


BRECKENRIDGE CONDOMINIUMS

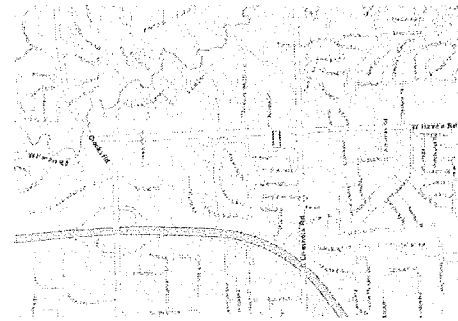
Submitted for Site Plan Review
Rochester Hills, Oakland County, Michigan

THE NORTHEAST 1/4 OF SECTION 28, T3N, R11E
PARCEL #15-28-226-023 & 024

Site Data

EXISTING ZONING	MR: MIXED RESIDENTIAL OVERLAY (R-3)
GROSS AREA	3.73 AC.
TOTAL NUMBER OF UNITS	12
PERMITTED DENSITY (MAX.)	3.45 DU/AC
PROPOSED DENSITY	3.2 UNITS / AC.
SETBACKS (MIN.)	
FRONT YARD	25 FEET 
SIDE YARD	15 FEET
REAR YARD (EAST AND WEST SIDE)	25 FEET
REAR YARD (SOUTH SIDE)	60 FEET

LOCATION MAP



LEGAL DESCRIPTION

PARCEL 15-28-226-023
A PARCEL OF LAND IN PART OF THE NORTHEAST 1/4 OF SECTION 28, T3N, R11E, BEGINNING AT A POINT DISTANT THENCE S 89-34-00 W 515.01 FT FROM NORTHEAST SECTION CORNER, THENCE DUE SOUTH 439.10 FT; THENCE DUE WEST 185.00 FT; THENCE DUE NORTH 437.70 FT; THENCE N 89-34-00 E 185.00 FT TO THE POINT OF BEGINNING CONTAINING 1.86 ACRES OF LAND RESERVING ALL EASEMENTS OF RECORD

PARCEL 15-28-226-024
A PARCEL OF LAND IN PART OF THE NORTHEAST 1/4 OF SECTION 28, T3N, R11E, BEGINNING AT A POINT DISTANT THENCE S 89-34-00 W 330.01 FT FROM NORTHEAST SECTION CORNER, THENCE DUE SOUTH 440.50 FT; THENCE DUE WEST 185.00 FT; THENCE DUE NORTH 439.10 FT; THENCE N 89-34-00 E 185.00 FT TO THE POINT OF BEGINNING CONTAINING 1.87 ACRES OF LAND RESERVING ALL EASEMENTS OF RECORD

NOTES

1. RETAINING WALLS OVER 4 FEET HIGH WILL REQUIRE SEALED AND SIGNED ENGINEERING DRAWINGS.

SITE GRADING NOTES

- SITES SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' (R401.3).
- WHEREVER POSSIBLE, SWALES SHALL BE PROVIDED ALONG LOT LINES WITH 1% MINIMUM SLOPE TO CONVEY RUNOFF TO CONVEY RUNOFF TO A STORM SEWER OR OTHER APPROVED COLLECTION POINTS.
- DRIVEWAY SLOPES SHALL MEET THE FOLLOWING REQUIREMENTS:
 - APPROACH AND DRIVEWAY: 2% MINIMUM, - 10% MAXIMUM.
 - SIDEWALK CROSS-SLOPE (INCLUDING DRIVEWAY APPROACH); 1% MIN, 2% MAX.
 - SIDE-ENTRY GARAGE: 2% MINIMUM, 4% MAXIMUM.
 - NEGATIVE SLOPE DRIVEWAY: 2% MINIMUM, 7% MAXIMUM.

PROPOSED PRIVATE ROADS

THE PROPOSED PRIVATE ROADS ARE NOT BEING CONSTRUCTED TO THE CITY'S PUBLIC ROAD STANDARDS, AND THEREFORE, CANNOT BE TRANSFERRED AS PUBLIC ROADS IN FUTURE.

TRAFFIC NOTES

THE PROPOSED PRIVATE ROADS ARE NOT BEING CONSTRUCTED TO THE CITY'S PUBLIC ROAD STANDARDS, AND THEREFORE, CANNOT BE TRANSFERRED AS PUBLIC ROADS IN FUTURE.

HAMLIN ROAD IS UNDER THE JURISDICTION OF THE CITY OF ROCHESTER HILLS AND A CITY RIGHT-OF-WAY PERMIT IS REQUIRED FOR ALL WORK WITHIN THE HAMLIN ROAD RIGHT-OF-WAY.

FIRE DEPARTMENT NOTES

- "CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14."
- "OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES."

NATURAL FEATURES SETBACKS

BEST MANAGEMENT PRACTICES WILL BE STRICTLY FOLLOWED DURING CONSTRUCTION TO MINIMIZE THE IMPACTS ON THE NATURAL FEATURES SETBACKS.

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION UNLESS APPROVED BY MUNICIPALITY. HOUSE DIMENSIONS TO BE VERIFIED BY OWNER AND/OR BUILDER BEFORE CONSTRUCTION.

THE PROPERTY DIMENSIONS AND UTILITY LOCATIONS SHOWN ARE ONLY APPROXIMATE AND GATHERED FROM EXISTING RECORDS AVAILABLE. THERE IS NO GUARANTEE THEREOF. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND UTILITIES PRIOR TO START OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO OWNER AND/OR ENGINEER

NOTE: ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF ALL GOVERNING AGENCIES.

USER AGREES THAT PLAN IS SUBJECT TO STANDARD ASCE CONTRACT AND LIABILITY AND IS LIMITED TO FEE

SHEET INDEX

GENERAL	
G-1.0	Cover
ENGINEERING SHEET INDEX	
ENG-1	Final Site Plan
ENG-2	Utility Layout and Grading Plan
ENG-3	Soil Borings and Details
LANDSCAPE SHEET INDEX	
T-1.0	Existing Tree Survey
T-1.1	Tree Analysis
LA-1.0	Landscape Concept Plan
LA-1.1	Landscape Planting Plan and Probable Cost Estimate
LA-1.2	Elevations and Cross Sections
LA-1.3	Aspen Unit Planting Plan
LA-1.4	Spruce Unit Planting Plan
LA-2.0	Landscape Planting Details and Notes
IRRIGATION SHEET INDEX	
IR 1.0	Irrigation
ARCHITECTURE SHEET INDEX	
A-1.0	Aspen Unit Elevation
A-1.1	Aspen First Floor Plan
A-1.2	Aspen Second Floor Plan
A-2.0	Spruce Unit Elevation
A-2.1	Spruce First Floor Plan
A-2.2	Spruce Second Floor Plan

PROJECT TEAM

CLIENT / APPLICANT

HAMLIV, LLC.
JIM POLYZOIS
14955 Technology Dr.
SHELBY TWP, MICHIGAN 48315
PHONE: (586) 421-5729

PROJECT LANDSCAPE ARCHITECT/PLANNER

NÚÑEZDESIGN, INC.
RALPH L. NÚÑEZ, RLA, CLARB, ASLA, GRP
249 PARK ST.
TROY, MICHIGAN 48083
PHONE: (248) 224-5933

PROJECT ENGINEER

D'ANNA ASSOCIATES
SALVATORE D'ANNA, PE
1055 SOUTH BLVD. E, SUITE 200
ROCHESTER HILLS, MICHIGAN 48307
PHONE: (248) 852-7702

PROJECT ARCHITECT

TR DESIGN GROUP, LLC.
JEFF ZIEGELBAUR, PRINCIPAL
6001 N. ADAMS, SUITE 202
BLOOMFIELD HILLS, MICHIGAN 48304
PHONE: (248) 792-3256

PROJECT FORESTER

MIKE'S TREE SURGEONS, INC.
JOHN P. MOSES, REGISTERED FORESTER - MICHIGAN
241 PARK ST.
TROY, MICHIGAN 48083
PHONE: (248) 588-0202

ISSUED FOR

SITE PLAN REVIEW
DATE: 4/9/2018
PRELIMINARY & FINAL REVIEW
DATE:
DESIGNED / DRAWN RN
DATE:
FINAL REVIEW
DATE:
FINAL REVISIONS
DATE:
PLANNING DEPT. APPROVAL
DATE:

CITY REFERENCE NUMBER

City File: #18-008



NÚÑEZ DESIGN



BRECKENRIDGE CONDOMINIUMS

ROCHESTER HILLS, MI
PARCEL #15-28-226-023 & 024
N-01-28

CLIENT:
HAMLIV, LLC
JIM POLYZOIS
14955 Technology Dr.,
Shelby Twp., MI 48315
Phone: 586-421-5729
FAX: 586-421-5742

Client's Revisions: 7/20/2018
Forestry: Revisions 6/11/2018
Submittal: Revisions 6/1/2018
Submittal: PRELIM DESIGN 4/9/2018
Date: 4/9/2018



LANDSCAPE ARCHITECTURE • URBAN DESIGN
249 Park Street
Troy, Michigan 48083
P: 248.397.6540
nunezdesigninc@gmail.com

Designed / Drawn RN
Checked / Approved RN
Job # N-01-28

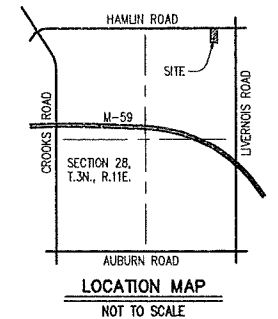
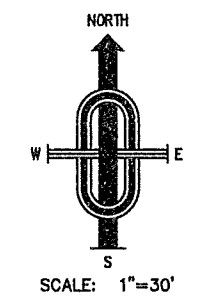
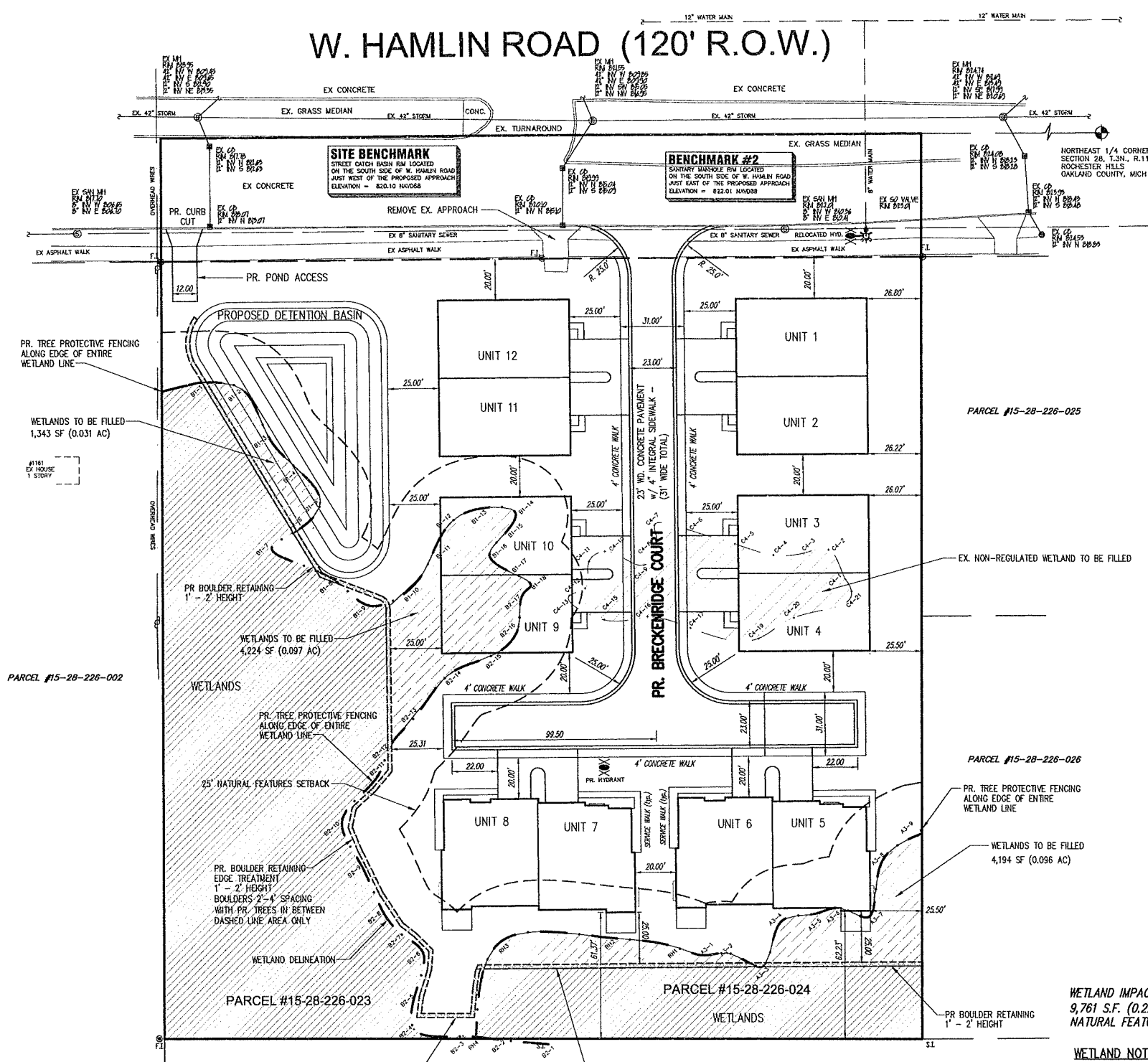


Know what's below.
Call before you dig.

SHEET:
CITY FILE # 18-008

G-1.0

W. HAMLIN ROAD (120' R.O.W.)



LEGAL DESCRIPTION

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A PARCEL OF LAND IN PART OF THE NORTHEAST 1/4 OF SECTION 28, T.3N., R.11E., BEGINNING AT A POINT DISTANT THENCE S 89-34-00 W 515.01 FT FROM NORTHEAST SECTION CORNER, THENCE DUE SOUTH 439.10 FT; THENCE DUE WEST 185.00 FT; THENCE DUE NORTH 437.70 FT; THENCE N 89-34-00 E 185.00 FT TO THE POINT OF BEGINNING, CONTAINING 1.86 ACRES OF LAND RESERVING ALL EASEMENTS OF RECORD

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NOTES:

- THIS SITE CONDOMINIUM IS ZONED R-3
- LAYOUT AND DIMENSIONS ARE TENTATIVE AND SUBJECT TO MODIFICATION UPON CALCULATION OF THE CONDOPLAT.
- ALL UNITS WILL BE SERVED WITH PUBLIC SANITARY SEWER AND WATER MAIN.
- ALL SANITARY SEWERS, SERVICES AND RELATED ITEMS MUST BE DESIGNATED IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS ENGINEERING DESIGN STANDARDS.
- ALL STORM SEWER AND RELATED ITEMS MUST BE DESIGNED IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS ENGINEERING DESIGN STANDARDS.
- ALL INTERIOR STREETS WILL BE PAVED WITH CONCRETE OR ASPHALT. PAVEMENT TO BE 23 FT. WD. (BACK TO BACK).
- THE DEVELOPER SHALL COMPLY WITH APPLICABLE CODES AND ORDINANCES OF THE CITY OF ROCHESTER HILLS, OAKLAND COUNTY AND THE STATE OF MICHIGAN.
- EXISTING GRADES VARY OVER THE EXISTING SITE. PROPOSED STREET GRADING WILL CONFORM TO THE REQUIREMENTS OF THE CITY OF ROCHESTER HILLS.
- ELECTRICAL AND GAS LINES WILL BE IN FRONT YARD EASEMENTS.
- ALL WATER MAIN AND APPURTENANCES MUST BE DESIGNED IN ACCORDANCE WITH CITY OF ROCHESTER HILLS ENGINEERING DESIGN STANDARDS.
- SOIL TYPES FOR THIS SITE ARE Marlette sandy loam, 1 to 6 percent slopes AND Copac sandy loam, 0 to 4 percent slopes ACCORDING TO INFORMATION MADE AVAILABLE BY THE UNITED STATES DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE.
- TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY BY LAND DEVELOPMENT SERVICES OF MICHIGAN INC.
- EASEMENTS FOR ALL UTILITIES WILL BE PROVIDED AS REQUIRED.
- ALL SITE CONDOMINIUM SIGNS REQUIRE PERMITS. ALL SIGNS MUST MEET THE REQUIREMENTS OF SECTION 138-8.603 AND CHAPTER 134 OF THE CITY CODE OF ORDINANCES AND BE APPROVED UNDER A SEPARATE PERMIT ISSUED BY THE BUILDING DEPARTMENT.
- ALL PROPOSED GRADES WILL MATCH EXISTING ELEVATIONS AT THE PROPERTY LINE.
- SINGLE PHASE CONSTRUCTION.
- ALL WORK IN THE HAMLIN ROAD RIGHT-OF-WAY WILL REQUIRE A PERMIT FROM THE CITY OF ROCHESTER HILLS.
- STREET LIGHTING AND SIGNS, IF DESIRED, WILL BE DESIGNED TO CITY OF ROCHESTER HILLS STANDARDS.

SITE DATA:

EXISTING ZONING	R-3
SITE AREA	±3.73 Ac.
DENSITY (GROSS)	12
BRECKENRIDGE (Total Number of Units)	12
Total Density	3.22 Units/Ac.
SETBACKS (MIN.)	
Front Yard	20
Side Yard	15
Rear Yard	25
Between Buildings	20
CONSTRUCTION TYPE	V-B
SQUARE FOOTAGE OF LARGEST BUILDING	5,160 SF

FIRE FLOW DATA:

A FIRE FLOW DATA TEST HAS BEEN SCHEDULED WITH THE ENGINEERING DEPARTMENT. RESULTS WILL BE SUBMITTED TO THE FIRE DEPARTMENT WHEN RECEIVED.

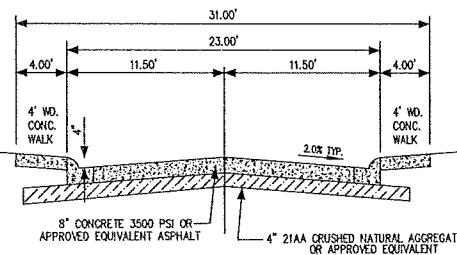
WETLAND IMPACT
9,761 S.F. (0.224 AC.)
NATURAL FEATURES SETBACK IMPACT: 812 L.F.

WETLAND NOTES:
WETLAND DELINEATION PROVIDED BY HOLLOWAY EPI ON 8-7-17, JOB 17-003

WETLAND FLAG LOCATION BY LAND DEVELOPMENT SYSTEMS OF MICHIGAN LLC.

NOTE:
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- PARKING IS ONLY PERMITTED ON (1) SIDE OF THE STREET. SIGNAGE SHALL BE PROVIDED TO CLEARLY DEPICT PARKING AREAS

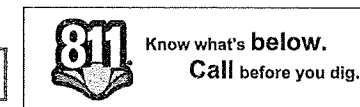
D'Anna Associates
Architecture | Engineering
1065 SOUTH BLVD., E. SUITE 200
ROCHESTER HILLS, MI 48307
P 248-852-7702 F 248-852-7707
dannaassoc.com

DESCRIPTION	PER CITY COMMENTS	PER CLIENT
DATE	04/03/2018	05/21/2018
REV. DATE		07/20/2018
DATE	04/03/2018	05/21/2018
DRAWN BY	S.V.	
CHECKED BY	S.D.	

"BRECKENRIDGE CONDOMINIUMS"
PART OF THE SW 1/4 OF SECTION 28, T. 3N., R. 11E.,
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN.

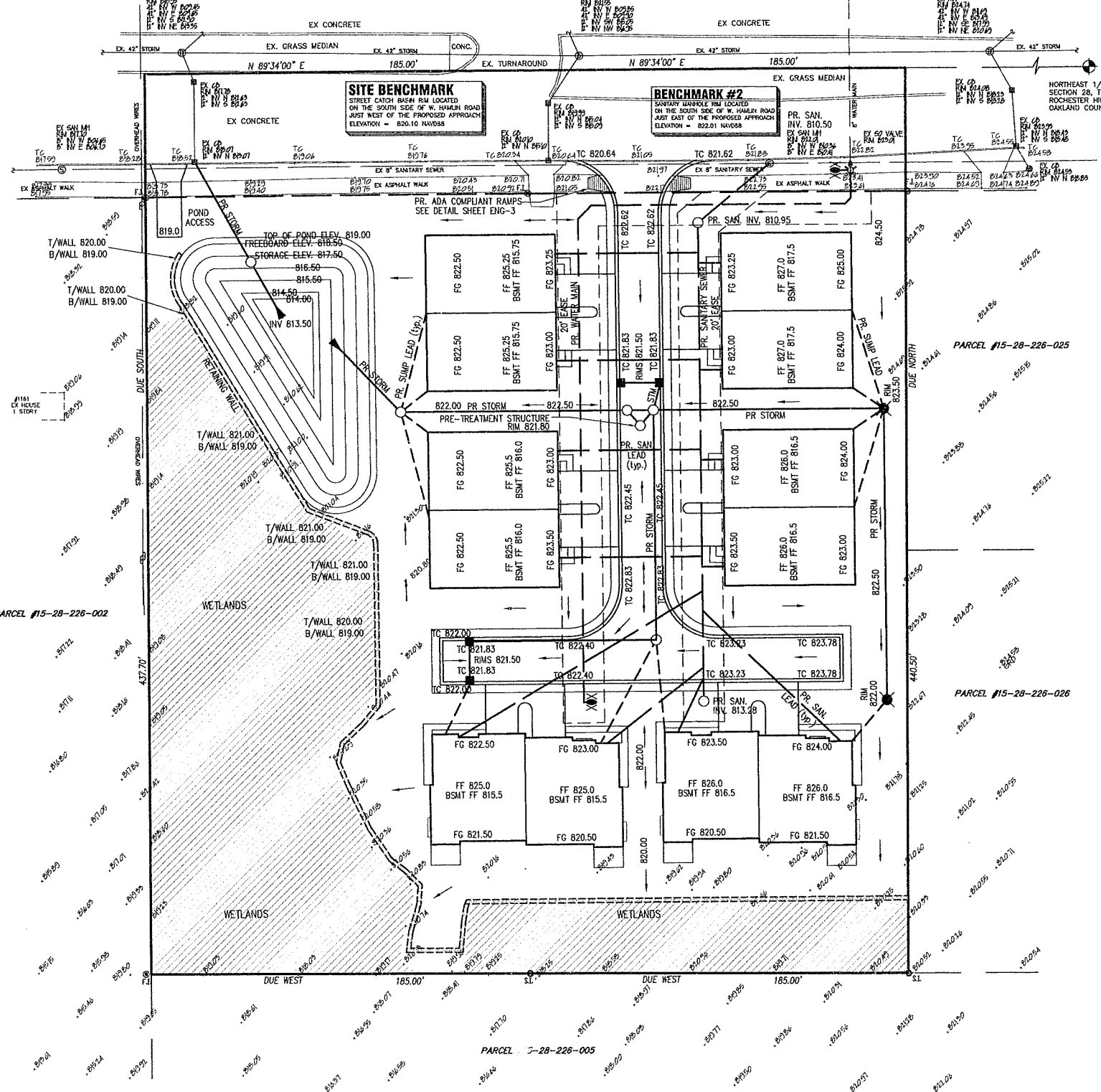
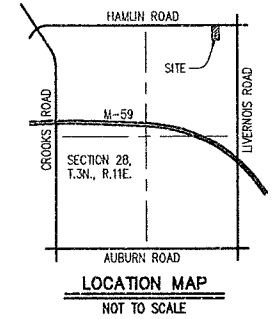
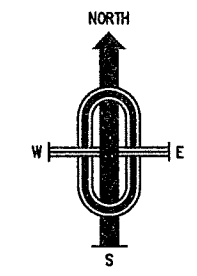
FINAL SITE PLAN

SCALE 1"=30'
CITY FILE # 18-008
ENG-1



NOTE:
NOT TO BE USED AS CONSTRUCTION DRAWINGS.

W. HAMLIN ROAD (120' R.O.W.)



DETECTION CALCULATIONS
 REQUIRED STORAGE PER O.C.D.C. STANDARDS: (25 YEAR STORM)
 DEVELOPED AREA: 2.25 Ac. AREA DRAINING INTO WETLANDS: 0.22 Ac (NOT INCLUDING IMPERMEABLE SURFACES)
 AREA FOR DETENTION: 2.25 - 0.22 = 2.03 Ac C = 0.57
 EQUIVALENT AREA: (2.03 Ac)(0.57) = 1.16 Ac.
 $Q_0 = (2.03 \text{ Ac})(0.20 \text{ CFS/Ac}) = 0.41 \text{ CFS}$
 $Q_0 = (0.41 \text{ CFS})(1.16 \text{ Ac}) = 0.35$
 $T = -25 + [8,062.50 / (0.35)^2]^{0.5} = 126.78 \text{ MIN}$
 $V_s = (12,900)(126.78 \text{ MIN}) - 40(0.35)(126.78 \text{ MIN}) = 9,001 \text{ CFS}$
 $V_t = (9,001 \text{ CFS})(1.16 \text{ Ac}) = 10,442 \text{ CF}$

WEIGHTED C FACTOR CALCULATION
 AREA FOR DETENTION: 2.03 ACRES
 AREA OF ROAD, WALK, BUILDING & DRIVEWAYS: 1.05 ACRES
 GRASS AREA / OPEN SPACE: 0.88 ACRES
 C BUILDING & PAVEMENT = 0.95
 C GREEN AREAS = 0.15
 $[(1.05 \times 0.95) + (0.88 \times 0.15)] / 2.03 = 0.564$
 USE C FACTOR 0.57

ACTUAL POND VOLUME:
 $VOLUME = H_s/3(A_1 + A_2 + A_3) + (A_3 \times H_s) \times 0.5$
 AT = AREA OF TOP SURFACE
 A3 = AREA OF BOTTOM SURFACE
 H = HEIGHT

ELEVATION AREA	VOLUME
817.50	5,949
816.50	4,075
815.50	2,431
814.50	1,166
814.00	706
813.50	0
	10,539 CF

DETECTION BASIN STORAGE
 STORAGE ELEV 717.50 - 713.50
 STORAGE PROVIDED 10,539 CF
 STORAGE REQUIRED 10,442 CF

NOTE:
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DRIVEWAY SLOPES:
 ALL DRIVEWAY SLOPES SHALL MEET THE FOLLOWING REQUIREMENTS:
 APPROACH & DRIVEWAY: 2% MIN. - 10% MAX.
 SIDEWALK CROSS-SLOPE: 1% MIN. - 2% MAX.

BUILDING PERMIT APPLICATION:
 INDIVIDUAL RESIDENCE PLOT PLANS FOR CODE COMPLIANT SITE DRAINAGE WILL BE SUBMITTED AT THE TIME OF INDIVIDUAL BUILDING PERMIT APPLICATIONS

GRADING:
 THE SITE WILL BE GRADED TO FALL AWAY FROM FOUNDATION WALLS A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET

INFILTRATION AND RECHARGE NOTE:
 STORM DRAINAGE INFILTRATION/RECHARGE WILL BE INCORPORATED BY PROVIDING BOTTOMLESS CATCH BASINS, PERFORATED STORM SEWER AND BOTTOMLESS UNDERGROUND DETENTION. CALCULATIONS, DESIGN AND SPECIFICATIONS FROM THE MATERIAL SUPPLIER WILL BE PROVIDED DURING THE ENGINEERING SUBMITTAL.

***RETAINING WALL:**
 TOP OF RETAINING WALL: 720.00-721.00
 BOTTOM OF RETAINING WALL: 719.00
 RETAINING WALL HEIGHT MAXIMUM: 2.0'

NOTE:
 ALL RETAINING WALLS TO BE BUILT BY DEVELOPER

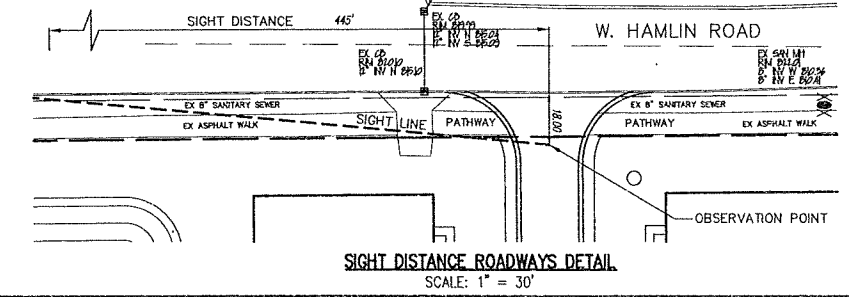
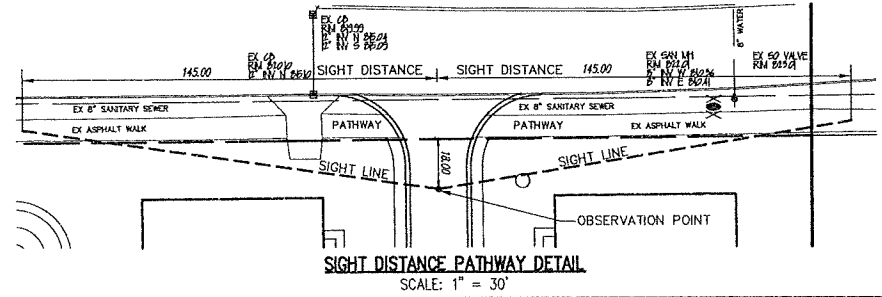
NOTE:
 ALL DRAINAGE WILL REMAIN ON THE SITE. INTERIOR GRADING WILL MATCH EXISTING GRADING ALONG ADJACENT PROPERTIES.

SANITARY SEWER DESIGN:
 POPULATION:
 12 UNITS x 3.5 PEOPLE/UNIT = 42 PEOPLE
 AVERAGE FLOW:
 $100 \times 42 / 24 / 3600 / 7.48 = 0.0065 \text{ cfs}$
 PEAK FLOW:
 $4 \times 0.0065 = 0.0260 \text{ cfs}$
 8" SANITARY SEWER AT 0.50% = 0.85 cfs

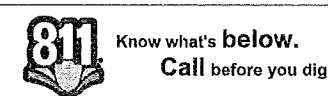
NOTE:
 THERE IS NO FLOOD PLAN ON THIS SITE BASED ON F.E.M.A. MAP NUMBER 26125C0394F.

LEGEND

△	CONTROL POINT
⊗	FIRE HYDRANT
⊙	GATE VALVE
○	MANHOLE - STM OR SAN AS INDICATED
■	PAVEMENT CATCH BASIN
⊗	REAR YARD CATCH BASIN
⊙	UTILITY POLE
⋈	GUY POLE
⊕	SIGN
⊞	MAIL BOX
---	STORM SEWER
---	SANITARY SEWER
---	WATERMAIN
---	PROPOSED ELEVATION
---	EXISTING ELEVATION



NOTE:
 NOT TO BE USED AS CONSTRUCTION DRAWINGS.



D'Anna Associates
 Architecture | Engineering
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 ROCHESTER HILLS, MI 48077
 P: 248-852-7702 F: 248-852-7707
 dannaassoc.com

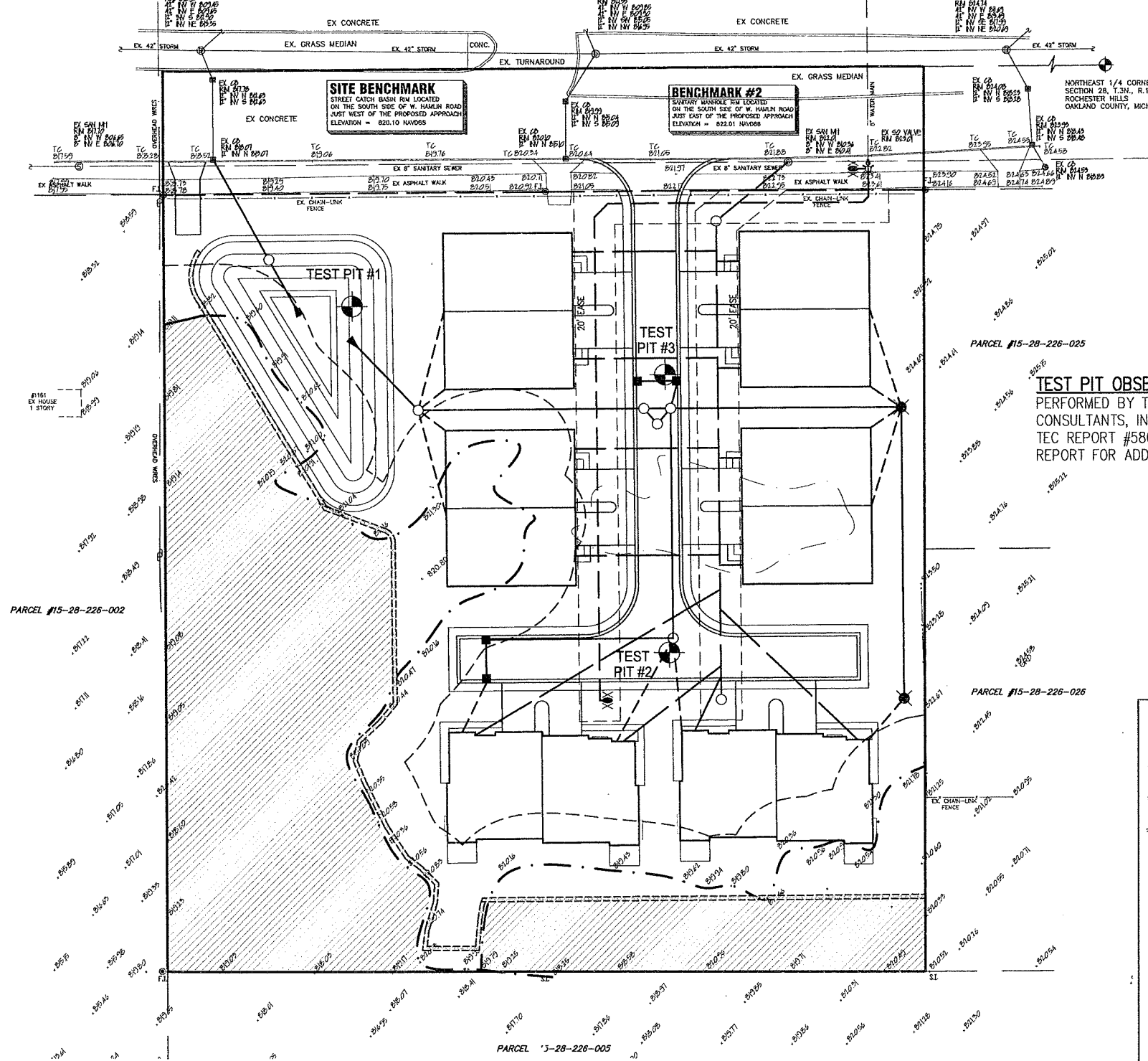
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"BRECKENRIDGE CONDOMINIUMS"
 PART OF THE SW 1/4 OF SECTION 28, T. 3N., R. 11E.,
 CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN.

UTILITY LAYOUT AND GRADING PLAN

SCALE: 1" = 30'
 CITY FILE # 18-008
ENG-2

W. HAMLIN ROAD (120' R.O.W.)



TEST PIT OBSERVATIONS:
 PERFORMED BY TESTING ENGINEERS & CONSULTANTS, INC. ON JANUARY 17, 2018.
 TEC REPORT #58609. REFER TO COMPLETE REPORT FOR ADDITIONAL INFORMATION

Testing Engineers & Consultants, Inc.

REV	DATE	DESCRIPTION
1	01/17/18	ISSUED FOR PERMIT
2	01/17/18	ISSUED FOR PERMIT
3	01/17/18	ISSUED FOR PERMIT
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5	01/17/18	ISSUED FOR PERMIT
6	01/17/18	ISSUED FOR PERMIT
7	01/17/18	ISSUED FOR PERMIT
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9	01/17/18	ISSUED FOR PERMIT
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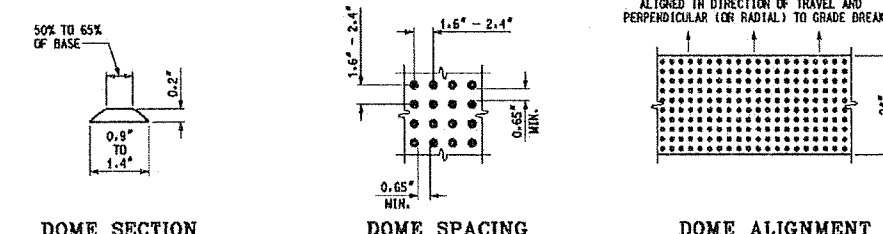
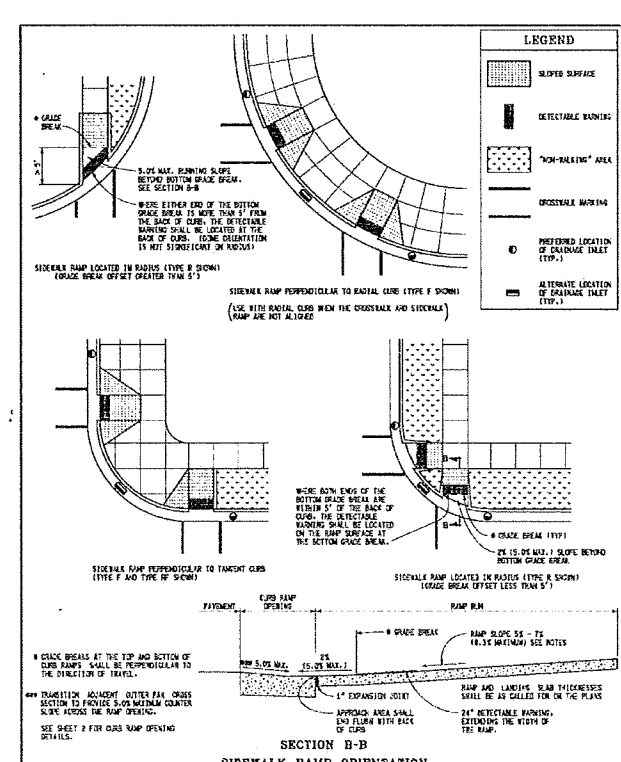
Testing Engineers and Consultants, Inc.

MECHANICAL ANALYSIS TEST REPORT

PROJECT: BRECKENRIDGE CONDOMINIUMS
 LOCATION: PART OF THE SW 1/4 OF SECTION 28, T. 3N., R. 11E., CITY OF ROCHESTER HILLS, MICHIGAN
 CLIENT: UNIVERSAL BUILDING COMPANY

DATE: Friday, January 19, 2018

TEST NO.	TEST TYPE	TEST RESULT	TESTER
1
2
3
4
5
6
7
8
9
10



DETECTABLE WARNING DETAILS

MICHIGAN DEPARTMENT OF TRANSPORTATION
 GUIDE OF DEVELOPMENT STANDARD PLAN FOR
**SIDEWALK RAMP AND
 DETECTABLE WARNING DETAILS**

TABLE NUMBER: 12-11-021
 PLAN SHEET: R-28-J
 SHEET: 6 OF 1

Testing Engineers and Consultants, Inc.

MECHANICAL ANALYSIS TEST REPORT

PROJECT: BRECKENRIDGE CONDOMINIUMS
 LOCATION: PART OF THE SW 1/4 OF SECTION 28, T. 3N., R. 11E., CITY OF ROCHESTER HILLS, MICHIGAN
 CLIENT: UNIVERSAL BUILDING COMPANY

DATE: Friday, January 19, 2018

TEST NO.	TEST TYPE	TEST RESULT	TESTER
1
2
3
4
5
6
7
8
9
10

"BRECKENRIDGE CONDOMINIUMS"
 PART OF THE SW 1/4 OF SECTION 28, T. 3N., R. 11E.,
 CITY OF ROCHESTER HILLS, OKLAND COUNTY, MICHIGAN

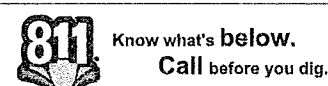
SOIL BORING AND DETAILS

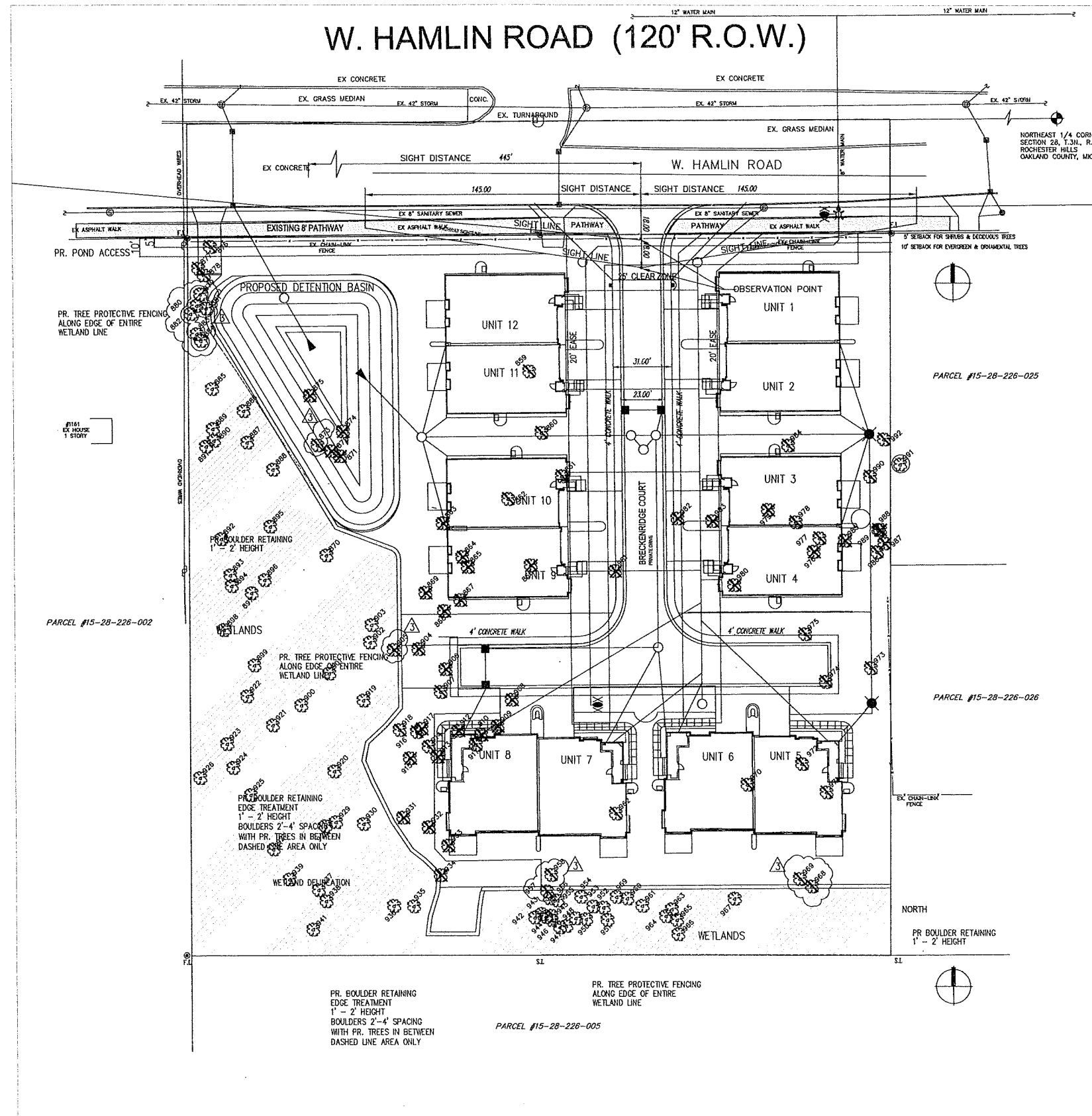
D'Anna Associates
 Architecture | Engineering
 1055 SOUTH BLVD., E. SUITE 200
 ROCHESTER HILLS, MI 48070
 P 248-852-7702 F 248-852-7707
 dannaassoc.com

REV. DATE	DESCRIPTION
05/21/2018 <td>PER CITY COMMENTS</td>	PER CITY COMMENTS
07/20/2018 <td>PER CLIENT</td>	PER CLIENT

DATE: 04/03/2018
 DRAWN BY: S.V.
 CHECKED BY: S.D.

SCALE: 1"=30'
 CITY FILE #: 18-008
ENG-3





TREE SURVEY LEGEND

- PRESERVED REGULATED TREES
- REMOVED - REGULATED & REPLACED
- DEAD, ASH TREES, & DISEASED AMERICAN ELM - EXEMPT + REMOVED
- TREE PROTECTION FENCING

TREE ANALYSIS:

TOTAL # OF TAGGED TREES	=134
# OFF SITE TAGGED TREES (PRESERVED)	1
# DEAD TREES (NON-REGULATED)	6
# ASH TREES (NON-REGULATED)	= 50
# OF REGULATED TREES	77
# OF TREES PRESERVED (MINIMUM 37% REQUIRED)	31
TOTAL # OF REGULATED TREES REMOVED	=31
TOTAL # OF REGULATED TREES PRESERVED	=46
TOTAL % TREES PRESERVED	=59.7%
TOTAL # OF REPLACEMENT CREDITS REQUIRED	= 31
TOTAL # OF REPLACEMENT CREDITS PROVIDED	= 36

REFER TO SHEET LA 1.0 FOR THE BREAKDOWN OF PLANT SIZES, REPLACEMENT CREDITS AND LOCATION

NOTE: TREE PROTECTION FENCING IS REQUIRED REFER TO NOTES AND DETAIL 1 SHEET LA-2.0

BRECKENRIDGE CONDOMINIUMS
 ROCHESTER HILLS, MI
 PARCEL #15-28-226-023 & 024
 N-01-28

CLIENT:
HAMLIV, LLC
 JIM POLYZOIS
 14955 Technology Dr.,
 Shelby Twp., MI 48315
 Phone: 586-421-5729
 FAX: 586-421-5742

Client's Revisions: 7/20/2018
 No changes
 Submittal: Revisions 6/1/2018
 Submittal: PRELIM DESIGN 4/9/2018
 Date: 4/9/2018

NÚÑEZ DESIGN
 LANDSCAPE ARCHITECTURE • URBAN DESIGN
 249 Park Street
 Troy, Michigan 48063
 P. 248.397.8540
 nunezdesigninc@gmail.com

Designed / Drawn RN
 Checked / Approved RN
 Job # N-01-28

SCALE: 1"=30'-0"



PROJECT FILE: N-01-28 BRECKENRIDGE LA SITE BASE 7-18-2018.dwg

Tree Inventory
 Parcel #s 15-28-226-023 & 024
 S. off Hamlin Rd, W. of Livernois Rd
 City of Rochester Hills, Michigan
 July 18, 2017

By: Mike's Tree Surgeons, Inc.
 John P. Moses
 Registered Forester - Michigan
 ID # 3301045988

EX Tree recommended for replacement exemption per Ordinance section 126-267(5) - Health
 EX - EAB Tree is showing outward symptoms of Emerald Ash Borer activity (*Aglyptus planipennis*)
 * Health determined using International Society of Arboriculture guidelines (8th Edition)
 - Crown spread is visually estimated at plus or minus five (5) feet in diameter

Tree Tag #	D.B.H. (Inches)	Species Name (Common - Scientific)	Health Condition*	Crown Spread*	Notes	Removed/Preserved	Replaced
859	16	Cottonwood - <i>Populus deltoides</i>	Good	20		Removed	R
860	14	Cottonwood - <i>Populus deltoides</i>	Fair	20		Removed	R
861	13,12,12	Cottonwood - <i>Populus deltoides</i>	Good	20		Removed	R
862	7	Crabapple - <i>Malus spp.</i>	Good	15		Removed	R
863	6	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Removed	
864	6	White Ash - <i>Fraxinus americana</i>	Poor	15	EX - EAB	Removed	
865	8	White Ash - <i>Fraxinus americana</i>	Poor	15	EX - EAB	Removed	
866	7	White Ash - <i>Fraxinus americana</i>	Poor	15	EX - EAB	Removed	
867	6	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Removed	
868	10	White Ash - <i>Fraxinus americana</i>	Poor	20	EX - EAB	Removed	
869	11	White Ash - <i>Fraxinus americana</i>	Fair	20	EX - EAB	Removed	
870	6	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Preserved	
871	7	White Ash - <i>Fraxinus americana</i>	Poor	15	EX - EAB	Removed	
872	9	White Ash - <i>Fraxinus americana</i>	Very Poor	15	EX - EAB	Removed	
873	8	White Mulberry - <i>Morus alba</i>	Poor	20		Removed	R
874	6,6	White Ash - <i>Fraxinus americana</i>	Poor	15	EX - EAB	Removed	
875	7	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Removed	
876	12	White Poplar - <i>Populus alba</i>	Poor	20		Removed	R
877	7	White Poplar - <i>Populus alba</i>	Very Poor	20		Removed	R
878	7	White Poplar - <i>Populus alba</i>	Very Poor	20		Removed	R
879	17	White Poplar - <i>Populus alba</i>	Fair	25	Preserved		
880	9	White Poplar - <i>Populus alba</i>	Poor	15	Preserved		
881	7	White Poplar - <i>Populus alba</i>	Very Poor	15	Preserved		
882	8	White Poplar - <i>Populus alba</i>	Very Poor	15	Preserved		
883	14,13	White Poplar - <i>Populus alba</i>	Fair	25	Preserved		
884	10	Boxelder - <i>Acer negundo</i>	Poor	20	Preserved		
885	8	Cottonwood - <i>Populus deltoides</i>	Good	15	Preserved		
886	6	White Ash - <i>Fraxinus americana</i>	Very Poor	15	EX - EAB	Preserved	
887	9	Boxelder - <i>Acer negundo</i>	Fair	20	Preserved		
888	9	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Preserved	
889	10	Cottonwood - <i>Populus deltoides</i>	Fair	20	Preserved		
890	7	Crabapple - <i>Malus spp.</i>	Poor	15	Preserved		
891	16	Cottonwood - <i>Populus deltoides</i>	Good	25	Preserved		
892	14,7	Boxelder - <i>Acer negundo</i>	Fair	30	Preserved		
893	9	Boxelder - <i>Acer negundo</i>	Poor	25	Preserved		
894	7	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Preserved	
895	7	White Ash - <i>Fraxinus americana</i>	Dead	10	EX	Preserved	
896	6	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Preserved	
897	9	Boxelder - <i>Acer negundo</i>	Poor	20	Preserved		
898	7	White Ash - <i>Fraxinus americana</i>	Poor	15	EX - EAB	Preserved	
899	6	White Ash - <i>Fraxinus americana</i>	Dead	10	EX	Preserved	
900	8	White Ash - <i>Fraxinus americana</i>	Fair	20	EX - EAB	Preserved	
901	8	Boxelder - <i>Acer negundo</i>	Very Poor	20	Preserved		
902	6	White Ash - <i>Fraxinus americana</i>	Poor	15	EX - EAB	Preserved	
903	6	White Ash - <i>Fraxinus americana</i>	Very Poor	10	EX - EAB	Preserved	
904	7	White Ash - <i>Fraxinus americana</i>	Very Poor	15	EX - EAB	Removed	
905	7	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Removed	
906	6	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Removed	
907	10	Boxelder - <i>Acer negundo</i>	Fair	20	Removed		R
908	6	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Removed	
909	11	American Elm - <i>Ulmus americana</i>	Dead	20	EX	Removed	
910	6	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Removed	
911	9	Siberian Elm - <i>Ulmus pumila</i>	Fair	15	Removed		R
912	6	White Ash - <i>Fraxinus americana</i>	Poor	15	EX - EAB	Removed	
913	12	White Ash - <i>Fraxinus americana</i>	Very Poor	20	EX - EAB	Removed	
914	11	Siberian Elm - <i>Ulmus pumila</i>	Fair	20	Removed		R
915	10	White Ash - <i>Fraxinus americana</i>	Poor	20	EX - EAB	Removed	
916	9	Boxelder - <i>Acer negundo</i>	Poor	20	Removed		R
917	7	White Ash - <i>Fraxinus americana</i>	Very Poor	15	EX - EAB	Removed	
918	6	Crabapple - <i>Malus spp.</i>	Fair	15	Removed		R

919	6	White Ash - <i>Fraxinus americana</i>	Poor	15	EX - EAB	Preserved	
920	10	Black Maple - <i>Acer nigrum</i>	Good	25	Preserved		
921	6	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Preserved	
922	7	Boxelder - <i>Acer negundo</i>	Poor	15	Preserved		
923	9	Boxelder - <i>Acer negundo</i>	Fair	20	Preserved		
924	9	Boxelder - <i>Acer negundo</i>	Poor	20	Preserved		
925	7	White Ash - <i>Fraxinus americana</i>	Poor	15	EX - EAB	Preserved	
926	6	White Ash - <i>Fraxinus americana</i>	Very Poor	10	EX - EAB	Preserved	
927	13	Boxelder - <i>Acer negundo</i>	Good	25	Preserved		
928	10	Boxelder - <i>Acer negundo</i>	Fair	25	Preserved		
929	7	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Preserved	
930	7	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Preserved	
931	7	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Removed	
932	8	White Ash - <i>Fraxinus americana</i>	Very Poor	15	EX - EAB	Removed	
933	6	White Ash - <i>Fraxinus americana</i>	Very Poor	15	EX - EAB	Removed	
934	7	White Ash - <i>Fraxinus americana</i>	Very Poor	15	EX - EAB	Removed	
935	8	White Ash - <i>Fraxinus americana</i>	Very Poor	15	EX - EAB	Preserved	
936	7	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Preserved	
937	8	Boxelder - <i>Acer negundo</i>	Fair	15	Preserved		
938	6	White Ash - <i>Fraxinus americana</i>	Dead	10	EX	Preserved	
939	10	Boxelder - <i>Acer negundo</i>	Good	25	Preserved		
940	15	Boxelder - <i>Acer negundo</i>	Good	30	Preserved		
941	6	White Ash - <i>Fraxinus americana</i>	Poor	15	EX - EAB	Preserved	
942	9,6	Cottonwood - <i>Populus deltoides</i>	Poor	20	Preserved		
943	10	Cottonwood - <i>Populus deltoides</i>	Very Poor	20	Preserved		
944	8	Black Willow - <i>Salix nigra</i>	Very Poor	20	Preserved		
945	6	Cottonwood - <i>Populus deltoides</i>	Poor	15	Preserved		
946	16,12,11,8	Cottonwood - <i>Populus deltoides</i>	Fair	35	Preserved		
947	6	Cottonwood - <i>Populus deltoides</i>	Very Poor	15	Preserved		
948	19	Cottonwood - <i>Populus deltoides</i>	Good	25	Preserved		
949	7	Cottonwood - <i>Populus deltoides</i>	Very Poor	10	Preserved		
950	13,9	Cottonwood - <i>Populus deltoides</i>	Poor	20	Preserved		
951	6	Cottonwood - <i>Populus deltoides</i>	Very Poor	10	Preserved		
952	11,7,6	Cottonwood - <i>Populus deltoides</i>	Fair	20	Preserved		
953	8	Cottonwood - <i>Populus deltoides</i>	Poor	15	Preserved		
954	8	Cottonwood - <i>Populus deltoides</i>	Very Poor	20	Preserved		
955	6	Cottonwood - <i>Populus deltoides</i>	Very Poor	10	Preserved		
956	6	Cottonwood - <i>Populus deltoides</i>	Very Poor	10	Preserved		
957	6	Cottonwood - <i>Populus deltoides</i>	Poor	15	Removed		R
958	16	Cottonwood - <i>Populus deltoides</i>	Good	30	Removed		R
959	9	Cottonwood - <i>Populus deltoides</i>	Very Poor	20	Preserved		
960	16	Cottonwood - <i>Populus deltoides</i>	Good	30	Preserved		
961	18	Cottonwood - <i>Populus deltoides</i>	Fair	30	Preserved		
962	6	Eastern Red Cedar - <i>Juniperus virginiana</i>	Good	10	Removed		R
963	14,10	Cottonwood - <i>Populus deltoides</i>	Fair	20	Preserved		
964	8	Black Willow - <i>Salix nigra</i>	Poor	10	Preserved		
965	16	Cottonwood - <i>Populus deltoides</i>	Fair	20	Preserved		
966	7	White Ash - <i>Fraxinus americana</i>	Very Poor	10	EX - EAB	Preserved	
967	12,11,11	Black Willow - <i>Salix nigra</i>	Good	30	Preserved		
968	14	Black Willow - <i>Salix nigra</i>	Poor	25	Removed		R
969	22	Cottonwood - <i>Populus deltoides</i>	Good	30	Removed		R
970	7	Boxelder - <i>Acer negundo</i>	Fair	15	Removed		R
971	7	Boxelder - <i>Acer negundo</i>	Good	15	Removed		R
972	6	Russian Olive - <i>Elaeagnus angustifolia</i>	Very Poor	15	Removed		R
973	6	Boxelder - <i>Acer negundo</i>	Fair	15	Removed		R
974	6	Boxelder - <i>Acer negundo</i>	Poor	15	Removed		R
975	10,7	Black Cherry - <i>Prunus serotina</i>	Very Poor	20	Removed		R
976	8	White Ash - <i>Fraxinus americana</i>	Poor	15	EX - EAB	Removed	
977	9	White Mulberry - <i>Morus alba</i>	Good	15	Removed		R
978	6	White Mulberry - <i>Morus alba</i>	Fair	15	Removed		R
979	6	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Removed	
980	7	White Ash - <i>Fraxinus americana</i>	Poor	15	EX - EAB	Removed	
981	7,7	White Ash - <i>Fraxinus americana</i>	Very Poor	15	EX - EAB	Removed	
982	8	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Removed	
983	6	White Ash - <i>Fraxinus americana</i>	Fair	15	EX - EAB	Removed	
984	7	Austrian Pine - <i>Pinus nigra</i>	Fair	15	Removed		R
985	7	White Ash - <i>Fraxinus americana</i>	Dead	15	EX	Removed	
986	9,6	White Mulberry - <i>Morus alba</i>	Fair	25	Removed		R
987	6,6	White Ash - <i>Fraxinus americana</i>	Very Poor	10	EX - EAB	Removed	
988	6	White Ash - <i>Fraxinus americana</i>	Dead	10	EX	Removed	
989	6	White Mulberry - <i>Morus alba</i>	Fair	15	Removed		R
990	6,6	Crabapple - <i>Malus spp.</i>	Fair	15	Removed		R
991	10	Boxelder - <i>Acer negundo</i>	Good	20	Offsite	Preserved	
992	7	Black Walnut - <i>Juglans nigra</i>	Good	15	Removed		R

Tree Inventory Summary
 Parcel #s 15-28-226-023 & 024
 S. off Hamlin Rd, W. of Livernois Rd
 City of Rochester Hills, Michigan
 July 18, 2017

Species	Good	Fair	Poor	Very Poor	Dead	Totals	%
American Elm	0	0	0	0	1	1	0.7%
Austrian Pine	0	1	0	0	0	1	0.7%
Black Cherry	0	0	0	1	0	1	0.7%
Black Maple	1	0	0	0	0	1	0.7%
Black Walnut	1	0	0	0	0	1	0.7%
Black Willow	1	0	2	1	0	4	3.0%
Boxelder	5	8	7	1	0	21	15.7%
Cottonwood	8	7	5	8	0	28	20.9%
Crabapple	1	2	1	0	0	4	3.0%
Eastern Red Cedar	1	0	0	0	0	1	0.7%
Russian Olive	0	0	0	1	0	1	0.7%
Siberian Elm	0	2	0	0	0	2	1.5%
White Ash	0	21	15	14	5	55	41.0%
White Mulberry	1	3	1	1	0	5	3.7%
White Poplar	0	2	2	4	0	8	6.0%
Totals	19	46	33	30	6	134	
%	14.2%	34.3%	24.6%	22.4%	4.5%		100.0%

TREE REPLACEMENT CREDITS

Tree Type and Size	Replacement Credits
2" Caliper Shade Tree	1 Credit (MINIMUM)
2.5" Caliper Shade Tree	1.5 Credits
3" Caliper Shade Tree	2 Credits
8' Evergreen Trees	1 Credit (MINIMUM)
9' Evergreen Trees	1.5 Credits
10' Evergreen Trees	2 Credits

TREE ANALYSIS:

TOTAL # OF TAGGED TREES	= 134
# OFF SITE TAGGED TREES (PRESERVED)	= 1
# DEAD TREES (NON-REGULATED)	= 6
# ASH TREES (NON-REGULATED)	= 50
# OF REGULATED TREES	= 77
# OF TREES PRESERVED (MINIMUM 37% REQUIRED)	= 31
TOTAL # OF REGULATED TREES REMOVED	= 31
TOTAL # OF REGULATED TREES PRESERVED	= 46
TOTAL % TREES PRESERVED	= 59.7%
TOTAL # OF REPLACEMENT CREDITS REQUIRED	= 31
TOTAL # OF REPLACEMENT CREDITS PROVIDED	= 36

REFER TO SHEET LA 1.0 FOR THE BREAKDOWN OF PLANT SIZES, REPLACEMENT CREDITS AND LOCATION

NOTE: TREE PROTECTION FENCING IS REQUIRED REFER TO NOTES AND DETAIL 1 SHEET LA-2.0

TREE REPLACEMENT CREDITS

TREE CREDITS REQUIRED = 31
 TREE CREDITS PROVIDED = 36

IF REQUIRED TREES CANNOT BE BE PLANTED DUE TO INFRASTRUCTURE CONFLICTS, A PAYMENT IN LIEU OF MAY BE MADE TO THE CITY'S TREE FUND AT A RATE OF \$216.75 PER TREE.

AN AUTOMATIC IRRIGATION SYSTEM IS INCLUDED FOR THE LANDSCAPE AREAS AS REQUIRED BY CITY OF ROCHESTER HILLS



BRECKENRIDGE CONDOMINIUMS
 ROCHESTER HILLS, MI
 PARCEL # 15-28-226-023 & 024
 N-01-28
 PROJECT FILE: N-01-28 BRECKENRIDGE LA SITE BASE 7-18-2016.dwg

CLIENT:
 HAMLIV, LLC
 JIM POLYZOIS
 14955 Technology Dr.,
 Shelby Twp., MI 48315
 Phone: 586-421-5729
 FAX: 586-421-5742

Client's Revisions: 7/20/2016
 Forestry: Revisions 6/11/2018
 Submittal: PRELIM DESIGN 4/9/2018
 Date: 4/9/2018

NUNEZ DESIGN
 LANDSCAPE ARCHITECTURE • DESIGN SERVICES
 249 Park Street
 Troy, Michigan 48063
 P: 248.397.8540
 nunezdesigninc@gmail.com

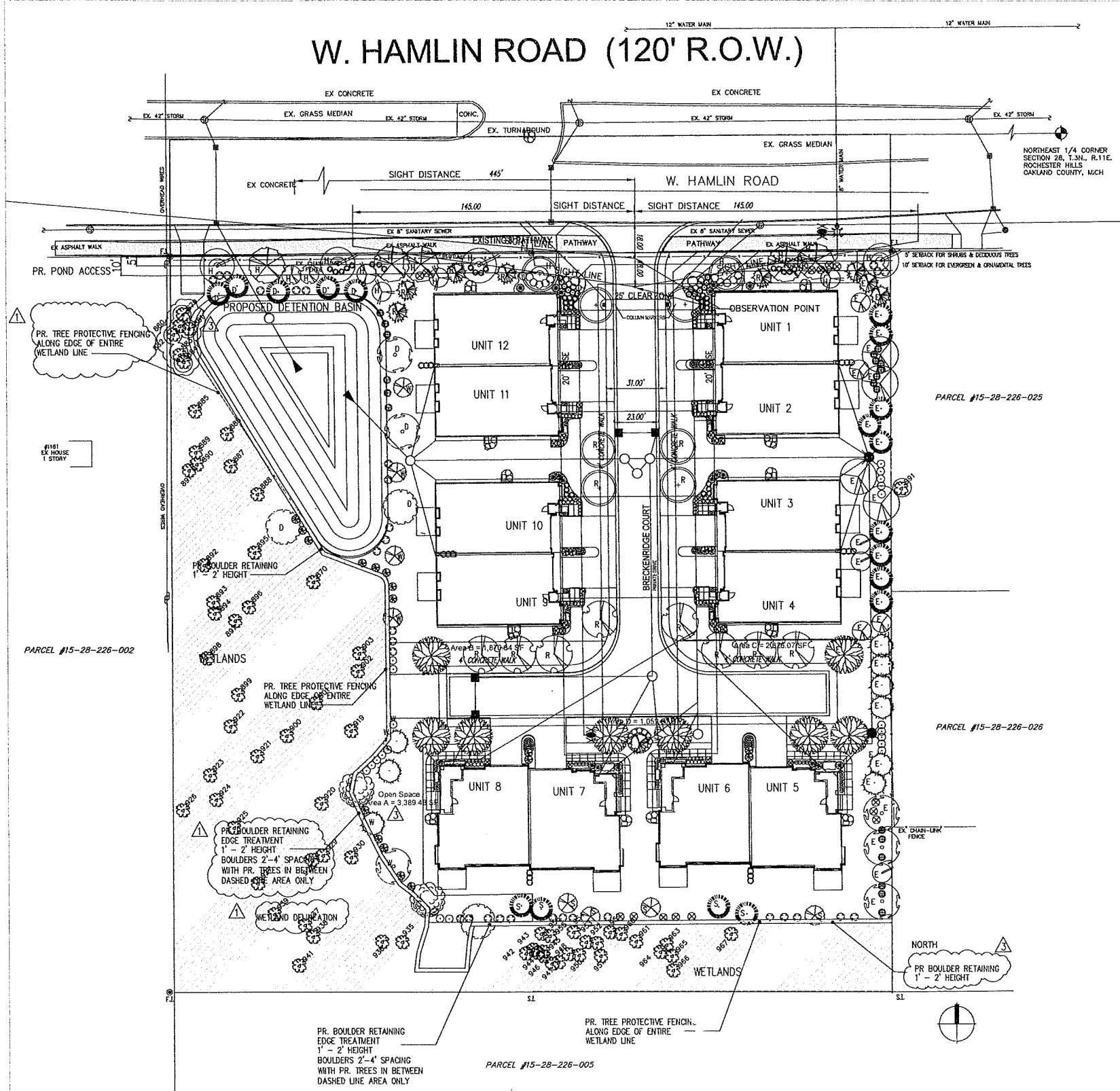
Designed / Drawn RN
 Checked / Approved RN
 Job # N-01-28

SCALE: 1" = 30' 0"

811
 Know what's below.
 Call before you dig.

SHEET:
 CITY FILE # 18-008

W. HAMLIN ROAD (120' R.O.W.)



LANDSCAPE BUFFER STANDARDS

HAMLIN ROAD - FRONTAGE
 NORTH PROPERTY BOUNDARY: TYPE 'C' BUFFER - 370 LF
 1 deciduous per 35 LF + 1 ornamental per 60 LF = 11 deciduous + 6 ornamental

REQUIRED	EXISTING	PROPOSED
Deciduous Shade Trees 370 x 35 = 11	11	11
Ornamental Trees 370 x 60 = 6	6	6
Shrubs	0	0

EAST PROPERTY BOUNDARY: TYPE 'C' BUFFER - 440 LF

REQUIRED	EXISTING	PROPOSED
Deciduous Shade Trees 4.4 x 2 = 8.8	9	9
Evergreen Trees 4.4 x 4 = 17.6	18	18
Ornamental Trees 4.4 x 1.5 = 6.6	7	7
Shrubs 4.4 x 6 = 26.4	27	27

SOUTH PROPERTY BOUNDARY: TYPE 'C' BUFFER - 370 LF

REQUIRED	EXISTING	PROPOSED
Deciduous Shade Trees 3.7 x 2 = 7.4	8	8
Evergreen Trees 3.7 x 4 = 14.8	15	15
Ornamental Trees 3.7 x 1.5 = 5.55	6	6
Shrubs 3.7 x 6 = 22.2	23	23

WEST PROPERTY BOUNDARY: TYPE 'C' BUFFER - 338 LF

REQUIRED	EXISTING	PROPOSED
Deciduous Shade Trees 3.38 x 2 = 6.76	7	7
Evergreen Trees 3.38 x 4 = 13.5	14	14
Ornamental Trees 3.38 x 1.5 = 5.07	6	6
Shrubs 3.38 x 6 = 20.28	21	21

STORMWATER DETENTION BUFFER: 484 LF

REQUIRED	EXISTING	PROPOSED
Deciduous Shade Trees 4.84 x 1.5 = 7.26	8	8
Evergreen Trees 4.84 x 1 = 4.84	5	5
Ornamental Trees NA	-	-
Shrubs 4.84 x 4 = 19.36	20	20

PLANT MATERIAL REQUIREMENTS:

- Deciduous Shade Trees: 3 CALIPER INCHES'
- Evergreen Trees: 10 FEET HEIGHT AND 5 FEET SPREAD
- Ornamental Trees: 2 CALIPER INCHES' OR 6 FEET OVERALL HEIGHT
- Shrubs: 30 INCHES IN HEIGHT, 24 INCHES IN SPREAD WHEN USED FOR SCREENING OR BUFFERING PURPOSES. 3 GALLON CONTAINED SIZE WHEN USED FOR OTHER PURPOSES
- Groundcovers: SHALL BE FROM FLATS

OPEN SPACE REQUIRED:

REQUIRED	PROVIDED
ACTIVE OPEN = 5% OF GROSS SITE AREA	9,146.20 SF
3.73 AC. = 16,247.8 S.F. X 5% = 8,123.94 SF	

Area A (3,389.48 SF) + Area B (1,870.84) + Area C (2,825.07 SF) + Area D (1,059.81 SF) = 9,145.20 SF Open space permits future access of roadway to the west without losing area designated for open space. Refer to plan for location.

TREE REPLACEMENT CREDITS QUALIFICATIONS

Tree Type and Size	Replacement Credits	Tree Type and Size	Replacement Credits
2" Caliper Shade Tree	= 1 Credit (MINIMUM)	8' Evergreen Trees	= 1 Credit (MINIMUM)
2.5" Caliper Shade Tree	= 1.5 Credits	9' Evergreen Trees	= 1.5 Credits
3" Caliper Shade Tree	= 2 Credits	10' Evergreen Trees	= 2 Credits

TREE CREDITS REQUIRED = 31

TREE CREDITS PROVIDED = 36

18 Trees Provided - (12 [3" cal. deciduous] + 6 [10' ht. evergreen])

18 Replacement Trees x 2 CREDITS = 36 Replacement Credits PROVIDED

Refer to Sheet T-1.0 for tree impacts

IF REQUIRED TREES CANNOT BE BE PLANTED DUE TO INFRASTRUCTURE CONFLICTS, A PAYMENT IN LIEU OF MAY BE MADE TO THE CITY'S TREE FUND AT A RATE OF \$216.75 PER TREE.



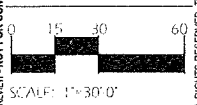
BRECKENRIDGE CONDOMINIUMS
 ROCHESTER HILLS, MI
 PARCEL #15-28-226-023 & 024
 N-01-28

CLIENT:
 HAMLIV, LLC
 JIM POLYZOIS
 14955 Technology Dr.,
 Shelby Twp., MI 48315
 Phone: 586-421-5729
 FAX: 586-421-5742

Client's Revisions	7/20/2018
Forestry	Revisions 8/1/2018
Submitter	Revisions 8/1/2018
Submitter	PRELIM DESIGN 4/2/2018
Date:	4/9/2018



Designed / Drawn: RN
 Checked / Approved: RN
 Job # 11-01-28



Know what's below. Call before you dig.
 811 logo
 SHEET CITY FILE # 18-008
 LA-1.0

TRAFFIC NOTES:

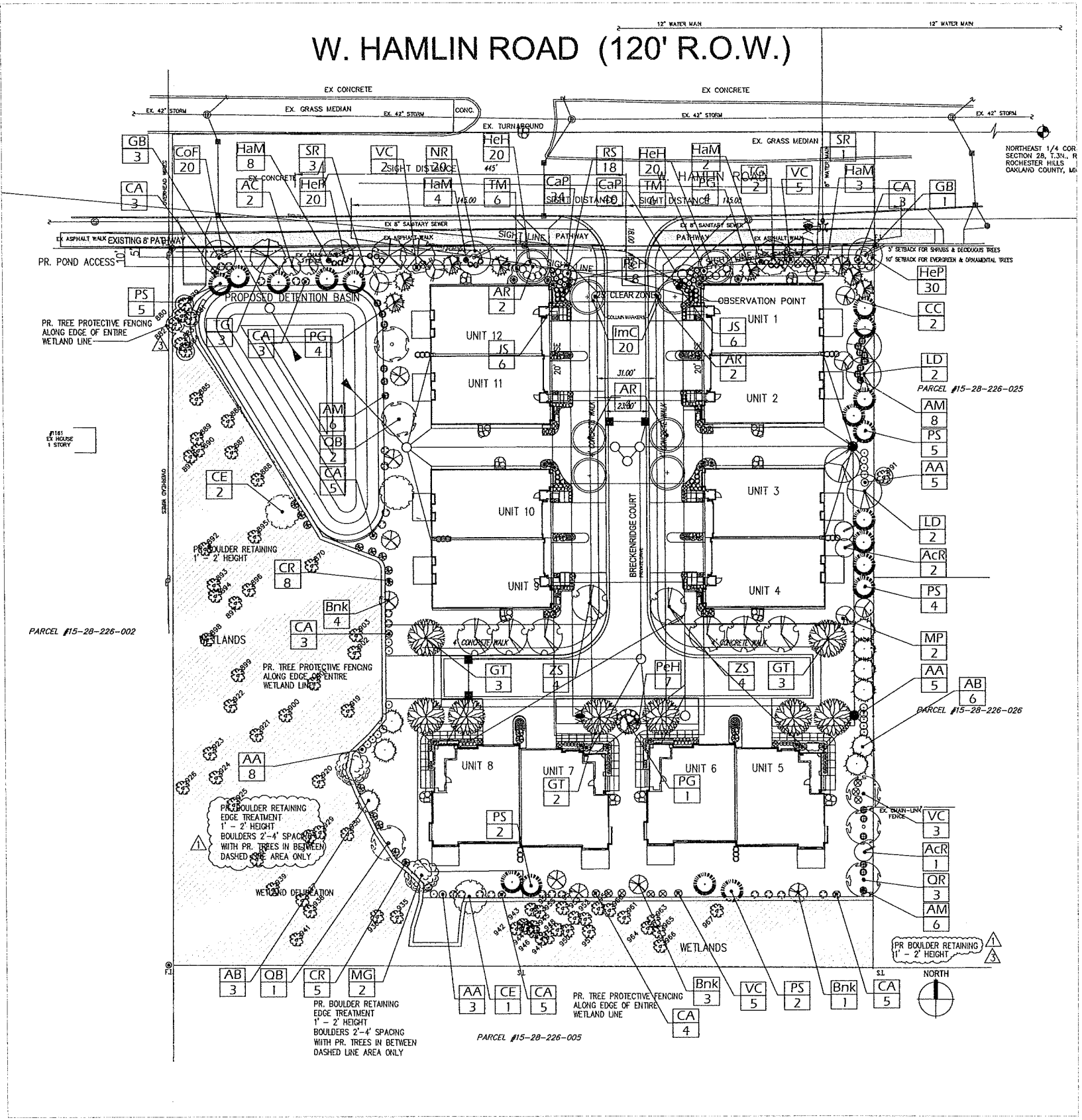
- BRECKENRIDGE DRIVE AND VAIL DRIVE IS BUILT AS A PRIVATE ROAD AND IF IT DOES NOT MEET PUBLIC ROAD STANDARDS THEN IT WILL NOT BE TRANSFERABLE TO THE CITY FOR MAINTENANCE / OWNERSHIP RESPONSIBILITIES.
- A CITY RIGHT OF WAY PERMIT IS REQUIRED FOR WORK WITHIN W. HAMLIN ROAD.
- CITY SHALL FURNISH AND PLACE ALL PERMANENT ROW STREET SIGNS WITH MONIES PAID BY DEVELOPER.

THE MATURE MAXIMUM HEIGHT FOR ALL GROUNDCOVERS AND PLANTINGS WITHIN THE 25' CLEARZONE IS 30" IN HEIGHT UNMAINTAINED.

CITY OF ROCHESTER HILLS MAINTENANCE NOTES 138-12.109

- LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE
- PRUNING SHALL BE MINIMAL AT TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE
- ALL DEAD, DAMAGED OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN (6) SIX MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICH EVER COMES FIRST. THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND FROM OCT 1 UNTIL THE PREPARED SOIL FREEZES THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE. THE CITY MAY NOTIFY PROPERTY OWNERS OF THE NEED TO REPLACE DEAD, DAMAGED, OR DISEASED MATERIAL.
- THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL. UNLESS OTHERWISE APPROVED, ANY REVISIONS OR REMOVAL OF PLANT MATERIALS, OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF SECTION 133-12.109 WILL PLACE THE PARCEL IN NON-COMPLIANCE WITH THE APPROVED LANDSCAPE PLAN AND BE A VIOLATION OF THE ORDINANCE
- IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH BY INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.

W. HAMLIN ROAD (120' R.O.W.)



THE MATURE MAXIMUM HEIGHT FOR ALL GROUNDCOVERS AND PLANTINGS WITHIN THE 25' CLEARZONE IS 30" IN HEIGHT UNMAINTAINED.

AN AUTOMATIC IRRIGATION SYSTEM IS INCLUDED FOR ALL LANDSCAPE AREAS AS REQUIRED BY CITY OF ROCHESTER HILLS

IRRIGATION OVERSPRAY SHALL NOT BROADCAST ONTO THE CITY PATHWAY

MATERIAL LIST:

QTY	KEY	BOTANICAL / COMMON NAME	SIZE	ROOT	UNIT COST	TOTAL / ITEM
8	AR	Acer rubrum 'Bowhall' / Bowhall Red Maple	3" cal	B&B	335.00	2,680.00
3	CE	Celtis occidentalis / Common Hackberry	3" cal	B&B	320.00	960.00
4	GB	Ginkgo biloba 'Lakeview' / Lakeview Maidenhair Tree	3" cal	B&B	365.00	1,460.00
8	GT	Gleditsia inacanthos inemis / Thornless Honeylocust	3" cal	B&B	320.00	2,560.00
4	LD	Liriodendron / Tulip Tree	3" cal	B&B	320.00	1,280.00
2	MG	Metasequoia Glyptostroboidea / Dawn Redwood	2" cal	B&B	335.00	670.00
3	QB	Quercus bicolor / Swamp White Oak	3" cal	B&B	335.00	1,005.00
3	QR	Quercus rubra / Red Oak	3" cal	B&B	335.00	1,005.00
5	TG	Tilia cordata 'Greenspire' / Greenspire Linden	3" cal	B&B	335.00	1,675.00
8	ZS	Zelkova serrata 'Musashino' / Musashino Japanese Zelkova	3" cal	B&B	335.00	2,680.00

QTY	KEY	BOTANICAL / COMMON NAME	SIZE	ROOT	UNIT COST	TOTAL / ITEM
9	AB	Abies concolor / Concolor White Fir	10' ht x 5' sp	B&B	335.00	3,015.00
9	PG	Picea glauca / White Spruce	10' ht x 5' sp	B&B	320.00	2,880.00
18	PS	Pinus strobus / White Pine	10' ht x 5' sp	B&B	315.00	5,670.00

QTY	KEY	BOTANICAL / COMMON NAME	SIZE	ROOT	UNIT COST	TOTAL / ITEM
2	AC	Amelanchier canadensis / Shadblow Serviceberry	2" cal or 6' ht	B&B	250.00	500.00
3	ACR	Amelanchier canadensis 'Refzam' / Reflection Shadblow Serviceberry	2" cal or 6' ht	B&B	250.00	750.00
8	Bnk	Betula nigra 'Little King' Fox Valley / Fox Valley River Birch	2" cal or 6' ht	B&B	265.00	2,120.00
2	CC	Cercis canadensis / Eastern Redbud	2" cal or 6' ht	B&B	265.00	530.00
12	JS	Juniperus scopulorum 'Blue Arrow' / Blue Arros Rocky Mountain Juniper	8' ht	B&B	300.00	3,600.00
2	MP	Malus 'Prairifire' / Prairifire Flowering Crabapple	2" cal or 6' ht	B&B	265.00	530.00
4	SR	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	2" cal or 6' ht	B&B	265.00	1,060.00

QTY	KEY	BOTANICAL / COMMON NAME	SIZE / SPACING	ROOT	UNIT COST	TOTAL / ITEM
21	AA	Aronia arbutifolia 'Brilliantissima' / Brilliant Red Chokeberry	30" ht, 24" sp	No. 3 Cont.	50.00	1,050.00
20	AM	Aronia melanocarpa 'Elate' / Glossy Black Chokeberry	30" ht, 24" sp	No. 3 Cont.	45.00	900.00
31	CA	Cornus alba 'Regnzam' Red Gnome / Red Gnome Siberian Dogwood	30" ht, 24" sp	No. 3 Cont.	45.00	1,395.00
13	CR	Cornus racemosa / Gray Dogwood	30" ht, 24" sp	No. 3 Cont.	45.00	585.00
12	TM	Taxus x media 'Densiformis' / Densiformis Anglojap Hybrid Yew	30" ht, 24" sp	No. 3 Cont.	50.00	600.00
15	VC	Viburnum carlesii / Koreanspice Viburnum	30" ht, 24" sp	No. 3 Cont.	50.00	750.00

QTY	KEY	BOTANICAL / COMMON NAME	SIZE / SPACING	ROOT	UNIT COST	TOTAL / ITEM
74	CaP	Carex pennsylvanica / Pennsylvania Sedge	1' o.c.	No.1	12.00	888.00
17	HaM	Hakonechloa macra / Japanese Forest Grass	1' o.c.	No.1	15.00	255.00
20	ImC	Imperata cylindrica 'Red Baron' / Japanese Blood Grass	1' o.c.	No.1	12.00	240.00
15	PeH	Pennisetum alopecuroides 'Hameln' / 'Hameln' Dwarf Fountain Grass	1' o.c.	No.2	15.00	225.00

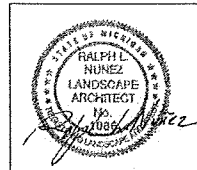
QTY	KEY	BOTANICAL / COMMON NAME	SIZE / SPACING	ROOT	UNIT COST	TOTAL / ITEM
20	CoF	Coreopsis 'Full Moon' / Full Moon Coreopsis	1' o.c.	No. 1	12.00	240.00
40	HeH	Hemerocallis 'Happy Returns' / 'Happy Returns' Daylily	1' o.c.	No. 1	12.00	480.00
50	HeP	Hemerocallis 'Pocgzam' Pocket Full of Gold / Pocket Full of Gold Daylily	1' o.c.	No. 1	12.00	600.00
20	NR	Nepeta x faassonii 'Walker's Low' / Walker's Low Cat Mint	1' o.c.	No. 1	12.00	240.00
18	RS	Rudbeckia speciosa 'Little Suzy' / 'Little Suzy' Dwarf Orange Coneflower	1' o.c.	No. 1	12.00	216.00

QTY (+/-)	UNIT	ITEM	UNIT COST	TOTAL / ITEM
31	CY	Plant Mix	TBD	775.00
55.5	CY	Shredded Hardwood Mulch Installed	TBD	2,497.50
	LBS	Terra-Sorb or Approved Equal (included in plant installation cost)		

QTY	UNIT	ITEM	UNIT COST	TOTAL / ITEM
35,058	SF	Seed or Sod (owner's option)	0.1	3,505.80
10,760	SF	Storm Water Seed Mix	0.25	2,690.00
Subtotal: Sheet LA-1.1				\$54,762.30

IRRIGATION	UNIT COST	TOTAL / ITEM
Refer to Sheet IR-1 for plan and material list prepared by SiteOne	LS	13,500.00

LANDSCAPE PROBABLE COST SUMMARY:		
LANDSCAPE MATERIAL PER SHEET LA-1.1		54,762.30
COST FOR 4 ASPEN UNITS. Refer to sheet LA-1.3		8,494.00
COST FOR 2 SPRUCE UNITS. Refer to sheet LA-1.4		6,292.00
IRRIGATION COST		13,500.00
TOTAL LANDSCAPE COST		\$83,048.30



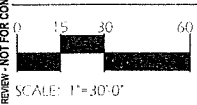
BRECKENRIDGE CONDOMINIUMS
 ROCHESTER HILLS, MI
 PARCEL #15-28-226-023 & 024
 N-01-28

CLIENT: HAMLIV, LLC
 JIM POLYZOIS
 14955 Technology Dr.,
 Shelby Twp., MI 48315
 Phone: 586-421-5729
 FAX: 586-421-5742

Client's Revisions: 7/20/2018
 Forestry: Revisions 8/1/2018
 Submittal: Revisions 8/1/2018
 Submittal: PRELIM DESIGN 4/6/2018
 Date: 4/9/2018

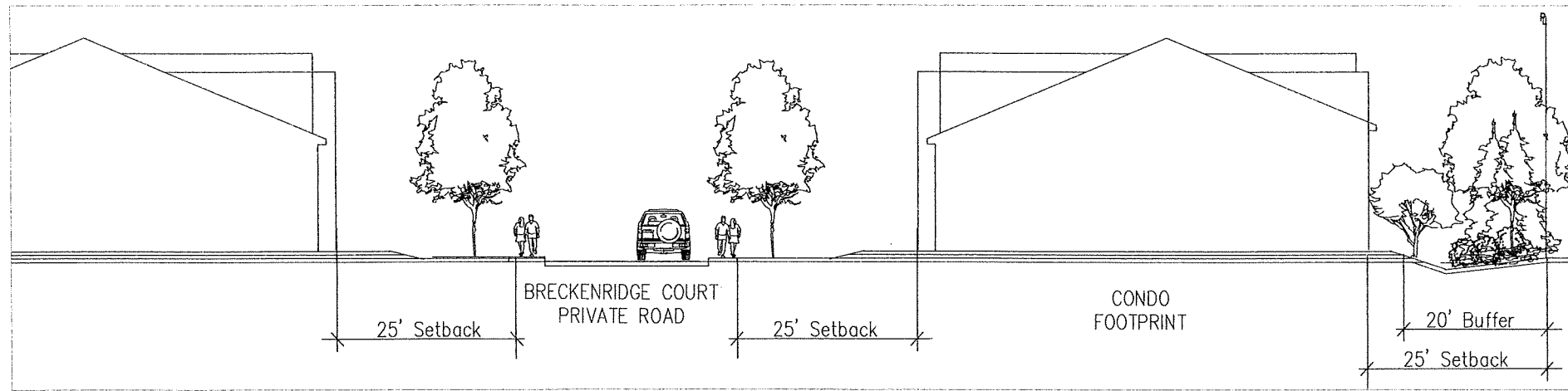


Designed / Drawn: RN
 Checked / Approved: RN
 Job #: N-01-28

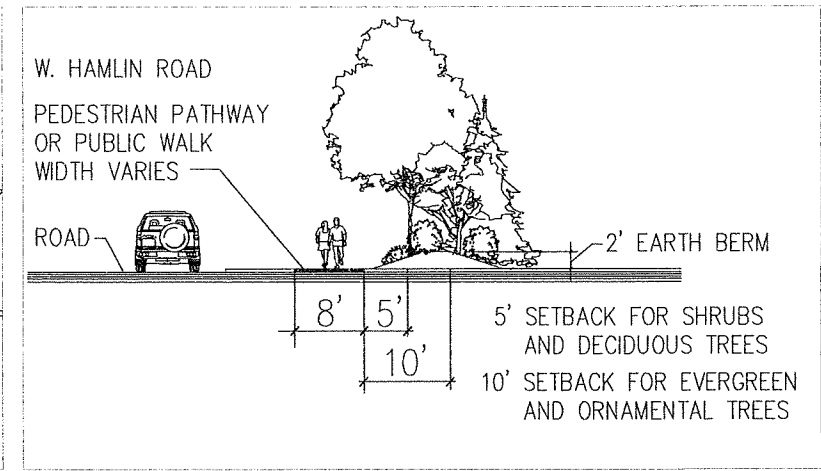


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 CITY FILE # 18-008

PROJECT FILE: N-01-28 BRECKENRIDGE LA SITE BASE 7-16-2018.dwg



3 EAST BUFFER "B" SECTION
LA-1.2 SCALE: 1" = 10'



4 W. HAMLIN ROAD LANDSCAPE FRONTAGE SECTION
LA-1.2 SCALE: 1" = 10'



BRECKENRIDGE CONDOMINIUMS
ROCHESTER HILLS, MI
PARCEL #15-28-226-023 & 024
N-01-28

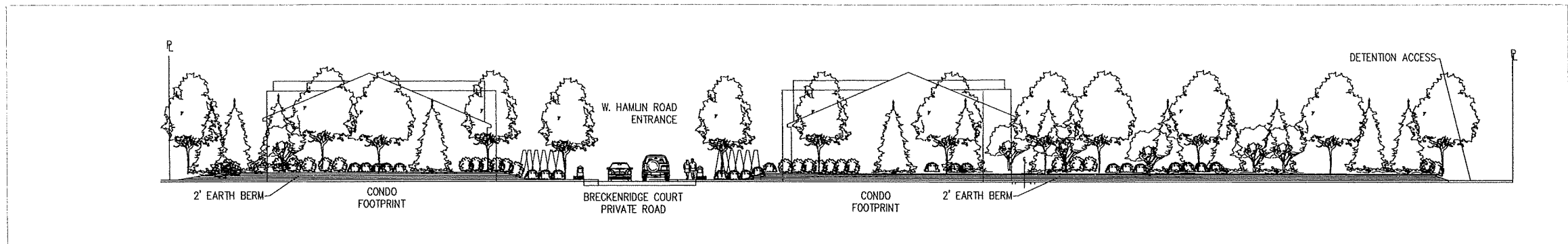
CLIENT:
HAMLIV, LLC
JIM POLYZOIS
14955 Technology Dr.,
Shelby Twp., MI 48315
Phone: 586-421-5729
FAX: 586-421-5742

NO.	DESCRIPTION	DATE
1	Client's Revisions	7/20/2018
2	Forestry	Revisions 6/11/2018
3	Submittal	Revisions 6/11/2018
4	Submittal	PRELIM DESIGN 4/9/2018
5	Date	4/9/2018

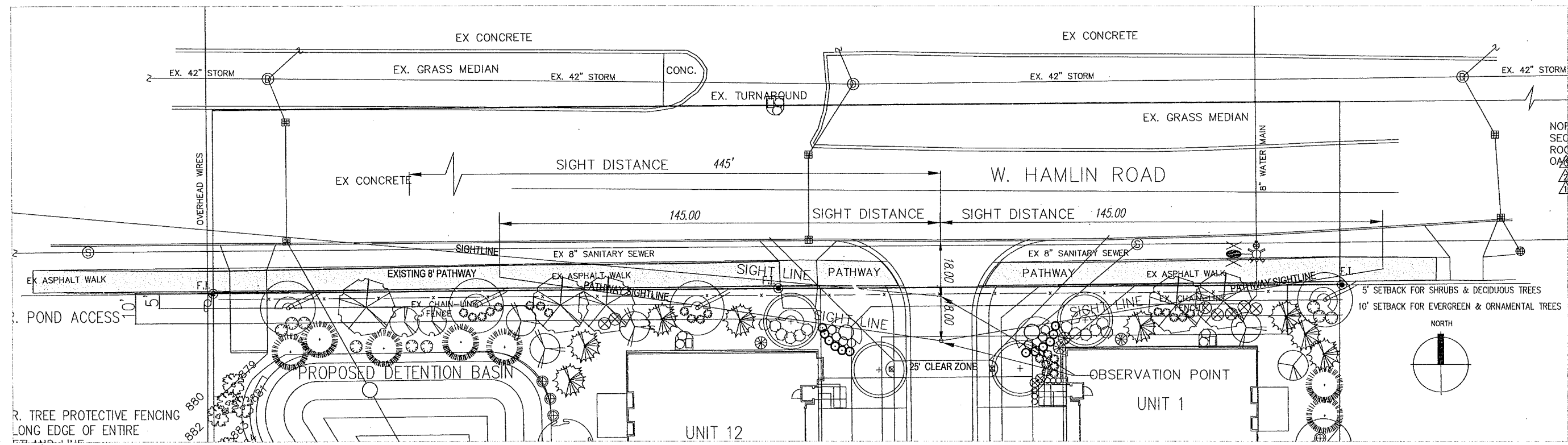
NÚÑEZ DESIGN
LANDSCAPE ARCHITECTURE • URBAN DESIGN
249 Park Street
Troy, Michigan 48063
P. 248.397.8540
nunezdesigninc@gmail.com

Designed / Drawn RN
Checked / Approved RN
Job # N-01-28

811
Know what's below.
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SHEET
CITY FILE # 18-008
LA-1.2

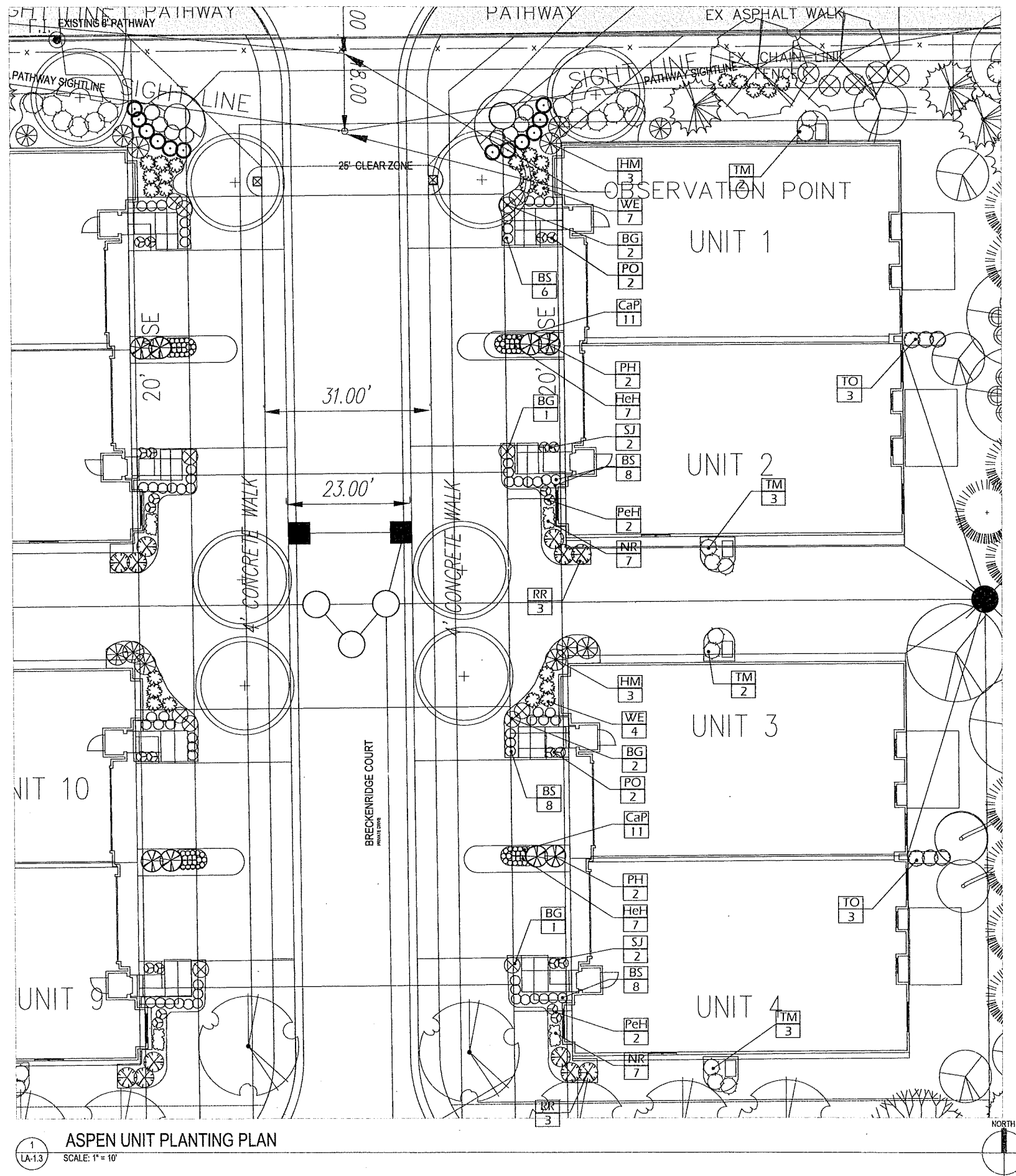


2 W. HAMLIN ROAD FRONTAGE ELEVATION - SOUTH VIEW
LA-1.2 SCALE: 1/8" = 1'-0"



1 W. HAMLIN ROAD PLAN - SIGHTLINES, CLEAR ZONE AND PLANTING SETBACKS
LA-1.2 SCALE: 1/8" = 1'-0"

PROJECT FILE: N-01-28 BRECKENRIDGE LA SITE BASE 7-18-2018.DWG



1 ASPEN UNIT PLANTING PLAN
LA-1.3 SCALE: 1" = 10'

MATERIAL LIST:

SHRUBS						
QTY	KEY	BOTANICAL / COMMON NAME	SIZE / SPACING	ROOT	UNIT COST	TOTAL / ITEM
12	BG	Buxus x 'Green Mountain' / Green Mountain Hybrid Boxwood	30" ht	24" BB	95.00	1,140.00
60	BS	Buxus sinica insularis 'Wintergreen' / Wintergreen Korean Boxwood	18" ht, 18" sp	18" BB	28.00	1,680.00
12	HM	Hydrangea m. 'Glowing Embers' / Glowing Embers Hydrangea	24" ht, 24" sp	No. 3 Cont.	50.00	600.00
8	PH	Physocarpus o. 'Donna May' Little Devil / Little Devil Common Ninebark	4' ht, 4' sp	No. 3 Cont.	27.00	216.00
8	PO	Potentilla f. 'Pink Beauty' / Pink Beauty Shrubby Cinquefoil	2' ht, 3' sp	No. 3 Cont.	17.50	140.00
6	RR	Rosa 'Radiko' The Double Knock Out / The Double Knock Out Rose	30" ht, 24" sp	No. 3 Cont.	50.00	300.00
4	SJ	Spiraea japonica 'Little Princess' / Little Princess Japanese Spiraea	18" ht, 18" sp	No. 3 Cont.	45.00	180.00
20	TM	Taxus x media 'Densiformis' / Densiformis Anglojap Hybrid Yew	30" ht, 24" sp	No. 3 Cont.	50.00	1,000.00
12	TO	Thuja occidentalis 'Emerald' / Emerald Arborvitae	6' ht	B&B	125.00	1,500.00
22	WE	Weigela f. 'Verweig' My Monet Weigela / My Monet Weigela	2' ht, 2' sp	No. 2 Cont.	19.00	418.00
GRASSES & SEDGES						
QTY	KEY	BOTANICAL / COMMON NAME	SIZE / SPACING	ROOT	UNIT COST	TOTAL / ITEM
44	CaP	Carex pennsylvanica / Pennsylvania Sedge	1' o.c.	No.1	12.00	528.00
8	PeH	Pennisetum alopecuroides 'Hamelin' / 'Hamelin' Dwarf Fountain Grass	1' o.c.	No.2	15.00	120.00
GROUNDCOVERS / PERENNIALS						
QTY	KEY	BOTANICAL / COMMON NAME	SIZE / SPACING	ROOT	UNIT COST	TOTAL / ITEM
28	HeH	Hemerocallis 'Happy Returns' / 'Happy Returns' Daylily	1' o.c.	No. 1	12.00	336.00
28	NR	Nepeta x faassenii 'Walker's Low' / Walker's Low Cat Mint	1' o.c.	No. 1	12.00	336.00
Subtotal: Sheet LA-1.3						\$8,494.00

THE ASPEN UNITS ON THE EASTERN PLANTING SCHEME (1, 2, 3 & 4) WILL BE MIRRORED FOR THE WEST UNITS (9, 10, 11 & 12). THE QUANTITIES IN THE PLANT LIST ACCOUNT FOR THE TOTAL NUMBER OF PLANTS.

THE MATURE MAXIMUM HEIGHT FOR ALL GROUNDCOVERS AND PLANTINGS WITHIN THE 25' CLEARZONE IS 30" IN HEIGHT UNMAINTAINED.

AN AUTOMATIC IRRIGATION SYSTEM IS INCLUDED FOR ALL LANDSCAPE AREAS AS REQUIRED BY CITY OF ROCHESTER HILLS.



BRECKENRIDGE CONDOMINIUMS
ROCHESTER HILLS, MI
PARCEL #15-28-226-023 & 024
N-01-28
PROJECT FILE: N-01-28 BRECKENRIDGE LA SITE BASE 7-18-2018.dwg

CLIENT:
HAMLIV, LLC
JIM POLYZOIS
14955 Technology Dr.,
Shelby Twp., MI 48315
Phone: 586-421-5729
FAX: 586-421-5742

Client's Revisions: 7/20/2018
Forestry: Revisions 6/11/2018
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Submittal: PRELIM DESIGN 4/9/2018
Date: 4/9/2018

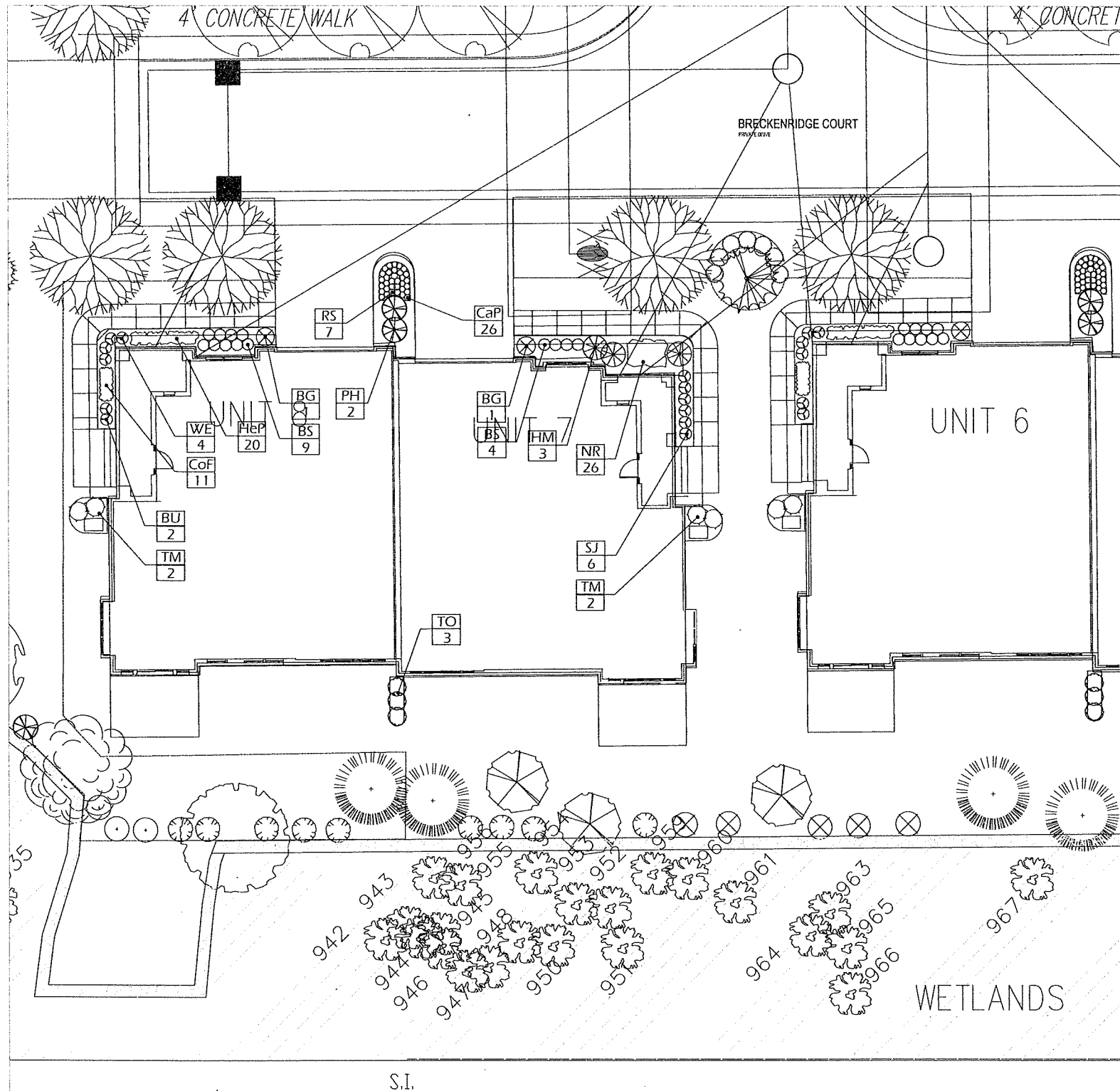
NÚÑEZ DESIGN
LANDSCAPE ARCHITECTURE + URBAN DESIGN
249 Park Street
Troy, Michigan 48063
P-248.397.8540
nunezdesigninc@gmail.com

Designed / Drawn: RN
Checked / Approved: RN
Job #: N-01-28

SCALE: 1" = 10'-0"



SHEET:
CITY FILE # 15-003
LA-1.3



1
LA-14
SPRUCE UNIT PLANTING PLAN
SCALE: 1" = 10'

MATERIAL LIST:

SHRUBS						
QTY	KEY	BOTANICAL / COMMON NAME	SIZE / SPACING	ROOT	UNIT COST	TOTAL / ITEM
4	BG	Buxus x 'Green Mountain' / Green Mountain Hybrid Boxwood	30" ht	24" BB	95.00	380.00
26	BS	Buxus sinica insularis 'Wintergreen' / Wintergreen Korean Boxwood	18" ht, 18" sp	18" BB	45.00	1,170.00
4	BU	Buddleia x Lo & Behold 'Pink Micro Chip' / Pink Micro Chip Hybrid Butterfly Bush	24" ht, 24" sp	No. 3 Cont.	45.00	180.00
6	HM	Hydrangea m. 'Glowing Embers' / Glowing Embers Hydrangea	24" ht, 24" sp	No. 3 Cont.	50.00	300.00
4	PH	Physocarpus o. 'Donna May' Little Devil / Little Devil Common Ninebark	4" ht, 4" sp	No. 3 Cont.	65.00	260.00
12	SJ	Spiraea japonica 'Little Princess' / Little Princess Japanese Spiraea	18" ht, 18" sp	No. 3 Cont.	45.00	540.00
8	TM	Taxus x media 'Densiformis' / Densiformis Anglojap Hybrid Yew	30" ht, 24" sp	No. 3 Cont.	50.00	400.00
6	TO	Thuja occidentalis 'Emerald' / Emerald Arborvitae	6" ht	B&B	125.00	750.00
8	WE	Weigela f. 'Verweig' My Monet Weigela / My Monet Weigela	2" ht, 2" sp	No. 2 Cont.	19.00	152.00
GRASSES & SEDGES						
QTY	KEY	BOTANICAL / COMMON NAME	SIZE / SPACING	ROOT	UNIT COST	TOTAL / ITEM
52	CaP	Carex pennsylvanica / Pennsylvania Sedge	1' o.c.	No.1	12.00	624.00
GROUNDCOVERS / PERENNIALS						
QTY	KEY	BOTANICAL / COMMON NAME	SIZE / SPACING	ROOT	UNIT COST	TOTAL / ITEM
22	CoF	Coreopsis 'Full Moon' / Fool Moon Coreopsis	1' o.c.	No. 1	12.00	264.00
40	HeP	Hemerocallis 'Pocozam' Pocket Full of Gold / Pocket Full of Gold Daylily	1' o.c.	No. 1	12.00	480.00
52	NR	Nepeta x faassenii 'Walker's Low' / Walker's Low Cat Mint	1' o.c.	No. 1	12.00	624.00
14	RS	Rudbeckia speciosa 'Little Suzy' / Little Suzy Dwarf Orange Coneflower	1' o.c.	No. 1	12.00	168.00
Subtotal: Sheet LA-1.4						\$6,292.00

THE SPRUCE UNITS ON THE WESTERN PLANTING SCHEME (7 & 8) WILL BE MIRRORED FOR THE EAST UNITS (5 & 6). THE QUANTITIES IN THE PLANT LIST ACCOUNT FOR THE TOTAL NUMBER OF PLANTS.

THE MATURE MAXIMUM HEIGHT FOR ALL GROUNDCOVERS AND PLANTINGS WITHIN THE 25' CLEARZONE IS 30" IN HEIGHT UNMAINTAINED.

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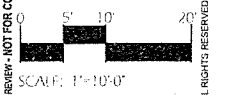
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SHEET
CITY FILE # 18-008

PROJECT FILE: N-01-28 BRECKENRIDGE LA SITE BASE 7-18-2018.dwg

GENERAL NOTES

CITY NOTES

- ALL PLANT MATERIAL SHALL MEET CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND APPROVED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC.
- ALL PLANT MATERIAL SHALL BE TRUE TO NAME IN CONFORMANCE TO THE CURRENT EDITION OF STANDARDIZED PLANT NAMES ESTABLISHED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE, OR OTHER SOURCE ACCEPTED BY THE CITY.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN IN A NORTHERN CLIMATE, HARDY TO THE CLIMATE OF MICHIGAN; APPROPRIATE FOR THE SOIL, CLIMATIC AND ENVIRONMENTAL CONDITIONS, AND RESISTANT TO DISEASE AND INSECT ATTACK.
- A MINIMUM FOUR (4) INCHES OF TOPSOIL SHALL BE PROVIDED FOR ALL LAWN AREAS, GROUND COVERS, AND PLANTING BEDS.
- ARTIFICIAL PLANT MATERIAL IS PROHIBITED AND SHALL NOT BE USED TO MEET THE REQUIREMENTS OF THIS ARTICLE.
- LAWN AREAS SHALL BE PLANTED IN SPECIES OF GRASS NORMALLY GROWN IN MICHIGAN. GRASS MAY BE SOILED OR HYDRO-SEEDING, PROVIDED THAT ADEQUATE MEASURES ARE TAKEN TO MINIMIZE SOIL EROSION. SOD OR SEED SHALL BE CLEAN AND FREE OF WEEDS AND NOXIOUS PESTS OR DISEASE.
- A MINIMUM 4-INCH LAYER OF SHREDDED HARDWOOD BARK SHALL BE PLACED IN ALL PLANTER BEDS CONTAINING TREES OR SHRUBS AND AROUND THE BASE OF ALL TREES PLANTED WITHIN LAWN AREAS. ALL SHRUBS PLANTED WITHIN LAWN AREAS ARE TO BE PLANTED IN GROUPS AND MULCHED AS A GROUP, AND HEDGEROWS ARE TO BE MULCHED AS ONE CONTINUOUS STRIP.
- LIVE GROUND COVERS SUCH AS MYRTLE, BLUE RUG JUNIPERS, BALTIC IVY AND OTHER SIMILAR VINES AND PLANT MATERIAL SHALL BE MULCHED WITH A 2-INCH LAYER OF SHREDDED HARDWOOD BARK. ANY DEVIATIONS MUST BE APPROVED BY THE CITY'S LANDSCAPE ARCHITECT.
- PLANT MATERIALS SHALL NOT BE PLACED CLOSER THAN FOUR FEET FROM THE FENCE LINE OR PROPERTY LINE.
- DECIDUOUS AND ALL SHRUBS MAY NOT BE PLANTED WITHIN 5 FEET, AND EVERGREEN TREES MAY NOT BE PLANTED WITHIN TEN (10) FEET OF ANY CURB OR PUBLIC WALKWAY.
- TREES AND SHRUBS MAY NOT BE PLANTED WITHIN 10 FEET OF A FIRE HYDRANT.
- WHERE PLANT MATERIALS ARE PLANTED IN TWO OR MORE ROWS, PLANTING SHALL BE STAGGERED IN ROWS.
- WHERE SHRUB PLANTINGS ARE REQUIRED TO FORM A CONTINUOUS HEDGE, THE PLANTS SHALL NOT BE SPACED OUT MORE THAN 36 INCHES ON CENTER AT PLANTING AND SHALL HAVE A MINIMUM HEIGHT AND SPREAD OF 30 INCHES AT PLANTING. SHRUBS THAT WILL NOT ATTAIN SUFFICIENT WIDTH TO FORM A COMPLETE HEDGE SPACED 36 INCHES ON CENTER SHALL BE PLANTED AT A SPACING THAT WILL ALLOW THEM TO FORM A COMPLETE HEDGE WITHIN TWO YEARS OF PLANTING.

RESPONSIBILITY NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7471. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY 4" TOPSOIL DEPTH IN ALL PLANTING BEDS AND 4" TOPSOIL DEPTH IN ALL LAWN AREAS USING MATERIAL FROM SPOIL PILE.
- ACCEPTANCE OF GRADING AND SOD SHALL BE BY THE LANDSCAPE ARCHITECT AND/OR PROJECT REPRESENTATIVE AND AS DETERMINED BY THE CITY. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITY FOR A MINIMUM OF TWO (2) YEARS. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REPLACEMENTS OF WASHOUTS AND OTHER OPERATIONS NECESSARY TO KEEP SOD IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND/OR PROJECT REPRESENTATIVE AND AS DETERMINED BY THE CITY, THE OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES.
- THE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPING FOR A PERIOD OF TWO (2) YEARS BEGINNING AFTER APPROVAL BY THE CITY OF ROCHESTER HILLS LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS AS DETERMINED BY THE CITY OF ROCHESTER HILLS LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.

LANDSCAPING NOTES

- PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS MUST INSPECT ALL LANDSCAPE PLANTING INCLUDING BUT NOT LIMITED TO EXISTING TREES, REPLACEMENT TREES, BUFFER PLANTINGS, AND PARKING LOT ISLANDS. THE RIGHT-OF-WAY WILL BE INSPECTED BY THE FORESTRY DIVISION TO IDENTIFY ANY PLANTINGS NEW OR EXISTING THAT POSE A HAZARD TO THE SAFE USE OF THE RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE AND POSSIBLY REPLACE ANY SUCH TREES.
- ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC R.O.W. SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE HYDRANT. SHADE AND EVERGREEN TREES MUST BE PLANTED AT LEAST 15' FROM THE NEAREST OVERHEAD WIRE AND AT LEAST 10' FROM THE NEAREST UNDERGROUND UTILITY.
- NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY AT A DISTANCE OF 25' FROM THEIR POINT OF INTERSECTION. NO TREES OR SHRUBS MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC WALKWAY AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION.
- PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB IN THE PUBLIC RIGHT-OF-WAY.
- NO SUBSTITUTIONS OR CHANGES OF LOCATION OR PLANT TYPES SHALL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPER AND THE CITY OF ROCHESTER HILLS.
- THE DEVELOPER AND/OR THE CITY OF ROCHESTER HILLS SHALL HAVE THE RIGHT, AT ANY STAGE OF THE INSTALLATION, TO REJECT ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS OR SPECIFICATIONS.
- REPLACEMENT TREES MAY NOT BE PLANTED WITHIN THE DRIP LINE OF EXISTING TREES.
- NO PLANT SUBSTITUTIONS OR CHANGES OF LOCATION OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY'S PLANNING DEPARTMENT. ALL REQUESTS WILL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING. THE REQUEST WILL INCLUDE THE REASON FOR THE REQUESTED CHANGE ALONG WITH THE PROPOSED SUBSTITUTION AND HOW IT MEETS THE ORIGINAL DESIGN INTENT, SIZE, COLOR, ETC. THE LANDSCAPE ARCHITECT WILL EITHER MAKE RECOMMENDATIONS, APPROVE OR REJECT REQUESTS IF THE SUBSTITUTION IS NEEDED AND APPROVED, THE LANDSCAPE ARCHITECT WILL FORWARD THE REQUEST AND HIS APPROVAL TO THE CITY FOR THEIR APPROVAL. FAILURE TO DO SO WILL RESULT IN PLANTS BEING REJECTED AND REPLACED AT CONTRACTOR'S EXPENSE.
- TREES MUST BE AT LEAST 10' FROM UNDERGROUND UTILITIES AND 15' FROM OVERHEAD UTILITIES.
- THESE REQUIREMENTS ARE INCORPORATED INTO THE PLAN.

CITY OF ROCHESTER HILLS NOTES

- ALL LANDSCAPE AREAS MUST BE IRRIGATED. WATERING WILL ONLY OCCUR BETWEEN THE HOURS OF 12 AM AND 5 AM. IRRIGATION PLAN TO BE PROVIDED AT FINAL SUBMITTAL.
- IRRIGATION OVERSPRAY SHALL NOT BROADCAST ONTO THE CITY PARKWAY.
- SIGNS SHALL MEET THE REQUIREMENTS OF CHAPTER 134 OF THE CITY'S CODE OF ORDINANCES.

TREE PROTECTION NOTES

- THE TREE PROTECTION FENCING (TPF) SHALL BE ERRECTED PER THE PLANS APPROVED BY THE CITY OF ROCHESTER HILLS PLANNING DEPARTMENT. THE TPF MUST BE IN PLACE AND BE INSPECTED BY THE CITY OF ROCHESTER HILLS PRIOR TO THE START OF ANY EARTHWORK OR CONSTRUCTION OPERATIONS. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-4660 TO SCHEDULE A TPF INSPECTION. THE TPF SHALL REMAIN IN PLACE THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS OR UNTIL THE CITY AUTHORIZES THE REMOVAL OR ISSUES A FINAL CERTIFICATE OF OCCUPANCY, WHICHEVER OCCURS FIRST.
- UPON COMPLETION OF GRADING AND THE INSTALLATION OF THE INFRASTRUCTURE A SECOND INSPECTION OF THE TPF AND THE TREES DESIGNATED FOR PRESERVATION IS REQUIRED BY THE CITY OF ROCHESTER HILLS PRIOR TO THE START OF ANY ADDITIONAL CONSTRUCTION. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-4660 TO SCHEDULE THIS TPF INSPECTION.
- UPON COMPLETION OF ALL CONSTRUCTION AND PRIOR TO THE REMOVAL OF THE CITY OF ROCHESTER HILLS MUST INSPECT ALL TREES DESIGNATED TO BE PRESERVED. THE LANDSCAPE PERFORMANCE BOND WILL NOT BE RELEASED UNTIL THIS INSPECTION IS COMPLETE AND ALL RELATED ISSUES ARE RESOLVED. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-4660 TO SCHEDULE THIS INSPECTION.
- A FINAL INSPECTION BY THE CITY OF ROCHESTER HILLS IS REQUIRED AT THE END OF THE WARRANTY AND MAINTENANCE PERIOD. THE LANDSCAPE MAINTENANCE BOND WILL NOT BE RELEASED UNTIL THIS INSPECTION IS COMPLETE AND ALL RELATED ISSUES ARE RESOLVED. IT IS THE DEVELOPER'S RESPONSIBILITY TO CONTACT THE CITY PLANNING DEPARTMENT AT 1-248-656-4660 TO SCHEDULE THIS INSPECTION.
- THE TREE CONSERVATION ORDINANCE PROHIBITS ANY CONSTRUCTION OR DEVELOPMENT ACTIVITIES WITHIN THE DRIP LINE OF AND REGULATED TREES NOT APPROVED FOR REMOVAL, INCLUDING BUT NOT LIMITED TO LAND CLEARING, GRUBBING, TRENCHING, GRADING OR FILLING, NO PERSON SHALL PLACE ANY SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, SOIL DEPOSITS, OR HARMFUL MATERIALS WITHIN THE DRIP LINE LIMIT OF TREES DESIGNATED FOR PRESERVATION.
- PROPOSED GRADES ARE TO MATCH THE EXISTING ELEVATIONS OUTSIDE THE LIMITS OF THE TPF. NO GRADING EITHER CUT OR FILL IS PERMITTED WITHIN THE DRIP LINE OF ANY TREE DESIGNATED FOR PRESERVATION.
- IF THE TREE CONSTRUCTION PROCESS NO PERSON SHALL ATTACH ANY DEVICE OR WIRE/CABLE/CORD/ROPE TO AN EXISTING TREE DESIGNATED TO BE PRESERVED.
- ALL UTILITY SERVICE REQUEST MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE THE TPF.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINE OF THE ANY TREE DESIGNATED FOR PRESERVATION. SWALES SHALL BE CONSTRUCTED SO AS NOT TO DIRECT ANY ADDITIONAL FLOW INTO THE DRIP LINE A TREE DESIGNATED FOR PRESERVATION.
- IF TREE PROTECTION CANNOT BE MAINTAINED FOR A TREE THROUGHOUT ENTIRE PERIOD REQUIRED, THE REPLACEMENT OF THAT TREE WILL BE REQUIRED ON AND INCH FOR INCH BASIS PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- REGULATED TREES LOCATED OFF-SITE ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION OPERATIONS MUST BE PROTECTED AS DEFINED HERE IN.
- THE TPF SHALL CONSIST OF A FOOT HIGH ORANGE SNOW FENCING TO BE INSTALLED AROUND THE DRIP LINE OF ALL TREE DESIGNATED TO BE SAVED. THIS FENCING SHALL BE SUPPORTED BY 6 FOOT METAL T-BAR POSTS 5 FEET ON CENTER AND DRIVEN A MINIMUM OF 24" INTO GROUND. THE TPF FENCING SHALL REMAIN UPRIGHT AND SECURELY IN PLACE FOR THE REQUIRED TIME AS SPECIFIED ABOVE.

CITY OF ROCHESTER HILLS MAINTENANCE NOTES 138-12-109

- LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DIRT AND REFUSE.
- PRUNING SHALL BE MINIMAL AT TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
- ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN (6) SIX MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICH EVER COMES FIRST. THE PLANTING SEASON FOR THE DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE. THE CITY MAY NOTIFY PROPERTY OWNERS OF THE NEED TO REPLACE DEAD, DAMAGED, OR DISEASED MATERIAL.
- THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL. UNLESS OTHERWISE APPROVED, ANY REVISIONS OR REMOVAL OF PLANT MATERIALS, OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF SECTION 138-12-109 WILL PLACE THE PARCEL IN NON-CONFORMITY WITH THE APPROVED LANDSCAPE PLAN AND BE A VIOLATION OF THE ORDINANCE.
- IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH BY INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.

A detailed table listing various plant species and their quantities. The table includes columns for species names, quantities, and other details. The text is small and difficult to read, but it appears to be a comprehensive list of plants to be used in the landscaping project.

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CITY OF ROCHESTER HILLS FORESTRY NOTES

- PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB ON THE PUBLIC RIGHT-OF-WAY. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC ROAD. SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY.
- NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY LINES AT A DISTANCE ALONG EACH LINE OF 25' FROM THEIR POINT OF INTERSECTION. ALL TREES AND SHRUBS MUST BE AT LEAST 10' FROM ANY HYDRANT. SHADE AND EVERGREEN TREES MUST BE AT LEAST 15' AWAY FROM THE NEAREST OVERHEAD WIRE. TREES MUST BE PLANTED IN A MINIMUM OF 5' FROM AN UNDERGROUND UTILITY, UNLESS THE CITY'S LANDSCAPE ARCHITECT REQUIRES A GREATER DISTANCE.
- PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS FORESTRY DIVISION NEEDS TO INSPECT ALL TREES, EXISTING OR PLANTED, TO IDENTIFY ANY THAT POSE A HAZARD TO THE SAFE USE OF PUBLIC RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE AND POSSIBLY REPLACE ANY SUCH TREES.

PLANTING NOTES:

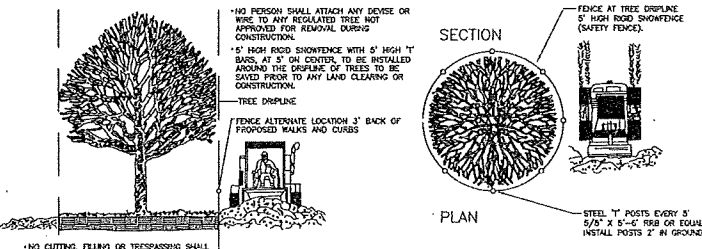
- INSTALL AND MAINTAIN ALL LANDSCAPING ACCORDING TO ROCHESTER HILLS STANDARDS. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK. PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK. CONTRACTOR TO SUPPLY NURSERY SOURCES FOR ALL PURCHASED MATERIAL. NO BARE ROOT OR PARK GRADE MATERIAL WILL BE ACCEPTED.
- SOD: IF OWNER SELECTS THIS OPTION, CONTRACTOR WILL INSTALL SOD IN ALL AREAS INDICATED AS LAWN ON PLAN. SOD TO BE WELL ESTABLISHED. MINERAL GROWTH SOD BLEND SHALL CONSIST OF A MINIMUM OF THREE (3) IMPROVED VARIETIES OF BLUEGRASS. ACCEPTANCE AND GUARANTEE NOTES SHALL APPLY TO ALL SOD.
- EDGING SHALL BE A SHOVEL EDGE.
- ALL TREE PITS MUST BE TESTED FOR PROPER DRAINAGE PRIOR TO PLANTING TREES. A DRAINAGE SYSTEM MUST BE INSTALLED IF PLANTING PIT DOES NOT DRAIN SUFFICIENTLY (REQUIRED IN HEAVY CLAY SOILS).
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.
- STAKES USED FOR TREE SUPPORTS SHALL POINT AWAY FROM ANY CIRCULATION ROUTES.
- MULCHING AND WATERING OF ALL PLANTS AND TREES SHALL BE IMMEDIATELY OR WITHIN 16 HOURS AFTER INSTALLATION.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- REMOVE ALL TREE STAKES AND GUY WIRES AFTER ONE WINTER.
- USE GRADE "A" DOUBLE SHREDDED HARDWOOD BARK.
- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALLS. BACK FILL WITH ONE PART TOPSOIL AND ONE PART SOIL FROM THE EXCAVATED PLANTING HOLE. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE PLANTED AT THE NURSERY. IF WET, CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER.
- REMOVE ALL TWINE, WIRE, AND BURLAP FROM THE TOP 1/3 OF TREE AND SHRUB EARTH BALLS AND FROM TREE TRUNKS.
- LAWN TREES ARE TO BE MULCHED WITH A MINIMUM OF 4" WIDE BY 4" DEEP SHREDDED BARK FOR TRUNK PROTECTION. ONLY NATURAL-COLORED SHREDDED HARDWOOD BARK MULCH WILL BE ACCEPTED.
- SHRUB BEDS ARE TO BE MULCHED WITH SHREDDED BARK MULCH TO A MINIMUM DEPTH OF 4". ONLY NATURAL-COLORED SHREDDED HARDWOOD BARK MULCH WILL BE ACCEPTED.
- BACKFILL DIRECTLY BEHIND ALL CURBS AND ALONG SIDEWALKS AND COMPACT TO THE TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.
- ALL LANDSCAPE AREAS, SPECIAL PARKING LOT ISLANDS AND LANDSCAPE BEDS NEXT TO BUILDINGS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS TO A DEPTH OF 12"-18" AND BACK-FILLED WITH GOOD, MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY). ADD 4"-6" OF TOPSOIL OVERFILL MATERIAL AND CROWN A MINIMUM OF 6" ABOVE TOP OF CURBS AND/OR WALKS AFTER EARTH SETTLING UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN.
- CONVERSION OF ALL ASPHALT AND GRAVEL AREAS TO LANDSCAPE SHALL BE DONE IN THE FOLLOWING MANNER:
A. REMOVE ALL ASPHALT, GRAVEL AND COMPACTED EARTH TO A DEPTH OF 6"-18" DEPENDING ON THE DEPTH OF THE SUB-BASE AND DISPOSE OF OFF SITE.
B. REPLACE EXCAVATED MATERIAL WITH GOOD, MEDIUM TEXTURES PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) TO A MINIMUM OF 2" ABOVE TOP F CURB AND SIDEWALK, ADD 4"-5" OF TOPSOIL AND CROWN TO 4" ABOVE ADJACENT CURB AND WALK AFTER EARTH SETTLING UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLAN.
IF CONVERSION TO LANDSCAPE OCCURS IN AN EXISTING (OR BETWEEN) LANDSCAPE AREA(S), REPLACE EXCAVATED MATERIAL TO 4"-5" BELOW ADJACENT EXISTING GRADES WITH GOOD MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) AND ADD 4"-6" OF TOPSOIL TO MEET EXISTING GRADES AFTER EARTH SETTLING.
- ALL PLANT MATERIAL TO RECEIVE TERRA-SORB SUPER ABSORBENT POLYMER OR APPROVED EQUAL BY LANDSCAPE ARCHITECT, FOLLOW MANUFACTURER'S SPECIFICATIONS.

MAINTENANCE NOTES

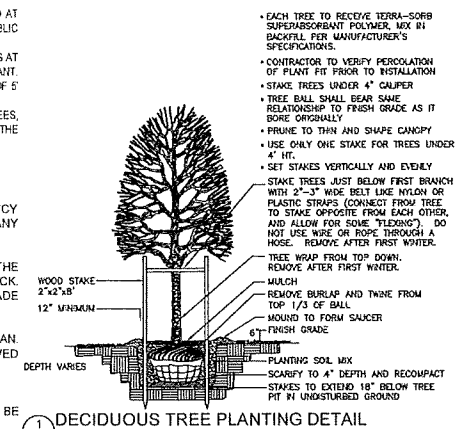
- THE CLEAR ZONE SHALL BE MAINTAINED AT ALL INTERSECTIONS THAT INGRESS AND EGRESS TO THE SITE. IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE PLANT MATERIAL AT A HEIGHT OF NOT OVER THIRTY (30) INCHES ABOVE PAVEMENT AND PROVIDE UNOBSTRUCTED SIGHT DISTANCE FOR DRIVERS IN VEHICLES APPROACHING THE INTERSECTION.
- VERTICAL CLEARANCE OF AT LEAST EIGHTY (80) INCHES MUST BE PROVIDED ABOVE WALKS AT ALL TIMES. IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN TREES AND OTHER OVERHANGING OBJECTS TO PROVIDE ADEQUATE HEADROOM TO COMPLY WITH ADA GUIDELINES.

IMPORTANT:

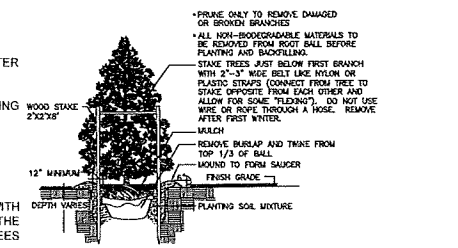
ALL TREES ON ADJACENT PROPERTIES MUST BE PROTECTED. THE TREE PROTECTIVE FENCING MAY BE PLACED ALONG THE ACTUAL PROPERTY LINE IF THE BRANCHES OF THE TREES ON THE ADJACENT PROPERTIES DO NOT OVERHANG ONTO THE SITE BEING DEVELOPED. IF THE BRANCHES OVERHANG ONTO THE AREA OF THE SITE BEING DEVELOPED THE TREE PROTECTIVE FENCING MUST BE PLACED AT THE ACTUAL DRIP LINE OF THESE TREES. IT SHOULD ALSO BE NOTED THAT THE SILT FENCING MUST BE PLACED ON THE DEVELOPMENT SIDE OF THE TREE PROTECTIVE FENCING. THE SILT FENCING MAY NOT BE PLACED BETWEEN THE TREE BEING PRESERVED AND THE TREE PROTECTIVE FENCING. IF ANY REGULATED TREES ARE DAMAGED ON THE ADJACENT PROPERTIES THE DAMAGED TREES WILL BE EITHER REPLACED ON THE OWNERS PROPERTY ON AN INCH FOR INCH BASIS OR A FINE IN THE SUM \$122.00 PER CALIPER INCH WILL BE ISSUED AGAINST THE DEVELOPMENT. THIS FINE WILL BE DUE PRIOR THE BUILDING PERMITS BEING ISSUED. IF YOU HAVE ANY QUESTIONS OR NEED ADDITIONAL INFORMATION CALL THE CITY'S PLANNING DEPARTMENT 248-645-4560



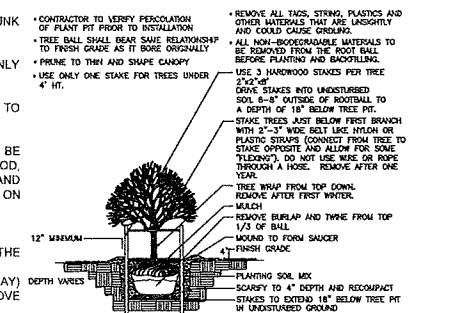
TREE PROTECTION FENCE DETAIL



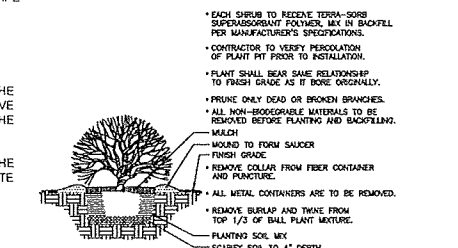
DECIDUOUS TREE PLANTING DETAIL



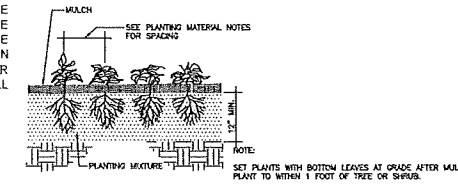
EVERGREEN TREE PLANTING DETAIL



ORNAMENTAL TREE PLANTING DETAIL



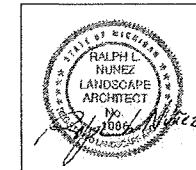
SHRUB PLANTING DETAIL



ANNUAL, PERENNIAL, GROUND COVER PLANTING DETAIL



NÚÑEZ DESIGN



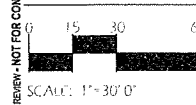
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ROCHESTER HILLS, MI
PARCEL # 15-28-228-023 & 024
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CLIENT:
HAMLIV, LLC
JIM POLYZOIS
14955 Technology Dr.,
Shelby Twp., MI 48315
Phone: 586-421-5729
FAX: 586-421-5742

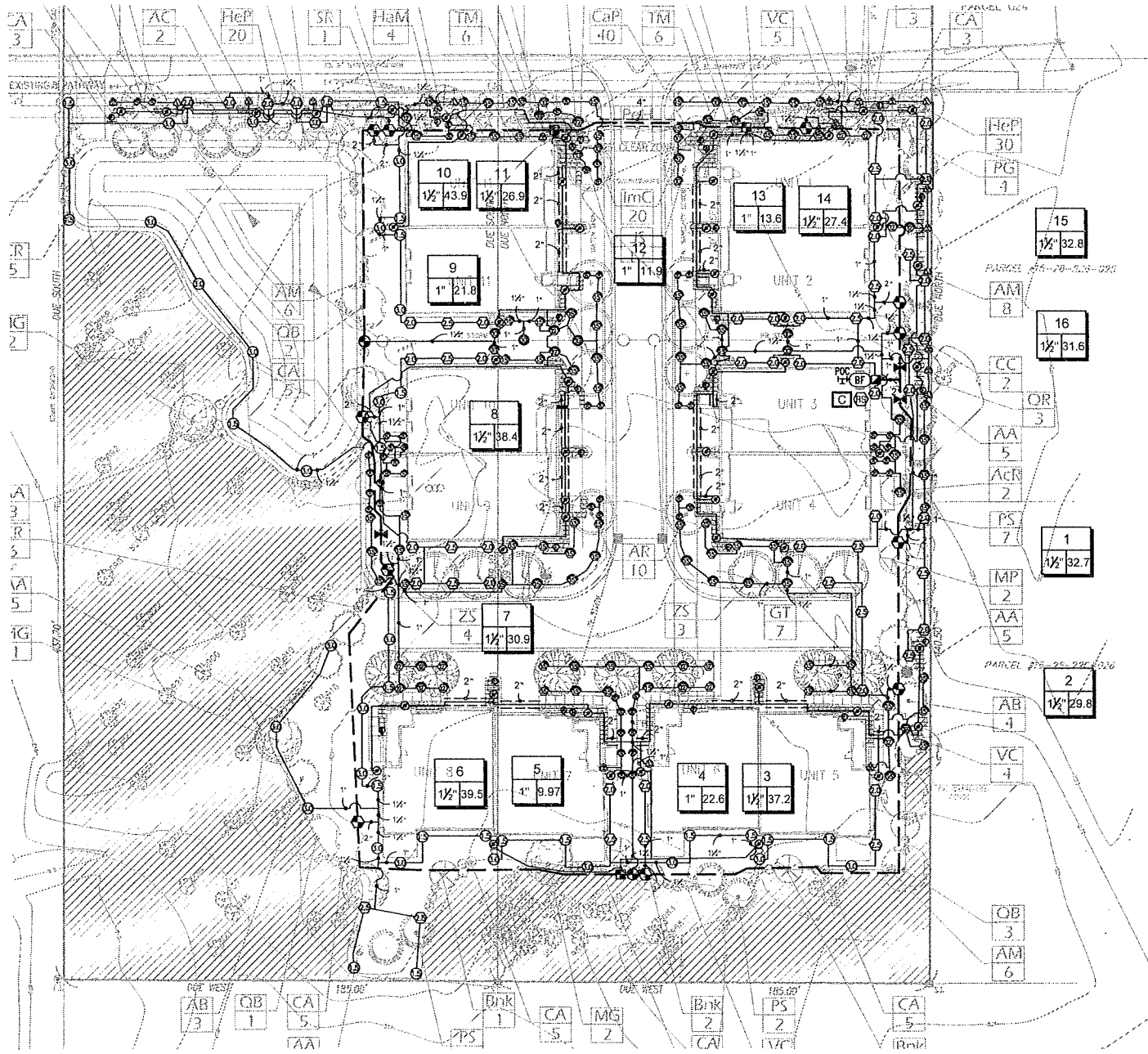
Submitted: Revisions 7/20/2018
No Change
Submitted: Revisions 5/23/2018
Submitted: PRELIM DESIGN 4/9/2018
Date: 4/9/2018

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LANDSCAPE ARCHITECTURE • LIAISON DESIGN
249 Park Street
Troy, Michigan 48063
P. 248.397.8540
nunezdesigninc@gmail.com

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Checked / Approved: RN
Job # N-01-28



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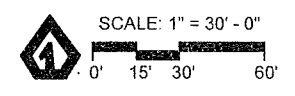


IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY
	Hunter PROS-04 5' strip spray	21
	Hunter PROS-04 8' radius	65
	Hunter PROS-04 10' radius	18
	Hunter PROS-04 12' radius	21
	Hunter PROS-04 15' radius	85
SYMBOL MANUFACTURER/MODEL QTY		
	Hunter PGP-04	22
	Hunter PGP-04	25
	Hunter PGP-04-LA	35
	Hunter PGP-04-LA	20
SYMBOL MANUFACTURER/MODEL QTY		
	Rain Bird X CZ-100-PRF 1"	3
	Pipe Transition Point	63
	Flush Valve	23
	Drip Air Relief Valve	3
	Area to Receive Dripline Netafin TLDL-06-12	3,549 I.F.
SYMBOL MANUFACTURER/MODEL QTY		
	Hunter PGPV-101G 1"	2
	Hunter PGPV-151 Globe 1-1/2"	11
	Hunter HQ-SRC 1"	1
	Isolation Valve Mainline Size	3
	Febco 765 1-1/2"	1
	Hunter IC-1800-PL	1
	Hunter Solar-Sync	1
	POC 1 1/2"	1
	Irrigation Lateral Line: Polyethylene Pipe 100 PSI 1"	3,500 I.F.
	Irrigation Lateral Line: Polyethylene Pipe 100 PSI 1 1/2"	725.7 I.F.
	Irrigation Lateral Line: Polyethylene Pipe 100 PSI 2"	60.0 I.F.
	Irrigation Mainline: PVC Class 160 SDR 26 2"	1,179 I.F.
	Pipe Sleeve: PVC Class 160 SDR 26 2"	247.3 I.F.
	Pipe Sleeve: PVC Class 160 SDR 26 4"	32.3 I.F.
	Valve Collout	
	Valve Number	
	Valve Flow	
	Valve Size	

IRRIGATION SPECIFICATIONS

- IRRIGATION SYSTEM DESIGN BASED ON 44 GPM AT 55 PSI.
- IRRIGATION DESIGN IS FROM THE POINT OF CONNECTION(POC) ONLY. THE DESIGN IS BASED ON GALLONS PER MINUTE(GPM) AND POUNDS PER SQUARE INCH(PSI) FURNISHED BY OTHERS.
- IRRIGATION CONTRACTOR IS TO VERIFY POINT OF CONNECTION IN THE FIELD. INSTALLER IS TO CONFIRM THE MINIMUM DISCHARGE REQUIREMENTS OF THE POINT OF CONNECTION AS INDICATED ON THE LEGEND PRIOR TO INSTALLATION.
- THE PRESSURE REQUIREMENT AT THE POINT OF CONNECTION IS BASED ON NO MORE THAN 5 FEET OF ELEVATION CHANGE IN THE AREAS OF IRRIGATION.
- ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ACCORDING TO LOCAL BUILDING, ELECTRICAL, AND PLUMBING CODES.
- IRRIGATION CONTRACTOR WILL ARRANGE INSPECTIONS REQUIRED BY LOCAL AGENCIES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION AS REQUIRED. ALL WIRING TO BE PER LOCAL CODE. BACKFLOW PREVENTION TO BE PER LOCAL CODE.
- LOCATION OF IRRIGATION COMPONENTS SHOWN ON DRAWING IS APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY AS REQUIRED TO ACHIEVE FULL, EVEN COVERAGE.
- ALL SPRINKLER HEADS SHALL BE INSTALLED PERPENDICULAR TO FINISH GRADES. EXCEPT AS OTHERWISE INDICATED.
- INSTALL IRRIGATION MAINS WITH A MINIMUM 18" OF COVER BASED ON FINISH GRADES. INSTALL IRRIGATION LATERALS WITH MINIMUM 12" OF COVER BASED ON FINISH GRADES.
- PIPE LOCATIONS ARE DIAGRAMMATIC. VALVES AND MAINLINE SHOWN IN PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY.
- THE IRRIGATION CONTRACTOR SHALL COMPLY WITH PIPE SIZES AS INDICATED.
- ALL WIRE SPLICES OR CONNECTIONS SHALL BE MADE WITH APPROVED WATERPROOF WIRE CONNECTIONS AND BE IN A VALVE OR SPLICE BOX.
- ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 14 AWG, UL APPROVED DIRECT BURY.
- THE DESIGN IS BASED ON THE SITE INFORMATION AND/OR DRAWING SUPPLIED WITH THE DESIGN CRITERIA BEING SET (AREA TO BE IRRIGATED, EQUIPMENT MANUFACTURER AND MODEL TO BE USED, WATER SOURCE INFORMATION, ELECTRICAL POWER AVAILABILITY, ETC...). SITEONE LANDSCAPE SUPPLY BEARS NO RESPONSIBILITY OR LIABILITY FOR ANY ERRORS IN DESIGN OR INSTALLATION THAT ARISE DUE TO INACCURACIES IN THE ABOVE REFERENCED INFORMATION SUPPLIED TO SITEONE LANDSCAPE SUPPLY LANDSCAPES IN RELATION TO THIS PROJECT, UNLESS OTHERWISE NOTED.



1-800-347-4272
http://www.projectsolutions.siteone.com

650 Stephenson Highway
Troy, Michigan 48063
Phone 248.588.2100
Fax 248.588.3528
www.Siteone.com
800.347.4272

Project Name:
BRECKENRIDGE CONDOMINIUMS
ROCHESTER HILLS, MI, 48309

Customer Name:

Design Date: 05/14/18
Drawn By: DK
Checked By: C.GRAHAM

REVISIONS

Description	Date

Drawing Title:
IRRIGATION DESIGN

CITY FILE# 18-008

Drawing Scale: 1" = 30'

Project Services Number: 157830

Sheet Number:
IR-1

Breckenridge: Aspen Unit Duplex

Plan 'B'



ELEVATION CONCEPT

SCALE: 1/4" = 1'-0"

HAMLIV, LLC

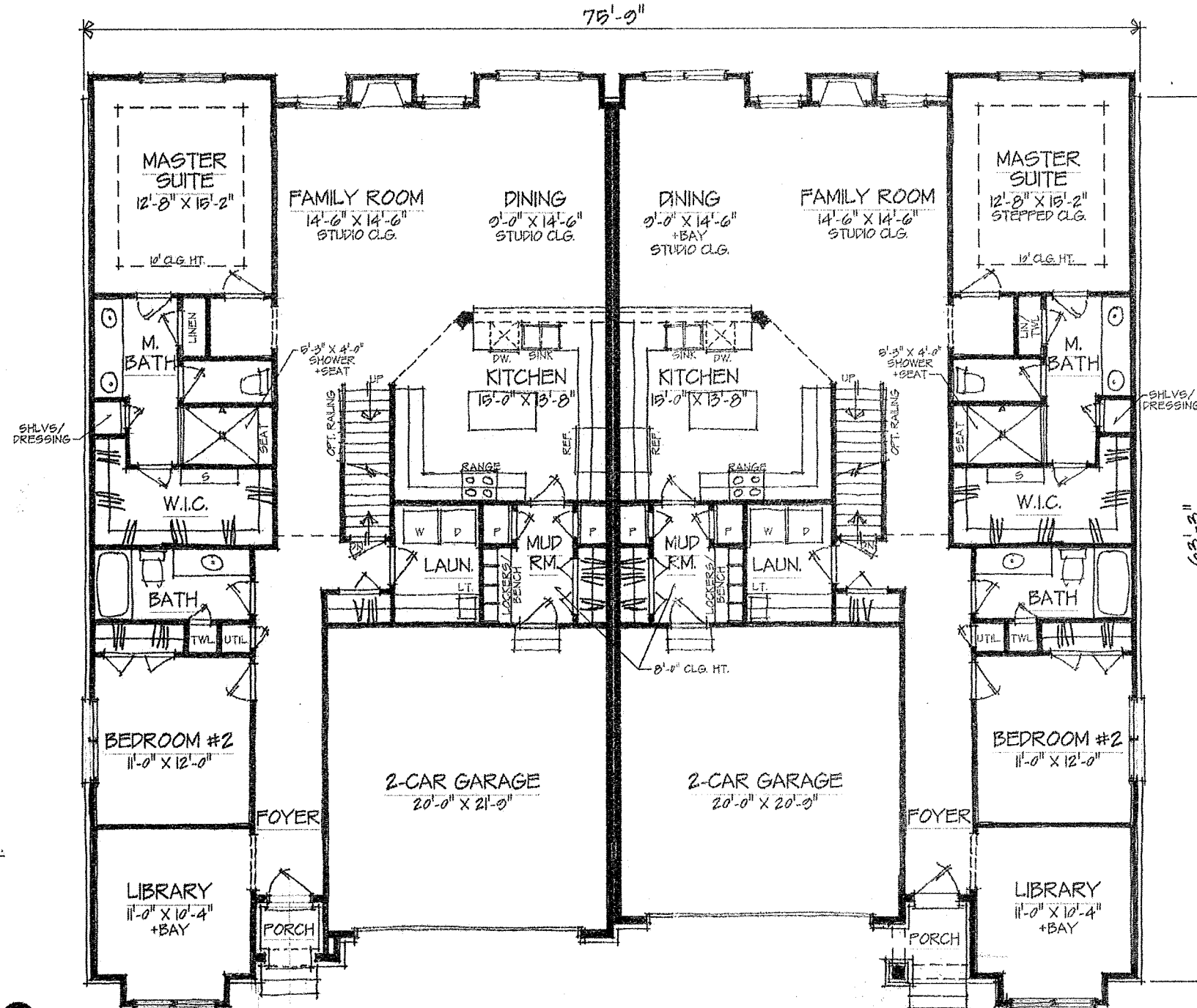
City File #

Aspen Unit Elevation **A-1.0**

Hamlin/Livernois Duplex v.2 2/22/18

Breckenridge: Aspen Unit Duplex

Plan 'B'



LEFT UNIT PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR: 1,905 SQ. FT.
SECOND FLOOR: 675 SQ. FT.
TOTAL: 2,580 SQ. FT.

9' CLG. HT. UNLESS NOTED OTHERWISE

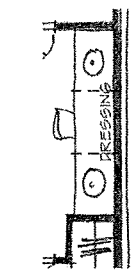
RIGHT UNIT PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR: 1,905 SQ. FT.
SECOND FLOOR: 675 SQ. FT.
TOTAL: 2,580 SQ. FT.

9' CLG. HT. UNLESS NOTED OTHERWISE

City File #



OPTIONAL DRESSING

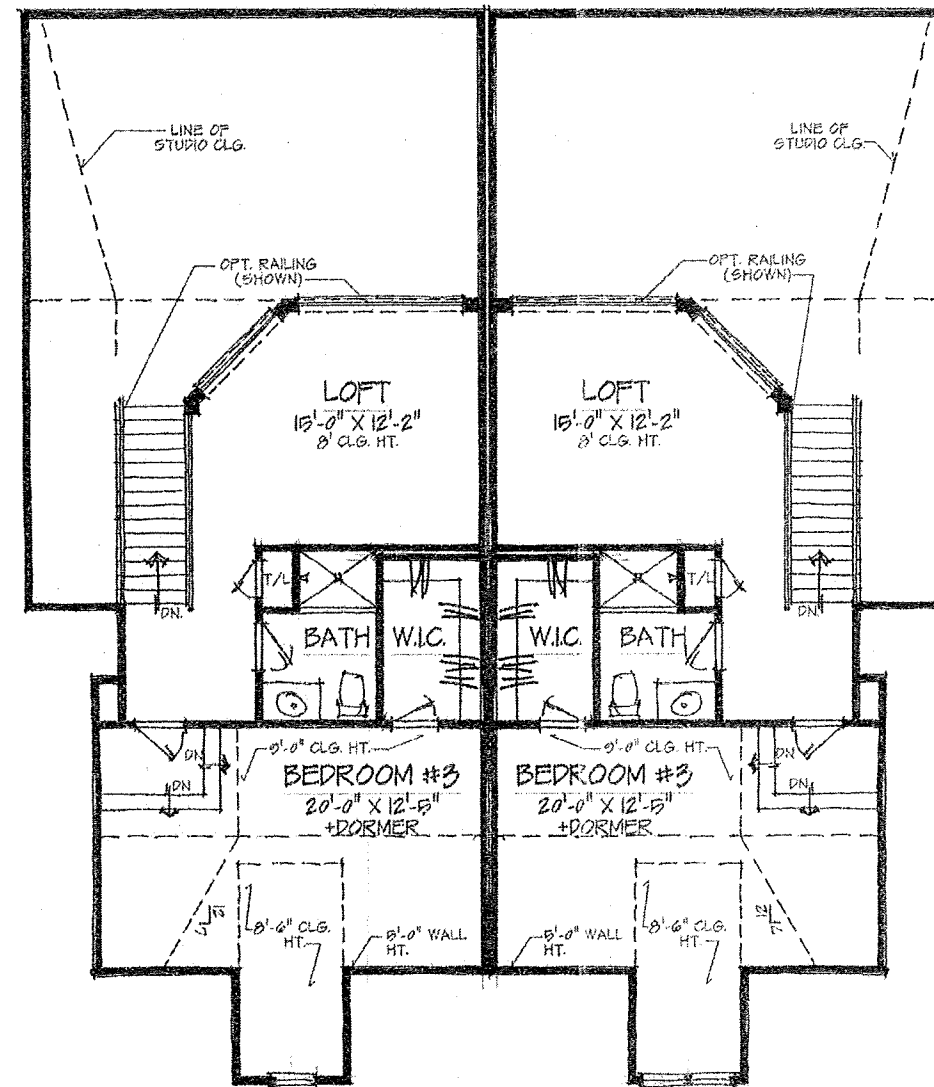
SCALE: 1/4" = 1'-0"

HAMLIV, LLC

Aspen First Floor Plan **A-1.1**

Breckenridge: Aspen Unit Duplex

Plan 'B'



LEFT UNIT SECOND FLOOR
SCALE: 1/4" = 1'-0"

RIGHT UNIT SECOND FLOOR
SCALE: 1/4" = 1'-0"

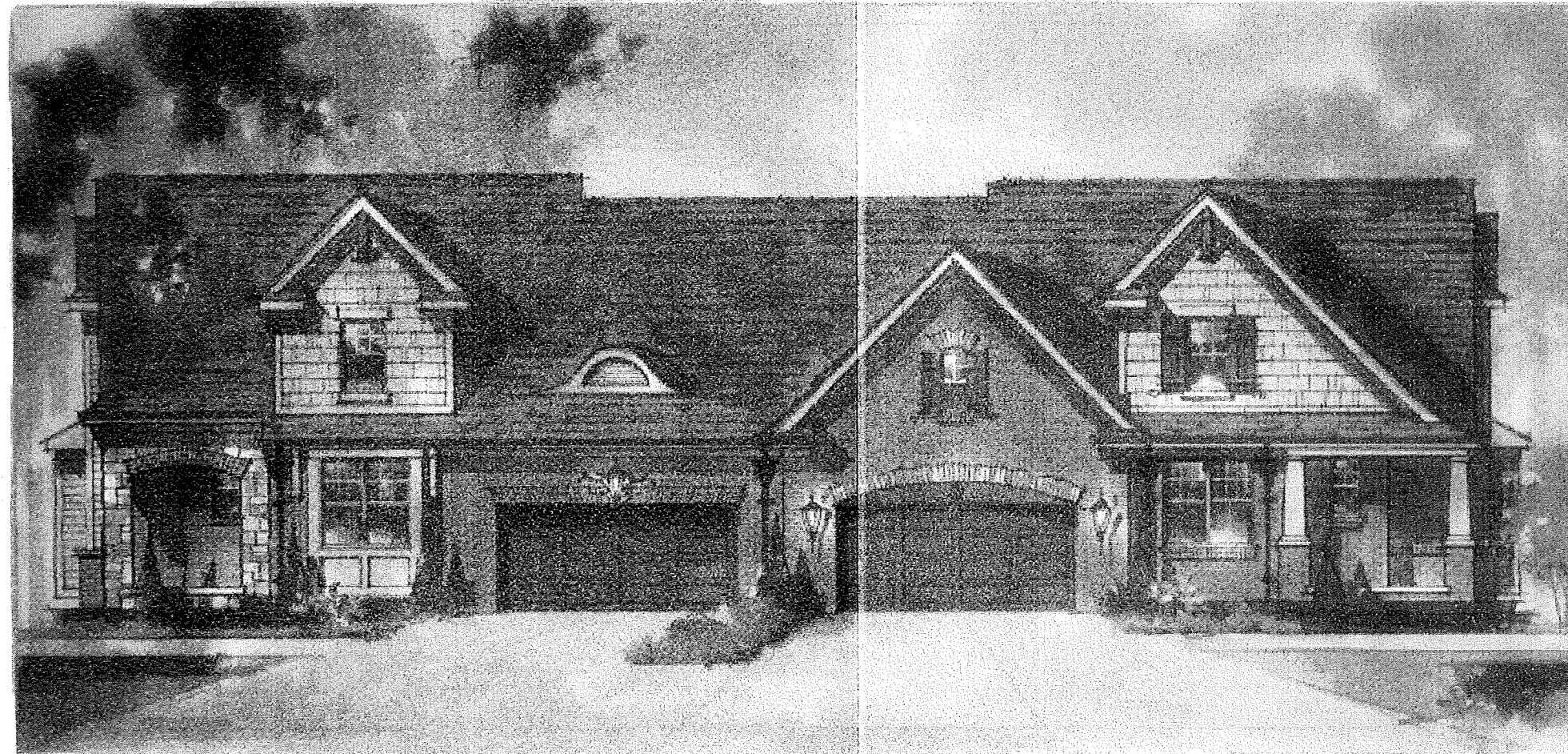
City File #

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Aspen Second Floor Plan **A-1.2**

Hamlin/Livernois Duplex v.2 2/22/18

Breckenridge: Spruce Duplex Unit



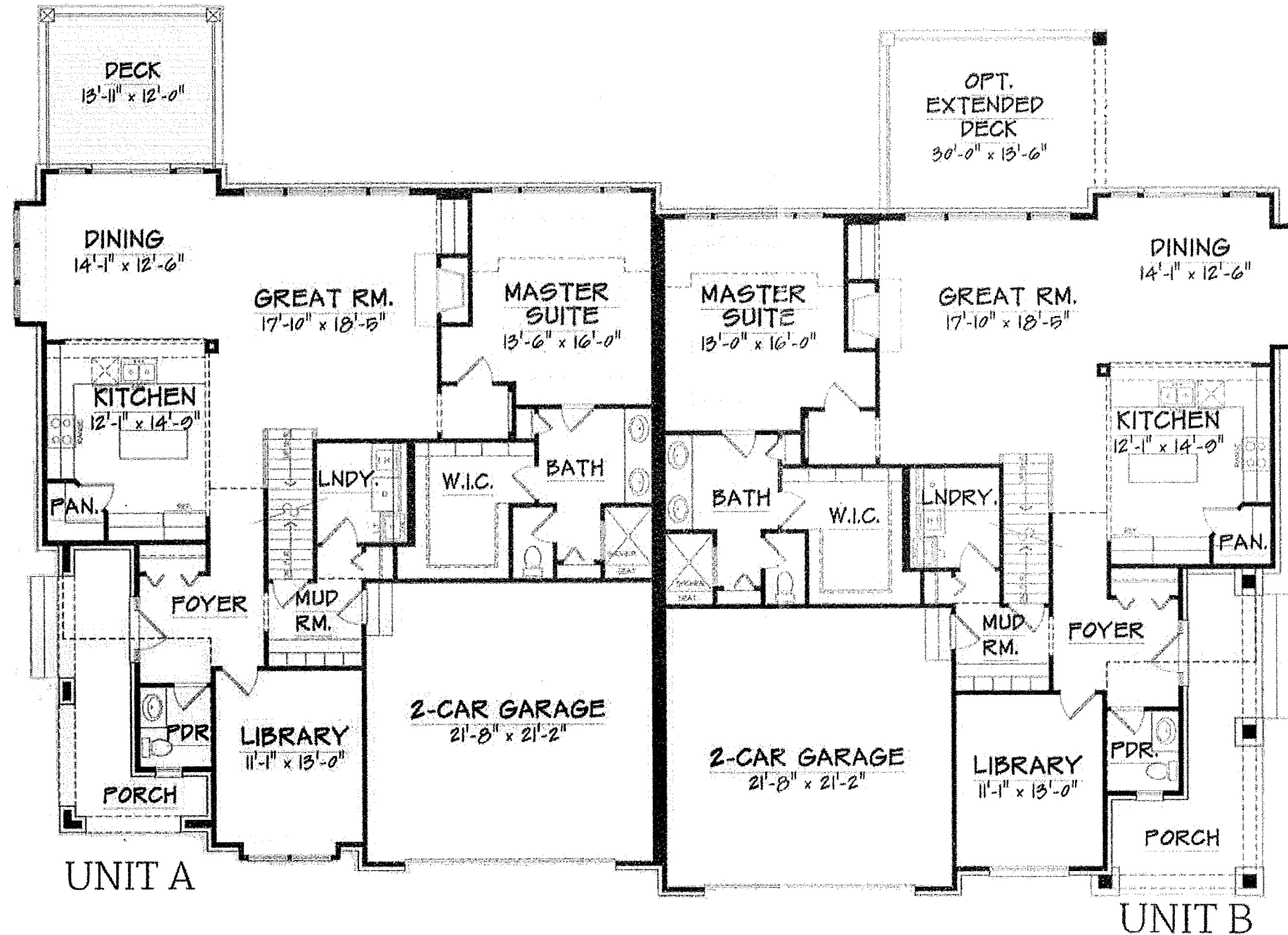
UNIT A
ELEVATION CONCEPT
SCALE: 1/4" = 1'-0"

UNIT B

Hamlin, LLC

City File #
Spruce Elevation **A-2.0**

Breckenridge: Spruce Duplex Unit



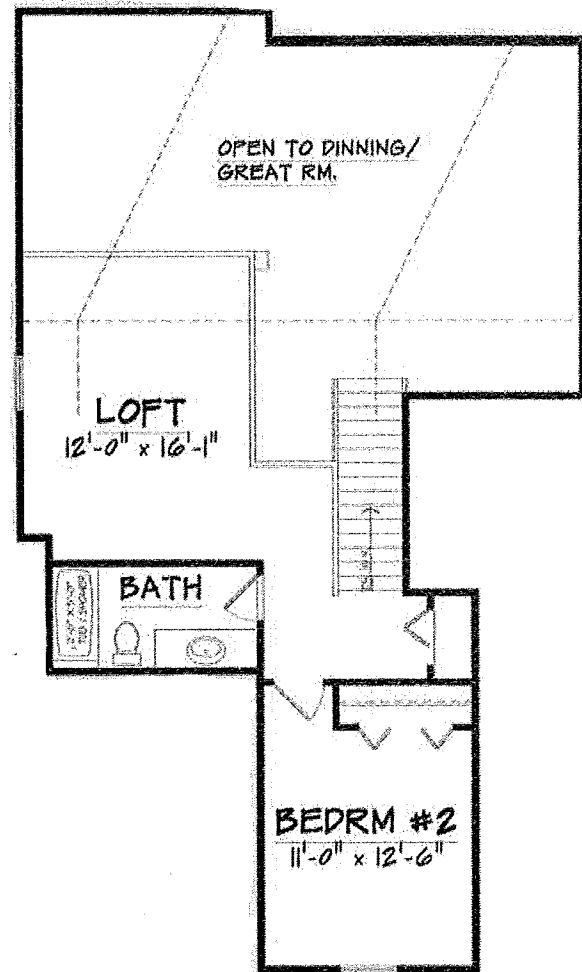
SQUARE FOOTAGE
 FIRST FLOOR: 1,768 SQ. FT.
 SECOND FLOOR: 544 SQ. FT.
 TOTAL: 2,312 SQ. FT. (PER UNIT)
 94'-2" x 51'-11" FOOTPRINT

Hamlin, LLC

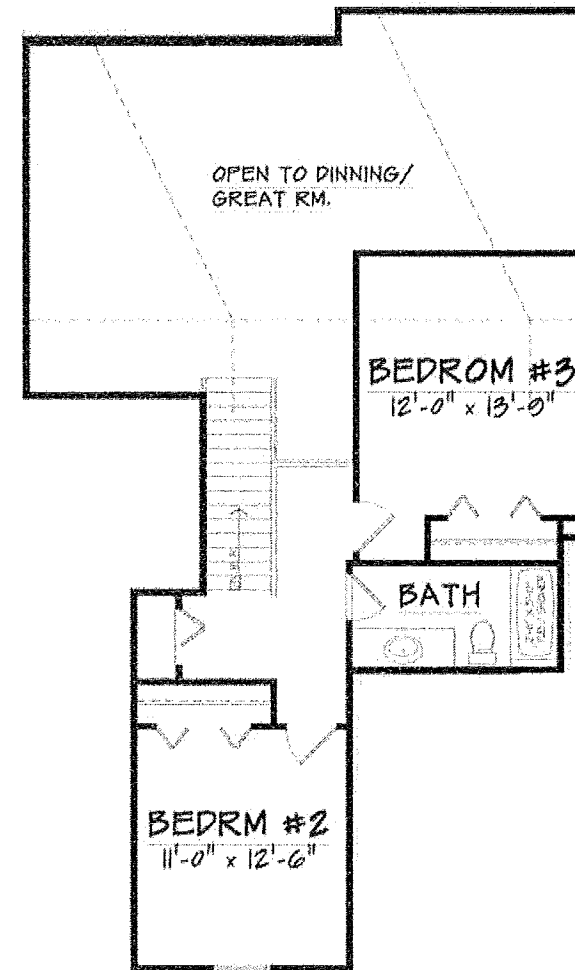
City File #
 Spruce First Floor Plan **A-2.1**

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Breckenridge: Spruce Duplex Unit



UNIT A & B



UNIT A & B
w/ Opt. 3BEDRM.

Hamlin, LLC

City File #
Spruce Second Floor Plan **A-2.2**

or Plan