

- GENERAL NOTES:**
- ALL EXTERIOR LIGHTING SHALL BE SHIELDED AND DIRECTED AWAY FROM ADJACENT PROPERTIES.
  - ALL TRASH RECEPTACLES SHALL BE SCREENED BY MASONRY WALLS TO MATCH REAR BUILDING WALLS AND HAVE SOLID WOOD GATES. THIS SCREENING SHALL BE AT LEAST SIX FEET IN HEIGHT OR THE MINIMUM HEIGHT OF THE STORAGE RECEPTACLES AND MEET ALL ORDINANCE REQUIREMENTS.
  - TRANSFORMERS SHALL BE LOCATED BEHIND THE BUILDING AS INDICATED ON THE SITE PLAN AND SHALL BE SCREENED USING LANDSCAPING. THE SCREENING SHALL MEET ALL ORDINANCE REQUIREMENTS.
  - ASPHALT SURFACING SHALL BE USED FOR ALL PARKING AREAS AND DRIVEWAYS, AND SHALL MEET ALL ORDINANCE REQUIREMENTS.
  - ALL BUILDING AND SITE SIGNAGE SHALL BE SUBMITTED FOR REVIEW AT A LATER DATE AND WILL BE IN CONFORMANCE WITH THE CITY OF ROCHESTER HILLS REQUIREMENTS AND A SEPARATE SIGN PERMIT WILL BE OBTAINED FROM THE BUILDING DEPARTMENT. BARRIER FREE RAMP WILL BE PROVIDED AT ALL SIDEWALK APPROACHES.
  - ALL ROOF TOP MECHANICAL EQUIPMENT WILL BE SCREENED BY BUILDING PARAPET WALLS.
  - TYPICAL PARKING SPACE SIZE IS 10'x18', WITH A MINIMUM 24' WIDE AISLE.
  - TYPICAL BARRIER FREE PARKING SPACE DIMENSION IS 8'x18' WITH EITHER A 5'x18' ACCESS SPACE BETWEEN OR A 8'x18' VAN ACCESSIBLE SPACE BETWEEN PER THE "MICHIGAN BARRIER FREE DESIGN MANUAL". ALL B.F. SPACES SHALL BE MARKED WITH AN ABOVE GRADE SIGN.
  - THE SITE PLAN SHALL BE SUBJECT TO WRITTEN APPROVAL BY THE CITY'S FIRE MARSHALL.
  - THE SITE PLAN SHALL BE SUBJECT TO WRITTEN APPROVAL BY THE CITY'S ENGINEER.
  - FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100' APART (NO STOPPING, STANDING, PARKING, FIRE-LANE) AND IN CONFORMANCE WITH THE "MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". (FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 506)
  - ALL PORTIONS OF A BUILDING SHALL BE WITHIN 150' OF AN APPROVED FIRE DEPARTMENT ACCESS ROAD.
  - FIRE DEPARTMENT ACCESS ROADS SHALL BE A MINIMUM 20' WIDE AND PAVED. FDC'S SHALL NOT BE OBSURED OR OBSTRUCTED BY LANDSCAPING, PARKING, OR BY ANY OTHER PERMANENT OR TEMPORARY MATERIALS OR DEVICE. THEY SHALL BE LOCATED ON THE STREET FRONT OF THE BUILDING AND WITHIN 100' OF A FIRE HYDRANT AND WITHIN 50' OF AN APPROVED FIRE ACCESS ROAD. (FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 912.7 AND SECTION 58-90).
  - EXIT DOORS SHALL REMAIN FREE OF OBSTRUCTIONS AT ALL TIMES. PROVIDE GUARD POSTS OR OTHER ACCEPTABLE MEANS OF PROTECTING EXIT DOORS ONTO DRIVES AND PARKING AREAS. (IFC 2006 SECTION 1028.2).
  - OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. (FIRE PREVENTION ORDINANCE CHAPTER 58, SECTIONS 307.6.2 AND 307.6.2.3).
  - CONSTRUCTION SITE SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14, THIS INCLUDES MAINTAINING FIRE DEPARTMENT ACCESS ROADS AND FIRE HYDRANTS OPERATIONAL PRIOR TO BUILDING CONSTRUCTION. ALL FIRE HYDRANTS WILL BE OPERATIONAL PRIOR TO BUILDING CONSTRUCTION BASED ON THE IFC 2006.
  - FIRE HYDRANT REQUIREMENTS WILL BE BASED ON CONSTRUCTION TYPE AND SQUARE FOOTAGE OF THE BUILDING.
  - DIMENSIONS FOR PARKING SPACES AND MANUEVERING LANES ARE MEASURED FROM THE FACE OF CURB.
  - THERE WILL BE NO INDUSTRIAL WASTE OR PROPANE TANKS LOCATED ON-SITE.
  - ALL CURBED PARKING LOT ISLANDS SHALL BE 2'-3" SHORTER THAN THE ADJACENT PARKING SPACES AND DRIVEWAYS.
  - SEE PHOTOMETRIC PLAN FOR EXACT LOCATION OF PROPOSED LIGHT POLES.
  - ACCESS TO PROPOSED CONSTRUCTION SITE SHALL BE PROVIDED AND MAINTAINED FROM ROCHESTER ROAD.
  - ALL HANDICAP SPACES ARE TO RECEIVE A HANDICAP SIGN AND HANDICAP SYMBOL PAINTED ON THE ASPHALT. THE STALL ADJACENT TO AN 8' STRIPED AISLE IS TO RECEIVE A "VAN ACCESSIBLE" SIGN.
  - HANDICAP RAMPS TO HAVE A MAXIMUM 1:12 SLOPE AND MUST BE CONSTRUCTED PER ADA AND MICHIGAN BARRIER FREE STANDARDS.
  - A "KNOX" KEY SYSTEM SHALL BE INSTALLED IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE FROM THE FIRE DEPARTMENT. (IFC 2006 SECTION 506).

**BUILDING CODE COMPLIANCE:**

BUILDING CODE: 2009 MICHIGAN BUILDING CODE

- AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM IS NOT PROVIDED.
- THE BUILDING CONSTRUCTION CLASSIFICATION WILL BE TYPE V-B (TABLE 601)
- THE BUILDING USE WILL BE A2.

**PARKING / BUILDING DATA:**

ZONING: B-2 (GENERAL BUSINESS) USING THE FLEX BUSINESS 1 OVERLAY OPTION  
BUILDING AREA: 1,393 SF (PROPOSED TIM HORTON'S)

**PARKING REQUIRED:**  
1 SPACE PER 400 S.F.  
1,393 SF/400 = 3.48, 4 SPACES REQUIRED MINIMUM  
MAXIMUM PARKING = 200% x 4 SPACES = 8 SPACES

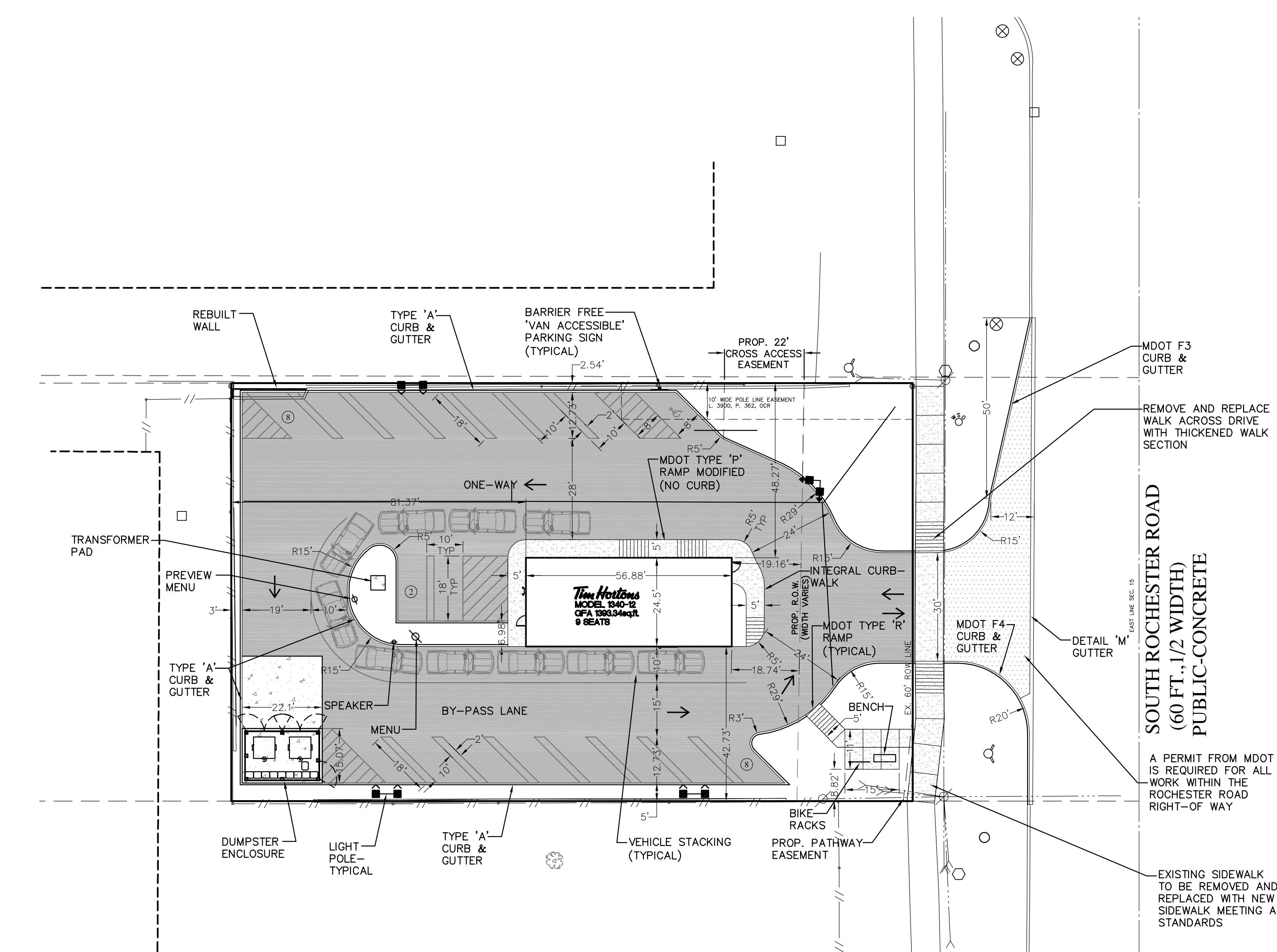
**PARKING PROVIDED:**  
18 SPACES  
BARRIER FREE SPACES: 1 SPACE  
REQUIRED: 1 SPACE  
PROVIDED: 1 SPACE (VAN ACCESSIBLE)

SETBACKS:	REQUIRED	PROVIDED
FRONT	15'-25'	19'
SIDE	0'	91' (TOTAL)
REAR	0'	81.37'

**BUILDING FRONTAGE:**  
REQUIRED = 40%  
A MODIFICATION OF THIS REQUIREMENT TO 21.3% IS REQUESTED.

**NOTE:**  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY
PER CITY COMMENTS	8/10/12	SRB									



**LEGEND**

EXISTING	PROPOSED
○ MANHOLE	● MANHOLE
□ CATCH BASIN	■ CATCH BASIN
◻ INLET	◻ INLET
○ CLEANOUT	○ CLEANOUT
△ END SECTION	△ END SECTION
▽ ROOF DRAIN	▽ ROOF DRAIN
⊗ GATE VALVE	⊗ GATE VALVE
⊙ HYDRANT	⊙ HYDRANT
⊕ WATER SHUT-OFF	⊕ WATER SHUT-OFF
⊖ UTILITY POLE	⊖ UTILITY POLE
⊙ GUY ANCHOR	⊙ GUY ANCHOR
⊙ LIGHT POLE	⊙ LIGHT POLE
⊙ SIGN	⊙ SIGN
⊙ TREE	⊙ TREE REMOVAL
— TREE LINE	— SANITARY SEWER
— SANITARY SEWER	— STORM SEWER
— GAS MAIN	— WATER MAIN
— ELECTRIC CABLE	— CONTOUR MAJOR
— CONTOUR MAJOR	— CONTOUR MINOR
— CONTOUR MINOR	— PROPOSED GRADE
○ SPOT ELEVATION	○ SPOT ELEVATION

T/C = TOP OF CURB  
T/W = TOP OF WALK  
T/P = TOP OF PAVEMENT  
G = GROUND  
GU = GUTTER  
FG = FINISH GRADE  
FF = FINISH FLOOR

**GENERAL NOTES:**

- ALL PROPOSED DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS NOTED OTHERWISE.

**PAVEMENT SPECIFICATIONS:**

**REGULAR DUTY ASPHALT:**  
2.0" M.D.O.T. HMA 4C, 20AA  
2.0" M.D.O.T. HMA 3C, 20AA  
6" 21AA AGGREGATE BASE  
(COMPACTED TO 95% MAX. UNIT DENSITY)

**CONCRETE SIDEWALK:**  
4" (3500 PSI) CONCRETE  
ON 6" SAND BASE  
(COMPACTED TO 95% MAX. UNIT DENSITY)

(THICKENED SIDEWALK TO BE 6" CONCRETE ON 6" SAND BASE)

**CONCRETE DUMPSTER PAD:**  
6" REINFORCED CONCRETE  
6" 21AA AGGREGATE BASE  
(COMPACTED TO 95% MAX. UNIT DENSITY)

**CONCRETE ENTRANCE:**  
8" (3500 PSI) CONCRETE  
4" 21AA AGGREGATE BASE  
(COMPACTED TO 95% MAX. UNIT DENSITY)

(PAVEMENT SECTIONS SUBJECT TO RECOMMENDATION OF A QUALIFIED GEOTECHNICAL ENGINEER)

**CURB DETAILS:**

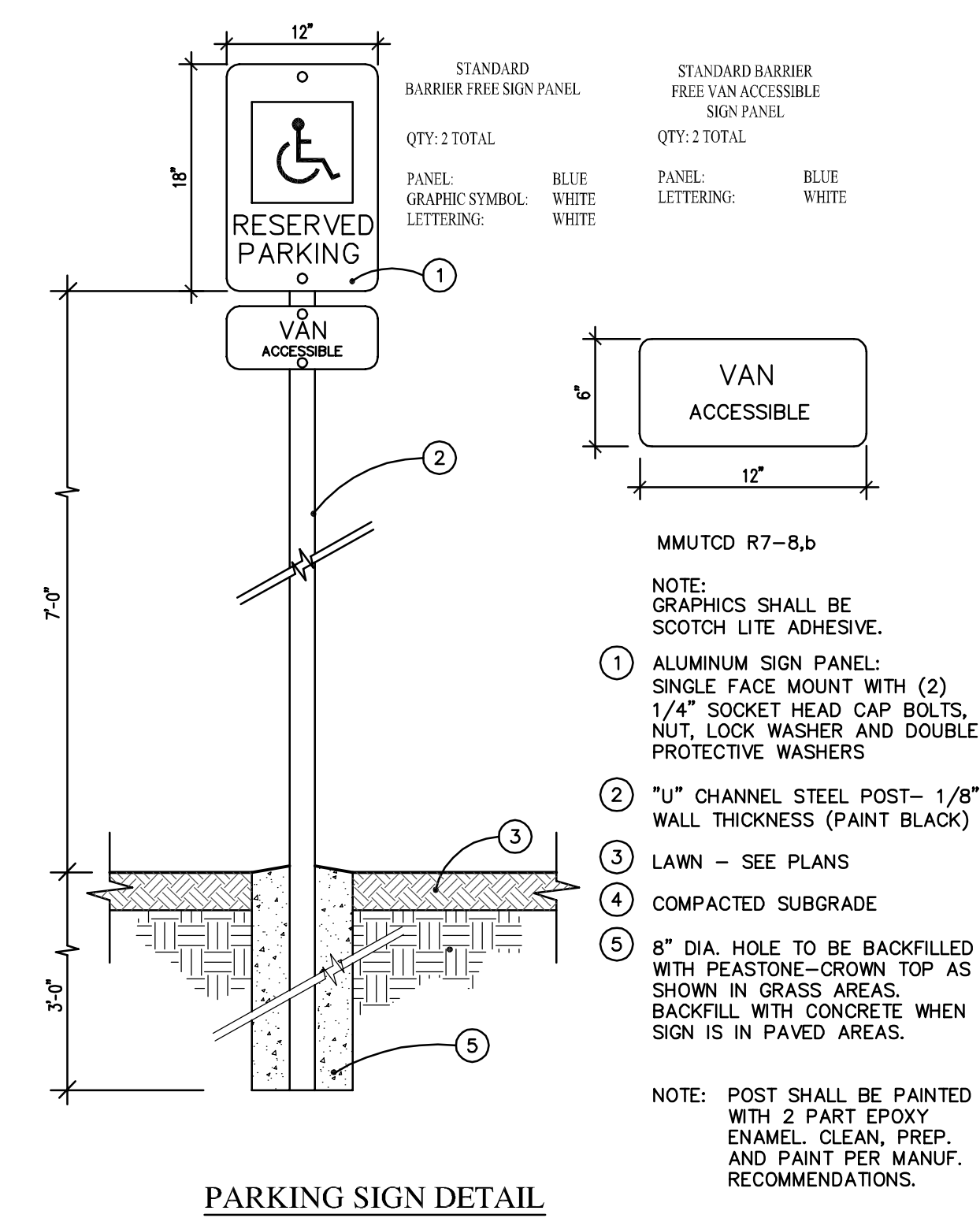
**TYPE "A"**  
NO SCALE  
(FOR USE AROUND PARKING LOT PERIMETER AND DRIVES)

**INTEGRAL CURB-WALK DETAIL**  
NO SCALE

**MDOT TYPE "F-3 AND F-4"**  
NO SCALE  
(FOR USE IN RIGHT-OF-WAY)

**CONCRETE DRIVEWAY OPENING - DETAIL M**  
NO SCALE

DETAIL	DIMENSION	LANE TIES	CONCRETE
F1	17'-6"	1/2" AS SHOWN	0.0484
F2	11'-6"	1/2" OMITTED	0.0484
F3	2'-0"	1 1/2" AS SHOWN	0.0610
F4	2'-0"	1 1/2" OMITTED	0.0610
F5	2'-0"	1 1/2" AS SHOWN	0.0797
F6	2'-0"	1 1/2" OMITTED	0.0797



NOT FOR CONSTRUCTION  
CITY FILE NO. 12-008

**DIMENSION AND PAVING PLAN**  
TIM HORTON'S  
ROCHESTER HILLS, MICHIGAN

DATE: 6/9/12  
SCALE: HOR: 1" = 20'  
VER: 1" = N/A

DESIGNED BY: SRB  
JOB NO.: 12109

DRAWN BY: SRB  
SHEET: SP-3

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**ZEMET WOZNIAK & ASSOCIATES**  
Civil Engineers & Land Surveyors  
55800 GRAND RIVER AVE., SUITE 100  
NEW HUDSON, MICHIGAN 48166  
P: (248) 437-5099 F: (248) 437-5222 www.zemetwozniak.com

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