



Sidock Group
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Key Plan: No Scale

ROCHESTER HILLS FIRE STATION No.4

CITY OF ROCHESTER HILLS, MICHIGAN

SITE PLAN APPROVAL PACKAGE

FEBRUARY 3, 2017

Client:
CITY OF
ROCHESTER HILLS

Project:
ROCHESTER HILLS
FIRE STATION No.4

2723 WALTON BLVD.
ROCHESTER HILLS, MI 48309

Seal:



| Date | Issued For |
|----------|------------|
| 10/25/16 | 60 REVIEW |
| 12/23/16 | 95 REVIEW |
| 02/03/17 | SPA |

Drawn: K GILSON
Checked: S. PETERSON
Approved: S. PETERSON

Sheet Title:
COVER SHEET

Project Number: 916407

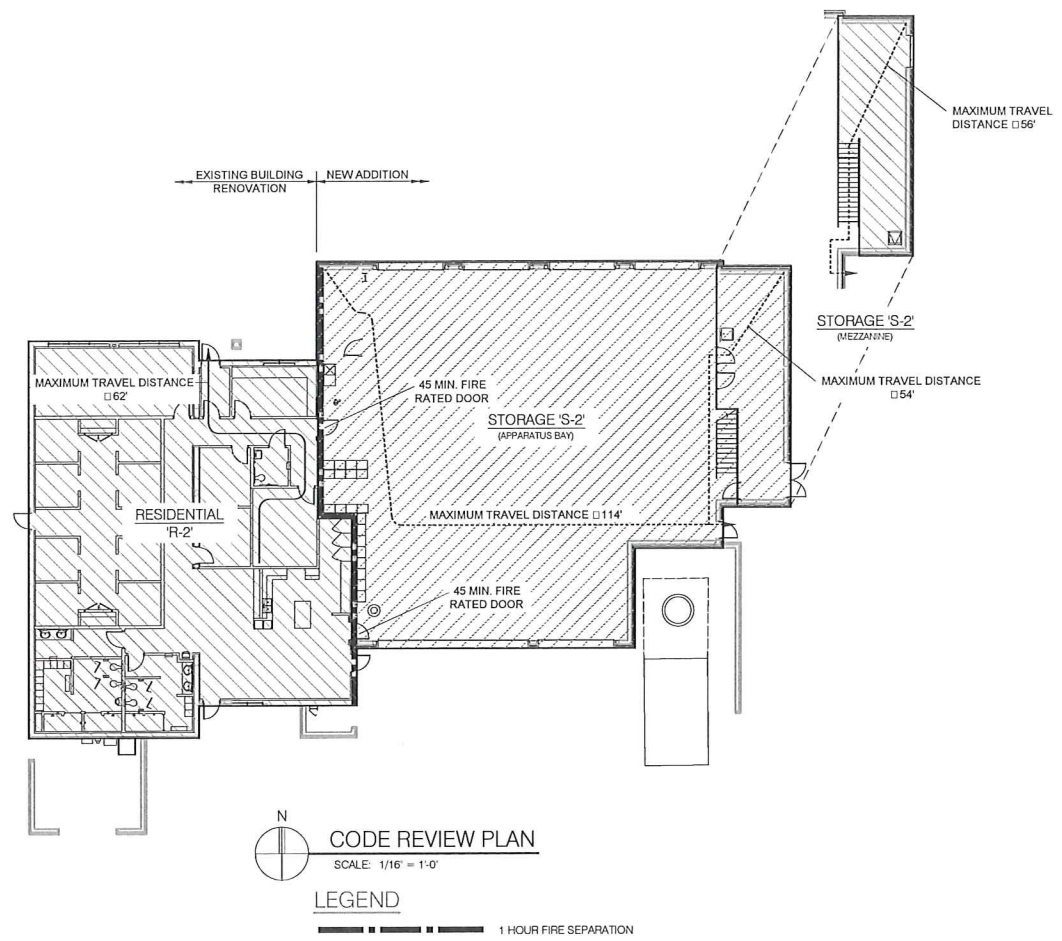
Sheet Number: CS-001

CITY FILE #: 14-020

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SITE LOCATION MAP
SCALE: NO SCALE



PROJECT DATA & CODE COMPLIANCE CALCULATIONS

CODE DATA
2012 MICHIGAN BUILDING CODE, 2012 MICHIGAN MECHANICAL CODE, 2012 MICHIGAN PLUMBING CODE
2006 INTERNATIONAL FUEL GAS CODE, MICHIGAN ELECTRICAL CODE, 2014 NEC w/PART 8 STATE AMENDMENTS
ICC/ANSI A17.1-2009 MICHIGAN UNIFORM ENERGY CODE

| | | |
|--|--|---|
| USE GROUPS: | R-2 / S-2 MIXED USE, SEPARATED (1-HOUR SEPARATION) | MCB 302 MCB 508.4 |
| R-2 RESIDENTIAL (Firefighter Living Quarters) | | MCB 2012 - 310.4 |
| S-2 STORAGE (Apparatus Bay and Support Areas) | | MCB 2012 - 311.3 |
| CONSTRUCTION TYPE: | IB (FULLY SPRINKLED) | MCB TABLE 503 |
| ALLOWABLE BUILDING HEIGHT: | USE GROUP 'R-2': 55', 4 STORIES USE GROUP 'S-2': 55', 3 STORIES | MCB 506.4.1 |
| ALLOWABLE BUILDING AREA (PER STORY): | 16,000 S.F. 26,000 S.F. | MCB 508.3.2 |
| ACTUAL: | BUILDING HEIGHT: 32'-0" (1-STORY) - O.K. BUILDING GROSS AREA: 9,663 S.F. - O.K. | |
| BUILDING OCCUPANT LOAD CALCULATIONS: | | MCB TABLE 1004.1.2 |
| TABULAR OCCUPANCY | | |
| USE GROUP 'R-2' | LIVING QUARTERS 4,655 S.F. GROSS/200 S.F. GROSS PER PERSON = 21 OCCUPANTS* | |
| USE GROUP 'S-2' (APPARATUS BAY/MEZZANINE) | 5,608 S.F. GROSS/200 S.F. GROSS PER PERSON = 29 OCCUPANTS | |
| NOTE: BASED ON OWNER AFFIDAVIT, ACTUAL BUILDING OCCUPANT LOAD = 6 FIREFIGHTERS (4 MALE, 2 FEMALE) | | |
| BUILDING EGRESS: | | MCB 1005 |
| APPARATUS BAY AREA (S-2) CORRIDORS & DOORS: | | |
| 0.30' / OCCUPANT x 29 TOTAL OCCUPANTS = 8.7' MIN. (1) 36" DOORS PROVIDED - O.K. | | |
| LIVING QUARTERS (R-2) CORRIDORS & DOORS: | | |
| 0.30' / OCCUPANT x 21 OCCUPANTS = 6.3' MIN. (2) 36" DOORS AND 5'-0" CORRIDORS PROVIDED - O.K. | | |
| TRAVEL DISTANCES (WITH SPRINKLER SYSTEM) | | |
| OCCUPANCY: | R-2 250 FT. MAX S-2 400 FT. MAX | ACTUAL = 62 FT. - O.K. ACTUAL = 114 FT. - O.K. |

CODE COMPLIANCE CALCULATIONS PLUMBING FIXTURES

REQUIRED PLUMBING FIXTURE CALCULATIONS MPC TABLE 403.1

RESIDENTIAL (R-2) AND STORAGE (S-2) AREA:
TOTAL CALCULATED OCCUPANT LOAD (PER 2012 MCB TABLE 1004.1.2) = 50 PEOPLE; (25 MALE/ 25 FEMALE)
TOTAL ACTUAL OCCUPANT LOAD = 6 PEOPLE; (4 MALE/ 2 FEMALE)*

*PER OWNER AFFIDAVIT ACTUAL OCCUPANCY BASED ON USE.

| TOILET FIXTURES REQUIRED: | MALE | FEMALE |
|---|---|---|
| WATERCLOSETS: | (1 PER 10 OCCUPANTS) 4/10 = 0.4 = (1) FIXTURE REQUIRED (2) PROVIDED + (1) URINAL + (1) UNISEX BARRIER-FREE WATERCLOSET | (1 PER 10 OCCUPANTS) 2/10 = 0.2 = (1) FIXTURE REQUIRED (2) PROVIDED |
| LAVATORIES: | (1 PER 10 OCCUPANTS) 4/10 = 0.4 = (1) FIXTURE REQUIRED (2) PROVIDED + (1) UNISEX BARRIER-FREE LAVATORY | (1 PER 10 OCCUPANTS) 2/10 = 0.2 = (1) FIXTURE REQUIRED (2) PROVIDED |
| BATHUBS/SHOWERS (LIVING QUARTERS): | (1 PER 8 OCCUPANTS) 4/8 = 0.5 = (1) FIXTURE REQUIRED (2) PROVIDED | (1 PER 8 OCCUPANTS) 2/8 = 0.4 = (1) FIXTURE REQUIRED (1) PROVIDED |
| DRINKING FOUNTAINS: | (1 PER 100 OCCUPANTS) 6/100 = 0.06 = (1) FIXTURE REQUIRED (1) PROVIDED | |
| SERVICE SINKS: | (1) FIXTURE REQUIRED (1) PROVIDED | |

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Checked: S. PETERSON
Approved: S. PETERSON

Sheet Title:
CODE COMPLIANCE CALCULATIONS

Project Number: 916407

Sheet Number: **CS-003**

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LEGEND (EXISTING)

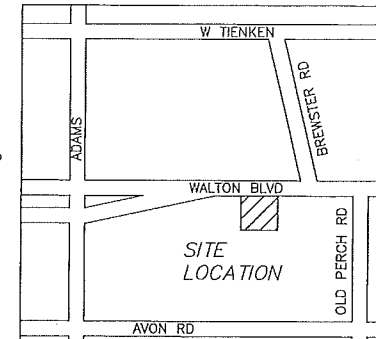
| | | |
|---------------------------|--------------------------------|--------------------|
| • METAL OR CONG. POST | ○ GAS | ▭ CONCRETE |
| ▭ MANHOLE | ○ SANITARY SINK (SAN) | ▭ ASPHALT |
| ○ SIGN | ○ STORM SINK (STN) | ▭ GRAVEL |
| ○ WATER FOUNTAIN | ○ WATER MAIN (WM) | ○ SECTION CORNER |
| ○ PARKING METER | ○ OVERHEAD WIRE (OH) | ○ TRAVELER POINT |
| ○ BILLBOARD OR LARGE SIGN | ○ UNDERGROUND ELECTRIC (UE) | ○ STRUCTURE NUMBER |
| ○ BASKETBALL HOOP | ○ UNDERGROUND PHONE (PH) | ○ POINT NO. |
| ○ BOARDER | ○ UNDERGROUND CABLE (UC) | ○ SPOT ELEVATION |
| ○ STAIRS OR SCULPTURE | ○ CHAIN LINK FENCE (CL) | ○ U.G. F.D. |
| ○ BENCH | ○ WOOD FENCE | ○ CONC. CONCRETE |
| ○ INV. INVERT ELEVATION | ○ MOVED WIRE FENCE (M.W.F.) | ○ ASPHL |
| ○ CORRUGATED METAL PIPE | ○ GUARD RAIL | ○ FOUND IRON |
| ○ STRIP | ○ CENTERLINE OF DITCH OR SHALE | ○ SET IRON |
| ○ CONIFEROUS TREE | ○ DRAINAGE | ○ FOUND MONUMENT |
| ○ DEODOROUS TREE | ○ DRAIN BANK/TOP OF SLOPE | |
| ○ DEODOROUS SHRUB | ○ CONCRETE | |
| ○ CONIFEROUS SHRUB | ○ PROPERTY LINES | |
| | ○ EASEMENTS | |
| | ○ RAILROAD | |

LEGAL DESCRIPTION OF REAL ESTATE TOTAL PARCEL
 A parcel of land being a part of the Northwest 1/4 of Section 17, T3N, R11E, City of Rochester Hills, Oakland County, Michigan and described as: Beginning at a point distant West 1008.89 feet (Recorded) N. 89° 54' 04" W. 1067.24 feet (Measured) from the North 1/4 corner of said Section 17; thence West 140.00 feet (Recorded) N. 89° 54' 04" W. 140.00 feet (Measured); thence South 250.00 feet (Recorded) 254.85 feet (Measured); thence East 140.00 feet (Measured) North 260.00 feet (Recorded) 254.82 feet (Measured) to the point of beginning of this description, EXCEPT the Northerly 60.00 feet taken for Walton Boulevard and Lot 150, "SPRING HILL SUBDIVISION NO. 1", according to the Plat thereof as recorded in Liber 78 of Plats, Pages 24 and 25, Oakland County Register of Deeds Office, said Plat being a part of the Northwest 1/4 of Section 17, T3N, R11E, Acon Township (Now the City of Rochester Hills), Oakland County, Michigan AND ALSO vacated Rhineberry Road adjacent. Said parcel contains 1.50 acres, more or less.

I hereby certify that I have boundary surveyed and mapped the above or attached described parcel(s) of land that the error of closure is no greater than 1 in 5000 and that the survey is in full compliance with Section No. 3 Act 132 P.A. 1970
 Timothy L. Edie, P.S. #53455

LEGAL DESCRIPTION INGRESS/EGRESS AND PUBLIC UTILITIES EASEMENT
 AN INGRESS/EGRESS AND PUBLIC UTILITIES EASEMENT OVER PART OF THE NORTHWEST 1/4 OF SECTION 17, AND PART OF RHINEBERRY ROAD BEING PART OF "SPRING HILL SUBDIVISION NO. 1" (L79 P.24 & 25), T.3N, R.11E, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 17; THENCE ALONG THE NORTH SECTION LINE WEST 1193.97 FT.; THENCE SOUTH 80.00 FT. TO THE SOUTH RIGHT OF WAY LINE OF WALTON BOULEVARD AND POINT OF BEGINNING; THENCE ALONG SAID LINE EAST 35.00 FT.; THENCE SOUTH 14.00 FT.; THENCE EAST 79.71 FT.; THENCE SOUTH 131.58 FT.; THENCE WEST 31.00 FT.; THENCE NORTH 101.26 FT.; THENCE WEST 79.71 FT.; THENCE NORTH 44.00 FT. TO THE POINT OF BEGINNING. (SOURCE PEA PLAN 02-05-00)

LEGAL DESCRIPTION WATERMAIN EASEMENT
 A WATERMAIN EASEMENT OVER PART OF THE NORTHWEST 1/4 OF SECTION 17, T.3N, R.11E, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, COMMENCING AT THE SOUTHWEST CORNER OF LOT 150 OF "SPRING HILL SUBDIVISION NO. 1"; THENCE ALONG THE SOUTH PROPERTY LINE WEST, 37.00 FT. TO THE POINT OF BEGINNING; THENCE CONTINUING WEST, 20.00 FT.; THENCE NORTH, 170.00 FT.; THENCE WEST, 20.00 FT.; THENCE EAST 40.00 FT.; THENCE SOUTH 190.00 FT. TO THE POINT OF BEGINNING. (SOURCE PEA PLAN 02-05-00)



LOCATION MAP
NOT TO SCALE

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CLIENT NAME:
CHMP INC
 6198 TERRITORIAL RD
 GRAND BLANC, MI 48439
 T (810) 895-6910

3 WORKING DAYS
 800-482-7771

Know what's below. Call before you dig.
 PRIOR TO CONSTRUCTION, ALL EXISTING UTILITIES LOCATION AND DEPTH WITHIN THE PROJECT AREA SHALL BE FIELD VERIFIED. CALL MISS DIG SYSTEM 3 WORKING DAYS PRIOR TO CONSTRUCTION.
 UTILITY INFORMATION SHOWN ON THIS DRAWING ARE APPROXIMATE AND MAY BE ACCORDING TO AVAILABLE RECORD OR DISCLOSED INFORMATION BY VARIOUS UTILITY COMPANIES, PUBLIC AGENCIES, OR OTHER SOURCES AND THIS MAY NOT NECESSARILY REFLECT ACTUAL FIELD LOCATIONS AND NO GUARANTEE IS GIVEN TO COMPLETENESS OR ACCURACY.
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PROJECT NAME:
ROCHESTER HILLS FIRE STATION 4
 (2729 WALTON BLVD)
TOPOGRAPHICAL SURVEY

PROJECT LOCATION:
 SEC 17, T3N, R11E
 CITY OF ROCHESTER HILLS
 OAKLAND COUNTY

Drawn By: S.GENNA
 Checked By: SS
 Approved By: SS

REVISIONS:
 1. 03/23/14 ISSUED TO CHMP
 2. 10/13/14 FINAL
 3. 12/09/14 CITY REV 1

SCALE VERIFICATION:

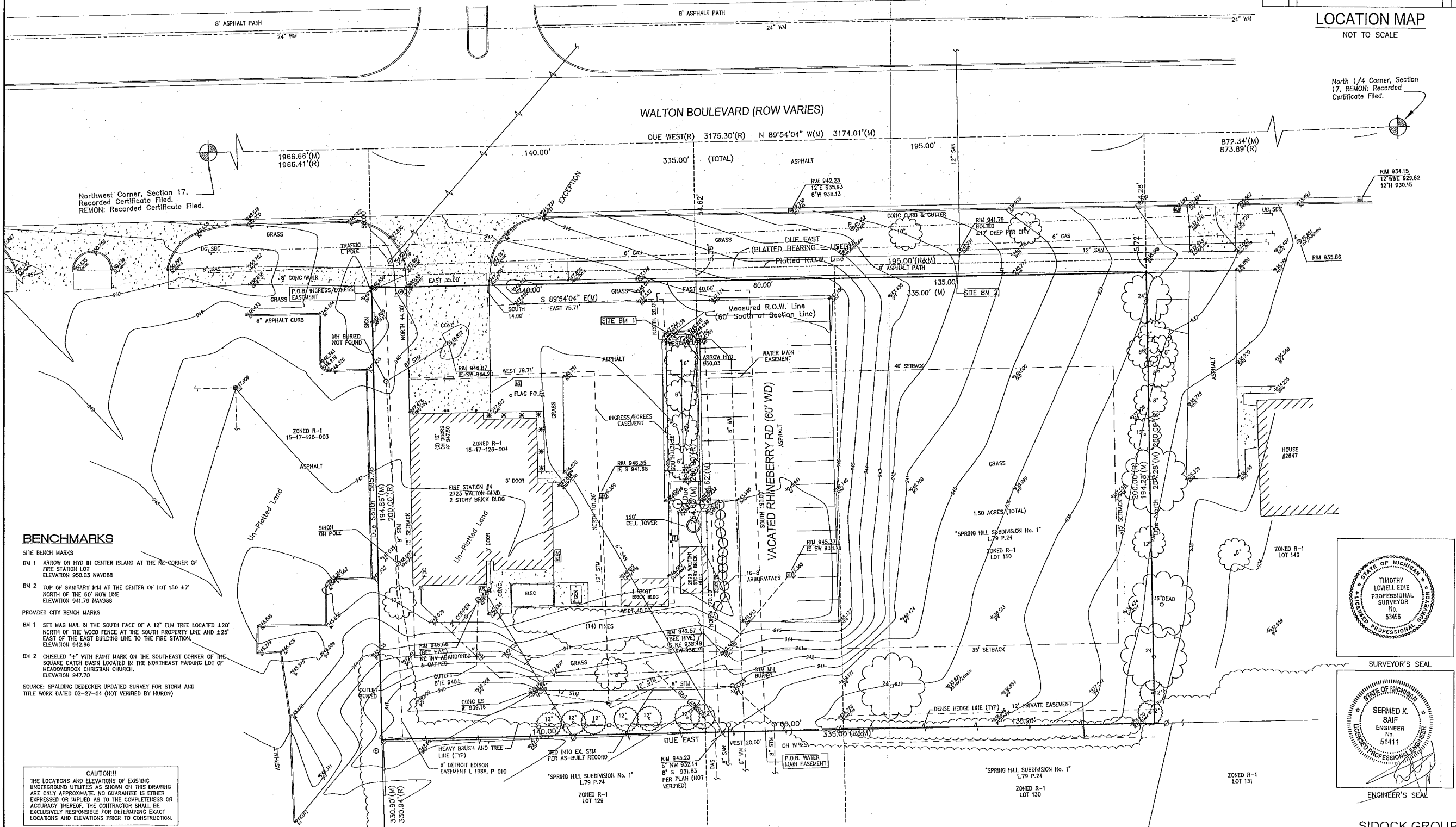
 BAR IS ONE-INCH
 ADJUST SCALES ACCORDINGLY IF NOT

SCALE:
 1" = 20'

HC PROJECT NO:
 14-11242

HC DRAWING NO:
 14-11242TPFS4

1 OF 1



BENCHMARKS

- SITE BENCH MARKS**
- BM 1 ARROW ON HYD IN CENTER ISLAND AT THE NE CORNER OF FIRE STATION LOT ELEVATION 950.03 NAVD88
 - BM 2 TOP OF SANITARY RM AT THE CENTER OF LOT 150 ±7' NORTH OF THE 60' ROW LINE ELEVATION 941.79 NAVD88
- PROVIDED CITY BENCH MARKS**
- BM 1 SET MAG NAIL IN THE SOUTH FACE OF A 12" ELM TREE LOCATED ±20' NORTH OF THE WOOD FENCE AT THE SOUTH PROPERTY LINE AND ±25' EAST OF THE EAST BUILDING LINE TO THE FIRE STATION. ELEVATION 942.96
 - BM 2 CHISELED "*" WITH PAINT MARK ON THE SOUTHEAST CORNER OF THE SQUARE CATCH BASIN LOCATED IN THE NORTHEAST PARKING LOT OF HEADBROOK CHRISTIAN CHURCH. ELEVATION 941.70
- SOURCE: SPALDING BEDECKER UPDATED SURVEY FOR STORM AND TITLE WORK DATED 02-27-04 (NOT VERIFIED BY HURON)

CAUTION!!!
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING EXACT LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

STATE OF MICHIGAN
 TIMOTHY LOWELL EDIE
 PROFESSIONAL SURVEYOR
 No. 53455

STATE OF MICHIGAN
 SERMED K. SAIF
 ENGINEER
 No. 51411

TOPOGRAPHICAL SURVEY
 1" = 20'

SIDOCK GROUP
 SHEET TS-100
 CITY FILE #14-020



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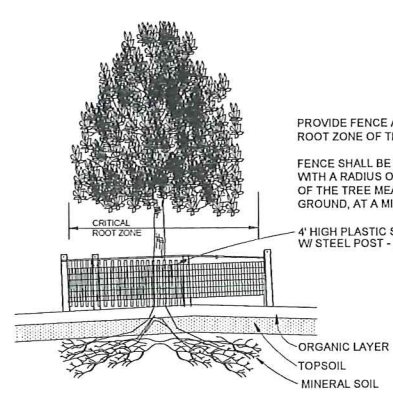
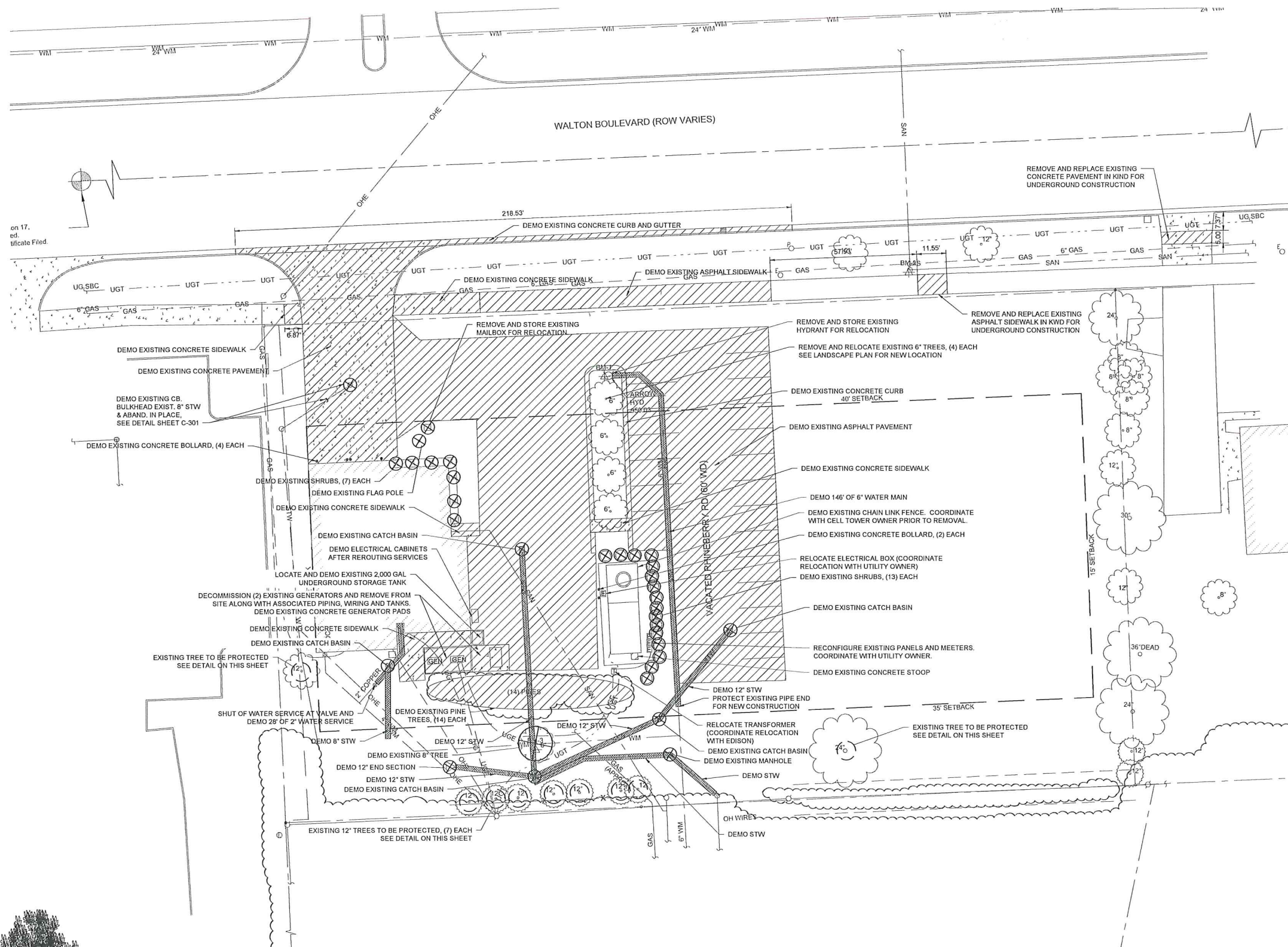
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Key Plan: No Scale



PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE.
FENCE SHALL BE PLACED IN A CIRCLE WITH A RADIUS OF 1" PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND, AT A MINIMUM.
4" HIGH PLASTIC SNOW FENCE W/ STEEL POST - 10' O.C.

TREE PROTECTION NOTES:
TREE PROTECTION SHALL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN DRIP LINES.
GRADE CHANGES MUST BE MINIMAL WITHIN THE DRIP LINE OF PROTECTED TREES.
DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE.
ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING, WHERE POSSIBLE.
REGULATED TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.

LEGEND

NOTES:
1. DEMOLISH OR DEMO, SHALL MEAN REMOVAL AND DISPOSAL.

DEMOLITION PLAN
SCALE: 1"=20'

EXISTING UNDERGROUND UTILITIES WERE TAKEN FROM PLANS OF RECORD AND/OR CAD FILES FURNISHED BY OTHERS. THEY HAVE BEEN SHOWN TO THE EXTENT KNOWN AND ARE OFFERED SOLELY FOR INFORMATIONAL PURPOSES. THEY MAY NOT REFLECT THE ACTUAL LOCATIONS AND MAY NOT BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

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ROCHESTER HILLS FIRE STATION No.4

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Date: 10/25/16
Issued For: 60 REVIEW
02/03/17 SPA

Drawn: MMG
Checked: CL
Approved: SEP

Sheet Title:
DEMOLITION PLAN

Project Number: 916407

Sheet Number: **C-101**

CITY FILE #: 14-020



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Date: 12/12/16 Issued For: OWNER REVIEW
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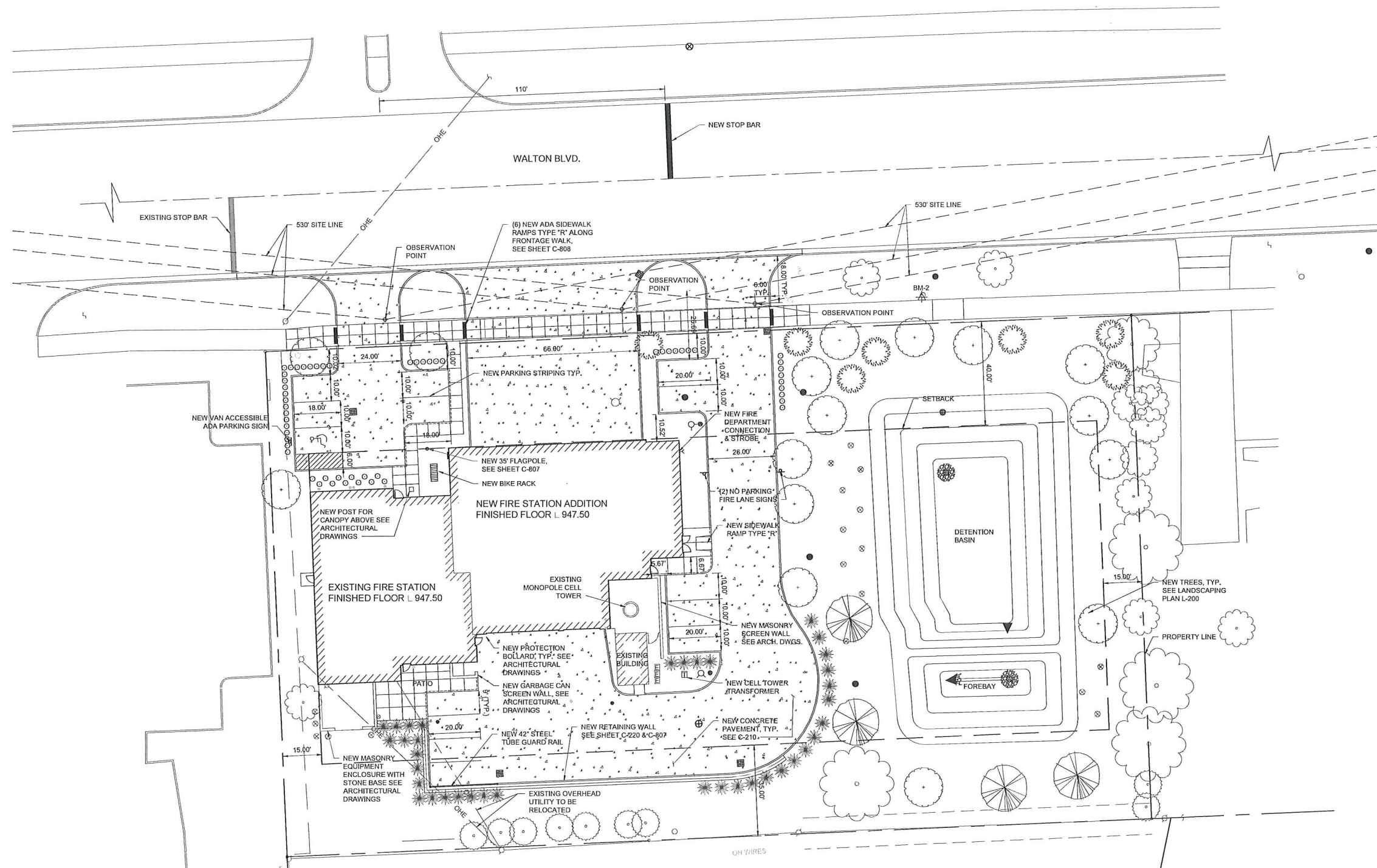
Drawn: C. LEACH, C. JOHNSON
Checked: C. LEACH
Approved: S. PETERSON

Sheet Title:
SITE PLAN

Project Number: 916407

Sheet Number: **C-200**

CITY FILE #: 14-020



| ORDINANCE TABLE | | | |
|--------------------------------------|-----------------------|---------------------------------------|--|
| SITE & ABUTTING PROPERTIES ZONED R-1 | | | |
| ORDINANCE | REFERENCE | REQUIRED | PROVIDED |
| USE | SECTION 138-4.300 | MUNICIPAL BUILDING PERMITTED | FIRE STATION |
| SETBACKS | EXISTING | FRONT - 40 FT | 40 FT |
| | | REAR - 35 FT | 65.7 FT |
| | | SIDE - 15 FT | 15 FT |
| LOT COVERAGE | SECTION 138-5.201, F | 25% MAX SITE = 1.50 AC = 65,340 SF | EX. BLDG 4,055 + NEW 5,608 = 9,663 SF TOTAL 14.8% COVERAGE |
| SLOPES | SECTION 138-9.203, B5 | 1:3 (33%) MAX SLOPE | 1:3 (33%) MAX SLOPE |
| PARKING SETBACKS | SECTION 138-11.102, 4 | FRONT - 10 FT | FRONT - 10 FT |
| | | REAR - 10 FT | REAR - 10 FT |
| | | SIDE - 10 FT | SIDE - 10 FT |
| PARKING REQUIRED | SECTION 138-11.204 | MUNICIPAL | 13 STANDARD |
| | | 1 SPACE PER EMPLOYEE | 1 ADA |
| | | 13 PER FIRE DEPARTMENT | 14 TOTAL |
| PARKING SIZING | SECTION 138-11.300, A | 1 ADA FOR UP TO 25 SPACES | |
| | SECTION 138-11.300, B | WIDTH 11+5 FT FOR ADA | WIDTH 11+5 FT |
| | SECTION 138-11.302 | LENGTH - 18 FT | LENGTH 18 FT |
| | SECTION 138-11.302 | WIDTH - 10 FT CUSTOMERS | WIDTH - 10 FT CUSTOMERS |
| OFF-STREET LOADING | SECTION 138-11.302, B | WIDTH - 9 FT EMPLOYEES | WIDTH - 9 FT EMPLOYEES |
| | SECTION 138-11.303 | NONE REQ'D IN R-1 | NONE PROVIDED |

FIRE DEPARTMENT NOTES:

- FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 503.
- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14 OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING OR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 307.6.2 & 307.6.2.3.



SITE PLAN
SCALE: 1"=20'

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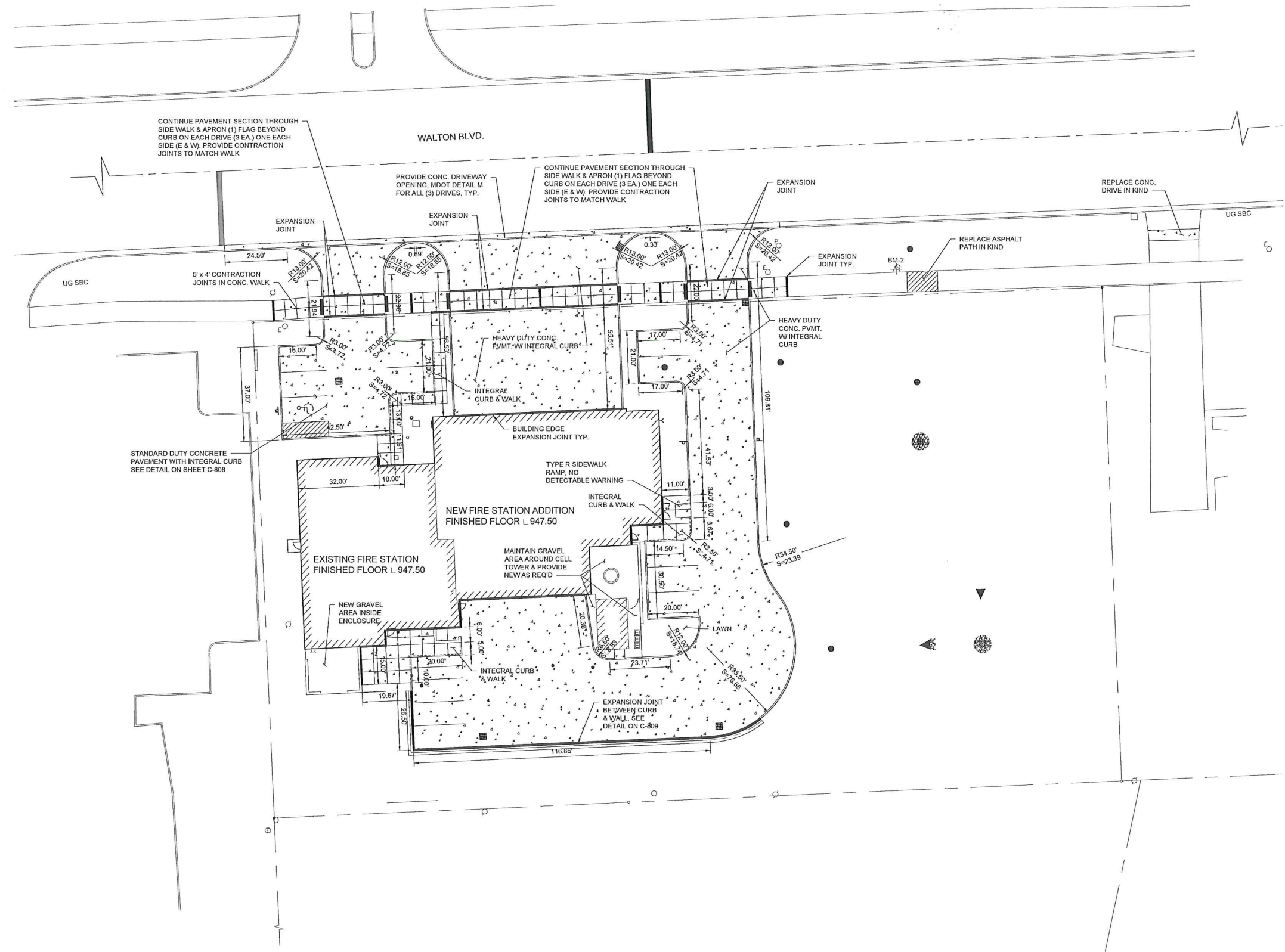
| | |
|-----------|-------------|
| Drawn: | M. GILBERT |
| Checked: | C. LEACH |
| Approved: | S. PETERSON |

Sheet Title:
PAVING PLAN

Project Number: 916407

Sheet Number: **C-210**

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CITY FILE #: 14-020



| SLAB THICKNESS (IN) | PANEL SIZE FOR MAX SIZE AGGREGATE LESS THAN 3/4" (FT.) | PANEL SIZE FOR MAX SIZE AGGREGATE 3/4" AND LARGER (FT.) |
|---------------------|--|---|
| 6 | 12 | 15 |
| 8 | 16 | 20 |

JOINTS SHALL BE LOCATED TO PROVIDE SQUARE PANELS OR RECTANGULAR (AT A RATIO OF 1.25 L : W MAX)

- NOTES:
1. ALL RADII ARE DIMENSIONED TO BACK OF CURB
 2. SEE SHEET C-808 FOR PAVING DETAILS
 3. SEE SHEET C-807 FOR MISC. SURFACE FEATURE DETAILS

N
PAVING PLAN
SCALE: 1" = 20'

EXISTING UNDERGROUND UTILITIES WERE TAKEN FROM PLANS OF RECORD AND/OR CAD FILES FURNISHED BY OTHERS. THEY HAVE BEEN SHOWN TO THE EXTENT KNOWN AND ARE OFFERED SOLELY FOR INFORMATIONAL PURPOSES. THEY MAY NOT REFLECT THE ACTUAL LOCATIONS AND MAY NOT BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.



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Lansing • Gaylord • Sault Ste. Marie

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www.sidockgroup.com

Key Plan: No Scale

Client:
CITY OF ROCHESTER HILLS

Project:
**ROCHESTER HILLS
FIRE STATION No. 4**

2723 WALTON BLVD.
ROCHESTER HILLS, MI 48309

Seal:



Date: 12/12/16 Issued For: OWNER REVIEW
02/03/17 SPA

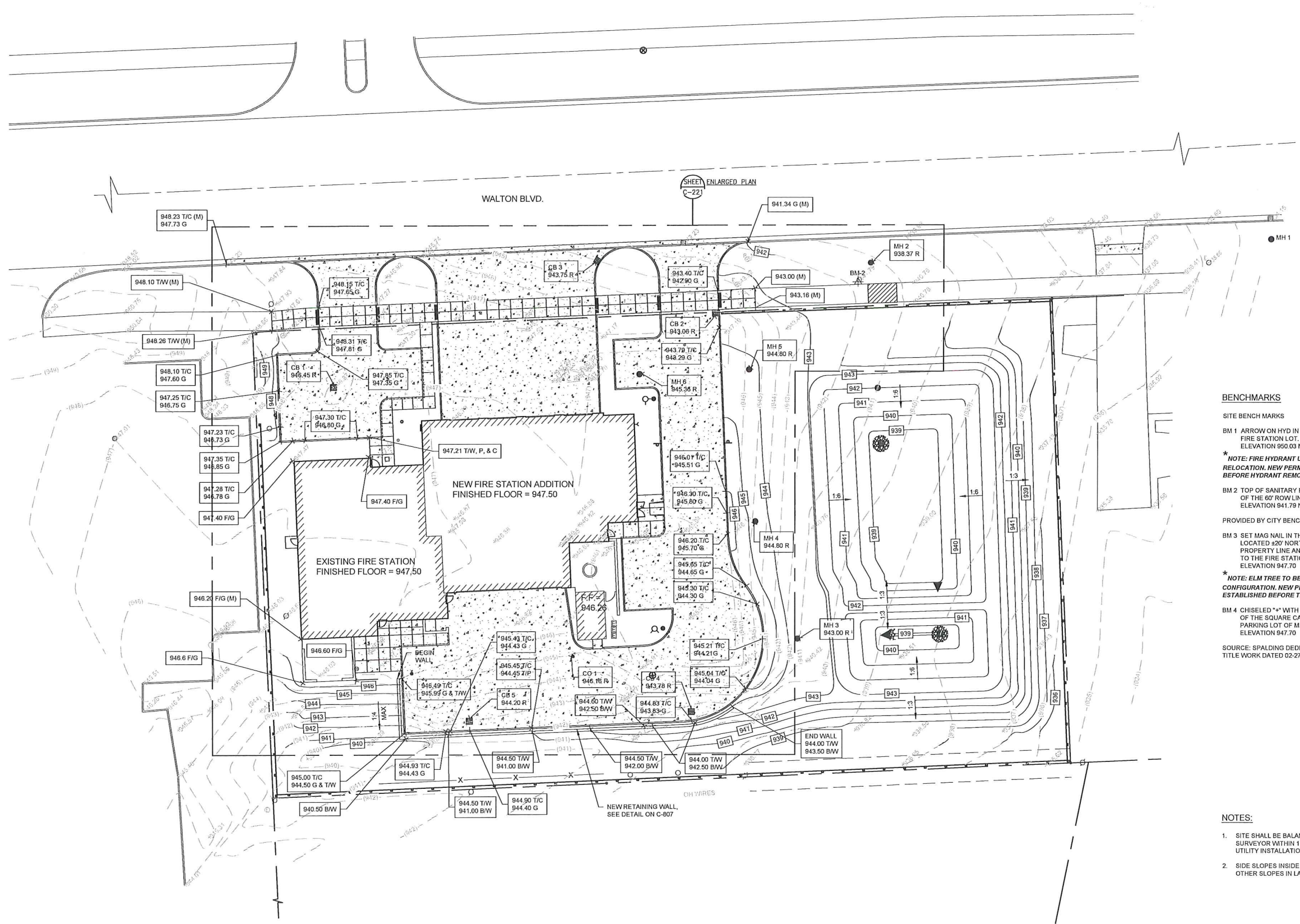
Drawn: C. JOHNSON
Checked: C. LEACH
Approved: S. PETERSON

Sheet Title:
GRADING PLAN

Project Number: 916407

Sheet Number: **C-220**

CITY FILE #: 14-020



WALTON BLVD.

SHEET ENLARGED PLAN
C-221

NEW FIRE STATION ADDITION
FINISHED FLOOR = 947.50

EXISTING FIRE STATION
FINISHED FLOOR = 947.50

NEW RETAINING WALL
SEE DETAIL ON C-807

BENCHMARKS

SITE BENCH MARKS

BM 1 ARROW ON HYD IN CENTER ISLAND AT THE NE CORNER OF FIRE STATION LOT.
ELEVATION 950.03 NAVD88

* NOTE: FIRE HYDRANT USED FOR BM 1 IS SCHEDULED FOR RELOCATION. NEW PERMANENT BENCH MARK TO BE ESTABLISHED BEFORE HYDRANT REMOVAL.

BM 2 TOP OF SANITARY RIM AT THE CENTER OF LOT 150 ± 7' NORTH OF THE 60' ROW LINE.
ELEVATION 941.79 NAVD88

PROVIDED BY CITY BENCH MARKS

BM 3 SET MAG NAIL IN THE SOUTH FACE OF A 12" ELM TREE LOCATED ±20' NORTH OF THE WOOD FENCE AT THE SOUTH PROPERTY LINE AND ±25' EAST OF THE EAST BUILDING LINE TO THE FIRE STATION.
ELEVATION 947.70

* NOTE: ELM TREE TO BE REMOVED AS PART OF NEW PAVEMENT CONFIGURATION. NEW PERMANENT BENCH MARK TO BE ESTABLISHED BEFORE TREE IS REMOVED.

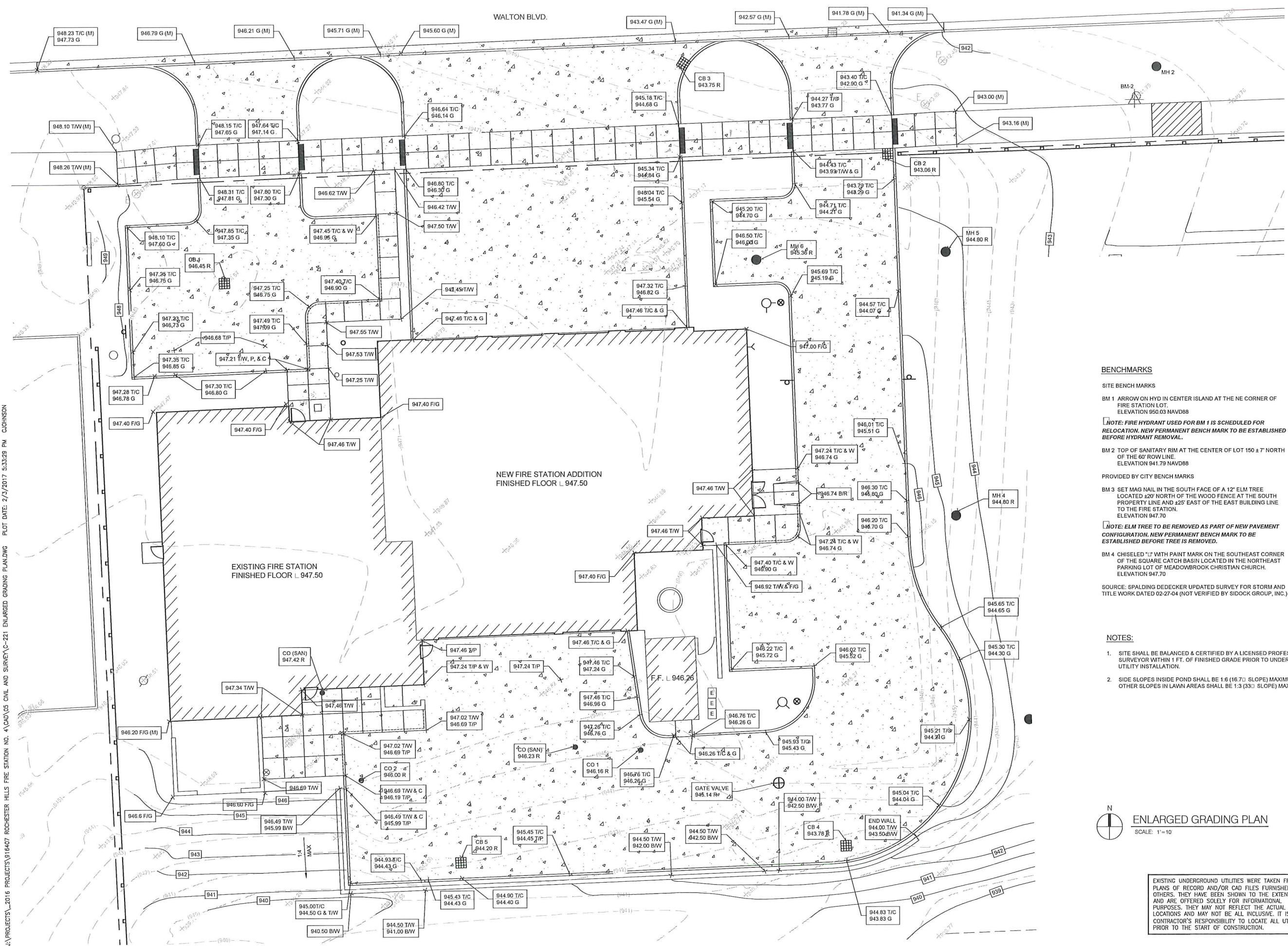
BM 4 CHISELED "*" WITH PAINT MARK ON THE SOUTHEAST CORNER OF THE SQUARE CATCH BASIN LOCATED IN THE NORTHEAST PARKING LOT OF MEADOWBROOK CHRISTIAN CHURCH.
ELEVATION 947.70

SOURCE: SPALDING DEDECKER UPDATED SURVEY FOR STORM AND TITLE WORK DATED 02-27-04 (NOT VERIFIED BY SIDOCK GROUP, INC.)

NOTES:

- 1. SITE SHALL BE BALANCED & CERTIFIED BY A LICENSED PROFESSIONAL SURVEYOR WITHIN 1 FT. OF FINISHED GRADE PRIOR TO UNDERGROUND UTILITY INSTALLATION.
- 2. SIDE SLOPES INSIDE POND SHALL BE 1:6 (16.7% SLOPE) MAXIMUM. ALL OTHER SLOPES IN LAWN AREAS SHALL BE 1:3 (33% SLOPE) MAXIMUM.





J:\PROJECTS\2016 PROJECTS\916407 ROCHESTER HILLS FIRE STATION NO. 4\CAD\05 CIVIL AND SURVEY\C-221 ENLARGED GRADING PLAN.DWG PLOT DATE: 2/7/2017 5:33:28 PM COBURNSON



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Key Plan: No Scale

Client:
CITY OF ROCHESTER HILLS

Project:
**ROCHESTER HILLS
FIRE STATION No.4**

2723 WALTON BLVD.
ROCHESTER HILLS, MI 48309



| Date | Issued For |
|----------|--------------|
| 12/12/16 | OWNER REVIEW |
| 02/03/17 | SPA |

Drawn: C. LEACH
Checked: C. LEACH
Approved: S. PETERSON

Sheet Title:
**ENLARGED
GRADING PLAN**

Project Number: 916407

Sheet Number: **C-221**

CITY FILE #: 14-020

BENCHMARKS

SITE BENCHMARKS

BM 1 ARROW ON HYD IN CENTER ISLAND AT THE NE CORNER OF FIRE STATION LOT. ELEVATION 950.03 NAVD88

NOTE: FIRE HYDRANT USED FOR BM 1 IS SCHEDULED FOR RELOCATION. NEW PERMANENT BENCH MARK TO BE ESTABLISHED BEFORE HYDRANT REMOVAL.

BM 2 TOP OF SANITARY RIM AT THE CENTER OF LOT 150 ± 7' NORTH OF THE 60' ROW LINE. ELEVATION 941.79 NAVD88

PROVIDED BY CITY BENCHMARKS

BM 3 SET MAG NAIL IN THE SOUTH FACE OF A 12" ELM TREE LOCATED ±20' NORTH OF THE WOOD FENCE AT THE SOUTH PROPERTY LINE AND ±25' EAST OF THE EAST BUILDING LINE TO THE FIRE STATION. ELEVATION 947.70

NOTE: ELM TREE TO BE REMOVED AS PART OF NEW PAVEMENT CONFIGURATION. NEW PERMANENT BENCH MARK TO BE ESTABLISHED BEFORE TREE IS REMOVED.

BM 4 CHISELED "L" WITH PAINT MARK ON THE SOUTHEAST CORNER OF THE SQUARE CATCH BASIN LOCATED IN THE NORTHEAST PARKING LOT OF MEADOWBROOK CHRISTIAN CHURCH. ELEVATION 947.70

SOURCE: SPALDING DEDECKER UPDATED SURVEY FOR STORM AND TITLE WORK DATED 02-27-04 (NOT VERIFIED BY SIDOCK GROUP, INC.)

NOTES:

- SITE SHALL BE BALANCED & CERTIFIED BY A LICENSED PROFESSIONAL SURVEYOR WITHIN 1 FT. OF FINISHED GRADE PRIOR TO UNDERGROUND UTILITY INSTALLATION.
- SIDE SLOPES INSIDE POND SHALL BE 1:6 (16.7% SLOPE) MAXIMUM. ALL OTHER SLOPES IN LAWN AREAS SHALL BE 1:3 (33% SLOPE) MAXIMUM.



ENLARGED GRADING PLAN

SCALE: 1"=10'

EXISTING UNDERGROUND UTILITIES WERE TAKEN FROM PLANS OF RECORD AND/OR CAD FILES FURNISHED BY OTHERS. THEY HAVE BEEN SHOWN TO THE EXTENT KNOWN AND ARE OFFERED SOLELY FOR INFORMATIONAL PURPOSES. THEY MAY NOT REFLECT THE ACTUAL LOCATIONS AND MAY NOT BE ALL INCLUSIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.



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Key Plan: No Scale

Client:
CITY OF ROCHESTER HILLS

Project:
ROCHESTER HILLS FIRE STATION No.4

2723 WALTON BLVD.
ROCHESTER HILLS, MI 48309

Seal:



Date: 12/12/16 Issued For: OWNER REVIEW
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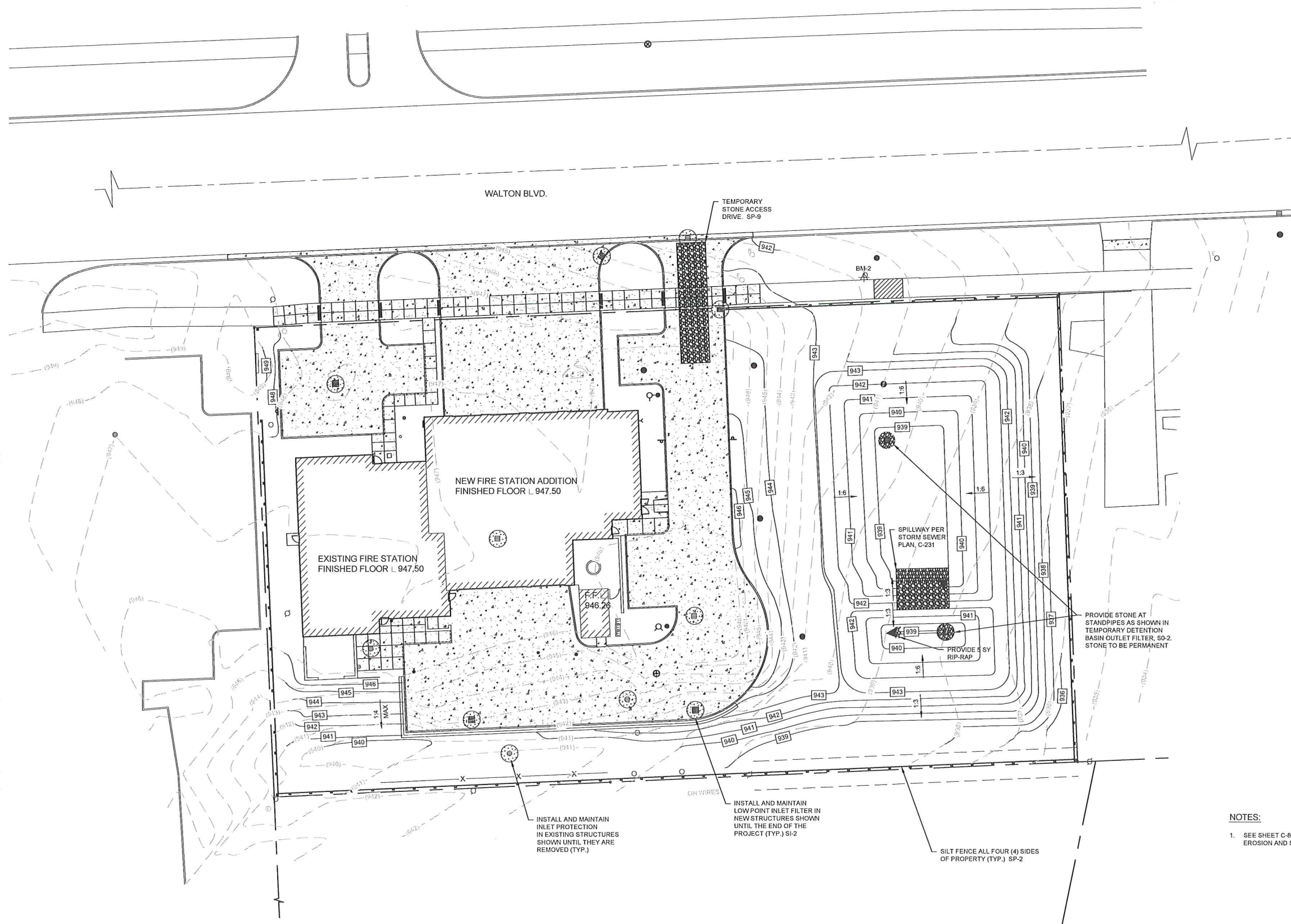
Sheet Title:
SOIL EROSION AND SEDIMENT CONTROL PLAN

Project Number: 916407

Sheet Number: **C-222**

CITY FILE #: 14-020

J:\PROJECTS\2016 PROJECTS\916407 ROCHESTER HILLS FIRE STATION NO. 4\CAD\05 CIVIL AND SURVEY\C-222 SOIL EROSION AND SEDIMENT CONTROL PLANDWG PLOT DATE: 2/3/2017 5:23:26 PM CJOHNSON



WALTON BLVD.

TEMPORARY STONE ACCESS DRIVE SP-9

NEW FIRE STATION ADDITION FINISHED FLOOR L. 947.50

EXISTING FIRE STATION FINISHED FLOOR L. 947.50

SPILLWAY PER STORM SEWER PLAN, C-231

PROVIDE 5 SY RIP-RAP

PROVIDE STONE AT STANDPIPES AS SHOWN IN TEMPORARY DETENTION BASIN OUTLET FILTER, SD-2 STONE TO BE PERMANENT

INSTALL AND MAINTAIN INLET PROTECTION IN EXISTING STRUCTURES SHOWN UNTIL THEY ARE REMOVED (TYP.)

INSTALL AND MAINTAIN LOW POINT INLET FILTER IN NEW STRUCTURES SHOWN UNTIL THE END OF THE PROJECT (TYP.) SI-2

SILT FENCE ALL FOUR (4) SIDES OF PROPERTY (TYP.) SP-2

NOTES:

- 1. SEE SHEET C-806 FOR OAKLAND COUNTY SOIL EROSION AND SEDIMENT CONTROL DETAILS.

