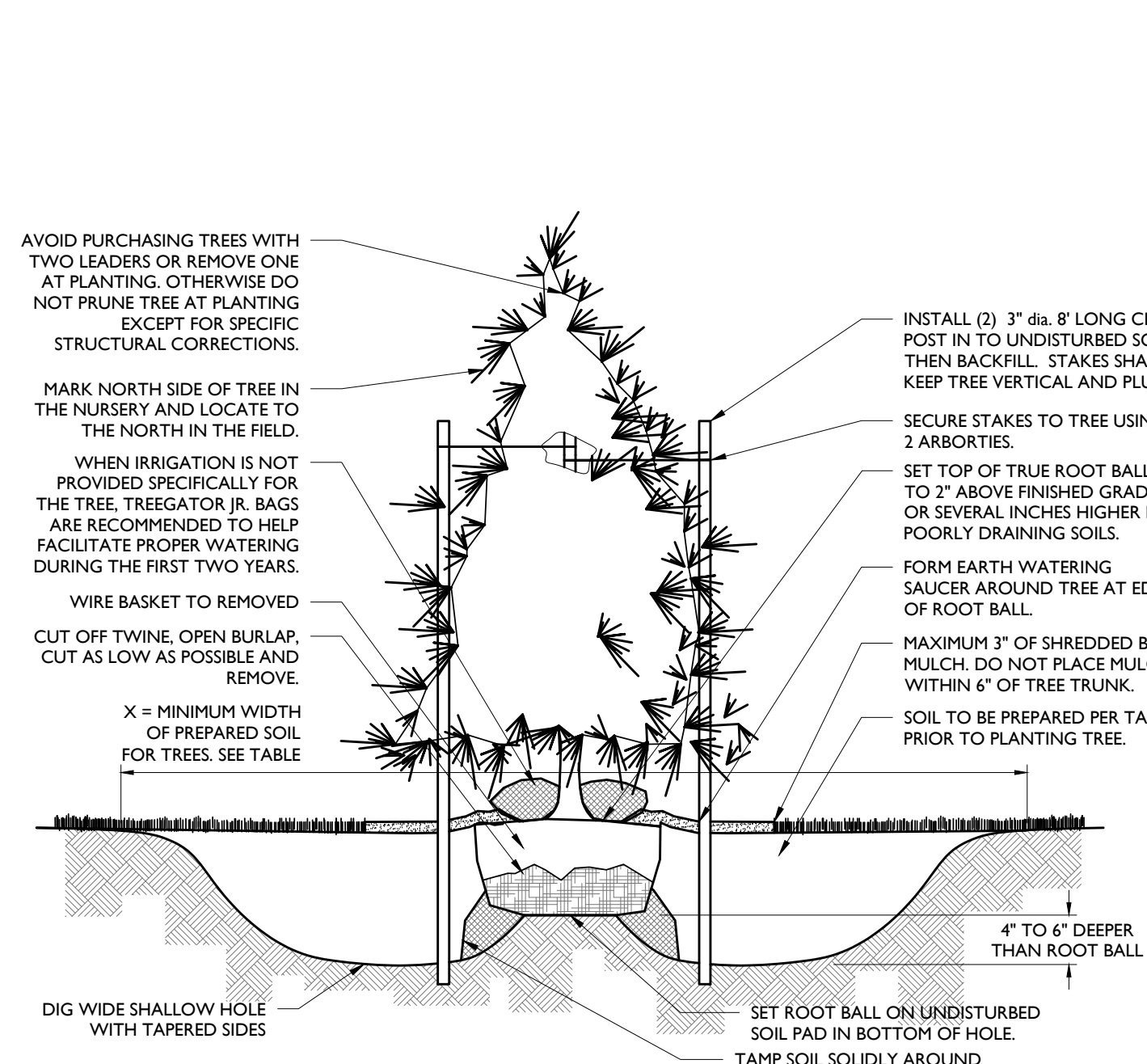
- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



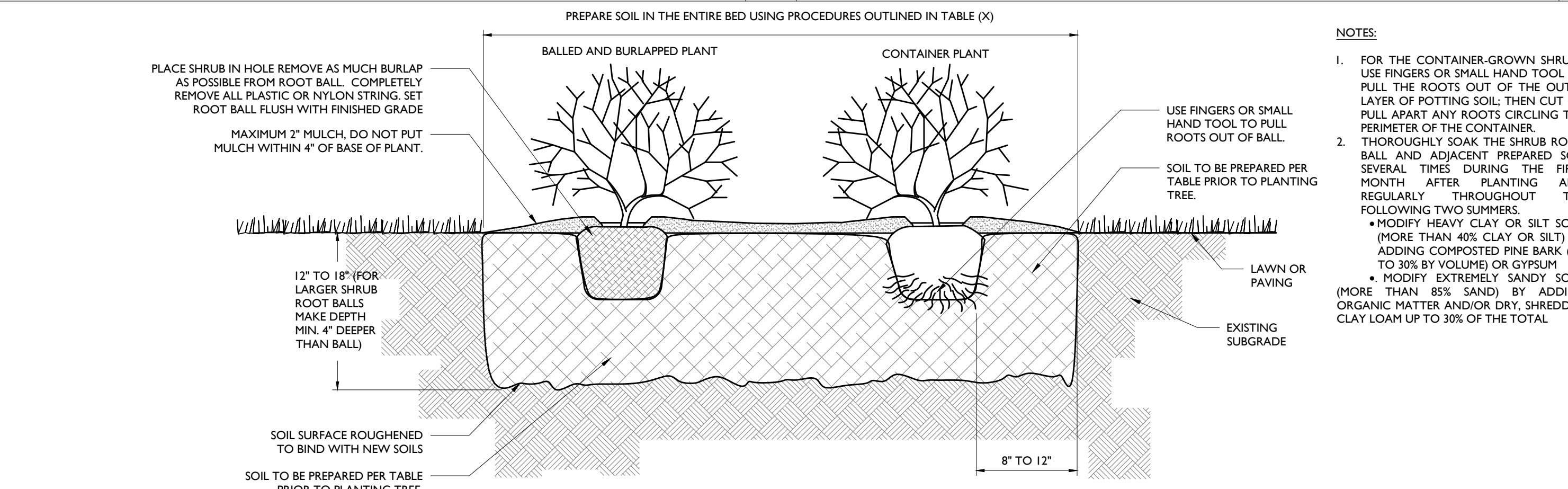
DECIDUOUS TREE PLANTING DETAIL

NOTES:

- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



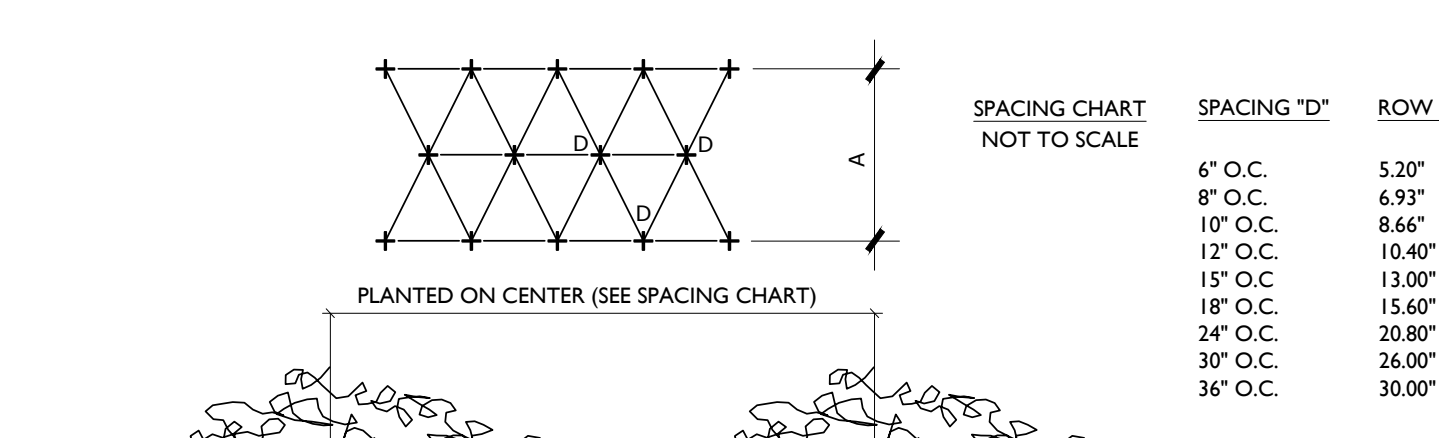
CONIFEROUS TREE PLANTING DETAIL



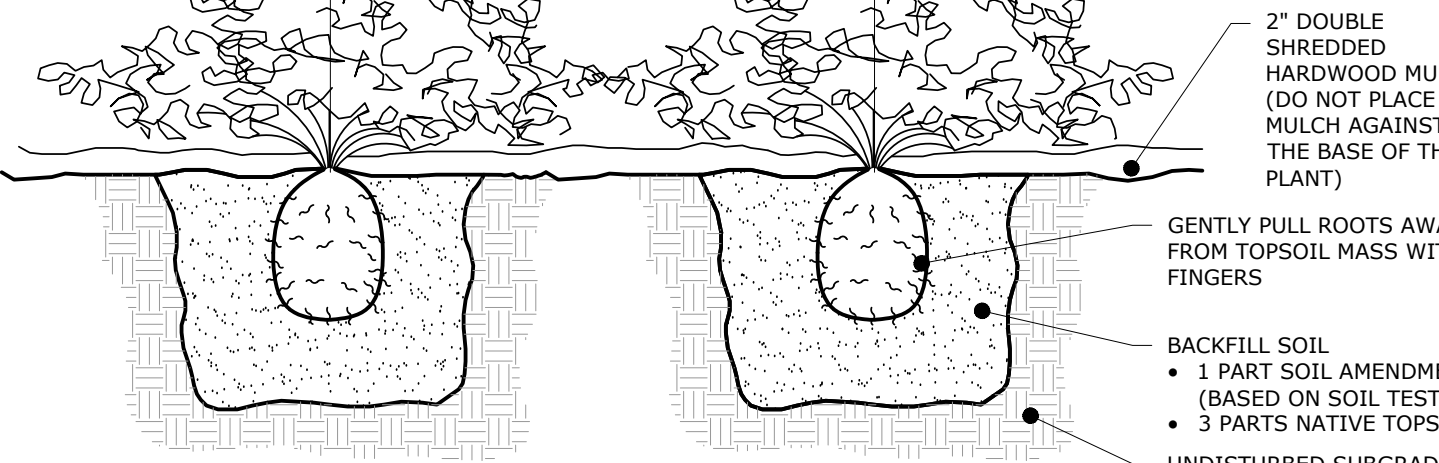
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

NOTES:

- THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
- SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX
- ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS



ARBORETIE DETAIL



GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

- CITY OF ROCHESTER HILLS LANDSCAPE MAINTENANCE NOTES:**
- LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.
 - PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNINGS SHALL ACHIEVE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
 - ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE.
 - PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE. THE CITY MAY NOTIFY PROPERTY OWNERS OF THE NEED TO REPLACE DEAD, DAMAGED, OR DISEASED MATERIAL.
 - THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL. UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE AFOREMENTIONED PROCEDURES, ANY REVISIONS TO OR REMOVAL OF PLANT MATERIALS, OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF THIS SECTION 138-12.109 WILL PLACE THE PARCEL IN NON-COMPLIANCE WITH THE APPROVED LANDSCAPE PLAN AND BE A VIOLATION OF THIS ORDINANCE.
 - IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.

GENERAL LANDSCAPING NOTES:

- THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OOWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
- WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
- IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
- UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
- THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRAIN-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE "PROTECTION OF TREE PROJECT FILE". NO WORK MAY BEGUN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
- IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
- IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRAIN-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
 - TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
 - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") FROM APPROXIMATELY 1/2" ABOVE THE FINISHED GRADE AT THE TREE TRUNK TO 1/4" ABOVE GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL".
 - LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL".

SOIL PREPARATION AND MULCH NOTES:

- LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
- BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL, TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOL MATERIAL OBTAINED FROM A VASTLY DISTURBED SITE, FREE FROM ALL CLAY, LUMPS, COARSE SAND, STONES, PEBBLES, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
- TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
- OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
- UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBED AREA OF THE SITE.
- LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
- DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
- WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
- SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
- APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
- ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:
 - MYCORRHIZAL TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL TRIBUTES.
 - DIRECTIONS FOR USE: USE 3-OZ PER EACH FOOT DIAMETER OF THE ROOT BALL OR 3-OZ PER INCH CALIPER, MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE TRUNK TO ABOUT 8 INCHES. THIS MIXTURE SHALL BE WATERED TO SOIL SATURATION.
 - MYCORRHIZAL TREE SAVERS IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
 - SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A WIDE RANGE OF PH'S.
 - FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
 - OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

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- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
- TABLETS ARE FORMULATED FOR SLOW RELEASE APPLICATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPONENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

SIZE AT PLANTING	IRRIGATION FOR VITALITY	IRRIGATION FOR SURVIVAL
< 2" CALIPER	DAILY FOR TWO WEEKS, EVERY OTHER DAY FOR TWO MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR TWO TO THREE MONTHS
2"-4" CALIPER	DAILY FOR ONE MONTH, EVERY OTHER DAY FOR THREE MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR THREE TO FOUR MONTHS
4"-6" CALIPER	DAILY FOR SIX WEEKS, EVERY OTHER DAY FOR FIVE MONTHS, WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR FOUR TO FIVE MONTHS

TABLE NOTES:

- AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WETSATURATED ON THE IRRIGATION DAY.
- WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKE THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.
- WHEN IRRIGATING FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

PLANT QUALITY AND HANDLING NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
- ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
- PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOPS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOSED SHALL BE REJECTED.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
- THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
7. ALL FIRMS, TWIGS, BRANCHES AND ALL BURLAP MUST BE MOVED WITH THE ROOT SYSTEM AS SINGLE UNITS WITH BALLS OF EARTH WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED BURLAP IS USED. ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
8. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARP OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESS HANDLING OR STORAGE, OR IMPROPER HANDLING OR STORAGE, SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
9. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS.
10. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL MUST BE KEPT MOIST AT ALL TIME AND COVERED WITH MOIST MULCH OR AGED WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNITED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS NECESSARY TO PRESERVE ROOT MOISTURE.
11. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
12. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
13. IF PLANTS ARE ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENCASE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT.
14. IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
15. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
 - PLANTS (MARCH 15 - DECEMBER 15)
 - LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 31)
16. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPORT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):
 - ABIES CONCOLOR
 - ACER BALSAMIFOLIUM
 - ACER FREEMANII
 - ACER RUBRUM
 - ACER SACCHARINUM
 - BETULA VARIETIES
 - CERCIS CANADENSIS
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - CYPRESSOCYPARIS LEYLANDII
 - FAGUS VARIETIES
 - HALESIA VARIETIES
 - ILEX X FOSTERII
 - ILEX NELLE STEVENS
 - ILEX OPACA
 - JUNIPERUS VIRGINIANA
 - TAXODIUM VARIETIES
 - LIQUIDAMBAR VARIETIES
 - LIRIODENDRON VARIETIES
 - MALUS IN LEAF
 - NYCTEA SYLVATICA
 - OSTRYA VIRGINIANA
 - PLATANUS VARIETIES
 - PRUNUS VARIETIES
 - PRUNUS VARIETIES
 - QUERCUS VARIETIES (NOT Q. PALUSTRIS)
 - SALIX WEeping VARIETIES
 - SORBUS VARIETIES
 - TAXODIUM VARIETIES
 - TAXUS B. REPANDENS
 - TILIA TOMENTOSA VARIETIES
 - ULMUS PARVIFOLIA VARIETIES
 - ZELKOVA VARIETIES

- IF A PROPOSED PLANT IS UNAVAILABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS MUST BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
- THE COURSE OF CONSTRUCTION, PLANTING, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
- THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
- A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
- MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYES IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOVING THE LAWN, AND PERFORMING ANY OTHER WORK NECESSARY TO KEEP THE PLANTS AND SITE IN A HEALTHY CONDITION.
- MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE UNDERLYING TURF. MOW GRASS AREAS AS FREQUENTLY AS POSSIBLE TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
- GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OOWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
- SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
- LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM THE TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OF A WATERING TRUCK OR OTHER ACCEPTABLE MANNER.
- THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
- IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

PLANT MATERIAL GUARANTEE NOTES:

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OOWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE.
- ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
- THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

- FEE MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
- SEED MIXTURE SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION".
- REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAID WITH SOD.
- SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEED SPECIFICATION".
- PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

CITY OF ROCHESTER HILLS LANDSCAPE SPECIFIC NOTES:

- PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB ON THE PUBLIC RIGHT-OF-WAY. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC ROAD. TREES MUST BE PLANTED AT LEAST 15' AWAY FROM CURB OR ROAD EDGE WHERE THE SPEED LIMIT IS 45 MPH OR GREATER. TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY. NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY LINES AT A DISTANCE ALONG EACH LINE OF 25' FROM THEIR POINT OF INTERSECTION. NO TREES OR SHRUBS MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC WALKWAY AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE HYDRANT. SHADE AND EVERGREEN TREES MUST BE AT LEAST 15' AWAY FROM THE NEAREST OVERHEAD WIRE. TREES MUST BE PLANTED A MINIMUM OF 5' FROM AN UNDERGROUND UTILITY, UNLESS THE CITY'S LANDSCAPE ARCHITECT DETERMINES THE RELEASE OF THE PERFORMANCE BOND. THE CITY OF ROCHESTER HILLS FORESTRY UNIT NEEDS TO INSPECT ALL TREES, EXISTING OR PLANTED, TO IDENTIFY ANY THAT POSSIBLY HAZARD TO THE SAFE USE OF THE PUBLIC RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE, AND POSSEBLY REPLACE, ANY SUCH TREES. THE ABOVE REQUIREMENTS ARE INCORPORATED INTO THE PLAN.

FOR SITE PLAN APPROVAL	FOR SITE PLAN APPROVAL	FOR SITE PLAN APPROVAL	DESCRIPTION
3	2	1	ISSUE
07/26/2024	05/31/2024	07/26/2024	DATE
KG	KG	JDKG	BY

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HAMPTON COMMUNITY CENTER

COMMUNITY AREA IMPROVEMENTS

SITE IMPROVEMENT PLANS

PARCEL ID: 15-26-176-003
254 HAMPTON CIRCLE
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

STATE OF MICHIGAN

DIATHAN TREU
DORSEY
ENGINEER

STONEFIELD
engineering & design

ROCHESTER HILLS CITY FILE #: 24-0082, SEC. # 26

SCALE: AS SHOWN PROJECT ID: DET-230078

TITLE:

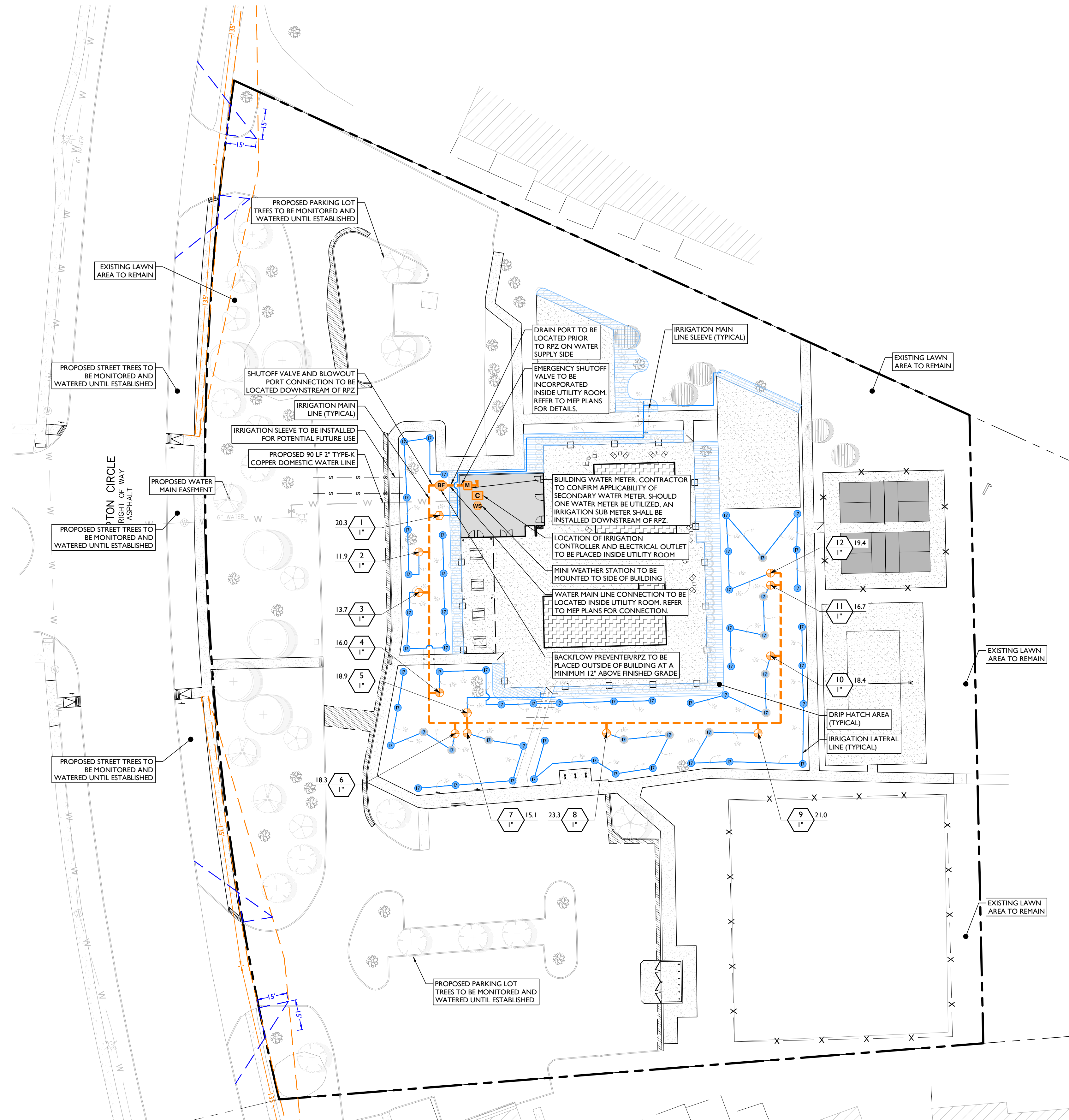
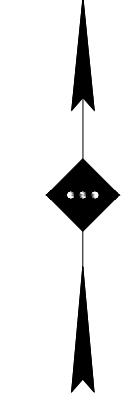
LANDSCAPING DETAILS

DRAWING:

C-9



Know what's below
Call before you dig.

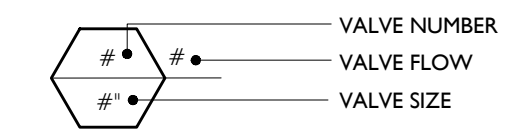


IRRIGATION SYSTEM RUNS ARE DESIGNED TO MAXIMUM 25 GALLONS PER MINUTE. IRRIGATION SYSTEM PRESSURE AND AVAILABLE GALLONS PER MINUTE TO BE CONFIRMED BY MEP ENGINEER.

IRRIGATION SYSTEM DEMAND TO BE CONTRACTOR RESPONSIBILITY. CONTRACTOR TO CONFIRM LOAD DEMANDS AND CONNECTION DESIGN BY MEP ENGINEER.

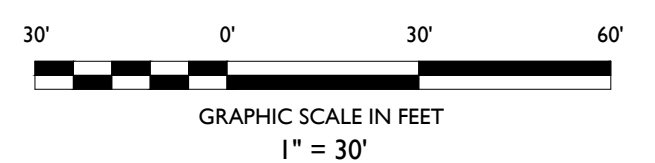
UNDER NO CIRCUMSTANCE SHALL THE IRRIGATION SYSTEM CONNECTION BE INSTALLED DOWNSTREAM FROM A WATER SOFTENER SYSTEM.

VALVE CALLOUT



IRRIGATION SCHEDULE table with columns: SYMBOL, MANUFACTURER/MODEL/DESCRIPTION, QTY, ARC, PSI, GPM, RADIUS. Includes items like HUNTER PSU-02 17A, HDL-06-12-CV HUNTER DRIFLINE, and various valves and sensors.

- IRRIGATION NOTES: 1. SYSTEM WAS DESIGNED TO ASSUMED 56 PSI (PRESSURE AVAILABLE 53.8 PSI). 2. SYSTEM RUNS ARE DESIGNED TO MAXIMUM 25 GALLONS PER MINUTE. 3. AVAILABLE GALLONS PER MINUTE DEMAND TO BE DETERMINED BY MEP ENGINEER... 15. IRRIGATION OVERTHROW TO NON-PERVIOUS AND NATURAL AREAS TO MINIMIZED. 16. A RAIN SENSOR IS TO BE INSTALLED WITH THE IRRIGATION SYSTEM CONTROLLER. 17. IRRIGATION PIPING TO BE LOCATED WITHIN PLANTING OR SOO AREAS... 23. THE ASSEMBLY MUST BE INSTALLED BY A LICENSED PLUMBER...



Revision table with columns: NO., DATE, ISSUE, BY, DESCRIPTION. Includes entries for FOR SITE PLAN APPROVAL.

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SITE IMPROVEMENT PLANS HAMPTON COMMUNITY CENTER COMMUNITY AREA IMPROVEMENTS. PARCEL ID: 15-26-176-003. 254 HAMPTON CIRCLE. CITY OF ROCHESTER HILLS. OAKLAND COUNTY, MICHIGAN.



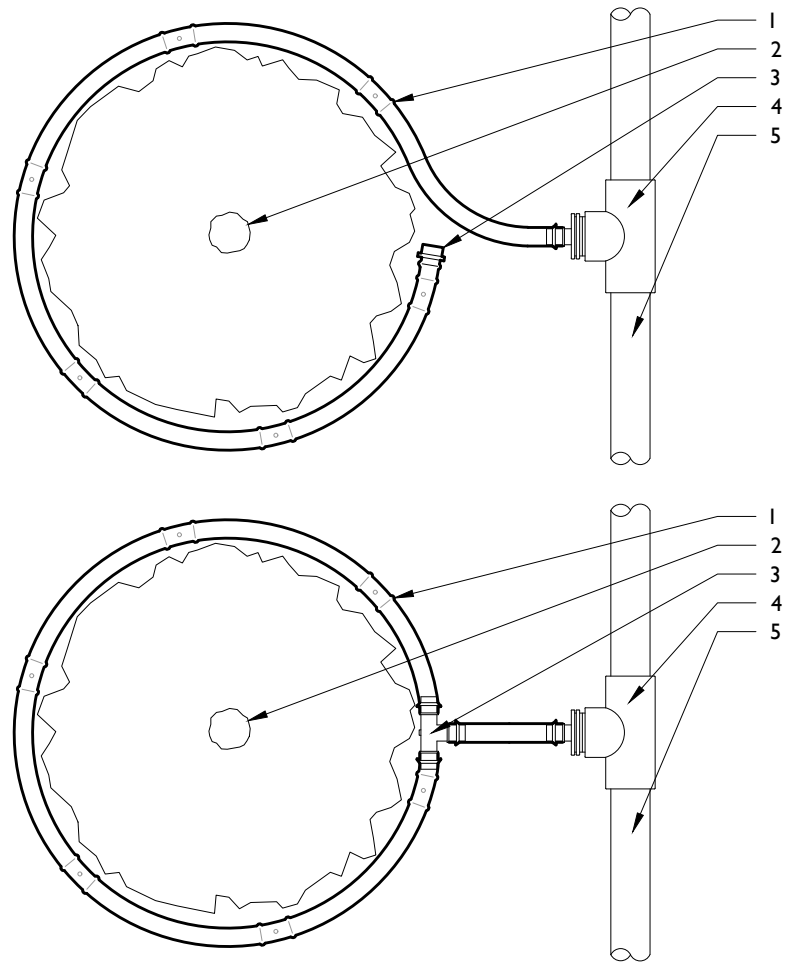
STONEFIELD engineering & design logo

ROCHESTER HILLS CITY FILE #: 24-0082, SEC. # 26. SCALE: 1" = 30'. PROJECT ID: DET-230078.

TITLE: IRRIGATION PLAN

DRAWING: C-10

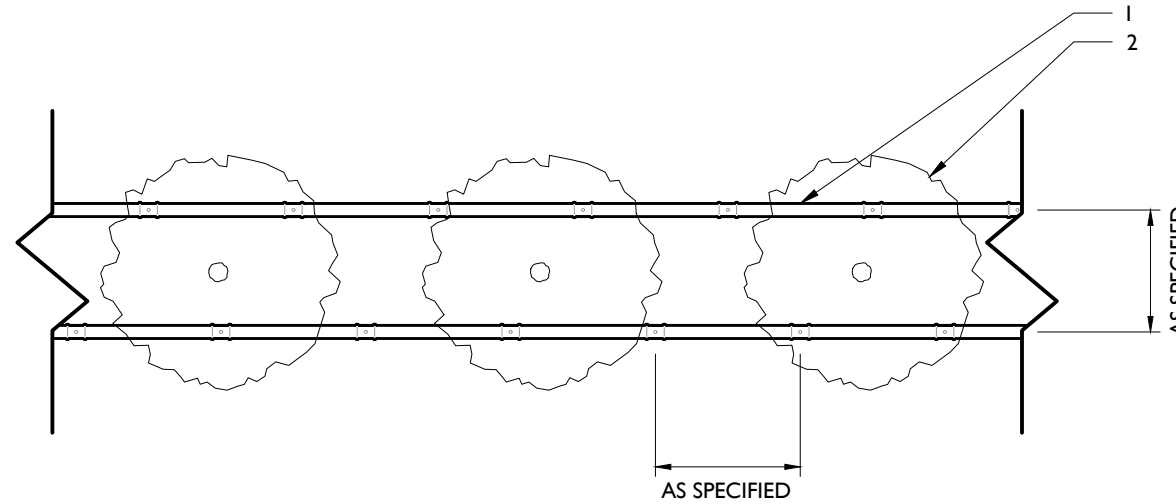
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- LEGEND:**
- PROFESSIONAL LANDSCAPE DRIPLINE PER PLAN
 - TREE (SEE PLANTING PLAN)
 - PLD OR OLD-LOC FITTING TYP.
 - PVC TO DROP LINE TUBING CONNECTION (PLD OR OLD-LOC FITTINGS) TYP.
 - PVC LATERAL LINE
- NOTES:**
- AIR RELIEF VALVE (PLD-ARV) INSTALLED IN VALVE BOX AT OPTIMAL HIGHEST POINT FROM CONTROL ZONE KIT. MULTIPLE IAR RELIEF VALVES MAY BE NEEDED TO ACCOMMODATE DIFFERENCES IN GRADE.
 - ECO-INDICATOR TO BE INSTALLED AT OPTIMAL FURTHEST POINT FROM CONTROL ZONE KIT IN CLEAR VIEW WHEN POPPED UP.
 - FLUSH POINT TO BE INSTALLED AT OPTIMAL FURTHEST POINT FROM CONTROL ZONE KIT TO ALLOW FOR MAXIMUM DEBRIS FLUSH IN SYSTEM.

DRIPLINE - TREE RING

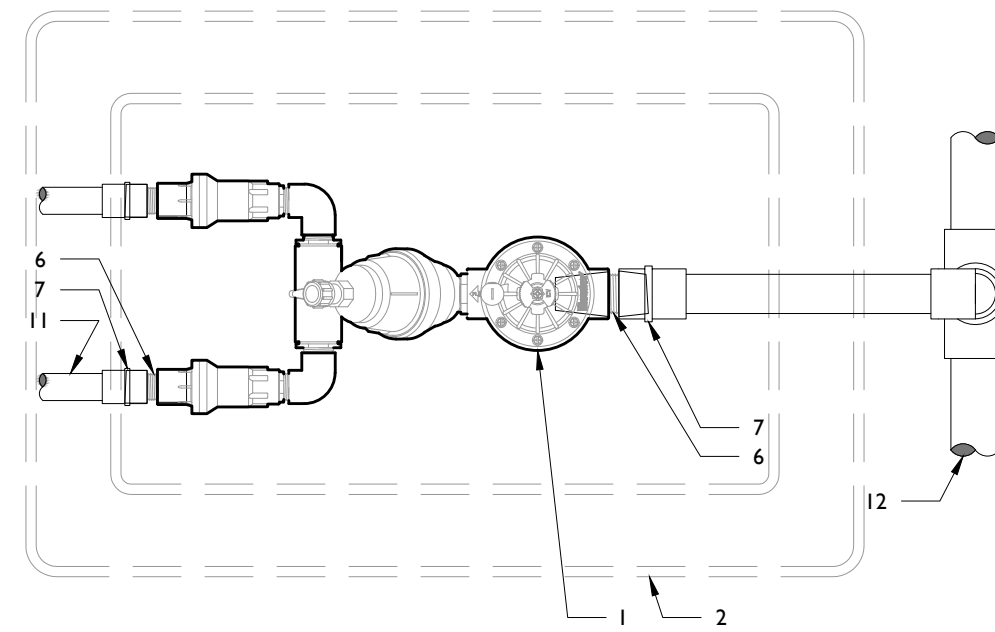
Hunter HM.HDL.09 NOT TO SCALE



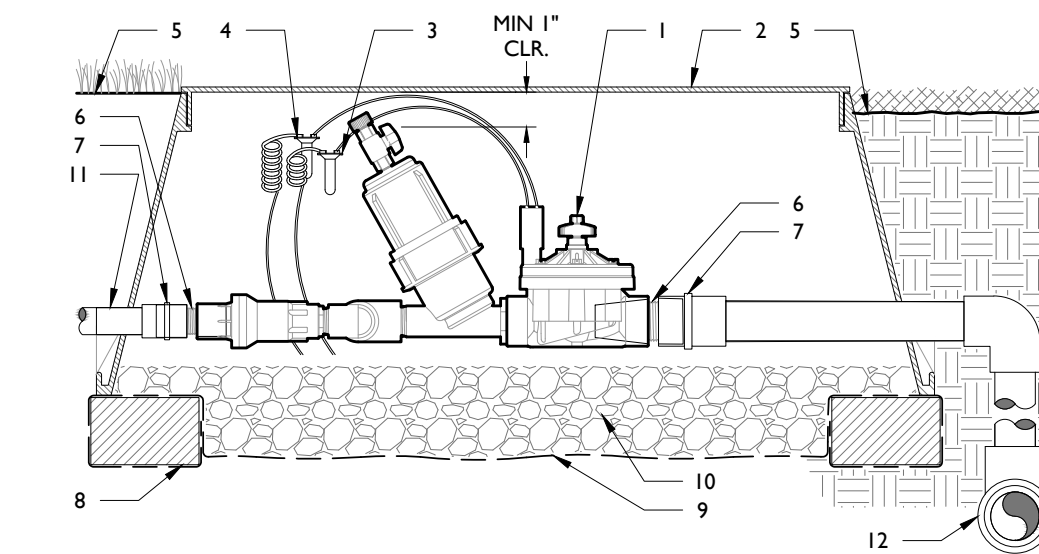
- LEGEND:**
- HUNTER DRIPLINE (HDL) PER PLAN
 - HEDGE ROW (SEE LANDSCAPING PLAN)
- NOTES:**
- TRIANGULATE EMITTERS TO MAXIMIZE COVERAGE

DRIPLINE - HEDGE ROW

Hunter HM.HDL.11 NOT TO SCALE



PLAN VIEW



SECTION VIEW

DRIP CONTROL ZONE KIT (ICZ-151)

Hunter V.ICZ.09 NOT TO SCALE

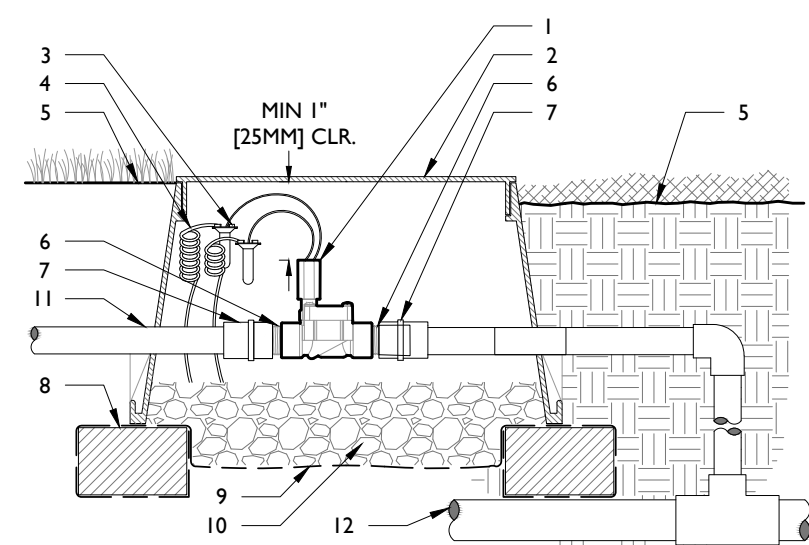
- LEGEND:**
- HUNTER REMOTE CONTROL VALVE (ICZ) WITH FILTER REGULATOR
 - IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS
 - WATERPROOF CONNECTORS (2)
 - 18"-24" COILED WIRE TO CONTROLLER
 - FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
 - SCH. 80 CLOSE NIPLLE, MATCH SIZE TO VALVE
 - PVC ADAPTOR SLIP X FPT
 - BRICK SUPPORTS (4)
 - FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
 - 3/4" WASHED GRAVEL - 4" MIN. DEPTH
 - IRRIGATION LATERAL
 - MAINLINE LATERAL AND FITTINGS

ARC	NOZZLE 12A GREEN +				NOZZLE 13A BLACK +				NOZZLE 17A GREY +			
	Flow	Pressure	Radius	Area	Flow	Pressure	Radius	Area	Flow	Pressure	Radius	Area
45°	35	11.0	2.50	1.96	14	0.98	1.50	1.77	14	0.98	2.00	3.14
60°	30	10.0	2.00	1.57	12	0.88	1.50	1.77	12	0.88	2.00	3.14
	25	11.0	2.50	1.96	14	0.98	1.50	1.77	14	0.98	2.00	3.14
90°	30	11.0	2.50	1.96	14	0.98	1.50	1.77	14	0.98	2.00	3.14
	25	12.0	3.00	2.36	16	1.08	1.50	1.77	16	1.08	2.00	3.14
120°	30	12.0	3.00	2.36	16	1.08	1.50	1.77	16	1.08	2.00	3.14
	25	13.0	3.50	2.75	18	1.18	1.50	1.77	18	1.18	2.00	3.14
150°	30	13.0	3.50	2.75	18	1.18	1.50	1.77	18	1.18	2.00	3.14
	25	14.0	4.00	3.14	20	1.28	1.50	1.77	20	1.28	2.00	3.14
180°	30	14.0	4.00	3.14	20	1.28	1.50	1.77	20	1.28	2.00	3.14
	25	15.0	4.50	3.53	22	1.38	1.50	1.77	22	1.38	2.00	3.14
225°	30	15.0	4.50	3.53	22	1.38	1.50	1.77	22	1.38	2.00	3.14
	25	16.0	5.00	3.93	24	1.48	1.50	1.77	24	1.48	2.00	3.14
270°	30	16.0	5.00	3.93	24	1.48	1.50	1.77	24	1.48	2.00	3.14
	25	17.0	5.50	4.33	26	1.58	1.50	1.77	26	1.58	2.00	3.14
315°	30	17.0	5.50	4.33	26	1.58	1.50	1.77	26	1.58	2.00	3.14
	25	18.0	6.00	4.71	28	1.68	1.50	1.77	28	1.68	2.00	3.14
360°	30	18.0	6.00	4.71	28	1.68	1.50	1.77	28	1.68	2.00	3.14
	25	19.0	6.50	5.09	30	1.78	1.50	1.77	30	1.78	2.00	3.14

HUNTER PS ULTRA

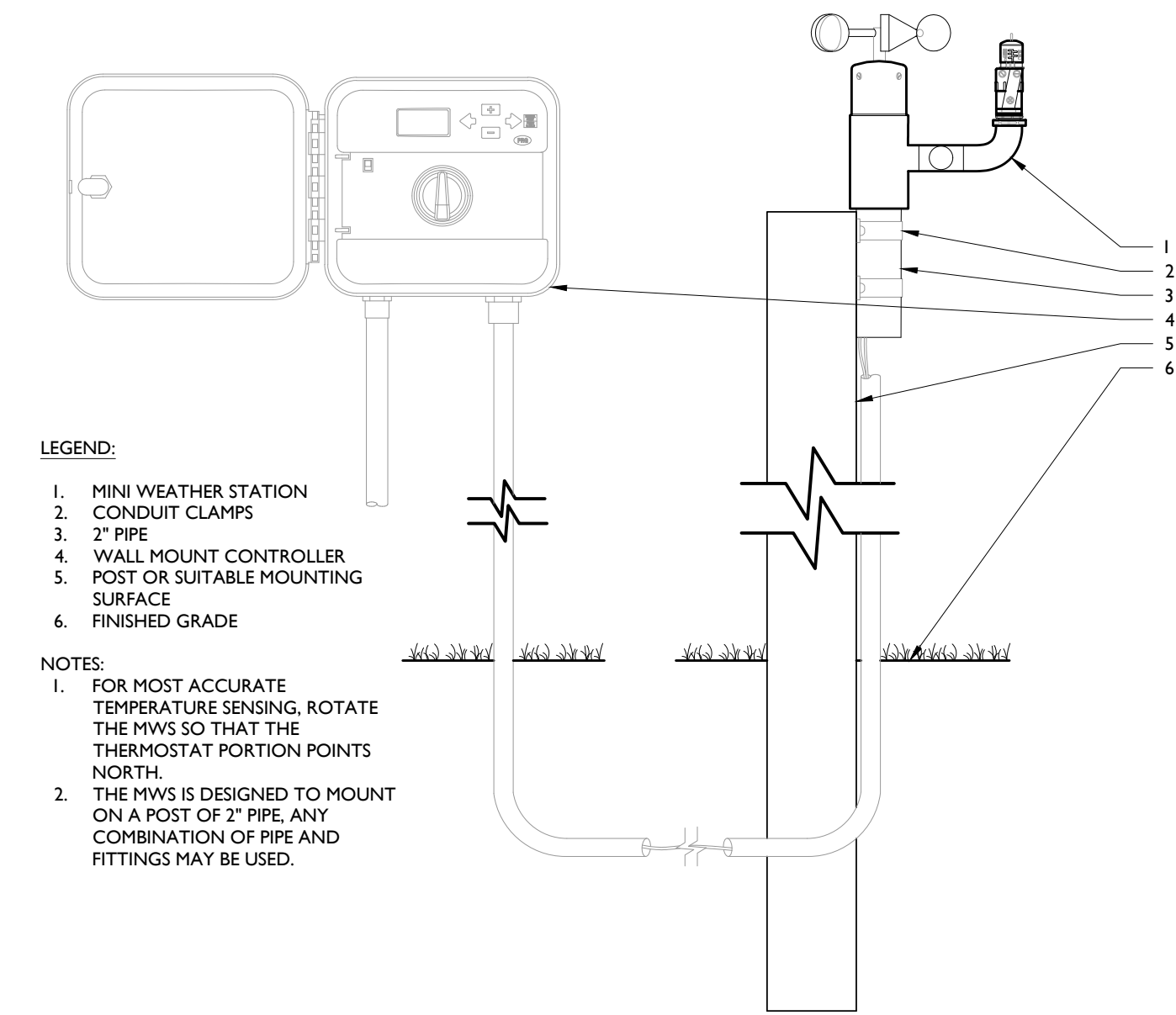
NOT TO SCALE

- LEGEND:**
- HUNTER REMOTE CONTROL VALVE (PGV)
 - IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS
 - WATERPROOF CONNECTORS (2)
 - 18"-24" COILED WIRE TO CONTROLLER
 - FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
 - SCH. 80 CLOSE NIPLLE, MATCH SIZE TO VALVE
 - PVC SLIP X FPT ADAPTOR
 - BRICK SUPPORTS (4)
 - FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
 - 3/4" WASHED GRAVEL - 4" MIN. DEPTH
 - IRRIGATION LATERAL
 - MAINLINE AND FITTINGS



IN-LINE VALVE (PGV-100G)

Hunter V.PGV.01 NOT TO SCALE



- LEGEND:**
- MINI WEATHER STATION
 - CONDUIT CLAMPS
 - 2" PIPE
 - WALL MOUNT CONTROLLER
 - POST OR SUITABLE MOUNTING SURFACE
 - FINISHED GRADE

- NOTES:**
- FOR MOST ACCURATE TEMPERATURE SENSING, ROTATE THE MWS SO THAT THE THERMOSTAT PORTION POINTS NORTH.
 - THE MWS IS DESIGNED TO MOUNT ON A POST OF 2" PIPE. ANY COMBINATION OF PIPE AND FITTINGS MAY BE USED.

MINI WEATHER STATION WITH GENERIC MOUNT CONTROLLER

Hunter S.MWS.01 NOT TO SCALE

HYDRAWISE PRO-C CONTROLLER

Hunter C.HPC.01 NOT TO SCALE

- LEGEND:**
- HYDRAWISE PRO-C CONTROLLER (HPC), PLASTIC ENCLOSURE, INDOOR OR OUTDOOR WALL MOUNT, PER PLAN
 - PLASTIC CONTROLLER HOUSING DOOR
 - IRRIGATION CONTROL WIRE IN CONDUIT TO PLANTER. SIZE AND TYPE PER LOCAL CODES
 - STANDARD CABLE & PLUG FOR CONNECTION TO GROUNDED POWER RECEPTACLE
 - SURFACE TO MOUNT CONTROLLER PER PLAN
- NOTES:**
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - CONTROLLER ACCEPTS 120 VOLTS A.C. OR 230 VOLTS A.C. (INTERNATIONAL MODEL). PLUG INTO A GROUNDED POWER SOURCE.
 - SEE PLAN LEGEND FOR MODEL NUMBER AND SPECIFICATIONS.
 - ALWAYS REFER TO PRODUCT INSTALLATION NOTES PRIOR TO INSTALLATION.
 - MOUNT CONTROLLER LCD SCREEN AT CONVENIENT EYE LEVEL WITHIN AN ACCESSIBLE AREA.

Series 825Y Reduced Pressure Service Assemblies
Size: 1/2" - 2" (DNmm - 50mm)

Operation

The FEBCO Series 825Y Reduced Pressure Service Assemblies are used to protect against high pressure backflow in water systems to maintain clean, healthy, potable, non-hazardous, and otherwise safe water. They are used to protect water supply lines, water lines and other installations requiring "maximum protection".

Features

- Spring operated check valve
- Automatic backflow prevention
- Accommodates a variety of pipe materials
- Accommodates a variety of pipe diameters
- Accommodates a variety of pipe materials
- Accommodates a variety of pipe diameters
- Accommodates a variety of pipe materials
- Accommodates a variety of pipe diameters

Specifications

These assemblies are available in sizes from 1/2" to 2" and are designed to meet the requirements of ASSE Standard 802.0 and ASSE Standard 802.1. They are also designed to meet the requirements of ASSE Standard 802.2 and ASSE Standard 802.3.

Dimensions - Weights

Size	Weight
1/2"	0.5 lbs
3/4"	0.7 lbs
1"	1.0 lbs
1 1/2"	1.5 lbs
2"	2.0 lbs

FEBCO
A WATTS BRAND

Capacity

Temperature - Pressure

Materials

Approvals - Standards

Warnings - Consult Local Codes

Reduced Pressure Service and Draining Procedure

Freeze Protection Model 825Y

Reduced Pressure Assembly Draining Procedure for Freeze Protection

WARNING - CONSULT LOCAL CODES PRIOR TO REVERSE SERVICE AND DRAINING PROCEDURES!

FREEZE PROTECTION GUIDELINES

DRAIN PROCEDURE

FEBCO
A WATTS BRAND

FEBCO - MODEL 825Y RPZ SERVICE INSTRUCTIONS

NOT TO SCALE

Capacity

Temperature - Pressure

Materials

Approvals - Standards

Warnings - Consult Local Codes

Reduced Pressure Service and Draining Procedure

Freeze Protection Model 825Y

Reduced Pressure Assembly Draining Procedure for Freeze Protection

WARNING - CONSULT LOCAL CODES PRIOR TO REVERSE SERVICE AND DRAINING PROCEDURES!

FREEZE PROTECTION GUIDELINES

DRAIN PROCEDURE

FEBCO
A WATTS BRAND

TYPICAL RPZ ASSEMBLY

NOT TO SCALE

Close this shutoff valve to prevent high pressure air from damaging backflow preventer

Drain Port

Blowout Port - Air Compressor Connection

Missing drain valve after shutoff valve

Drain valve is recommended but not a requirement. Main purpose for interior drain valve is if the interior shutoff valve leaves water past the valve you can drain the water downstream of it. This may still be necessary to install if unable to drain water from the piping for proper winterization.

FEBCO
A WATTS BRAND

FEBCO - MODEL 825Y RPZ SERVICE INSTRUCTIONS

NOT TO SCALE

FEBCO - MODEL 825Y RPZ SERVICE INSTRUCTIONS

NOT TO SCALE

TYPICAL RPZ ASSEMBLY

NOT TO SCALE

NO.	DESCRIPTION	DATE	BY
1	FOR SITE PLAN APPROVAL		
2	FOR SITE PLAN APPROVAL		
3	FOR SITE PLAN APPROVAL		
4	FOR SITE PLAN APPROVAL		
5	FOR SITE PLAN APPROVAL		
6	FOR SITE PLAN APPROVAL		
7	FOR SITE PLAN APPROVAL		
8	FOR SITE PLAN APPROVAL		
9	FOR SITE PLAN APPROVAL		
10	FOR SITE PLAN APPROVAL		
11	FOR SITE PLAN APPROVAL		
12	FOR SITE PLAN APPROVAL		

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SITE IMPROVEMENT PLANS

HAMPTON COMMUNITY CENTER

COMMUNITY AREA IMPROVEMENTS

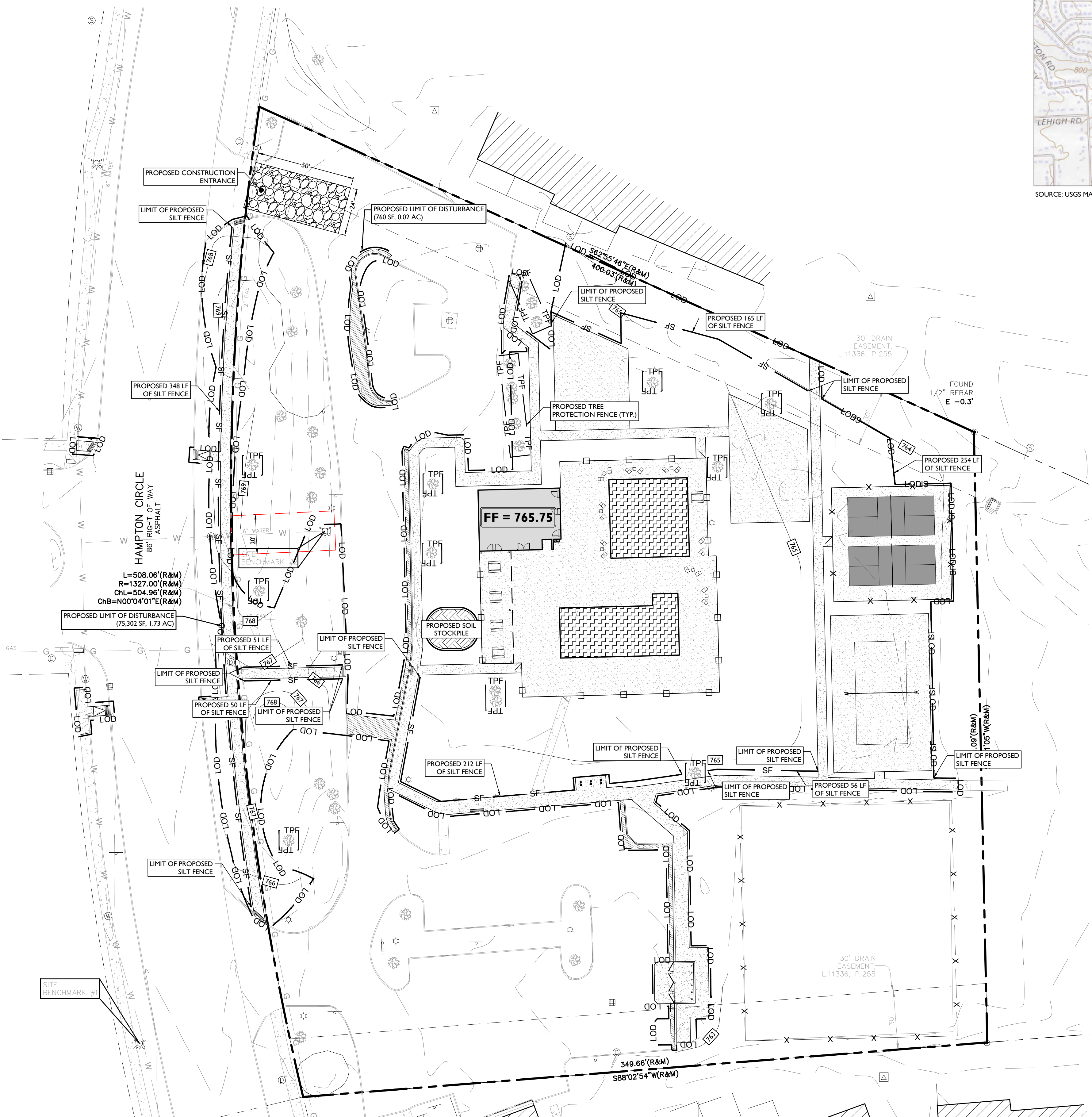
PARCEL ID: 15-26-176-003
254 HAMPTON CIRCLE
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

STATE OF MICHIGAN

DIAMANTRE COOKSEY ENGINEER

STONEFIELD engineering & design

ROCHESTER HILLS CITY FILE #: 24-0082, SEC. # 26
SCALE: AS SHOWN PROJECT ID: DET-230078
TITLE: IRRIGATION DETAILS
DRAWING: C-11



LOCATION MAP
SCALE: 1" = 1,000'±

EROSION CONTROL QUANTITIES

SILT FENCE	1,035 LF
TREE PROTECTION FENCE	653 LF
CONSTRUCTION ENTRANCE	1
SOIL STOCKPILE	1

FOR MUNICIPAL REFERENCE ONLY. CONTRACTOR TO VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

- FLOOD HAZARD AREA NOTES:**
- THERE ARE NO RIPARIAN ZONES ON SITE.
 - THERE ARE NO FLOODWAYS ON SITE.
 - ALL ELEVATIONS SHOWN ARE BASED ON NAVD 88 DATUM.

SOIL CHARACTERISTICS CHART

TYPE OF SOIL	URBAN LAND (S9)
PERCENT OF SITE COVERAGE	95.8%
HYDROLOGIC SOIL GROUP	-
DEPTH TO RESTRICTIVE LAYER	-
SOIL PERMEABILITY	-
DEPTH TO WATER TABLE	-

SOIL CHARACTERISTICS CHART

TYPE OF SOIL	UDORTHENTS, LOAMY, NEARLY LEVEL (40A)
PERCENT OF SITE COVERAGE	4.2%
HYDROLOGIC SOIL GROUP	B
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	0.57 TO 1.98 IN / HR
DEPTH TO WATER TABLE	> 80 INCHES

SYMBOL DESCRIPTION

---	PROPERTY BOUNDARY
- - - -	ADJACENT PROPERTY BOUNDARY
---	PROPOSED LIMIT OF DISTURBANCE
---	PROPOSED SILT FENCE
---	PROPOSED TREE PROTECTION FENCE
---	PROPOSED STOCKPILE & EQUIPMENT STORAGE
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE

- SOIL EROSION AND SEDIMENT CONTROL NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
 - THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.

SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT.

- SEQUENCE OF CONSTRUCTION:**
- INSTALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AND CONSTRUCTION ENTRANCE (2 DAYS)
 - DEMOLITION OF SITE FEATURES (20 DAYS)
 - ROUGH GRADING AND TEMPORARY SEEDING (15 DAYS)
 - EXCAVATE AND INSTALL DRAINAGE PIPING AND UTILITIES (15 DAYS)
 - BUILDING AND SITE IMPROVEMENTS (30 DAYS)
 - LANDSCAPING IMPROVEMENTS AND FINAL SEEDING (15 DAYS)
 - REMOVE SOIL EROSION MEASURES (1 DAY)
- NOTE: TIME DURATIONS ARE APPROXIMATE AND ARE INTENDED TO ACT AS A GENERAL GUIDE TO THE CONSTRUCTION TIMELINE. ALL DURATIONS ARE SUBJECT TO CHANGE BY CONTRACTOR. CONTRACTOR SHALL SUBMIT CONSTRUCTION SCHEDULE TO TOWNSHIP AND ENGINEER. CONTRACTOR SHALL PHASE CONSTRUCTION ACCORDINGLY.

BENCHMARKS

SITE BENCHMARK #1
TOP OF NUT ON HYDRANT S.W. OF SITE, WEST SIDE OF HAMPTON CIRCLE
350' SOUTH OF HAMPTON BLVD.
ELEVATION = 767.35' (NAVD 88)

SITE BENCHMARK #2
TOP OF NUT ON HYDRANT 50' N.W. OF ENTRANCE TO BLDG #254.
ELEVATION = 767.97' (NAVD 88)

PROPERTY DESCRIPTION:

PARCEL 3:
THE LAND SITUATED IN THE CITY OF ROCHESTER HILLS, COUNTY OF OAKLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

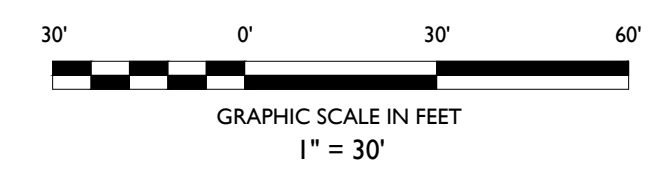
PART OF THE NORTHWEST 1/4 OF SECTION 26, TOWN 3 NORTH, RANGE 11 EAST, AVON TOWNSHIP, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT WHICH IS DUE NORTH 300.00 FEET, ALONG THE WEST LINE OF SECTION 26; AND NORTH 79 DEGREES 05 MINUTES 55 SECONDS EAST 852.18 FEET FROM THE WEST 1/4 CORNER OF SECTION 26, TOWN 3 NORTH, RANGE 11 EAST; THENCE NORTHERLY 508.06 FEET ALONG A CURVE CONCAVE TO THE EAST (RADIUS OF 1327.00 FEET, CENTRAL ANGLE OF 21 DEGREES 56 MINUTES 11 SECONDS, LONG CHORD BEARS NORTH 90 DEGREES 04 MINUTES 01 SECONDS EAST 504.96 FEET); THENCE SOUTH 62 DEGREES 55 MINUTES 46 SECONDS EAST 400.03 FEET; THENCE SOUTH 01 DEGREES 21 MINUTES 05 SECONDS WEST 311.09 FEET; THENCE SOUTH 88 DEGREES 02 MINUTES 54 SECONDS WEST 349.66 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH THE RIGHTS AND BENEFITS BY VIRTUE OF DECLARATION OF RESTRICTIONS, EASEMENTS, CONDITIONS AND LIENS - RESIDENTIAL, RECORDED IN LIBER 6358, PAGE 518, AS ASSIGNED BY ASSIGNMENT RECORDED IN LIBER 11401, PAGE 344, OAKLAND COUNTY RECORDS.

TITLE REPORT NOTE:

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, FILE No. 63-143542-14-SCM, DATED MARCH 12 2014, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

- EASEMENTS GRANTED TO AETNA LIFE INSURANCE COMPANY FOR INGRESS AND EGRESS AND FOR CONSTRUCTION, OPERATION, MAINTENANCE AND REPAIR OF STORM DRAINAGE FACILITIES RECORDED IN LIBER 5917, PAGE 130 (AS SHOWN) AND IN LIBER 5917, PAGE 133 (DOCUMENT NOT PROVIDED AT TIME OF SURVEY), OAKLAND COUNTY RECORDS.
- EASEMENT FOR INGRESS AND EGRESS RECORDED IN LIBER 5932, PAGE 128, OAKLAND COUNTY RECORDS. (AS SHOWN)
- DECLARATION OF RESTRICTIONS, EASEMENTS, CONDITIONS AND LIENS - RESIDENTIAL, RECORDED IN LIBER 6358, PAGE 518 AS ASSIGNED BY ASSIGNMENT RECORDED IN LIBER 11401, PAGE 344, OAKLAND COUNTY RECORDS. (SUBJECT PARCEL LIES WITHIN COMMON AREA; SEE DOCUMENTS FOR TERMS AND CONDITIONS)
- AGREEMENT - EASEMENT - RESTRICTIONS IN FAVOR OF THE DETROIT EDISON COMPANY AND MICHIGAN BELL TELEPHONE COMPANY FOR INSTALLATION, MAINTENANCE AND REPAIR OF ELECTRIC AND COMMUNICATION FACILITIES RECORDED IN LIBER 6012, PAGE 468 AND RE-RECORDED IN LIBER 7762, PAGE 732, OAKLAND COUNTY RECORDS. (DOCUMENT NOT PROVIDED AT TIME OF SURVEY)
- EASEMENT GRANTED TO CONSUMERS POWER COMPANY FOR CONSTRUCTION, MAINTENANCE AND REPAIR OF GAS MAIN RECORDED IN LIBER 6018, PAGE 194, OAKLAND COUNTY RECORDS. (DOCUMENT IS ILLEGIBLE, THEREFORE, IT CANNOT BE SHOWN AT THIS TIME)
- RIGHT OF WAY GRANTED TO THE HAMPTON DRAIN DRAINAGE DISTRICT FOR CONSTRUCTION, OPERATION, MAINTENANCE AND REPAIR OF THE HAMPTON DRAIN RECORDED IN LIBER 11336, PAGE 255, OAKLAND COUNTY RECORDS. (AS SHOWN)



ISSUE	DATE	BY	DESCRIPTION
3	07/26/2024	KG	FOR SITE PLAN APPROVAL
2	05/31/2024	KG	FOR SITE PLAN APPROVAL
1	02/26/2024	JDK/G	FOR SITE PLAN APPROVAL

NOT APPROVED FOR CONSTRUCTION

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Phone 248.247.1115

SITE IMPROVEMENT PLANS

HAMPTON COMMUNITY CENTER

COMMUNITY AREA IMPROVEMENTS

PARCEL ID: 15-26-176-003
254 HAMPTON CIRCLE
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN



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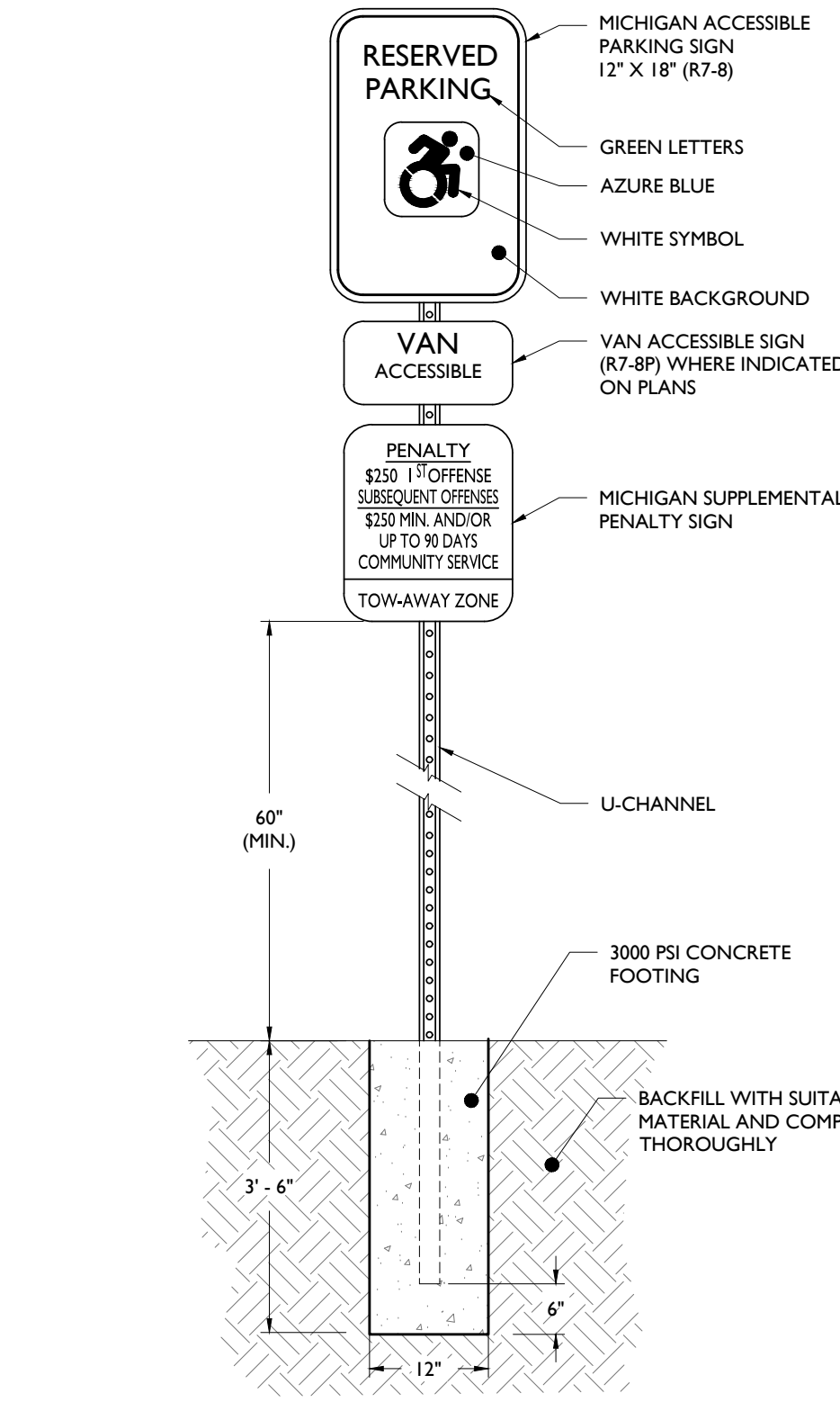
ROCHESTER HILLS CITY FILE #: 24-0082, SEC. # 26

SCALE: 1" = 30' PROJECT ID: DET-230078

TITLE:
SOIL EROSION & SEDIMENT CONTROL PLAN

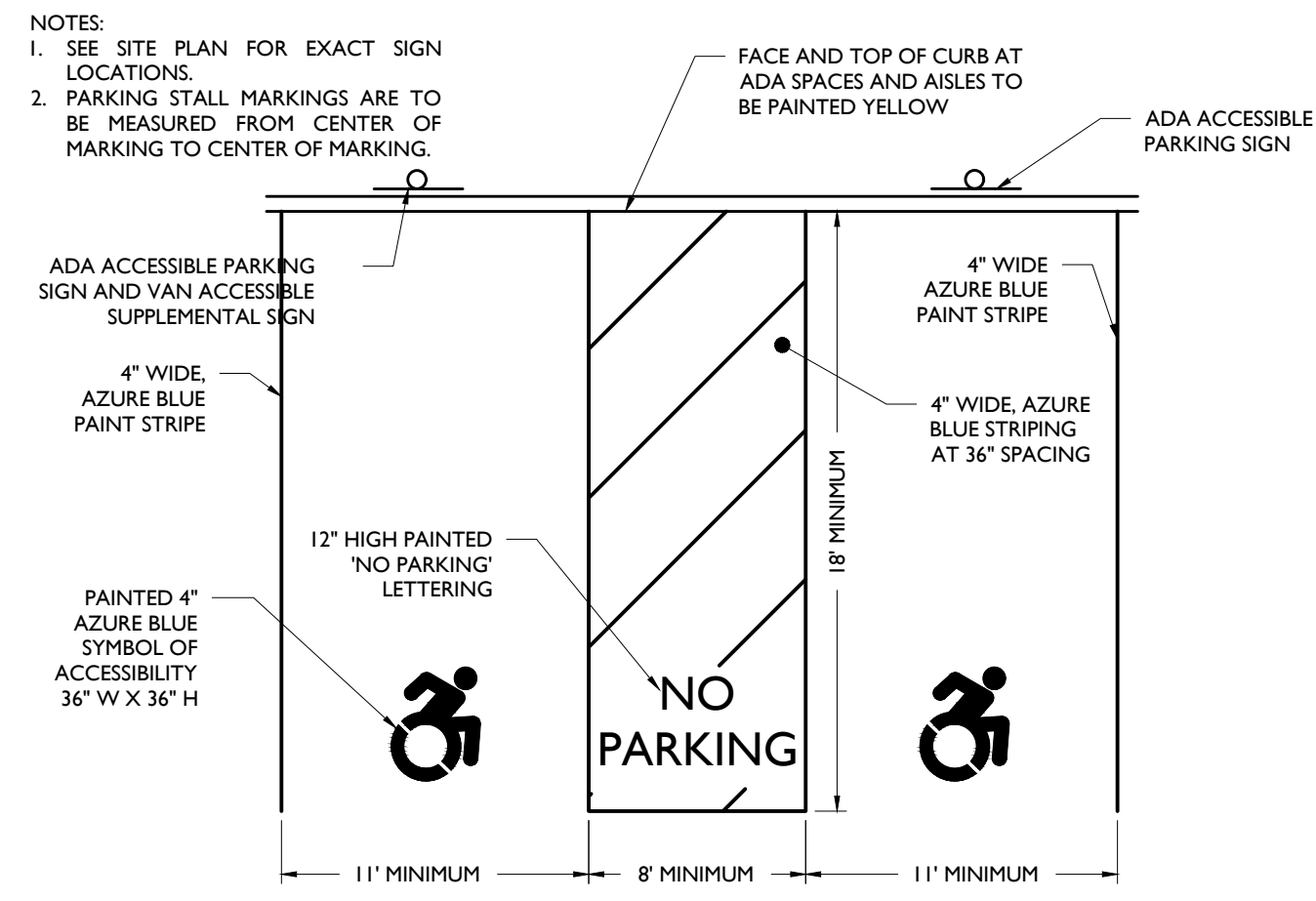
DRAWING:
C-12

\\P01301672\2024\STUDY\HILL\ARCHITECTS\HAMPTON CIRCLE ROCHESTER HILLS.MXD(09/10/2024) 1:58:23 PM



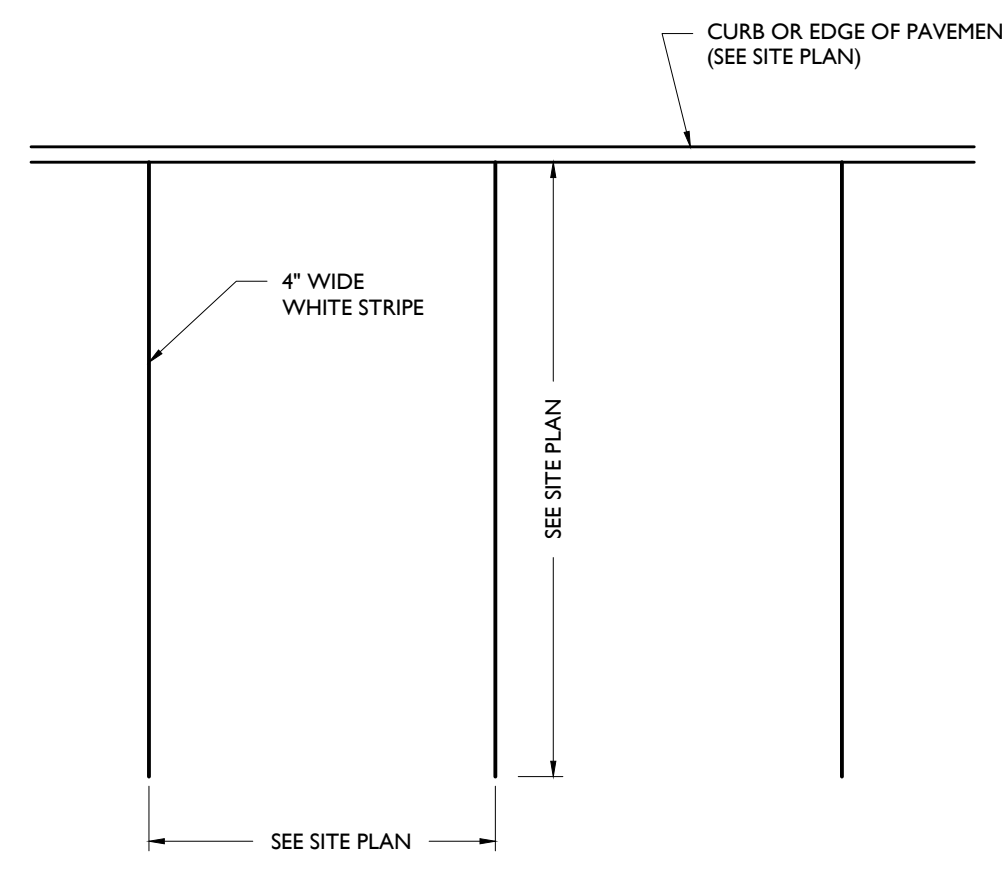
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE

NOT TO SCALE



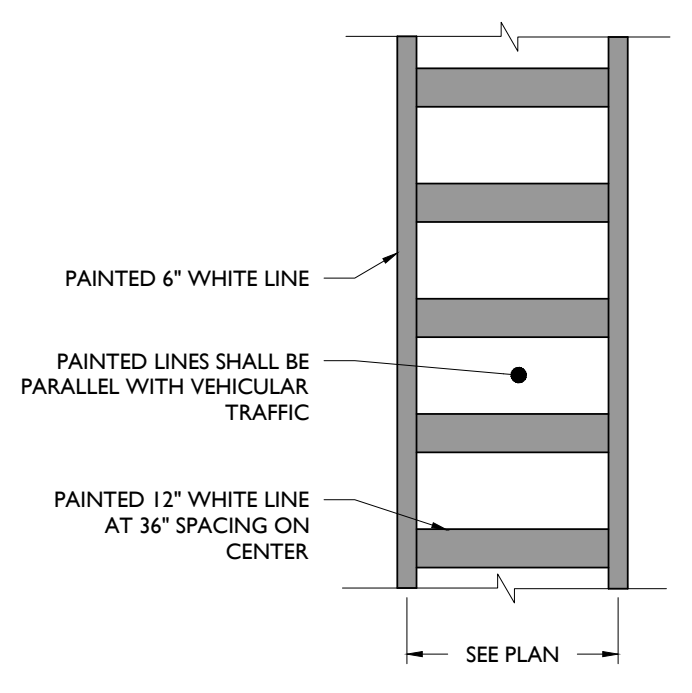
ACCESSIBLE PARKING STALL MARKINGS
NOT TO SCALE

2



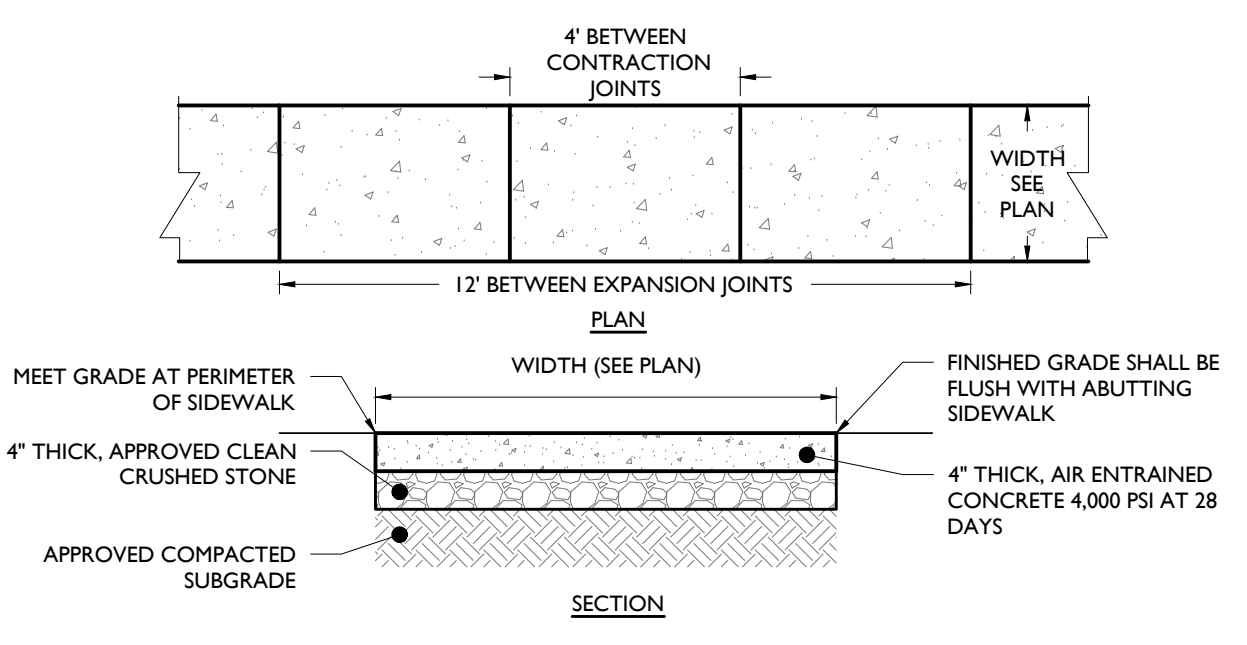
PARKING STALL MARKINGS
NOT TO SCALE

3



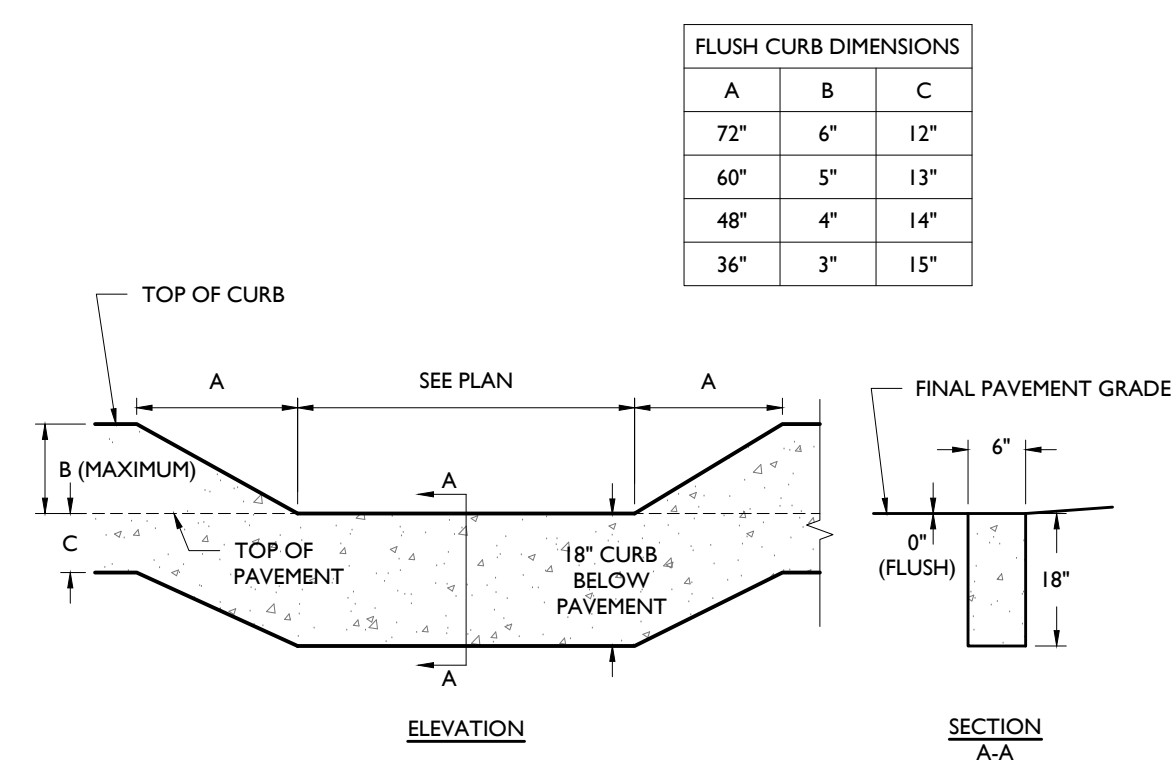
CROSSWALK DETAIL
NOT TO SCALE

4



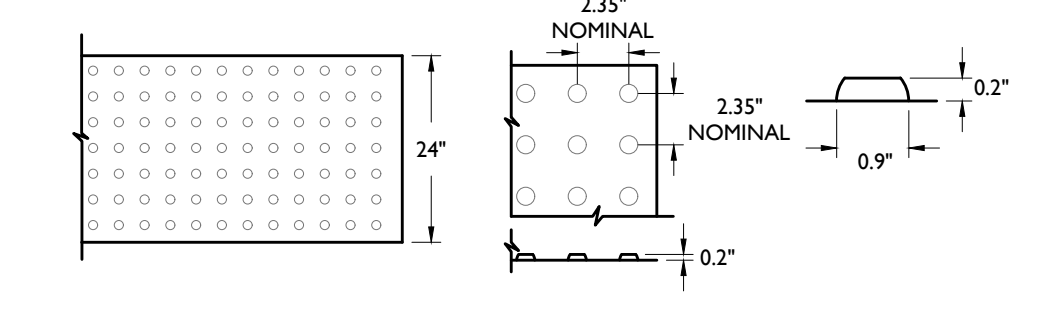
CONCRETE WALKWAY DETAIL
NOT TO SCALE

5



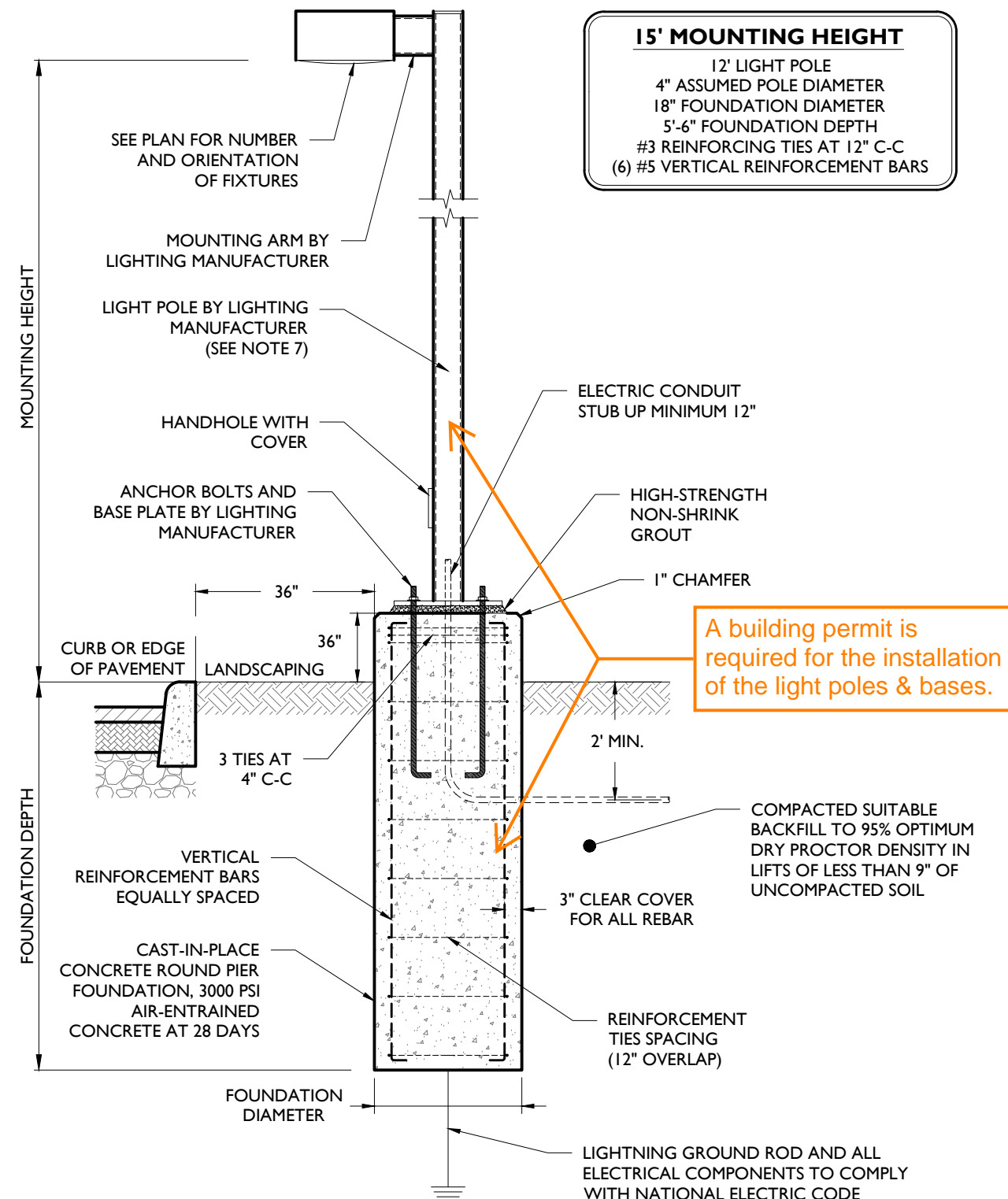
FLUSH CURB DETAIL
NOT TO SCALE

6



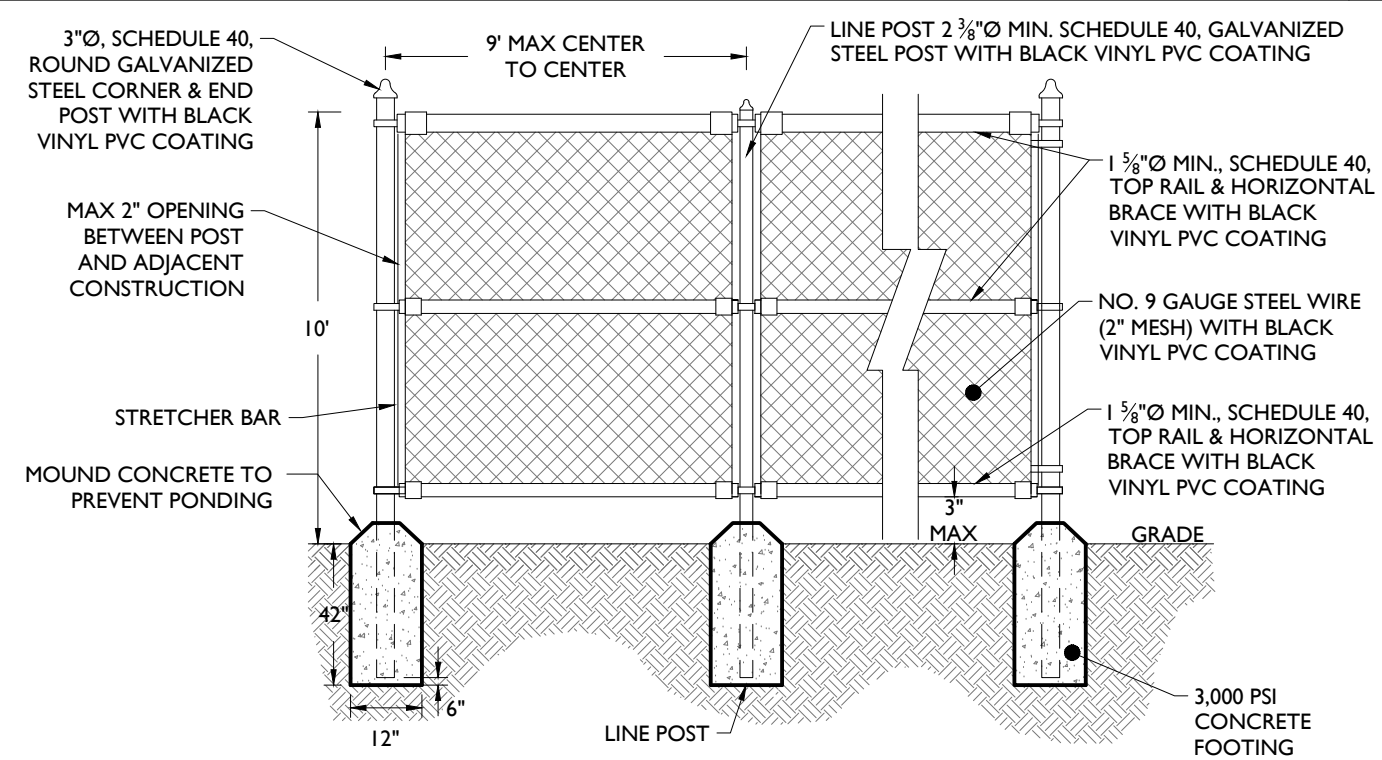
DETECTABLE WARNING STRIP DETAIL
NOT TO SCALE

7



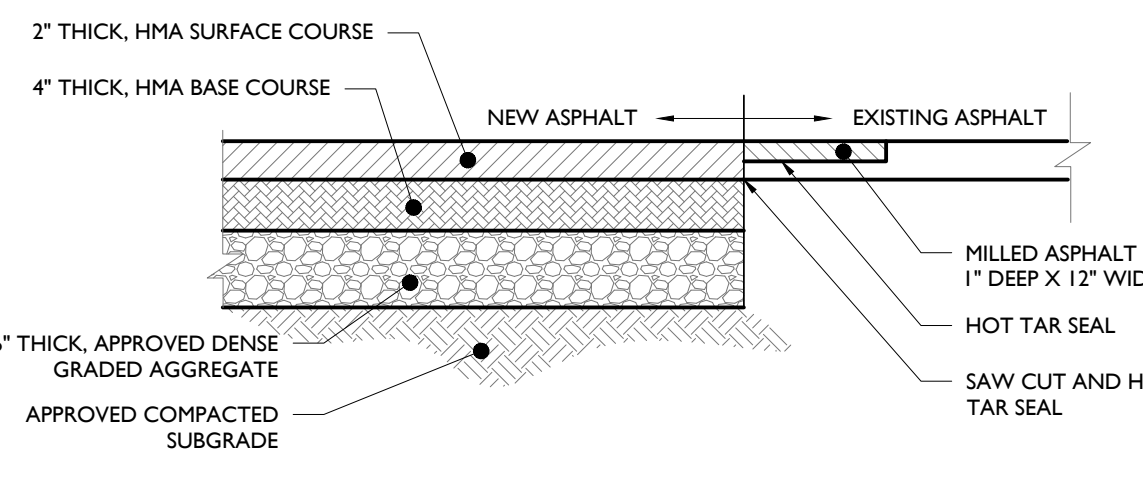
LIGHT POLE INSTALLATION DETAIL
NOT TO SCALE

8



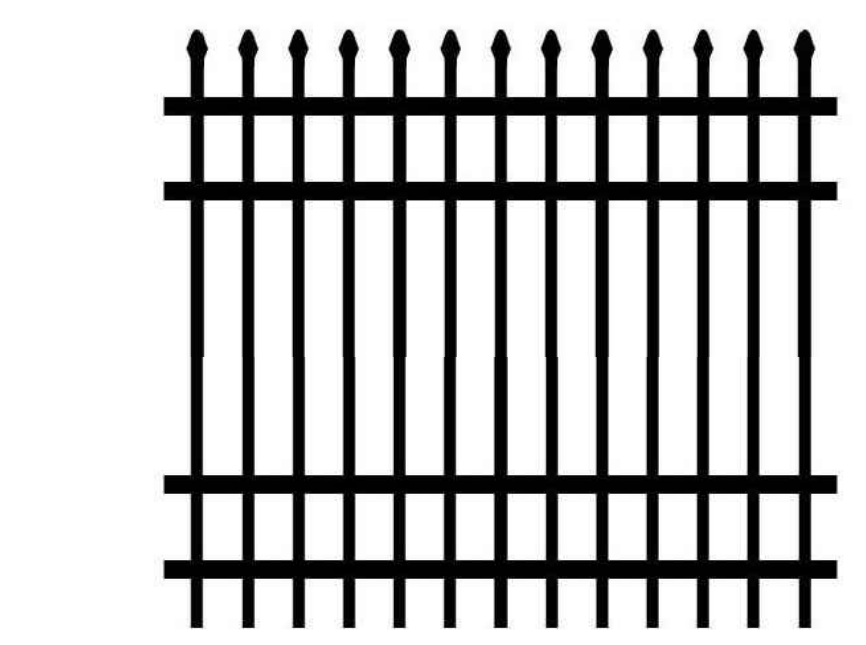
10' HIGH CHAIN LINK FENCE
NOT TO SCALE

9



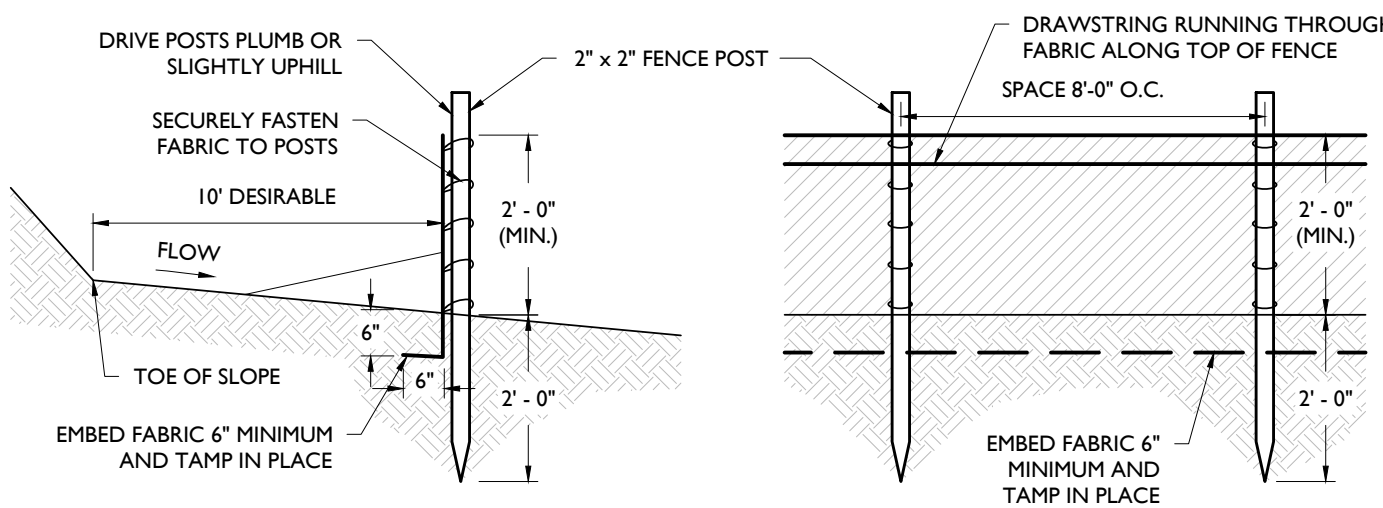
FULL DEPTH ASPHALT PAVEMENT DETAIL
NOT TO SCALE

10



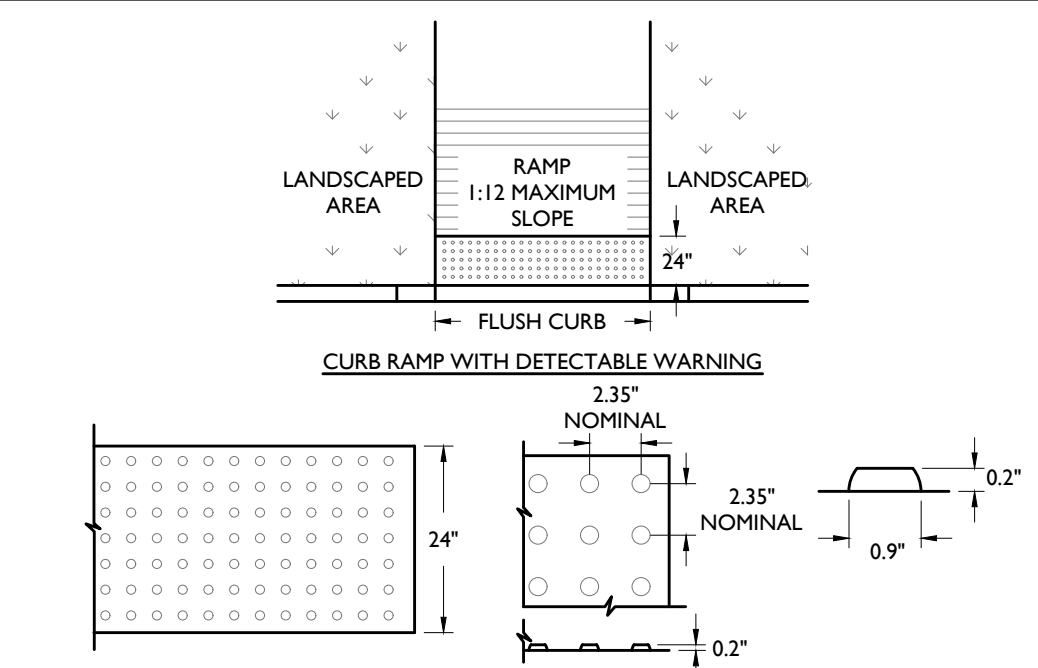
48" ALUMINUM BARRIER FENCE DETAIL
NOT TO SCALE

12



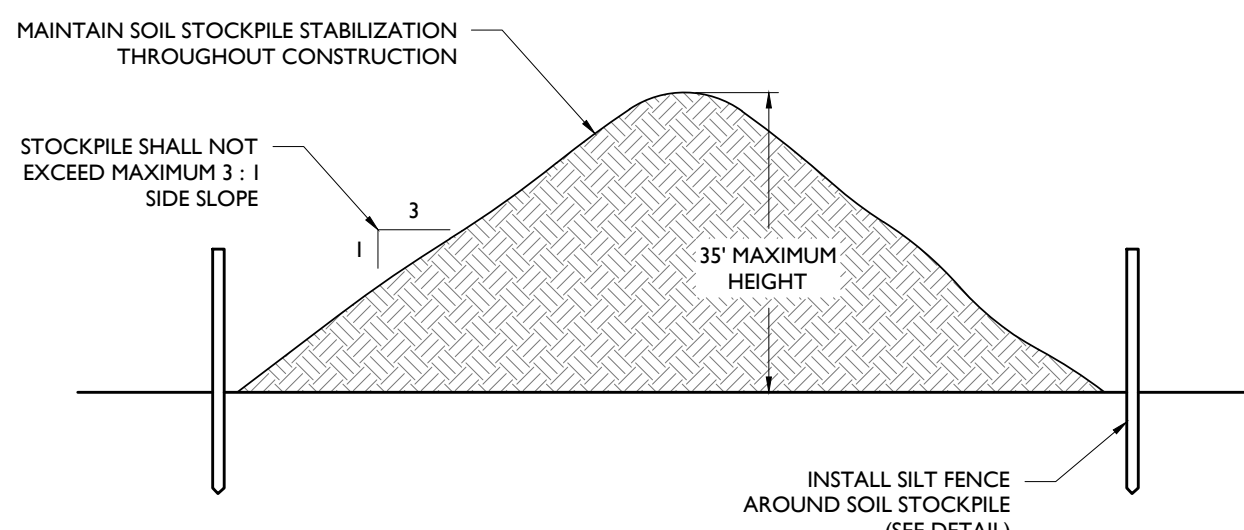
SILT FENCE DETAIL
NOT TO SCALE

13



CURB RAMP DETAIL
NOT TO SCALE

11



SOIL STOCKPILE DETAIL
NOT TO SCALE

14

NO.	DATE	ISSUE	BY	DESCRIPTION
3	07/26/2024		KG	FOR SITE PLAN APPROVAL
2	05/31/2024		KG	FOR SITE PLAN APPROVAL
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NOT APPROVED FOR CONSTRUCTION

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SITE IMPROVEMENT PLANS

HAMPTON COMMUNITY CENTER
COMMUNITY AREA IMPROVEMENTS

PARCEL ID: 15-26-176-003
254 HAMPTON CIRCLE
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN R. COOKSEY
REGISTERED PROFESSIONAL ENGINEER
No. 080228
EXPIRES 12/31/2025

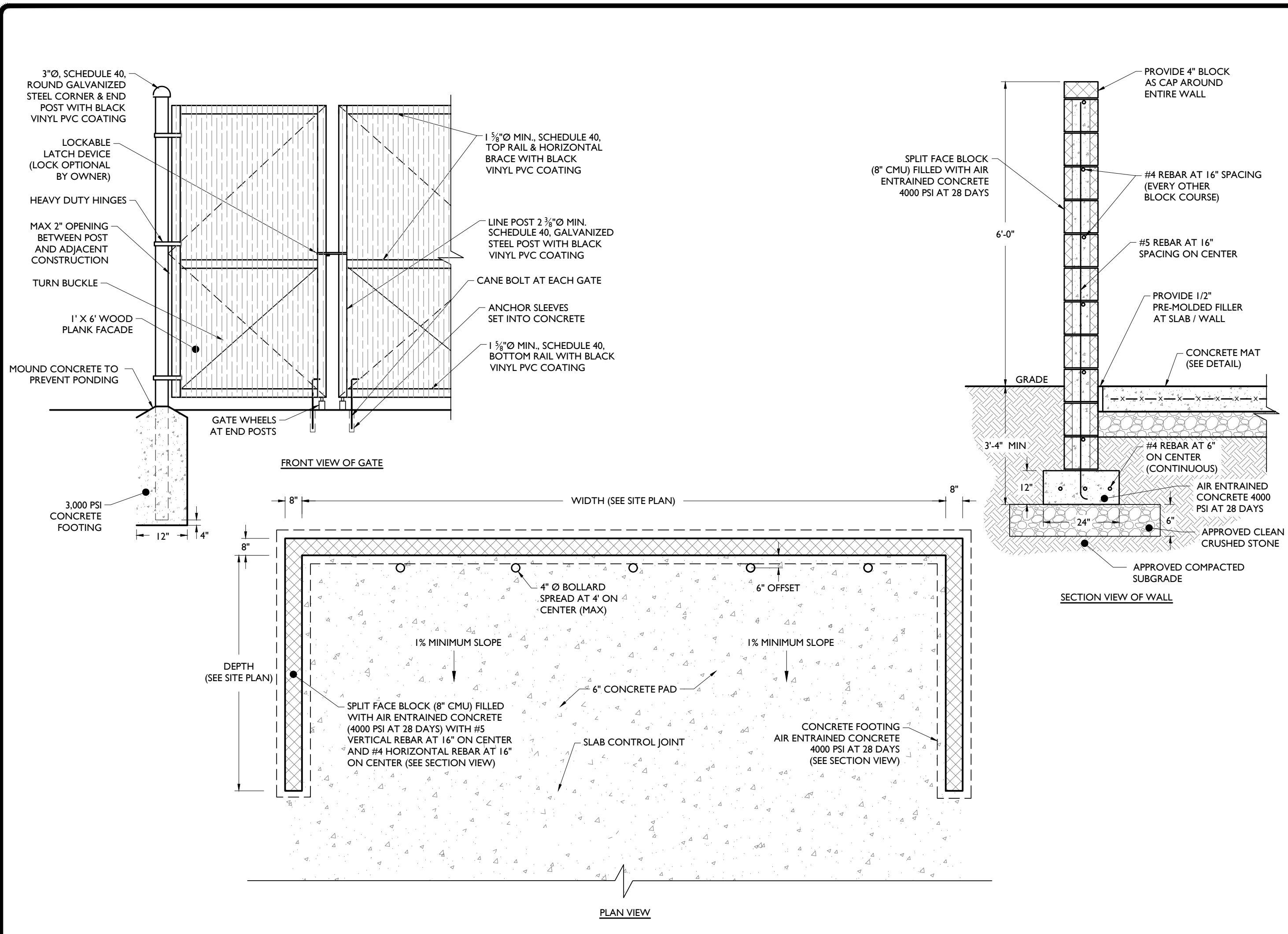
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ROCHESTER HILLS CITY FILE #: 24-0082, SEC. # 26
SCALE: AS SHOWN PROJECT ID: DET-230078

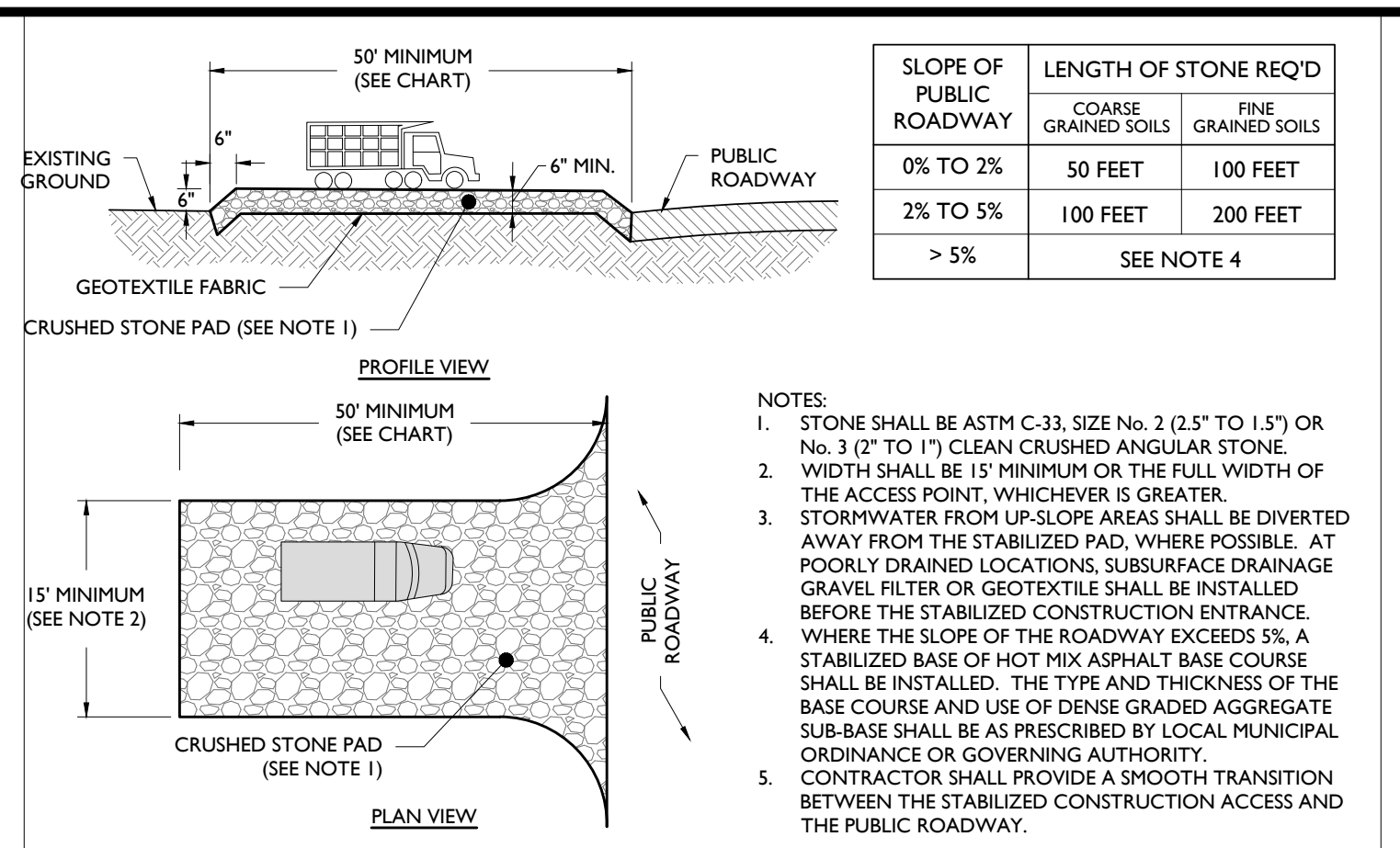
TITLE: **CONSTRUCTION DETAILS**

DRAWING: **C-13**

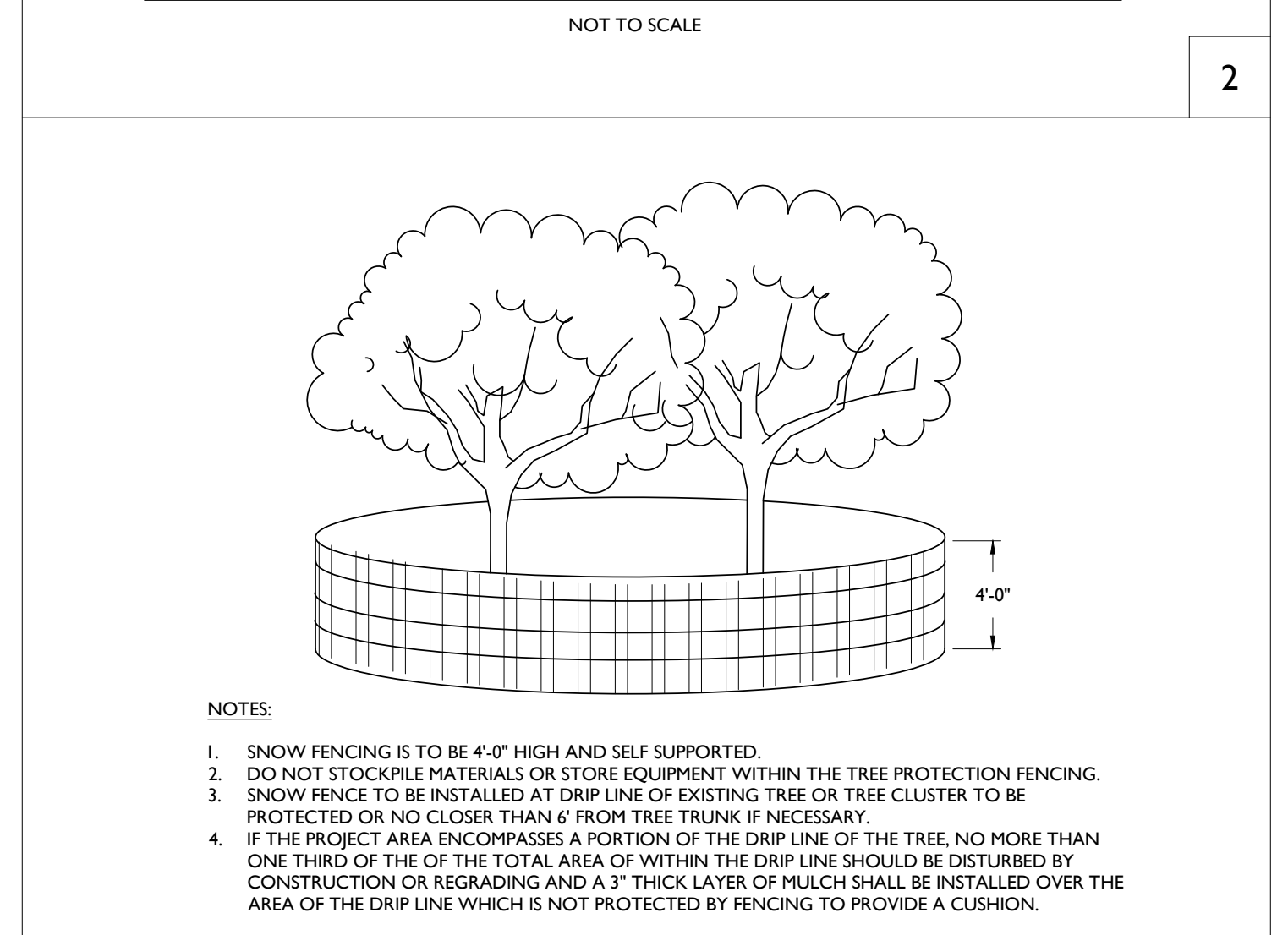
V:\072325\230078\STUDY\TITLE\ARCHITECTS\HAMPTON CIRCLE\ROCHESTER HILLS\PCAD\072325\15-26-176-003.dwg



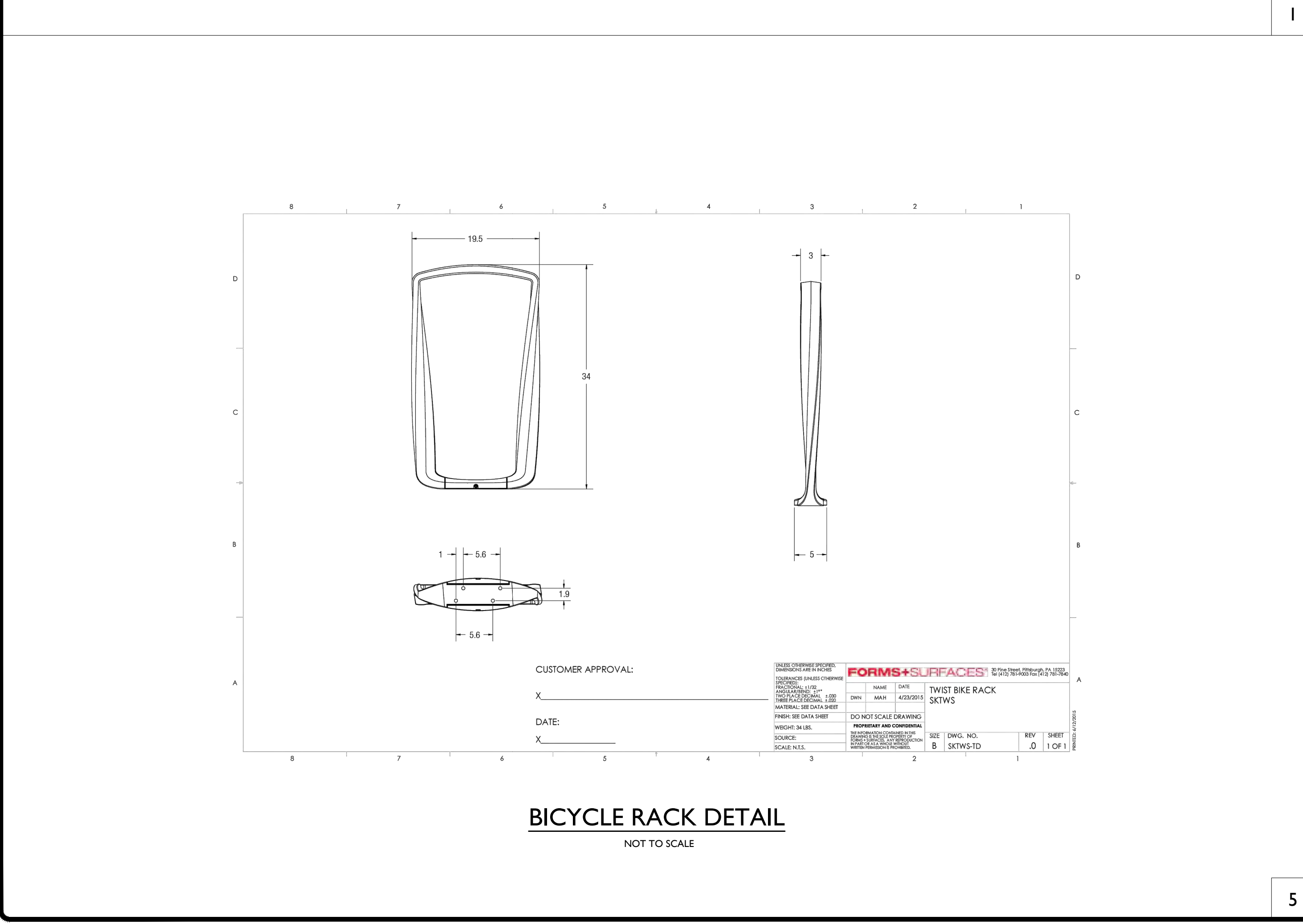
DOUBLE TRASH / RECYCLE ENCLOSURE DETAIL



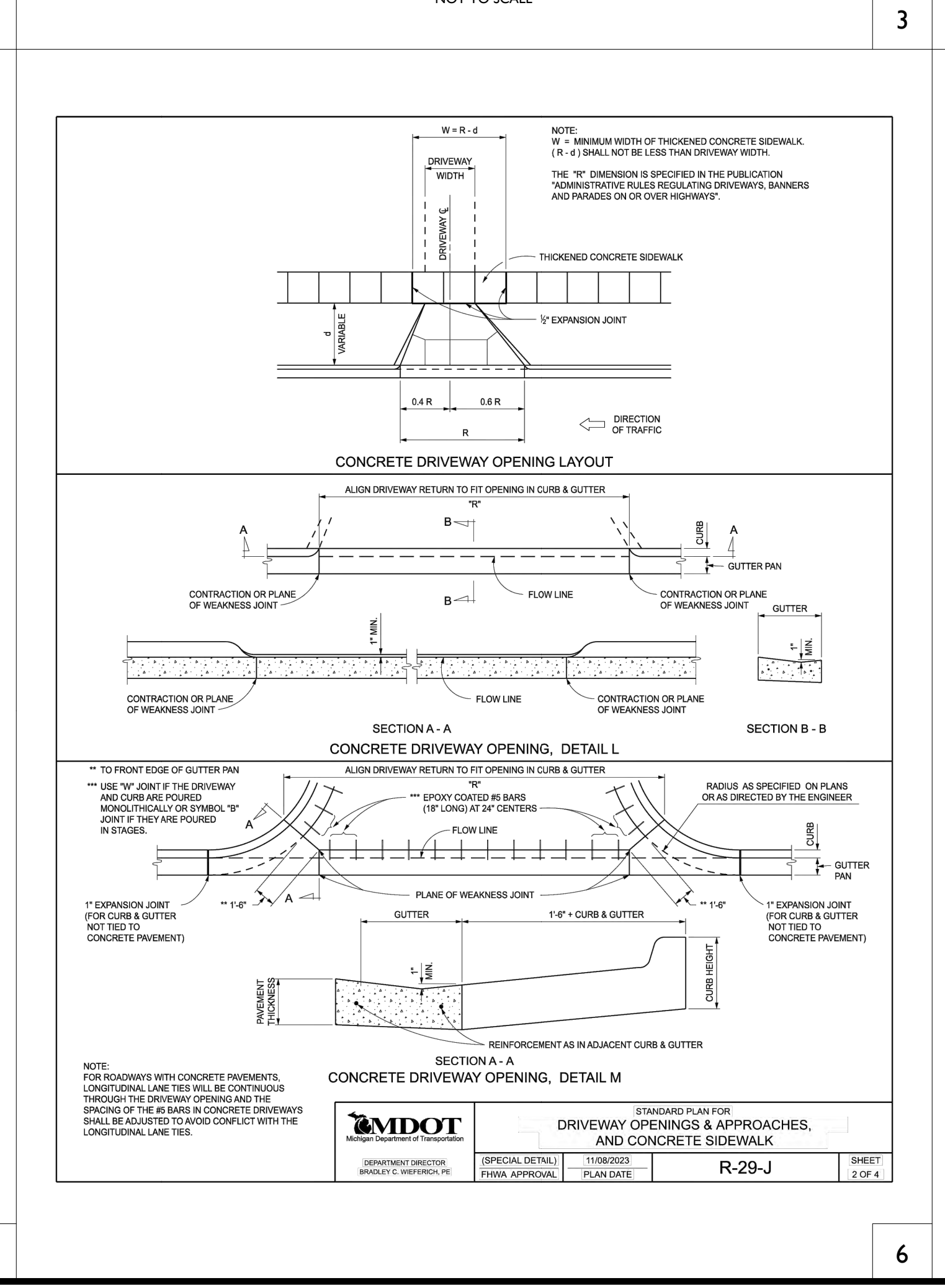
STABILIZED CONSTRUCTION ACCESS DETAIL



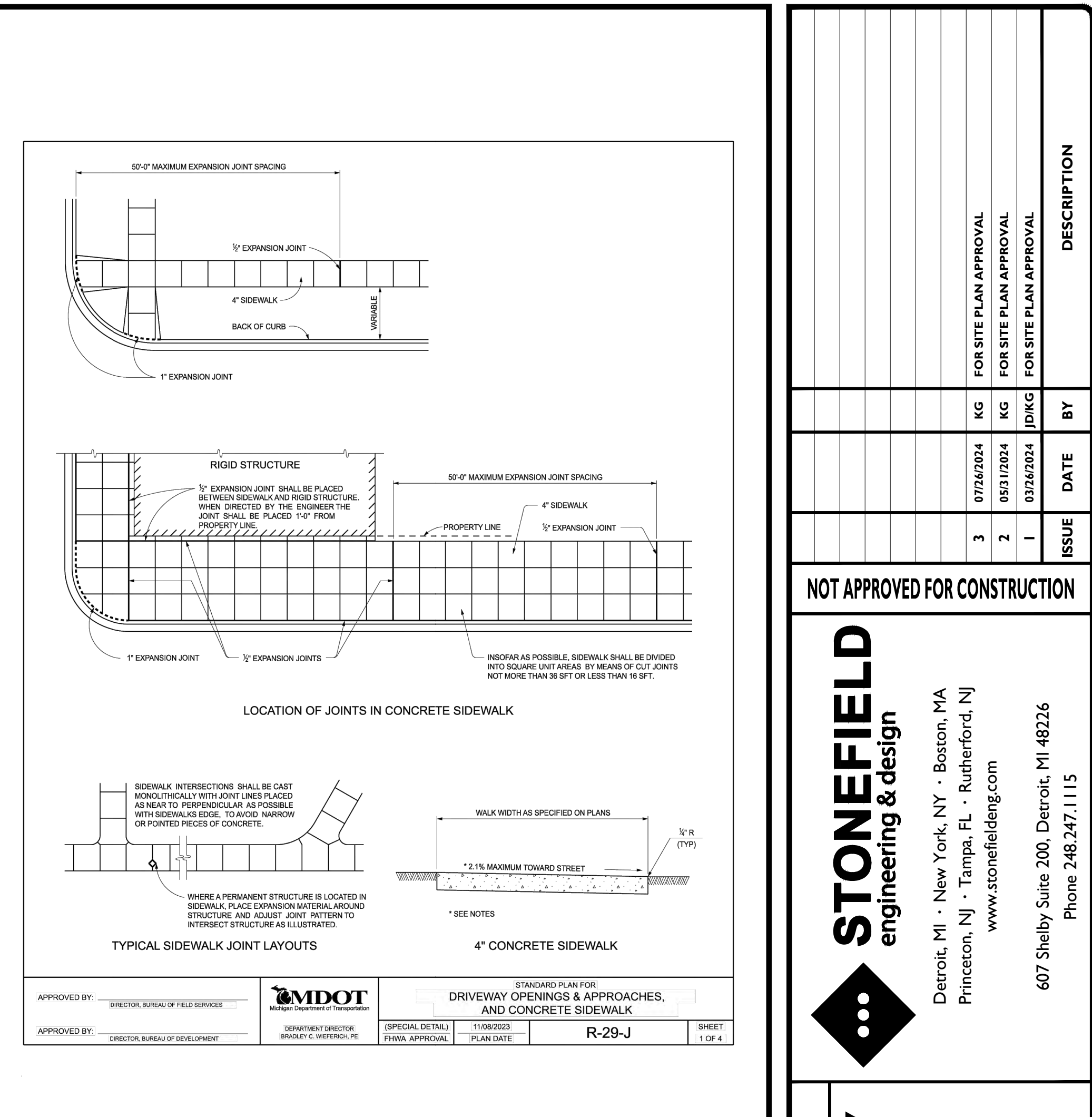
TREE PROTECTION DETAIL



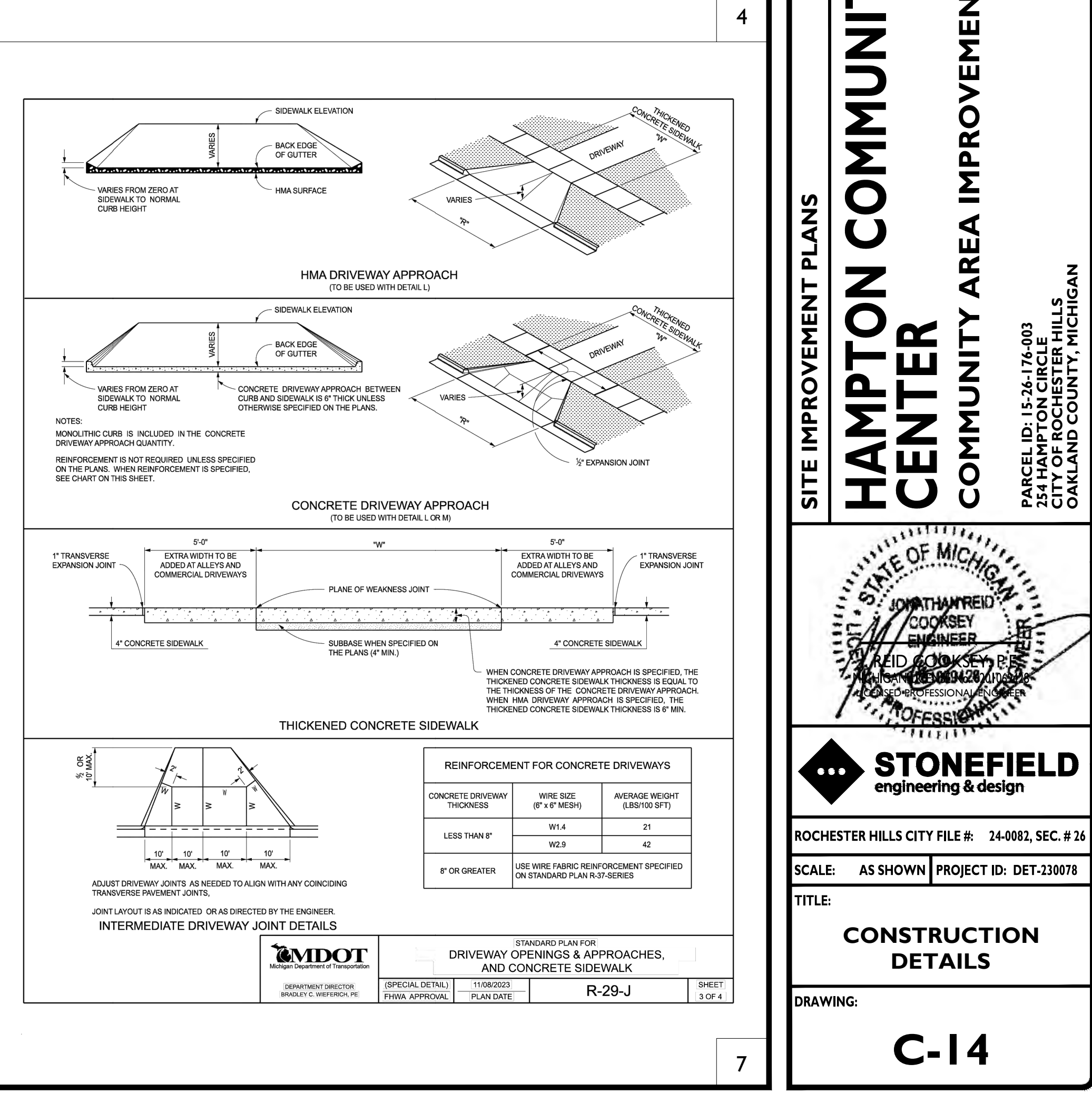
BICYCLE RACK DETAIL



CONCRETE DRIVEWAY OPENING, DETAIL L



LOCATION OF JOINTS IN CONCRETE SIDEWALK



CONCRETE DRIVEWAY APPROACH

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STANDARD PLAN FOR DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK

APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES
APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT

DEPARTMENT DIRECTOR: BRADLEY C. WEFERDORF, PE
SPECIAL DETAIL: 11/08/2023
FINAL APPROVAL: PLAN DATE

R-29-J SHEET 1 OF 4

STANDARD PLAN FOR DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK

APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES
APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT

DEPARTMENT DIRECTOR: BRADLEY C. WEFERDORF, PE
SPECIAL DETAIL: 11/08/2023
FINAL APPROVAL: PLAN DATE

R-29-J SHEET 2 OF 4

STANDARD PLAN FOR DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK

APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES
APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT

DEPARTMENT DIRECTOR: BRADLEY C. WEFERDORF, PE
SPECIAL DETAIL: 11/08/2023
FINAL APPROVAL: PLAN DATE

R-29-J SHEET 3 OF 4

STANDARD PLAN FOR DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK

APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES
APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT

DEPARTMENT DIRECTOR: BRADLEY C. WEFERDORF, PE
SPECIAL DETAIL: 11/08/2023
FINAL APPROVAL: PLAN DATE

R-29-J SHEET 4 OF 4

STANDARD PLAN FOR DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK

APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES
APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT

DEPARTMENT DIRECTOR: BRADLEY C. WEFERDORF, PE
SPECIAL DETAIL: 11/08/2023
FINAL APPROVAL: PLAN DATE

R-29-J SHEET 5 OF 4

STANDARD PLAN FOR DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK

APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES
APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT

DEPARTMENT DIRECTOR: BRADLEY C. WEFERDORF, PE
SPECIAL DETAIL: 11/08/2023
FINAL APPROVAL: PLAN DATE

R-29-J SHEET 6 OF 4

STANDARD PLAN FOR DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK

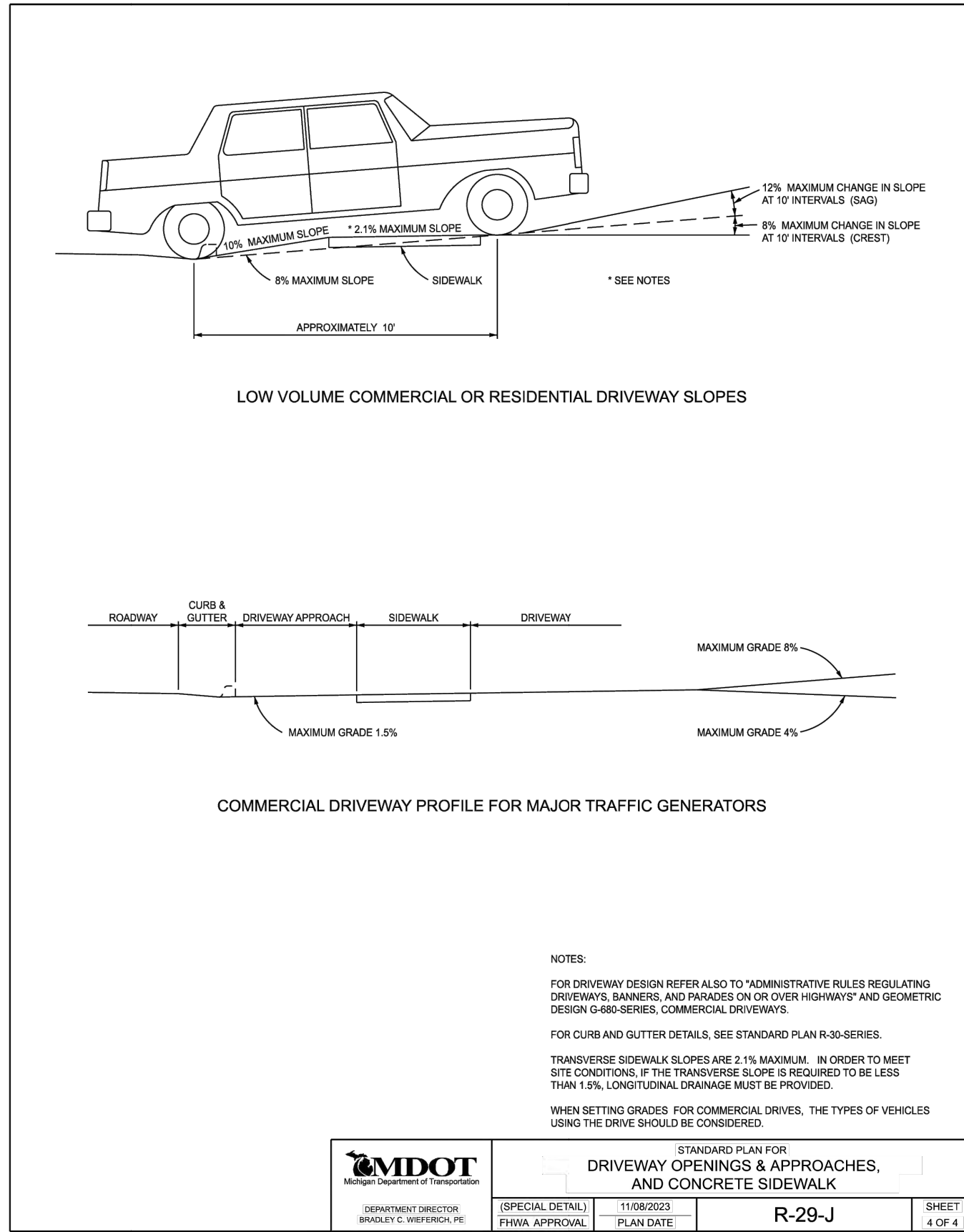
APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES
APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT

DEPARTMENT DIRECTOR: BRADLEY C. WEFERDORF, PE
SPECIAL DETAIL: 11/08/2023
FINAL APPROVAL: PLAN DATE

R-29-J SHEET 7 OF 4

CONSTRUCTION DETAILS

DRAWING: C-14

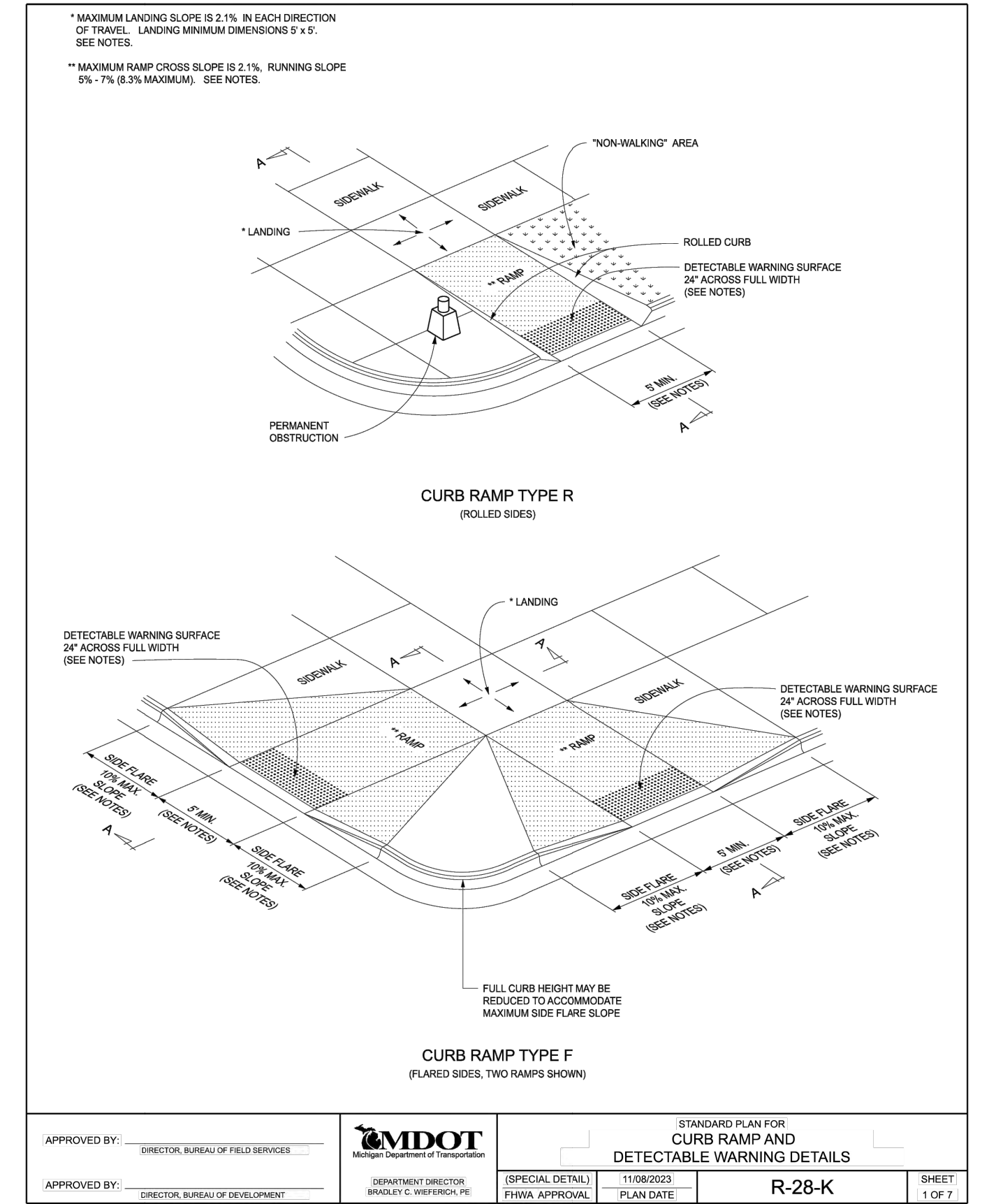


LOW VOLUME COMMERCIAL OR RESIDENTIAL DRIVEWAY SLOPES

COMMERCIAL DRIVEWAY PROFILE FOR MAJOR TRAFFIC GENERATORS

NOTES: FOR DRIVEWAY DESIGN REFER ALSO TO "ADMINISTRATIVE RULES REGULATING DRIVEWAYS, BARRIERS, AND PARADES ON OR OVER HIGHWAYS" AND GEOMETRIC DESIGN CHARTS SERIES, COMMERCIAL DRIVEWAYS...

MDOT STANDARD PLAN FOR DRIVEWAY OPENINGS & APPROACHES AND CONCRETE SIDEWALK. SHEET: 4 OF 4. R-29-J

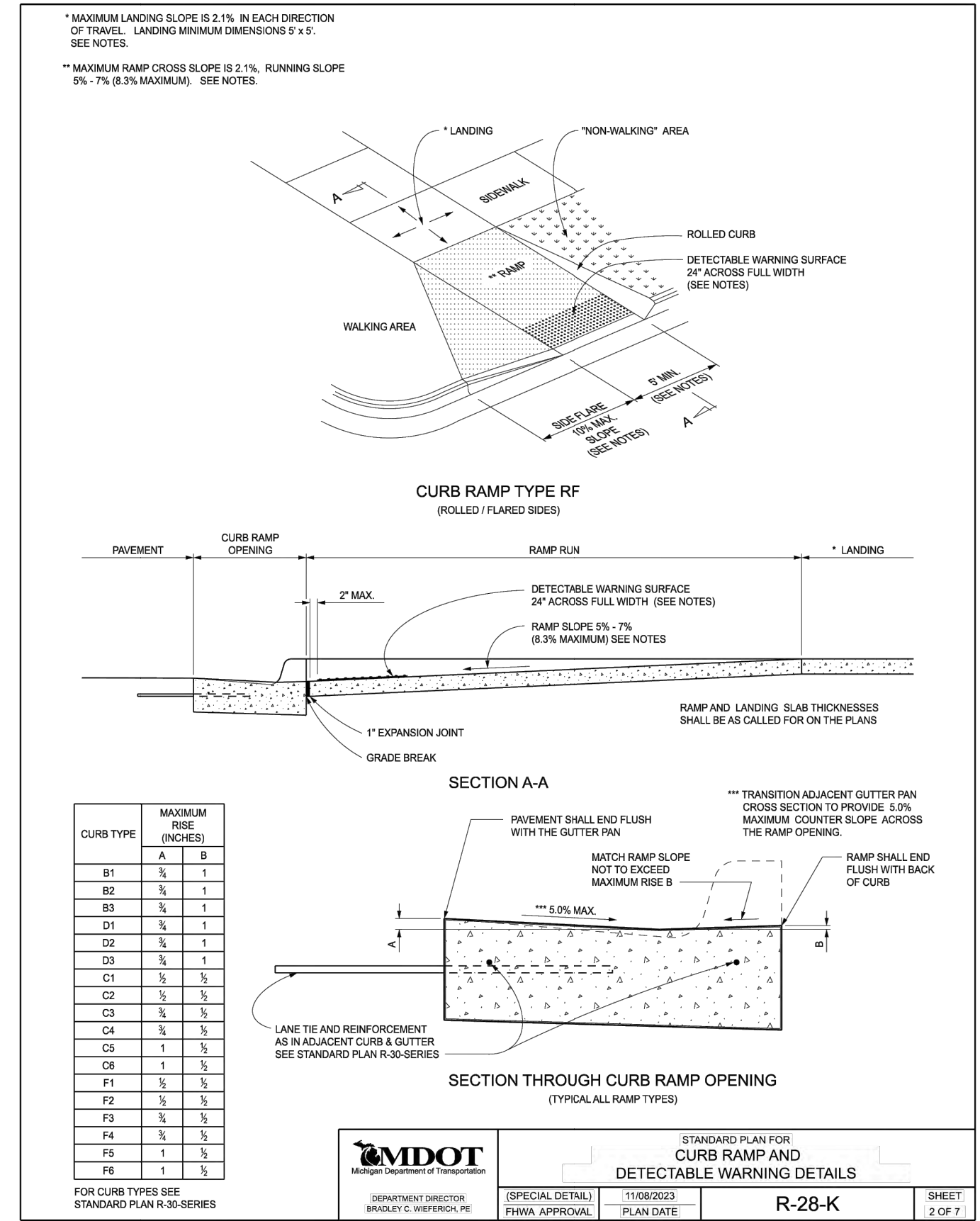


CURB RAMP TYPE R (ROLLED SIDES)

CURB RAMP TYPE F (FLARED SIDES, TWO RAMPS SHOWN)

CURB RAMP TYPE C (COMBINATION RAMP)

MDOT STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS. SHEET: 1 OF 7. R-28-K

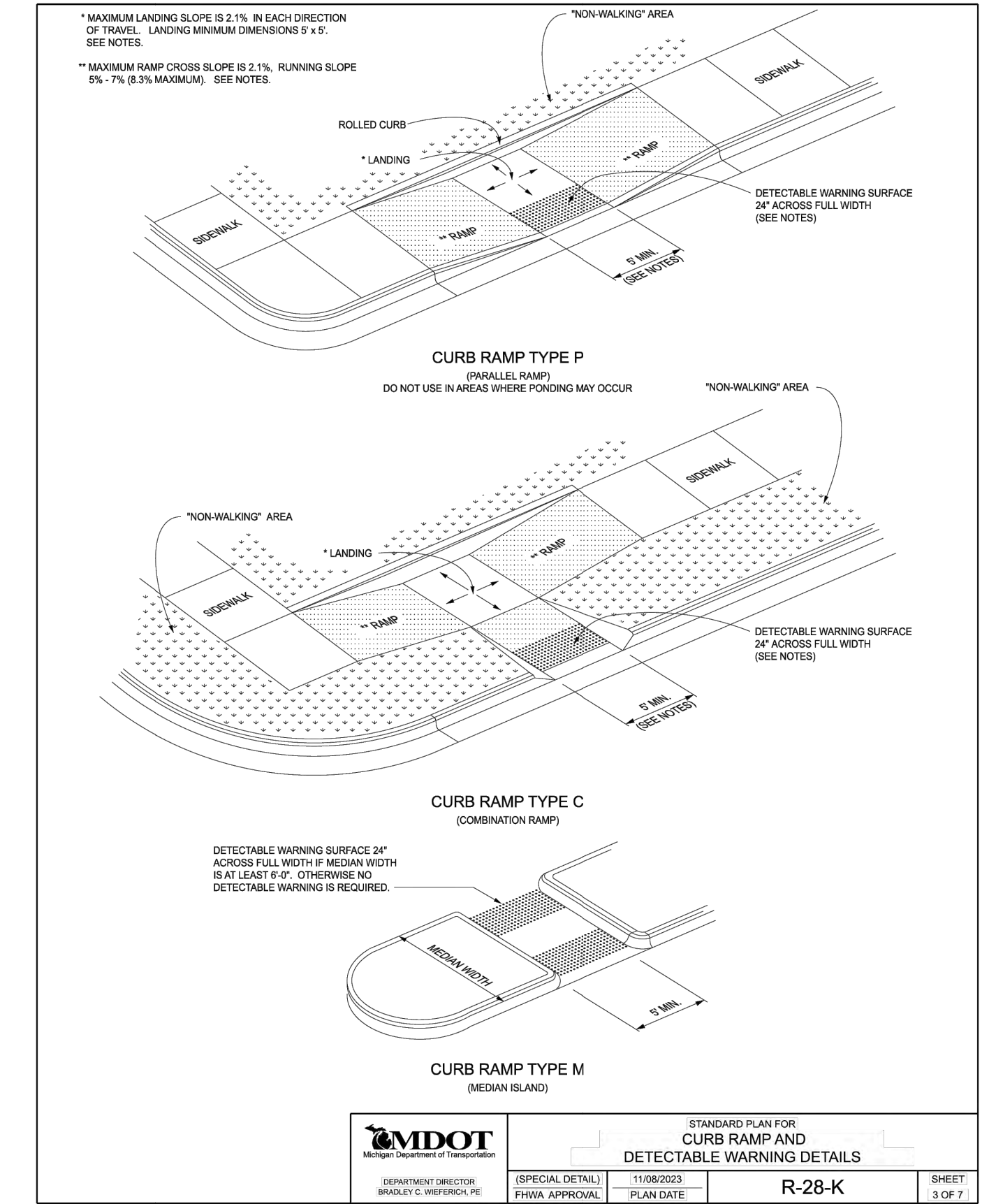


CURB RAMP TYPE RF (ROLLED / FLARED SIDES)

SECTION A-A (TYPICAL RAMP TYPES)

Table with columns: CURB TYPE, MAXIMUM RISE (INCHES), A, B. Lists curb types B1 through F6 with their respective dimensions.

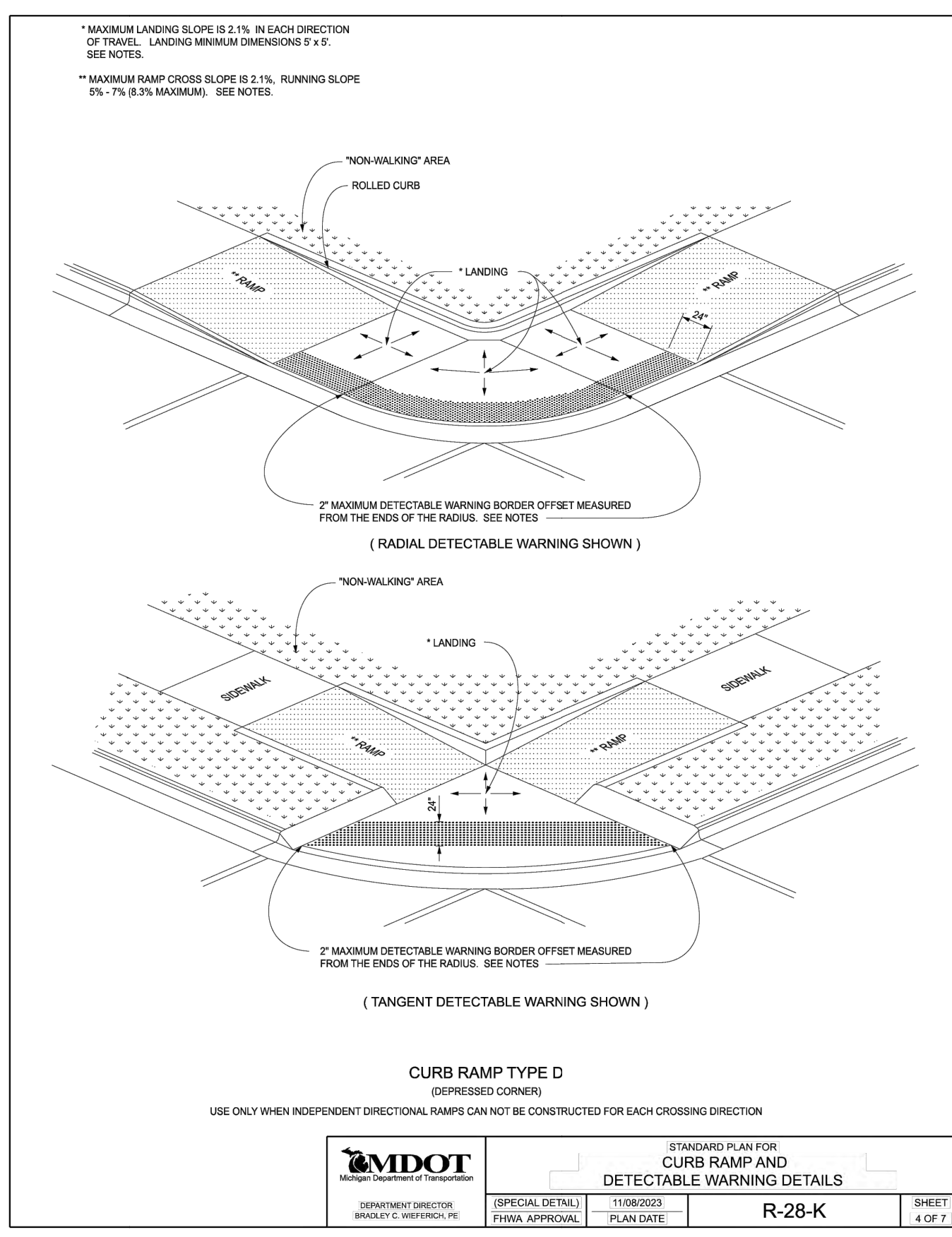
MDOT STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS. SHEET: 2 OF 7. R-28-K



CURB RAMP TYPE P (INVALLEY RAMP)

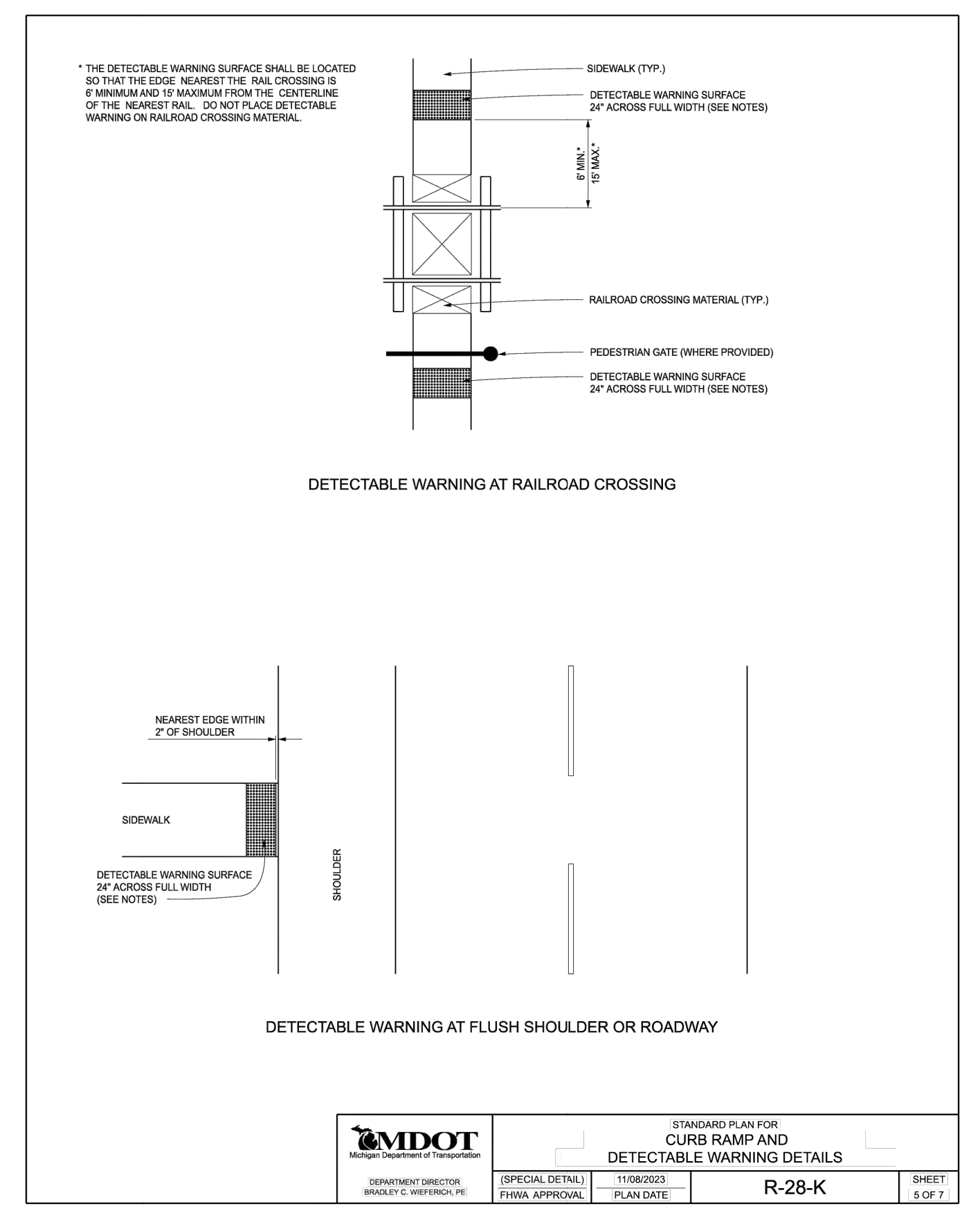
CURB RAMP TYPE M (MEDIAN ISLAND)

MDOT STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS. SHEET: 3 OF 7. R-28-K



CURB RAMP TYPE D (DEPRESSED CORNER)

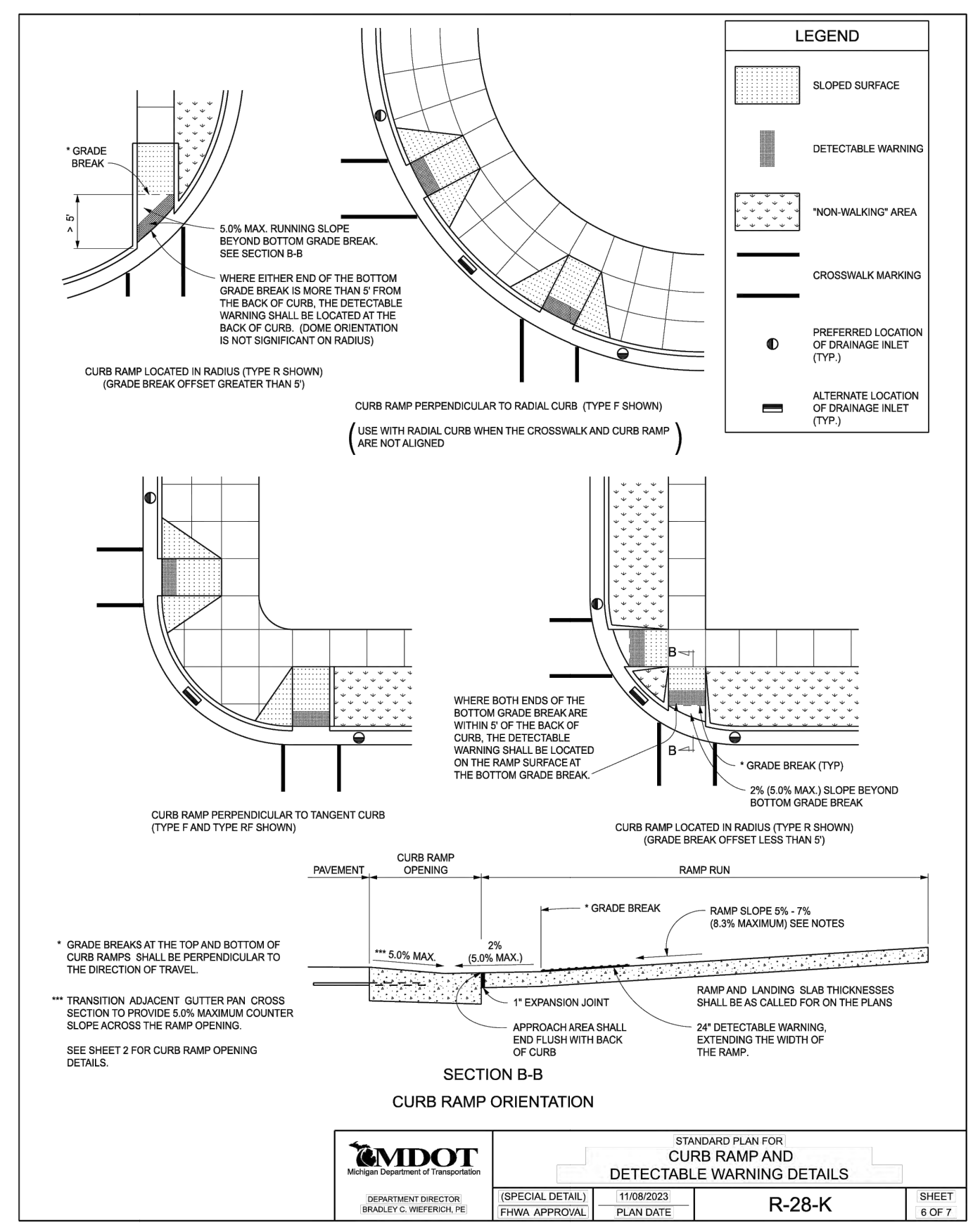
MDOT STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS. SHEET: 4 OF 7. R-28-K



DETECTABLE WARNING AT RAILROAD CROSSING

DETECTABLE WARNING AT FLUSH SHOULDER OR ROADWAY

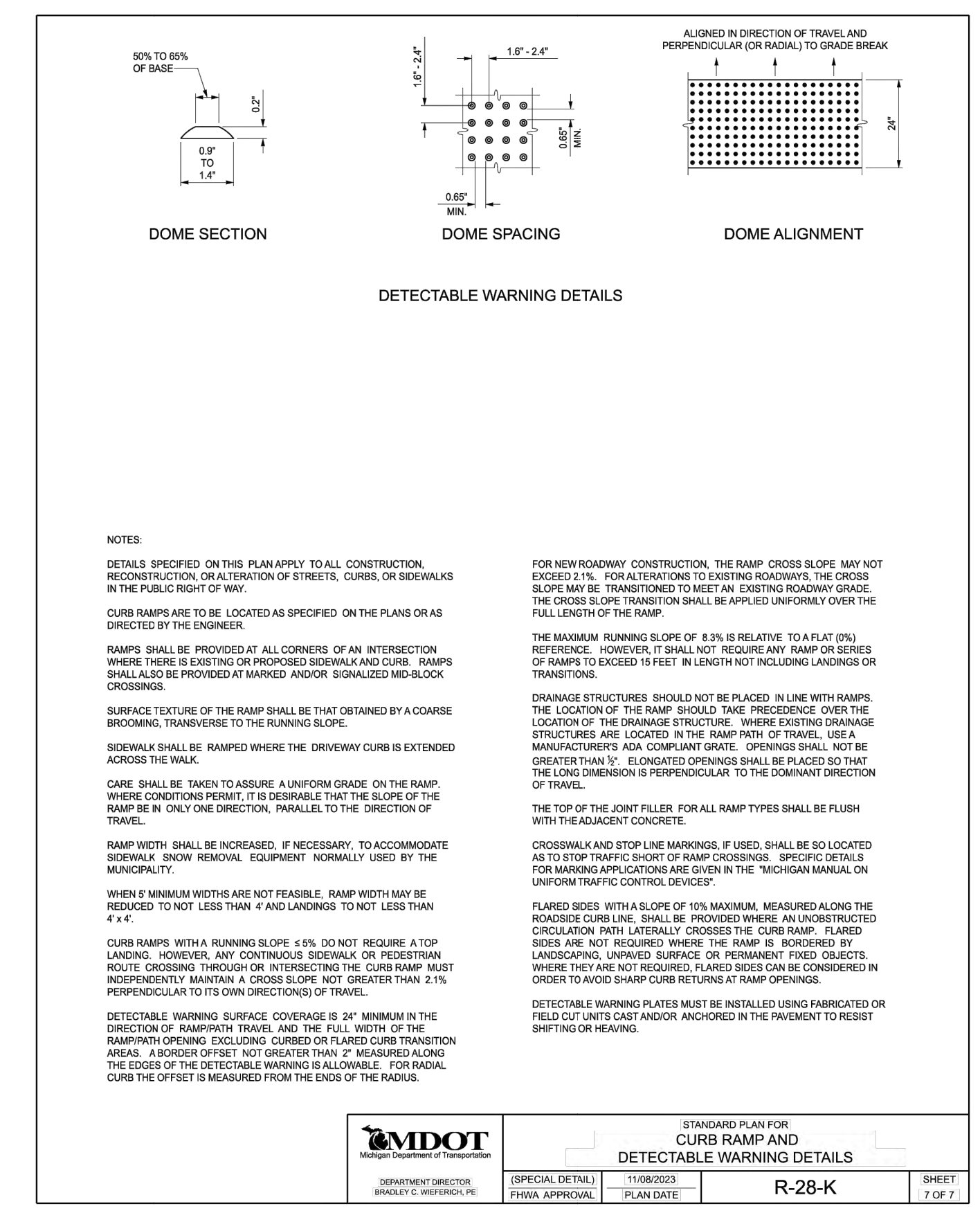
MDOT STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS. SHEET: 5 OF 7. R-28-K



CURB RAMP ORIENTATION

SECTION B-B (TYPICAL RAMP TYPES)

MDOT STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS. SHEET: 6 OF 7. R-28-K



DETECTABLE WARNING DETAILS

MDOT STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS. SHEET: 7 OF 7. R-28-K

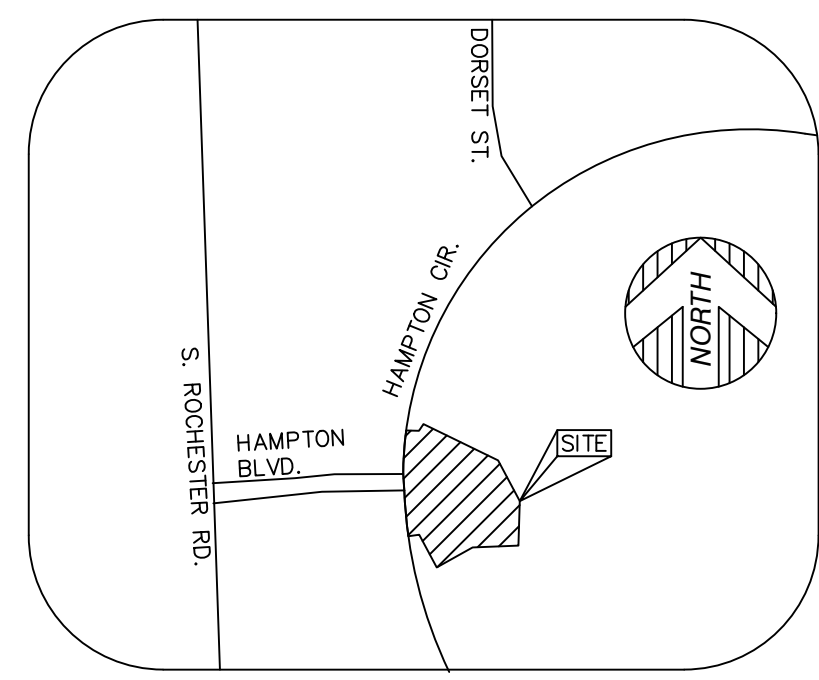
Revision table with columns: NO., DATE, ISSUE, BY, DESCRIPTION. Shows three revisions from 07/26/2024 to 02/28/2024.

STONEFIELD engineering & design logo and contact information for Detroit, MI and Princeton, NJ.

SITE IMPROVEMENT PLANS HAMPTON COMMUNITY CENTER COMMUNITY AREA IMPROVEMENTS. Includes parcel ID and address: 254 HAMPTON CIRCLE, ROCHESTER HILLS, MI 48226.

Professional Engineer Seal for Matthew Cooksey, State of Michigan, License No. 28036.

STONEFIELD engineering & design logo. Project information: ROCHESTER HILLS CITY FILE # 24-0082, SEC. # 26. SCALE: AS SHOWN. PROJECT ID: DET-230078. TITLE: CONSTRUCTION DETAILS. DRAWING: C-15.



VICINITY MAP
(NOT TO SCALE)

PARKING

NO MARKED PARKING ON SITE.

PARCEL AREA

144,286± SQUARE FEET = 3.31± ACRES

BASIS OF BEARING

NORTH 00°00'00" EAST, BEING THE WEST LINE OF SECTION 32, AS DESCRIBED.

BENCHMARK

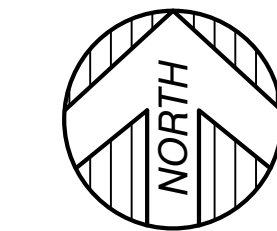
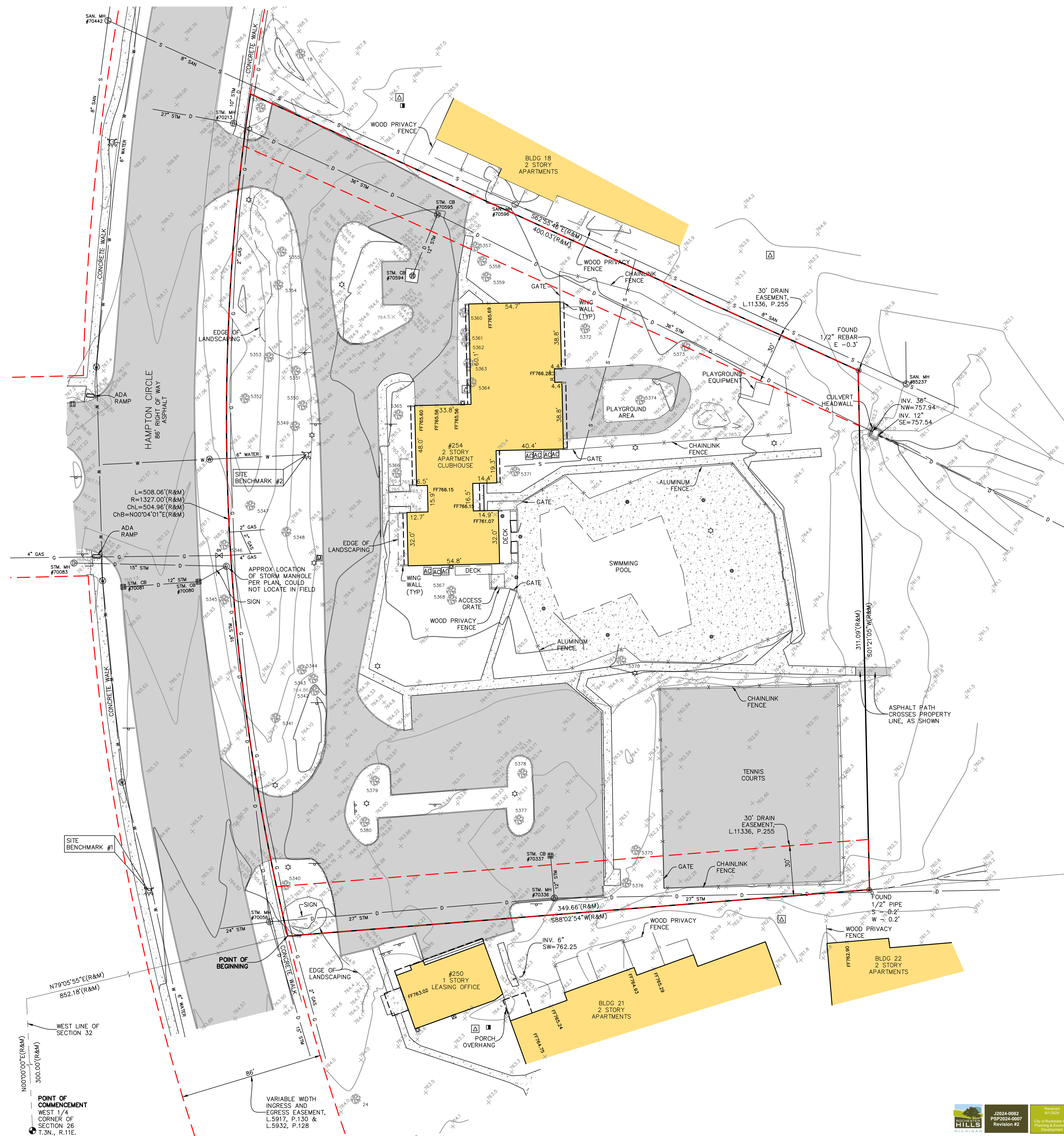
- SITE BENCHMARK #1**
TOP OF NUT ON HYDRANT S.W. OF SITE, WEST SIDE OF HAMPTON CIRCLE
250'± SOUTH OF HAMPTON BLVD.
ELEVATION = 767.35' (NAVD 88)
- SITE BENCHMARK #2**
TOP OF NUT ON HYDRANT 50'± N.W. OF ENTRANCE TO BLDG #254.
ELEVATION = 767.97' (NAVD 88)

SURVEYOR'S NOTE

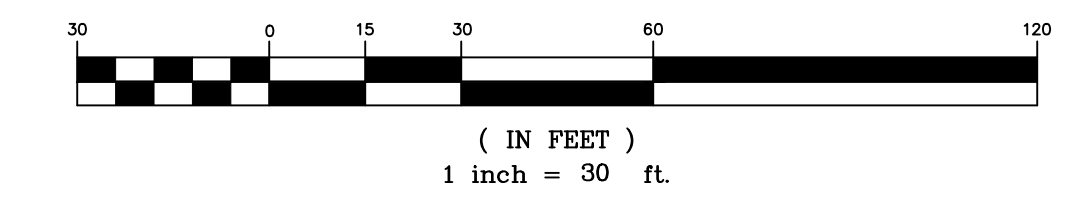
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

LEGEND

- SET 1/2" REBAR WITH CAP P.S. 47976
- FOUND MONUMENT (AS NOTED)
- FOUND SECTION CORNER (AS NOTED)
- (R&M) RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- ± GROUND ELEVATION
- ⊗ ELECTRIC METER
- ⊗ TRANSFORMER
- ⊗ GAS METER
- ⊗ GAS VALVE
- ⊗ TELEPHONE RISER
- ⊗ SANITARY MANHOLE
- ⊗ ROUND CATCH BASIN
- ⊗ SQUARE CATCH BASIN
- ⊗ DRAIN
- ⊗ STORM DRAIN MANHOLE
- ⊗ FIRE HYDRANT
- ⊗ WATER GATE MANHOLE
- ⊗ AIR CONDITIONING UNIT
- ⊗ LIGHTPOST/LAMP POST
- ⊗ MAIL BOX
- ⊗ SINGLE POST SIGN
- ⊗ DOUBLE POST SIGN
- ⊗ DECIDUOUS TREE (AS NOTED)
- ⊗ CONIFEROUS TREE (AS NOTED)
- PARCEL BOUNDARY LINE
- - - ADJOINER PARCEL LINE
- - - EASEMENT (AS NOTED)
- ▭ BUILDING
- ▭ BUILDING OVERHANG
- ▭ CENTERLINE DITCH
- ▭ ASPHALT CURB
- ▭ CONCRETE CURB
- ▭ EDGE OF CONCRETE (CONC.)
- ▭ EDGE OF ASPHALT (ASPH.)
- - - FENCE (AS NOTED)
- - - WALL (AS NOTED)
- G GAS LINE
- S SANITARY LINE
- D STORM LINE
- W WATER LINE
- - - UNDERGROUND PIPE (AS NOTED)
- MINOR CONTOUR LINE
- MAJOR CONTOUR LINE
- BUILDING AREA
- ASPHALT
- CONCRETE



GRAPHIC SCALE



PROPERTY DESCRIPTION

THE LAND SITUATED IN THE CITY OF ROCHESTER HILLS, COUNTY OF OAKLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:
PART OF THE NORTHWEST 1/4 OF SECTION 26, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT WHICH IS DUE NORTH 300.00 FEET, ALONG THE WEST LINE OF SECTION 26, AND NORTH 79 DEGREES 05 MINUTES 55 SECONDS EAST 852.18 FEET FROM THE WEST 1/4 CORNER OF SECTION 26, TOWN 3 NORTH, RANGE 11 EAST; THENCE NORTHERLY 508.06 FEET ALONG A CURVE CONCAVE TO THE EAST (RADIUS OF 1327.00 FEET, CENTRAL ANGLE OF 21 DEGREES 56 MINUTES 11 SECONDS, LONG CHORD BEARS NORTH 00 DEGREES 04 MINUTES 03 SECONDS EAST 504.98 FEET); THENCE SOUTH 62 DEGREES 55 MINUTES 46 SECONDS EAST 400.03 FEET; THENCE SOUTH 01 DEGREES 21 MINUTES 05 SECONDS WEST 311.09 FEET; THENCE SOUTH 88 DEGREES 02 MINUTES 54 SECONDS WEST 349.66 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH THE RIGHTS AND BENEFITS BY VIRTUE OF DECLARATION OF RESTRICTIONS, EASEMENTS, CONDITIONS AND LIENS - RESIDENTIAL, RECORDED IN LIBER 6358, PAGE 518, AS ASSIGNED BY ASSIGNMENT RECORDED IN LIBER 11401, PAGE 344, OAKLAND COUNTY RECORDS.

TITLE REPORT NOTE

- ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, FILE NO. 63-143424-SM, DATED MARCH 12 2014, AND RELIED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.
- EASEMENTS GRANTED TO AETNA LIFE INSURANCE COMPANY FOR INGRESS AND EGRESS AND FOR CONSTRUCTION, OPERATION, MAINTENANCE AND REPAIR OF STORM DRAINAGE FACILITIES RECORDED IN LIBER 5917, PAGE 130 (AS SHOWN) AND IN LIBER 5917, PAGE 133 (DOCUMENT NOT PROVIDED AT TIME OF SURVEY), OAKLAND COUNTY RECORDS.
- EASEMENT FOR INGRESS AND EGRESS RECORDED IN LIBER 5932, PAGE 128, OAKLAND COUNTY RECORDS. (AS SHOWN)
- DECLARATION OF RESTRICTIONS, EASEMENTS, CONDITIONS AND LIENS - RESIDENTIAL, RECORDED IN LIBER 6358, PAGE 518, AS ASSIGNED BY ASSIGNMENT RECORDED IN LIBER 11401, PAGE 344, OAKLAND COUNTY RECORDS. (SUBJECT PARCEL LIES WITHIN COMMON AREA; SEE DOCUMENTS FOR TERMS AND CONDITIONS)
- AGREEMENT - EASEMENT - RESTRICTIONS IN FAVOR OF THE DETROIT EDISON COMPANY AND MICHIGAN BELL TELEPHONE COMPANY FOR INSTALLATION, MAINTENANCE AND REPAIR OF ELECTRIC AND COMMUNICATION FACILITIES RECORDED IN LIBER 6012, PAGE 468 AND RE-RECORDED IN LIBER 7782, PAGE 732, OAKLAND COUNTY RECORDS. (DOCUMENT NOT PROVIDED AT TIME OF SURVEY)
- EASEMENT GRANTED TO CONSUMERS POWER COMPANY FOR CONSTRUCTION, MAINTENANCE AND REPAIR OF GAS MAIN RECORDED IN LIBER 6018, PAGE 194, OAKLAND COUNTY RECORDS. (DOCUMENT IS ILLEGIBLE, THEREFORE, IT CANNOT BE SHOWN AT THIS TIME)
- RIGHT OF WAY GRANTED TO THE HAMPTON DRAIN DRAINAGE DISTRICT FOR CONSTRUCTION, OPERATION, MAINTENANCE AND REPAIR OF THE HAMPTON DRAIN RECORDED IN LIBER 11336, PAGE 255, OAKLAND COUNTY RECORDS. (AS SHOWN)

MANHOLE SCHEDULE

NUM	TYPE	RIM (FT)	SIZE (IN)	DIR	INV	ELEV (FT)
70056	STORM MANHOLE	764.88	18	N	756.33	
		764.88	27	E	754.48	
		764.88	24	W	754.78	
70080	CATCH BASIN	764.88	24	E	760.18	
		766.04	12	NE	760.82	
		766.04	12	W	761.04	
70081	CATCH BASIN	766.01	12	E	761.91	
		767.56	12	W	760.56	
70083	STORM MANHOLE	767.56	12	N	760.66	
		767.56	15	E	760.46	
		768.36	27	W	759.16	
70213	STORM MANHOLE	768.36	36	E	758.96	
		768.36	10	N	759.26	
		762.56	27	W	753.61	
70336	STORM MANHOLE	762.56	27	E	753.51	
		762.56	12	N	754.23	
		762.27	12	S	754.27	
70337	CATCH BASIN	769.68	8	N	753.84	
		769.68	8	E	753.78	
		769.68	8	S	754.43	
70442	SANITARY MANHOLE	769.68	8	E	753.78	
		769.68	8	S	754.43	
		764.02	12	NE	760.87	
70594	CATCH BASIN	764.02	12	NE	760.87	
		764.90	36	W	758.70	
		764.90	36	E	758.60	
70595	CATCH BASIN	764.90	12	S	759.60	
		764.93	8	W	752.43	
		764.93	8	E	752.33	
85237	SANITARY MANHOLE	761.91	8	W	747.61	
		761.91	8	N	748.96	
		761.91	8	E	747.41	

SURVEYOR'S CERTIFICATION

TO PROPERTY OWNERS ASSOCIATION OF HAMPTON, INC., A MICHIGAN NONPROFIT CORPORATION AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 4, 5, 7A, 8, 9, 11A, AND 11B OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 05/23/23.

DATE OF PLAT OR MAP: 06/05/23

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
Tsycko@kemtec-survey.com



KEM-TEC
PROFESSIONAL ENGINEERING, SURVEYING & ENVIRONMENTAL SERVICES
A GROUP OF COMPANIES
Eastpointe, MI 48021
Ann Arbor, MI 48106
Detroit, MI 48226
(800) 285-7222 (519) 768-9977 (734) 994-0888
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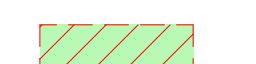
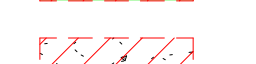
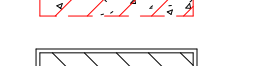
ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: STONEFIELD ENGINEERING AND DESIGN
254 HAMPTON CIRCLE, ROCHESTER HILLS, MICHIGAN,
PART OF SECTION 26,
TOWN 3 NORTH, RANGE 11 EAST

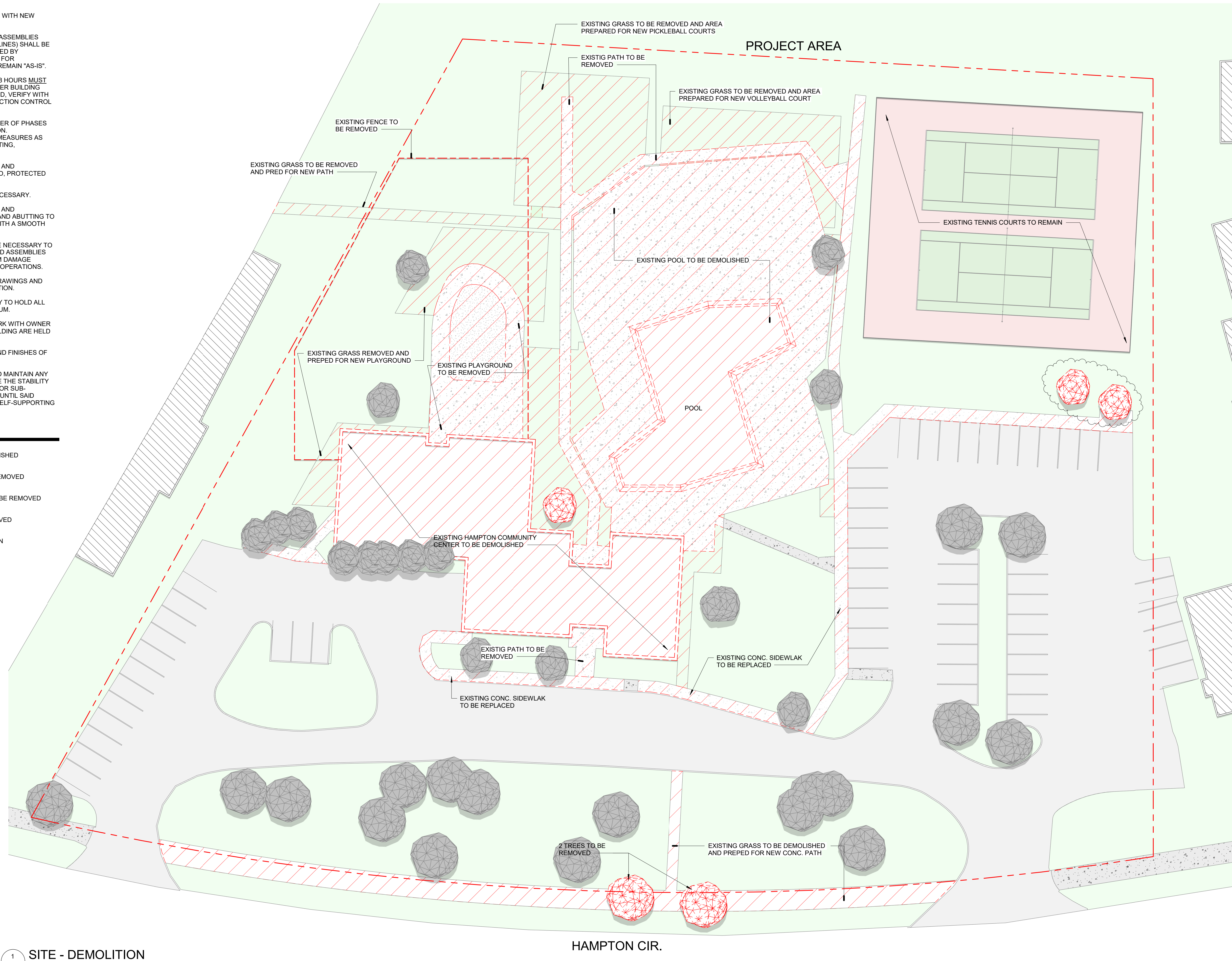
NO.	DATE	BY	REVISION	DESCRIPTION
1	06/05/23	NPH		
2	06/05/23	ATS		
3	JUNE 05, 2023			
4	23-0950			

DEMOLITION PLAN NOTES

- ALL DEMOLITION WORK REQUIRED IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DEMOLITION PLANS. THE INTENT IS TO REMOVE ALL MECHANICAL, ELECTRICAL, AND ARCHITECTURAL ITEMS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
- COORDINATE SCOPE AND EXTENT OF DEMOLITION WORK WITH NEW WORK PLANS AND DETAILS.
- ALL WALLS, DOORS, FRAMES, AND RELATED HARDWARE ASSEMBLIES DESIGNATED AS "TO BE REMOVED" (SHOWN AS DASHED LINES) SHALL BE COMPLETELY REMOVED AND DISPOSED OF AS DESIGNATED BY OWNER/TENANT. ALL EXISTING WALLS NOT DESIGNATED FOR DEMOLITION SHALL BE PROTECTED FROM DAMAGE AND REMAIN "AS-IS".
- IN OCCUPIED BUILDINGS, ANY CONSTRUCTION BEYOND 48 HOURS MUST BE ISOLATED WITH HARD BARRIER WALL (1 HR. RATED), PER BUILDING CODE. 1 HOUR FIRE RATED PLASTIC BARRIER MAY BE USED. VERIFY WITH LOCAL AHJ. PROVIDE ANY/ALL DUST CONTROL AND INFECTON CONTROL MEASURES TO ISOLATE ALL WORK TO PROJECT AREA.
- PHASED CONSTRUCTION MAY BE REQUIRED. FINAL NUMBER OF PHASES TBD BY OWNER/ARCHITECT/ GC PRIOR TO CONSTRUCTION. CONTRACTOR PROVIDE ANY/ALL TEMP. CONSTRUCTION MEASURES AS REQUIRED BY LOCAL AHJ (EXIT SIGNS, EMERGENCY LIGHTING, CONSTRUCTION LIGHTING, EGRESS SIGNAGE, ETC.)
- ALL EQUIPMENT, DOORS, FRAMES, RELATED HARDWARE, AND DESIGNATED ITEMS TO BE SALVAGED SHALL BE REMOVED, PROTECTED FROM DAMAGE, AND STORED FOR REUSE.
- CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
- ALL DEMOLITION WORK SHALL BE PERFORMED IN A NEAT AND WORKMANSHIP MANNER. ALL SURFACES ADJACENT TO AND ABUTTING TO THOSE DESIGNATED "TO BE REMOVED" SHALL BE LEFT WITH A SMOOTH AND FLUSH APPEARANCE.
- THE CONTRACTOR SHALL EXERCISE ALL REQUISITE CARE NECESSARY TO ENSURE THAT ALL EQUIPMENT, MATERIALS, FINISHES AND ASSEMBLIES WHICH ARE NOT BEING REMOVED ARE PROTECTED FROM DAMAGE DURING DEMOLITION AND SUBSEQUENT CONSTRUCTION OPERATIONS.
- REFER TO MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL DEMOLITION INFORMATION.
- GENERAL PRECAUTIONS SHALL BE TAKEN AS NECESSARY TO HOLD ALL DISRUPTION, DUST, DIRT, NOISE, AND DEBRIS TO A MINIMUM.
- THE CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH OWNER TO ENSURE THAT IMPACTS ON THE BALANCE OF THE BUILDING ARE HELD TO A MINIMUM.
- PREPARE ALL SURFACES TO RECEIVE THE NEW WORK AND FINISHES OF THE CONTRACT.
- THE CONTRACTOR SHALL DESIGN, PROVIDE, INSTALL AND MAINTAIN ANY AND ALL TEMPORARY BRACING AS REQUIRED TO ENSURE THE STABILITY OF THE BUILDING ASSEMBLY AND/OR ANY SYSTEMS AND/OR SUB-ASSEMBLIES AND/OR SYSTEMS APPURTENANT THERETO UNTIL SAID ASSEMBLY AND/OR SUB-ASSEMBLIES ARE COMPLETE, SELF-SUPPORTING AND/OR STABLE.

DEMOLITION SITE PLAN LEGEND

-  EXISTING WALL TO BE DEMOLISHED
-  EXISTING FLOORING TO BE REMOVED
-  EXISTING LANDSCAPING TO BE REMOVED
-  EXISTING CONC. TO BE REMOVED
-  EXISTING BUILDING TO REMAIN



1 SITE - DEMOLITION
AD001 3/64" = 1'-0"



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ROYAL OAK, MI 48067-0925
P. 248.546.6700
F. 248.546.8454
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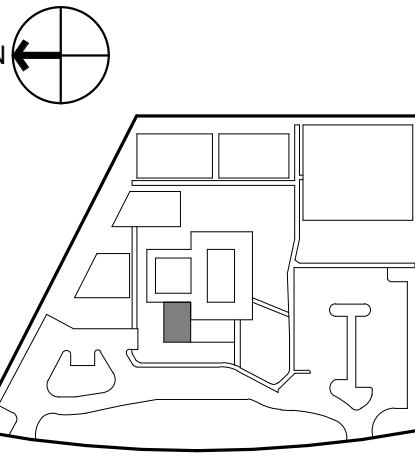
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Seal:

Project :
TH Management - Rochester Hills

254 Hampton Cir,
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Key Plan:



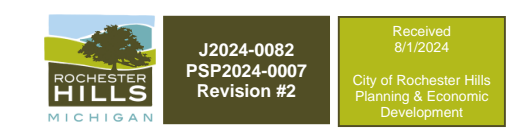
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SPA	03.26.24
SPA RESPONSE	05.31.24
SPA Response	08.01.24

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24-0082 SEC. #26
Drawn by :
JML
Checked by :
ARR
Sheet Title :
ARCHITECTURAL SITE PLAN
DEMOLITION

Project No. :
2023.064

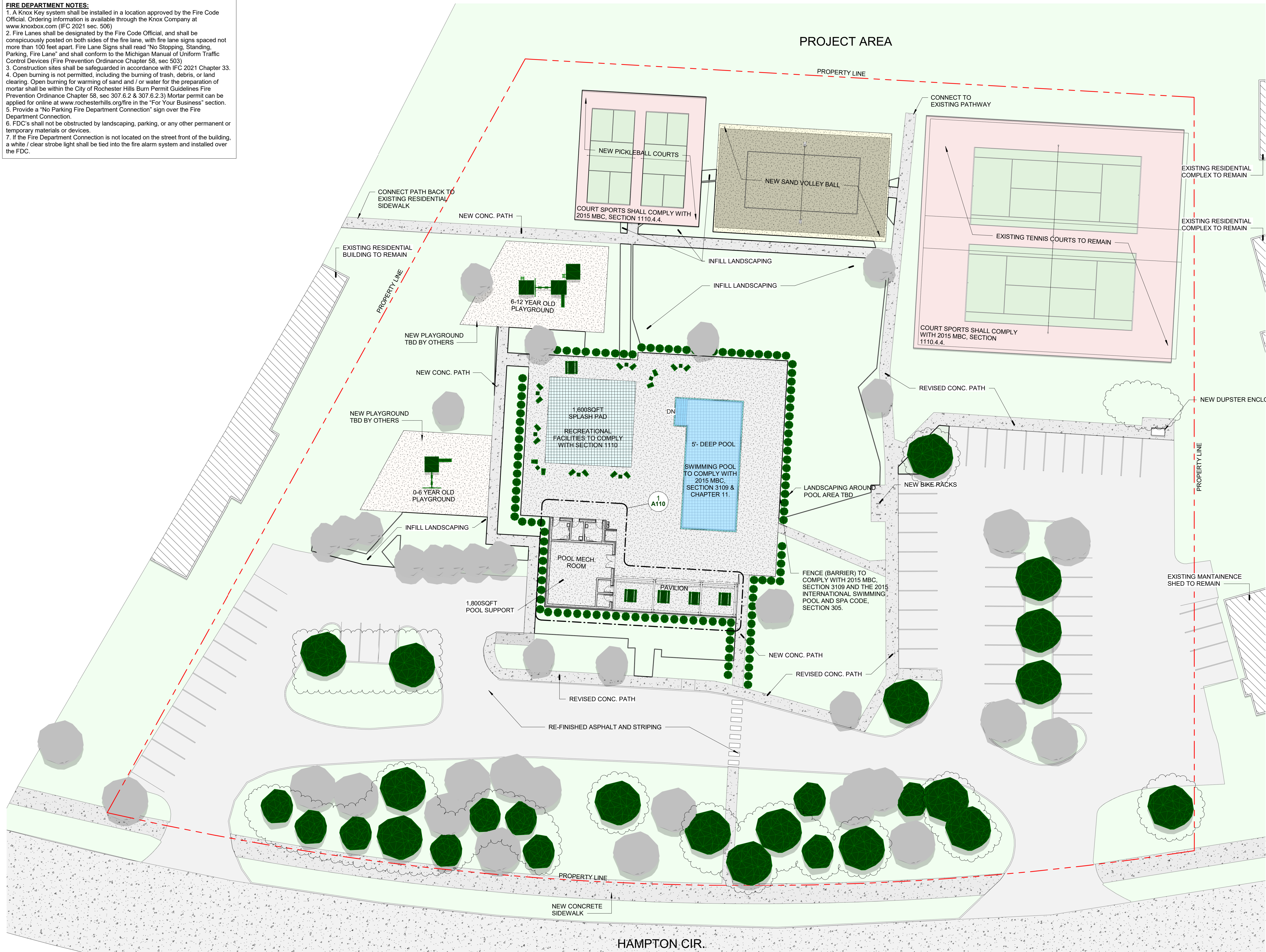
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FIRE DEPARTMENT NOTES:

1. A Knox Key system shall be installed in a location approved by the Fire Code Official. Ordering information is available through the Knox Company at www.knoxbox.com (IFC 2021 sec. 506)
2. Fire Lanes shall be designated by the Fire Code Official, and shall be conspicuously posted on both sides of the fire lane, with fire lane signs spaced not more than 100 feet apart. Fire Lane Signs shall read "No Stopping, Standing, Parking, Fire Lane" and shall conform to the Michigan Manual of Uniform Traffic Control Devices (Fire Prevention Ordinance Chapter 58, sec 503)
3. Construction sites shall be safeguarded in accordance with IFC 2021 Chapter 33.
4. Open burning is not permitted, including the burning of trash, debris, or land clearing. Open burning for warming of sand and / or water for the preparation of mortar shall be within the City of Rochester Hills Burn Permit Guidelines Fire Prevention Ordinance Chapter 58, sec 307.6.2 & 307.6.2.3) Mortar permit can be applied for online at www.rochesterhills.org/fire in the "For Your Business" section.
5. Provide a "No Parking Fire Department Connection" sign over the Fire Department Connection.
6. FDC's shall not be obstructed by landscaping, parking, or any other permanent or temporary materials or devices.
7. If the Fire Department Connection is not located on the street front of the building, a white / clear strobe light shall be tied into the fire alarm system and installed over the FDC.



1 SITE - NEW WORK
A001 3/64" = 1'-0"



STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
P. 248.546.6700
F. 248.546.8454
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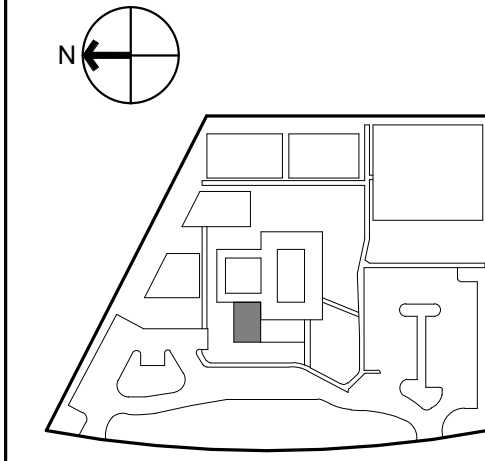
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Seal:

Project :
TH Management - Rochester Hills

254 Hampton Cir,
Rochester Hills,
MI 48307

Key Plan:



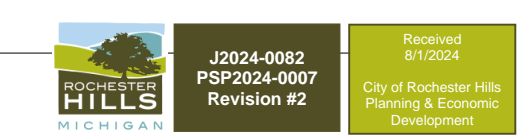
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SPA	03.26.24
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SPA Response	08.01.24

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PROPOSED ARCHITECTURAL
SITE PLAN

Project No. :
2023.064

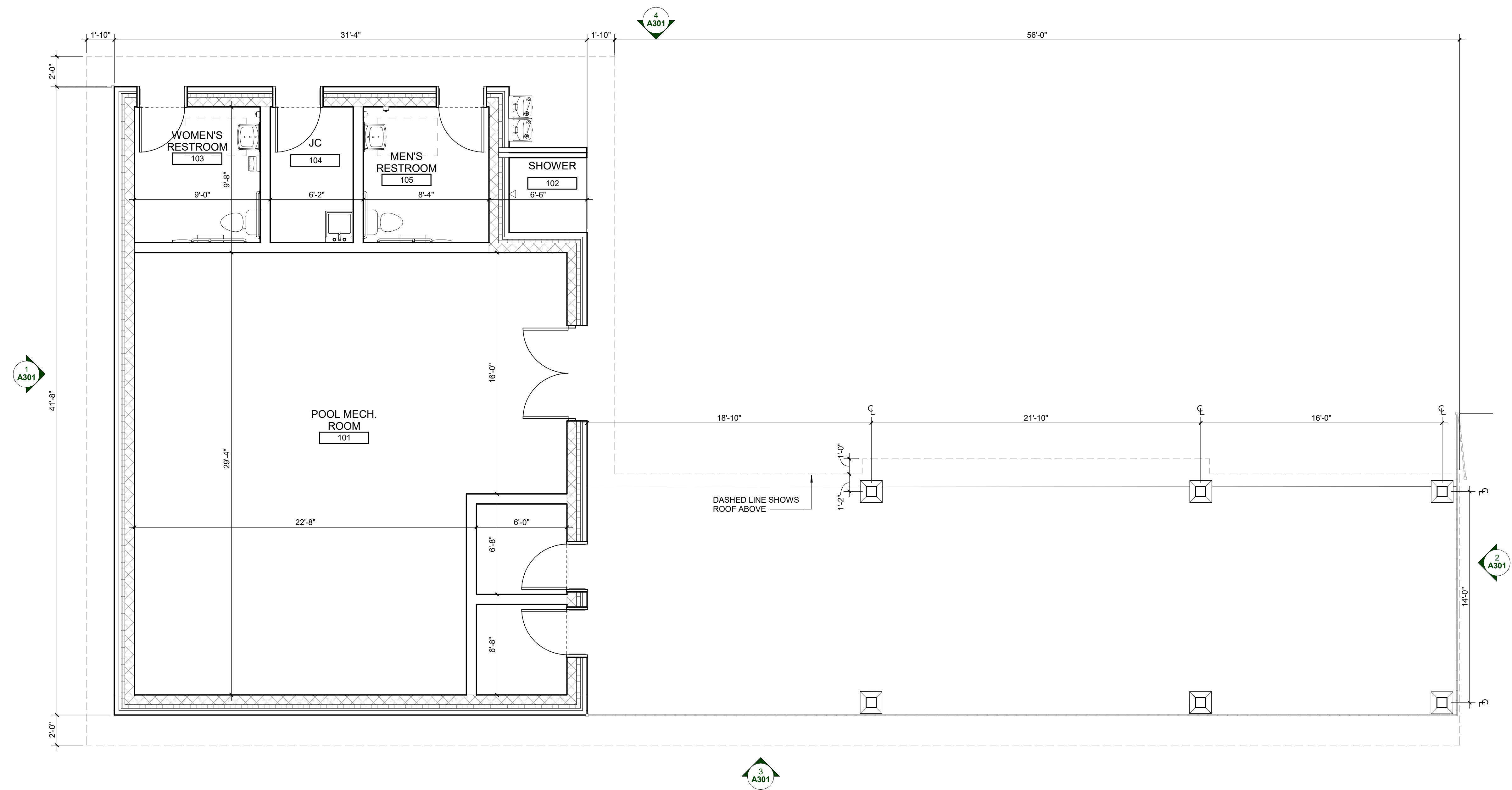
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GENERAL FLOOR PLAN NOTES

1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
3. WALL THICKNESS ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
4. ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
6. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
7. PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
8. PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
9. REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
10. THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, CHART RACKS, CASEWORK, AND OTHER WALL MOUNTED ITEMS.
11. CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
12. ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
13. PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
14. COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS, IE. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ATMS.
15. CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
16. CONTRACTOR TO FILL ANY AND ALL EQUIPMENT PENETRATIONS OR DEPRESSIONS INTO OR THROUGH THE EXISTING SLAB THAT WILL NOT BE UTILIZED TO FEED NEW EQUIPMENT (I.E. ABANDONED FLOOR CORES, IMPRESSION FROM PREVIOUS EQUIPMENT FLOOR PLATE REMOVAL). PENETRATIONS SHALL BE FILLED WITH NON-SHRINK GROUT. THE SIDES OF ANY EXISTING OPENINGS SHALL BE MODIFIED/TAPERED SO THAT THEY ARE WIDER AT THE TOP THAN AT THE BOTTOM. FOR LARGE OPENINGS, PROVIDE ONE (1) #5 BAR 2" UP FROM BOTTOM OF HOLE.
17. A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN 'AREA OF REFUGE', AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
18. PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS, MINIMUM 2 LOCATIONS EACH WALL, TYPICAL FOR ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES PER CODE (MBC 703.7)



1 POOL HOUSE ENLARGED PLAN
1/4" = 1'-0"



STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MI 48067-0925
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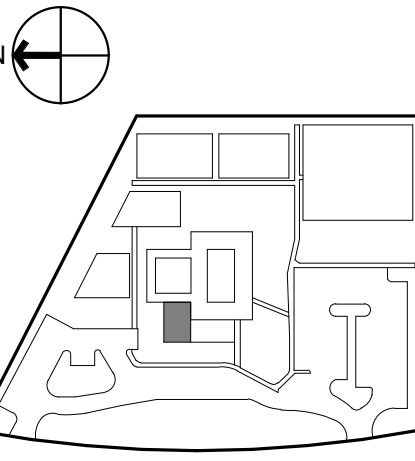
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Seal:

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TH Management -
Rochester Hills

254 Hampton Cir,
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Key Plan:



Issued for

SPA	03.26.24
SPA RESPONSE	05.31.24
SPA Response	08.01.24

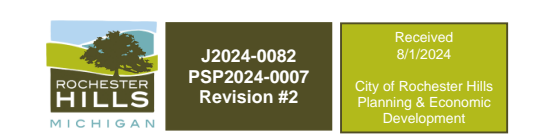
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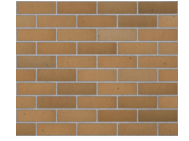

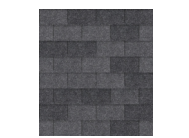
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ARR
Sheet Title :
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PLAN

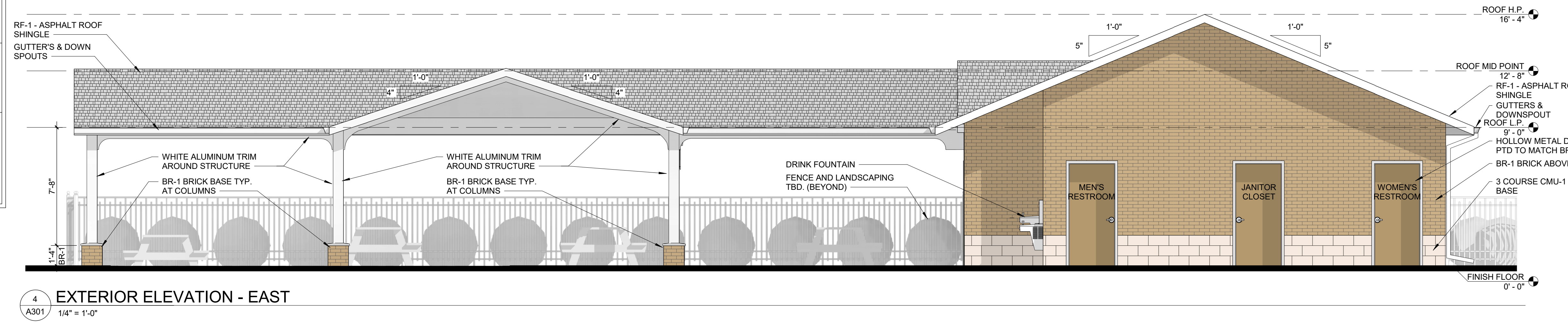
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2023.064

Sheet No. :
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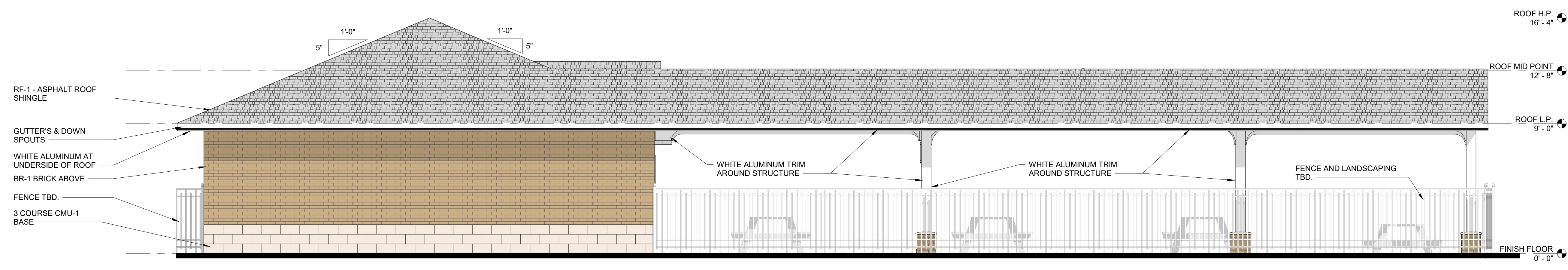
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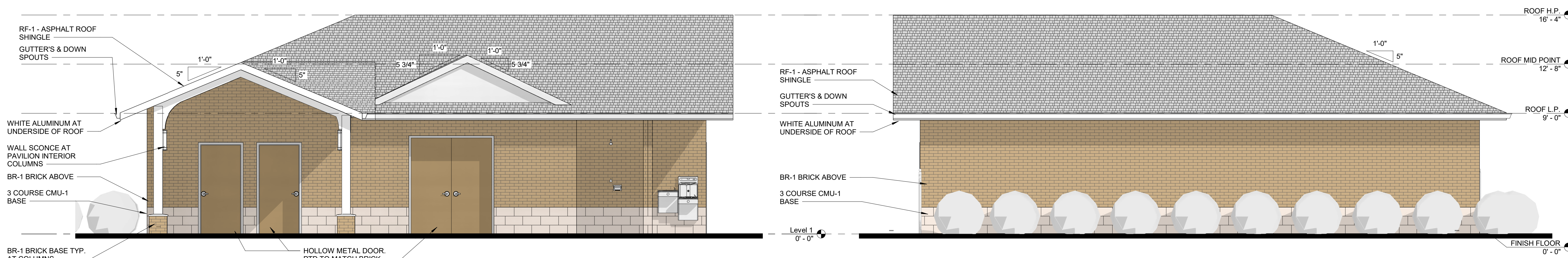
EXTERIOR FINISH SCHEDULE			
MASONRY	BR-1	BRICK MFG: ENDICOT BRICK COLOR: LIGHT IRONSPOT SIZE: MODULAR	
	CMU-1	CMU MFG: ECHELON MASONRY COLOR: SOFT COTTON SIZE: 8" VENEER	
DOORS	DR-1	HOLLOW METAL DOOR MFG:TBD STYLE: 2" X 4 1/2" COLOR: PAINT TO MATCH ADJACENT	
MISC.	TR-1	TRIM & COPING: PREFINISHED ALUMINUM COLOR: WHITE	
	RF-1	ROOF: ASPHALT ROOF COLOR: CHARCOAL	



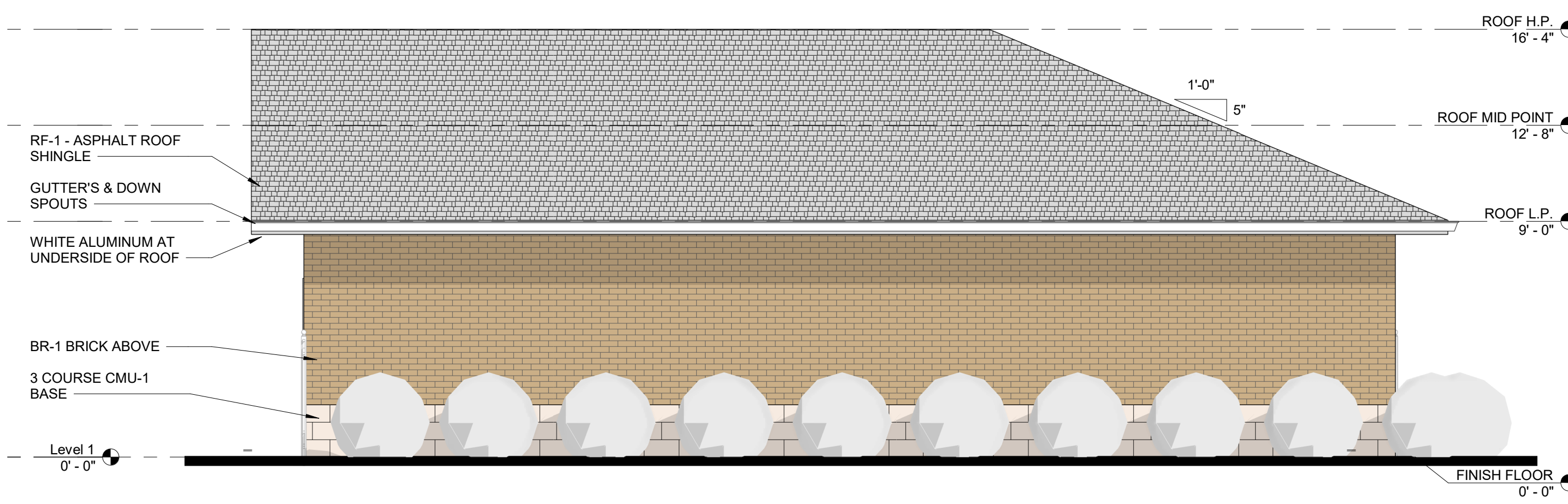
4
A301
EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



3
A301
EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



2
A301
EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"



1
A301
EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"



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ROYAL OAK, MI 48067-0925
P. 248.546.6700
F. 248.546.8454
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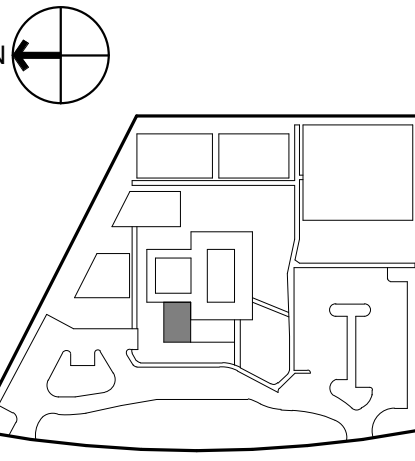
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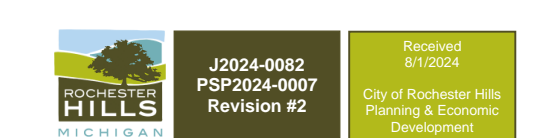


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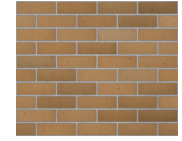

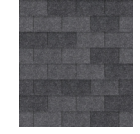
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Sheet Title : EXTERIOR ELEVATIONS

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2023.064

Sheet No. :
A301



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EXTERIOR FINISH SCHEDULE			
MASONRY	BR-1	BRICK MFG: ENDICOT BRICK COLOR: LIGHT IRONSPOT SIZE: MODULAR	
	CMU-1	CMU MFG: ECHELON MASONRY COLOR: SOFT COTTON SIZE: 8" VENEER	
DOORS	DR-1	HOLLOW METAL DOOR MFG:TBD STYLE: 2" X 4 1/2" COLOR: PAINT TO MATCH ADJACENT	
MISC.	TR-1	TRIM & COPING: PREFINISHED ALUMINUM COLOR: WHITE	
	RF-1	ROOF: ASPHALT ROOF COLOR: CHARCOAL	



1
A310 CONCEPTUAL RENDER - POOL HOUSE & PAVILION
1" = 1'-0"



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ROYAL OAK, MI 48067-0925
P. 248.546.6700
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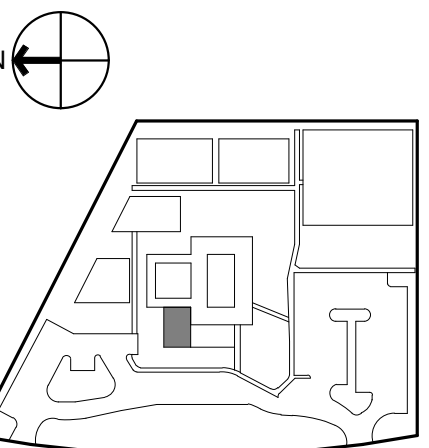
STATEMENT OF INTELLECTUAL PROPERTY:
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Consultants

Seal: _____

Project :
TH Management -
Rochester Hills

254 Hampton Cir,
Rochester Hills,
MI 48307

Key Plan:



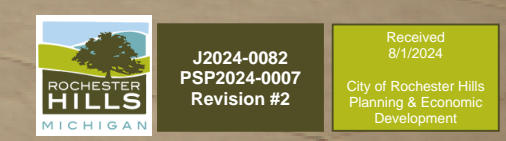
Issued for
SPA RESPONSE 05.31.24
SPA Response 08.01.24

ROCHESTER HILLS CITY FILE #:
24-0082, SEC. #26
Drawn by :
JML
Checked by :
ARR
Sheet Title :
EXTERIOR RENDER

Project No. :
2023.064

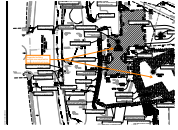
Sheet No. :
A310

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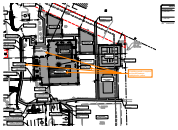
2024-0801 - SPA RESPONSE_Full Set.pdf Markup Summary

Building Department (7)



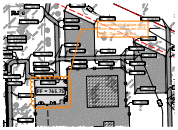
Subject: Building Department
Author: Mark Artinian
Date: 8/13/2024 1:51:24 PM
Status:

Separate building permits are required for these demolished items.



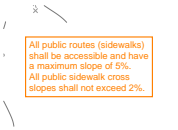
Subject: Building Department
Author: Mark Artinian
Date: 8/13/2024 1:56:41 PM
Status:

A building permit is required for the site features highlighted in yellow.



Subject: Building Department
Author: Mark Artinian
Date: 8/13/2024 1:59:21 PM
Status:

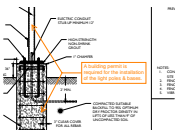
The grade shall slope away from the structure per 2015 MBC, Section 1804.4.



All public routes (sidewalks) shall be accessible and have a maximum slope of 5%.
All public sidewalk cross slopes shall not exceed 2%.

Subject: Building Department
Author: Mark Artinian
Date: 8/13/2024 1:59:56 PM
Status:

All public routes (sidewalks) shall be accessible and have a maximum slope of 5%.
All public sidewalk cross slopes shall not exceed 2%.



Subject: Building Department
Author: Mark Artinian
Date: 8/13/2024 2:56:48 PM
Status:

A building permit is required for the installation of the light poles & bases.



Mark Artinian 248-841-2446
ArtinianM@RochesterHills.org

Subject: Building Department
Author: Mark Artinian
Date: 8/13/2024 3:07:47 PM
Status:

Mark Artinian 248-841-2446
ArtinianM@RochesterHills.org

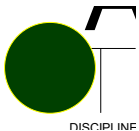


Yes

Subject: Building Department
Author: Mark Artinian
Date: 8/13/2024 3:08:16 PM
Status:

Yes

Ellipse (1)



Subject: Ellipse
Author: C. McLeod
Date: 8/16/2024 10:17:17 AM
Status:

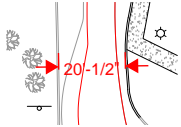
Engineering Department (1)



Jason Boughton 248-841-2400
BoughtonJ@RochesterHills.org

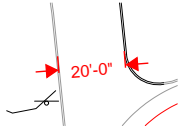
Subject: Engineering Department
Author: Jason Boughton
Date: 8/5/2024 8:49:13 AM
Status:

Fire Department (5)



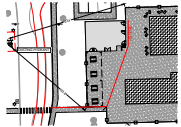
Subject: Fire Department
Author: Jon Mills
Date: 8/6/2024 3:07:10 PM
Status:

20'-1/2"



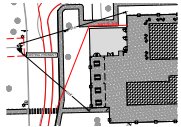
Subject: Fire Department
Author: Jon Mills
Date: 8/6/2024 3:07:37 PM
Status:

20'-0"



Subject: Fire Department
Author: Jon Mills
Date: 8/6/2024 3:08:43 PM
Status:

151'-9"



Subject: Fire Department
Author: Jon Mills
Date: 8/6/2024 3:09:13 PM
Status:

140'-5 3/4"



Subject: Fire Department
Author: Jon Mills
Date: 8/6/2024 3:11:36 PM
Status:

Group (12)



Subject: Group
Author: macdonaldj
Date: 8/1/2024 4:49:00 PM
Status:

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 8/14/2024 3:01:13 PM
Status:

SP



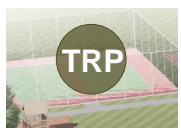
Subject: Group
Author: C.McLeod
Date: 8/14/2024 3:05:27 PM
Status:

LIP

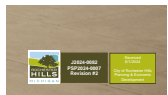


Subject: Group
Author: C.McLeod
Date: 8/14/2024 3:05:24 PM
Status:

BP



Subject: Group
Author: C.McLeod
Date: 8/14/2024 3:05:29 PM
Status:



Subject: Group
Author: C.McLeod
Date: 8/15/2024 4:36:35 PM
Status:

Received
8/1/2024

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 8/15/2024 4:36:44 PM
Status:

Received
8/1/2024

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 8/15/2024 4:36:50 PM
Status:

Received
8/1/2024

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 8/15/2024 4:36:58 PM
Status:

Received
8/1/2024

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 8/15/2024 4:37:04 PM
Status:

Received
8/1/2024

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 8/15/2024 4:37:11 PM
Status:

Received
8/1/2024

City of Rochester Hills Planning & Economic
Development

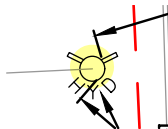


Subject: Group
Author: C.McLeod
Date: 8/15/2024 4:37:18 PM
Status:

Received
8/1/2024

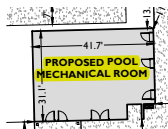
City of Rochester Hills Planning & Economic
Development

Highlight (5)



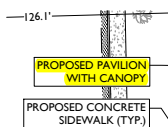
Subject: Highlight
Author: Jon Mills
Date: 8/6/2024 3:09:34 PM
Status:

PROPOSED POOL
MECHANICAL ROOM

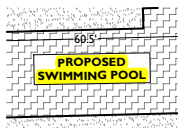


Subject: Highlight
Author: Mark Artinian
Date: 8/13/2024 1:54:51 PM
Status:

PROPOSED PAVILION
WITH CANOPY

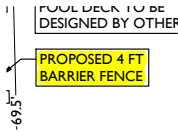


Subject: Highlight
Author: Mark Artinian
Date: 8/13/2024 1:54:59 PM
Status:



Subject: Highlight
Author: Mark Artinian
Date: 8/13/2024 1:55:06 PM
Status:

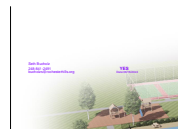
PROPOSED
SWIMMING POOL



Subject: Highlight
Author: Mark Artinian
Date: 8/13/2024 1:55:36 PM
Status:

PROPOSED 4 FT
BARRIER FENCE

Jenny McGuckin - YES (1)



Subject: Jenny McGuckin - YES
Author: Seth Bucholz
Date: 8/16/2024 8:02:26 AM
Status:

Natural Resources (1)



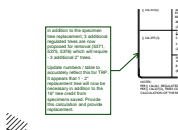
Subject: Natural Resources
Author: Matt Einheuser
Date: 8/14/2024 10:24:54 AM
Status:

Natural Resources (3)



Subject: Natural Resources
Author: Matt Einheuser
Date: 8/14/2024 9:38:34 AM
Status:

Shown as removed on plan - update table



Subject: Natural Resources
Author: Matt Einheuser
Date: 8/14/2024 10:20:35 AM
Status:

in addition to the specimen tree replacement; 3 additional regulated trees are now proposed for removal (5371, 5375, 5376) which will require - 3 additional 2" trees.

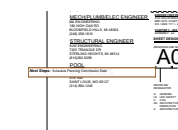
Update numbers / table to accurately reflect this for TRP. It appears that 1 - 2" replacement tree will now be necessary in addition to the 16" tree credit from specimens saved. Provide this calculation and provide replacement.



Subject: Natural Resources
Author: Matt Einheuser
Date: 8/14/2024 10:25:19 AM
Status:

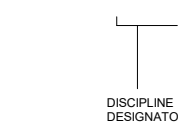
W/ conditions

Planning Department (6)



Subject: Planning Department
Author: C.McLeod
Date: 8/16/2024 10:18:03 AM
Status:

Next Steps: Schedule Planning Commission Date



Subject: Planning Department
Author: C.McLeod
Date: 8/16/2024 10:17:28 AM
Status:

PC

Assessing Yes

Subject: Planning Department
Author: C.McLeod
Date: 8/14/2024 3:06:04 PM
Status:

Assessing

Yes



Subject: Planning Department
Author: C.McLeod
Date: 8/16/2024 10:17:08 AM
Status:



Subject: Planning Department
Author: C.McLeod
Date: 8/16/2024 10:24:53 AM
Status:

Provide updated cost estimate including irrigation



Subject: Planning Department
Author: C.McLeod
Date: 8/16/2024 10:26:19 AM
Status:

W/Conditions

Traffic (1)



Subject: Traffic
Author: Keith
Date: 8/15/2024 9:34:44 AM
Status:

Underground Utilities (1)



Subject: Underground Utilities
Author: Jason Boughton
Date: 8/5/2024 8:48:38 AM
Status:

This proposed redevelopment falls within the Hampton Drain District. A WRC storm sewer permit may be necessary. During the construction plan phase it will be determined what storm improvements are necessary for this redevelopment.