

DATE: August 5, 2010

Public
Services

Don Harning, Engineering Aide

D. H.

TO: Derek Delacourt
Planning Department

RE: Rochester Meadows
City File #99-011, Section 23
Final Preliminary Plat Review #2

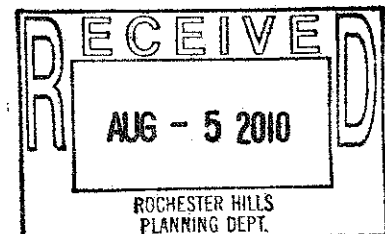
Engineering Services has reviewed the revised final preliminary plat for the above referenced project, as prepared by A R Decker & Associates, dated June 17, 2010 and received by the Planning Dept. on June 22. In addition to the easement discrepancies mentioned in Michael Taunt's memo dated August 2, 2010, there are several minor details that have been addressed in the approved construction plans.

1. Storm Catch Basin 11P is called out on sheet SP-2 between lots 32 and 33, but not shown on this sheet, nor on sheets SP-1, SP-6, and L-1.
2. The common lot line between lots 18 and 19 is incorrectly noted as a "Prop. Storm" line on sheets SP-1 and SP-2.
3. The total off-site drainage acreage on the east side of this project area appears to be a little off from the approved construction plans total.

These deficiencies can be corrected at the time of the final plat.

CC: Paul Davis; DPD
Tracey Balint; DPS
Paul Shumajko; DPS
Roger Moore; DPS
Mike Taunt; DPS
Adele Swann; DPS
Sheryl McIsaac; DPS
Sandi DiSipio; Planning Dept.
File

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CITY OF ROCHESTER HILLS

Public
Services

Michael Taunt, Survey Tech
Ext. 2491

DATE: Aug. 2, 1010

TO: Derek Delacourt

RE: Rochester Meadows
City File # 99-011
Section 23 NE 1/4

I have reviewed the revised tentative preliminary plat for the above named project received June 22, 2010

Comments

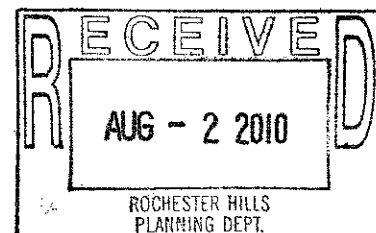
Remove gap in property line at the east side of the open space at the southeast corner of Avon Road and Queensboro Drive. Change line style of future driveway to avoid confusion with property lines.

Add or revise easements to accommodate revised location of storm, sanitary and water structures. Revise building envelopes to prevent encroachments on easements.

Extend storm easement on line common to lots 1 and 2 to east property line to accommodate stub.

A rigorous geometry review will be done when the final plat is submitted.

These deficiencies are minor and can be corrected at the time of the final plat.



CITY OF ROCHESTER HILLS

Parks and Forestry

Gerry Lee, Forestry Operations Mgr.
Ext. 2551

DATE: May 10, 2010

TO: Derek Delacourt

RE: Rochester Meadows Subdivision
Review #1, File #99-011

Schematic Landscaping Plan, Sheet L-2

The evergreen trees planted along the Avon Rd. asphalt pathway are located less than the minimum 10 ft. from the edge of the pathway. Please show these trees planted at least 10 ft. from the pathway.

Landscape Technical Specifications, Sheet L-6

A statement needs to be added that: The City of Rochester Hills does not authorize the removal of any off-site trees without the written, dated, and notarized consent of the property owner.

The applicant needs to provide a statement that indicates that the specifications contained in the *ANSI A300 (Part 6) – 2005: Transplanting* will be followed when transplanting trees on site.

Forestry recommends that a cash bond be required for the transplanted trees. Upon reviewing the trees proposed for transplanting in the Tree Schedule, it is likely that most of them will not survive transplanting. The cash bond should be in the amount of \$11,058. This is the amount the applicant has committed to based upon the Letter of Warranty dated 2/2/07.

GL/kd

CITY OF ROCHESTER HILLS

DATE: July 13, 2010

Building
Department

Dick Lange, P.E. Bldg. Insp./Plan Reviewer *D. L.*
Mark McLocklin, Ordinance Inspector *m m*

TO: Derek Delacourt, Planning

RE: Rochester Meadows LLC
Review #2
City File #99-011

Sidwell #15-23-201-006, 010, 011, 012

The site plan review for Rochester Meadows LLC #2, City File #99-011 was based on the following drawings and information submitted:

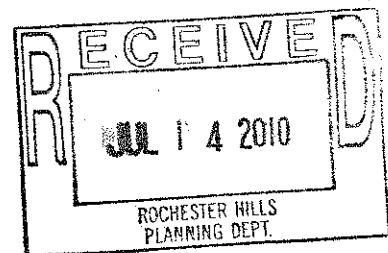
Sheet No. SP-1 thru SP-6, L-1 thru L-6

Building code comments: Dick Lange
References are based on the Michigan Residential Code 2006.

No Comments

Ordinance comments: Mark McLocklin

No comments



CITY OF ROCHESTER HILLS

DATE: July 6, 2010

Fire
Department

TO: Planning Department

RE: Rochester Meadows Subdivision

Lt. William Cooke, Ext. 2703

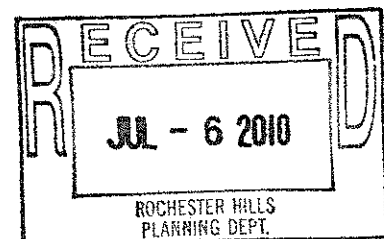
FILE NO: 99-011 REVIEW NO: 2

APPROVED **X**

DISAPPROVED _____

Lt. William Cooke
Fire Inspector

I:\FPB\Plan Review\Rochester Meadows Subdivision 20102





QUALITY LIFE THROUGH GOOD ROADS:
ROAD COMMISSION FOR OAKLAND COUNTY
"WE CARE"

February 19, 2010

ROCHESTER MEADOWS LLC
11684 MAJESTIC CT
SHELBY TWP., MI 48315

Board of Road Commissioners

*Gregory C. Jamian
Commissioner*

*Richard G. Skarritt
Commissioner*

*Eric S. Wilson
Commissioner*

*Brent O. Bair
Managing Director*

*Dennis G. Kolar, P.E.
Deputy Managing Director
County Highway Engineer*

RE: Application Number 2800250

Dear Mr. Rathka:

Your application for a permit has been approved. Prior to issuing a permit, the attached requirements must be met by you or your contractor. If the proposed work will be conducted by a contractor you hire, please provide them with the attached requirement sheet and bond form. The permit will be issued in the contractor's name.

The items required prior to permit issuance must be delivered **IN PERSON** by someone authorized to sign the permit on you or your contractor's behalf. Failure to satisfy these requests will delay permit issuance.

Thank you for your cooperation regarding this matter. If you have any questions, please feel free to contact the Permits and Environmental Concerns Department at (248) 858-4835.

Sincerely,

Leroy B. Liston, III, P.E.
Permit Engineer

Permits and
Environmental
Concerns Dept.

2420 Pontiac Lk.Rd.
Waterford, MI
48328

248-858-4835

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Enclosures