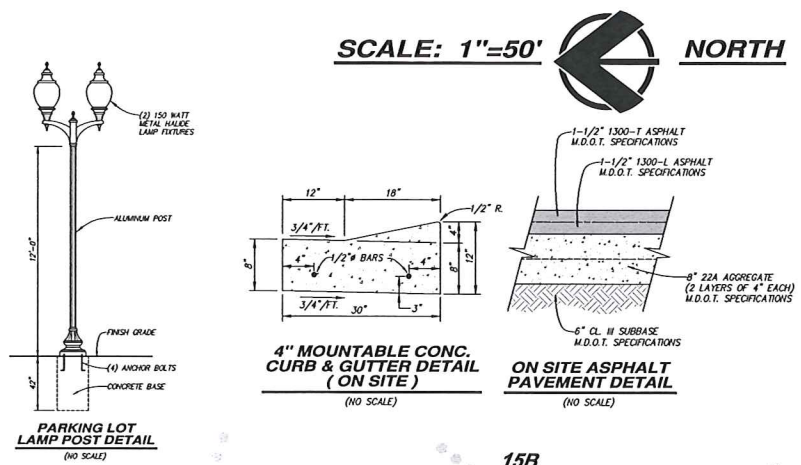


LEGEND

	EXISTING GRADE		PROPOSED SANITARY SEWER
	EXISTING CONTOURS, 1' INTERVAL		PROPOSED STORM SEWER
	EXISTING TREES		PROPOSED WATERMAIN W/ TYPICAL GATE VALVE & WELL & STD. HYDRANT ASSEMBLY
	EXISTING ASPHALT PAVEMENT		PROPOSED CONCRETE WALKS
	PROP. ON-SITE ASPHALT PAVEMENT WITH INTEGRAL 4\"/>		
	PROPOSED DECORATIVE LIGHT POST (TYPICAL X 7)		EXISTING TREES TO BE REMOVED
	SOIL DISTRICT BOUNDARY LINE		25' NO NATURAL FEATURES BUFFER

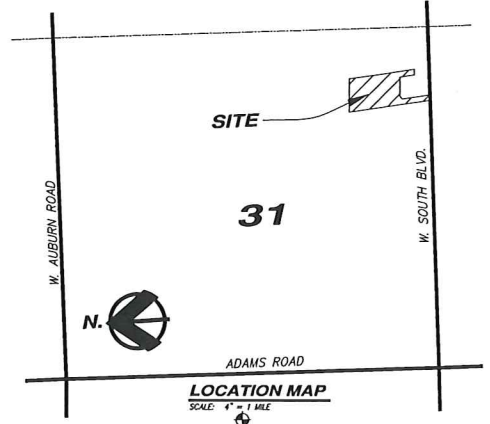


APPLICANT & OWNER:
 MARK GESUALE
 SHADOW PINES L.L.C.
 14955 TECHNOLOGY DRIVE
 SHELBY TWP TWP, MI 48315

OWNERSHIP IS FEE SIMPLE.

SHEET INDEX:
 1. PRELIMINARY PLANNED UNIT DEVELOPMENT CONDOMINIUM PLAN
 2. EXISTING CONDITIONS & NATURAL FEATURES BASE PLAN
 3. EXISTING TREE AND REMOVAL PLAN
 4. TREE LIST, NOTES AND DETAILS
 5. OVERALL LANDSCAPING PLAN

SUPPLEMENTAL:
 ARCHITECTURAL: FLOOR PLANS

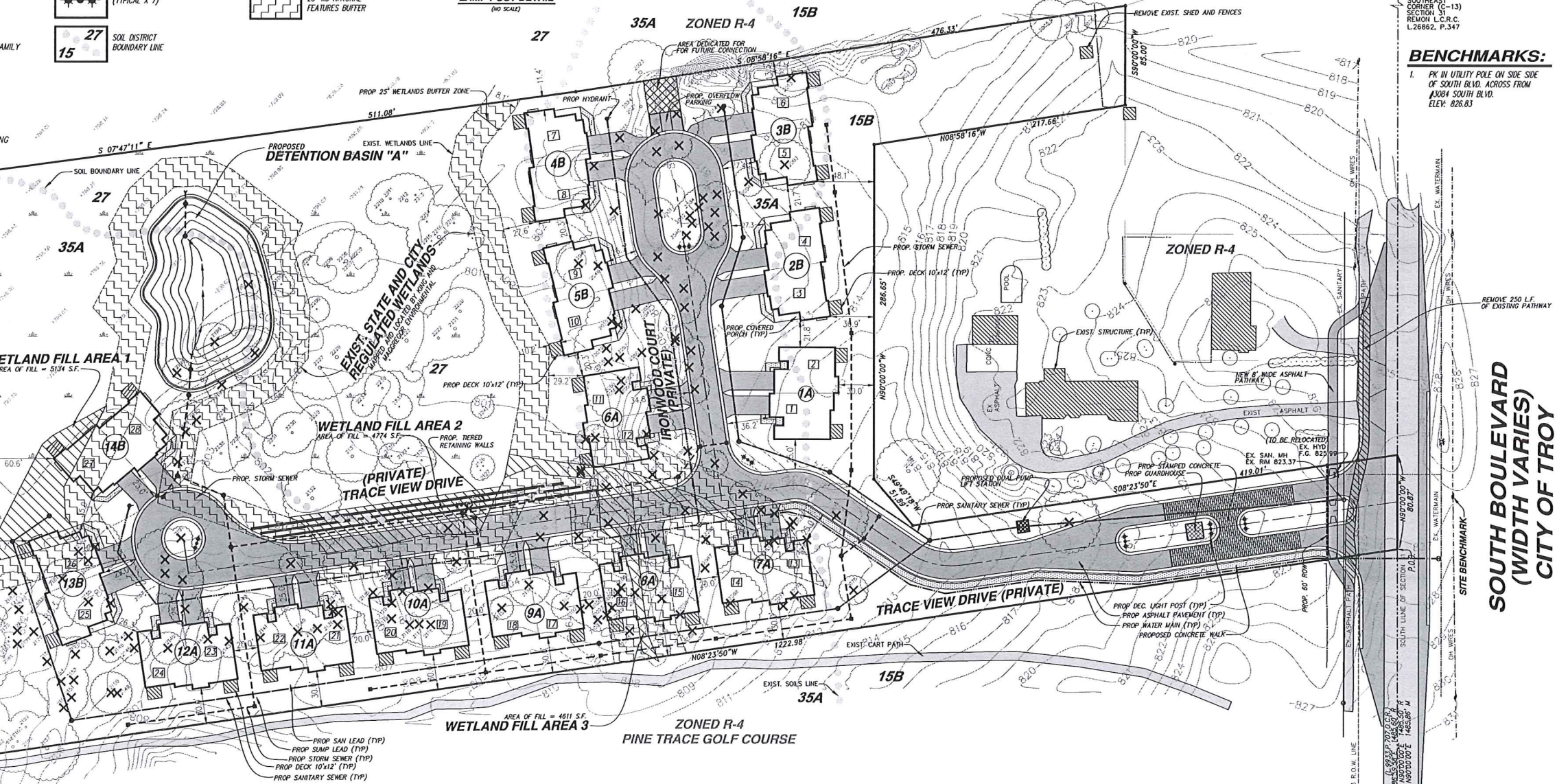


- NOTES**
- EXISTING BUILDINGS ON SITE ARE TO BE REMOVED AS NOTED. DEMOLITION PERMITS ARE REQUIRED FOR BUILDING REMOVAL.
 - STATE AND CITY REGULATED WETLANDS EXIST ON SITE.
 - PERMITS ARE REQUIRED FOR ALL WORK TO BE PERFORMED WITHIN SOUTH BOULEVARD RIGHTS-OF-WAY.
 - SOILS ARE ACCEPTABLE FOR TYPICAL RESIDENTIAL CONSTRUCTION.
 - DRIVEWAY APRONS WILL NOT EXTEND PAST PROPERTY LINE EXTENDED.
 - THE INTENT OF THIS SUBMITTAL IS TO DEVELOP AND BUILD FOURTEEN (14) TWO UNIT SINGLE-FAMILY ATTACHED RESIDENCES.
 - A MINIMUM OF ONE TREE PER UNIT SHALL BE PLANTED PER ORDINANCE.
 - BOUNDARY SURVEY BY REICHERT SURVEYING, INC.
 - TOPOGRAPHIC SURVEY AND TREE LOCATIONS BY LAND DEVELOPMENT SERVICES OF MICHIGAN.
 - WETLAND DETERMINATION AND MAPPING AND TREE IDENTIFICATION BY KING & MACGREGOR ENVIRONMENTAL, INC.
 - ALL PROPOSED GRADES WILL MATCH EXISTING ELEVATIONS AT THE PROPERTY LINE.
 - A COMPREHENSIVE SOIL EROSION & SEDIMENTATION CONTROL PLAN SHALL BE DEVELOPED DURING ENGINEERING AND PRIOR TO ANY WORK BEING PERFORMED ON THE SITE.
 - ROAD EDGE DRAIN IS REQUIRED AND SHALL BE PROVIDED 100% THROUGHOUT THE SITE.
 - A LAND IMPROVEMENT PERMIT WILL BE REQUIRED PRIOR TO COMMENCING ANY WORK ON SITE.
 - THE DEVELOPER OF VILAS AT SHADOW PINES WILL REMOVE OR RELOCATE EXISTING FENCE ON SITE PER THE REQUEST OF THE AFFECTED PROPERTY OWNER.
 - ALL SIGNAGE SHALL MEET CITY REQUIREMENTS AND WILL REQUIRE SEPARATE PERMITS FROM THE BUILDING DEPARTMENT.
 - PROVIDE STANDARD CURB DROP AT ALL SIDEWALK CONNECTIONS.
 - TREE PROTECTIVE FENCING HAS BEEN SHOWN ALONG THE PROPERTY LINES. TREE PROTECTIVE FENCING WILL BE INSTALLED AT THE DRIPLINE OF OFF-SITE TREES. IF NECESSARY, STORM DRAIN LINES WILL BE RELOCATED DURING ENGINEERING TO AVOID ANY GRADING, DRICING, TRENCHING OR BORING WITHIN THE DRIPLINE OF TREES LOCATED ON ADJACENT PROPERTIES. (SEE TREE REPLACEMENT PLAN.)

- SOILS:**
- 15B** SPINKS LOAMY SAND (0 TO 6% SLOPES).
 0"-8" DARK BROWN LOAMY SAND, 8"-25" PALE BROWN SAND, 25"-60" YELLOWISH-BROWN LOOSE SAND. MODERATELY RAPID PERMEABILITY, SLOW RUNOFF, LOW AVAILABLE MOISTURE CAPACITY.
- 27** HAYDON AND ADRIAN MUCKS
 0"-60" BLACK BROWN FACE & RUBBED SAPIC MATERIAL.
- 35A** THEIFORD LOAMY FINE SAND (0% TO 3% SLOPES).
 0"-8" VERY DARK GRAYISH BROWN LOAMY FINE SAND, 8"-20" LIGHT YELLOWISH BROWN LOAMY FINE SAND, 20"-45" MOTTLED PALE BROWN FINE SAND AND DARK BROWN LOAMY SAND, 45"-60" LIGHT BROWNISH GRAY SAND. LOW SURFACE RUNOFF, MODERATELY RAPID PERMEABILITY.

- FIRE DEPT. NOTES:**
- FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE SIGNS, SPACED NOT MORE THAN 100 FEET APART, "NO STOPPING, STANDING, PARKING, FIRE LANE", AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 901.4.2.
- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH UNIFORM FIRE CODE ARTICLE 87, SECTION 8701.
 - OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 1102.6.2.3.

- ENGINEERING NOTES**
- ALL UTILITY PIPE MATERIALS SHALL CONFORM TO CITY, COUNTY, & STATE SPECIFICATIONS.
 - UTILITY TRENCHES UNDER OR WITHIN THE INFLUENCE OF PAVEMENT SHALL BE BACKFILLED WITH M.D.O.T. APPROVED CLASS # SAND ACCORDING TO M.D.O.T. TRENCH DETAILS "A" & "B" FOR SENERS AND TRENCH DETAILS "T" & "G" FOR WATER MAINS.
 - WATER MAIN PIPES SHALL BE DUCTILE IRON CL54. A MINIMUM OF 6" OF COVER SHALL BE PROVIDED OVER WATER MAIN PIPES. WATER SERVICES SHALL BE 1" DIA. COPPER TYPE "K".
 - HYDRANTS SHALL BE C.I.W. 58R OR AMERICAN FLOW CONTROL MODEL 1657-250.
 - WATER MAIN THRUST RESTRAINTS SHALL BE CONCRETE THRUST BLOCKS INSTALLED IN UNDISTURBED EARTH.
 - SANITARY SEWER PIPE SHALL BE A.B.S. TRUSS. SANITARY LEADS SHALL BE 6" DIA. A.B.S. SOUBRALL SDP 235 SLOPED AT A MINIMUM OF 1%.
 - SANITARY LIDS SHALL BE MARKED ONLY "SANITARY".
 - STORM SEWER PIPE UNDER AND WITHIN A 1.1 INFLUENCE OF PAVEMENT SHALL BE CONCRETE C-76 CLASS 4. CLASS 3 PIPE MAY BE USED UNDER LAWN AREAS. ALL STORM SEWERS SHALL HAVE PREMIUM RUBBER JOINTS. SUMP LEADS SHALL BE 3" DIA. P.V.C. SCH40.



SITE CRITERIA:

- SIDWELL #: 15-31-400-018
- EXISTING ZONING: R-4, ONE-FAMILY RESIDENTIAL
- ADJACENT ZONINGS: R-4, ONE-FAMILY RESIDENTIAL
- TOTAL AREA OF SITE: 9.957 Ac.
- PROPOSED USE: SINGLE-FAMILY ATTACHED RESIDENTIAL

UNIT SUMMARY:

NUMBER OF UNITS PROPOSED: 13-2 UNIT BUILDINGS=26 UNITS
 ALLOWABLE NET DENSITY: (3.4 units/Ac.) x (9.8456 Ac.) = 33.4 units
 PROPOSED NET DENSITY: 28 units = 2.84 units/Ac.

BUILDING A: RANCH 1632 S.F. (BUILDING 1, 6, & 7-12)
 LOFT/BEDROOM OPTION: 1632+470= 2100 S.F.

BUILDING B: RANCH 1680 S.F. (BUILDING 2-5, & 13, 14)
 LOFT/BEDROOM OPTION: 1680+493= 2173 S.F.

3 BEDROOM OPTION: 1680+723= 2403 S.F.

WETLAND FILL SUMMARY: AREA NO. 1: 5134 S.F.
 AREA NO. 2: 4774 S.F.
 AREA NO. 3: 4611 S.F.
 14519 S.F. TOTAL FILL (0.33 AC.)
 IN THE PROCESS OF APPLYING FOR PERMIT

WILL REQUEST A NATURAL FEATURES BUFFER MODIFICATION.

PROPOSED SETBACK SUMMARY:

FRONT: 25' TO BACK OF CURB
 REAR: 30'
 SIDE: 20' MIN. BUILDING TO BUILDING

UTILITY SUMMARY:

WATER MAIN: CONNECT TO EXIST. MUNICIPAL WATERMAIN IN SOUTH BLVD ROW.
 SANITARY SEWER: CONNECT TO EXIST. MUNICIPAL SANITARY SEWER IN SOUTH BLVD ROW.
 STORM SEWER: ENCLOSED PIPE TO ON-SITE DETENTION POND

LANDSCAPING: REFER TO TREE REPLACEMENT & LANDSCAPING PLAN.

LIGHTING: POLE MOUNTED LIGHT FIXTURES FOR SITE. REFER TO ARCHITECTURAL FOR EXTERIOR GARAGE COACH LAMP FIXTURE DETAILS.

SIGNAGE: NOT PART OF THIS SUBMISSION.



CONTRACTOR'S NOTE

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The contractor shall be responsible for authority to all applicable local, state, and federal standards, specifications, and guidelines for construction.

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 (TOLL FREE) for the location of underground utilities.

APPEX ENGINEERING GROUP INC.
 CIVIL ENGINEERING & LAND PLANNING CONSULTANTS
 P.O. BOX 1162
 BIRMINGHAM, MI 48312
 PHONE: 586-876-9947

PROJECT: VILAS AT SHADOW PINES
 CLIENT: SHADOW PINES L.L.C.
 14855 TECHNOLOGY DR.
 SHELBY TOWNSHIP, MI 48315

JOB NO: 2012-043
 DATE: 05/15/2013
 DRAWN BY: W.S.E.
 CHECKED BY: W.E.M.

REVISIONS:
 6-12-2013 REVISED SET PER CLIENT.
 6-30-2013 REVISED SET PER PLANNING DEPT.

SEAL: PRELIMINARY PLANNED UNIT DEVELOPMENT CONDOMINIUM PLAN

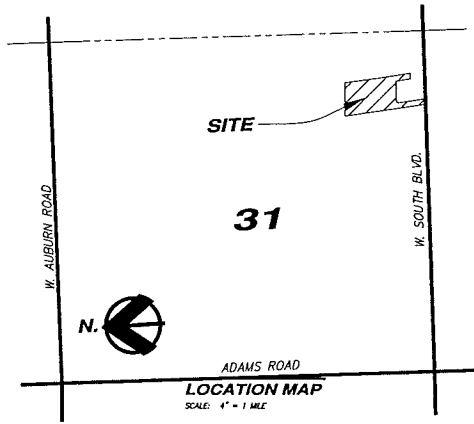
SHEET 1 OF 5

MUNICIPAL REVIEW NUMBERS:

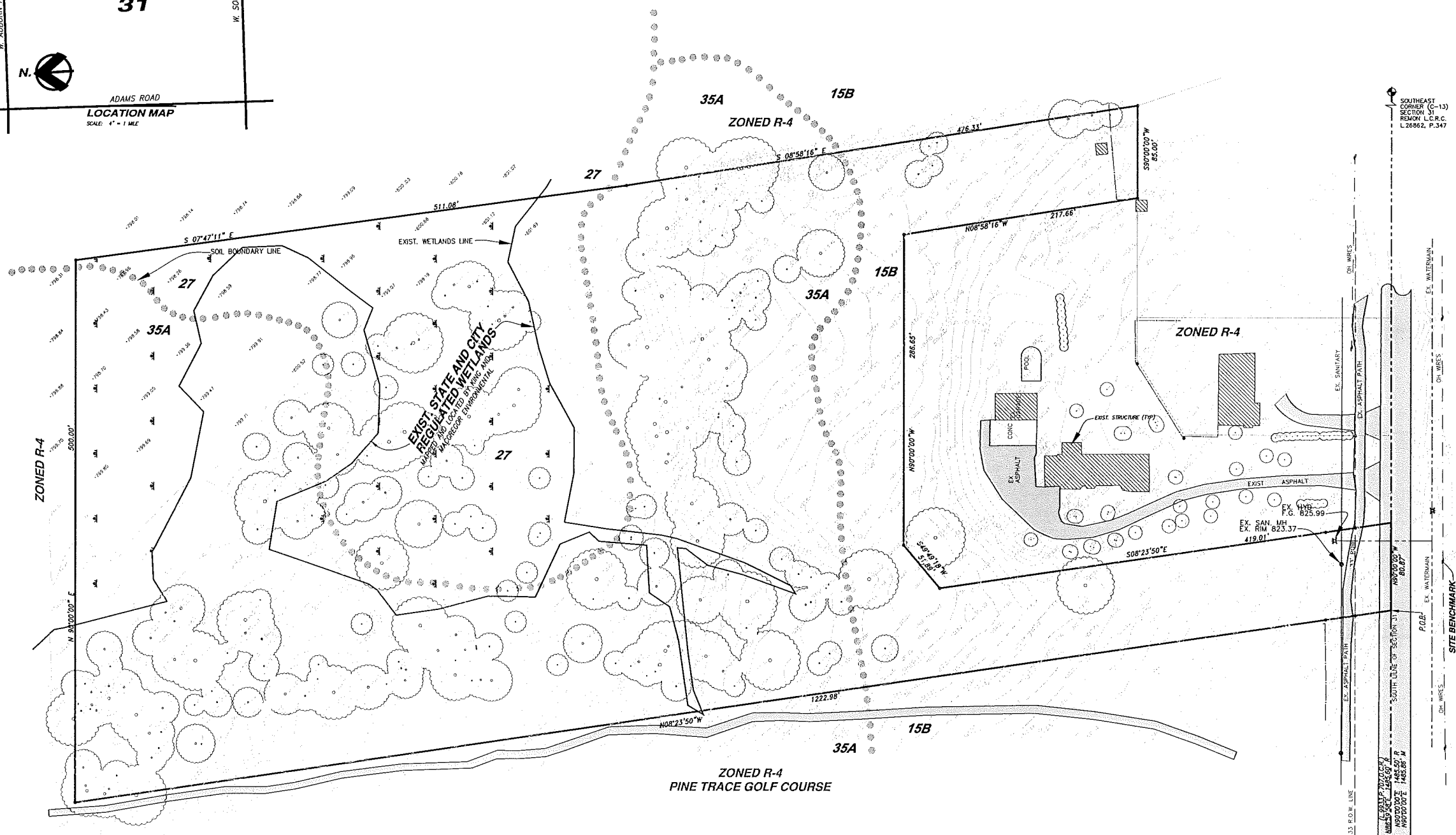
NOT TO BE USED AS CONSTRUCTION DRAWINGS

LEGEND

- EXISTING GRADE
- EXISTING CONTOURS, 1' INTERVAL
- EXISTING TREES
- EXISTING ASPHALT PAVEMENT



SCALE: 1"=50' NORTH



**SOUTH BOULEVARD
(WIDTH VARIES)
CITY OF TROY**

SITE CRITERIA:

- SIOWELL #: 15-31-400-018
- EXISTING ZONING: R-4, ONE-FAMILY RESIDENTIAL
- ADJACENT ZONINGS: R-4, ONE-FAMILY RESIDENTIAL
- TOTAL AREA OF SITE: 9.957 AC.
- PROPOSED USE: SINGLE-FAMILY ATTACHED RESIDENTIAL

BENCHMARKS:

1. PK IN UTILITY POLE ON SIDE SIDE OF SOUTH BLVD. ACROSS FROM #3084 SOUTH BLVD. ELEV. 826.83

FIRE DEPT. NOTES:

1. FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE SIGNS, SPACED NOT MORE THAN 100 FEET APART, "NO STOPPING, STANDING, PARKING, FIRE LANE", AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 901.4.2.
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PROPERTY DESCRIPTION:

A PARCEL OF LAND BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 31, T.3N., R.11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 31; THENCE N.90°00'00"E, 1485.50 FT. RECORDED, (MEASURED AS N.90°00'00"E, 1485.86 FT.) ALONG THE SOUTH LINE OF SAID SECTION 31 AND THE CENTERLINE OF SOUTH BLVD. (WIDTH VARIES) TO THE POINT OF BEGINNING; THENCE N.08°33'45"W, 1222.70 FT. RECORDED, (MEASURED AS N.08°23'50"W, 1222.98 FT.); THENCE N.90°00'00"E, 500.00 FT. (RECORDED & MEASURED); THENCE S.08°33'45"E, 987.07 FT. RECORDED, (MEASURED AS S.07°47'11"E, 511.08 FT. & S.08°58'16"E, 476.33 FT.); THENCE S.90°00'00"W, 85.00 FT.; THENCE N.08°58'16"W, 217.66 FT.; THENCE S.90°00'00"W, 286.65 FT.; THENCE S.49°49'18"W, 51.89 FT.; THENCE S.08°23'50"E, 419.01 FT. TO A POINT ON THE SOUTH LINE OF SAID SECTION 31 AND THE CENTERLINE OF SOUTH BLVD. (WIDTH VARIES); THENCE ALONG SAID SOUTH LINE OF SECTION 31, S.90°00'00"W, 80.87 FT. TO THE POINT OF BEGINNING, CONTAINING 9.957 ACRES OR 433,727 SQ.FT., SUBJECT TO THE RIGHTS OF THE PUBLIC OVER SOUTH BOULEVARD AND ANY OTHER EASEMENTS, RESTRICTIONS, OR RIGHTS-OF-WAY OF RECORD, IF ANY.

SOILS:

- 15B** SPINKS LOAMY SAND (0 TO 6% SLOPES). 0"-8" DARK BROWN LOAMY SAND, 8"-25" PALE BROWN SAND, 25"-60" YELLOWISH-BROWN LOOSE SAND. MODERATELY RAPID PERMEABILITY, SLOW RUNOFF, LOW AVAILABLE MOISTURE CAPACITY.
- 27** HOUGHTON AND ADRIAN MUCKS. 0"-60" BLACK BROKEN FACE & RUBBED SAPRIC MATERIAL.
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APEX
ENGINEERING GROUP INC.
CIVIL ENGINEERING & LAND PLANNING CONSULTANTS
P.O. BOX 1162
BIRMINGHAM, MI 48312
PHONE: 586-876-9847

PROJECT: VILLAS AT SHADOW PINES
CLIENT: SHADOW PINES L.L.C.
14855 TECHNOLOGY DR.
SHELBY TOWNSHIP, MI 48319
JOB NO: 2012-043
DATE: 05/11/2013
DRAWN BY: W.S.E.
CHECKED BY: W.E.M.

REVISIONS:

SEAL: EXISTING CONDITIONS AND NATURAL FEATURES BASE PLAN

SHEET **2** OF 5

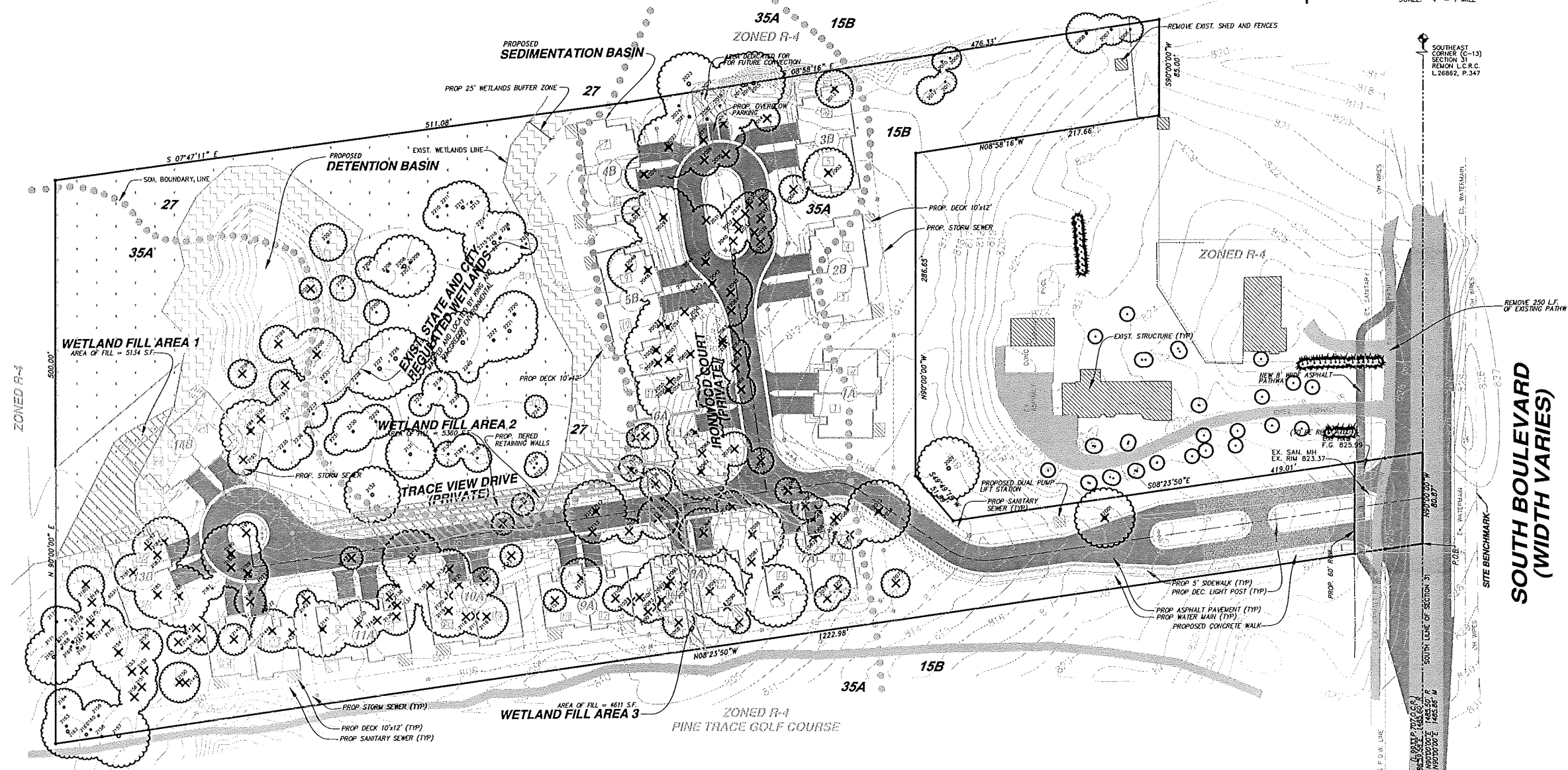
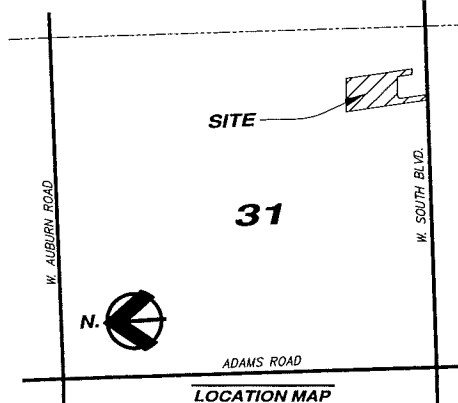
MUNICIPAL REVIEW NUMBERS:

NOT TO BE USED AS CONSTRUCTION DRAWINGS

LEGEND

	EXISTING GRADE		PROPOSED SANITARY SEWER
	EXISTING CONTOURS, 1' INTERVAL		PROPOSED STORM SEWER
	EXISTING TREES		PROPOSED WATERMAIN W/ TYPICAL GATE VALVE & WELL & STD. HYDRANT ASSEMBLY
	EXISTING ASPHALT PAVEMENT		PROPOSED CONCRETE WALKS
	PROP. ON-SITE ASPHALT PAVEMENT WITH INTEGRAL 4" MOUNTABLE CURB		EXISTING TREES TO BE REMOVED
	PROPOSED DECORATIVE LIGHT POST (TYPICAL X 7)		

SCALE: 1"=50' NORTH



APREX
ENGINEERING GROUP INC.
CIVIL ENGINEERING & LAND PLANNING CONSULTANTS
PHONE: 586-876-9947

PROJECT: VILLAS AT SHADOW PINES
PART OF THE S.E. 1/4 OF SECTION 31
CITY OF ROCHESTER HILLS
T. 3N., R. 1E.
OAKLAND COUNTY, MI.

CLIENT: SHADOW PINES LLC
14855 TECHNOLOGY DR
TOWNSHIP, MI 48315
JOB NO: 2012-043
DATE: 05-12-2013
DRAWN BY: W.S.B.
CHECKED BY: W.E.M.

REVISIONS:

SEAL:

EXISTING TREE AND TREE REMOVAL PLAN

SHEET 3 OF 5
MUNICIPAL REVIEW NUMBERS:

TREE SUMMARY:

TOTAL # OF TAGGED TREES:	244
TOTAL # OF POOR CONDITION TREES:	29
TOTAL # OF TREES OFFSITE:	3
TOTAL # OF REGULATED TREES:	212
TOTAL # OF TREES TO BE REMOVED:	142
TOTAL # OF TREES TO BE SAVED:	78
TOTAL # OF REGULATED TREES:	212

REQUIRED PERCENTAGE OF TREES TO BE SAVED: 37% (78 TREES)
PROPOSED PERCENTAGE OF TREES TO BE SAVED: 78/212 = 37%

SEVERAL TREES WITHIN THE WETLAND AREA WERE NOT TAGGED DUE TO THICKNESS OF BRUSH IN THE NORTHEAST CORNER OF THE SITE.

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BENCHMARKS:

1. PK IN UTILITY POLE ON SIDE OF SOUTH BLVD. ACROSS FROM 1804 SOUTH BLVD. ELEV: 826.83

FIRE DEPT. NOTES:

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NOT TO BE USED AS CONSTRUCTION DRAWINGS

TREE LIST:

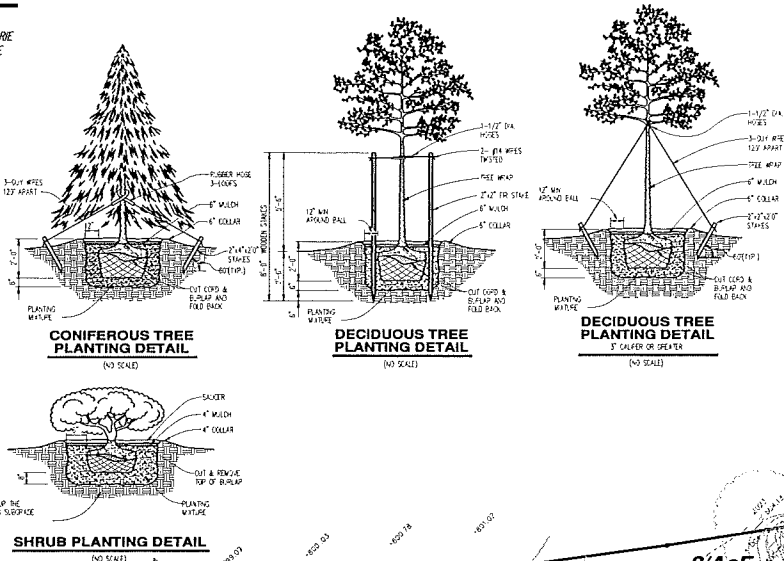
Tag No.	Scientific Name	Common Name	Diam. 1	Diam. 2	Diam. 3	Diam. 4	Condition	Remove
2001	Acer platanoides	Norway Maple	18.5				Good	YES
2002	Ulmus pumila	Siberian Elm	27.8				Good	NO
2003	Ulmus pumila	Siberian Elm	16.0				Good	YES
2004	Ulmus americana	American Elm	9.4	8.9			Good	YES
2005	Acer platanoides	Norway Maple	7.8				Good	YES
2006	Acer platanoides	Norway Maple	7.6				Good	NO
2007	Acer platanoides	Norway Maple	9.7				Fair	NO
2008	Acer platanoides	Norway Maple	12.7				Fair	NO
2009	Acer platanoides	Norway Maple	7.2				Fair	NO
2010	Acer platanoides	Norway Maple	6.4				Fair	NO
2011	Acer platanoides	Norway Maple	6.9				Fair	NO
2012	Acer platanoides	Norway Maple	9.1				Fair	NO
2013	Quercus rubra	Red Oak	11.4				Fair	NO
2014	Tilia americana	Basswood	7.7	6.5			Fair	YES
2015	Quercus alba	White Oak	26.1				Good	NO
2016	Quercus alba	White Oak	16.8				Good	NO
2017	Quercus alba	White Oak	25.4	16.8			Good	NO
2018	Acer platanoides	Norway Maple	10.3				Fair	NO
2019	Tilia americana	Basswood	7.1				Fair	YES
2020	Populus deltoides	Cottonwood	14.4				Fair	NO
2021	Acer platanoides	Norway Maple	14.5				Fair	NO
2022	Tilia americana	Basswood	8.9				Poor	NO
2023	Acer platanoides	Norway Maple	11.6	8.7			Fair	NO
2024	Acer platanoides	Norway Maple	8.8				Fair	NO
2025	Tilia americana	Basswood	10.8				Fair	YES
2026	Acer platanoides	Norway Maple	10.3				Fair	YES
2027	Acer platanoides	Norway Maple	18.6				Fair	YES
2028	Acer negundo	Box-Elder	11.7				Poor	YES
2029	Quercus alba	White Oak	27.2				Good	YES
2030	Carpinus caroliniana	American Hornbeam	8.8				Good	YES
2031	Juglans nigra	Black Walnut	9.8				Good	YES
2032	Juglans nigra	Black Walnut	8.5				Good	YES
2033	Juglans nigra	Black Walnut	8.2				Fair	YES
2034	Juglans nigra	Black Walnut	11.0				Good	YES
2035	Acer platanoides	Norway Maple	8.3	8.0			Good	YES
2036	Ulmus americana	American Elm	8.1				Good	YES
2037	Juglans nigra	Black Walnut	9.9				Good	YES
2038	Juglans nigra	Black Walnut	7.4				Good	YES
2039	Malus pumila	Apple	7.0				Good	YES
2040	Ulmus pumila	Siberian Elm	7.8				Poor	YES
2041	Ulmus pumila	Siberian Elm	16.6				Poor	YES
2042	Ulmus pumila	Siberian Elm	18.0	18.0			Poor	YES
2043	Acer negundo	Box-Elder	13.5				Poor	YES
2044	Ulmus pumila	Siberian Elm	16.6				Poor	YES
2045	Ulmus pumila	Siberian Elm	15.5				Poor	YES
2046	Ulmus pumila	Siberian Elm	13.0				Poor	YES
2047	Ulmus pumila	Siberian Elm	12.0				Poor	YES
2048	Acer platanoides	Norway Maple	22.0				Good	YES
2049	Ulmus americana	American Elm	14.3				Fair	YES
2050	Ulmus pumila	Siberian Elm	12.2				Fair	YES
2051	Populus deltoides	Cottonwood	32.2	32.2			Fair	YES
2052	Ulmus americana	American Elm	10.3				Fair	YES
2053	Populus deltoides	Cottonwood	13.0				Fair	YES
2054	Populus deltoides	Cottonwood	37.5				Fair	YES
2055	Populus deltoides	Cottonwood	21.1				Fair	YES
2056	Populus deltoides	Cottonwood	31.1				Fair	YES
2057	Populus deltoides	Cottonwood	22.6				Fair	YES
2058	Ulmus pumila	Siberian Elm	17.2				Fair	YES
2059	Populus deltoides	Cottonwood	40.1				Fair	YES
2060	Ulmus pumila	Siberian Elm	15.1	11.1			Fair	YES
2061	Ulmus pumila	Siberian Elm	10.1				Fair	YES
2062	Acer negundo	Box-Elder	8.9				Fair	YES
2063	Acer negundo	Box-Elder	11.2				Fair	YES
2064	Acer negundo	Box-Elder	8.3				Fair	YES
2065	Acer negundo	Box-Elder	9.4				Fair	YES
2066	Acer negundo	Box-Elder	8.6	6.5			Fair	YES
2067	Ulmus pumila	Siberian Elm	17.7				Fair	YES
2068	Ulmus pumila	Siberian Elm	9.5				Fair	YES
2069	Ulmus pumila	Siberian Elm	17.7				Fair	YES
2070	Ulmus pumila	Siberian Elm	16.7				Fair	YES
2071	Acer negundo	Box-Elder	8.0				Fair	YES
2072	Acer negundo	Box-Elder	8.0				Fair	YES
2073	Ulmus pumila	Siberian Elm	22.2				Fair	YES
2074	Juglans nigra	Black Walnut	7.4				Good	YES
2075	Acer saccharum	Sugar Maple	9.0				Good	YES
2076	Acer platanoides	Norway Maple	7.6				Fair	YES
2077	Acer platanoides	Norway Maple	8.2				Fair	YES
2078	Acer platanoides	Norway Maple	9.3				Fair	YES
2079	Acer platanoides	Norway Maple	7.2				Fair	YES
2080	Acer platanoides	Norway Maple	7.7				Fair	YES
2081	Acer saccharum	Sugar Maple	6.7				Good	YES
2082	Acer negundo	Box-Elder	10.0				Fair	YES
2083	Acer negundo	Box-Elder	11.0				Fair	YES
2084	Acer negundo	Box-Elder	9.4				Fair	YES
2085	Acer negundo	Box-Elder	7.8				Fair	YES
2086	Acer negundo	Box-Elder	26.0				Fair	YES
2087	Juglans nigra	Black Walnut	7.5				Good	YES

Tag No.	Scientific Name	Common Name	Diam. 1	Diam. 2	Diam. 3	Diam. 4	Condition	Remove
2088	Acer saccharum	Silver Maple	23.2				Good	YES
2089	Rhamnus cathartica	Common Buckthorn	6.7				Fair	YES
2090	Rhamnus cathartica	Common Buckthorn	13.1				Fair	YES
2091	Acer negundo	Box-Elder	16.8	10.8			Fair	YES
2092	Populus deltoides	Cottonwood	50.9				Fair	YES
2093	Acer negundo	Box-Elder	13.5				Fair	YES
2094	Acer negundo	Box-Elder	15.8	12.7			Fair	YES
2095	Fraxinus pennsylvanica	Green Ash	9.7				Fair	YES
2096	Populus deltoides	Cottonwood	37.3				Fair	YES
2097	Populus deltoides	Cottonwood	64.4				Good	YES
2098	Populus deltoides	Cottonwood	9.9				Poor	YES
2099	Prunus serotina	Black Cherry	8.0				Poor	YES
2100	Prunus serotina	Black Cherry	7.2				Poor	YES
2101	Prunus serotina	Black Cherry	12.8				Fair	YES
2102	Prunus avium	Sweet Cherry	6.5				Fair	YES
2103	Populus deltoides	Cottonwood	8.4				Fair	YES
2104	Populus deltoides	Cottonwood	8.3				Fair	YES
2105	Acer negundo	Box-Elder	12.7	7.5			Fair	YES
2106	Acer negundo	Box-Elder	9.7	8.2			Fair	YES
2107	Acer negundo	Box-Elder	7.5				Fair	YES
2108	Fraxinus pennsylvanica	Green Ash	6.5				Fair	YES
2109	Fraxinus pennsylvanica	Green Ash	8.1				Fair	YES
2110	Acer negundo	Box-Elder	7.2				Fair	YES
2111	Ulmus americana	American Elm	25.0				Poor	YES
2112	Acer negundo	Box-Elder	11.1				Poor	YES
2113	Malus alba	White Malus	7.0				Fair	YES
2114	Malus pumila	Apple	13.0				Fair	YES
2115	Populus tremuloides	Quaking Aspen	6.5				Fair	YES
2116	Prunus serotina	Black Cherry	14.4				Fair	YES
2117	Acer saccharum	Sugar Maple	12.2				Good	YES
2118	Prunus serotina	Black Cherry	8.9				Fair	YES
2119	Acer negundo	Box-Elder	16.5				Fair	YES
2120	Acer negundo	Box-Elder	8.5				Fair	YES
2121	Juglans nigra	Black Walnut	11.0				Fair	YES
2122	Juglans nigra	Black Walnut	9.3				Poor	YES
2123	Fraxinus pennsylvanica	Green Ash	6.9				Fair	YES
2124	Acer negundo	Box-Elder	7.4				Fair	YES
2125	Acer negundo	Box-Elder	6.6				Fair	YES
2126	Ulmus americana	American Elm	7.0				Fair	NO
2127	Rhamnus cathartica	Common Buckthorn	6.2				Fair	NO
2128	Populus tremuloides	Quaking Aspen	8.6				Poor	NO
2129	Populus tremuloides	Quaking Aspen	8.1				Poor	NO
2130	Populus tremuloides	Quaking Aspen	8.1				Poor	NO
2131	Acer saccharum	Silver Maple	16.3	10.2			Poor	NO
2132	Fraxinus pennsylvanica	Green Ash	17.8				Excellent	NO
2133	Quercus macrocarpa	Bur Oak	19.0				Excellent	YES
2134	Prunus serotina	Black Cherry	13.0				Fair	YES
2135	Prunus serotina	Black Cherry	14.9				Fair	YES
2136	Quercus alba	White Oak	12.3				Fair	YES
2137	Populus deltoides	Cottonwood	11.9				Fair	YES
2138	Prunus serotina	Black Cherry	8.9				Poor	YES
2139	Prunus serotina	Black Cherry	8.0				Fair	YES
2140	Prunus serotina	Black Cherry	14.8				Fair	YES
2141	Quercus velutina	Black Oak	17.8				Fair	YES
2142	Acer platanoides	Norway Maple	7.1				Fair	YES
2143	Prunus serotina	Black Cherry	9.9				Fair	YES
2144	Prunus serotina	Black Cherry	13.5				Fair	YES
2145	Malus pumila	Apple	9.5				Fair	YES
2146	Prunus pennsylvanica	Peachleaf Willow	9.8				Fair	YES
2147	Tilia americana	Basswood	6.3				Good	YES
2148	Rhamnus cathartica	Common Buckthorn	6.7				Good	YES
2149	Tilia americana	Basswood	8.9				Good	YES
2150	Tilia americana	Basswood	13.3				Good	YES
2151	Quercus macrocarpa	Bur Oak	9.9				Good	YES
2152	Ulmus pumila	Siberian Elm	9.4				Good	YES
2153	Prunus serotina	Black Cherry	14.5				Good	YES
2154	Tilia americana	Basswood	18.1				Fair	YES
2155	Tilia americana	Basswood	11.2	10.7	10.8	10.5	Fair	YES
2156	Quercus macrocarpa	Bur Oak	10.3				Good	YES
2157	Quercus velutina	Black Oak	35.8				Fair	NO
2158	Tilia americana	Basswood	14.1	13.2			Fair	NO
2159	Tilia americana	Basswood	9.8	8.2			Fair	NO
2160	Tilia americana	Basswood	9.0				Fair	NO
2161	Tilia americana	Basswood	16.3				Fair	NO
2162	Tilia americana	Basswood	16.8				Fair	NO
2163	Tilia americana	Basswood	11.6				Fair	NO
2164	Tilia americana	Basswood	12.3				Fair	NO
2165	Tilia americana	Basswood	17.5				Fair	NO
2166	Tilia americana	Basswood	11.2				Fair	NO
2167	Tilia americana	Basswood	13.2				Fair	NO

Tag No.	Scientific Name	Common Name	Diam. 1	Diam. 2	Diam. 3	Diam. 4	Condition	Remove
2168	Tilia americana	Basswood	7.7				Fair	NO
2169	Tilia americana	Basswood	8.5				Poor	NO
2170	Tilia americana	Basswood	10.4				Fair	NO
2171	Tilia americana	Basswood	7.7				Fair	NO
2172	Tilia americana	Basswood	10.2				Fair	NO
2173	Tilia americana	Basswood	7.2				Fair	NO
2174	Tilia americana	Basswood	9.5				Fair	NO
2175	Tilia americana	Basswood	10.5				Fair	YES
2176	Quercus macrocarpa	Bur Oak	10.5				Fair	NO
2177	Tilia americana	Basswood	17.2				Fair	YES
2178	Tilia americana	Basswood	11.7				Fair	YES
2179	Tilia americana	Basswood	8.3				Fair	YES
2180	Tilia americana	Basswood	10.7				Fair	YES
2181	Tilia americana	Basswood	11.8				Fair	YES
2182	Populus deltoides	Cottonwood	10.2				Fair	YES
2183	Populus tremuloides	Quaking Aspen	10.5				Fair	YES
2184	Tilia americana	Basswood	10.7				Fair	YES
2185	Tilia americana	Basswood	15.4				Fair	YES
2186	Ulmus rubra	Spruce Elm	22.0				Good	YES
2187	Populus tremuloides	Quaking Aspen	7.0					

LEGEND

	EXISTING GRADE		PROPOSED SANITARY SEWER		PROPOSED PRAIRIE FIRE CRABAPPLE
	EXISTING CONTOURS, 1' INTERVAL		PROPOSED STORM SEWER		
	EXISTING TREES		PROPOSED WATERMAIN W/ TYPICAL GATE VALVE & WELL & STD. HYDRANT ASSEMBLY		
	EXISTING ASPHALT PAVEMENT		EXISTING TREES TO BE REMOVED		
	PROP. ON-SITE ASPHALT PAVEMENT WITH INTEGRAL 4" MOUNTABLE CURB		PROPOSED HACKBERRY		
	PROPOSED DECORATIVE LIGHT POST (TYPICAL X 7)		PROPOSED FREEMAN MAPLE		
	PROPOSED CONCRETE WALKS		PROPOSED WHITE PINE		



TREE REPLACEMENT CALCULATION:

NUMBER OF EXISTING TREES TO BE REMOVED: 25 + 1 DISEASED ASH TREE
 NUMBER OF REPLACEMENT CREDITS REQUIRED = 25
 NUMBER OF PROPOSED 3" CALIPER DECIDUOUS REPLACEMENT TREES: 9
 NUMBER OF CREDITS = (9 trees) x (2 credits/tree) = 18 CREDITS

NUMBER OF 9" HIGH EVERGREEN REPLACEMENT TREES: 6
 NUMBER OF CREDITS = (6 trees) x (1.5 credits/tree) = 9 CREDITS

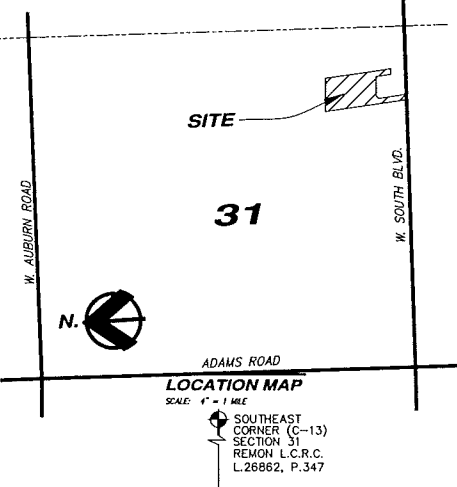
TOTAL NUMBER OF CREDITS = 30
 TREE REPLACEMENT CANNOT BE PLANTED WITHIN 4 FEET OF ANY PROPERTY LINE.

TREE SUMMARY:

TOTAL # OF TAGGED TREES:	49	TOTAL # OF TREES TO BE REMOVED:	25
TOTAL # OF DISEASED ASH TREES:	1	TOTAL # OF TREES TO REMAIN:	18
TOTAL # OF TREES ON-SITE:	5		
TOTAL # OF DEAD TREES:	0		
TOTAL # OF REGULATED TREES:	43	TOTAL # OF REGULATED TREES:	43
REQUIRED PERCENTAGE OF TREES TO BE SAVED:	37% (16 TREES)		
PROPOSED PERCENTAGE OF TREES TO BE SAVED:	18 TREES / 43 = 41.86%		

SITE CRITERIA

- *SOWELL # 15-31-400-018
- *EXISTING ZONING: R-4 ONE-FAMILY RESIDENTIAL
- *ADJACENT ZONINGS: R-4, ONE-FAMILY RESIDENTIAL
- *TOTAL AREA OF SITE: 9.857 AC.
- *PROPOSED USE: SINGLE-FAMILY ATTACHED RESIDENTIAL



TREE PLANTING RESTRICTIONS

PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB ON THE PUBLIC RIGHT-OF-WAY. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC ROAD. SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY. NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY LINES AT A DISTANCE ALONG EACH LINE OF 25' FROM THEIR POINT OF INTERSECTION. NO TREES OR SHRUBS MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH PUBLIC WALKWAY AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE HYDRANT. SHADE AND EVERGREEN TREES MUST BE AT LEAST 15' AWAY FROM THE NEAREST OVERHEAD WIRE AND AT LEAST 5' FROM THE NEAREST UNDERGROUND UTILITY.

CLOSING COMMENTS

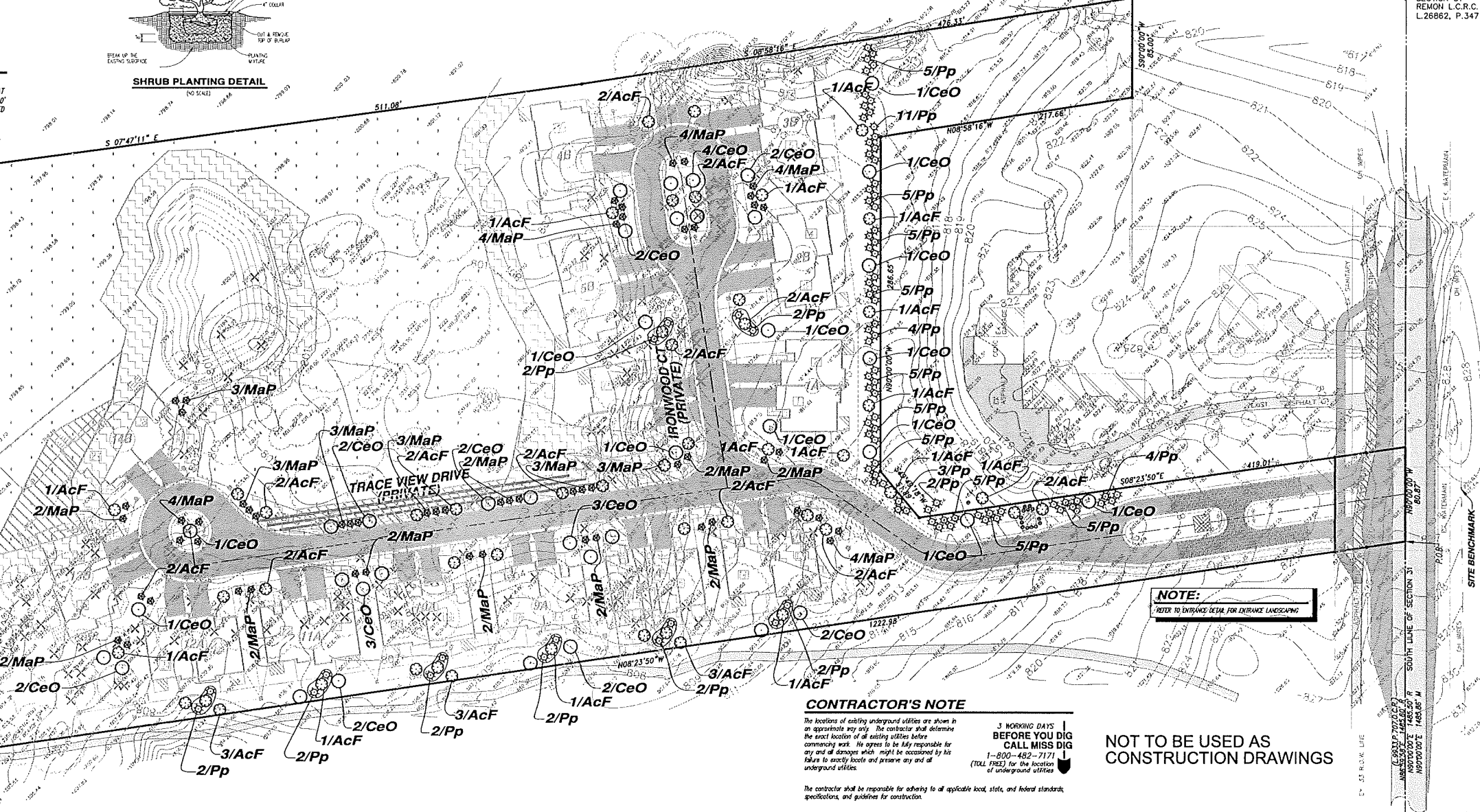
PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS FORESTRY DIVISION NEEDS TO INSPECT ALL TREES, EXISTING OR PLANTED, TO IDENTIFY ANY THAT POSE A HAZARD TO THE SAFE USE OF THE PUBLIC RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE, AND POSSIBLY REPLACE, ANY SUCH TREES.

TREE PROTECTION NOTES

- TREE PROTECTIVE FENCING (TPF) SHALL BE ERRECTED PER THE PLANS APPROVED BY THE CITY OF ROCHESTER HILLS PLANNING DEPARTMENT. THE TPF MUST BE IN PLACE AND BE INSPECTED BY THE CITY OF ROCHESTER HILLS LANDSCAPE ARCHITECT PRIOR TO THE START OF ANY EXCAVATION OR CONSTRUCTION OPERATIONS. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-4660 TO SCHEDULE A TPF INSPECTION. THE TPF SHALL REMAIN IN PLACE THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS OR UNTIL THE CITY AUTORIZES THE REMOVAL OR ISSUES A FINAL CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST.
- UPON COMPLETION OF GRADING AND THE INSTALLATION OF THE INFRASTRUCTURE A SECOND INSPECTION OF THE TPF AND THE TREES DESIGNATED FOR PRESERVATION IS REQUIRED BY THE CITY OF ROCHESTER HILLS LANDSCAPE ARCHITECT PRIOR TO THE START OF ANY ADDITIONAL CONSTRUCTION. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-4660 TO SCHEDULE THIS INSPECTION.
- UPON COMPLETION OF ALL CONSTRUCTION AND PRIOR TO THE REMOVAL OF THE TPF THE CITY OF ROCHESTER HILLS LANDSCAPE ARCHITECT MUST INSPECT ALL TREES DESIGNATED TO BE PRESERVED. THE LANDSCAPE PERFORMANCE BOND WILL NOT BE RELEASED UNTIL THE INSPECTION IS COMPLETE AND ALL RELATED ISSUES ARE RESOLVED. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-4660 TO SCHEDULE THIS INSPECTION.
- A FINAL INSPECTION BY THE CITY OF ROCHESTER HILLS LANDSCAPE ARCHITECT IS REQUIRED AT THE END OF THE WARRANTY AND MAINTENANCE PERIOD. THE LANDSCAPE PERFORMANCE BOND WILL NOT BE RELEASED UNTIL THIS INSPECTION IS COMPLETE AND ALL RELATED ISSUES ARE RESOLVED. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-4660 TO SCHEDULE THIS INSPECTION.
- THE TREE CONSERVATION ORDINANCE PROHIBITS ANY CONSTRUCTION OR DEVELOPMENT ACTIVITIES WITHIN THE DROP LINE OF REGULATED TREES NOT APPROVED FOR REMOVAL, INCLUDING BUT NOT LIMITED TO LAND CLEARING, GRUBBING, TRENCHING, GRADING OR FILLING, NO PERSON SHALL PLACE ANY SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, SOIL DEPOSITS, OR HAZARDOUS MATERIALS WITHIN THE DROP LINE LIMIT OF TREES DESIGNATED FOR PRESERVATION.
- PROPOSED GRADES ARE TO MATCH THE EXISTING ELEVATIONS OUTSIDE THE LIMITS OF THE TPF. NO GRADING EITHER CUT OR FILL IS PERMITTED WITHIN THE DROP LINE OF ANY TREE DESIGNATED FOR PRESERVATION.
- DURING THE CONSTRUCTION PROCESS NO PERSON SHALL ATTACH ANY DEVICE OR WIRE, CABLE, CORD, ROPE TO AN EXISTING TREE DESIGNATED TO BE PRESERVED.
- ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE THE TPF.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DROP LINE OF ANY TREE DESIGNATED FOR PRESERVATION. SWALES SHALL BE CONSTRUCTED SO AS NOT TO DIRECT ANY ADDITIONAL FLOW INTO THE DROP LINE OF A TREE DESIGNATED FOR PRESERVATION.
- IF TREE PROTECTION CANNOT BE MAINTAINED FOR A TREE THROUGHOUT THE ENTIRE PERIOD REQUIRED, THE REPLACEMENT OF THAT TREE WILL BE REQUIRED ON AN INCH FOR INCH BASIS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- REGULATED TREES LOCATED OFF-SITE ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION OPERATIONS MUST BE PROTECTED AS DEFINED HEREIN.
- THE TPF SHALL CONSIST OF 4-FEET HIGH ORANGE SHAW FENCING TO BE INSTALLED AROUND THE DROP LINE OF ALL TREES DESIGNATED TO BE SAVED. THIS FENCING SHALL BE SUPPORTED BY 6-FEET LONG METAL T-BAR POSTS 5 FEET ON CENTER AND DRIVEN A MINIMUM OF 24 INCHES INTO THE GROUND. THE TPF SHALL REMAIN UPRIGHT AND SECURELY IN PLACE FOR THE DURATION OF THE PROJECT AS SPECIFIED ABOVE.

LANDSCAPING NOTES

- ALL PLANT MATERIAL SHALL BE TRUE TO NAME, FREE FROM PHYSICAL DAMAGE AND WIND BURN.
- PLANTS SHALL BE FULL, WELL-BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.
- PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.
- WHEN ALL LANDSCAPING IS COMPLETE THE CITY OF ROCHESTER HILLS LANDSCAPE ARCHITECT WILL INSPECT AND IF EVERYTHING IS ACCEPTABLE THE PERFORMANCE BOND WILL BE RELEASED. AT THIS TIME AND FOR THE TWO-YEAR WARRANTY PERIOD A MAINTENANCE BOND WILL BE HELD. AT THE END OF TWO YEARS THE LANDSCAPING WILL BE INSPECTED AGAIN. AT THIS TIME IF EVERYTHING IS IN GOOD CONDITION THE MAINTENANCE BOND WILL BE RELEASED.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK. PROVIDE CLEAN BACKFILL SOIL USING MATERIAL STOCKPILED ON SITE. SOIL SHALL BE SORBED AND FREE OF ANY DEBRIS, FOREIGN MATERIAL, AND STONE.
- "AGRIFORM" TABS OR SIMILAR SLOW-RELEASE FERTILIZER SHALL BE ADDED TO THE PLANTING PITS BEFORE BEING BACKFILLED.
- ALL PLANTINGS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO A MINIMUM DEPTH OF 4". MULCH IS TO BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND SHALL CONTAIN NO PIECES OF INCONSISTENT SIZE.



CONTRACTOR'S NOTE

The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.

The contractor shall be responsible for adhering to all applicable local, state, and federal standards, specifications, and guidelines for construction.

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 (TOLL FREE) for the location of underground utilities

NOT TO BE USED AS CONSTRUCTION DRAWINGS

PLANT MATERIAL LIST

key	quant.	botanical name	common name	size	root
CANOPY TREES		83 CANOPY TREES		222 TREES TOTAL	
AcF	48	ACER x FREEMAN "AUTUMN BLAZE"	FREEMAN MAPLE	3" CAL.	B. & B.
CeO	35	CELTIS OCCIDENTALIS	HACKBERRY	2" CAL.	B. & B.
ORNAMENTAL TREES		52 CANOPY TREES			
MaP	52	MALUS "PRAIRIE FIRE"	PRAIRIE FIRE CRABAPPLE	2" CAL.	B. & B.
EVERGREEN TREES		87 EVERGREEN TREES			
Pp	87	PINUS STROBUS	WHITE PINE	14'-0" HT.	B. & B.

APEX
 ENGINEERING GROUP INC.
 CIVIL ENGINEERING & LAND PLANNING CONSULTANTS
 P.O. BOX 1462
 BIRMINGHAM, AL 35202
 PHONE: 866-876-3947

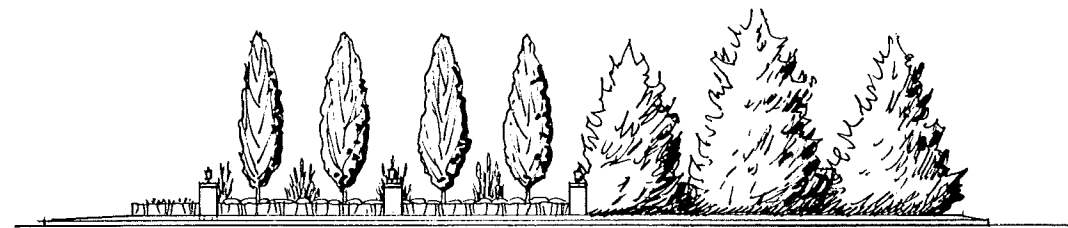
PROJECT: VILLAS AT SHADOW PINES
 CLIENT: SHADOW PINES LLC, 10000 SHREVE DRIVE, SHREVE TOWNSHIP, MI 48151
 JOB NO: 2012-043
 DATE: 05-12-2013
 DRAWN BY: T.JM, R.T.E.
 CHECKED BY: W.S.B., W.E.M.

REVISIONS:
 SEAL

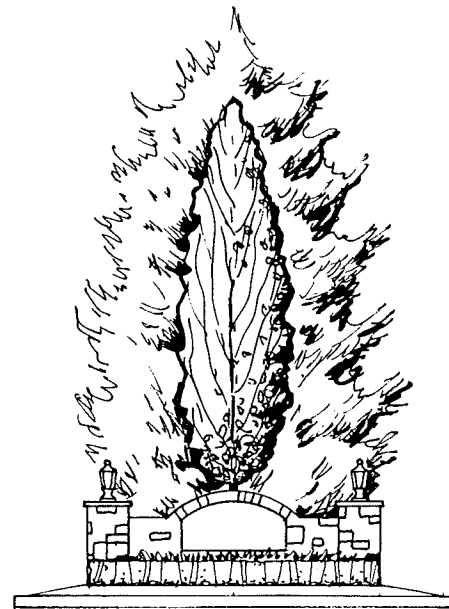
OVERALL LANDSCAPE PLAN
 SHEET 5 OF 5
 MUNICIPAL REVIEW NUMBERS:

VILLAS AT SHADOW PINES

SCALE 1" = 10'



ELEVATION SCALE 1" = 10'



ELEVATION SCALE 1/4" = 1'



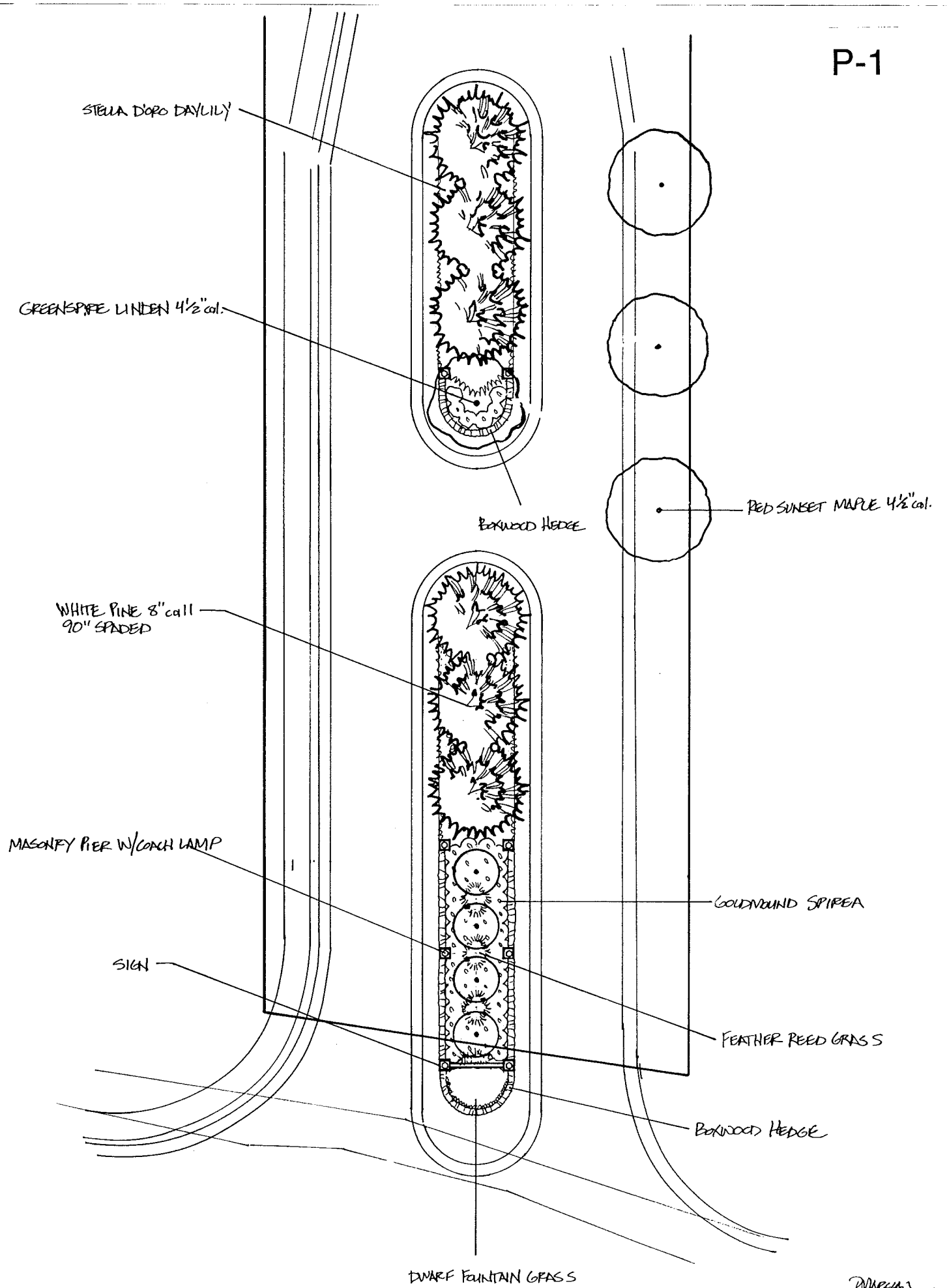
VISIONS OF PARADISE LANDSCAPING

54001 Van Dyke Ave.
Shelby TWP, MI 48316

586-226-2882
FAX 586-226-2883

www.visionsofparadiselandscaping.com

PRELIMINARY
ENTRANCEWAY
LANDSCAPE PLAN FOR
VILLAS AT
SHADOW PINES
SCALE 1" = 10'



VILLAS AT SHADOW PINES

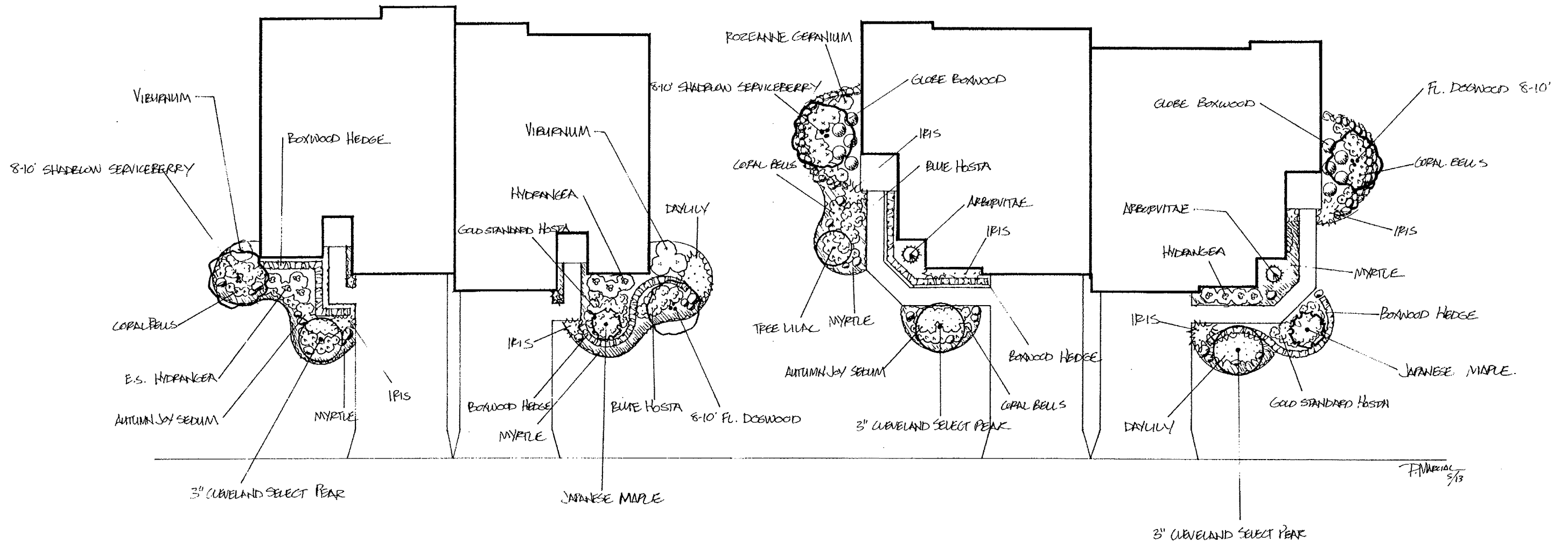
SCALE 1/8" = 1 FT.



54001 Van Dyke Ave.
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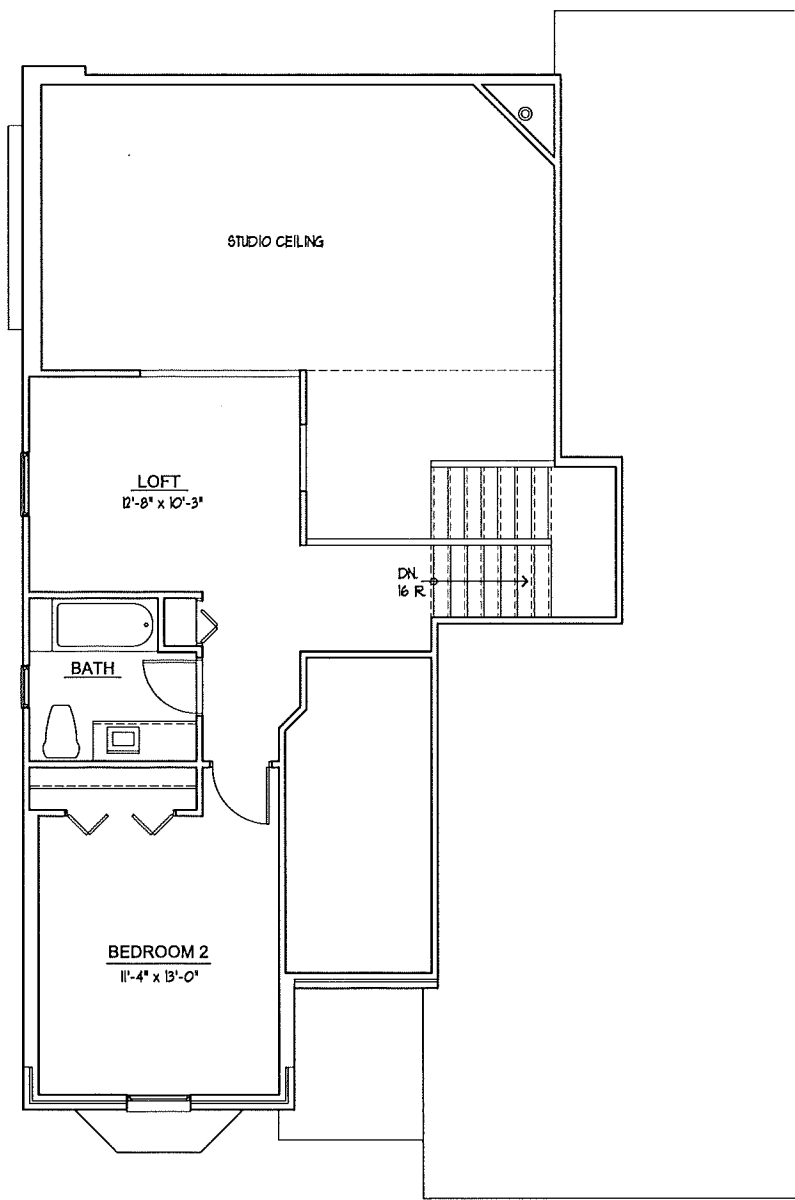
PRELIMINARY
LANDSCAPE PLAN FOR
VILLAS AT
SHADOW PINES
SCALE 1/8" = 1 FT.

P-3

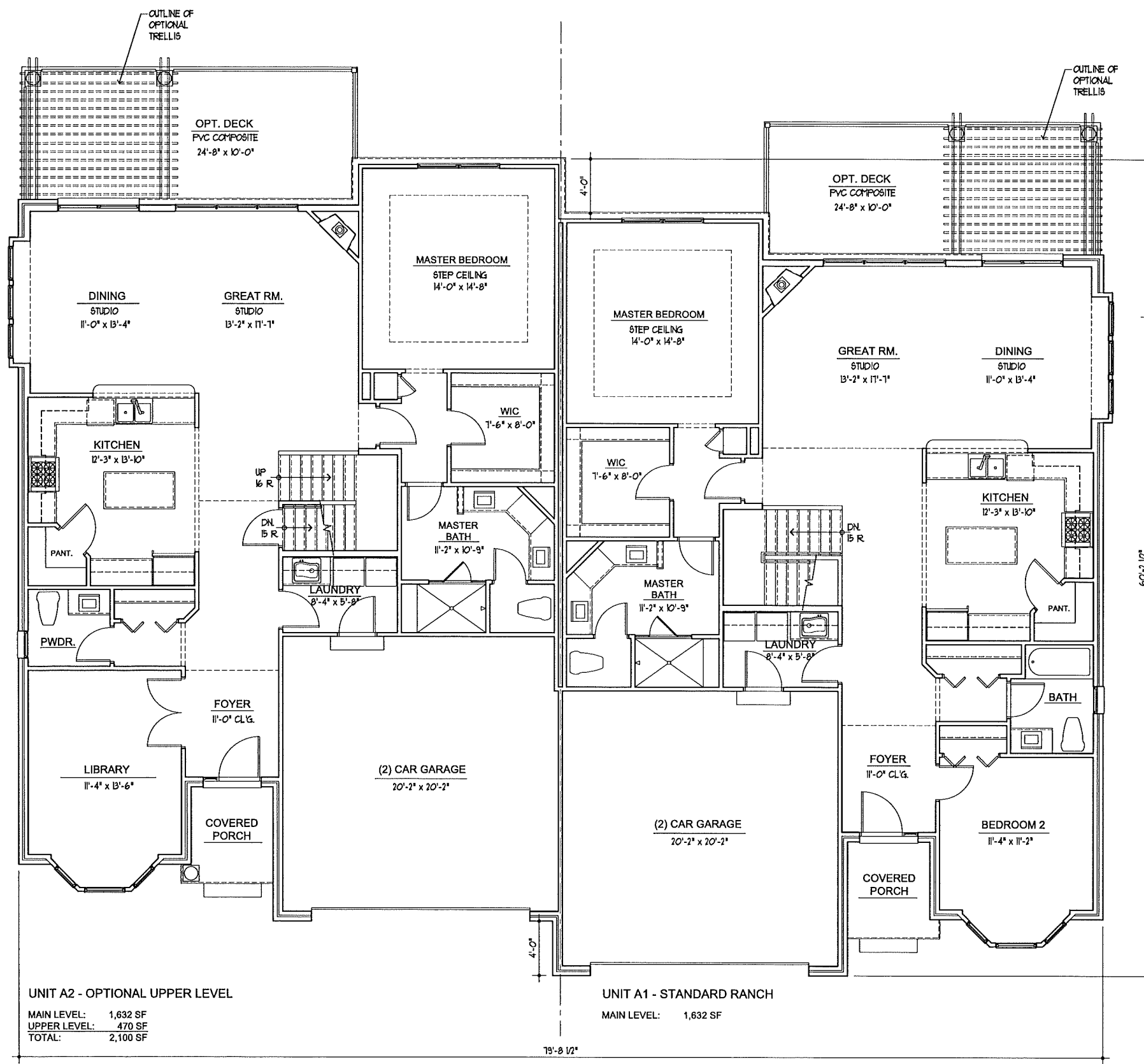


P-3

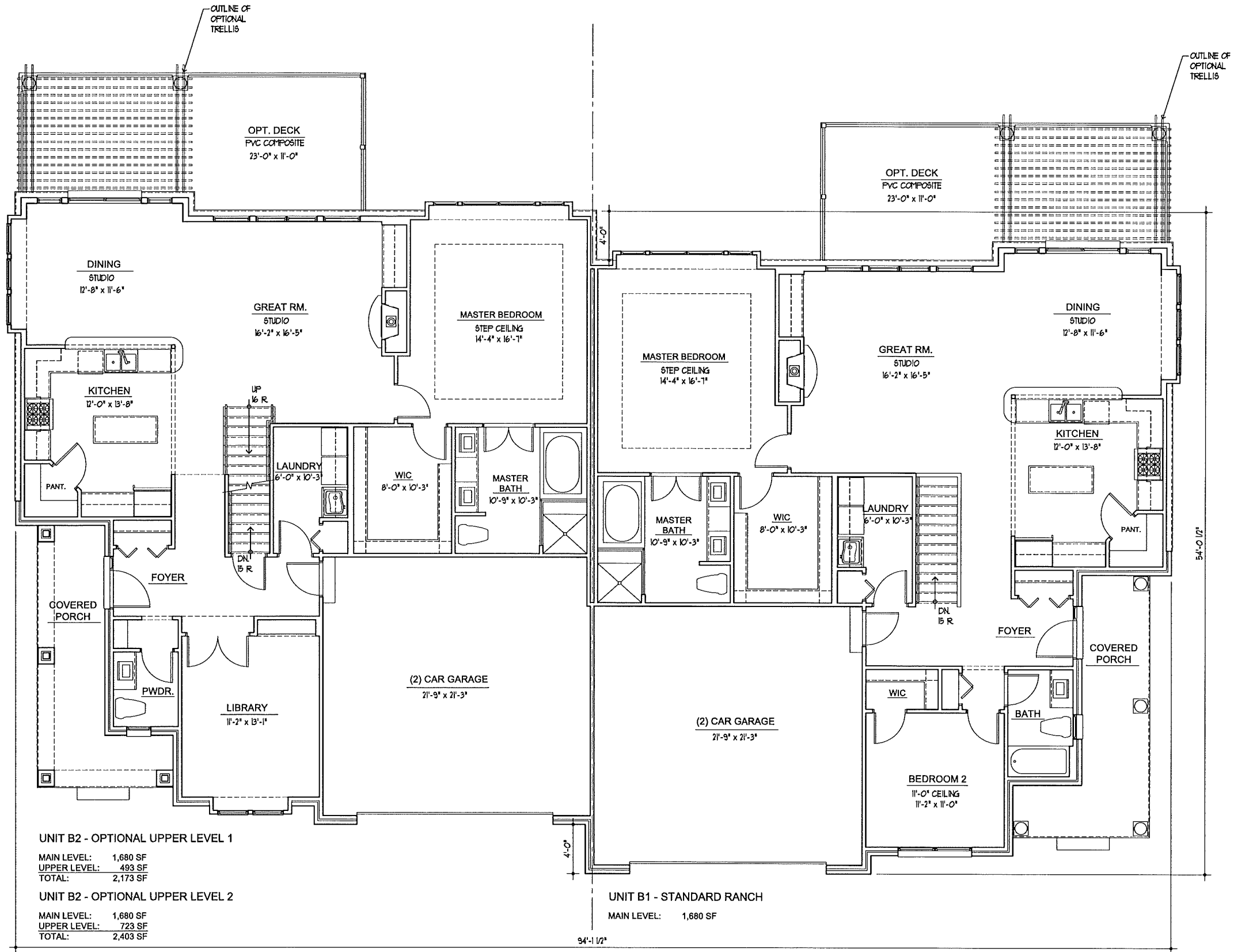
NO.	DESCRIPTION	DATE
1	SITE PLAN APPROVAL SUBMITTAL	05/09/13



1/A1.0 floor plan - optional upper level - building a
 SCALE: 1/4" = 1'-0"



1/A1.0 floor plan - main level - building a
 SCALE: 1/4" = 1'-0"



UNIT B2 - OPTIONAL UPPER LEVEL 1

MAIN LEVEL: 1,680 SF
UPPER LEVEL: 493 SF
TOTAL: 2,173 SF

UNIT B2 - OPTIONAL UPPER LEVEL 2

MAIN LEVEL: 1,680 SF
UPPER LEVEL: 723 SF
TOTAL: 2,403 SF

UNIT B1 - STANDARD RANCH

MAIN LEVEL: 1,680 SF

1/A1.1 floor plan - main level - building b

SCALE: 1/4" = 1'-0"

PROJECT:
A Multi-Family Project
Villas at Shadow Pines
Rochester Hills Michigan

CLIENT:
Shadow Pines, LLC
21872 23 Mile Road
Macomb Township, MI 48042

NO.	DESCRIPTION	DATE
1	SITE PLAN APPROVAL REVISION	04/22/13
2		

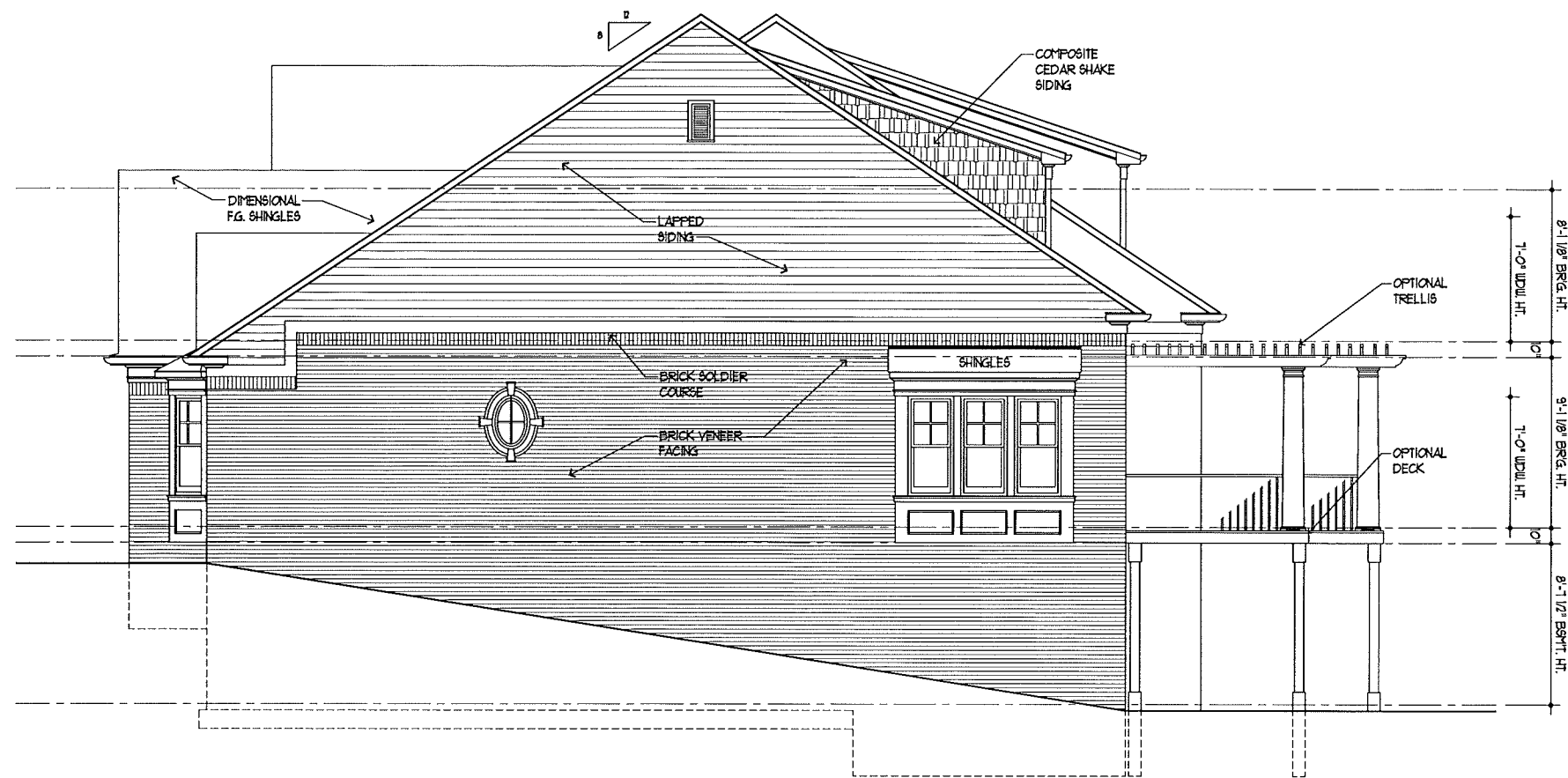
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FLOOR PLANS - BUILDING B

PROJECT NUMBER:
2013-127

DRAWN BY:
KMB

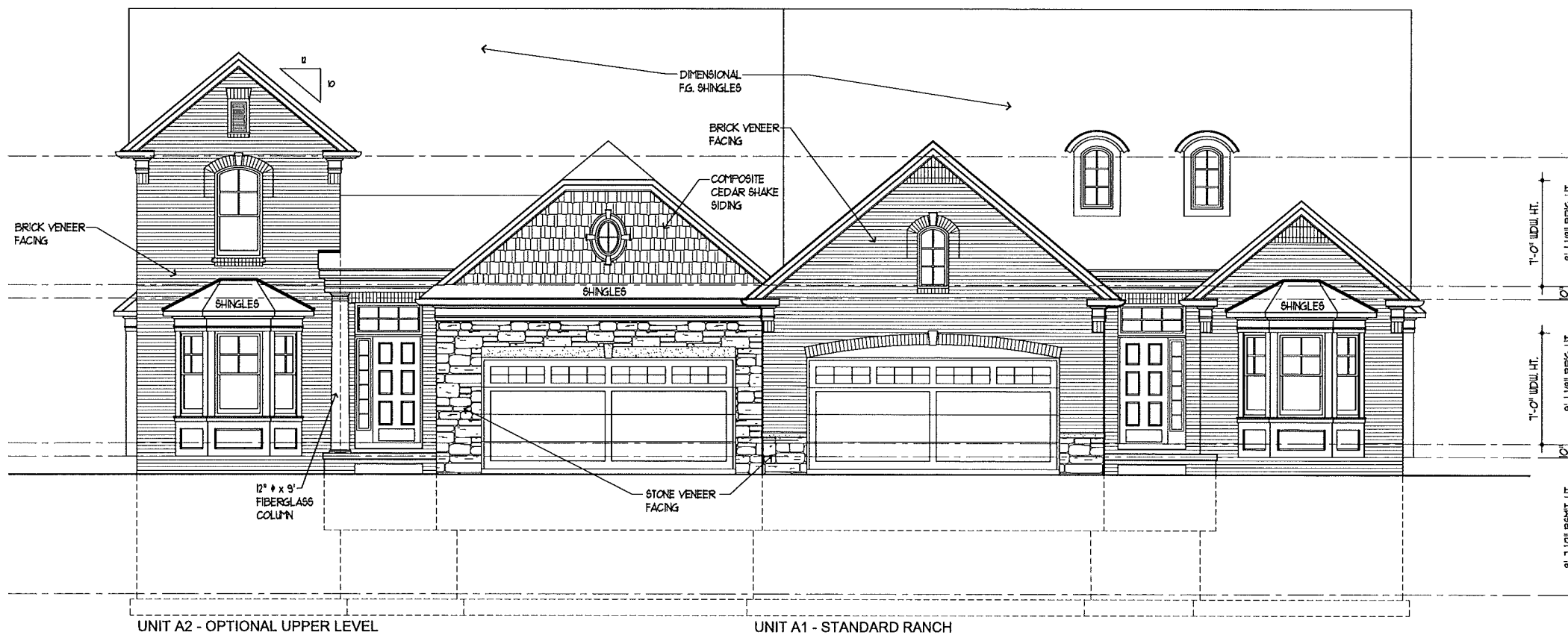
CHECKED BY:
KMB

SHEET NUMBER:
A 1.1



2/A3.0 right building elevation - building a

SCALE: 1/4" = 1'-0"



UNIT A2 - OPTIONAL UPPER LEVEL

UNIT A1 - STANDARD RANCH

1/A3.0 front building elevation - building a

SCALE: 1/4" = 1'-0"

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 570 East Snell Road - Rochester - Michigan - 48306
 Ph. 248.303.1446
 Rochester, Michigan Fort Collins, Colorado

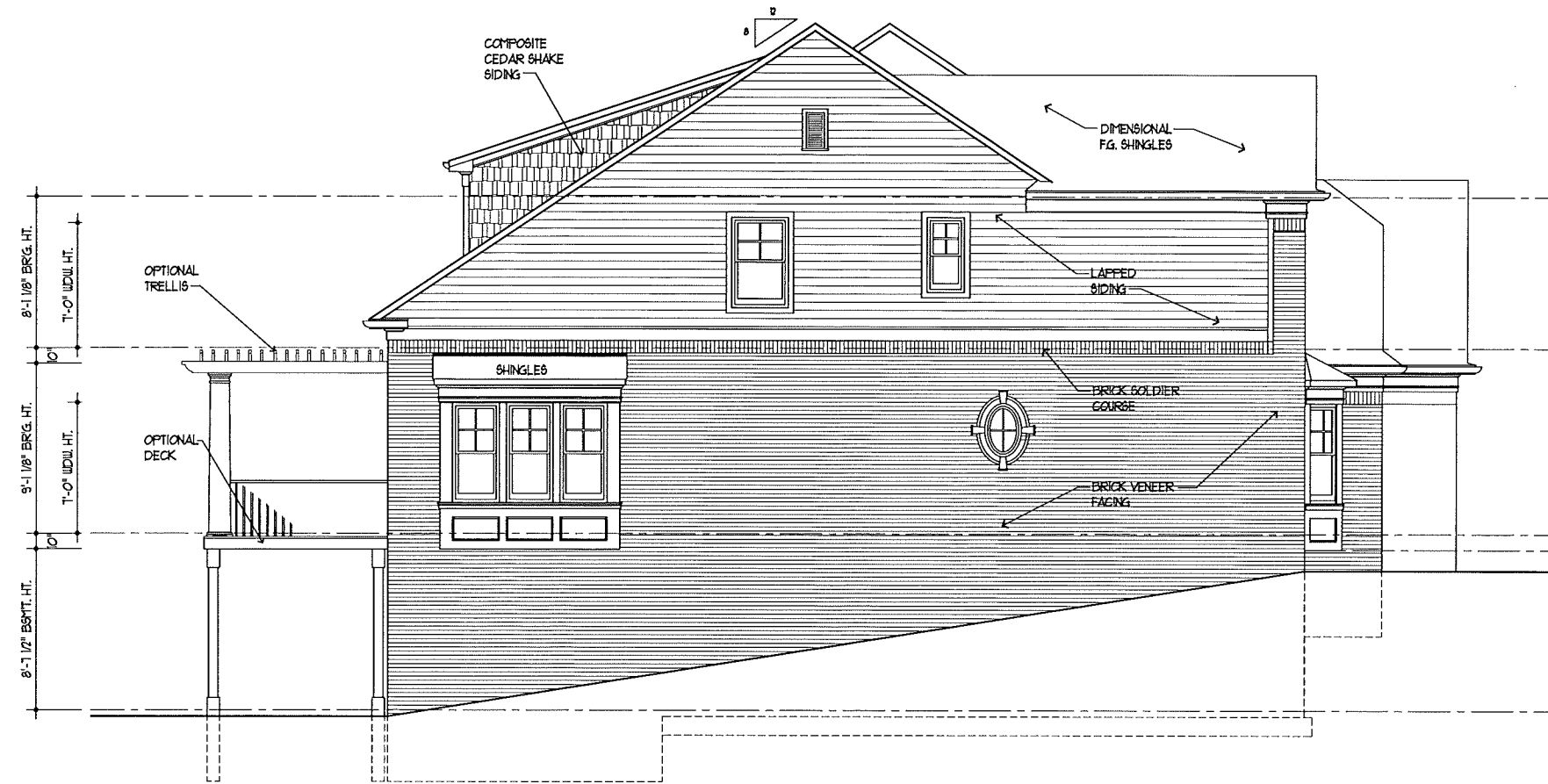
PROJECT:
 A Multi-Family Project
**Villas at
 Shadow Pines**
 Rochester Hills
 Michigan

CLIENT:
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 21872 23 Mile Road
 Macomb Township, MI 48042

NO.	DESCRIPTION	DATE
1	SITE PLAN APPROVAL SUBMITTAL	04/05/13

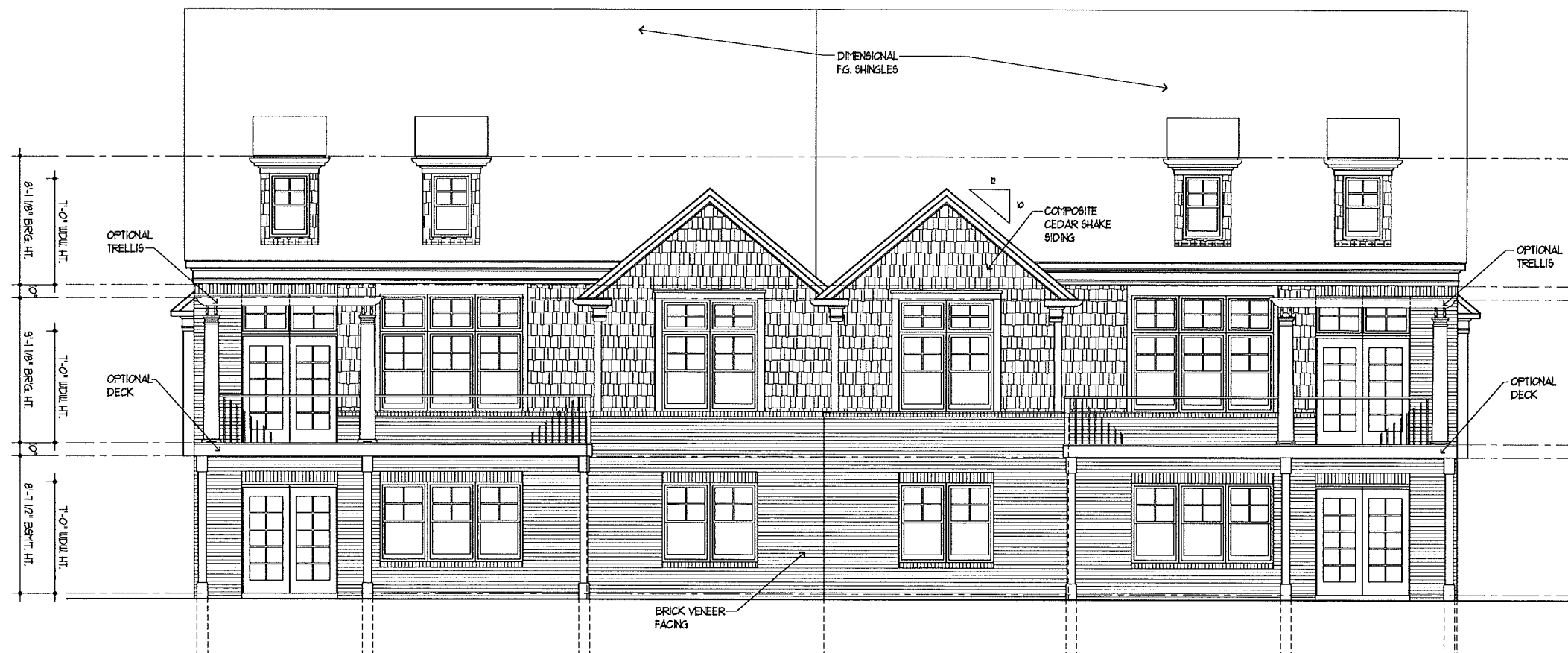
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**EXTERIOR
 ELEVATIONS -
 BUILDING A**
 PROJECT NUMBER:
 2013-127
 DRAWN BY:
 KMB
 CHECKED BY:
 KMB
 SHEET NUMBER:

A 3.0



2/A3.1 left building elevation - building a

SCALE: 1/4" = 1'-0"



1/A3.1 rear building elevation - building a

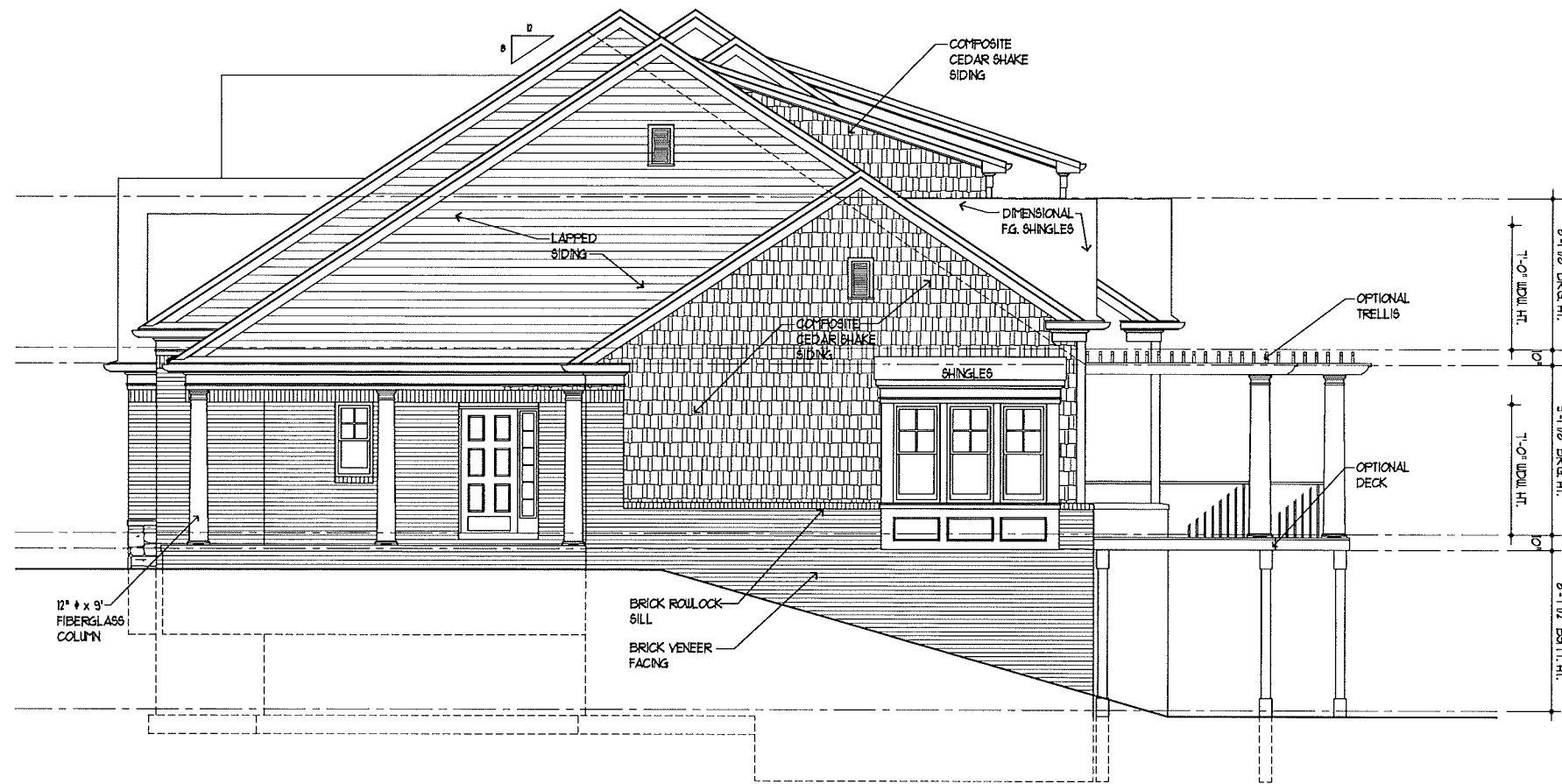
SCALE: 1/4" = 1'-0"

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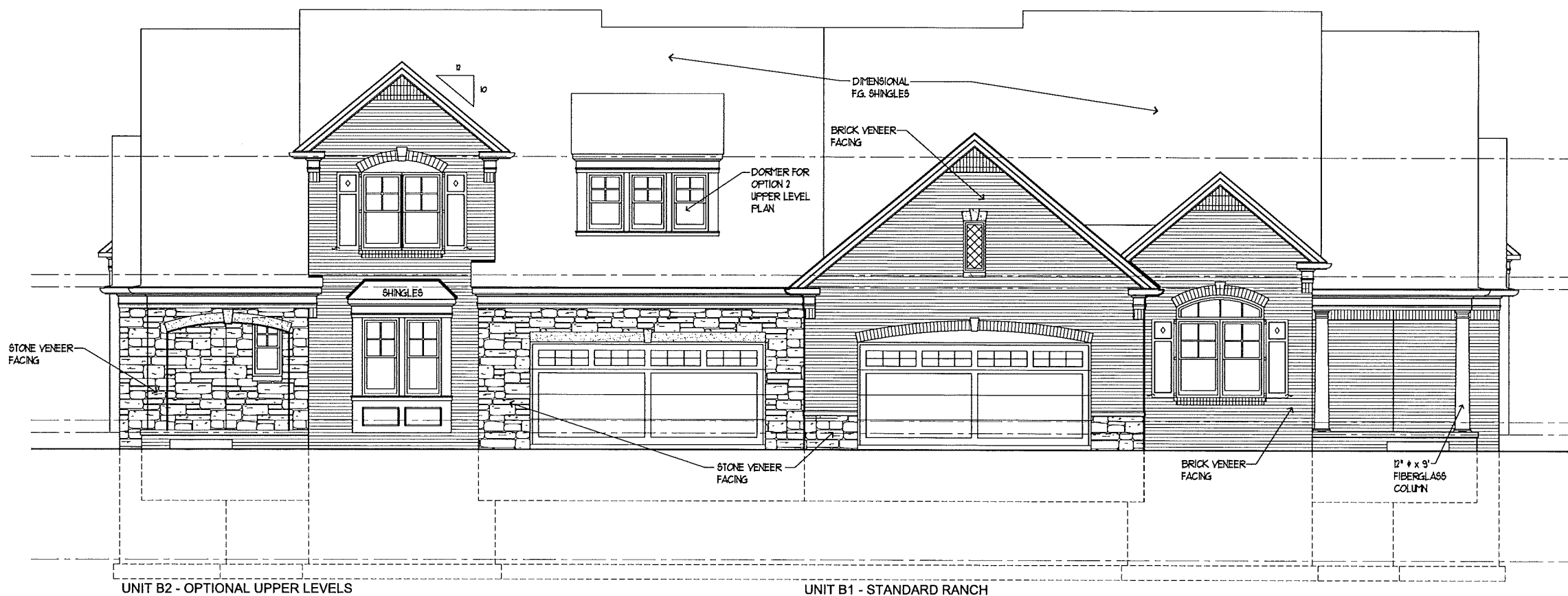
NO.	DESCRIPTION	DATE
1	DATE PLAN APPROVAL SUBMITTAL	06/03/13

SHEET TITLE:
**EXTERIOR
 ELEVATIONS -
 BUILDING A**
 PROJECT NUMBER:
 2013-127
 DRAWN BY:
 KMB
 CHECKED BY:
 KMB
 SHEET NUMBER:
A 3.1



2/A3.2 right building elevation - building b

SCALE: 1/4" = 1'-0"



UNIT B2 - OPTIONAL UPPER LEVELS

UNIT B1 - STANDARD RANCH

1/A3.2 front building elevation - building b

SCALE: 1/4" = 1'-0"

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 570 East Snell Road
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Villas at Shadow Pines
 Rochester Hills
 Michigan

CLIENT:
Shadow Pines, LLC
 21872 23 Mile Road
 Macomb Township, MI 48042

NO.	DESCRIPTION	DATE
1	SITE PLAN APPROVAL SUBMITTAL	06/06/10

SHEET TITLE:
EXTERIOR ELEVATIONS - BUILDING B

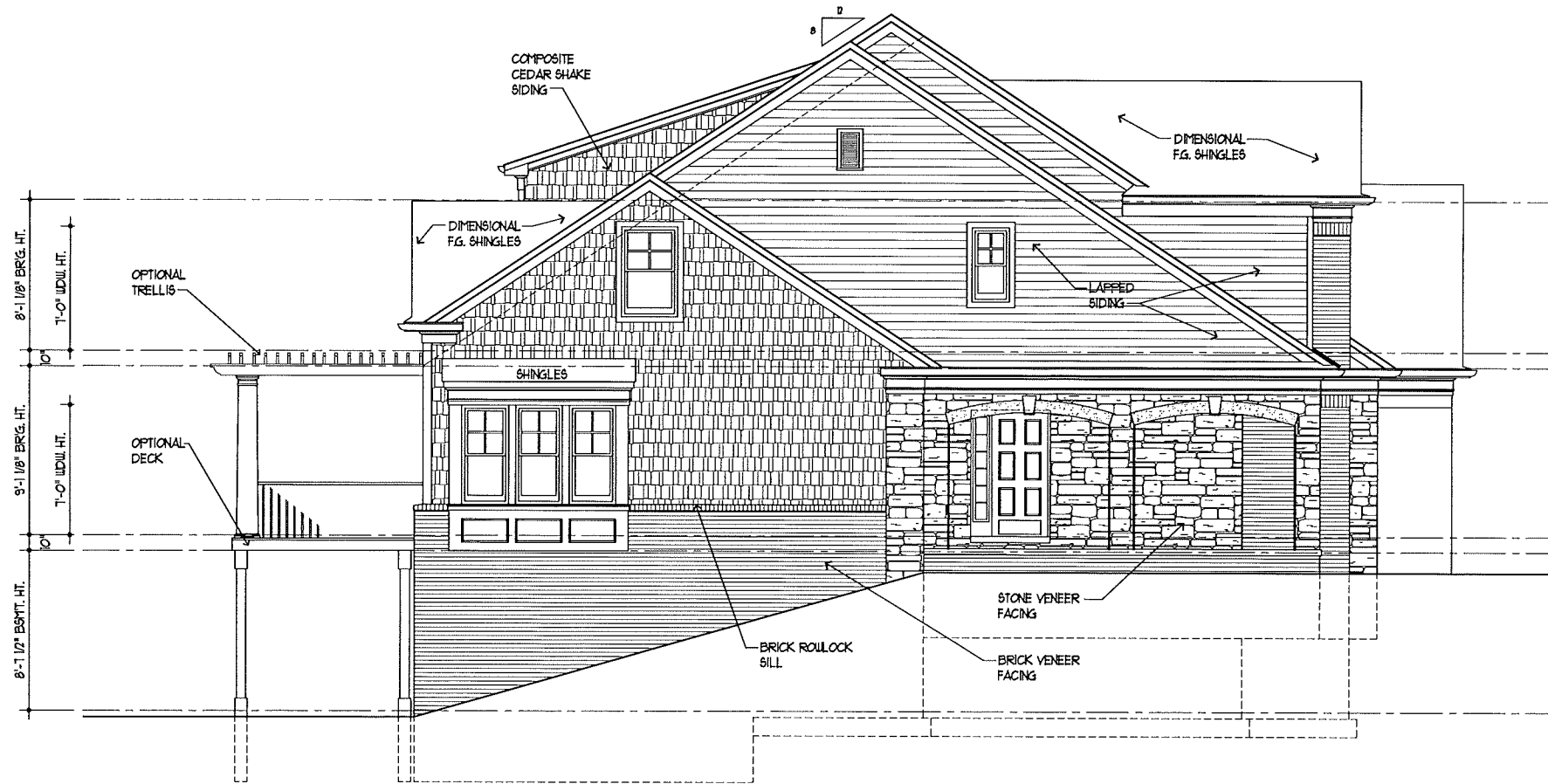
PROJECT NUMBER:
 2013-127

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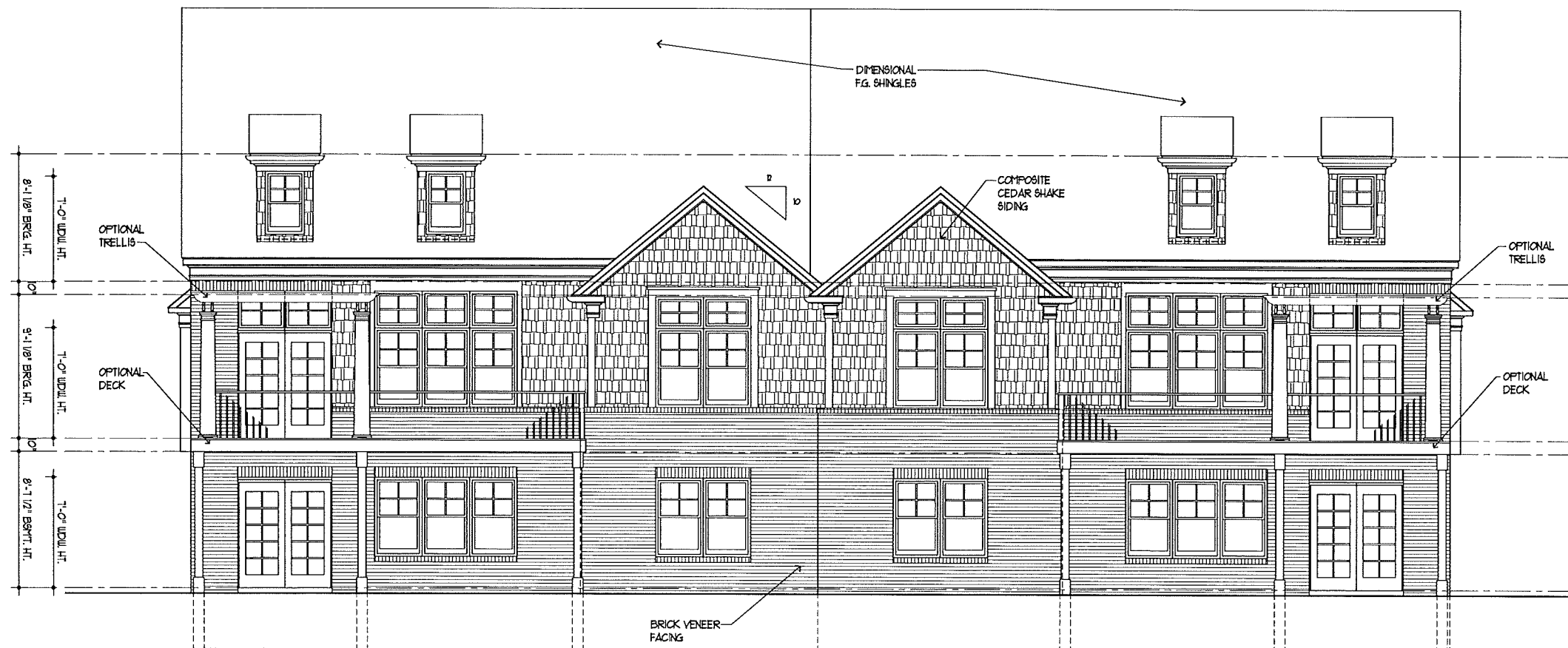
SHEET NUMBER:

A 3.2



2/A3.3 left building elevation - building b

SCALE: 1/4" = 1'-0"



1/A3.3 rear building elevation - building b

SCALE: 1/4" = 1'-0"

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NO.	DESCRIPTION	DATE
1	SITE PLAN APPROVAL SUBMITTAL	06/05/13

SHEET TITLE:
EXTERIOR ELEVATIONS - BUILDING B
 PROJECT NUMBER:
 2013-127
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