



990 W. Auburn Rd
 Rochester Hills, MI 48307
 P.U.D. Review

DESIGNHAUS EST
 ARCHITECTURE 1998

301 WALNUT BOULEVARD
 ROCHESTER, MI 48307
 T: 248.601.4422 F: 248.453.5854
 WWW.DESIGNHAUS.COM
 INFO@DESIGNHAUS.COM

STATEMENT OF SELECTED DESIGN PROFESSIONAL

THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES ISSUED AND APPROVED CODE MODIFICATIONS AND/OR MUNICIPAL CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

REGISTERED DESIGN PROFESSIONAL IN CHARGE:
 PETER STUHLREYER, A.I.A.
 MICHIGAN IDENTIFICATION # 44668
 DESIGNHAUS ARCHITECTURE

PROJECT TEAM

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 OYK ENGINEERING AND CONSTRUCTION
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 BINGHAM FARMS, MI 48025
 T: 248.656.7695
 CONTACT: MR. FRED HADID

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 PROJECT MANAGER: JOE LATOZAS
 PROJECT ARCHITECT:
 PETER STUHLREYER, A.I.A.

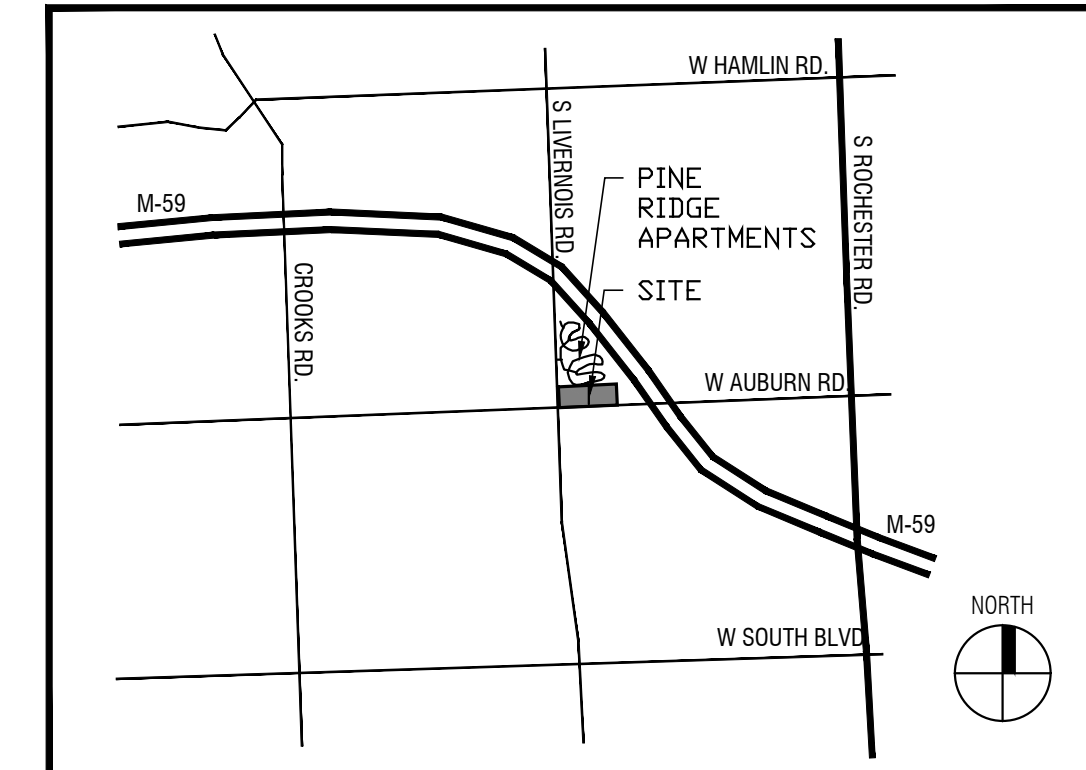
CIVIL ENGINEER
 DESIGNHAUS PLLC
 301 WALNUT BLVD.
 ROCHESTER, MI 48307
 T: 248.601.4422
 F: 248.453.5854

INDEX OF DRAWINGS

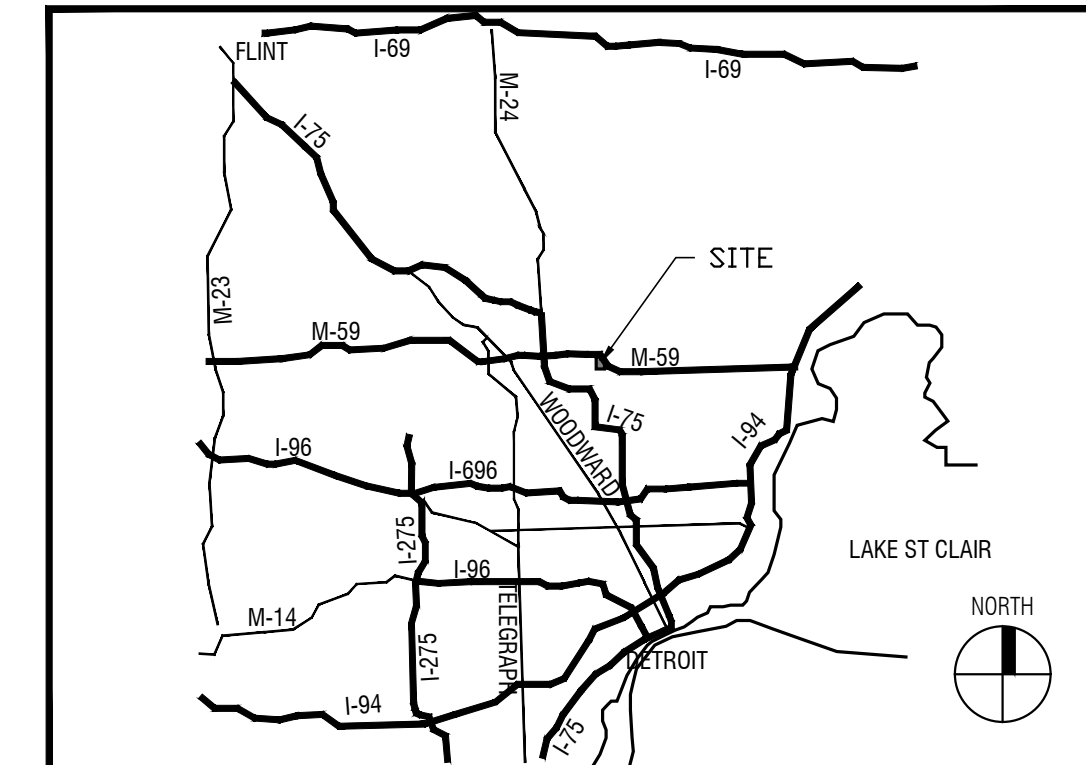
Submittal/Revision	Issued	Revised	Reissued	SHEET NO.	DRAWING NAME
P.U.D. Submittal/08.27.2018	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	GENERAL	
P.U.D. Resubmittal #1/10.23.2018	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G001	Title Sheet and Index
P.U.D. Resubmittal #2/12.28.2018	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G002	Reference & Code Information
P.U.D. Resubmittal #3/02.25.2019	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	CIVIL	
P.U.D. Resubmittal #4/04.26.2019	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1 OF 1	Topographic and Boundary Survey
P.U.D. Resubmittal #5/06.12.2019	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C100	Demolition Plan
P.U.D. Resubmittal #6/07.15.2019	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C200	Grading Plan
P.U.D. Final Submittal/08.19.2019	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C201	Grading Plan
P.U.D. Final Submittal/10.22.2019	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C300	Utility Plan
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C400	Storm Management Plan
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C401	Profile Plan
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C402	Profile Plan
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C403	Soil Erosion Plan
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C500	Site Details
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C601	Public Benefit Plan
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C700	Fire Truck Access Plan
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	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	S100	Site Plan
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L100	Tree Preservation and Replacement Plan
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L101	Landscape Plan
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L102	Detail Landscape Plan
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L103	Irrigation Plan
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L105	Safety Path Extension
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1 OF 1	Exterior Photometric Study
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ARCHITECTURAL	
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A100	Building A Floor Plan
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	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A102	Building B Second Floor Plan
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A103	Building B Third Floor Plan
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	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A500	Details

SHEET ISSUED
 REVISED
 SHEET REISSUED

VICINITY MAP



LOCATION MAP



No.	Revision/Issue	Date
	Final P.U.D. Submittal	10.22.2019
	Final P.U.D. Submittal	08.19.2019
	P.U.D. Resubmittal #6	07.15.2019
	P.U.D. Resubmittal #5	06.12.2019
△	P.U.D. Resubmittal #4	04.26.2019
	P.U.D. Resubmittal #3	02.25.2019
	P.U.D. Resubmittal #2	12.28.2018
	P.U.D. Resubmittal #1	10.23.2018
	P.U.D. Submittal	08.27.2018

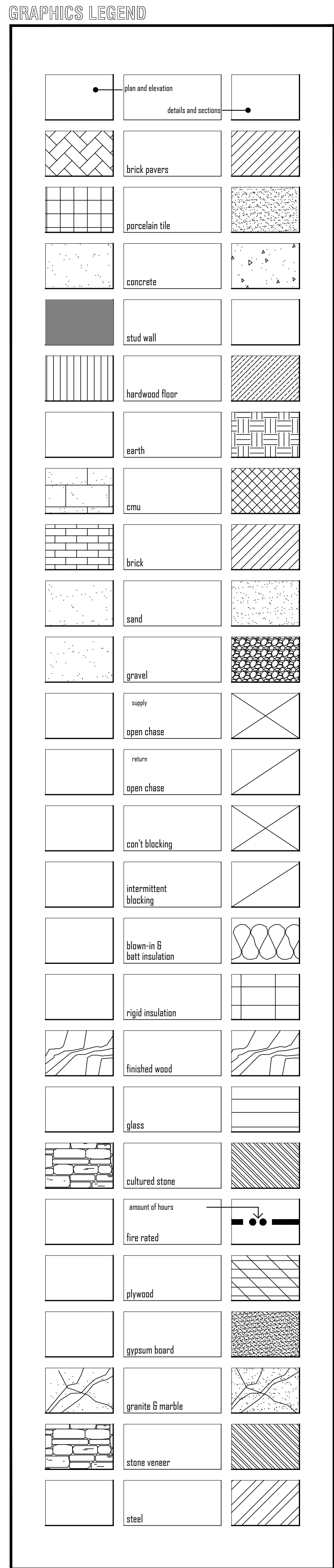
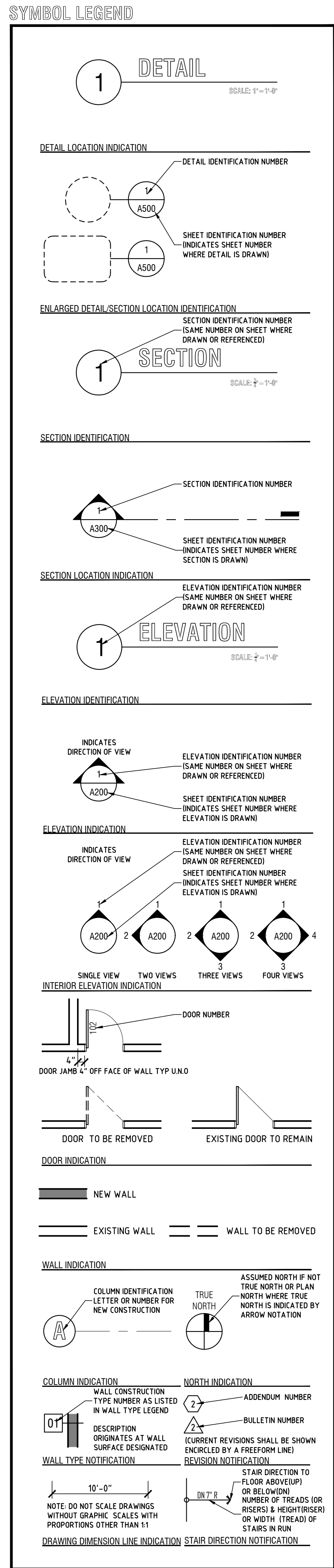
Rochester Hills Trio
 990 W. Auburn Rd
 Rochester Hills, MI 48307
 P.U.D. Review

ROCHESTER HILLS
 CITY FILE #18-016 Section #27

Title Sheet and Index

G001 017218

ABBREVIATIONS table with columns A through U, listing various construction terms and their abbreviations.



GENERAL NOTES and ZONING SCHEDULE OF REGULATIONS. Includes notes on work standards and a table with columns: Regulation, Required for R-4, and Provided.

PROJECT INFORMATION table showing building area breakdown by floor and building, and applicable construction codes and standards.

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION table showing building classifications and fire resistance ratings.

CHAPTER 5 - GENERAL BUILDING HEIGHTS & AREA table showing construction type, allowable stories, and area restrictions for various buildings.

CHAPTER 6 - TYPES OF CONSTRUCTION table showing structural frame, bearing walls, and floor construction requirements.

CHAPTER 7 - FIRE AND SMOKE PROTECTION FEATURES table showing fire-resistance ratings and fire-resistance ratings provided.

CHAPTER 8 - INTERIOR FINISHES table showing group, mercantile, and business requirements for interior finishes.

CHAPTER 9 - FIRE PROTECTION SYSTEM table showing automatic sprinkler requirements for various buildings.

CHAPTER 10 - MEANS OF EGRESS table showing occupant load and egress width requirements for various buildings.

DESIGNHAUS ARCHITECTURE logo and contact information: 301 WALNUT BOULEVARD ROCHESTER, MI 48307

Rochester Hills Trio logo and contact information: WWW.DESIGNHAUS.COM

Revision/Issue table with columns: No., Revision/Issue, and Date, listing various submittals and their dates.

Rochester Hills Trio 990 W. Auburn Rd Rochester Hills, MI 48307 P.U.D. Review

Reference & Code Information

GOO2 017218

SITE SURVEY

LIVERNOIS RD.
SCALE: 1"=40'
NORTH OF MATCH LINE

S. LIVERNOIS RD.
66 FT. WIDE R.O.W.

E.W. CORNER
SECTION 27, T.3N., R.11E.,
CITY OF ROCHESTER HILLS,
OAKLAND CO., MICHIGAN
L.1499Z, P.86, O.C.R.

12" CSP
INV.839.23

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INV.839.20

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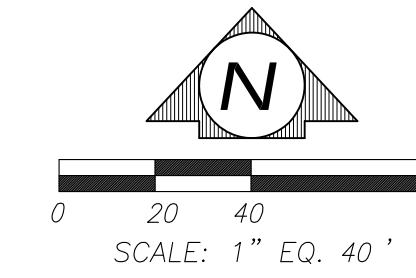
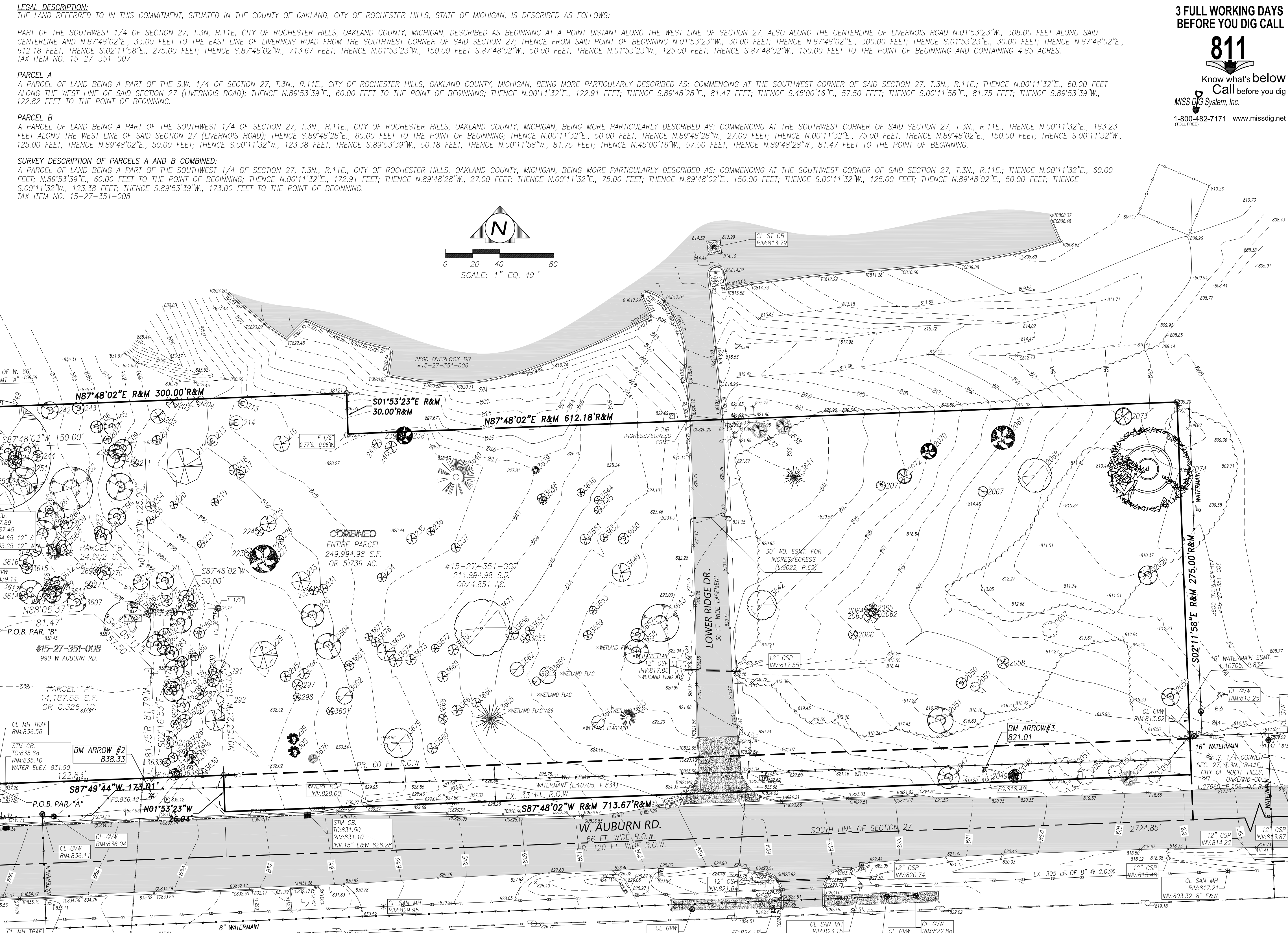
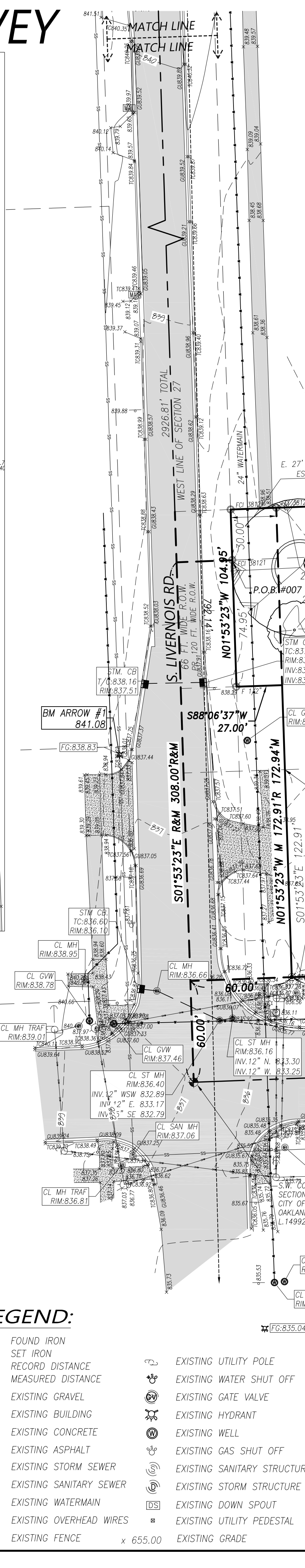
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12" CSP
INV.839.20



TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE		TREE TABLE			
#	DESC.	ELEV.	#	DESC.	ELEV.	#	DESC.	ELEV.	#	DESC.	ELEV.	#	DESC.	ELEV.	#	DESC.	ELEV.
201	7" WALNUT	831.24	220	6" WALNUT	831.12	239	7" HAWTHORNE	828.30	258	12" BOXELDER	836.04	277	6" WALNUT	835.78	296	8" WALNUT	831.89
202	11" WALNUT	831.53	221	6" WALNUT	831.47	240	9" WALNUT	828.92	259	13" ELM	837.75	278	16" BOXELDER	835.44	297	8" WALNUT	831.86
203	10" WALNUT	831.32	222	13" BOXELDER	835.17	241	7" WALNUT	828.48	260	9" BOXELDER	837.65	279	6" 7" BOXELDER	836.75	298	6" WALNUT	831.98
204	12" WALNUT	830.51	223	8" WALNUT	830.74	242	13" BOXELDER	837.77	261	9" 11" BOXELDER	838.24	280	8" BOXELDER	832.92	299	9" APPLE	831.66
205	12" BOXELDER	834.42	224	7" WALNUT	830.61	243	9" BOXELDER	837.50	262	6" BOXELDER	837.54	281	16" BOXELDER	837.54	300	9" APPLE	831.60
206	9" BOXELDER	835.18	225	12" WALNUT	830.38	244	8" BOXELDER	837.94	263	16" 16" ELM	840.21	282	10" BOXELDER	837.18	301	7" 9" BOXELDER	818.91
207	6" BOXELDER	834.67	226	6" WALNUT	830.28	245	12" BOXELDER	838.66	264	9" BOXELDER	839.11	283	10" BOXELDER	836.17	302	7" ASH	819.06
208	11" BOXELDER	833.49	227	7" WALNUT	830.54	246	13" BOXELDER	819.41	265	10" 10" BOXELDER	839.01	284	14" BOXELDER	836.34	303	9" CRAB APPLE	819.41
209	13" BOXELDER	833.03	228	8" 13" HAWTHORNE	830.64	247	10" BOXELDER	838.58	266	11" MULBERRY	838.73	285	8" BOXELDER	835.26	304	7" 5" PEAR	817.83
210	14" BOXELDER	833.99	229	21" WALNUT	833.31	248	10" BOXELDER	838.64	267	9" BOXELDER	838.34	286	6" BOXELDER	833.56	305	6" 8" 12" PEAR	818.02
211	6" WALNUT	831.36	230	17" BOXELDER	830.74	249	18" 24" 8" 8" 16" BOXELDER	839.66	268	11" BOXELDER	838.10	287	8" BOXELDER	833.24	306	10" PEAR	817.27
212	6" 11" 11" WALNUT	830.60	231	7" WALNUT	829.90	250	8" 13" BOXELDER	838.78	269	6" BOXELDER	837.49	288	7" BOXELDER	832.81	307	12" HICKORY	817.75
213	8" SUMAC	829.84	232	7" WALNUT	830.22	251	15" ELM	838.50	270	10" BOXELDER	837.08	289	9" BOXELDER	831.93	308	13" POPLAR	817.37
214	10" SUMAC	828.71	233	6" 8" WALNUT	830.74	252	13" 19" BOXELDER	837.40	271	6" WALNUT	838.00	290	6" BOXELDER	832.00	309	7" CHERRY	818.58
215	7" SUMAC	828.71	234	7" WALNUT	828.21	253	8" 12" BOXELDER	833.02	272	11" BOXELDER	836.17	291	16" WALNUT	832.02	310	14" BOXELDER	811.22
216	12" WALNUT	828.35	235	8" WALNUT	828.24	254	8" WALNUT	832.14	273	8" BOXELDER	834.45	292	13" WALNUT	831.95	311	12" ELM	813.66
217	6" WALNUT	829.35	236	6" WALNUT	828.46	255	6" WALNUT	832.39	274	11" BOXELDER	834.30	293	16" WALNUT	831.90	312	7" BOXELDER	829.77
218	8" WALNUT	830.05	237	7" WALNUT	827.98	256	13" BOXELDER	834.43	275	8" BOXELDER	835.91	294	7" BOXELDER	832.78	313	7" PEAR	817.14
219	6" WALNUT	830.55	238	6" 7" HAWTHORNE	828.26	257	8" BOXELDER	835.75	276	6" BOXELDER	837.29	295	8" WALNUT	832.33	314	8" WALNUT	816.40

- LEGEND:**
- FOUND IRON
 - SET IRON
 - R RECORD DISTANCE
 - M MEASURED DISTANCE
 - ▨ EXISTING GRAVEL
 - ▩ EXISTING BUILDING
 - ▧ EXISTING CONCRETE
 - EXISTING ASPHALT
 - ▬ EXISTING STORM SEWER
 - ▬ EXISTING SANITARY SEWER
 - ▬ EXISTING WATERMAIN
 - ▬ EXISTING OVERHEAD WIRES
 - ▬ EXISTING FENCE
 - ⊕ EXISTING UTILITY POLE
 - ⊕ EXISTING WATER SHUT OFF
 - ⊕ EXISTING GATE VALVE
 - ⊕ EXISTING HYDRANT
 - ⊕ EXISTING WELL
 - ⊕ EXISTING GAS SHUT OFF
 - ⊕ EXISTING SANITARY STRUCTURE
 - ⊕ EXISTING STORM STRUCTURE
 - ⊕ EXISTING DOWN SPOUT
 - ⊕ EXISTING UTILITY PEDESTAL
 - ⊕ EXISTING GRADE

BENCHMARK:

BM #1 ARROW ATOP FIRE HYD. ON THE WEST SIDE OF LIVERNOIS ROAD ±195' NORTH OF AUBURN RD. ELEV.: 841.08 NAVD88 DATUM

BM #2 ARROW ATOP FIRE HYD. ON THE NORTH SIDE OF AUBURN ROAD ±180' EAST OF LIVERNOIS ELEV.: 838.33 NAVD88 DATUM

BM #3 ARROW ATOP FIRE HYD. ON THE NORTH SIDE OF AUBURN ROAD ±795' EAST OF LIVERNOIS ELEV.: 821.01 NAVD88 DATUM

LEGAL DESCRIPTION:
THE LAND REFERRED TO IN THIS COMMITMENT, SITUATED IN THE COUNTY OF OAKLAND, CITY OF ROCHESTER HILLS, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

PART OF THE SOUTHWEST 1/4 OF SECTION 27, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT DISTANT ALONG THE WEST LINE OF SECTION 27, ALSO ALONG THE CENTERLINE OF LIVERNOIS ROAD N.01°53'23"W., 308.00 FEET ALONG SAID CENTERLINE AND N.87°48'02"E., 33.00 FEET TO THE EAST LINE OF LIVERNOIS ROAD FROM THE SOUTHWEST CORNER OF SAID SECTION 27; THENCE FROM SAID POINT OF BEGINNING N.01°53'23"W., 30.00 FEET; THENCE N.87°48'02"E., 300.00 FEET; THENCE S.01°53'23"E., 30.00 FEET; THENCE N.87°48'02"E., 612.18 FEET; THENCE S.02°11'58"E., 275.00 FEET; THENCE S.87°48'02"W., 713.67 FEET; THENCE N.01°53'23"W., 150.00 FEET S.87°48'02"W., 50.00 FEET; THENCE N.01°53'23"W., 125.00 FEET; THENCE S.87°48'02"W., 150.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 4.85 ACRES. TAX ITEM NO. 15-27-351-007

PARCEL A
A PARCEL OF LAND BEING A PART OF THE S.W. 1/4 OF SECTION 27, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 27, T.3N., R.11E.; THENCE N.00°11'32"E., 60.00 FEET ALONG THE WEST LINE OF SAID SECTION 27 (LIVERNOIS ROAD); THENCE N.89°53'39"E., 60.00 FEET TO THE POINT OF BEGINNING; THENCE N.00°11'32"E., 122.91 FEET; THENCE S.89°48'28"E., 81.47 FEET; THENCE S.45°00'16"E., 57.50 FEET; THENCE S.00°11'58"E., 81.75 FEET; THENCE S.89°53'39"W., 122.82 FEET TO THE POINT OF BEGINNING.

PARCEL B
A PARCEL OF LAND BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 27, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 27, T.3N., R.11E.; THENCE N.00°11'32"E., 183.23 FEET ALONG THE WEST LINE OF SAID SECTION 27 (LIVERNOIS ROAD); THENCE S.89°48'28"E., 60.00 FEET TO THE POINT OF BEGINNING; THENCE N.00°11'32"E., 50.00 FEET; THENCE N.89°48'28"W., 27.00 FEET; THENCE N.00°11'32"E., 75.00 FEET; THENCE N.89°48'02"E., 150.00 FEET; THENCE S.00°11'32"W., 125.00 FEET; THENCE N.89°48'02"E., 50.00 FEET; THENCE S.00°11'32"W., 123.38 FEET; THENCE S.89°53'39"W., 50.18 FEET; THENCE N.00°11'58"W., 81.75 FEET; THENCE N.45°00'16"W., 57.50 FEET; THENCE N.89°48'28"W., 81.47 FEET TO THE POINT OF BEGINNING.

SURVEY DESCRIPTION OF PARCELS A AND B COMBINED:
A PARCEL OF LAND BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 27, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 27, T.3N., R.11E.; THENCE N.00°11'32"E., 60.00 FEET; THENCE N.89°53'39"E., 60.00 FEET TO THE POINT OF BEGINNING; THENCE N.00°11'32"E., 172.91 FEET; THENCE N.89°48'28"W., 27.00 FEET; THENCE N.00°11'32"E., 75.00 FEET; THENCE N.89°48'02"E., 150.00 FEET; THENCE S.00°11'32"W., 125.00 FEET; THENCE N.89°48'02"E., 50.00 FEET; THENCE S.00°11'32"W., 123.38 FEET; THENCE S.89°53'39"W., 173.00 FEET TO THE POINT OF BEGINNING. TAX ITEM NO. 15-27-351-008

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811

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MISS DIG System, Inc.
1-800-482-7171 www.missdig.net

REICHERT SURVEYING INC.

P 248.651.0592
F 248.656.7099

Mail@ReichertSurveying.com
140 Flumerfelt Lane
Rochester, MI 48306

SITE SURVEY

A PARCEL OF LAND BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 27, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN.

PREPARED FOR:
DESIGNHAUS
301 WALNUT
ROCHESTER, MI 48307
(248) 601-4422

SCALE: 1"=40' DRAWN: B.G.R.



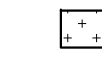


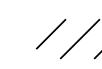
DATE: 6/19/18 CHECK: G.H.R.

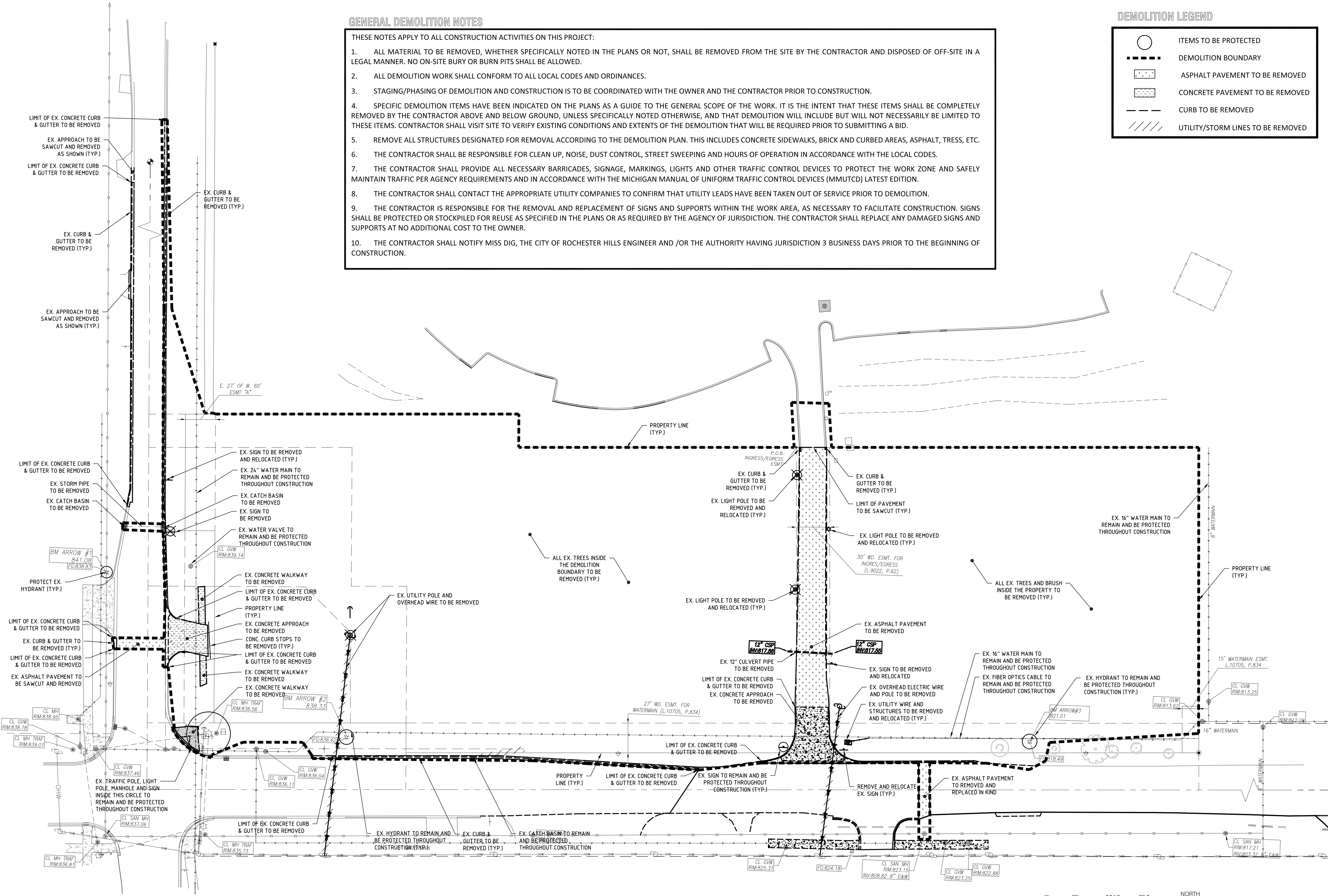
JOB # 18-087 SHEET: 1 OF 1

GENERAL DEMOLITION NOTES

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
1. ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
 2. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
 3. STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
 4. SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
 5. REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES CONCRETE SIDEWALKS, BRICK AND CURBED AREAS, ASPHALT, TRESS, ETC.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
 7. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) LATEST EDITION.
 8. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
 9. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
 10. THE CONTRACTOR SHALL NOTIFY MISS DIG, THE CITY OF ROCHESTER HILLS ENGINEER AND /OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

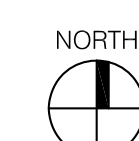
DEMOLITION LEGEND

-  ITEMS TO BE PROTECTED
-  DEMOLITION BOUNDARY
-  ASPHALT PAVEMENT TO BE REMOVED
-  CONCRETE PAVEMENT TO BE REMOVED
-  CURB TO BE REMOVED
-  UTILITY/STORM LINES TO BE REMOVED



THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

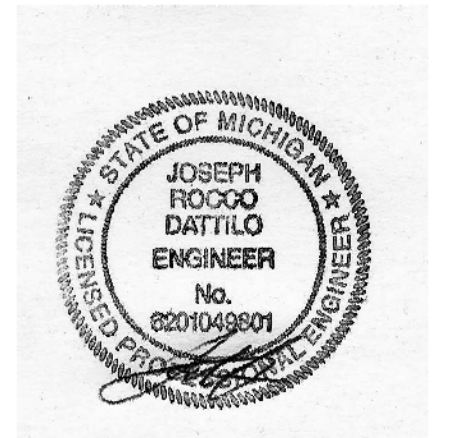
1 Demolition Plan SCALE: 1" = 40'



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Rochester Hills Trio
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ROCHESTER HILLS
CITY FILE #18-016 Section #27

Demolition Plan

C100 017218

GRADING NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCHESTER HILLS STANDARDS AND SPECIFICATIONS.
- SPOT ELEVATIONS INDICATE TOP OF PAVEMENT UNLESS OTHERWISE INDICATED:
 TC = TOP OF CURB
 G = CURB GUTTER GRADE
 EX = EXISTING TOP OF PAVEMENT
 TP = TOP OF POND ELEVATION
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 BW = BOTTOM OF WALL
 TG = TOP GRADE
 MG = MIDDLE GRADE
 BG = BOTTOM GRADE
- REFER TO LANDSCAPE PLAN FOR LANDSCAPE TREATMENT AND PLACEMENT.

LEGEND

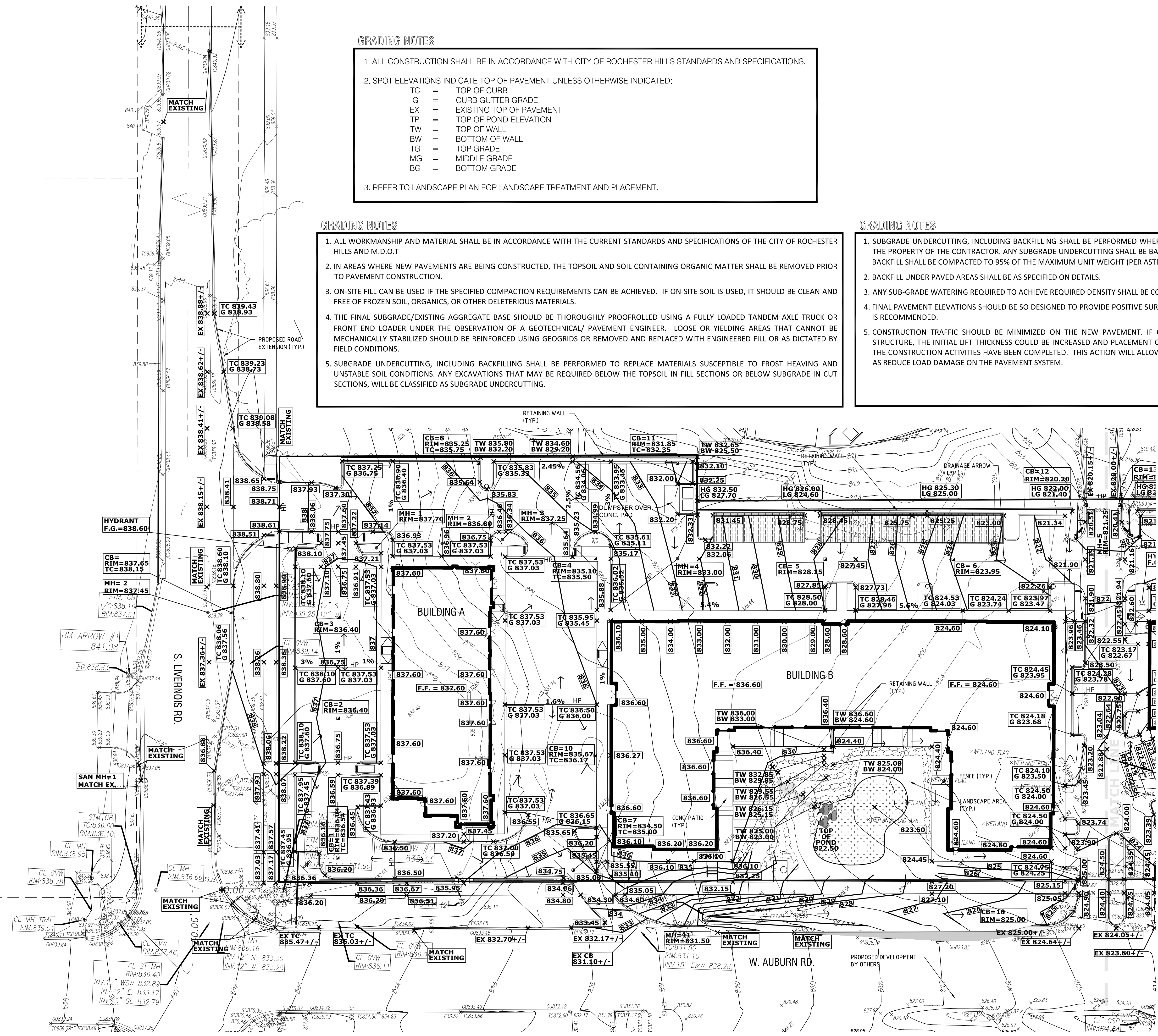
- X 865.80 PROPOSED GRADES
- X 865.80 EXISTING GRADES
- PROPOSED BY OTHERS
- EXISTING SURVEY

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- THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROFFROLLED USING A FULLY LOADED TANDEM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL/ PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEOGRIDS OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
- SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.

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Grading Plan

SCALE: 1" = 30'

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ROCHESTER HILLS
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Grading Plan

G200 017218

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8/16/2019

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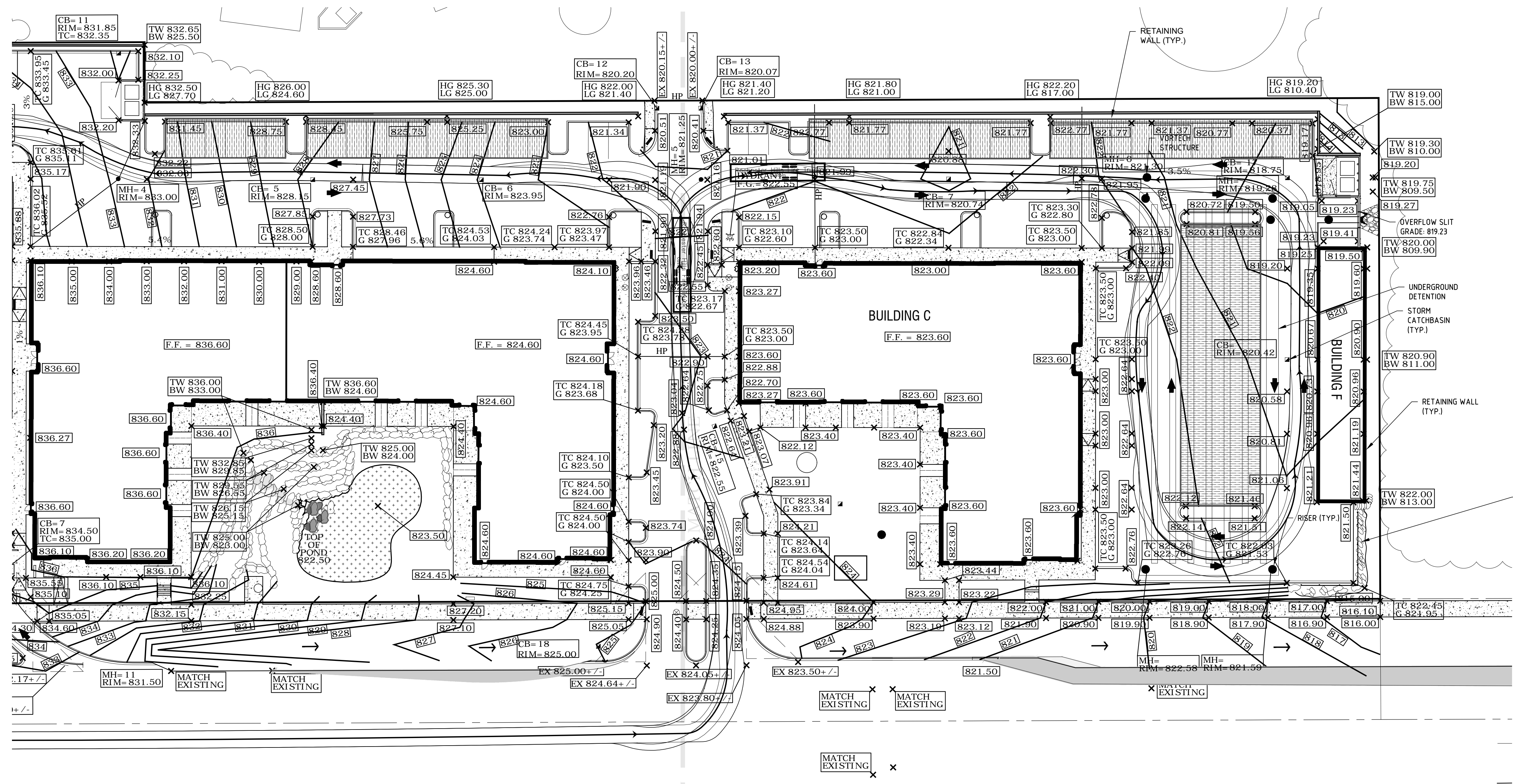
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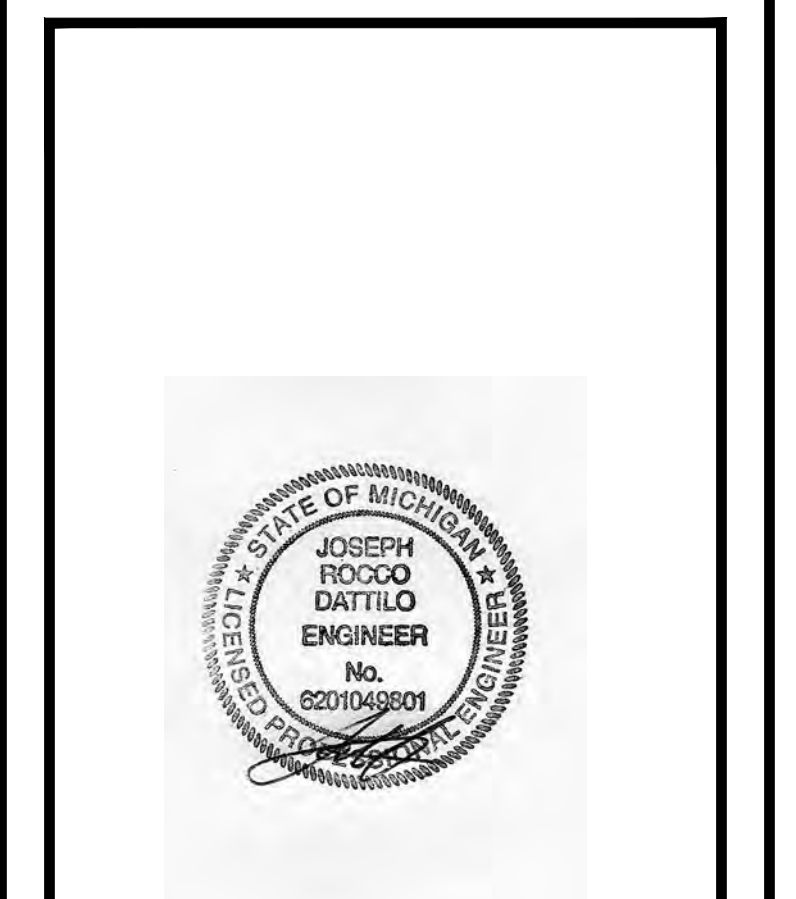
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ROCHESTER HILLS
 CITY FILE #18-016 Section #27

Grading Plan

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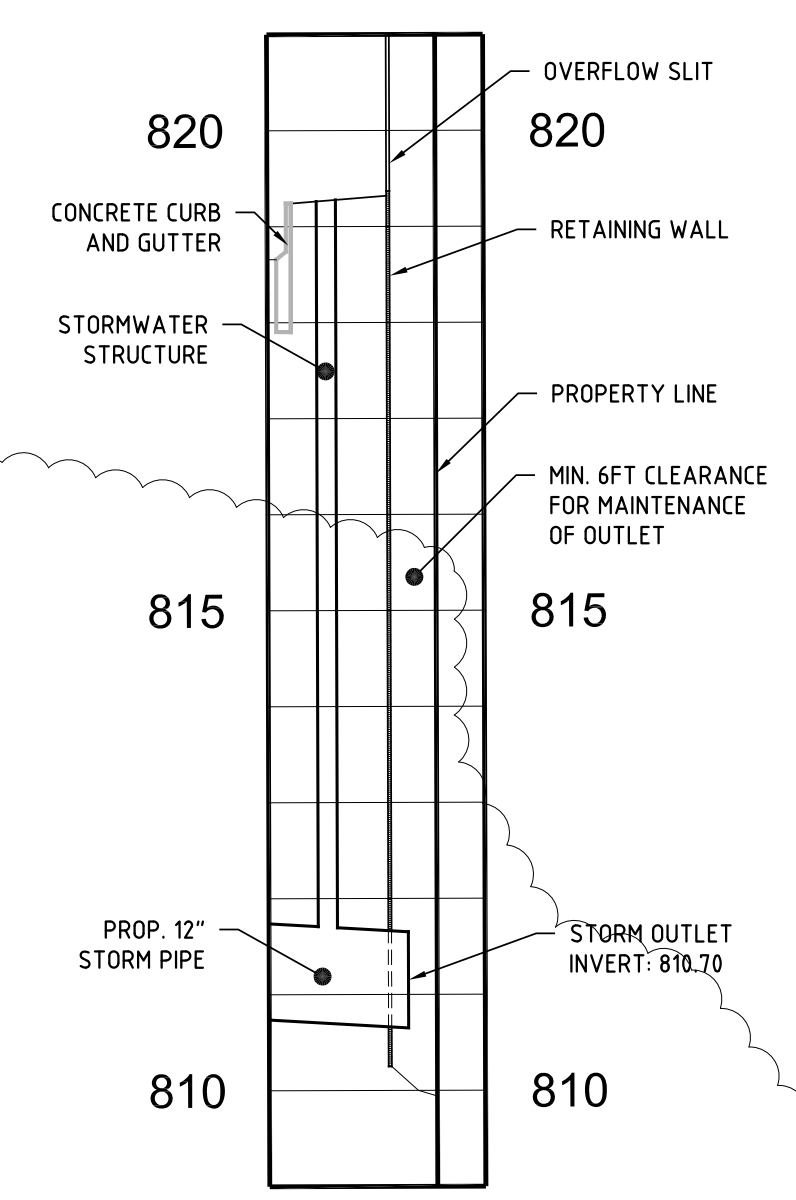
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ROCHESTER HILLS
 CITY FILE #18-016 Section #27

Utility Plan

C300 017218

SECTION A-A



SANITARY BASIS OF DESIGN CALCULATION

USAGE	AREA	UNIT FACTOR	R.E.U.
Building A			
Retail	10,532 sf	0.31 units / 1000 sf	3.26
Office	10,408 sf	0.40 units / 1000 sf	4.16
Building B			
Multi-Family	73 Units	0.60 units / unit	43.80
Building C			
Multi-Family	47 Units	0.60 units / unit	28.20
Total			79.42
			Rounded = 80.00

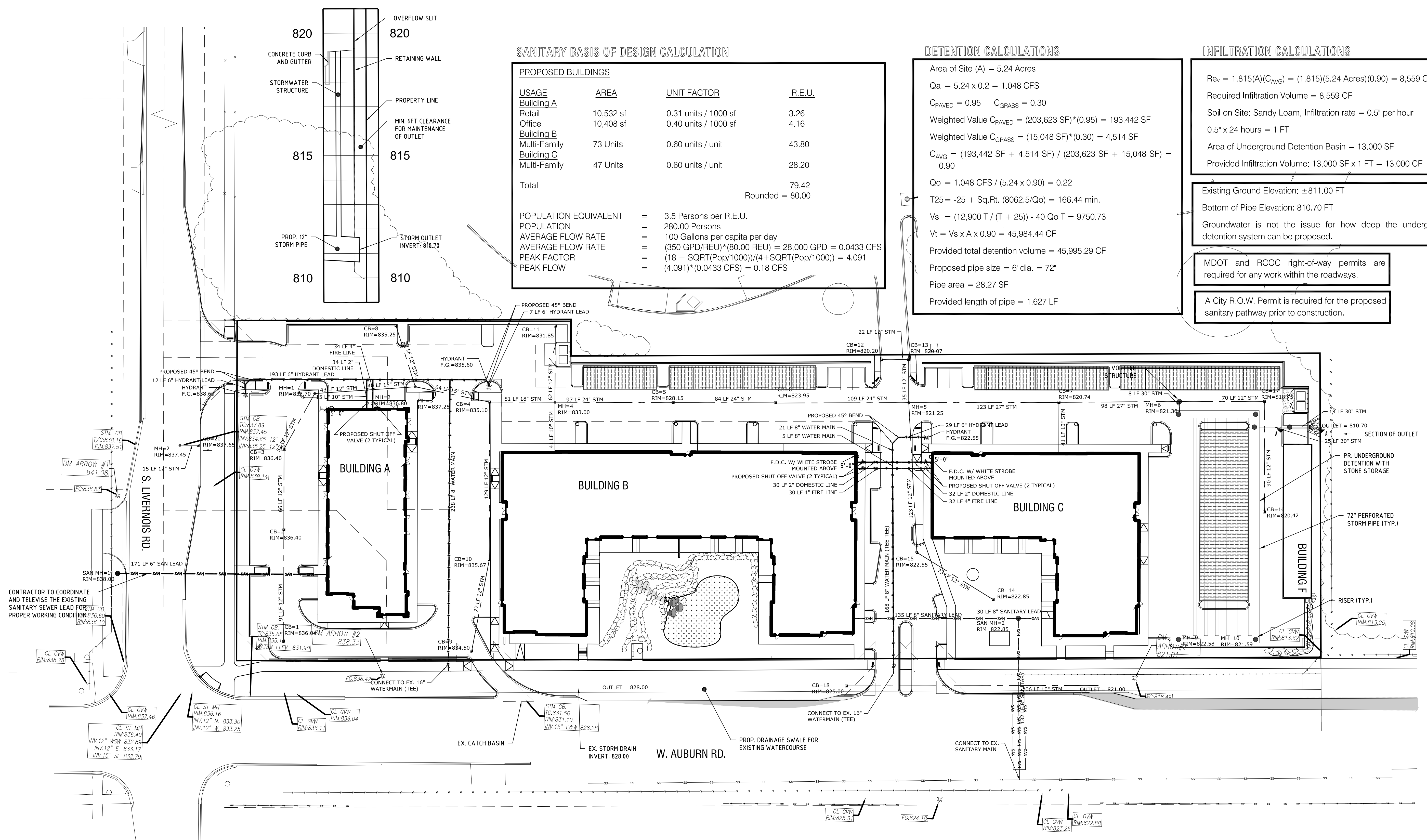
POPULATION EQUIVALENT	=	3.5 Persons per R.E.U.
POPULATION	=	280.00 Persons
AVERAGE FLOW RATE	=	100 Gallons per capita per day
AVERAGE FLOW RATE	=	(350 GPD/REU) * (80.00 REU) = 28,000 GPD = 0.0433 CFS
PEAK FACTOR	=	(18 + SQRT(Pop/1000)) / (4 + SQRT(Pop/1000)) = 4.091
PEAK FLOW	=	(4.091) * (0.0433 CFS) = 0.18 CFS

DETENTION CALCULATIONS

Area of Site (A) = 5.24 Acres
 $Q_a = 5.24 \times 0.2 = 1.048 \text{ CFS}$
 $C_{PAVED} = 0.95 \quad C_{GRASS} = 0.30$
 Weighted Value $C_{PAVED} = (203,623 \text{ SF}) * (0.95) = 193,442 \text{ SF}$
 Weighted Value $C_{GRASS} = (15,048 \text{ SF}) * (0.30) = 4,514 \text{ SF}$
 $C_{AVG} = (193,442 \text{ SF} + 4,514 \text{ SF}) / (203,623 \text{ SF} + 15,048 \text{ SF}) = 0.90$
 $Q_o = 1.048 \text{ CFS} / (5.24 \times 0.90) = 0.22$
 $T_{25} = -25 + \text{Sq.Rt.} (8062.5/Q_o) = 166.44 \text{ min.}$
 $V_s = (12,900 \text{ T} / (T + 25)) - 40 \quad Q_o \text{ T} = 9750.73$
 $V_t = V_s \times A \times 0.90 = 45,984.44 \text{ CF}$
 Provided total detention volume = 45,995.29 CF
 Proposed pipe size = 6' dia. = 72"
 Pipe area = 28.27 SF
 Provided length of pipe = 1,627 LF

INFILTRATION CALCULATIONS

$Rev = 1,815(A)(C_{AVG}) = (1,815)(5.24 \text{ Acres})(0.90) = 8,559 \text{ CF}$
 Required Infiltration Volume = 8,559 CF
 Soil on Site: Sandy Loam, Infiltration rate = 0.5" per hour
 $0.5" \times 24 \text{ hours} = 1 \text{ FT}$
 Area of Underground Detention Basin = 13,000 SF
 Provided Infiltration Volume: $13,000 \text{ SF} \times 1 \text{ FT} = 13,000 \text{ CF}$
 Existing Ground Elevation: ±811.00 FT
 Bottom of Pipe Elevation: 810.70 FT
 Groundwater is not the issue for how deep the underground detention system can be proposed.
 MDOT and RCOC right-of-way permits are required for any work within the roadways.
 A City R.O.W. Permit is required for the proposed sanitary pathway prior to construction.



1 Utility Plan
 SCALE: 1" = 40'
 NORTH

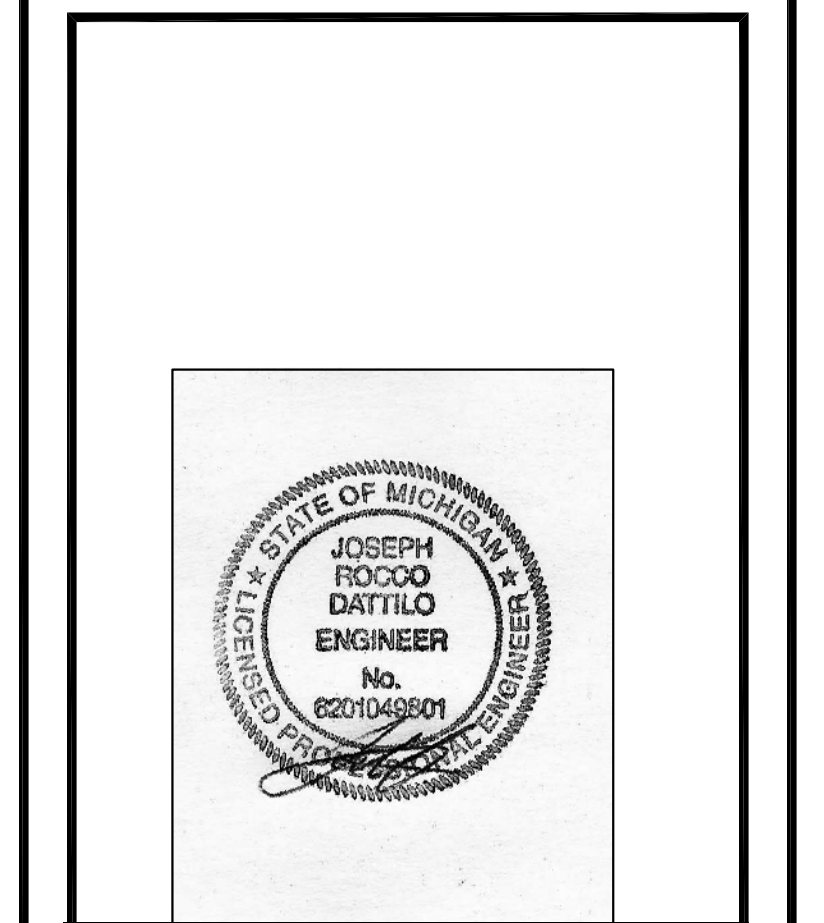
- NOTE**
- MAINTAIN 10 - FOOT HORIZONTAL SEPARATION BETWEEN ALL UNDERGROUND UTILITIES THROUGHOUT.
 - WATERMAIN, SANITARY, STORM EASEMENTS AND STORM MAINTENANCE AGREEMENT WILL BE PROVIDED WITH ENGINEERING APPROVAL PLANS.
 - THE PROPOSED UNDERGROUND DETENTION AT THE EAST END OF THE DEVELOPMENT IS CAPABLE OF SUPPORTING THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.

- GENERAL NOTES**
- ALL CONSTRUCTION PROCEDURES AND MATERIALS SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER HILLS.
 - A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED BY THE CITY OF ROCHESTER HILLS AND HELD PRIOR TO THE START OF CONSTRUCTION.
 - CONTRACTOR MUST CONTACT MISS DIG (811) AT LEAST THREE WORKING DAYS PRIOR TO THE START OF CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS. ALL UTILITIES SHALL BE STAKED BEFORE CONSTRUCTION BEGINS.
 - ALL WATER MAIN EASEMENTS SHALL BE PROVIDED PRIOR TO CONSTRUCTION AND ACCEPTANCE OF THE WATER DISTRIBUTION SYSTEM.
 - WATER MAINS SHALL BE CONSTRUCTED WITH A MINIMUM COVER OF 6 FEET BELOW FINISHED GRADES, INCLUDING OPEN DRAINAGE COURSES.
 - ALL TRENCHES UNDER OR WITHIN A 1:1 RATIO OF EXISTING OR PROPOSED PAVEMENT OR DRIVEWAYS, SHALL BE BACKFILLED WITH COMPACTED CLASS II SAND TO GRADE (95% MAXIMUM UNIT DENSITY).
 - WHERE TWO UTILITIES CROSS, PROVIDE CLASS II BACKFILL MATERIAL IN SIX (6) INCH COMPACTED LAYERS TO TOP HIGHEST UTILITY.
 - WHERE WATER MAINS DIP UNDER OTHER UTILITIES, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE CONSTRUCTED WITH 11-1/4" VERTICAL BENDS, 22 1/2" OR 45° BENDS MUST BE RODDED AND PROPERLY ANCHORED.

- GENERAL NOTES**
- ALL PRECAST CONCRETE GATE WELL SECTIONS SHALL BE IN ACCORDANCE WITH A.S.T.M. C478, STANDARD SPECIFICATIONS FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS. WALL THICKNESS SHALL BE AS SHOWN ON THESE DETAILS. ALL JOINTS FOR PRECAST CONCRETE GATE WELL SECTIONS SHALL BE "MODIFIED GROOVE TONGUE" WITH GASKET MANUFACTURED TO CONFORM WITH A.S.T.M. C443, STANDARD SPECIFICATION FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE USING RUBBER GASKETS.
 - CONTRACTOR SHALL INSTALL VALVES, TAPPING SLEEVES, AND GATE WELL STRUCTURES IN STRICT COMPLIANCE WITH MEASUREMENTS PROVIDED ON SHEET 1 (2'-0" BETWEEN GATE WELL WELL AND CENTERLINE OF OPERATING NUT) TO ALLOW PROPER OPERATION OF VALVE THROUGH GATE WELL OPENING.
 - ALL CROSS-CONNECTION CONTROL DEVICES SHALL BE INSTALLED AS REQUIRED BY THE ROCHESTER HILLS PLUMBING INSPECTOR AND IN ACCORDANCE WITH THE STANDARDS OF THE OAKLAND COUNTY DRAIN COMMISSIONER OPERATION AND MAINTENANCE DIVISION AND THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY, DIVISION OF DRINKING WATER AND RADIOLOGICAL PROTECTION.
 - ALL WATER SERVICE CONNECTIONS TWO (2) INCHES AND SMALLER SHALL BE MADE BY THE CITY OF ROCHESTER HILLS, DEPARTMENT OF PUBLIC SERVICES AFTER WATER MAIN ACCEPTANCE AND APPLICABLE PERMITS ARE OBTAINED.
 - ALL FITTINGS AND BENDS SHOULD BE BLOCKED IN ACCORDANCE WITH THRUST BLOCK DETAILS, UNLESS ALTERNATE THRUST RESTRAINT SYSTEM, AS INDICATED PLANS AND SPECIFICATIONS, IS APPROVED BY THE CITY OF ROCHESTER HILLS DEPARTMENT OF PUBLIC SERVICES.

C:\300 Utility Plan.dwg

8/16/2019
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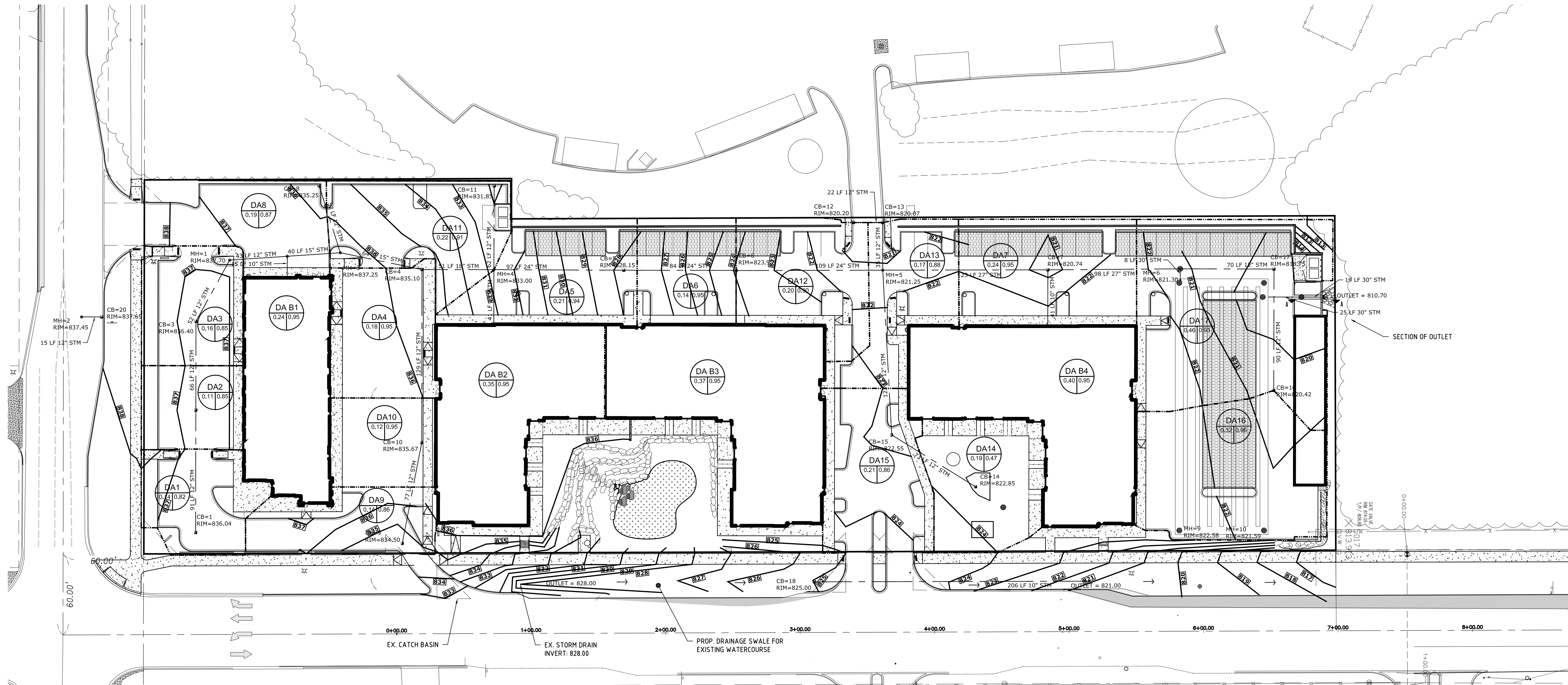
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Storm Management Plan

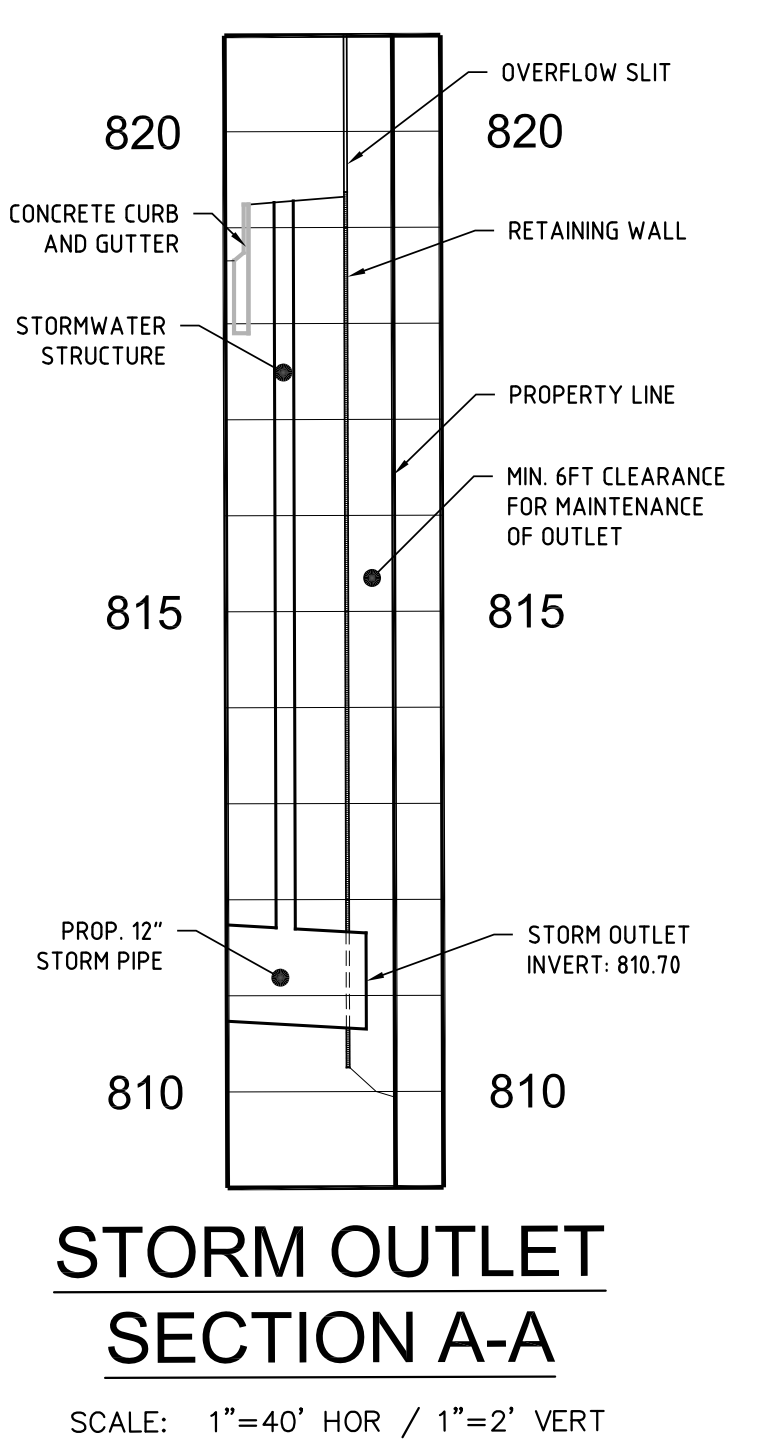
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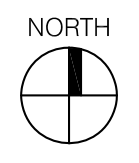
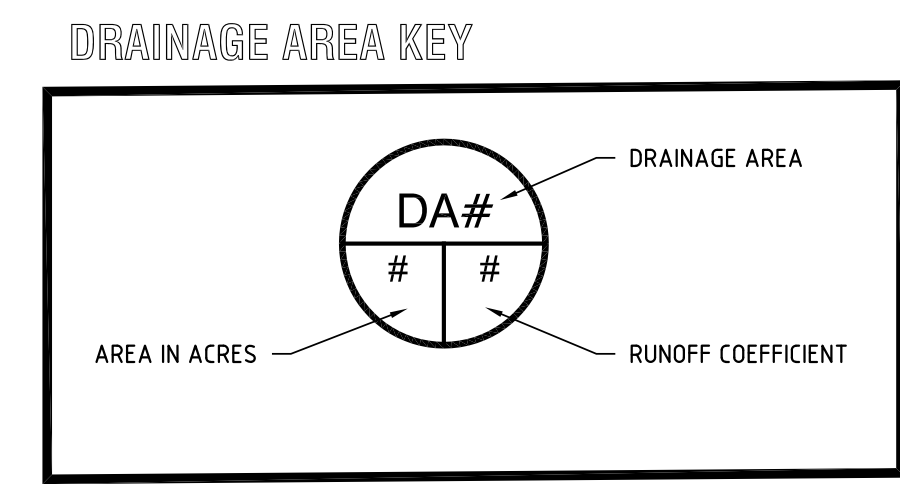
Rochester TRIO
 $Q_r = C \cdot I \cdot A$
 $Q_p = A \times 1.486 \times R^{0.77} \times S^{0.485}$
 $I = 175 / (t + 25)$ for 10 year storm event
 $T = 15$ Minutes
 C : Roof 0.95, Pavement 0.95, Green 0.30

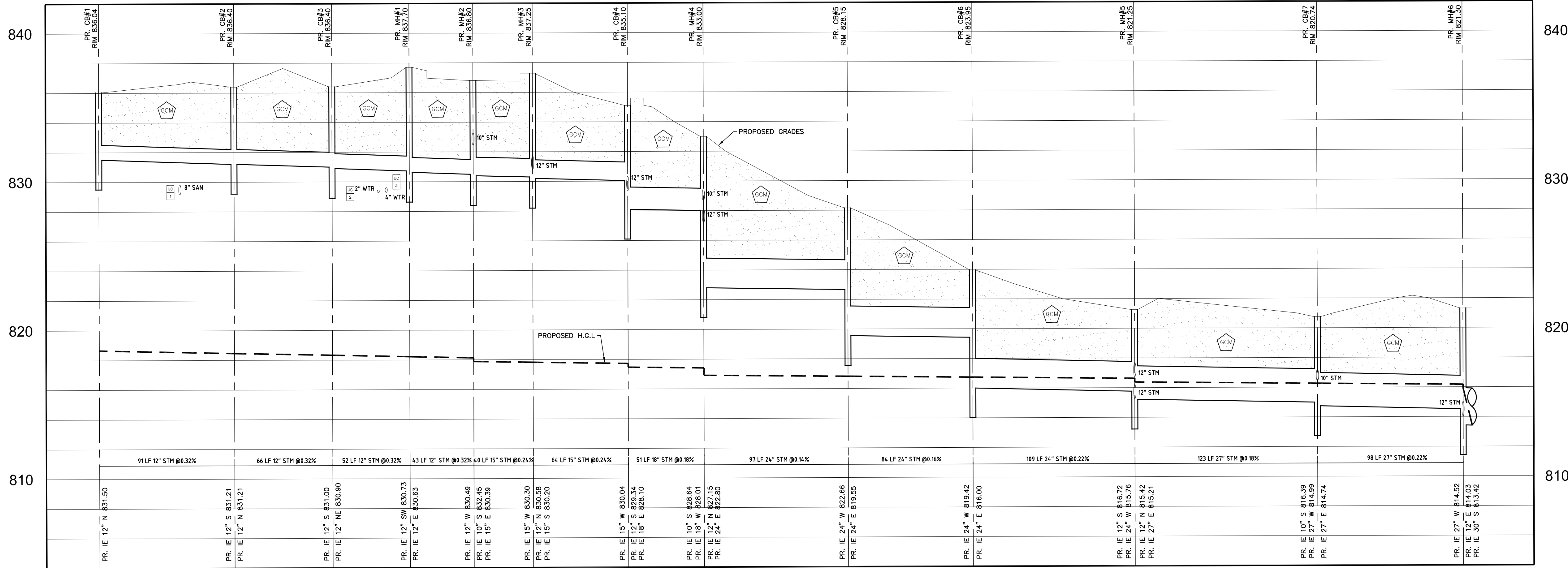
STORM SEWER CALCULATIONS

AREA NO.	FROM MH/CB	TO MH/CB	Area A acres	AREA Grass (C=0.3)	AREA Paved (C=0.95)	AVG. COEFF. C'	A x C	Area TOTAL At acres	COEFF. Cw	At x Cw	TIME Tc min	INT I in/hr	n	FLOW Or Q=CIA c.f.s	PIPE CAP. Qp c.f.s	PIPE LENGTH ft	PIPE DIA. In	PIPE SLOPE %	VEL. FULL ft/s	TIME min	RIM ELEV. HIGH ft	RIM ELEV. LOW ft	HIGH END H.G.L.	LOW END H.G.L.	HIGH INVERT	LOW INVERT
DA1	CB1	CB2	0.14	1256	4824	0.82	0.11	0.14	0.82	0.11	15.00	4.38	0.0130	0.50	2.02	91	12	0.32	2.5660	0.59	836.04	836.40	818.65	818.46	831.50	831.21
DA2	CB2	CB3	0.11	748	4044	0.85	0.09	0.25	0.83	0.21	15.59	4.31	0.0130	0.89	2.02	66	12	0.32	2.5660	0.43	836.40	836.40	818.46	818.33	831.21	831.00
DA3	CB3	MH1	0.16	1084	5886	0.85	0.14	0.41	0.84	0.34	16.02	4.27	0.0130	1.46	2.02	52	12	0.32	2.5660	0.34	836.40	837.70	818.33	818.22	830.90	830.73
	MH1	MH2	0.00					0.41	0.84	0.34	16.36	4.23	0.0130	1.45	2.02	43	12	0.32	2.5660	0.28	837.70	836.80	818.22	818.13	830.63	830.49
	MH2	MH3	0.00	0				0.65	0.88	0.57	16.64	4.20	0.0130	2.41	3.16	40	15	0.24	2.5786	0.26	836.80	837.25	817.88	817.82	830.39	830.30
	MH3	CB4	0.00					0.84	0.88	0.74	16.90	4.18	0.0130	3.08	3.16	64	15	0.24	2.5786	0.41	837.25	835.10	817.82	817.72	830.20	830.04
DA4	CB4	MH4	0.18	0	7841	0.95	0.17	1.29	0.89	1.15	17.31	4.14	0.0130	4.75	4.46	51	18	0.18	2.5218	0.34	835.10	833.00	817.47	817.41	828.10	828.01
DA B2	MH4	CB5	0.35	0	15246	0.95	0.33	2.21	0.91	2.01	17.65	4.10	0.0130	8.26	8.46	97	24	0.14	2.6942	0.60	833.00	828.15	816.91	816.82	822.80	822.66
DA5	CB5	CB6	0.21	120	9028	0.94	0.20	2.42	0.92	2.21	18.25	4.05	0.0130	8.95	9.05	84	24	0.16	2.6802	0.49	828.15	824.95	816.92	816.74	819.55	819.42
DA6	CB6	MH5	0.14	0	6098	0.95	0.13	2.93	0.92	2.70	18.73	4.00	0.0130	10.79	10.61	109	24	0.22	3.3773	0.54	824.95	821.25	816.74	816.63	816.00	815.76
	MH5	CB7	0.00	0				3.70	0.89	3.30	19.27	3.95	0.0130	13.03	13.14	123	27	0.18	3.3044	0.62	821.25	820.74	816.38	816.26	815.21	814.99
DA7	CB7	MH6	0.24	0	10454	0.95	0.23	4.34	0.85	3.68	19.89	3.90	0.0130	14.33	14.53	98	27	0.22	3.6532	0.45	820.74	821.30	816.26	816.17	814.74	814.52
	MH6	DET	0.00					4.60	0.90	4.33	20.34	3.86	0.0130	16.71	17.40	8	30	0.18	3.5590	0.04	821.30	821.47	815.92	815.91	813.42	813.41
DA B1	BLDG 1	MH2	0.24	0	10525	0.95	0.23	2.04	0.95	0.23	15.00	4.38	0.0130	1.00	2.19	15	10	1.00	4.0169	0.06	837.60	836.80	818.36	818.29	832.60	832.45
DA B2	BLDG 2	MH4	0.35	0	15246	0.95	0.33	0.35	0.95	0.33	15.00	4.38	0.0130	1.45	2.19	41	10	1.00	4.0169	0.17	836.60	833.00	818.24	818.07	829.05	828.64
DA B3	BLDG 3	CB6	0.37	0	16117	0.95	0.35	0.37	0.95	0.35	15.00	4.38	0.0130	1.54	2.19	41	10	1.00	4.0169	0.17	824.60	824.95	818.08	817.91	819.60	819.19
DA B4	BLDG 4	CB7	0.40	0	17424	0.95	0.38	0.40	0.95	0.38	15.00	4.38	0.0130	1.66	2.19	41	10	1.00	4.0169	0.17	823.60	820.74	817.85	817.68	816.80	816.39
DA8	CB8	MH3	0.19	977	7299	0.87	0.17	0.19	0.87	0.17	15.00	4.38	0.0130	0.73	2.02	52	12	0.32	2.5660	0.34	835.25	837.25	818.17	818.07	830.75	830.58
DA9	CB9	CB10	0.14	893	5391	0.86	0.12	0.14	0.86	0.12	15.00	4.38	0.0130	0.54	2.02	77	12	0.32	2.5660	0.50	834.50	835.67	818.39	818.23	830.00	829.75
DA10	CB10	CB4	0.12	0	5227	0.95	0.11	0.25	0.90	0.24	15.50	4.32	0.0130	1.03	2.02	129	12	0.32	2.5660	0.84	835.67	835.10	818.23	817.97	829.75	829.34
DA11	CB11	MH4	0.22	527	9056	0.91	0.20	0.22	0.91	0.20	15.00	4.38	0.0130	0.88	2.02	62	12	0.32	2.5660	0.40	831.85	833.00	818.03	817.91	827.35	827.15
DA12	CB12	CB13	0.20	607	8105	0.90	0.18	0.20	0.90	0.18	15.00	4.38	0.0130	0.79	2.02	22	12	0.32	2.5660	0.14	820.20	820.07	817.74	817.70	815.70	815.63
DA13	CB13	MH5	0.17	772	6633	0.88	0.15	0.37	0.89	0.33	15.14	4.36	0.0130	1.44	2.02	35	12	0.32	2.5660	0.23	820.07	821.25	817.70	817.63	815.53	815.42
DA14	CB14	CB15	0.19	6103	2173	0.47	0.09	0.19	0.47	0.09	15.00	4.38	0.0130	0.39	2.02	73	12	0.32	2.5660	0.47	822.85	822.55	818.03	817.88	818.25	818.02
DA15	CB15	MH5	0.21	1286	7862	0.86	0.18	0.40	0.67	0.27	15.47	4.32	0.0130	1.17	2.02	123	12	0.32	2.5660	0.80	822.55	821.25	817.88	817.63	817.12	816.72
DA17	CB17	MH6	0.46	742	19296	0.93	0.43	0.46	0.93	0.43	15.00	4.38	0.0130	1.86	2.02	70	12	0.32	2.5660	0.45	818.75	821.30	817.56	817.42	814.25	814.03
DA16	CB16	DET	0.32	0	13939	0.95	0.30	0.32	0.95	0.30	15.00	4.38	0.0130	1.33	2.02	4	12	0.32	2.5660	0.03	820.42	820.54	817.42	817.41	815.92	815.91
Total Acres								5.12																		



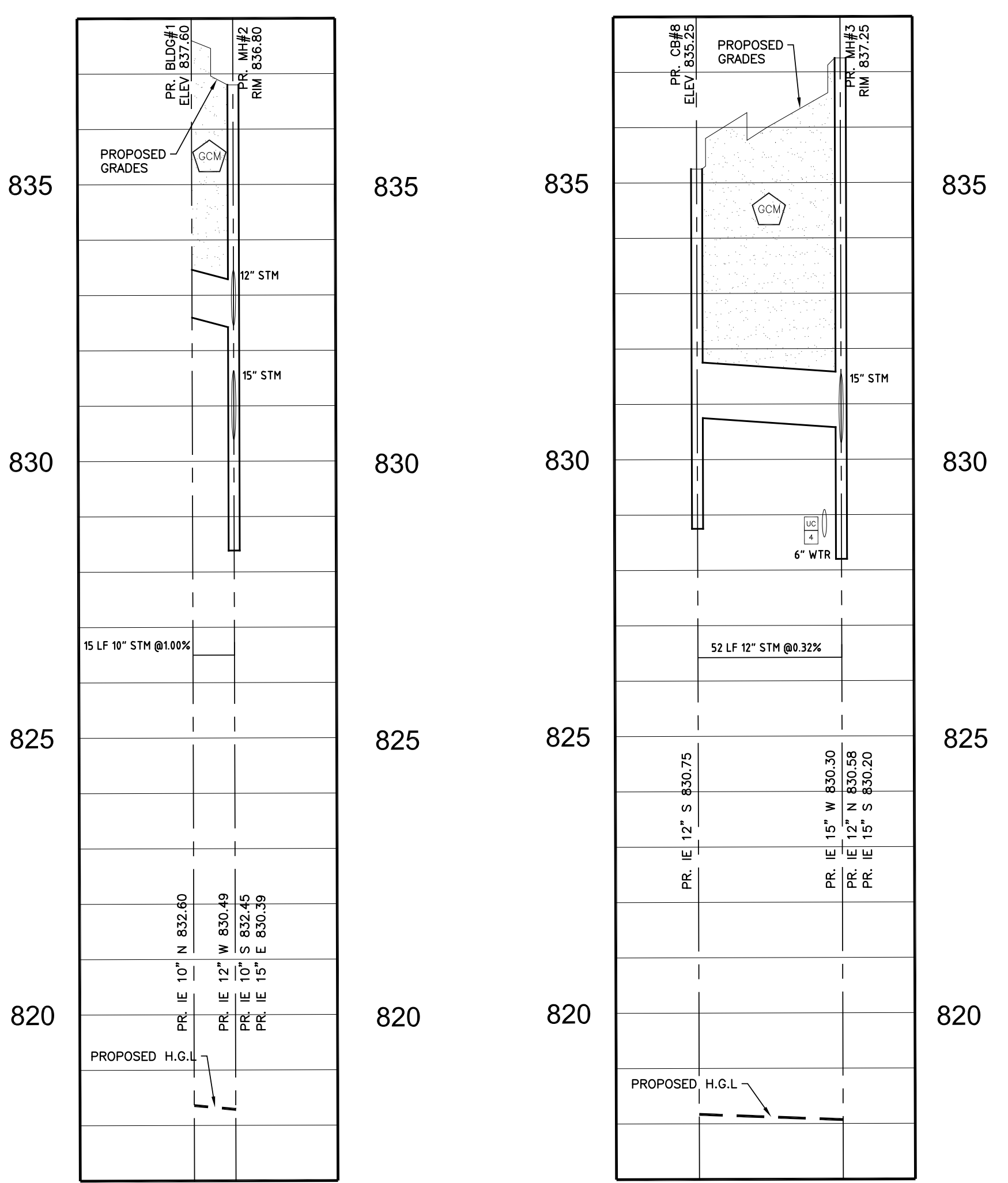
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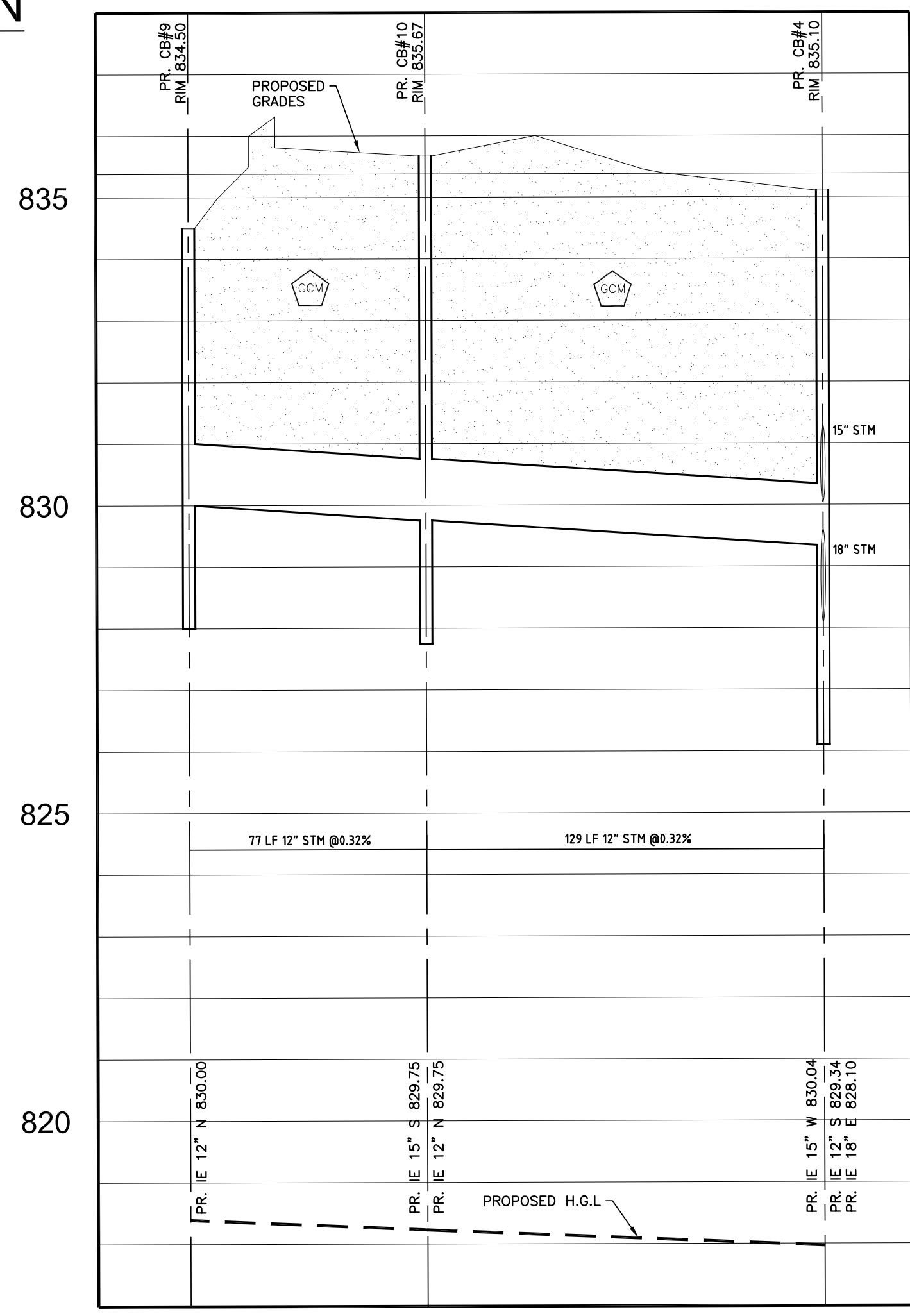


STORM PROFILE CB-1 TO BASIN

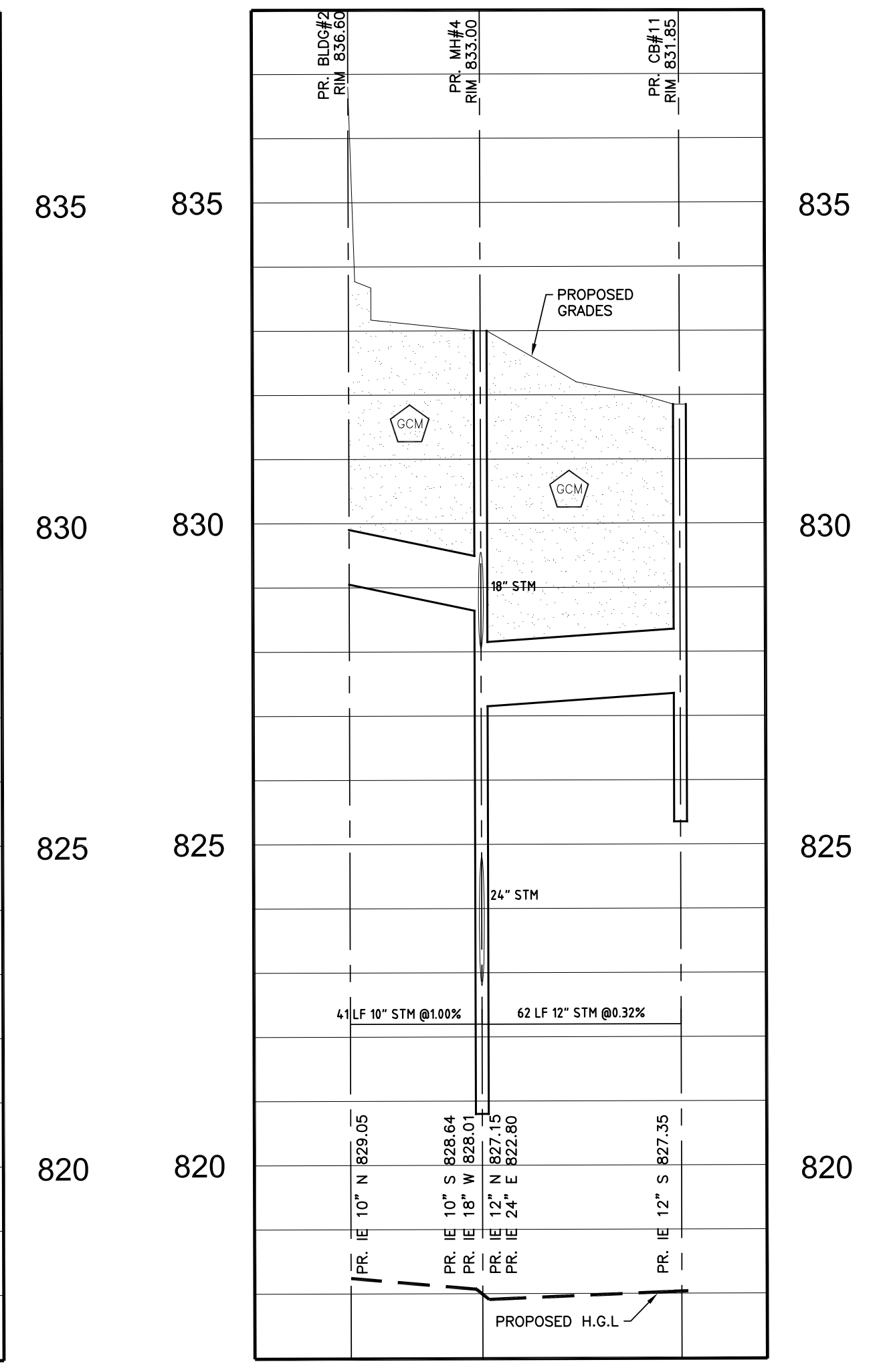
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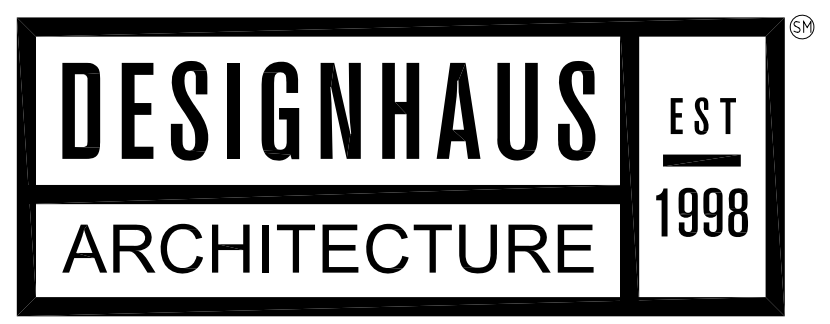
STORM PROFILE BLDG-1 TO MH-2
SCALE: 1"=40' HOR / 1"=2' VERT



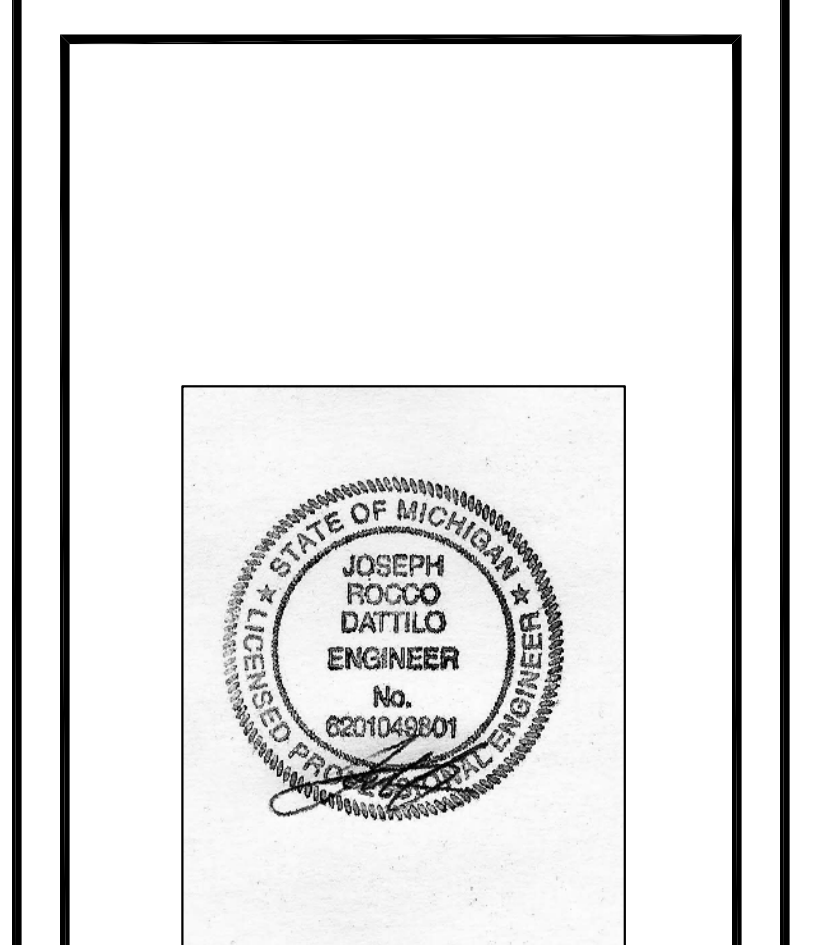
STORM PROFILE CB-9 TO CB-4
SCALE: 1"=40' HOR / 1"=2' VERT



STORM PROFILE BLDG-2 TO MH-4 TO CB-11
SCALE: 1"=40' HOR / 1"=2' VERT



EST 1998
301 WALNUT BOULEVARD
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INFO@DESIGNHAUS.COM



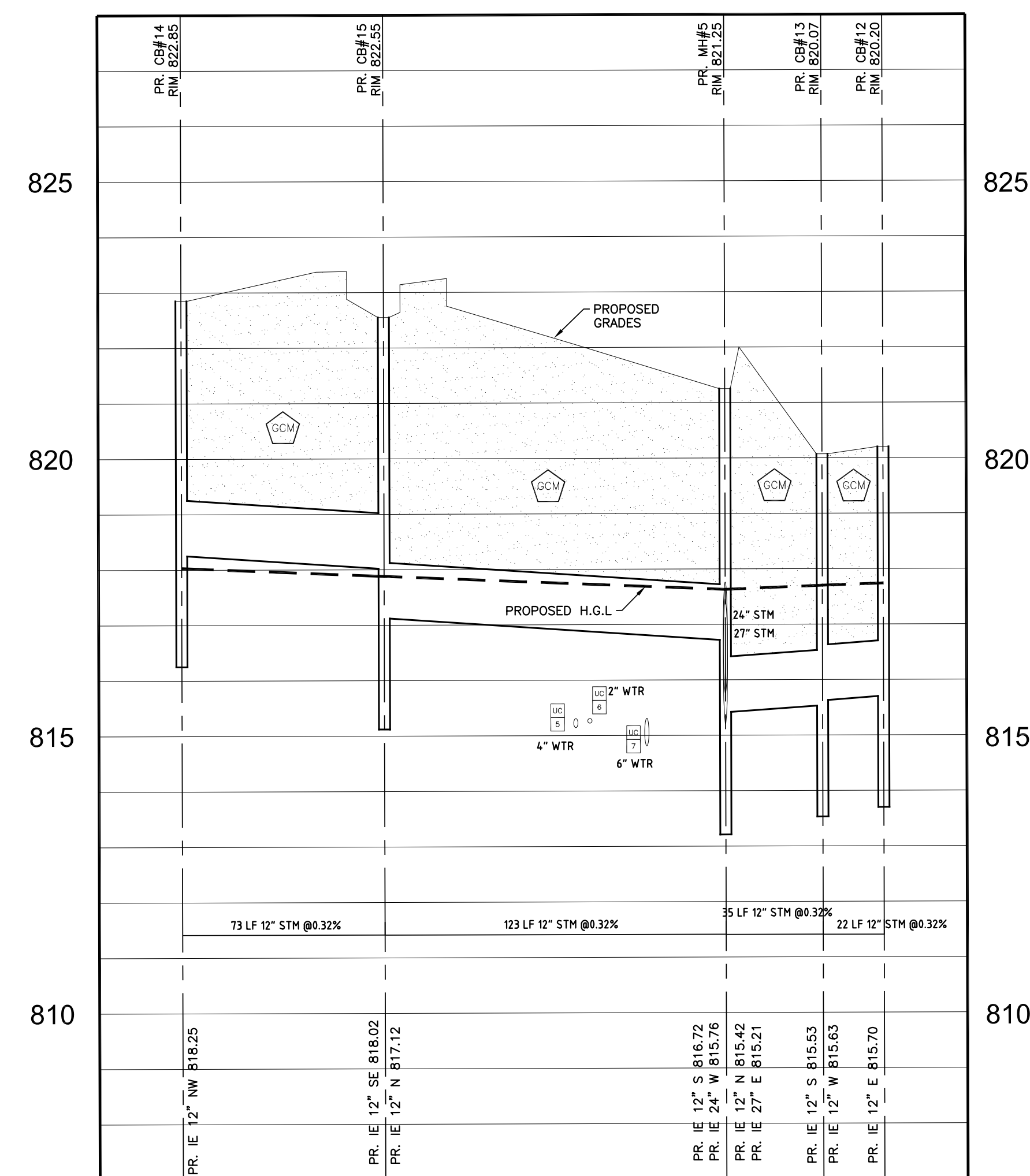
No.	Revision/Issue	Date
	Final P.U.D. Submittal	10.22.2019
	Final P.U.D. Submittal	08.19.2019
	P.U.D. Resubmittal #6	07.15.2019
	P.U.D. Resubmittal #5	06.12.2019
	P.U.D. Resubmittal #4	04.26.2019
	P.U.D. Resubmittal #3	02.25.2019
	P.U.D. Resubmittal #2	02.28.2018
	P.U.D. Resubmittal #1	10.23.2018
	P.U.D. Submittal	08.27.2018

Rochester Hills Trio
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ROCHESTER HILLS
CITY FILE #18-016 Section #27

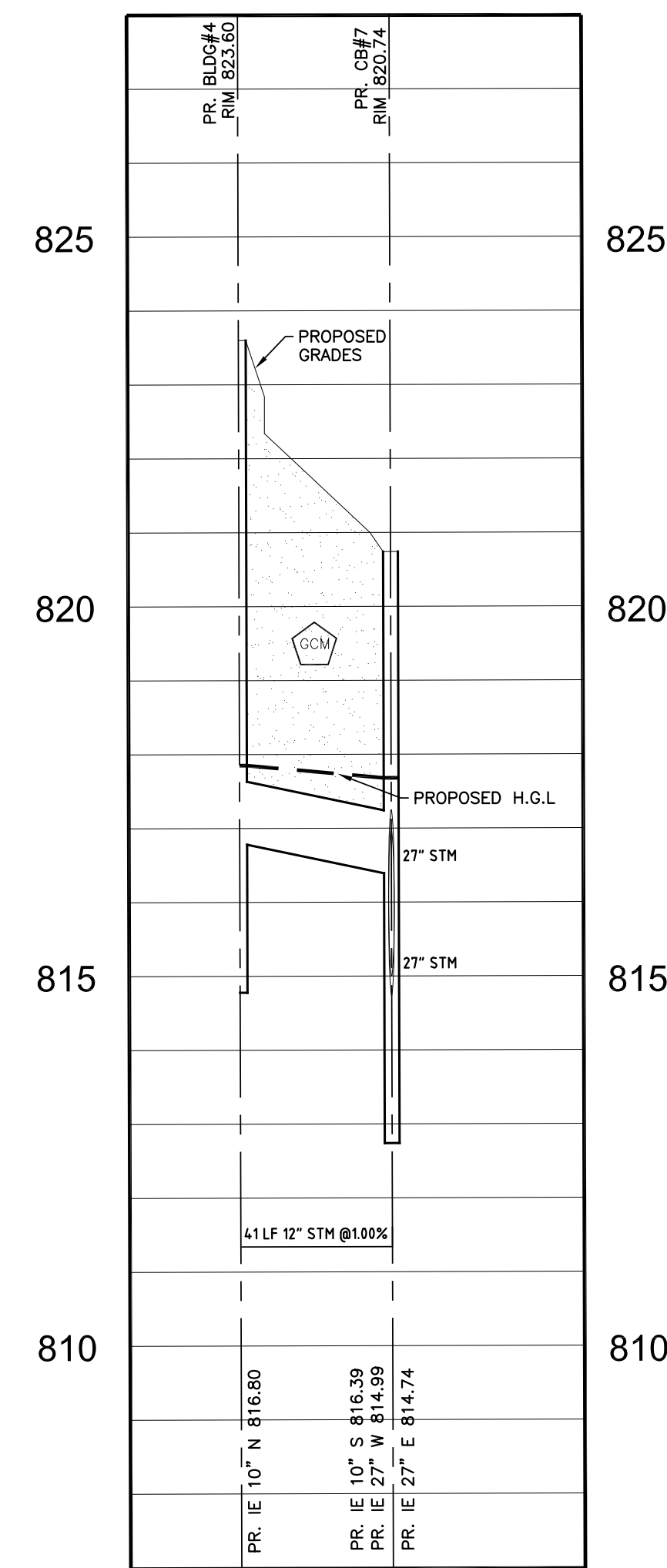
Profile Plan

C401
017218



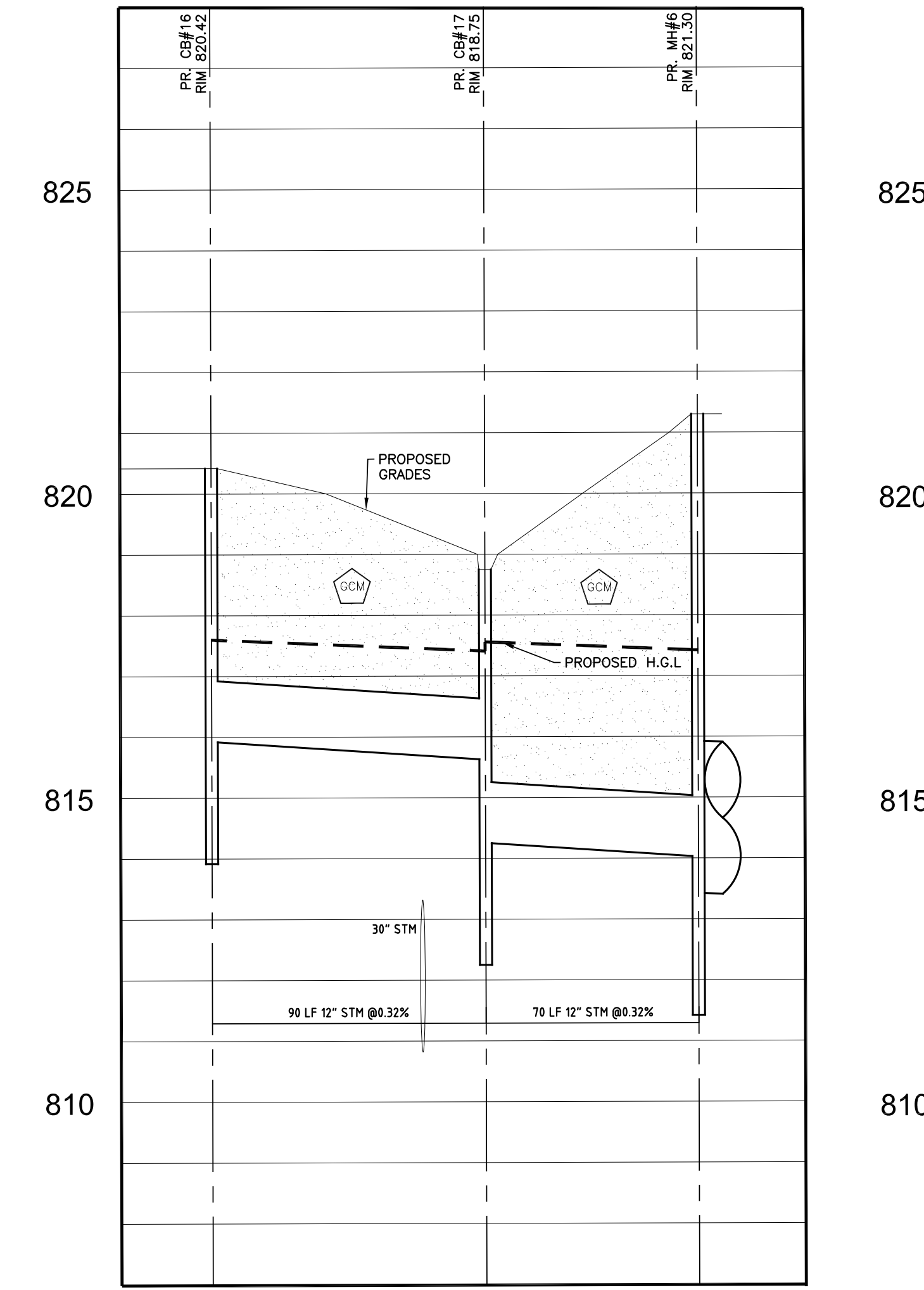
**STORM PROFILE
CB-14 TO MH-5 TO CB-12**

SCALE: 1"=40' HOR / 1"=2' VERT



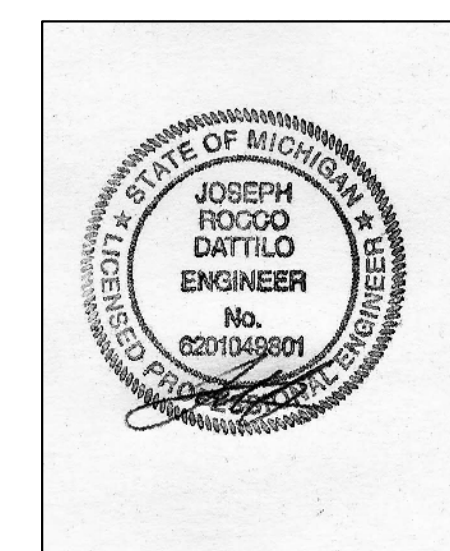
**STORM PROFILE
BLDG-4 TO CB-7**

SCALE: 1"=40' HOR / 1"=2' VERT



**STORM PROFILE
CB-16 TO BASIN**

SCALE: 1"=40' HOR / 1"=2' VERT



No.	Revision/Issue	Date
	Final P.U.D. Submittal	10.22.2019
	Final P.U.D. Submittal	08.19.2019
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	P.U.D. Resubmittal #1	10.23.2018
	P.U.D. Submittal	08.27.2018

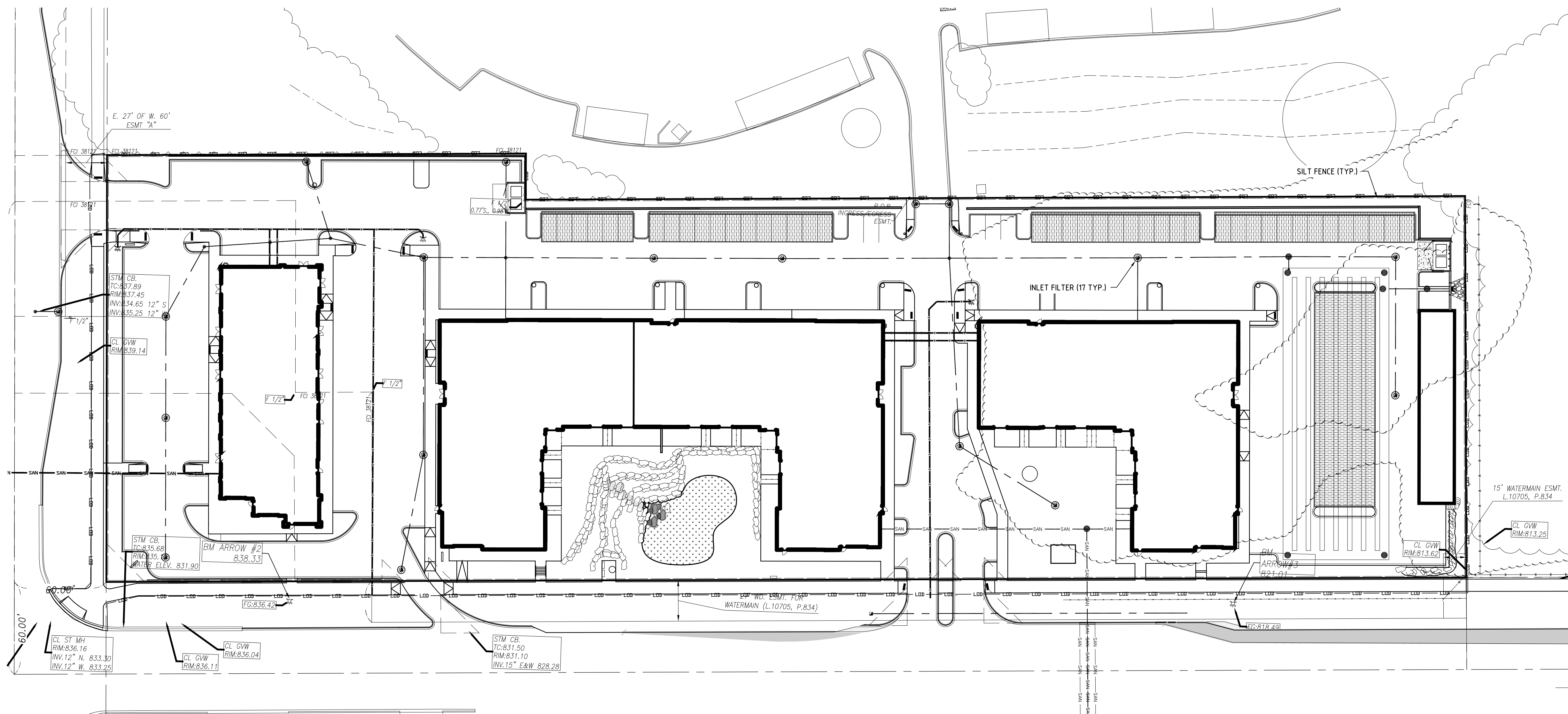
Rochester Hills Trio
990 W. Auburn Rd
Rochester Hills, MI 48307
P.U.D. Review

ROCHESTER HILLS
CITY FILE #18-016 Section #27

Profile Plan

C402

017218

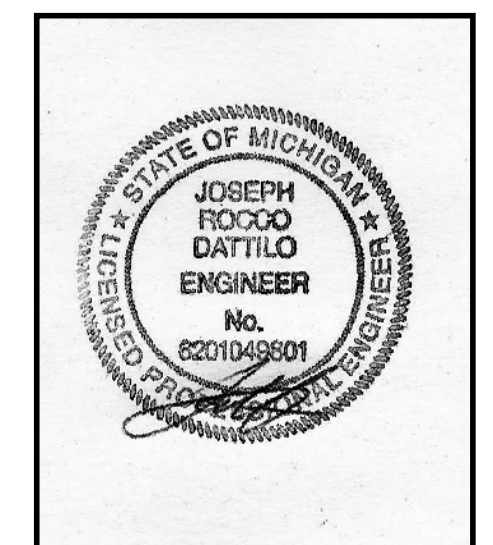


LEGEND

- PROPERTY LINE
- L.O.D. PROPOSED LIMIT OF DISTURBANCE
- - - PROPOSED SILT FENCE
- PROPOSED CATCHBASIN INLET FILTER

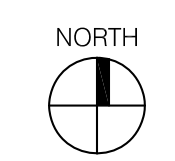


Know what's below.
Call before you dig.

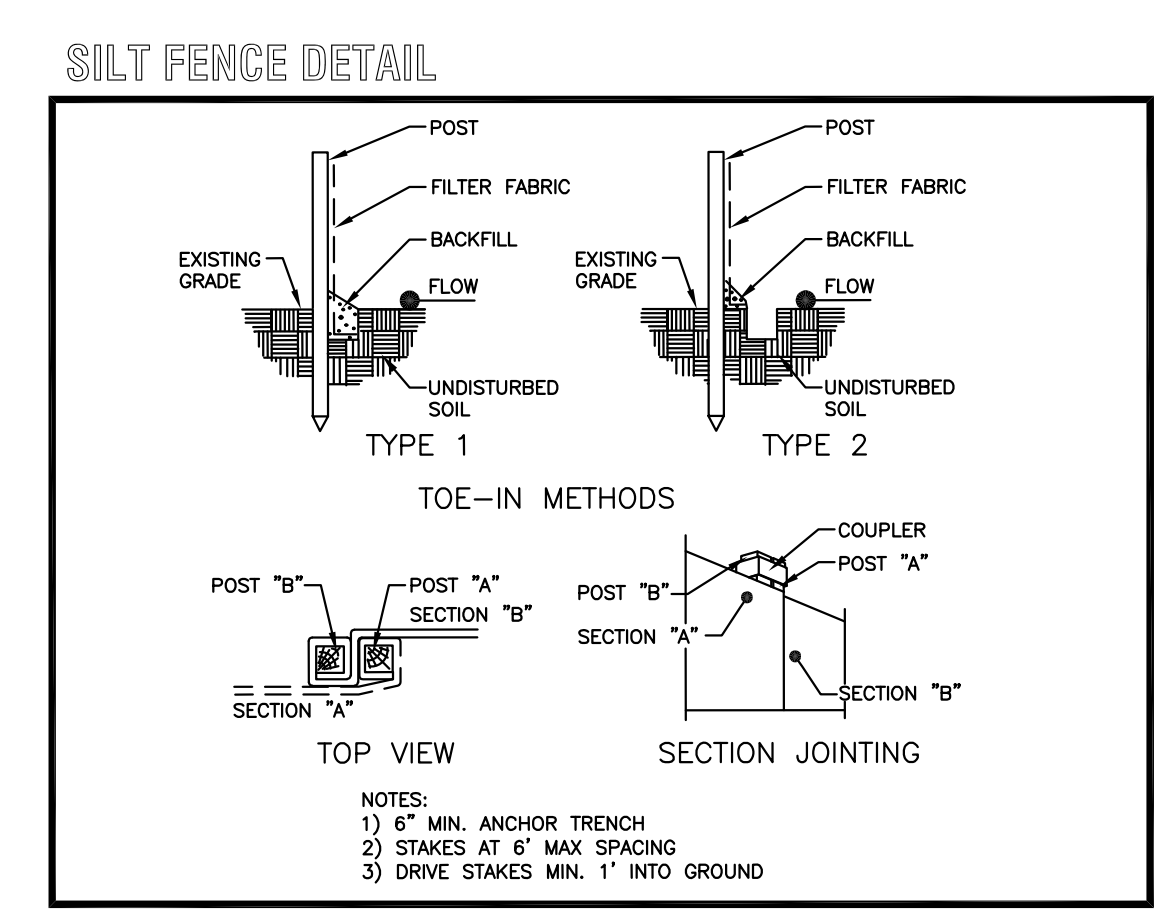
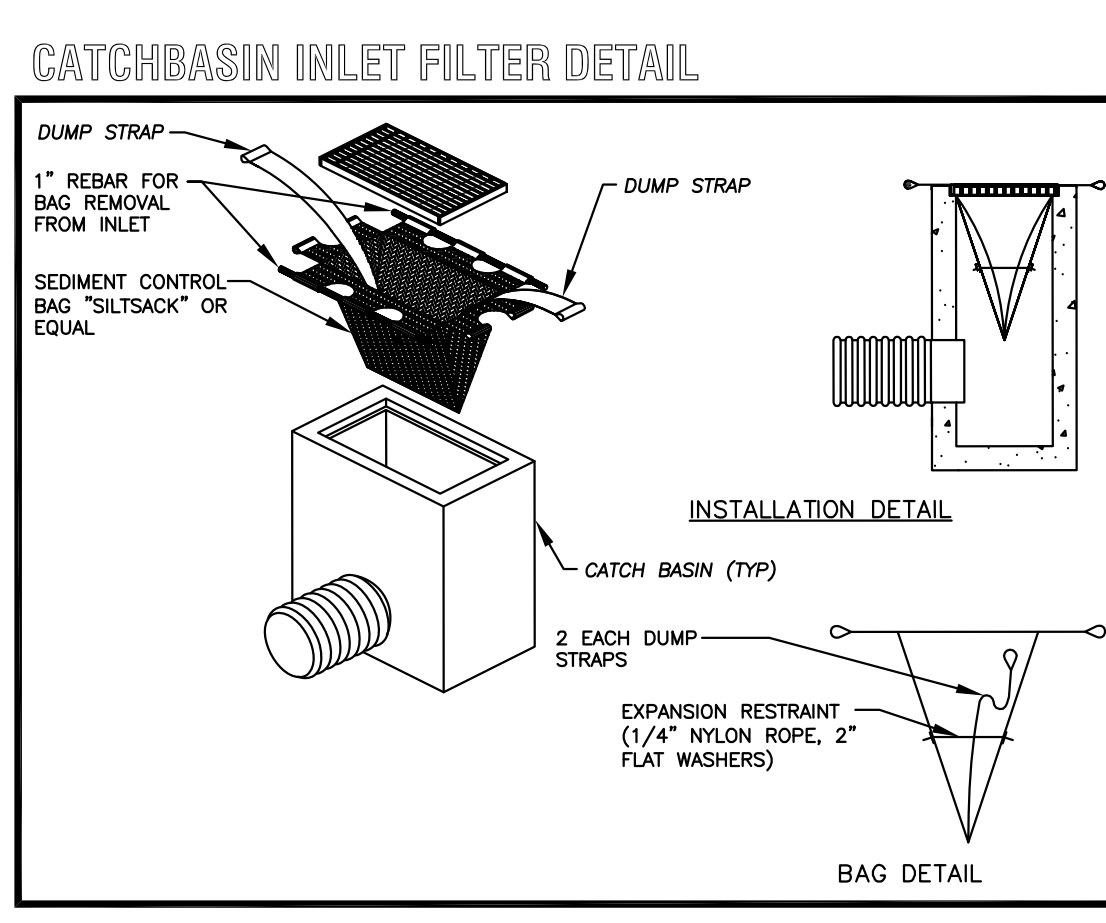


No.	Revision/Issue	Date
	Final P.U.D. Submittal	10.22.2019
	P.U.D. Resubmittal #4	04.26.2019
	P.U.D. Resubmittal #3	02.25.2019
	P.U.D. Resubmittal #2	02.28.2019
	P.U.D. Resubmittal #1	10.23.2018
	P.U.D. Submittal	08.27.2018

1 Soil Erosion and Sedimentation Control Plan
SCALE: 40' = 1"



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- OAKLAND COUNTY GENERAL NOTES**
1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE OAKLAND COUNTY DRAIN COMMISSIONER.
 2. ALL TEMPORARY AND PERMANENT (POST CONSTRUCTION) SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONFORM TO THE CITY OF ROCHESTER HILLS CURRENT MSA PERMIT. ANY CONFLICT BETWEEN THESE STANDARDS AND THE MSA PERMIT, THE PERMIT'S CONDITIONS SHALL TAKE PRECEDENCE.
 3. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR THE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND ANY NECESSARY SHALL BE PERFORMED WITHOUT DELAY.
 4. ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS.
 5. CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS.
 6. STAGING THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED IN THESE PLANS AND REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
 7. SOIL EROSION CONTROL PRACTICES SHALL BE ESTABLISHED IN THE EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
 8. FAILURE OF COMPLY WITH APPROVED SOIL EROSION AND SEDIMENTATION MEASURES MY RESULT IN WORK STOPPAGE BY APPROPRIATE AUTHORITY.
 9. EXCEPTIONS TO TIMING OF CONTROL MEASURES' INSTALLATION WILL ONLY BE PERMITTED WHERE TREES AND STUMPS NEED TO BE REMOVED TO INSTALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES.
 10. CONTRACTOR IS TO PROVIDE THE CITY WITH PERMIT RENEWALS, VIOLATION CORRECTIONS, AND/OR RELEASES.

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Rochester Hills, MI 48307
P.U.D. Review

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Soil Erosion Plan

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