

WATER MAIN and BOOSTER PUMP STATION EASEMENT

Rochester Community Schools ("Grantor"), a Michigan General Powers School District, located at 501 W. University Drive, Rochester, MI 48307, in consideration of one dollar (\$1.00) and other good and valuable consideration, receipt of which is hereby acknowledged, grants to the CITY OF ROCHESTER HILLS ("Grantee"), a Michigan municipal corporation, located at 1000 Rochester Hills Drive, Rochester Hills, Michigan 48309, an easement for the construction, operation, maintenance, repair and/or replacement of a water main and booster pump station on, under, through and across land more particularly described as:

See attached Exhibits A and B
Sidwell #15-06-400-002

Also, see attached Exhibit C describing and depicting the temporary construction easement. Said temporary construction easement shall terminate upon the completion date of construction.

In connection with the grant of easement, Grantor waives and relinquishes any right, title or interest in the water main and booster pump station, or the facilities incidental thereto, which may be located in the easement.

All property disturbed or altered, now or in the future, by reason of the construction, operation, maintenance, repair and/or replacement of the water main and booster pump station shall be restored by the City to its immediately prior condition, except to the extent permanent improvements or alterations necessary to the use and exercise of easement rights granted hereunder are made.

The easement shall be irrevocable and non-exclusive. The Grantor and Grantor's successors and assigns may use and enjoy the easement area in common with the Grantee.

Grantor expressly reserves to Grantor and Grantor's successors and assigns, so long as there is no interference with the construction, operation, maintenance, repair and/or replacement of the water main: (a) the right of ingress and egress over, through and across the easement, and (b) the right to grant other non-exclusive easements and rights-of-way across, over, under and through the easement parcel, with the condition that prior to such a grant written consent shall be obtained from the City of Rochester Hills, which consent shall not be unreasonably withheld.


Grantee shall indemnify and hold Grantor harmless from any and all claims, debts, causes of action, or judgments for any damage to any property or injury to any person that may arise out of any of Grantee's actions within, use of, or around the easement, by themselves, their agents, employees, representatives, and contractors. This provision shall survive the termination of this easement.

Grantor shall retain the right to terminate this easement in the event Grantee takes any action inconsistent with the terms of this easement.

Exempt from Transfer Taxes under MCL 207.505(a) and 207.526(a).

IN WITNESS WHEREOF, the undersigned have hereunto affixed their signatures on this

21 day of November, 2016.

Rochester Community Schools


Signature
MICHAEL ZABAT

(Print Name)
SECRETARY BOE


Title

STATE OF MICHIGAN
COUNTY OF Oakland

The foregoing instrument was acknowledged before me this 21 day of November, 2016, by Michael Zabat who is the Secretary B.O.E. of Rochester Community Schools.

Drafted by:
Adele Swann
City of Rochester Hills
1000 Rochester Hills Drive
Rochester Hills, MI 48309

When recorded, return to:
City of Rochester Hills
1000 Rochester Hills Drive
Rochester Hills, MI 48309

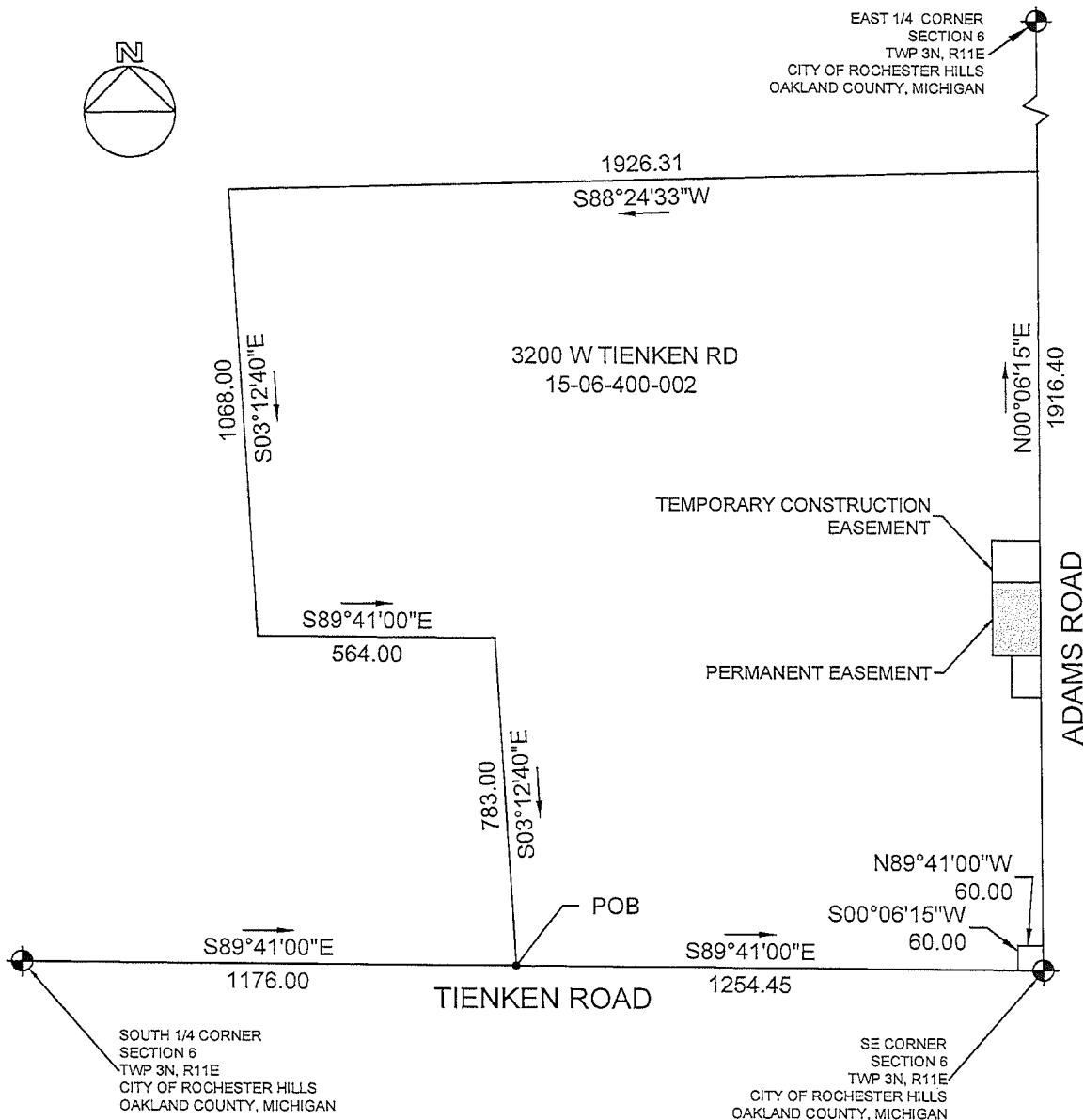


, Notary Public
County, Michigan
My Commission Expires: 3/10/2018



John Starau
Approved Form

EXHIBIT A PARCEL

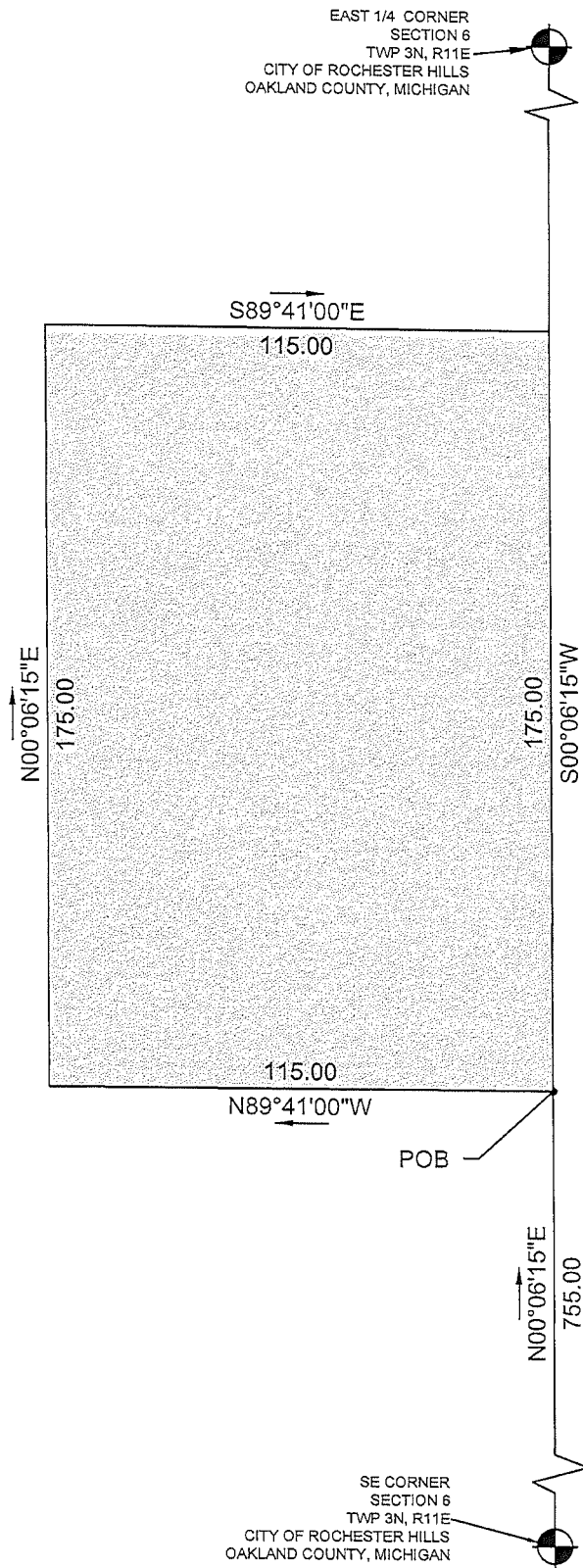
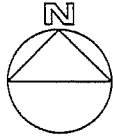


PART OF SE 1/4, SEC 6, T3N, R11E, BEG AT PT DIST S 89°41'00" E, 1176.00 FT FROM S 1/4 COR, TH S 89°41'00" E 1254.45 FT TO SE SEC COR, TH N 00°06'15" E 1916.40 FT, TH S 88°24'33" W 1926.31 FT, TH S 03°12'40" E 1068.00 FT, TH S 89°41'00" E 564.00 FT, TH S 03°12'40" E 783.00 FT TO THE POINT OF BEGINNING, EXC S 60.00 FT OF E 60.00 FT THEREOF, CONTAINING, 70.75 ACRES

APPROVED BY _____ DATE: _____	City of Rochester Hills 1000 Rochester Hills Drive Rochester Hills, Michigan 48309	BOOSTER PUMP STATION EASEMENT EXHIBIT A 15-06-400-002	SCALE 1" = 400' DATE: 10/13/2016 CITY FILE: E15-007
PREPARED BY ENGINEERING SERVICES DEPARTMENT OF PUBLIC SERVICES			

EXHIBIT B

WATER MAIN AND BOOSTER PUMP STATION EASEMENT



PART OF SE 1/4, OF T3N, R11E, SEC 6,
 BEGINNING AT PT DISTANT N 00°06'15 E 755.00 FT FROM SE CORNER,
 THENCE N 89°41'00" W 115.00 FT, THENCE N 00°06'15" E 175.00 FT,
 THENCE S 89°41'00" E 115.00 FT, THENCE S 00°06'15" E 175.00 FT,
 TO THE POINT OF BEGINNING.

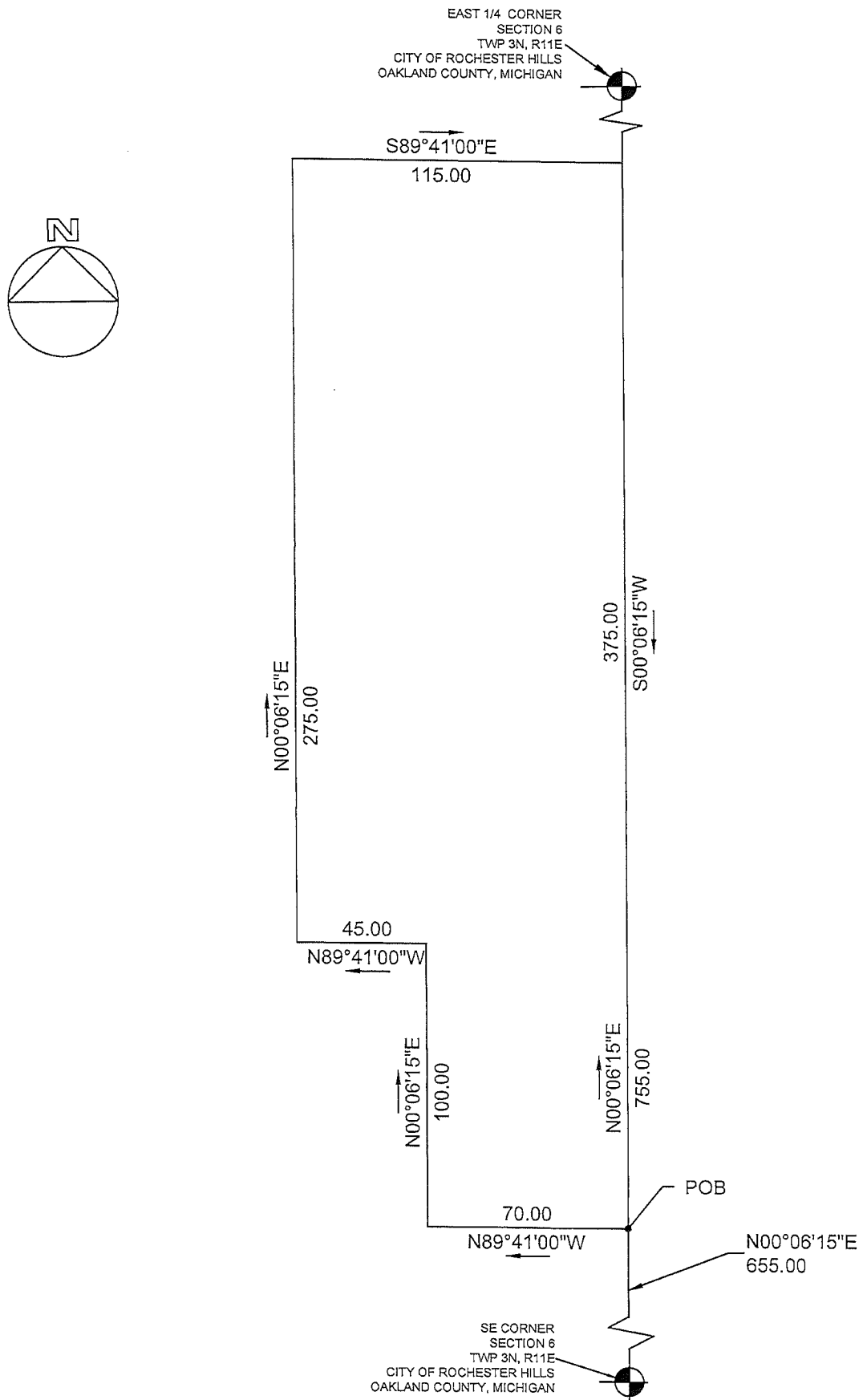
I:\Eng\IPUBL\E15007 Booster Station #2 Replacement Project\CAD\New pump station wo WLD FILE.dwg

PLOT DATE: 10/13/2016 2:05:56 PM

APPROVED BY DATE: _____	City of Rochester Hills 1000 Rochester Hills Drive Rochester Hills, Michigan 48309	BOOSTER PUMP STATION EASEMENT	SCALE 1" = 40'
PREPARED BY ENGINEERING SERVICES DEPARTMENT OF PUBLIC SERVICES		EXHIBIT B 15-06-400-002	DATE: 10/13/2016
			CITY FILE: E15-007

EXHIBIT C

TEMPORARY CONSTRUCTION EASEMENT



PART OF SE 1/4, OF T3N, R11E, SEC 6,
 BEGINNING AT PT DISTANT N 00°06'15" E 655.00 FT FROM SE CORNER,
 THENCE N 89°41'00" W 70.00 FT, THENCE N 00°06'15" E 100.00 FT,
 THENCE N 89°41'00" W 45.00 FT, THENCE N 00°06'15" W 275.00 FT,
 THENCE S 89°41'00" E 115.00 FT, THENCE S 00°06'15" E 375.00 FT,
 TO THE POINT OF BEGINNING.

APPROVED BY _____ DATE: _____	City of Rochester Hills 1000 Rochester Hills Drive Rochester Hills, Michigan 48309	BOOSTER PUMP STATION CONSTRUCTION EASEMENT EXHIBIT C 15-06-400-002	SCALE 1" = 50' DATE: 10/13/2016 CITY FILE: E15-007
PREPARED BY ENGINEERING SERVICES DEPARTMENT OF PUBLIC SERVICES			