

AutoZone

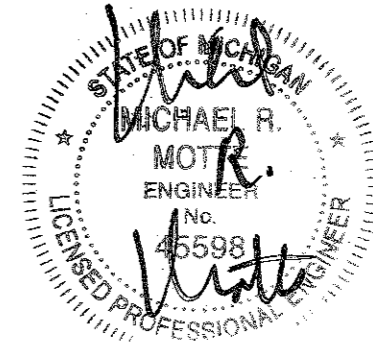
AutoZone Store Development Preliminary Site Plan

for:

AutoZone Store No. 4319

934 E. AUBURN ROAD

ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN 48307



PROPERTY OWNER
JARNA DEVELOPMENT, LLC
C/O: JAMES ALLEN
PO BOX 1733
TROY, MI 48099
(248) 683-0030

ROCHESTER HILLS CITY PLANNER
MR. ED ANZEK
PLANNING DEPARTMENT DIRECTOR
1000 ROCHESTER HILLS DRIVE
ROCHESTER HILLS, MI 48309
(248) 658-4600

SANITARY SEWER
CITY OF ROCHESTER HILLS
ENGINEERING AND WATER DEPARTMENT
1000 ROCHESTER HILLS DRIVE
ROCHESTER HILLS, MI 48309
(248) 658-4585

LEGAL DESCRIPTION:

THIS SURVEY DESCRIBES THE PARCEL AS DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER NUS04484, BEARING AN EFFECTIVE DATE JANUARY 27, 2010.

PART OF THE NORTHEAST 1/4 OF SECTION 35, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION; THENCE S87°48'57"W ALONG THE NORTH SECTION LINE A DISTANCE OF 391.60 FEET (RECORDED AS S87°06'50"W); THENCE S02°34'12"E A DISTANCE OF 33.00 FEET TO THE NORTHWEST CORNER OF LOT 1, "SUPERVISOR'S AVON TWP PLAT No. 7 A RESUBDIVISION OF LOTS 53 AND 54 OF BROOKLANDS" AS RECORDED IN LIBER 12 OF PLATS, PAGE 59, OAKLAND COUNTY RECORDS AND POINT OF BEGINNING; THENCE N87°48'57"E ALONG THE NORTH LINE OF SAID LOT 1 A DISTANCE OF 200.00 FEET (RECORDED AS N87°06'50"E); THENCE PARALLEL WITH THE EAST LINE OF SAID LOT 1 S02°34'12"E A DISTANCE OF 205.09 FEET (RECORDED AS S02°30'00"W); THENCE S87°48'57"W A DISTANCE OF 200.00 FEET (RECORDED AS S87°06'50"W) TO THE WEST LINE OF SAID LOT 1; THENCE N02°34'12"W ALONG SAID WEST LOT LINE A DISTANCE OF 205.00 FEET (RECORDED AS N02°30'00"W) TO THE POINT OF BEGINNING. CONTAINS 41,017 SQUARE FEET OR 0.9418 ACRES. SUBJECT TO ANY EASEMENTS, RESTRICTIONS, AND RIGHTS OF WAY OF RECORD, IF ANY.

Project Notes:

- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE(S) "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 26125C0413F, WHICH BEARS AN EFFECTIVE DATE OF 09/29/08 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE TO AVOID DAMAGE TO ANY UTILITY SERVICE OR UTILITY STRUCTURE SERVING ADJACENT USERS. THE CONTRACTOR SHALL REPAIR / REPLACE DAMAGES IMMEDIATELY AT NO COST TO THE OWNER.
- FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART, -NO STOPPING, STANDING, PARKING, FIRE LANE-, AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 508
- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2008 CHAPTER 14.
- OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 307.6.2 & 307.6.2.3
- LAYOUT IS BASED UPON TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTIONS, EXISTING UTILITIES, SITE TOPOGRAPHY, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS PREPARED BY: LANDTECH PROFESSIONAL SURVEYING & ENGINEERING JOB # 1050234, SHEET S-1 DATED 4-12-10

ATWELL, L.L.C. SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.

APPLICANT / DEVELOPER / LESSEE

AUTOZONE, INC.
C/O: WADE DAVIS
123 S. FRONT STREET,
DEPT. 8320 MEMPHIS,
TENNESSEE 38103
(901) 485-8701

ARCHITECT
AUTOZONE, INC.
C/O: LOU ELLIS
123 S. FRONT STREET,
DEPT. 8320 MEMPHIS,
TENNESSEE 38103
(901) 495-8707

CIVIL ENGINEER
ATWELL-LLC
C/O: MICHAEL MOTTE
TWO TOWN SQUARE
SUITE 700
SOUTHFIELD, MI 48076
(248) 447-2000

MUNICIPAL ENGINEER

MR. PAUL DAVIS, PE
DIRECTOR OF ENGINEERING
1000 ROCHESTER HILLS DRIVE
ROCHESTER HILLS, MI 48309
(248) 658-4600

ENTRANCE (E. AUBURN RD. ROW)

MS. STACEY GOUGH
MICHIGAN DEPT. OF TRANSPORTATION
OAKLAND TSC
800 VANGUARD DRIVE
PONTIAC, MI 48341
(248) 451-2453

EROSION CONTROL

MR. RICK DEVISCH
OAKLAND COUNTY WATER RESOURCES
COMMISSIONER'S OFFICE
ONE PUBLIC WORKS DRIVE
WATERFORD, MI 48328
(248) 858-4939

MS. KELLY FLOEHN
MICHIGAN DEPARTMENT OF ENVIRONMENTAL
QUALITY
WATER BUREAU - 2ND FLOOR NORTH
525 WEST ALLEGAN
LANSING, MI 48908
(517) 335-4137

WATER

CITY OF ROCHESTER HILLS
ENGINEERING AND WATER DEPARTMENT
1000 ROCHESTER HILLS DRIVE
ROCHESTER HILLS, MI 48309
(248) 658-4585

ELECTRIC

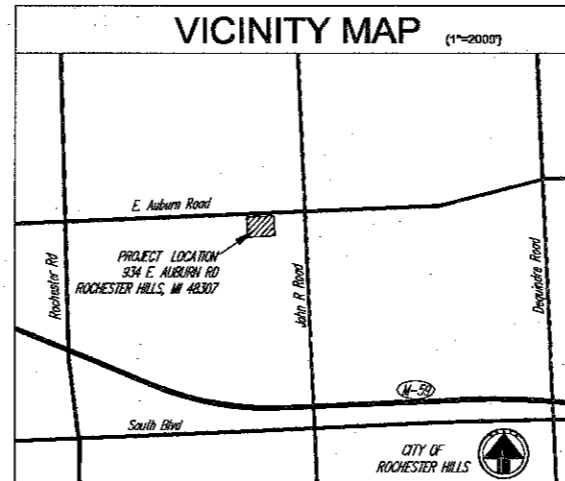
JULIE MARTELL
DETROIT EDISON
MACOMB SERVICE CENTER
16600 19 MILE ROAD
CLINTON TWP., MI 48038
(313) 235-8845

GAS

BHEGIN NTAGAZWA
CONSUMERS ENERGY
1030 FEATHERSTONE ROAD
PONTIAC, MI 48342
(248) 858-4458

TELEPHONE

CEPHUS CLEVELAND
AT&T
54 NORTH MILL STREET
PONTIAC, MI 48342
(248) 458-0842



SITE DATA

TOTAL SITE AREA (AC)	0.94
BUILDING AREA (SF)	6,848
FLOOR AREA RATIO	0.17
ZONING	B-2, PB-2 GENERAL BUSINESS AND FLEXIBLE BUSINESS OVERLAY
PARKING	
STANDARD SPACES	27
ACCESSIBLE SPACES	2
TOTAL ONSITE PARKING	29
PARKING RATIO	4.24
DISTURBANCE SUMMARY	
TOTAL DISTURBED AREA (SF)	38,082
TOTAL DISTURBED AREA (AC)	0.79
PRE-DEV. IMPERVIOUS (AC)	0
POST-DEV. IMPERVIOUS (AC)	0.62

COORDINATES
LATITUDE: 42°38'11.70"N
LONGITUDE: 83°08'46.80"W

SITE PRESENT USE DESCRIPTION
UNDEVELOPED, CLEARED WITH VEGETATION/GRASS COVER

PROPOSED USE DESCRIPTION
COMMERCIAL - RETAIL AUTOMOTIVE SUPPLIES

ASSOCIATED PLANS

- BUILDING ELEVATION
 - BUILDING FLOOR PLAN
- ASSOCIATED PLANS ARE PART OF THIS CONSTRUCTION SET. CONTRACTOR SHALL ENSURE HE/SHE HAS ALL SETS OF THE MOST CURRENT PLANS PRIOR TO CONSTRUCTION.

INDEX OF DRAWINGS

S0.0	COVER SHEET
S0.1	EXISTING CONDITIONS PLAN
S1.0	SITE LAYOUT PLAN
S1.1	UTILITY PLAN
S1.2	STORM DRAINAGE / GRADING PLAN
S1.3	LANDSCAPE PLAN
S1.4	SITE LIGHTING PLAN
S1.5	STANDARD CONSTRUCTION DETAILS
S1.6	STANDARD CONSTRUCTION DETAILS
S1.7	STANDARD CONSTRUCTION DETAILS



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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Owner:
AutoZone Inc.
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969

Prepared for: AutoZone Store Development
State No.: 4319

934 E. AUBURN ROAD
ROCHESTER HILLS, MI 48307

COVER SHEET



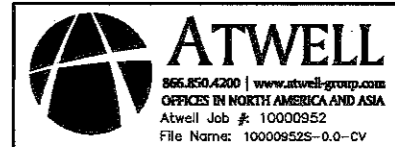
SCALE: 1" = 20'

REVISIONS

1.	Nov. 3, 2010
2.	
3.	
4.	
5.	
6.	
7.	
ENGINEER:	AS
DRAFTSMAN:	JK
CHECKED BY:	JK
DATE:	11/3/2010
PROTOTYPE SIZE:	65W2-RGHT

S0.0

CITY FILE # 00-041 - NOT FOR CONSTRUCTION



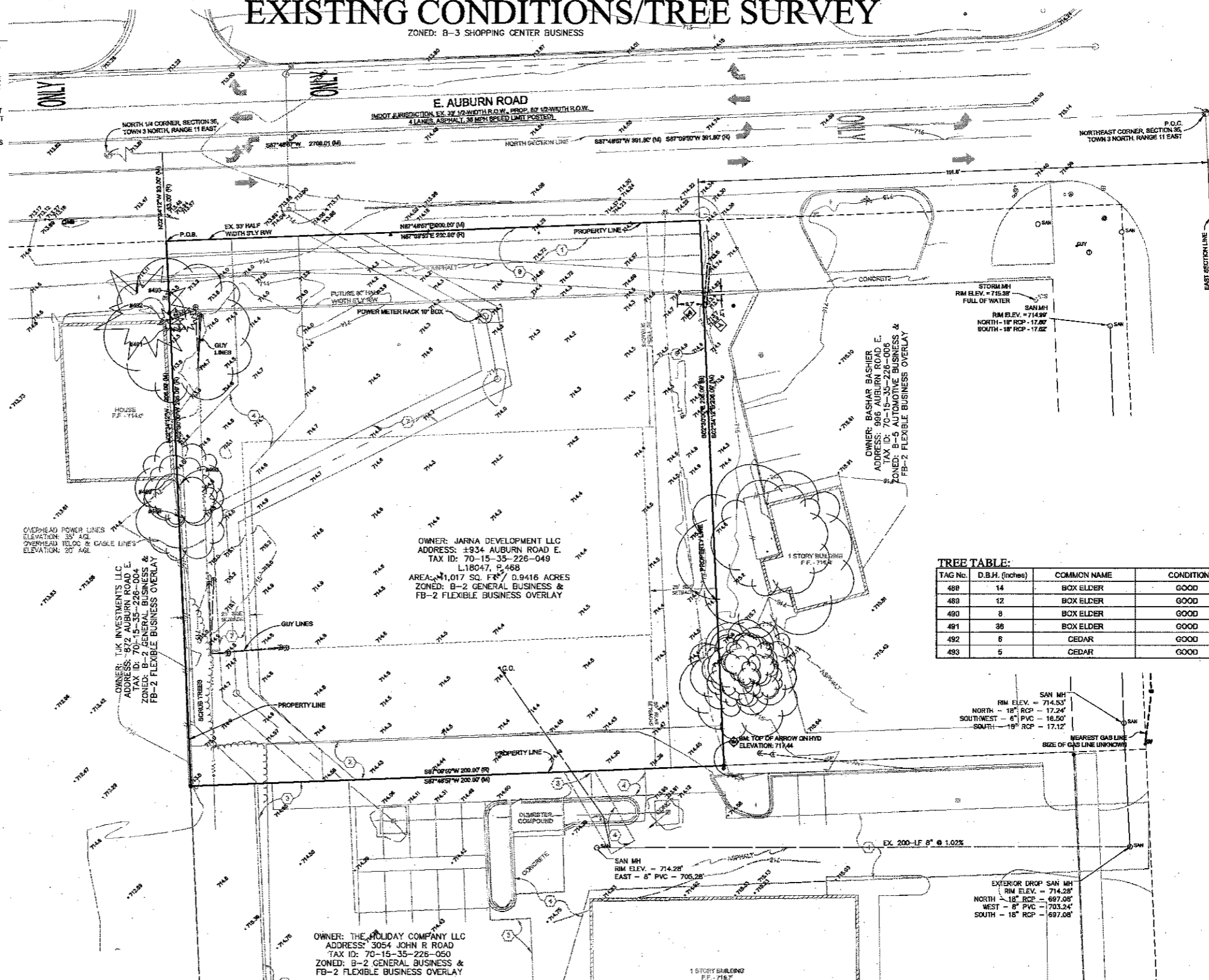
EXISTING CONDITIONS/TREE SURVEY

ZONED: B-3 SHOPPING CENTER BUSINESS

LEGAL DESCRIPTION:

THIS SURVEY DESCRIPTION DESCRIBES THE PARCEL AS DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER NU504464, BEARING AN EFFECTIVE DATE JANUARY 27, 2010.

PART OF THE NORTHEAST 1/4 OF SECTION 35, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION; THENCE S87°48'57"W ALONG THE NORTH SECTION LINE A DISTANCE OF 391.80 FEET (RECORDED AS S87°48'57"W); THENCE S02°34'12"E A DISTANCE OF 33.00 FEET TO THE NORTHWEST CORNER OF LOT 1, "SUPERVISOR'S AVON TWP PLAT No. 7 A RESUBDIVISION OF LOTS 53 AND 54 OF BROOKLANDS" AS RECORDED IN LIBER 12 OF PLATS, PAGE 58, OAKLAND COUNTY RECORDS AND POINT OF BEGINNING; THENCE N87°48'57"E ALONG THE NORTH LINE OF SAID LOT 1 A DISTANCE OF 200.00 FEET (RECORDED AS N87°48'57"E); THENCE PARALLEL WITH THE EAST LINE OF SAID LOT 1 S02°34'12"E A DISTANCE OF 225.09 FEET (RECORDED AS S02°34'12"E); THENCE S87°48'57"W A DISTANCE OF 200.00 FEET (RECORDED AS S87°48'57"W) TO THE WEST LINE OF SAID LOT 1; THENCE N02°34'12"W ALONG SAID WEST LOT LINE A DISTANCE OF 205.09 FEET (RECORDED AS N02°34'12"W) TO THE POINT OF BEGINNING, CONTAINS 41,017 SQUARE FEET OR 0.9416 ACRES. SUBJECT TO ANY EASEMENTS, RESTRICTIONS, AND RIGHTS OF WAY OF RECORD, IF ANY.



LEGEND

• IRON FOUND	(M) MEASURED	OPP POWER POLE
○ IRON SET	STORM MANHOLE	GUY GUY POLE
▲ P.K. NAIL FOUND	ROUND CATCH BASIN	○ LIGHT POLE
● P.K. NAIL SET	SQUARE CATCH BASIN	○ WATER WELL
⊙ MONUMENT FOUND	○ SANITARY MANHOLE	○ WATER VALVE
⊙ RECORD	○ GAS VALVE	○ TELEPHONE MANHOLE
⊙ HYDRANT	○ CLEAN OUT	○ TELEPHONE PEDestal
⊙ ELECTRIC TRANSFORMER	○ FLAG POLE	○ SIGN POST
○ ELECTRIC MANHOLE	○ FENCE LINE	○ POST
○ ELECTRIC METER	○ POWER LINE	
○ MONITORING WELL	○ GUY METER	
○ TREE TAG NUMBER		

SITE BENCHMARKS

1. TOP OF ARROW ON FIRE HYDRANT AT SOUTHEAST PROPERTY CORNER
ELEVATION = 717.44 (NAVD 88)
ADDITIONAL BENCHMARKS TO BE SET PRIOR TO THE START OF CONSTRUCTION

NOTE:
ADDITIONAL BENCHMARK(S) (U.S.G.S. DATUM) SHALL BE SET TO ENSURE A MINIMUM OF TWO (2) BENCHMARKS EXIST AT THE SITE AT ALL TIMES.

NOTES:

UNDERGROUND UTILITIES:
THE LOCATION OF ANY UNDERGROUND UTILITIES SHOWN ON THIS SURVEY DRAWING ARE APPROXIMATE ONLY.
ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/ACSM SPECIFICATIONS UNLESS OTHERWISE SHOWN.
NORTH SECTION LINE BEARING BASIS IS S87°48'57"W, BEARINGS ARE BASED ON TRUE NORTH AS DETERMINED BY GPS OBSERVATION.
SUBJECT PARCEL IS NOT USED AS A LANDFILL OF ANY NATURE.
THERE WAS NO EVIDENCE OF EARTHWORK AT TIME OF SURVEY.
SURVEYOR IS NOT AWARE OF ANY CURRENT OR FUTURE RIGHT OF WAY CHANGES.
SITE HAS DIRECT ACCESS TO AUBURN ROAD (PUBLIC). A CURB CUT WILL BE REQUIRED. SITE ALSO HAS INDIRECT ACCESS TO JOHN R ROAD (PUBLIC) UTILIZING AN ACCESS EASEMENT RECORDED IN LIBER 14561, PAGE 676.
ELEVATION OF THIS SURVEY ARE BASED USGS NAVD 1988 DATUM.

FLOOD ZONE:

By graphic plotting only, this property is in Zone(s) of the Flood Insurance Rate Map, Community Flood No. 282200412E, which bears an effective date of 09/29/06 and is NOT in a Special Flood Hazard Area.

ENCROACHMENT NOTE:

A. MUNICIPALITY'S ASPHALT WALKWAY ENROACHES SOUTHERLY AT NORTHEAST CORNER OF SUBJECT PROPERTY FROM 0.0 FEET EASTERLY TO 1.2 FEET OVER A DISTANCE OF 9.7 FEET.



Know what's below.
Call before you dig.

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NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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SCHEDULE B - EXCEPTION NOTES:

1. PEDESTRIAN-BICYCLE PATHWAY EASEMENT IN FAVOR OF CITY OF ROCHESTER HILLS, A MICHIGAN MUNICIPAL CORPORATION AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 9883, PAGE 514 AND LIBER 9883, PAGE 516. [THIS ITEM AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.]
2. TERMS AND CONDITIONS CONTAINED IN GRANT OF EASEMENT AND RESERVATION OF RIGHTS AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 13332, PAGE 711. [THIS ITEM AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.]
3. TERMS AND CONDITIONS CONTAINED IN EASEMENT AGREEMENT FOR PARKING AND REFUSE CONTAINER AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 13332, PAGE 719. [THIS ITEM AFFECTS ADJOINER'S PROPERTY BUT BENEFITS SUBJECT'S PROPERTY AND IS PLOTTED HEREON.]
4. TERMS AND CONDITIONS CONTAINED IN RECIPROCAL EASEMENT AGREEMENT FOR INGRESS AND EGRESS AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 13332, PAGE 727, AMENDED BY FIRST AMENDMENT TO RECIPROCAL EASEMENT AGREEMENT FOR INGRESS AND EGRESS, RECORDED IN LIBER 14561, PAGE 676. [THIS ITEM AFFECTS ADJOINER'S & SUBJECT'S PROPERTY AND IS PLOTTED HEREON.]
5. TERMS AND CONDITIONS CONTAINED IN AGREEMENT FOR MAINTENANCE OF STORM WATER RETENTION SYSTEM AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 13765, PAGE 543. [THIS ITEM IS NOT FULLY LEGIBLE IS UNABLE TO BE PLOTTED.]
6. GRANT OF EASEMENT IN FAVOR OF CITY OF ROCHESTER HILLS, A MUNICIPAL CORPORATION AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 13765, PAGE 553. [THIS ITEM AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.]

SCHEDULE B - EXCEPTION NOTES: (continued)

7. TERMS AND CONDITIONS CONTAINED IN UTILITY EASEMENT AGREEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 14561, PAGE 668. [THIS ITEM AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.]
8. TERMS AND CONDITIONS CONTAINED IN MEMORANDUM OF SIGN LICENSE AGREEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 14561, PAGE 682. [THIS ITEM AFFECTS THE ENTIRE PROPERTY AND IS BLANKET IN NATURE.]
9. HIGHWAY EASEMENT IN FAVOR OF CITY OF ROCHESTER HILLS, A MICHIGAN MUNICIPAL CORPORATION AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 39000, PAGE 131. [THIS ITEM AFFECTS SUBJECT PROPERTY AND IS PLOTTED HEREON.]
10. RIGHTS OF TENANTS, IF ANY, UNDER ANY UNRECORDED LEASES. [NO UNRECORDED LEASES PROVIDED.]

DRAWING NOTE:

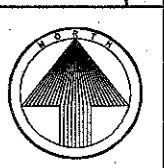
Survey information taken per ALTA survey performed by Landtech Professional Surveying & Engineering, Job No. 1050234, Sheet S-1, Dated 4-12-10. No guarantee can be made to the completeness, exactness or correctness of shown locations.

TREE TABLE:

TAG No.	D.B.H. (Inches)	COMMON NAME	CONDITION
488	14	BOX ELDER	GOOD
489	12	BOX ELDER	GOOD
490	8	BOX ELDER	GOOD
491	38	BOX ELDER	GOOD
492	6	CEDAR	GOOD
493	5	CEDAR	GOOD

Owner:
AutoZone Inc.
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969

Prepared for: **AutoZone Store Development**
Store No.: 4319
934 E. AUBURN ROAD
ROCHESTER HILLS, MI 48307



SCALE: 1" = 20'

REVISIONS

1.	Nov. 3, 2010
2.	
3.	
4.	
5.	
6.	
7.	

ENGINEER: AS
DRAFTSMAN: JK
CHECKED BY: JK
DATE: 11/3/2010
PROTOTYPE SIZE: 65W2-RGHT

S0.1

ATWELL
865.650.4200 | www.atwell-group.com
OFFICES IN NORTH AMERICA AND ASIA
Atwell Job #: 10000952
File Name: 10000952-01-EC

CITY FILE # 00-041 - NOT FOR CONSTRUCTION

GENERAL NOTES:

- PROPERTY LINE AND RIGHT-OF-WAY MONUMENTS SHALL NOT BE DISTURBED BY CONSTRUCTION. IF DISTURBED, THEY SHALL BE RESET TO THEIR ORIGINAL LOCATIONS AT THE CONTRACTOR'S EXPENSE BY A REGISTERED LAND SURVEYOR.
- PROOF ROLL BUILDING AND ALL PARKING AREAS. NOTIFY AUTOZONE INC. OF ANY UNACCEPTABLE AREAS.
- BUILDING DIMENSIONS SHOWN ON THE CIVIL ENGINEERING PLANS ARE FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL USE THE ARCHITECTURAL AND STRUCTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS, CURB AND GUTTER, STREET PAVING, CURB CUTS, DRIVEWAY APPROACHES, HANDICAP RAMPS, ETC. CONSTRUCTED OUTSIDE THE PROPERTY LINE IN THE RIGHT-OF-WAY SHALL CONFORM TO ALL MUNICIPAL AND/OR STATE SPECIFICATIONS AND REQUIREMENTS.
- ALL DISTURBANCE INCURRED TO ANY ADJOINING PROPERTY DUE TO CONSTRUCTION OR DEMOLITION SHALL BE RESTORED TO THE PREVIOUS CONDITION OR BETTER, AND TO THE SATISFACTION OF THE CITY OR STATE AUTHORITY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO AUTOZONE INC. AT THE END OF CONSTRUCTION.
- ALL SITE WORK AND GRADING OPERATIONS WITHIN THE LIMITS OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH ALL STATE, COUNTY, AND LOCAL JURISDICTIONAL ORDINANCES AND REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF STANDARD TRAFFIC CONTROL AND PROTECTION DEVICES TO INFORM AND PROTECT THE PUBLIC, IN COMPLIANCE WITH THE MUTCD AND STATE STANDARD TRAFFIC CONTROL AND PROTECTION SPECIFICATIONS. CONTRACTOR SHALL NOTIFY ENGINEER IF ASSISTANCE IS NEEDED IN DEVELOPMENT OF A TEMPORARY TRAFFIC CONTROL PLAN.
- CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THE SITE.
- ON SITE SOILS CONSIST OF SPINKS LOAMY SAND 0-6% SLOPES.
- ROOF TOP MECHANICAL EQUIPMENT REQUIRES SCREENING AND SHALL BE ARCHITECTURALLY COMPATIBLE WITH THE BUILDING DESIGN.
- FIRE LINES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART, NO STOPPING, STANDING, PARKING, FIRE LANE, AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 506
- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14
- OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 307.6.2 & 307.6.2.3
- ALL COMMERCIAL SIGNS (BUILDING & FREESTANDING) REQUIRE INDIVIDUAL PERMITS FROM THE BUILDING DEPARTMENT.

PARKING INFORMATION		
ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	N/A	6,846 SF
PARKING REQUIRED	1 SPACE PER EACH 300 SF OF GROSS FLOOR AREA; 20 REQUIRED	29 SPACES (4.24 RATIO)
MIN. PARKING DIM.	10 FT x 18 FT - WITH DOUBLE LINE STRIPING	10 FT x 18 FT - WITH DOUBLE LINE STRIPING
MIN. DRIVEWAY WIDTH	24 FT	24 FT
HANDICAP SPACES	2 SPACES	2 SPACES (VAN)
LOADING SPACE	NOT APPLICABLE	1 SPACE

REFERENCE IS MADE TO THE CITY OF ROCHESTER ZONING ORDINANCE

SITE BENCHMARKS

- TOP OF ARROW ON FIRE HYDRANT AT SOUTHEAST PROPERTY CORNER. ELEVATION = 717.44 (NAVD 85)
- ADDITIONAL BENCHMARKS TO BE SET PRIOR TO THE START OF CONSTRUCTION

LEGEND

- PROPERTY LINE
- EXISTING STORM SEWER
- EXISTING OVERHEAD ELECTRIC
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING TREE LINE
- EXISTING EASEMENT LINE
- EXISTING LIGHT POLE
- EXISTING GUY WIRE
- EXISTING UTILITY POLE
- EXISTING TRAFFIC DIRECTIONAL ARROWS
- EXISTING MAIL BOX
- EXISTING TREE

BULK AREA REQUIREMENTS

LOCATION: AUBURN ROAD, ROCHESTER, OAKLAND COUNTY		
ZONE: B2 - GENERAL BUSINESS & FB-2 - FLEXIBLE BUSINESS OVERLAY		
USE: RETAIL		
ITEM	REQUIREMENTS	PROVIDED
MINIMUM LOT AREA	None	41,017 S.F.
MINIMUM LOT FRONTAGE	None	200 FT
MINIMUM FRONT SETBACK	50 FT	78.75 FT
MINIMUM SIDE SETBACK	25 FT	25.55 FT
MINIMUM REAR SETBACK	50 FT*	28.02 FT
MAXIMUM BUILDING HEIGHT	2 STORIES (30 FT)	20 FT

REFERENCE IS MADE TO THE CITY OF ROCHESTER ZONING ORDINANCE
* REQUEST REDUCTION NOT LESS THAN 10 FT. ADJACENT REAR ZONING IS B DISTRICT.



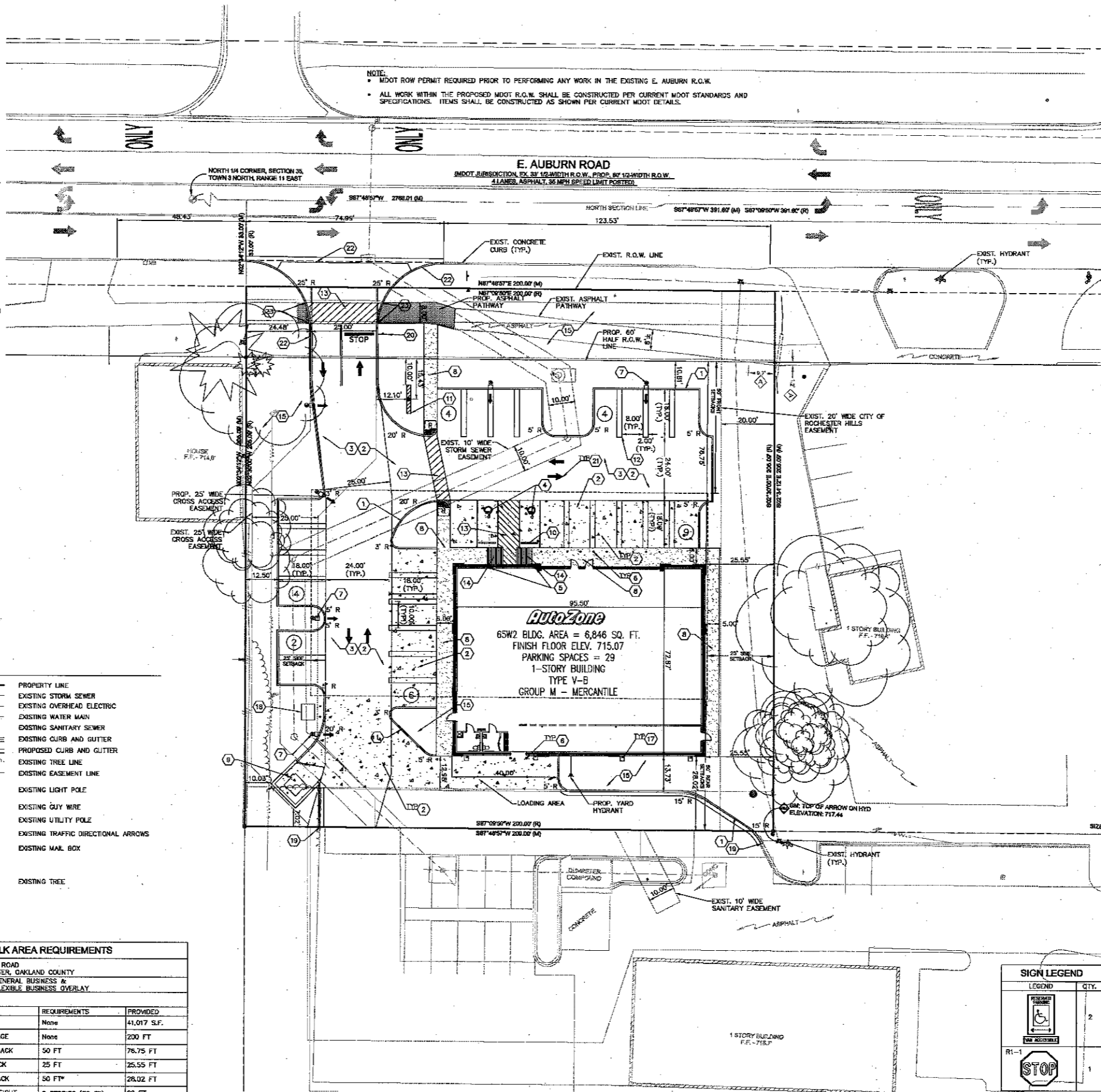
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

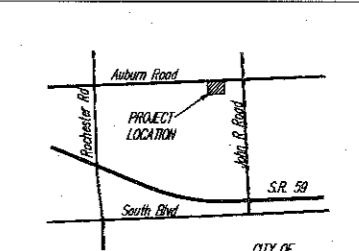
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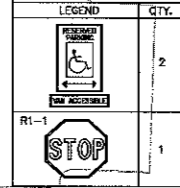
KEYNOTES

- Concrete curb - see details 1 & 2/S1.5
- Concrete paving - see detail 4/S1.5. Expansion and Control joints - see details 21 & 22/S1.5. Maximum spacing for Control joints is 15'-0" o.c. each way.
- C.C. to provide alternate bid for asphalt paving - see detail 5/S1.5
- Handicap parking area - see details 6 & 7/S1.5
- Handicap parking sign - see detail 12/S1.5
- Pipe guard - see details 14, 15 & 16/S1.5
- Concrete light pole base - see detail 13/S1.5. Locate 3'-0" from back of curb or sidewalk to center of base. Aim light fixture in direction as indicated.
- Concrete sidewalk - see detail 19 & 20/S1.5 for sidewalks around building.
- Dumpster layout - 6' high masonry enclosure w/ gates - see details 8, 9, 10 & 11/S1.5
- 6'-0" long concrete wheel stop, pinned to pavement - see detail 17/S1.5. Locate 2'-6" from face of curb or sidewalk.
- Proposed monument sign 2'x10'x7' high - See signage drawings (Under separate permit)
- 4" wide double parking stripe painted white (typ.)
- 4" wide diagonal stripes pointed white @ 2 ft. o.c.
- Concrete handicap ramp - maximum slope 1:12 (8.33%) (per A.D.A. requirements). Maximum cross slope 1:50 (2.00%)
- New landscape area - provide sod and 3" topsoil - see sheet L1.0 for additional information
- Slope grade from back of curb down to match the existing grade @ property line.
- Building down spouts (typ.) See grading plan for connection.
- 5' x 5' concrete pad
- Slope end of curb to match existing.
- Stop Sign (R1-1) - see detail 26/S1.5
- Pavement markings - see detail 24 & 25/S1.5
- New curb cut & approach per local codes & specs. (MDOT permit required)
- Curb cut and transition to zero curb

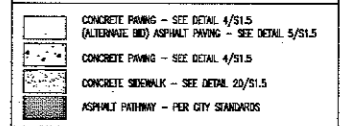
VICINITY MAP



SIGN LEGEND



PAVEMENT LEGEND



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OFFICES IN NORTH AMERICA AND ASIA
Atwell Job #: 10000952
File Name: 10000952-1-0-L

Owner: **AutoZone Inc.**
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969

Prepared for: **AutoZone Store Development**
Store No.: 4319

934 E. AUBURN ROAD
ROCHESTER HILLS, MI 48307

SITE LAYOUT PLAN

SCALE: 1" = 20'

REVISIONS

1.	Nov. 3, 2010
2.	
3.	
4.	
5.	
6.	
7.	

ENGINEER: AS
DRAFTSMAN: JK
CHECKED BY: JK

DATE: 11/3/2010
PROJECT SIZE: 65W2-RIGHT

S1.0

GENERAL UTILITY NOTES:

1. ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS ONLY AND HAVE BEEN COMPILED FROM THE LATEST AVAILABLE MAPPING. THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. GENERAL CONTRACTOR TO COORDINATE WITH THE LOCAL UTILITY COMPANIES FOR ALL LOCATIONS AND CONNECTIONS. A PRECONSTRUCTION MEETING WITH THE VARIOUS UTILITY COMPANIES, IS REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT AUTOZONE IN THE EVENT OF ANY UNEXPECTED CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
4. THE CONTRACTOR SHALL INSURE THAT ALL UTILITY COMPANIES AND CITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTION, RELOCATIONS, INSPECTIONS, AND DEMOLITION. (AUTOZONE TO REIMBURSE GENERAL CONTRACTOR FOR ALL SANITARY SEWER AND WATER TAP FEES).
5. ALL VALVE BOXES AND CURB BOXES SHALL BE ADJUSTED TO THE FINAL GRADES. ALL CURB BOXES SHALL BE LOCATED IN GRASSED AREAS UNLESS INDICATED OTHERWISE ON THE PLANS.
6. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES UNLESS OTHERWISE SHOWN, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED. WHERE WATER LINE CROSSES SANITARY LATERAL BY LESS THAN 2' VERTICAL, A CONCRETE ENCASEMENT SHALL BE INSTALLED. CONTRACTOR SHALL CENTER ONE JOINT OF PIPE AT CROSSING.
7. THIS PLAN DETAILS PIPES UP TO 5' FROM THE BUILDING FACE REFER TO THE BUILDING DRAWINGS FOR BUILDING CONNECTIONS. SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY.
8. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT AND REPLACED IN ACCORDANCE WITH THE PAVEMENT REPAIR REQUIREMENTS OF THE GOVERNING AUTHORITY.
9. COPPER PIPE SHALL BE TYPE K TUBING WITH COMPRESSION FITTINGS.
10. ALL SANITARY SEWER MAIN LINES SHALL BE SCHEDULE 40 PVC PIPE (EXCEPT AS NOTED ON PLANS). ALL PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED PROCEDURE.

ADDITIONAL SITE UTILITY NOTES:

1. ALL ON-SITE WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT SPECIFICATIONS AND STANDARD DETAILS OF THE CITY OF ROCHESTER HILLS, UNLESS OTHERWISE SPECIFIED.
 2. DEPTH AND LOCATION OF SITE AND RIGHT-OF-WAY UTILITIES SHALL BE VERIFIED BY GENERAL CONTRACTOR AND/OR THE PROPER UTILITY COMPANY PROVIDING SERVICE.
- SITE DEVELOPMENT NOTES:**
1. MAINTAIN A MINIMUM 10'-0" HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN SANITARY, WATER, AND STORM UTILITY LINES. MEASUREMENTS SHALL BE TAKEN FROM THE NEAREST EDGE OF THE UTILITY IN QUESTION. MAINTAIN A MINIMUM 0.50' VERTICAL SEPARATION FOR FRANCHISE UTILITIES.
 2. DIMENSIONS SHOWN ARE TO THE CENTERLINE OF PIPE, STRUCTURE, OR FITTING.
 3. PROPOSED ELEVATIONS FOR STRUCTURES ARE: HYDRANT = BASE FLANGE, VALVE/MANHOLE/CLEANOUT = RIM, CATCH BASIN/INLET = FLOW LINE.
 4. ALL STRUCTURES AND UTILITY PIPES WITHIN THE INFLUENCE OF PAVED SURFACES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
 5. CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR DETERMINING DEFLECTION ANGLES AND LOCATION OF ALL VERTICAL BENDS IN THE WATER MAIN IN ACCORDANCE WITH CITY OF ROCHESTER HILLS STANDARDS FOR WATER MAIN CONSTRUCTION. ANY QUESTIONS OR CONFLICTS WITH OTHER UTILITIES IN THE CONSTRUCTION PLANS MUST BE PROVIDED TO THE DESIGN ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION.

FRANCHISE UTILITIES:

1. ELECTRICAL, GAS, TELEPHONE & CABLE SERVICES, ROUTINGS & STUB LOCATIONS TO BE COORDINATED BY THE CONTRACTOR WITH THE UTILITY PROVIDER.
- CITY OF ROCHESTER HILLS - STANDARD WATER MAIN NOTES:**
1. SEE ATTACHED CITY WATER MAIN STANDARD DETAILS FOR STANDARD WATER MAIN, VALVE AND SLEEVE, AND HYDRANT NOTES.
- CITY OF ROCHESTER HILLS - STANDARD SANITARY SEWER NOTES:**
1. SEE ATTACHED CITY SANITARY SEWER DETAILS FOR STANDARD SANITARY SEWER NOTES.
- ADDITIONAL SANITARY SEWER NOTES:**
1. ALL 6" SERVICE LEADS SHALL BE LAID AT A MINIMUM GRADE OF 1.20%.
 2. ALL SANITARY SEWERS SHALL HAVE A MINIMUM OF 4'-0" OF GROUND COVER.
 3. DIFFERENTIAL OF EXCAVATION AROUND EXISTING MANHOLES SHALL NOT EXCEED SIX (6) FEET.
- CITY OF ROCHESTER HILLS - STANDARD STORM SEWER NOTES:**
1. SEE ATTACHED CITY STORM SEWER DETAILS AND NOTES SHEETS FOR STANDARD STORM SEWER NOTES.
- ADDITIONAL STORM SEWER NOTES:**
1. ALL ROOF AND SUMP LEADS SHALL BE PVC, SDR 35, UNDERDRAIN SHALL BE IN ACCORDANCE WITH AASHTO M 522.
 2. ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST CONCRETE.
 3. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING REQUIREMENTS AND BE INSTALLED ACCORDINGLY.
 4. ALL COVERS FOR STORM SEWER STRUCTURES SHALL BE AS SPECIFIED ON THE CITY STORM SYSTEM STANDARD DETAILS. CONCRETE CURB SHALL BE MODIFIED IN AREA 35 TO ADJACENT TO CURB INFITS TO MATCH THE PROFILE OF THE STANDARD FRAME AND ADJACENT TO CURB INFITS TO MATCH THE PROFILE OF THE STANDARD FRAME AND

SITE BENCHMARKS

1. TOP OF ARROW ON FIRE HYDRANT AT SOUTHEAST PROPERTY CORNER
ELEVATION = 717.44 (NAD 88)
- ADDITIONAL BENCHMARKS TO BE SET PRIOR TO THE START OF CONSTRUCTION



Know what's below.
Call before you dig.

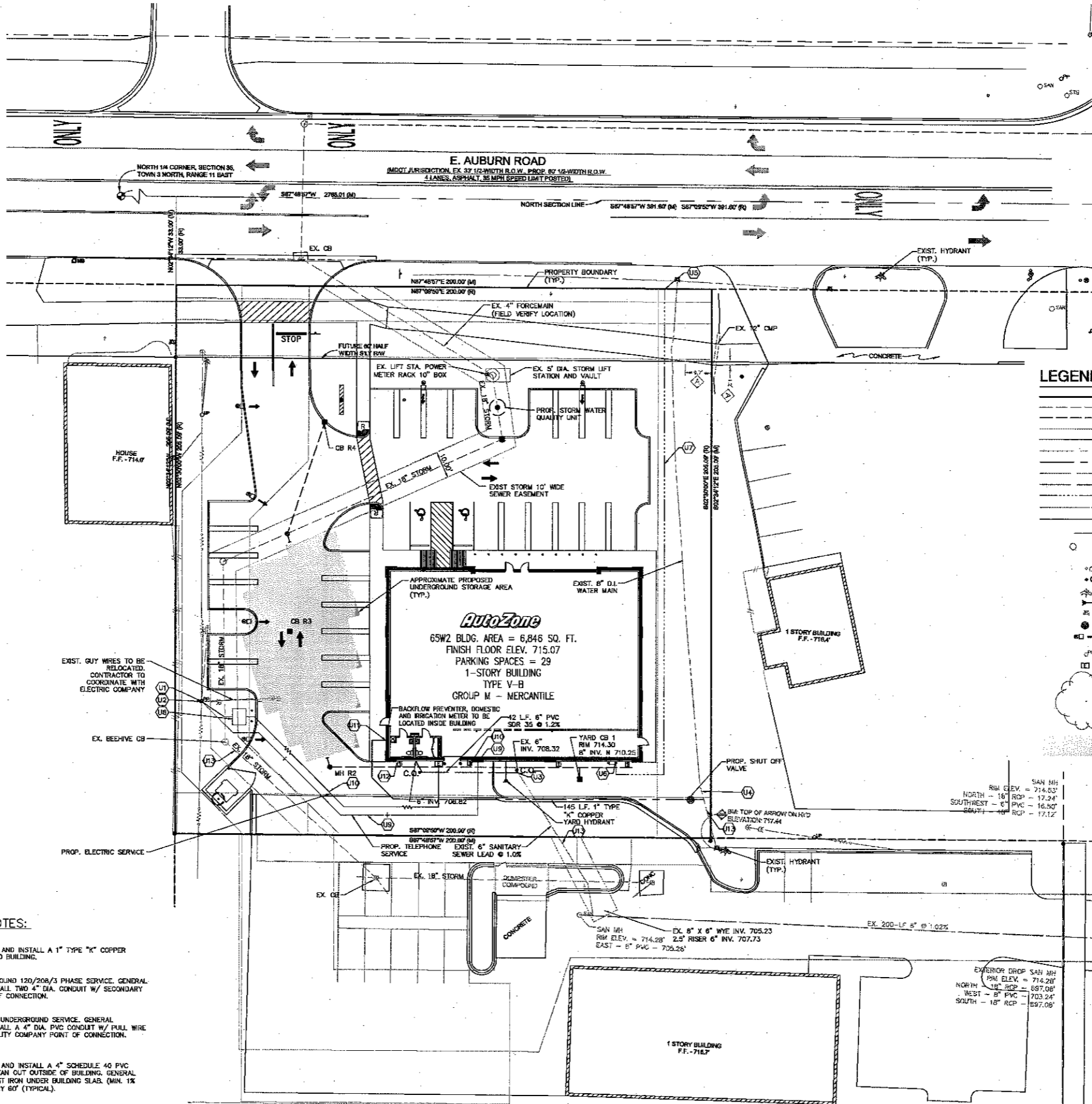
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UTILITY SERVICE NOTES:

- WATER SERVICE**
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 1" TYPE "K" COPPER WATER LINE FROM EXISTING MAIN TO BUILDING.
- ELECTRIC SERVICE**
"POWER CO." TO PROVIDE UNDERGROUND 120/208/3 PHASE SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL TWO 4" DIA. CONDUIT W/ SECONDARY WIRE TO UTILITY COMPANY POINT OF CONNECTION.
- TELEPHONE SERVICE**
"TELEPHONE CO." TO PROVIDE NEW UNDERGROUND SERVICE. GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" DIA. PVC CONDUIT W/ PULL WIRE FROM PHONE PANEL BOARD TO UTILITY COMPANY POINT OF CONNECTION.
- SANITARY SEWER**
GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 4" SCHEDULE 40 PVC FROM EXISTING SEWER TO LAST CLEAN OUT OUTSIDE OF BUILDING. GENERAL CONTRACTOR TO PROVIDE A 6" CAST IRON UNDER BUILDING SLAB. (MIN. 1% SLOPE). PROVIDE CLEAN OUTS EVERY 60' (TYPICAL).
- GAS SERVICE**
"GAS CO." TO PROVIDE NEW GAS LINE FROM EXISTING CONNECTION TO GAS METER.



KEYNOTES

- (U1) CONNECT ELECTRIC SERVICE TO EXISTING ELECTRIC MAIN, COORDINATE WITH ELECTRIC COMPANY.
- (U2) CONNECT TELEPHONE SERVICE TO EXISTING TELEPHONE MAIN, COORDINATE WITH TELEPHONE COMPANY.
- (U3) CONNECT TO EXISTING 6" SANITARY SEWER LINE W/ STUB OUT, COORDINATE WITH SEWER DEPARTMENT. PER CITY OF ROCHESTER HILLS STANDARD DETAILS.
- (U4) CONNECT PROPOSED 1" WATER SERVICE TO EXISTING 6" D.I. WATER MAIN TO BE MADE BY CITY OF ROCHESTER HILLS D.P.S.
- (U5) CONNECT GAS SERVICE TO EXISTING GAS MAIN, COORDINATE WITH GAS COMPANY.
- (U6) GAS METER, PER GAS COMPANY. GAS SERVICE ENTRY, COORDINATE WITH MECHANICAL PLANS.
- (U7) GAS LINE, PER GAS COMPANY.
- (U8) ELECTRIC TRANSFORMER, COORDINATE WITH ELECTRIC COMPANY. SECONDARY SERVICE TO BUILDING SHALL BE RAN IN PVC CONDUITS.
- (U9) (1) 4" PVC TELEPHONE CONDUITS, PER TELEPHONE COMPANY FOR ADDITIONAL SIZE AND NUMBER.
- (U10) (2) 4" PVC ELECTRIC CONDUITS, PER ELECTRIC COMPANY FOR ADDITIONAL SIZE AND NUMBER.
- (U11) WATER SERVICE ENTRY, COORDINATE LOCATION WITH MECHANICAL PLANS. INTERNAL METER AND BACKFLOW PREVENTER, PER MECHANICAL PLANS.
- (U12) SANITARY SEWER SERVICE ENTRY, COORDINATE LOCATION WITH MECHANICAL PLANS.
- (U13) CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITY.

LEGEND

- PROPERTY LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING OVERHEAD ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- PROPOSED GAS MAIN
- EXISTING EASEMENT LINE
- PROPOSED UNDERGROUND TELEPHONE
- EXISTING GUY WIRE
- EXISTING MANHOLE / CATCH BASIN
- PROPOSED STORM SEWER MANHOLE / CATCH BASIN
- EXISTING SANITARY CLEAN OUT
- PROPOSED SANITARY CLEAN OUT
- EXISTING HYDRANT
- PROPOSED YARD HYDRANT
- EXISTING GATE VALVE & WELL
- PROPOSED SHUT OFF VALVE
- PROPOSED LIGHT POLE
- EXISTING UTILITY POLE
- PROPOSED ELECTRICAL METER
- EXISTING TREE
- PROPOSED UNDERGROUND STORAGE AREA

WATER SERVICE

GENERAL CONTRACTOR TO PROVIDE AND INSTALL A 1" TYPE K WATER LINE FROM THE EXISTING MAIN TO THE BUILDING.
CITY OF ROCHESTER HILLS ENGINEERING & WATER DEPT.
1000 ROCHESTER HILLS DR
ROCHESTER HILLS, MI 48309
(248) 656-4585

TELEPHONE COMPANY

AT&T MICHIGAN
54 NORTH MILLS ST
PONTIAC, MI 48342
(248) 456-5642

ELECTRIC COMPANY

JULIE MARTELL
DETROIT EDISON
WACOMB SERVICE CENTER
15600 19 MILE ROAD
CLINTON TWP., MI 48038
(313)-235-8645

GAS COMPANY

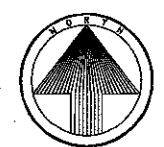
BHEGN NAGATWA
CONSUMERS ENERGY
1030 FEATHERSTONE ROAD
PONTIAC, MI 48342
(248) 858-4458

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Atwell Job #: 1000952
File Name: 10009525-1.1-U

CITY FILE # 00-041 - NOT FOR CONSTRUCTION

Owner:
AutoZone Inc.
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969

Prepared for: **AutoZone Store Development**
Store No.: 4319
934 E. AUBURN ROAD
ROCHESTER HILLS, MI 48307
UTILITY PLAN



SCALE: 1" = 20'

REVISIONS

1. Nov. 3, 2010
 - 2.
 - 3.
 - 4.
 - 5.
 - 6.
 - 7.
- ENGINEER: AS
DRAFTSMAN: JK
CHECKED BY: JK

DATE: 11/3/2010
PROTOTYPE SIZE: 65W2-RGHT

S1.1

LEGEND

- PROPERTY LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING OVERHEAD ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- PROPOSED GAS MAIN
- EXISTING EASEMENT LINE
- PROPOSED UNDERGROUND TELEPHONE
- LIMITS OF DISTURBANCE
- TREE PROTECTION FENCE
- EXISTING GUY WIRE
- EXISTING MANHOLE / CATCH BASIN
- PROPOSED STORM SEWER MANHOLE / CATCH BASIN
- EXISTING SANITARY CLEAN OUT
- PROPOSED SANITARY CLEAN OUT
- EXISTING HYDRANT
- PROPOSED YARD HYDRANT
- EXISTING GATE VALVE & WELL
- PROPOSED GATE VALVE & WELL
- EXISTING UTILITY POLE
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- EXISTING TREE
- PROPOSED UNDERGROUND STORAGE AREA

Tree Protection Notes and Detail
City of Rochester, NY

The following notes are the minimum required tree protection standards acceptable within the City of Rochester, NY. The Tree Preservation Plan (approved by Tree Protection Staff, Tree Protection Dept.) and Tree Survey with tree identification, tree preservation plan, landscape and site plan are the affected regulated trees (affected) must be submitted as part of the site plan and shall include the methods of which tree protection shall be achieved.

Refer to the checklist under Accurate Protection on page 6 of it is essential for all information to be included in the Tree Preservation Plan, also refer to the Tree Conservation Ordinance No. 4-12.

- Approved tree protection shall be erected prior to the start of construction activities, and shall remain in place until construction is complete. The City's landscape architect shall be notified after tree protection is in place, prior to construction activities including delivery of materials.
- No person may conduct any activity within the drip line of any tree designated to remain, except as herein limited to placing screens, staking, painting, painting equipment, or soil deposits within the drip line.
- Grade changes may not occur within the drip lines of protected trees.
- During construction, no person shall shake any device or wire to any existing tree.
- All utility services must be located and marked prior to the start of construction.
- Swales shall be created to avoid the drip lines of protected trees.
- If tree protection is not maintained for a tree throughout the construction period, replacement of the tree may be required prior to the issuance of the Certificate of Occupancy.
- Regulated trees located on adjacent property that may be affected by construction activities must be protected.

The following is a sample Tree Protection Detail. A Tree Preservation Plan submitted with this site plan shall indicate a detail of how Tree Protection will be achieved.

TREE PROTECTION DETAIL

GRADING NOTES:

- LOCATION OF SITE AND RIGHT-OF-WAY UTILITIES SHALL BE VERIFIED BY GENERAL CONTRACTOR AND/OR THE PROPER UTILITY COMPANY PROVIDING SERVICE. SEE TOPOGRAPHICAL PLAN FOR EXISTING UTILITY INFORMATION.
- ALL DESIGN, WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF ROCHESTER HILLS STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE SPECIFIED.
- ALL NECESSARY PERMITS AND LICENSES SHALL BE OBTAINED AND THE CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THE SITE, INCLUDING ALL TESTING AND CLOSE OUT REQUIREMENTS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL GIVE NOTICE TO BE GIVEN TO MISS DIG, THE CITY OF ROCHESTER HILLS ENGINEERING DEPARTMENT, AND TO THE OWNERS OF THE UTILITY FACILITIES SHOWN ON THE PLAN. SAID NOTICES SHALL BE GIVEN AT LEAST TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON-SITE PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
- SITE GRADING SHALL NOT PROCEED UNTIL THE APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED.
- CONTRACTOR TO ENSURE AND FIELD VERIFY 1:12 (V:H) MAX. LONGITUDINAL SLOPE IS INSTALLED FOR ALL ADA RAMPS WITH A MAX. 2% GROSS SLOPE INSTALLED ALONG ALL ADA WALKWAYS AND ACROSS CURB DROPS.
- CONTRACTOR TO ENSURE ALL ADA WALKWAYS ARE MARKED, STRIPED AND SIGNED AND ALL CLEARANCES ARE IN ACCORDANCE WITH CURRENT ADA STANDARDS.
- ALL SPOT GRADES ARE TOP OF PAVEMENT (FINAL GRADE IN VEGETATED AREAS) UNLESS OTHERWISE NOTED.
- THE TOP OF THE CURB, WHEN CONSTRUCTED OR REPAIRED, SHALL BE MARKED TO INDICATE LOCATION OF WATER SERVICES (W), WATER MAINS (M), AND SANITARY SEWER SERVICES (S)
- PROPOSED ELEVATIONS FOR STRUCTURES ARE: HYDRANT = GASE FLANGE, VALVE/MANHOLE/CLEANOUT = RIM, CATCH BASIN/INLET = FLOW LINE.
- STRUCTURE TOPS SHALL BE BUILT OR SUBSEQUENTLY ADJUSTED TO MEET SURFACE GRADES ESTABLISHED FOR THE PROJECT.
- THE FLOW IN ALL SEWERS, DRAINS, AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND WHENEVER SUCH WATERCOURSES AND DRAINS ARE DISTURBED OR DESTROYED DURING THE PROSECUTION OF THE WORK, THEY SHALL BE RESTORED BY THE CONTRACTOR AT HIS OWN COST AND EXPENSE.
- ALL DRAIN TILE AND STORM SEWERS THAT ARE DAMAGED, DISTURBED, OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH THE SAME QUALITY PIPE OR BETTER, MAINTAINING THE SAME GRADIENT AS EXISTING. REPLACED DRAIN TILE SHALL BE LAID ON COMPACTED BEDDING EQUAL IN DENSITY TO SURROUNDING STRATUM. REPLACEMENT SHALL BE DONE AT THE TIME OF THE BACKFILL OPERATION.
- ANY WELL, WELL POINT, PIT, OR OTHER DEVICE INSTALLED FOR THE PURPOSE OF LOWERING THE GROUNDWATER LEVEL, TO FACILITATE CONSTRUCTION OF THIS PROJECT SHALL BE PROPERLY ABANDONED AS DIRECTED BY THE LOCAL AUTHORITY. THE CONTRACTOR SHALL RETURN ALL GRADES TO THE LIMITS OF DISRUPTION TO ORIGINAL CONDITION, MATCHING UNDISTURBED AREAS, SO AS TO MAINTAIN ORIGINAL DRAINAGE.
- DIFFERENTIAL OF EXCAVATION AROUND MANHOLES/STRUCTURES SHALL NOT EXCEED SIX (6) FEET.
- A 1" EXPANSION JOINT SHALL BE PLACED WHERE PROPOSED CONCRETE CURB MEETS EXISTING. A 1/2" EXPANSION JOINT SHALL BE PLACED WHERE PROPOSED CONCRETE SIDEWALK MEETS EXISTING.
- ALL DISTURBED AREAS BEHIND THE CURB WITHIN PUBLIC ROAD RIGHTS-OF-WAY SHALL BE RESTORED IN ACCORDANCE WITH CITY STANDARDS.

SITE BENCHMARKS

- TOP OF ARROW ON FIRE HYDRANT AT SOUTHEAST PROPERTY CORNER
ELEVATION = 717.44 (NAVD 88)
- ADDITIONAL BENCHMARKS TO BE SET PRIOR TO THE START OF CONSTRUCTION.

NOTE: ADDITIONAL BENCHMARK(S) (U.S.G.S. DATUM) SHALL BE SET TO ENSURE A MINIMUM OF TWO (2) BENCHMARKS EXIST AT THE SITE AT ALL TIMES.

GENERAL DEMOLITION NOTES:

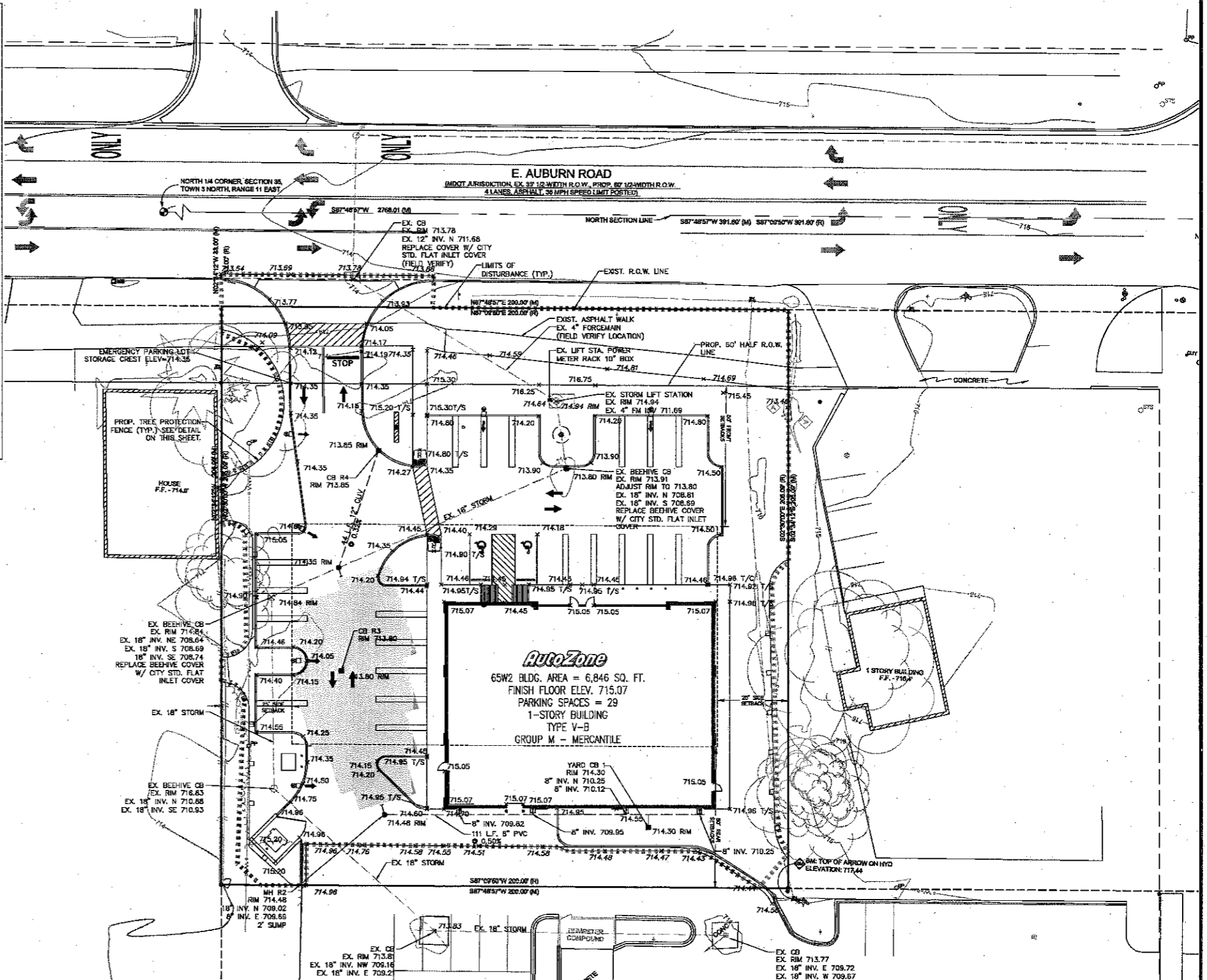
- ALL WORK TO BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL LOCAL ORDINANCES, CITY OR STATE.
- WITHIN THE SUBJECT PROPERTY, THE INTENT IS TO HAVE A CLEAN, CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED IN ORDER TO PERMIT THE CONSTRUCTION OF THE NEW PROJECT.
- ALL ITEMS NOTED TO BE REMOVED BY THE SELLER SHALL BE ACCOMPLISHED PRIOR TO THE CLOSING OF THE REAL ESTATE TRANSACTION. ALL OTHER ITEMS NOTED TO BE REMOVED SHALL BE DONE SO AS PART OF THE CONTRACT FOR GENERAL CONSTRUCTION.
- REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL.
- THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF BUILDING DEMOLITION DEBRIS.
- THE DETAILED PLANS MAY NOT REFLECT ALL UTILITIES ON THE SITE OR SURROUNDING STREETS AND PROPERTIES. THE CONTRACTOR SHALL VERIFY LOCATIONS AND EXISTENCE OF UTILITY SERVICES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL "MISS DIG", 72 HOURS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR TO REMOVE ALL UTILITIES TO EXISTING STRUCTURES WHETHER SHOWN OR NOT OR ARRANGE FOR THE APPROPRIATE UTILITY COMPANY TO CUT AND CAP SERVICE PIPING AT THE PROPERTY LINE OR MAIN (AS REQUIRED). ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN.
- FOR ALL ITEMS NOTED TO BE REMOVED - REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL INCLUDING BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, OLD PIPES, ETC.
- BACK FILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING CONSTRUCTION. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPES, PAVEMENT, CURBS, SIDEWALKS OR LANDSCAPED AREAS DISTURBED DURING DEMOLITION TO THEIR ORIGINAL CONDITION TO THE SATISFACTION.

811 Know what's below. Call before you dig.

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Autozone - Rochester Hills
Assumptions:
2) Benven Williams storage volume requirements per Johnson & Anderson Design Calculations dated 01/03/1992

Proposed Volume Calculations and Assumptions

Drainage Area	Area (ac)	Runoff Coef.	Impervious
Total	6.69 ac	0.85	0.51

Total Site Tributary Area = 6.69 ac
Developed Site Component C_p Factor = 0.85
Area Impervious (A x C) = 0.51 cfs/ac imp
Additional Storage Volume for CB 1 = 1,402 cf

100 cc Storage Volume
V_s = 16,500 x A x C = 8,115 cf
Total Storage Required = 18,017 cf

NOTE: PROPOSED UNDERGROUND DETENTION OVERFLOW TO AUBURN ROAD AT APPROXIMATE ELEVATION 714.35

Owner:
AutoZone Inc.
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969

Prepared for: **AutoZone Store Development**
Store No.: 4319
934 E. AUBURN ROAD
ROCHESTER HILLS, MI 48307
STORM DRAINAGE / GRADING PLAN



SCALE: 1" = 20'

REVISIONS

1.	Nov. 3, 2010
2.	
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7.	

ENGINEER: AS
DRAFTSMAN: JK
CHECKED BY: JK

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OFFICES IN NORTH AMERICA AND ASIA
Atwell Job #: 10000952
File Name: 10000952-1.2-DA

CITY FILE # 00-041 - NOT FOR CONSTRUCTION

S1.2

LANDSCAPE CALCULATIONS:

BUFFER REQUIREMENTS - EASTERN PERIMETER 200'
(TYPE A BUFFER: 1.5 DECIDUOUS TREES PER 100', 1 EVERGREEN TREE PER 100', 4 SHRUBS PER 100')

REQUIRED	PROVIDED
DECIDUOUS TREES:	3
EVERGREEN TREES:	2
SHRUBS:	8

NOTE: ALL PLANT MATERIAL LOCATED WITHIN UTILITY EASEMENTS SHALL BE APPROVED BY THE CITY AND/OR EASEMENT GRANTEE.

PER TABLE 18 IN SECTION 138-12.300 OF THE CITY ZONING ORDINANCE, NO BUFFER IS REQUIRED ALONG THE WESTERN AND SOUTHERN PERIMETERS OF THE SITE. PER TABLE 17 NOTE 3 IN SECTION 138-12.300 OF THE CITY ZONING ORDINANCE, THE PLANTING REQUIREMENTS MAY BE WAIVED OR MODIFIED BY THE REVIEWING AUTHORITY IF EXISTING VEGETATION WILL PROVIDE AN EQUAL OR GREATER SCREEN THAN THAT REQUIRED.

PARKING LOT LANDSCAPING - INTERIOR LANDSCAPING
(1 DECIDUOUS TREE PER 150 SF OF REQUIRED INTERIOR LANDSCAPING AREA)

REQUIRED	PROVIDED
VEHICULAR USE AREA:	N/A
INTERIOR LANDSCAPING AREA:	847 SF
DECIDUOUS TREES:	6

PARKING LOT LANDSCAPING - PERIMETER LANDSCAPING 100'
(1 DECIDUOUS TREE PER 25', 1 ORNAMENTAL TREE PER 35', 1 SHRUB PER 30')

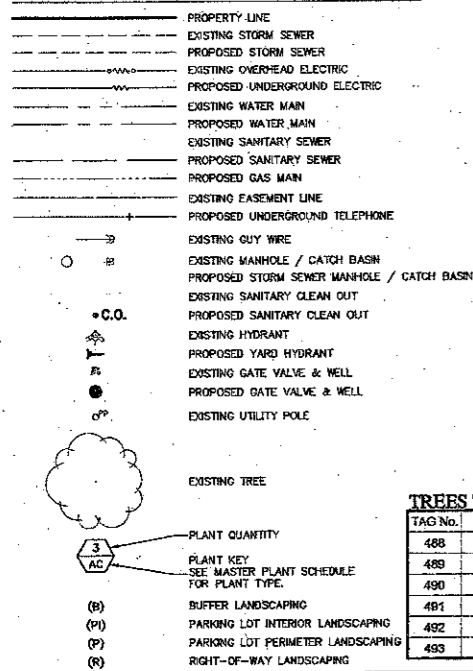
REQUIRED	PROVIDED
DECIDUOUS TREES:	4
ORNAMENTAL TREES:	3
SHRUBS:	42

RIGHT-OF-WAY LANDSCAPING - AUBURN ROAD 200' OF FRONTAGE
(1 DECIDUOUS TREE PER 35', 1 ORNAMENTAL TREE PER 35')

REQUIRED	PROVIDED
DECIDUOUS TREES:	6
ORNAMENTAL TREES:	6 (+4 PARKING LOT TREES)

PER SECTION 138-12.308 OF THE CITY ZONING ORDINANCE, THE PLANNING COMMISSION OR OFFICIAL APPROVING THE LANDSCAPE PLAN MAY WAIVE OR REDUCE THE REQUIREMENTS. PER COMMENTS RECEIVED FROM THE CITY PARKS AND FORESTRY DEPARTMENT DATED OCTOBER 14, 2010, THE REQUIRED ORNAMENTAL TREES MAY NOT BE PLANTED WITHIN THE AUBURN ROAD RIGHT-OF-WAY. THE REQUIRED ORNAMENTAL TREES HAVE BEEN PROVIDED ELSEWHERE ON SITE. PER SECTION 138-12.304 A.3 OF THE CITY ZONING ORDINANCE, WHERE SUCH PLANTINGS ARE NOT PERMITTED WITHIN A STREET RIGHT-OF-WAY, REQUIRED STREET TREES SHALL BE PLANTED WITHIN THE FRONT YARD SETBACK AREA, OR AT AN ALTERNATE LOCATION APPROVED BY THE CITY.

LEGEND



SITE BENCHMARKS

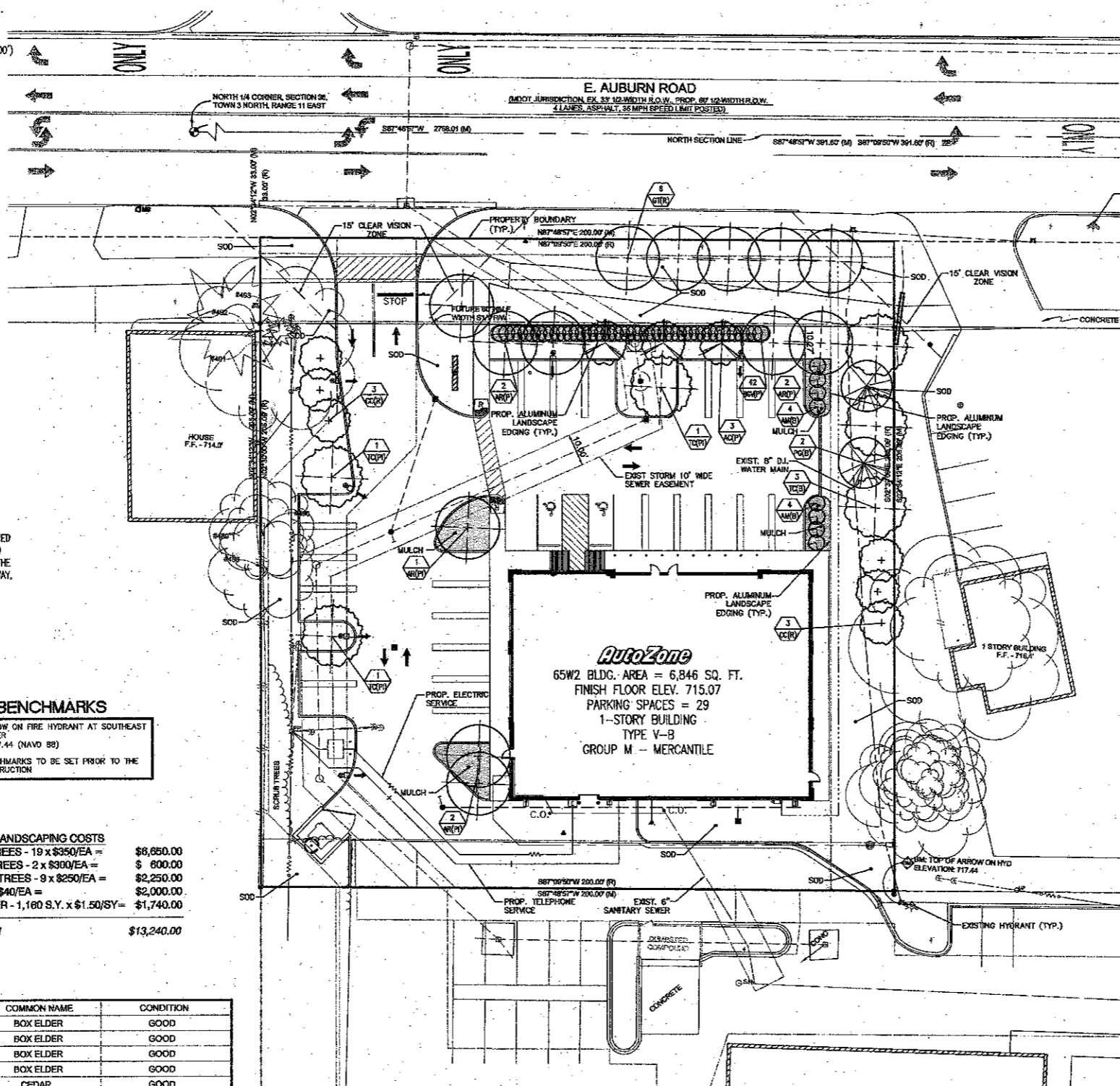
1. TOP OF ARROW ON FIRE HYDRANT AT SOUTHEAST PROPERTY CORNER
ELEVATION = 717.44 (NAVD 88)
ADDITIONAL BENCHMARKS TO BE SET PRIOR TO THE START OF CONSTRUCTION

ANTICIPATED LANDSCAPING COSTS

DECIDUOUS TREES - 19 x \$350/EA =	\$6,650.00
EVERGREEN TREES - 2 x \$300/EA =	\$600.00
ORNAMENTAL TREES - 9 x \$250/EA =	\$2,250.00
SHRUBS - 50 x \$40/EA =	\$2,000.00
GROUND COVER - 1,160 S.Y. x \$1.50/SY =	\$1,740.00
Anticipated Total	\$13,240.00

TREES TO REMAIN:

TAG No.	D.B.H. (inches)	COMMON NAME	CONDITION
488	14	BOX ELDER	GOOD
489	12	BOX ELDER	GOOD
490	8	BOX ELDER	GOOD
491	36	BOX ELDER	GOOD
492	6	CEDAR	GOOD
493	5	CEDAR	GOOD



GENERAL LANDSCAPE NOTES:

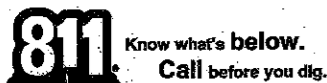
- ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT WHERE OTHER PLANT MATERIAL IS CALLED FOR.
- ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH ALUMINUM EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
- ANY LANDSCAPE AREAS DISTURBED BY CONSTRUCTION SHALL BE SCARIFIED TO A DEPTH OF 2", GRADED SMOOTH TO ALLOW FOR POSITIVE DRAINAGE. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN WHETHER ON OR OFF SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION DEBRIS, ETC., SCARIFY AREA, RE-SEED AND FERTILIZE. ALL R.O.W. CURBS AND GUTTERS ARE TO BE CLEANED OF DEBRIS.
- FINISHED GRADES IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" LOWER THAN THE TOP OF THE SURROUNDING CURBS.
- THE CONTRACTOR SHALL PROVIDE A WATER PERMEABLE WEED MAT FOR ALL PLANTING BEDS.
- ALL PLANT MATERIALS TO RECEIVE PERMANENT UNDERGROUND AUTOMATIC IRRIGATION SYSTEM DESIGNED BY AN IRRIGATION CONTRACTOR LICENSED BY THE STATE. THE CONTRACTOR SHALL PROVIDE DRAWINGS FOR APPROVAL BY THE CITY PRIOR TO INSTALLATION.
- GRASS AND IRRIGATION TO EXTEND FROM PROPERTY LINES TO BACK OF CITY SIDEWALKS AND/OR CURBS.
- INSTALL PIPE SLEEVES WHERE IRRIGATION LINES CROSS OR ARE UNDER PAVEMENT. ALL SLEEVES SHALL BE TWICE THE DIAMETER OF THE PIPE(S) IT HOUSES.
- TURF NOTES: SELECT LOW MAINTENANCE HYBRID TURF FROM LOCAL GROWER. TEST SOIL FOR PROPER PH FOR SELECTED SOIL. AMEND SOIL WITH ORGANIC MATERIAL, FERTILIZER, AND FINISH GRADE. STAGGER ALL SOD SEAMS, FILL ANY GAPS WITH SAND, WATER, AND ROLL SMOOTH. CONTRACTOR TO REPLACE ANY DEAD SOD WITHIN ONE GROWING SEASON.
- SLOPE STABILIZATION - HYDROSEED WITH COMPATIBLE TURF SEED AND OVERLAY TURF MATS ON ALL SLOPES GREATER THAN 3:1 ON SITE. IF SOD CAN NOT BE STAGED PROPERLY, USE PYRAMAT, BY SYNTHETIC INDUSTRIES, OR EQUAL. CONTRACTOR TO REPAIR ALL AREAS OF EROSION TO SATISFACTION TO ESTABLISH PROPER TURF WITHIN ONE YEAR.
- ALL DISTURBED UNPAVED AREAS ARE TO BE SODDED OR SEEDING WITH MDOOT CLASS A SEED OVER A MINIMUM OF 4-INCH DEPTH OF TOPSOIL. REFER TO PLAN FOR LOCATIONS.

PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB ON THE PUBLIC RIGHT-OF-WAY. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC ROAD. SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY. NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY LINES AT A DISTANCE ALONG EACH LINE OF 25' FROM THE POINT OF INTERSECTION. NO TREES OR SHRUBS MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC WALKWAY AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE HYDRANT. SHADE AND EVERGREEN TREES MUST BE PLANTED AT LEAST 15' AWAY FROM THE NEAREST OVERHEAD WIRE. TREES MUST BE PLANTED A MINIMUM OF 5' FROM AN UNDERGROUND UTILITY, UNLESS THE CITY'S LANDSCAPE ARCHITECT REQUIRES A GREATER DISTANCE.

PRIOR TO RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS FORESTRY DIVISION NEEDS TO INSPECT ALL TREES, EXISTING OR PLANTED, TO IDENTIFY ANY THAT POSE A HAZARD TO SAFE USE OF THE PUBLIC RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE, AND POSSIBLY REPLACE, ANY SUCH TREES.

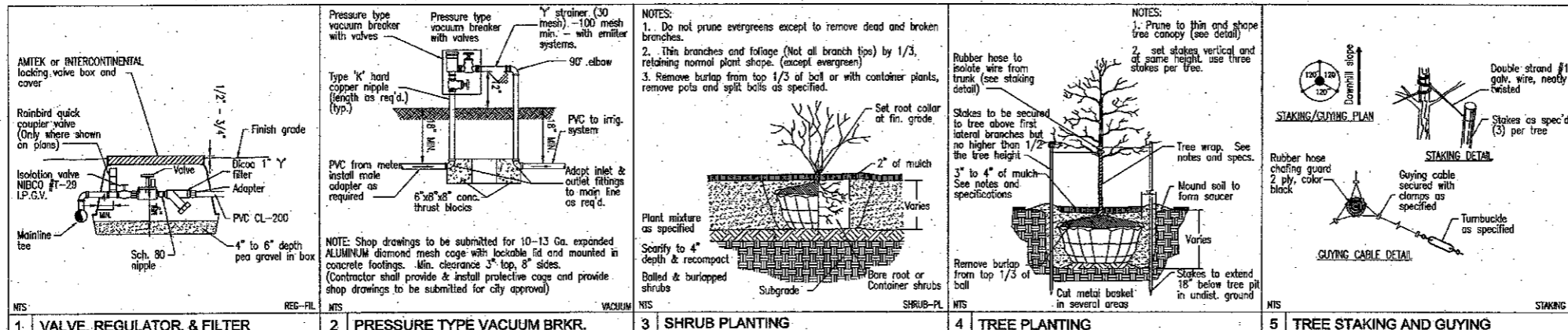
MASTER PLANT SCHEDULE

KEY	QTY.	SPECIES	MIN. SIZE	SPEC.
DECIDUOUS TREES:				
AR	7	ACER RUBRUM	3" CAL.	B&B
		RED MAPLE		
GT	6	GLEDITSIA TRIACANTHOS V INERMIS	3" CAL.	B&B
		THORNLESS HONEYLOCUST		
TC	6	TILIA CORDATA	3" CAL.	B&B
		LITTLELEAF LINDEN		
EVERGREEN TREES:				
PG	2	PICEA GLAUCA	10' HT.	B&B
		WHITE SPRUCE		
ORNAMENTAL TREES:				
AC	3	AMELANCHIER CANADENSIS	2" CAL.	B&B
		SHADBLow SERVICEBERRY		
CC	6	CERCIS CANADENSIS	2" CAL.	B&B
		REDBUD		
SHRUBS:				
AM	8	ARONIA MELANOCARPA	30" HT.	CONT.
		BLACK CHOKEBERRY		
BCV	42	BUXUS 'GREEN GEM'	30" HT.	B&B
		GREEN GEM BOXWOOD		



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CITY FILE # 00-041 - NOT FOR CONSTRUCTION

AutoZone Inc.
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969

Prepared for: AutoZone Store Development
Store No.: 4319
934 E. AUBURN ROAD
ROCHESTER HILLS, MI 48307
LANDSCAPE PLAN



SCALE: 1" = 20'

REVISIONS

1.	Nov. 3, 2010
2.	
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5.	
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7.	
ENGINEER:	AS
DRAFTSMAN:	JK
CHECKED BY:	JK
DATE:	11/2/2010
PROJECT/SIZE:	65W2-RGHT

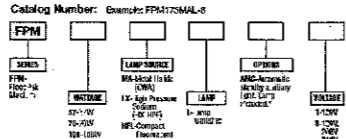


S1.3

CATALOG NO. _____
 TYPE NO. _____ JOB NAME _____ 2-3

FloodPak Series FPM

ORDERING INFORMATION

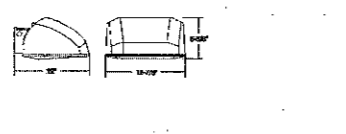


All units supplied with clear polycarbonate lens.
 *Not available in 70W or 100W.

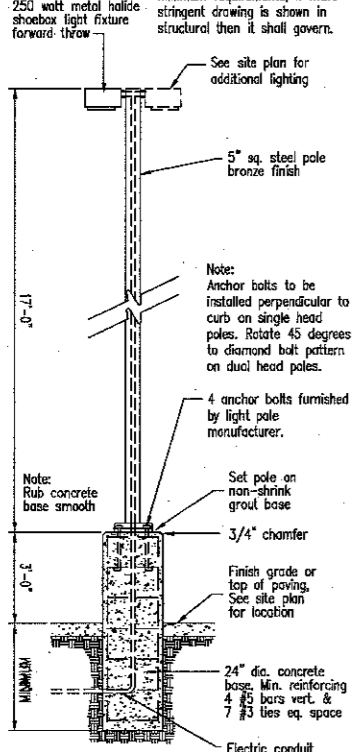
ACCESSORIES

FPM1000 - 10" x 10" x 10" FloodPak...
FPM2000 - 20" x 20" x 20" FloodPak...
FPM3000 - 30" x 30" x 30" FloodPak...
FPM4000 - 40" x 40" x 40" FloodPak...
FPM5000 - 50" x 50" x 50" FloodPak...

TECHNICAL INFORMATION



NOTE: This drawing represents the minimum requirements; if more stringent drawing is shown in structural then it shall govern.



13 TYPICAL LIGHT POLE

PRODUCT SPECIFICATIONS

- The FloodPak is a perfect blend of form, function, design and performance.
- The FloodPak can be surface mounted or recessed. Use as an exit or emergency light up to 22.5' or for area lighting.
- The FloodPak can also be used as a floodlight or area light.
- Production and all materials are made in the USA.
- Designed in clear polycarbonate with a protective clear polycarbonate lens.
- Mounted on a 5" diameter pole.
- Includes a 4" x 4" mounting plate.
- Includes a 4" x 4" mounting plate.
- Includes a 4" x 4" mounting plate.

Ann-Mounted Drop or Flat Lens Cutoff

KAD reflector is optical-quality aluminum that works in tandem with a light-diffusing prismatic lens.

Headings - Round, diamond, and square aluminum housing with 0.12" rounded top. Backless. Extended 4" soft corner arm for pole or wall mounting is standard.

Door Frame - KAD drop-down door frame has impact resistant, tempered glass lens which is fully gasketed with non-stick bonded rubber gasket. KAD drop-down aluminum door frame has prismatic, impact-resistant, tempered glass, drop-down acrylic lens or drop-down polycarbonate lens. Door frame is fully gasketed with one-piece rubber gasket.

Optics - KAD reflectors are anodized hydrophobic and segmented aluminum. Four cutoff distributions available: (1) Boardwalk, (2) Residential, (3) Forward Thruway and (4) Symmetrical. Segmented reflectors are rotatable and field-indestructible.

KAD Contour



Example: KAD 400M Bx 120 SPD00

Ordering Information

Part Number	Description	Part Number	Description
KAD 100M	10" x 10" x 10" FloodPak	SPD 00	0° Down Position
KAD 200M	20" x 20" x 20" FloodPak	SPD 15	15° Down Position
KAD 300M	30" x 30" x 30" FloodPak	SPD 30	30° Down Position
KAD 400M	40" x 40" x 40" FloodPak	SPD 45	45° Down Position
KAD 500M	50" x 50" x 50" FloodPak	SPD 60	60° Down Position

Accessories

- 4" x 4" mounting plate
- 4" x 4" mounting plate
- 4" x 4" mounting plate
- 4" x 4" mounting plate
- 4" x 4" mounting plate

NOTES

- Check with local utility for utility location.
- Check with local utility for utility location.
- Check with local utility for utility location.
- Check with local utility for utility location.
- Check with local utility for utility location.

STATISTICS

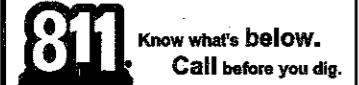
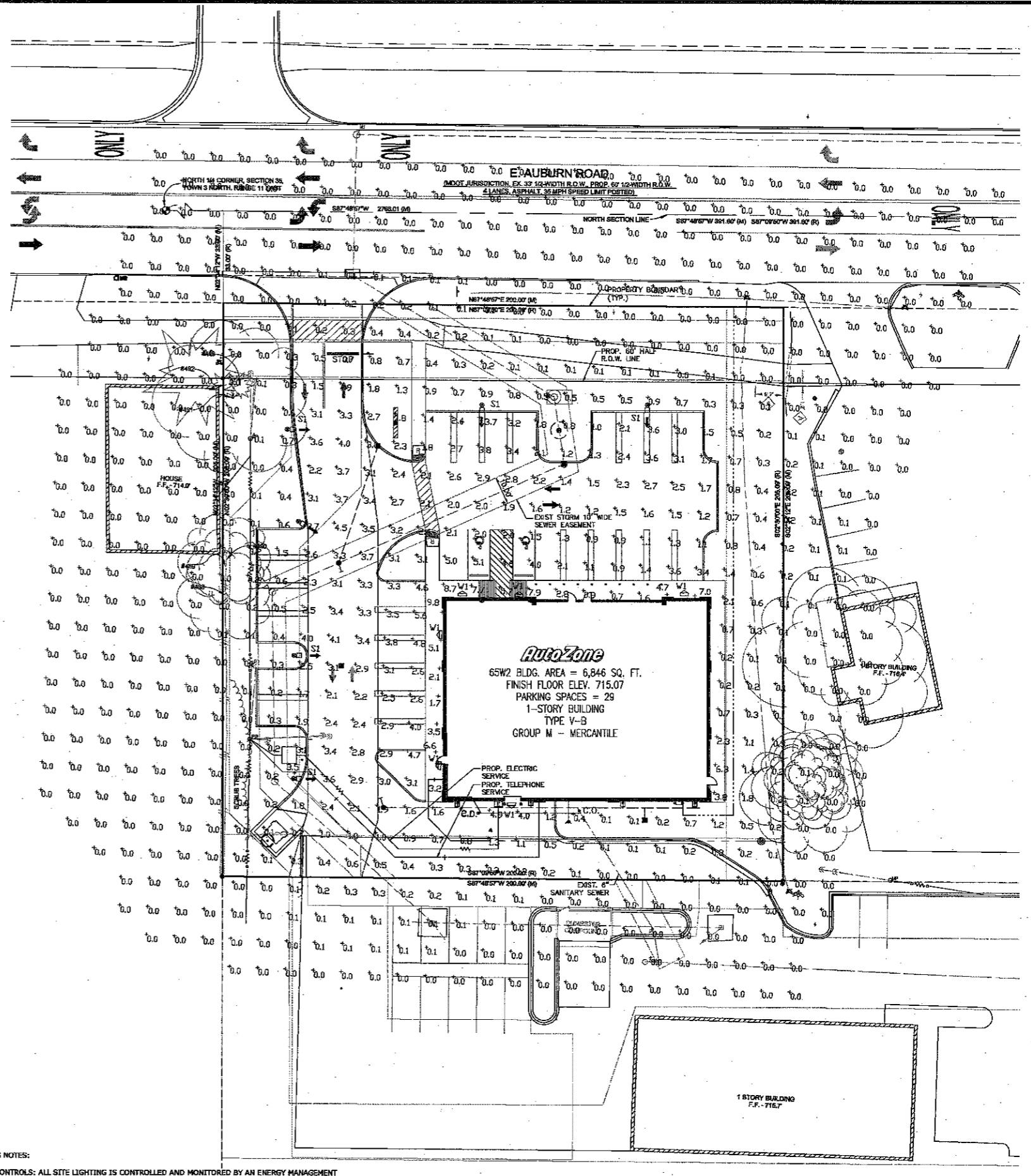
Description	Symbol	Avg	Max	Min
Catch Zone #1	+	1.0 ft	9.8 ft	0.0 ft

LUMINAIRE SCHEDULE

TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	LLF	QTY
S1	[Symbol]	LITHONIA - KAD "CONTOUR SERIES"IES FULL CUTOFF DISTRIBUTION MOUNTED 0° DOWN POSITION MOUNTED HEIGHT = 20'-0"	250 WATT METAL HALIDE	22500	0.72	5
W1	[Symbol]	STONCO - FLOODPAK SERIES "FPM"IESNA FULL CUTOFF DISTRIBUTION MOUNTED 0° DOWN POSITION MOUNTED HEIGHT = 12'-0"	100 WATT METAL HALIDE	7000	0.72	7

LIGHTING NOTES:

- TIME CONTROLS: ALL SITE LIGHTING IS CONTROLLED AND MONITORED BY AN ENERGY MANAGEMENT SYSTEM CALLED VENSTAR WHICH IS CONTROLLED AT AUTOZONE CORPORATE OFFICES. ALL SITE LIGHTING IS PROGRAMMED TO AUTOMATICALLY TURN ON AT DUSK AND REDUCED BY 50 PERCENT AFTER THE CLOSE OF BUSINESS TO THE MINIMUM LEVEL NEEDED UNDER THE IESNA TO ENSURE SAFETY AND SECURITY.
- ALL FIXTURES ARE FULL CUTOFF DISTRIBUTION AND MOUNTED @ 0° DOWN POSITION.
- NO FLOODLIGHTS ARE PROPOSED.
- THE LIGHTING PLAN COMPLIES WITH THE PROVISIONS OF CHAPTER 2 EXTERIOR LIGHTING OF THE CITY OF ROCHESTER HILLS SITE LIGHTING REQUIREMENTS.



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AutoZone Inc.
 123 S. Front Street, 3rd Floor
 Memphis, Tennessee 38103
 Tel: (901) 495-8709 Fax: (901) 495-8969

AutoZone Store Development
 Store No.: 4319
 934 E. AUBURN ROAD
 ROCHESTER HILLS, MI 48067
 LIGHTING PLAN



SCALE: 1" = 20'

REVISIONS

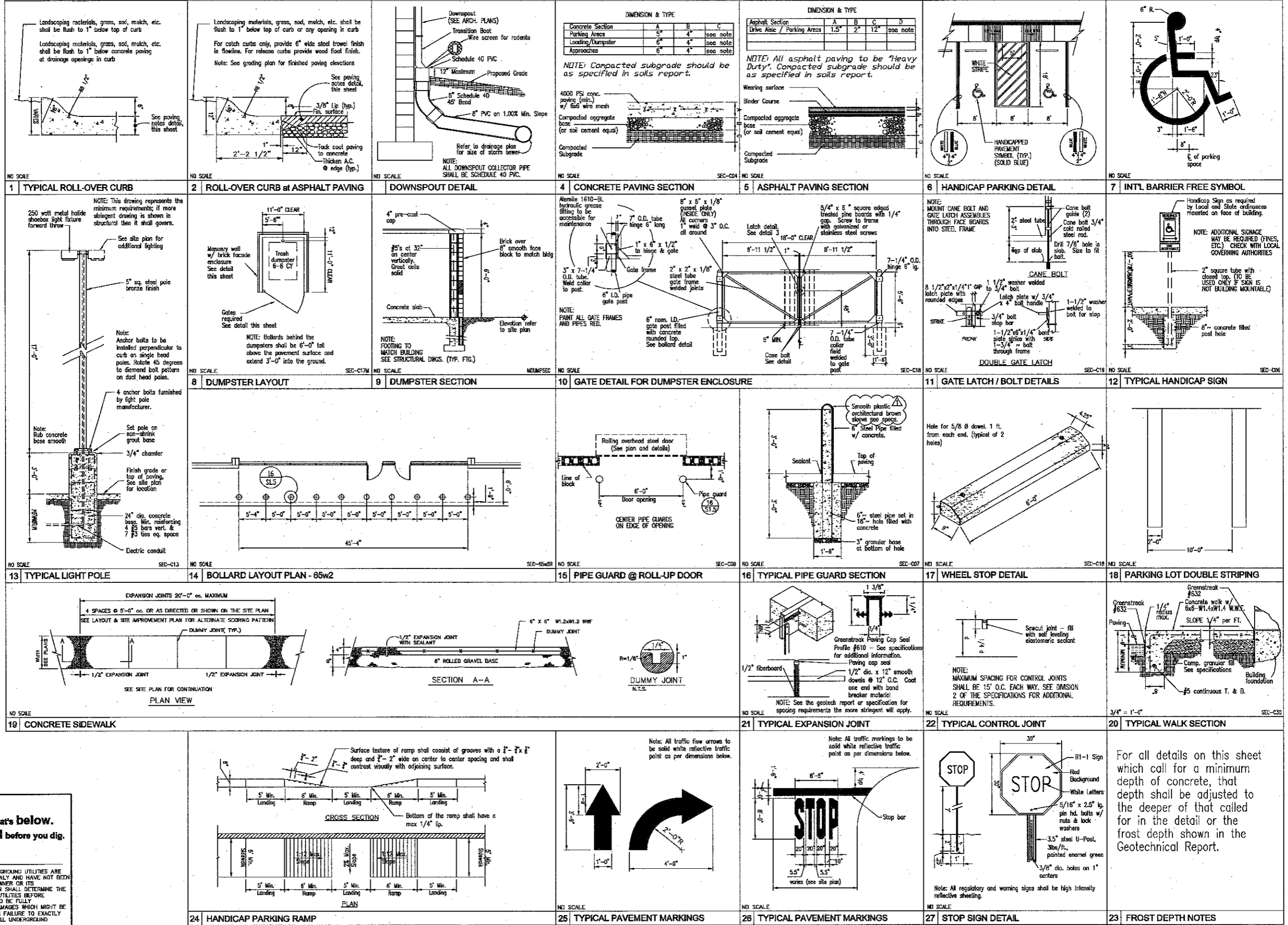
1.	Nov. 3, 2010
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ENGINEER: AS
 DRAFTSMAN: JK
 CHECKED BY: JK

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 OFFICES IN NORTH AMERICA AND ASIA
 Atwell Job #: 10000952
 File Name: 10000952S-1.4-LT

S1.4

CITY FILE # 00-041 - NOT FOR CONSTRUCTION



811 Know what's below. Call before you dig.

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NOTE: DETAILS SHOWN ON THIS SHEET A FOR ON-SITE WORK ONLY. ALL WORK PERFORMED IN THE MDOT R.O.W. SHALL BE PER CURRENT MDOT STANDARDS & SPECIFICATIONS.

CITY FILE # 00-041 - NOT FOR CONSTRUCTION

ATWELL
866.850.4209 | www.atwell-group.com
OFFICES IN NORTH AMERICA AND ASIA
Atwell Job #: 1000952
File Name: 1000952S-1.5-DT

AutoZone Inc.
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969

AutoZone Store Development
Store No.: 4319
934 E. AUBURN ROAD
ROCHESTER HILLS, MI 48307

STANDARD CONSTRUCTION DETAILS

SCALE: 1" = 20"

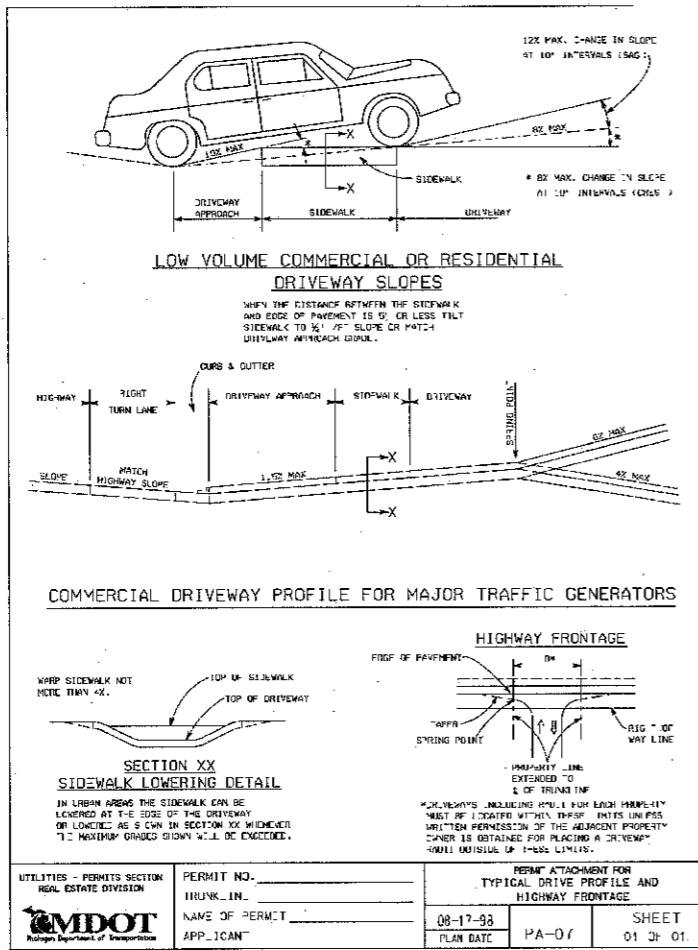
REVISIONS

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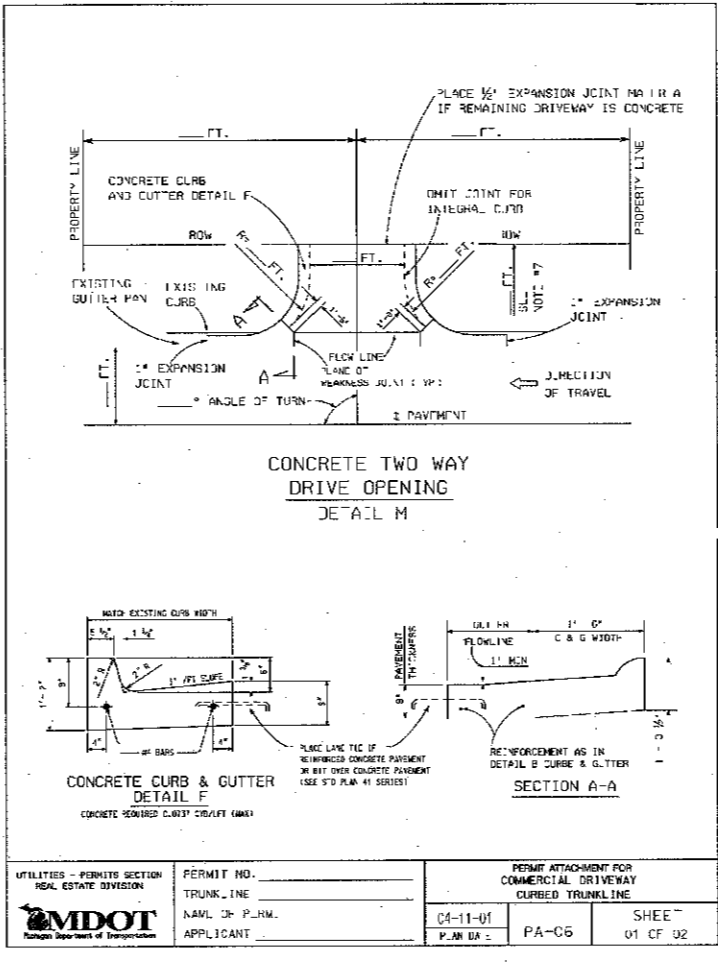
ENGINEER: AS
DRAFTSMAN: JK
CHECKED BY: JK

DATE: 11/3/2010
PROTOTYPE SIZE: 65W2-RGHT

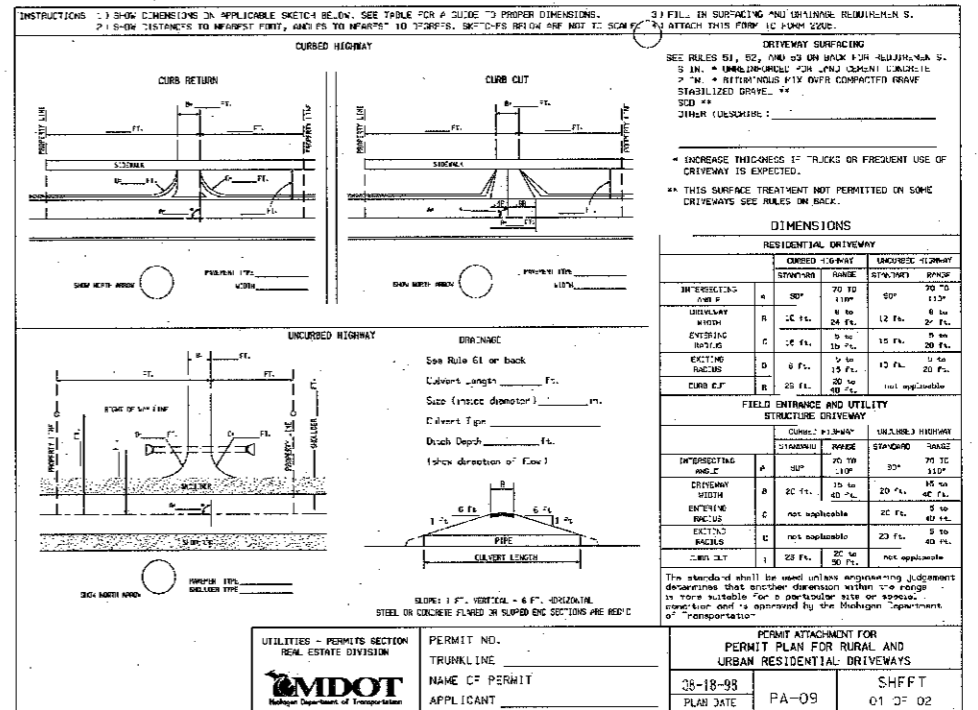
S1.5



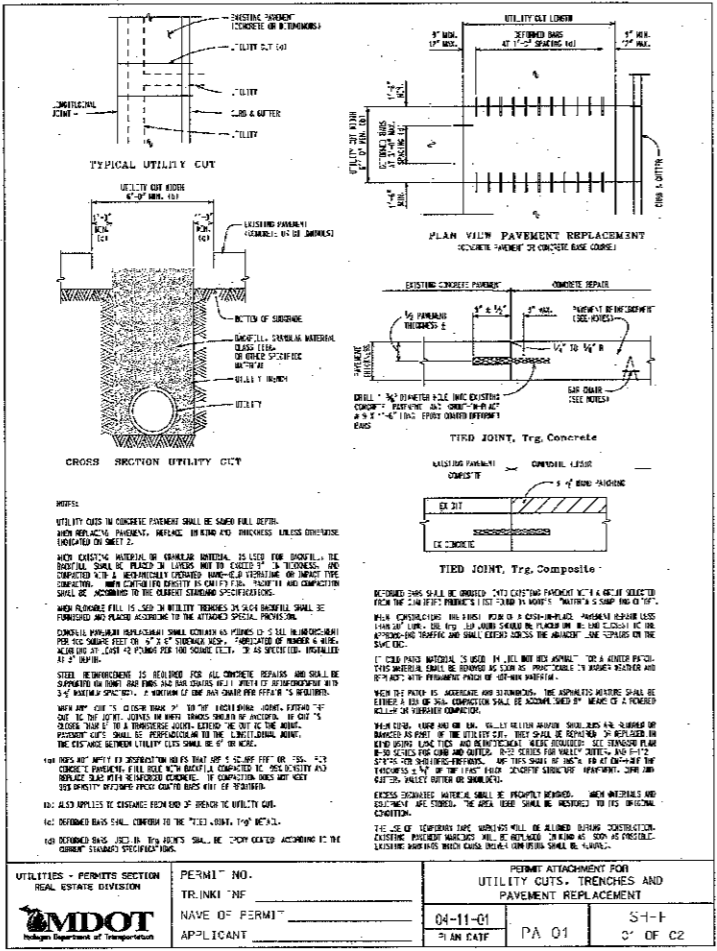
UTILITIES - PERMITS SECTION REAL ESTATE DIVISION	PERMIT NO. TRUNK LINE NAME OF PERMIT APP. I/CAN	PERMIT ATTACHMENT FOR TYPICAL DRIVE PROFILE AND HIGHWAY FRONTAGE	SHEET 01 OF 01
		08-17-98 PLAN DATE	PA-07



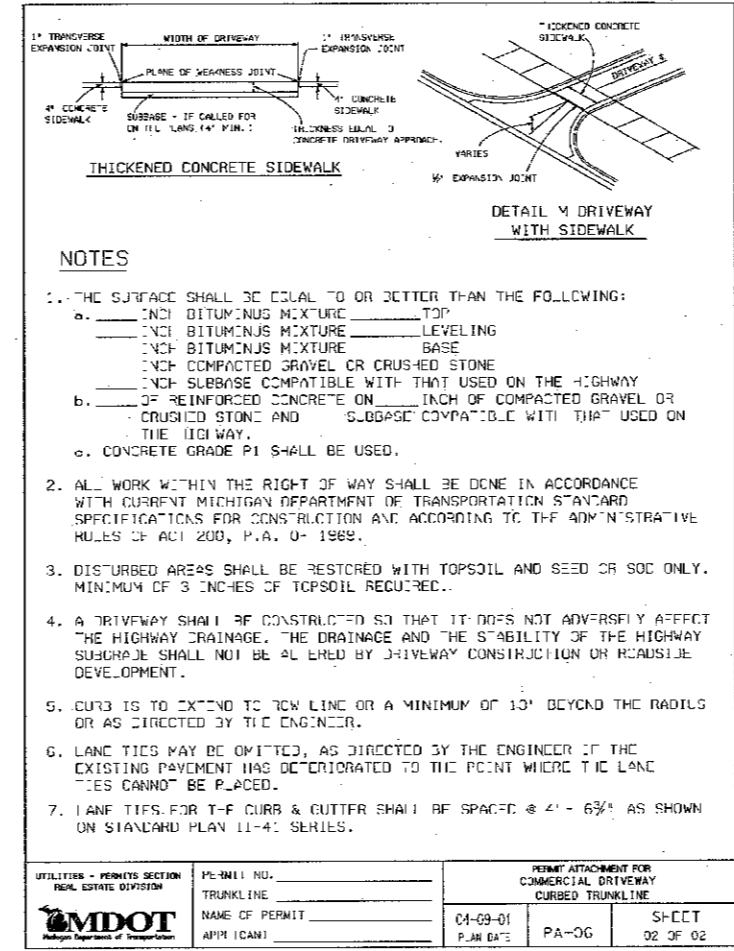
UTILITIES - PERMITS SECTION REAL ESTATE DIVISION	PERMIT NO. TRUNK LINE NAME OF PERMIT APPLICANT	PERMIT ATTACHMENT FOR COMMERCIAL DRIVEWAY CURBED TRUNKLINE	SHEET 01 OF 02
		04-11-01 PLAN DATE	PA-06



UTILITIES - PERMITS SECTION REAL ESTATE DIVISION	PERMIT NO. TRUNKLINE NAME OF PERMIT APPLICANT	PERMIT ATTACHMENT FOR RURAL AND URBAN RESIDENTIAL DRIVEWAYS	SHEET 01 OF 02
		08-18-99 PLAN DATE	PA-09



UTILITIES - PERMITS SECTION REAL ESTATE DIVISION	PERMIT NO. TRUNK LINE NAME OF PERMIT APPLICANT	PERMIT ATTACHMENT FOR UTILITY CUTS, TRENCHES AND PAVEMENT REPLACEMENT	SHEET 02 OF 02
		04-11-01 PLAN DATE	PA-01



UTILITIES - PERMITS SECTION REAL ESTATE DIVISION	PERMIT NO. TRUNKLINE NAME OF PERMIT APPLICANT	PERMIT ATTACHMENT FOR COMMERCIAL DRIVEWAY CURBED TRUNKLINE	SHEET 02 OF 02
		04-09-01 PLAN DATE	PA-06

GENERAL REQUIREMENT

7.10 DRIVEWAY MUST BE CONSTRUCTED, USED, AND MAINTAINED IN ACCORDANCE WITH THE SUBORDINATING ORDINANCES, ORDINANCES, ORDINANCES, AND ORDINANCES OF THE LOCAL GOVERNMENT OF TRANSPORTATION, AS REQUIRED BY ACT 205 OF 1969, DERIVED FROM THESE RULES (MICHIGAN RULES).

LOCATION

7.11 DRIVEWAY SHALL BE SO LOCATED THAT IT DOES NOT INTERFERE WITH THE FREE MOVEMENT OF HIGHWAY TRAFFIC AND SHALL BE SO LOCATED AS TO PROVIDE THE MOST FAVORABLE VISION AND PROPER CONDITIONS FOR ROADWAY TRAFFIC AND THE DRIVEWAY CONSIDERING THE DEVELOPMENT OF THE SITE, INCLUDING PROPER TRAFFIC SIGNALING AND SAFETY.

DEFINITIONS

7.12 DRIVEWAY: A PRIVATE DRIVEWAY THAT EXTENDS AND LEAVES PROPERTY AT 2 POINTS WITHIN THE SAME FRONTAGE.

NUMBER OF DRIVEWAYS

7.13 THE NUMBER OF DRIVEWAYS PERMITTED SHALL BE AS FOLLOWS:

SURFACING

7.14 IF A DRIVEWAY IS CONCRETE, THE CURB, DRIVEWAY, SURFACING AND CURBING SHALL BE AS FOLLOWS:

DRAINAGE

7.15 A DRIVEWAY SHALL BE CONSTRUCTED SO THAT IT DOES NOT ADVERSELY AFFECT THE HIGHWAY DRAINAGE. THE DRAINAGE AND THE STABILITY OF THE DRIVEWAY SURFACE SHALL NOT BE ALTERED BY DRIVEWAY CONSTRUCTION OR ROADWAY DEVELOPMENT.

DRIVEWAY PROFILE

7.16 A DRIVEWAY SHALL BE CONSTRUCTED SO THAT IT DOES NOT ADVERSELY AFFECT THE HIGHWAY DRAINAGE. THE DRAINAGE AND THE STABILITY OF THE DRIVEWAY SURFACE SHALL NOT BE ALTERED BY DRIVEWAY CONSTRUCTION OR ROADWAY DEVELOPMENT.

811 Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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CITY FILE # 00-041 - NOT FOR CONSTRUCTION

ATWELL
866.650.4200 | www.atwell-group.com
OFFICES IN NORTH AMERICA AND ASIA
Atwell Job #: 10000952
File Name: 10000952-1-7-01

Prepared for: **AutoZone Store Development**
AutoZone Inc.
123 S. Front Street, 3rd Floor
Memphis, Tennessee 38103
Tel: (901) 495-8709 Fax: (901) 495-8969

Scale: 1" = 20'

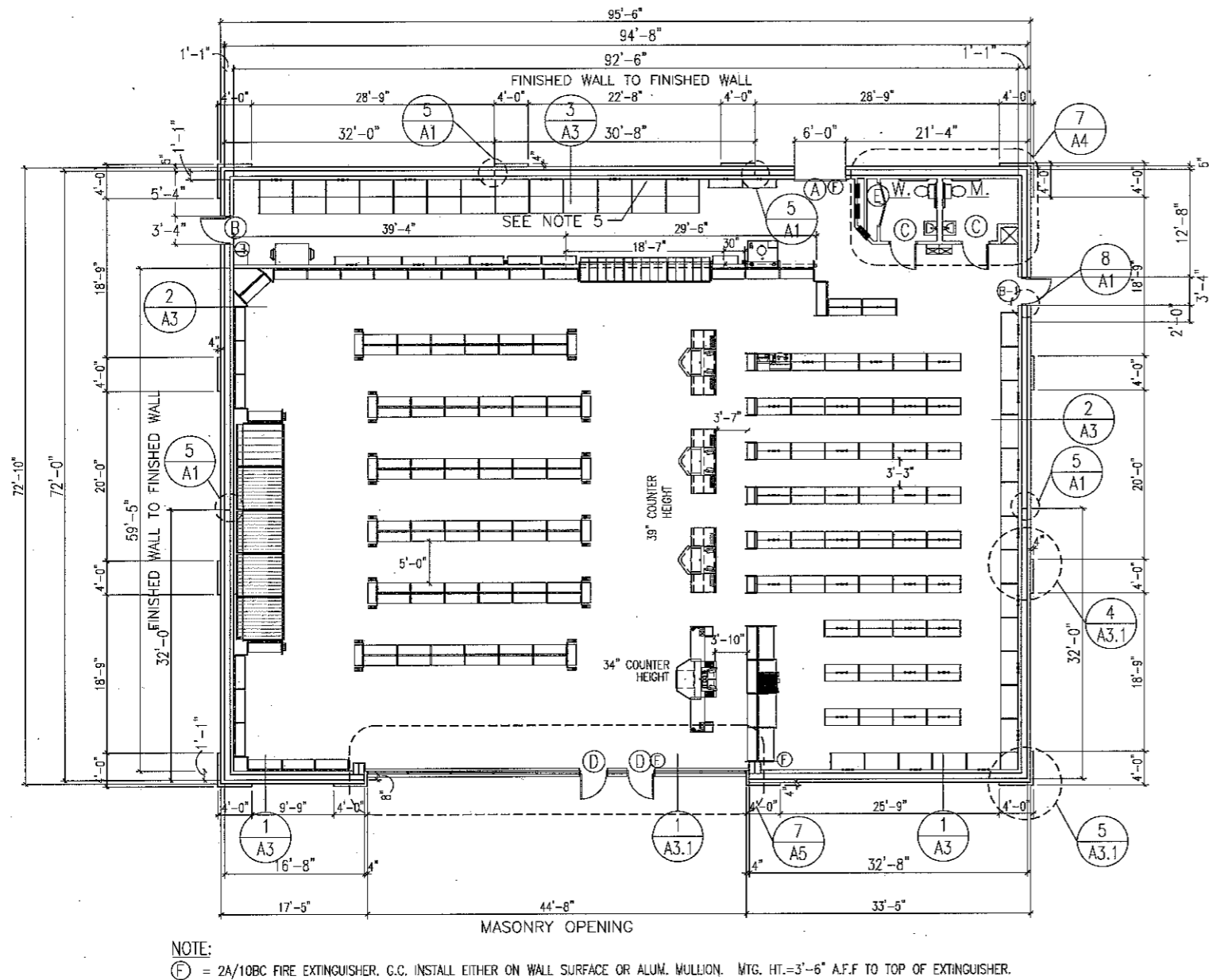
REVISIONS
1. Nov. 3, 2010
2.
3.
4.
5.
6.
7.

ENGINEER: AS
DRAFTSMAN: JK
CHECKED BY: JK

DATE: 11/3/2010
PROTOTYPE SIZE: 65W2-RGT

S1.7

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NOTE:
 (F) = 2A/10BC FIRE EXTINGUISHER. G.C. INSTALL EITHER ON WALL SURFACE OR ALUM. MULLION. MTG. HT.=3'-6" A.F.F TO TOP OF EXTINGUISHER.

1/8" = 1'-0"
 FLOOR PLAN

- REFER TO STRUCTURAL DRAWINGS FOR ALL DETAILS AND REQUIREMENTS REGARDING FOUNDATIONS, WALL REINFORCING, BOND BEAMS, LINTELS, AND ROOF FRAMING.
- REFER TO CIVIL DRAWINGS FOR LOCATIONS AND DETAILS OF SIDEWALKS, PIPE GUARDS, ETC., AS WELL AS FINISH FLOOR ELEVATION AND EXTERIOR FINISHED GRADES AROUND THE BUILDING.
- INSTALL 6" WIDE, 20 GAUGE GALVANIZED SHEET METAL STRIP BETWEEN THE BACK OF THE GYPSUM BOARD AND THE FACE OF THE METAL STUD AROUND THE ENTIRE PERIMETER OF THE BUILDING, AS WELL AS BOTH SIDES OF THE CURTAIN WALL. TOP OF STRIP TO BE 93" A.F.F. REFER TO SHEET A-4 FOR DETAILS OF CURTAIN WALL.
- SEE SHEET M-2 FOR LOCATION OF NON FREEZE YARD HYDRANT AND INSTALLATION REQUIREMENTS.
- INSTALL 1/2" X 4'-0" X 8'-0" AC PLYWOOD HORIZONTALLY WITH THE LONG EDGE ON THE FLOOR AND THE END JOINT CENTERING ON A STUD. APPLY PLYWOOD TO THE FACE OF GYPSUM BOARD WITH SCREWS TO FACILITATE FUTURE REPLACEMENT. SCREW TO VERTICAL FURRING STRIPS 24" O.C. WHERE BLOCK IS EXPOSED ON THE INTERIOR OF THE STORE. SEE 3/A4.
- SEE SPECIFICATIONS FOR INFORMATION ON ITEMS NOT COMPLETELY DELINEATED ON THE DRAWINGS.

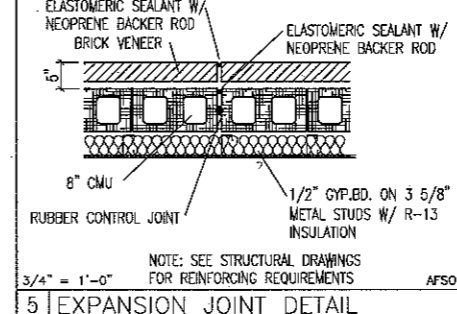
1/8" = 1'-0"
 2 | FLOOR PLAN NOTES

LOCATION	FLOOR	BASE	WALLS	CLG.	REM.			
	SEALED CONC.	VINYL TILE	VINYL	QUARRY TILE	GYP. BD.	F.R.P.	MTL. DECK	GYP. BD.
SALES AREA								
REST ROOMS								

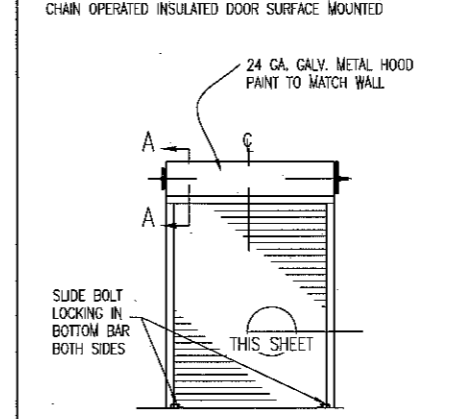
3/16" = 3'-0"
 3 | ROOM FINISH SCHEDULE

MK	SIZE	TYPE	FRAME	JAMB DET.	HEAD DET.	ADA / EXIT HARDWARE
A	6'-0" x 8'-0"	STEEL OVERHEAD ROLL-UP	STEEL ANGLE	6&7/A1	6&7/A1	
B	3'-0" x 7'-0" x 1-3/4"	HOLLOW METAL	HOLLOW METAL	8/A1	8/A1	PUSH BAR EXIT DEVICE
C	3'-0" x 6'-8" x 1-3/4"	S.C. WOOD UNDERCUT DOOR 1"	HOLLOW METAL	8/A1	8/A1	LEVER HANDLE PRIVACY SETS
D	3'-0" x 7'-0" x 1-3/4"	GLASS & ALUMINUM SEE SHEET A-5	ALUMINUM		SEE MANUFACTURER'S SHOP DRAWINGS	
E	2'-6" x 6'-8" x 1-3/4"	S.C. WOOD PAIR REQUIRED	HOLLOW METAL	8/A1	8/A1	UNDERCUT DOOR 1" (PAIR REQUIRED)

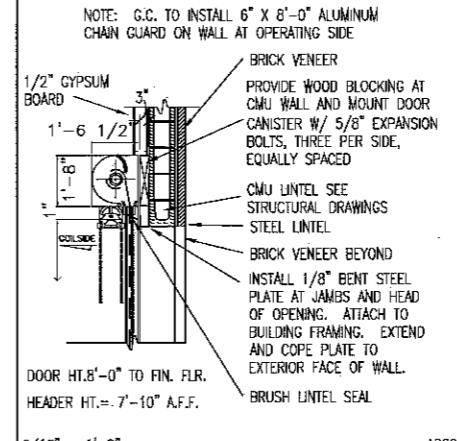
3/32" = 1'-0"
 4 | DOOR SCHEDULE -- HOLLOW METAL DOORS & FRAMES



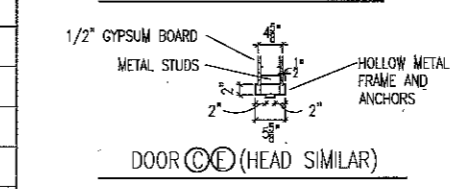
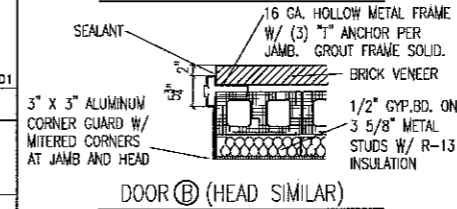
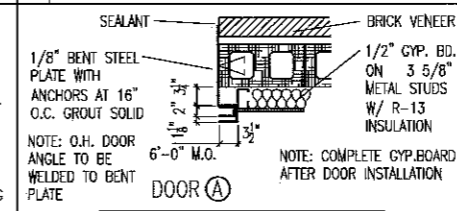
5 | EXPANSION JOINT DETAIL



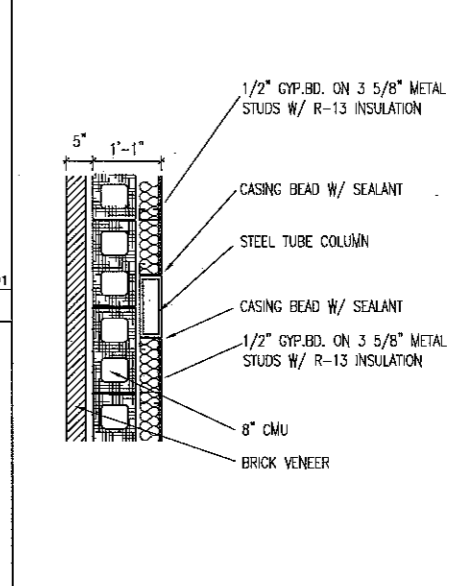
6 | OVERHEAD DOOR ELEVATION



7 | OVERHEAD DELIVERY DOOR (A)



8 | JAMB DETAILS

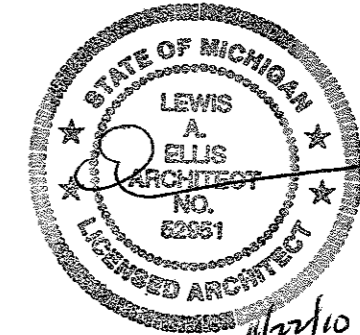


9 | REAR GIRDER LINE COLUMN

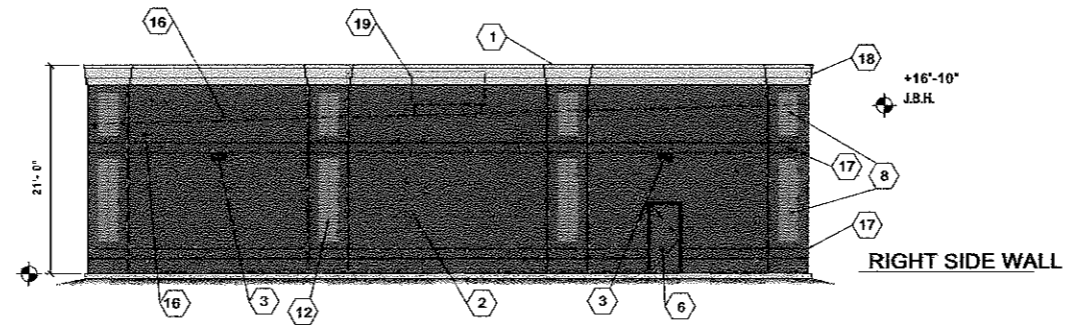
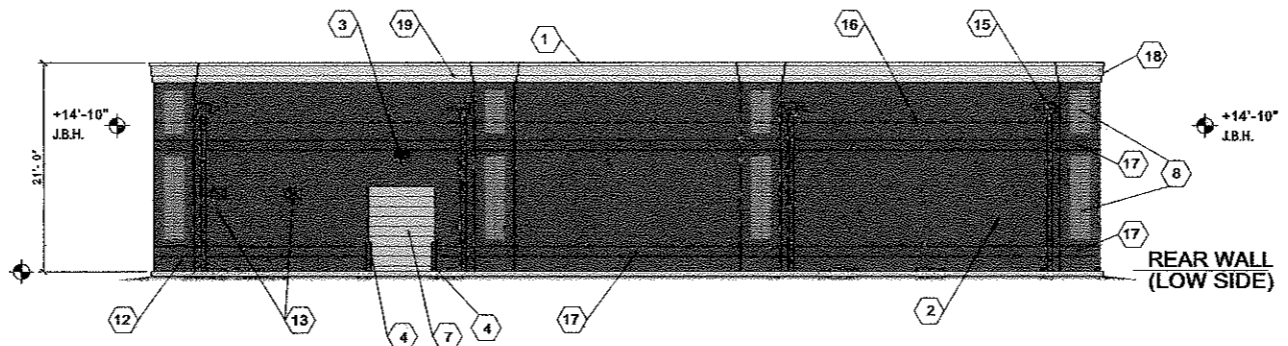
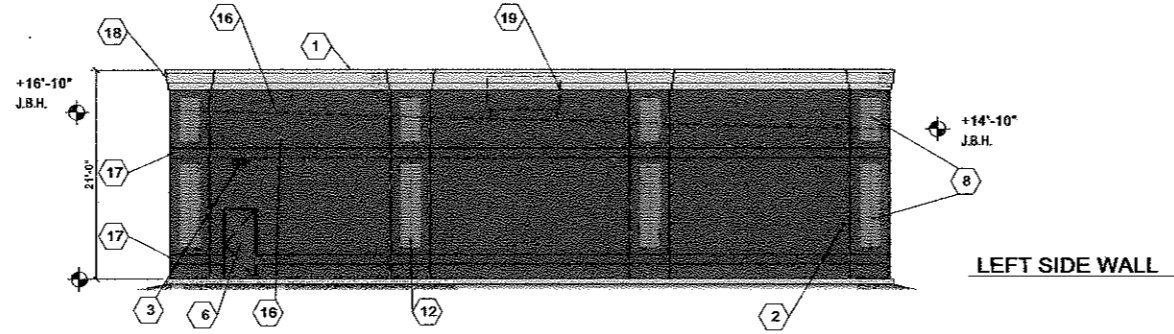
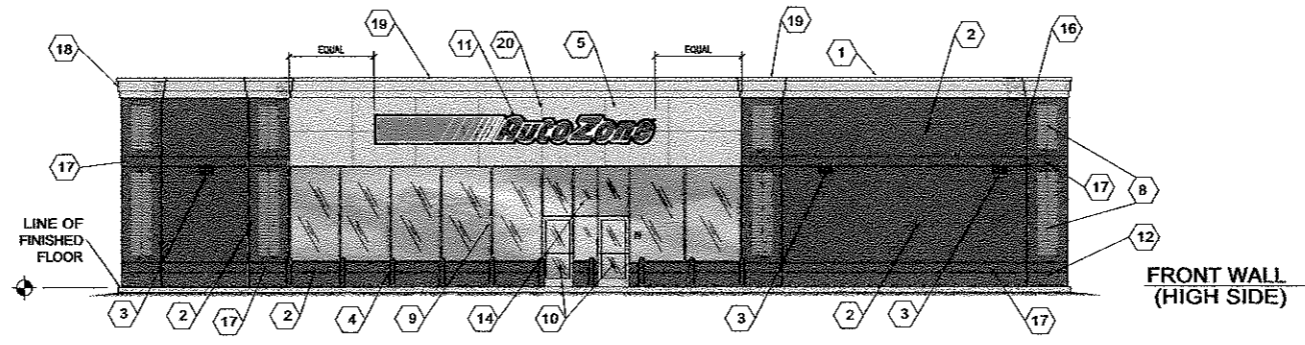
REVISIONS	1	2	3	4	5	6

AutoZone Store No. 4319
 934 E. AUBURN RD
 ROCHESTER HILLS MI 48307

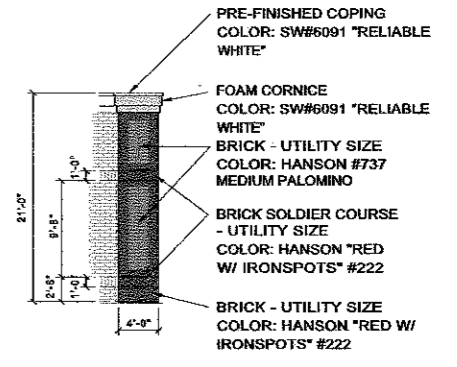
Architect: Lew Ellis
 123 South Front Street
 Memphis, Tennessee 38103
 TEL: 901-495-8707 FAX: (901) 495-8969
 For Bidding & Contractor Information Contact:
 F. W. Dodge Plan Room Tel. 615-884-1017



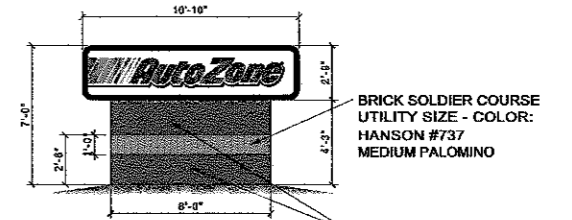
09/29/10
 65W2-R
A-1



- ELEVATION KEYNOTES**
- 1 PREFINISHED ALUMINUM COPING
COLOR: SW#6091 RELIABLE WHITE
 - 2 BRICK - UTILITY SIZE
COLOR: HANSON "RED W/ IRONSPOTS" #222
 - 3 WALL MOUNTED LIGHT FIXTURE - BRONZE FINISH
 - 4 PIPE GUARD WITH RED SLEEVE
 - 5 MFG. EXTERIOR INSULATED FINISH
COLOR: SW#6091 RELIABLE WHITE
 - 6 HOLLOW METAL DOOR AND FRAME PAINTED TO MATCH
BACKGROUND WALL COLOR
 - 7 DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
 - 8 BRICK UTILITY SIZE - SOLDIER COURSE
COLOR: HANSON #737 MEDIUM PALOMINO
 - 9 ALUMINUM STOREFRONT - RED KYNAR FINISH
 - 10 GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
 - 11 FRONT WALL SIGN - 36" CLOUD W/ STRIPES
 - 12 4'-0" WIDE BRICK PILASTER (4" PROJECTION)
 - 13 TOILET WALL VENTS PAINT TO MATCH WALL
 - 14 STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
 - 15 SCUPPERS AND DOWNSPOUTS. PAINTED TO MATCH
BACKGROUND WALL COLOR. ADJACENT 4" H. X 6" W.
OVERFLOW SCUPPER. FLOWLINE 2" ABOVE ROOF.
 - 16 BOND BEAM AT ROOF LINE
 - 17 BRICK UTILITY SIZE - SOLDIER COURSE
COLOR: HANSON "RED W/ IRONSPOTS" #222
 - 18 FOAM CORNICE COLOR: SW#6091 "RELIABLE WHITE"
 - 19 HVAC UNITS SCREENED BEHIND PARAPET WALL
 - 20 1" VERTICAL AND HORIZONTAL "V" GROOVE SCORED JOINTS

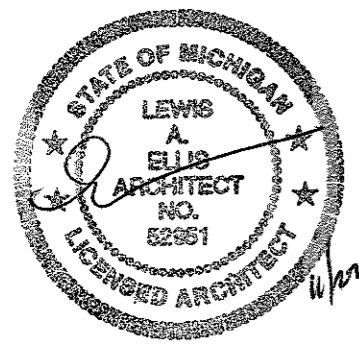


EXTERIOR SCHEME AT 4" PILASTER



MONUMENT SIGN
FRONT ELEVATION
29.79 SQ. FT.

BRICK - UTILITY SIZE
COLOR: HANSON "RED W/
IRONSPOTS" #222



Color Elevation
AutoZone Store #4319
ROCHESTER MI

