



## Planning and Economic Development

Ed Anzek, AICP, Director

From: Sara Roediger, AICP  
 Date: 8/11/2016  
 Re: **Griffin Claw Brewery (City File# 16-012)**  
**Preliminary/Final Site Plan - Planning Review #3**

The applicant is proposing to convert the former Eastside Mario's building and construct an additional 15,876 sq. ft. warehousing and brewing building on 3.14 acres on the northeast corner of Crooks Rd. and M-59. The existing Clubhouse BFD restaurant will remain, for a total of a 27,252 sq. ft. restaurant and brewery. The project was reviewed for conformance with the City of Rochester Hills Zoning Ordinance. The comments below and in other review letters are minor in nature and can be addressed by staff during final review following review and approval by the Planning Commission.

- Zoning and Use** (*Section 138-4.300*). The site was recently rezoned to REC-I Regional Employment Center-Interchange which permits restaurants, processing of semi-finished products and warehousing as permitted uses. Refer to the table below for the zoning and existing and future land use designations for the proposed site and surrounding parcels.

|                      | Zoning   | Existing Land Use                                      | Future Land Use                   |
|----------------------|--|--|-----------------------------------|
| <b>Proposed Site</b> | <b>REC-I Regional Employment Center-Interchange</b>                          | <b>Clubhouse BFD &amp; Former Eastside Mario's</b>     | <b>Regional Employment Center</b> |
| North                | B-5 Automotive Service Business & REC-W Regional Employment Center-Workplace | Misc. Star Batt office, retail & light industrial uses | Regional Employment Center        |
| South                | M-59 right-of-way  | M-59 right-of-way                                      | M-59 right-of-way                 |
| East                 | REC-I Regional Employment Center-Interchange                                 | Cancer Center  | Regional Employment Center        |
| West                 | REC-I Regional Employment Center-Interchange                                 | Taco Bell, Shell & Speedway gas stations               | Regional Employment Center        |

- Site Design and Layout** (*Section 138-6.600-602*). Refer to the table below as it relates to the area, setback, and building requirements of this project in the REC-I district.

| Requirement  | Proposed                  | Staff Comments                                     |
|--|---------------------------|--|
| <b>Max. Height</b><br>80 ft.                                     | 30 ft.                    | In compliance                                      |
| <b>Min. Front Setback</b> (Crooks Rd.)<br>5 ft. min/ 80 ft. max. | 100 ft.                   | Existing, legal nonconformity that is not changing |
| <b>Min. Side Setback</b> (north, south, west)<br>0 ft./0 ft.     | 53+ ft., 83+ ft. & 62+ft. | In compliance                                      |
| <b>Min. Rear Setback</b> (west)<br>25 ft.                        | 85+ ft.                   | In compliance                                      |

- Exterior Lighting** (*Section 138-10.200-204*). A photometric plan showing the location and intensity of exterior lighting has been provided. Refer to the table below as it relates to the lighting requirements for this project.

| Requirement   | Proposed                 | Staff Comments |
|---|--------------------------|----------------|
| <b>Shielding/Glare</b><br>Lighting shall be fully shielded & directed downward at a 90° angle<br><br>Fixtures shall incorporate full cutoff housings, louvers, glare shields, optics, reflectors or other measures to prevent off-site glare & minimize light pollution | 16 pole mounted fixtures | In compliance  |

| Requirement   | Proposed   | Staff Comments |
|---|--|----------------|
| Only flat lenses are permitted on light fixtures; sag or protruding lenses are prohibited   |  |                |
| <b>Max. Intensity</b> (measured in footcandles fc.)<br>10 fc. anywhere on-site, 1 fc. at ROW, & 0.5 fc. at any other property line                                    | 5.5 on-site, 0.4 along ROW, 0.5 along other property lines | In compliance  |
| <b>Lamps</b><br>Max. wattage of 250 watts per fixture<br>LED or low pressure sodium for low traffic areas, LED, high pressure sodium or metal halide for parking lots | 138 watt, LED fixtures                                     | In compliance  |
| <b>Max. Height</b><br>20 ft.  | 20 ft.   | In compliance  |

4. **Parking, Loading and Access (138-11.100-308).** Refer to the table below as it relates to the parking and loading requirements of this project.

| Requirement   | Proposed  | Staff Comments   |
|---|---|--|
| <b>Min. # Parking Spaces</b><br>Restaurant: 1 space per 2 people max. occup. = 98 spaces<br>Manufacturing: 1 space per 500 sq. ft. (9,641) = 19 spaces<br>Warehouse: 1 space per 1,700 sq. ft. (14,344) = 8 spaces<br><b>TOTAL: 125</b> | 152 spaces  | In compliance, the <b>calculations &amp; total number of spaces must be indicated on the plans</b> |
| <b>Max. # Parking Spaces</b><br>125% of Min. = 156 spaces   |   |  |
| <b>Min. Barrier Free Spaces</b><br>7 BF spaces (2 + 3.33%) 11 ft. in width w/ 5 ft. aisle for 151-200 parking spaces  | 9 spaces 11 ft. in width w/ 5 ft. aisle                       | In compliance  |
| <b>Min. Parking Space Dimensions</b><br>9 ft. x 18 ft. (employee spaces)<br>10 ft. x 18 ft. (customer spaces)<br>24 ft. aisle   | 10 ft. x 18 – 20 ft.<br>24+ ft. aisle                         | In compliance  |
| <b>Min. Parking Front Setback</b> (Crooks)<br>5 ft.   | 7 ft.   | In compliance  |
| <b>Min. Parking Side Setback</b> (north, south, west)<br>10 ft./10 ft.  | 10 ft., 6 ft., 8 ft.  | Existing, legal nonconformity that is not changing   |
| <b>Loading Space</b><br>1 space, 10 ft x 40 ft.   | 2 overhead doors with 1,524 sq. ft. of loading, plus internal | In compliance  |

- a. In an effort to improve pedestrian access, a sidewalk into the site has been provided off of Crooks Rd. and to the property line to the west to connect to the hotel. **Staff continues to recommend the addition of a bike rack to accommodate users of the nearby Clinton River Trail.**
5. **Natural Features.** In addition to the comments below, refer to the review letters from Engineering and Forestry Departments that may pertain to natural features protection.
- a. **Environmental Impact Statement (EIS)** (Section 138-2.204.G) An EIS consistent with ordinance regulations has been submitted.
- b. **Tree Removal** (Section 126 Natural Resources, Article III Tree Conservation). The site is subject to the city's tree conservation ordinance, and so any healthy tree greater than 6" in caliper that will be removed must be replaced with one tree credit. Trees that are dead or in poor condition need not be replaced. Seven regulated trees are proposed to be removed, and 8 deciduous trees are being planted to cover the replacement credits meeting ordinance requirements.
- c. **Wetlands** (Section 126 Natural Resources, Article IV Wetland and Watercourse Protection). The site does not contain any regulated wetlands.
- d. **Natural Features Setback** (Section 138-9 Chapter 1). The site does not contain any required natural features setbacks.
- e. **Steep Slopes** (Section 138-9 Chapter 2). The site does not contain any regulated steep slopes.

6. **Equipment Screening** (*Section 138-10.310.J*). All heating, ventilation and air conditioning mechanical equipment located on the exterior of the building shall be screened from adjacent streets and properties. **Means of screening must be indicated on the plans. Details of the decorative chain link fence with steel posts along the eastern façade shall be provided. Staff recommends that the chain link fence provided in the northwest corner of the building match the decorative chain link fence along the eastern façade.**
7. **Dumpster Enclosure** (*Section 138-10.311*). A dumpster enclosure is provided for in the northwest corner of the building, to be enclosed with concrete masonry to match the building and wood gate.
8. **Landscaping** (*138-12.100-308*). A landscape plan, signed and sealed by a registered landscape architect, has been provided. Refer to the table below as it relates to the landscape requirements for this project. This is in addition to the replacement credits required above.

| Requirement  | Proposed  | Staff Comments |
|--|---|----------------|
| <b>Buffer D</b> (M-59: 476 ft.)<br>8 ft. width with solid green wall + 2.5 deciduous + 1.5 ornamental per 100 ft. = green wall + 12 deciduous + 7 ornamental | 12 deciduous<br>7 ornamental<br>90 evergreen shrubs (green wall)  | In compliance  |
| <b>Right of Way</b> (Crooks: 152 ft.)<br>1 deciduous per 35 ft. + 1 ornamental per 60 ft. = 4 deciduous + 3 ornamental                                       | 4 deciduous<br>3 ornamental                                       |                |
| <b>Right of Way</b> (Star Batt: 320 ft.)<br>1 deciduous per 35 ft. + 1 ornamental per 60 ft. = 9 deciduous + 5 ornamental                                    | 9 deciduous<br>5 ornamental                                       |                |
| <b>Parking Lot: Interior</b><br>5% of parking lot + 1 deciduous per 150 sq. ft. landscape area = 3,445.81 sq. ft. + 23 deciduous                             | 4,008.58 sq. ft.<br>23 deciduous                                  |                |
| <b>TOTAL</b>   | 48 deciduous<br>15 ornamental<br>90 evergreen shrubs (green wall) |                |

a. An irrigation plan must be submitted prior to staff approval of the final site plan.

9. **Architectural Design** (*Architectural Design Standards*). The proposed building is generally designed in accordance with the City's Architectural Design Standards, consisting primarily of concrete masonry and a translucent "kalwall" panel system. Staff recommends having building material and color samples available for the Planning Commission meeting.
10. **Signs**. (*Section 138-10.302*). Signage is not indicated on the plans, however there is an existing wall and pole sign for Clubhouse BFD. **A note shall be added on the plans that all new signage must meet Chapter 134 of the City Code of Ordinances and be approved under a separate permit issued by the Building Department.**



MENT  
or

---

M I C H I G A N

From: Nancy McLaughlin  
To: Ed Anzek  
Date: 05/26/16  
Re: File No.: 16-012 Escrow #287.243  
Project: Griffin Claw Brewery Review #1  
Parcel No: 70-15-28-151-004  
Applicant: ESM Properties

No comment.



Parks & Forestry

Ken Elwert

---

To: Sara Roediger  
From: Gerald Lee  
Date: August 11, 2016  
Re: Griffin Claw Brewery  
Review #3  
File No. 16-012

Forestry review pertains to public right-of-way (r/w) tree issues only.

Landscape Plan, Sheet L-2

Clump form river birch are not recommended near public walkways and streets. A single stem shade tree is recommended. They are considered as ornamental trees and need to be planted at least 10' from the walkway.

The Velvet Pillar crabapple need to be shown as planted at least 10' from the walkway. Velvet Pillar is "highly scab susceptible" per Dirr.

Please add the note, "*These requirements are incorporated into the Plan.*"

GL/cf

cc: Sandi DiSipio, Planning Assistant  
Maureen Gentry, Planning Assistant



FIRE DEPARTMENT

Sean Canto

Chief of Fire and Emergency Services

From: James L. Bradford, Lieutenant/Inspector  
To: Planning Department  
Date: August 10, 2016  
Re: Griffin Claw Brewery

SITE PLAN REVIEW

FILE NO: 16-012

REVIEW NO: 4

APPROVED  X

DISAPPROVED \_\_\_\_\_

The Rochester Hills fire department recommends approval of the above referenced project base on the submitted email and attached drawing dated August 10, 2016 from Patrick Williams of NF engineers.

If you have any questions, please feel free to contact me.

Lt. James L. Bradford  
Fire Inspector



DPS/Engineering  
Allan E. Schneck, P.E., Director

From: Jason Boughton, AC; Engineering Utilities Coordinator  
To: Sara Roediger, Manager of Planning  
Date: August 4, 2016  
Re: Griffen Claw Brewery, City File #16-012, Section 28  
Site Plan Review #3

Engineering Services has reviewed the site plan received by the Department of Public Services on August 1, 2016, for the above referenced project. Engineering Services **does** recommend site plan approval with the following comments:

**General**

1. The city file number #16-012 needs to be added in the lower right hand corner of sheet A101, A201 and the photometric plan.

**Pathway/Sidewalk**

1. The existing pathway, at the point of connection to the internal sidewalk, may need to be reconstructed since it will be a turning space and can't exceed 2% in any direction in order to comply with ADA. Add note with leader line to plan.
2. The ADA sidewalk ramps at the driveway approaches do not need the detectable warning plates since they are neither at a public nor private roadway. Please remove the proposed warning plates. Sidewalk ramps still need to meet ADA compliance from a cross and longitudinal perspective. Remove RAMP NOTE on bottom of sheet SP-4.
3. On sheet L1, Tree Preservation Plan, please remove the road and pathway sight distance lines as they are only needed on sheet L2, Landscape Plan.
4. On sheet L2, Landscape Plan, the Star Batt road sight lines are shown incorrectly. The road sight line looking west needs to be shown looking towards the drivers eye heading east bound. Similarly, show the sight line looking east.
5. On sheet L2, Landscape Plan, there are 2 Red Maples and 2 Eastern Red Buds that are in the pathway sight line looking north onto Crooks Road. These trees need to be moved east outside the pathway sight line.
6. On sheet L2, Landscape Plan, regarding Star Batt pathway, shade trees are required to be 5 feet off the edge of sidewalk, evergreen and flowering trees are required to be 10 feet off edge of sidewalk.

The applicant needs to submit a Land Improvement Permit (LIP) application with engineer's estimate, fee and construction plans to get the construction plan review process started.

JB/bd

c: Allan E. Schneck, P.E., Director; DPS  
Tracey Balint, P.E., Public Utilities Engineer; DPS  
Paul Shumejko, P.E., PTOE, Transportation Engineer; DPS  
Keith Depp, Staff Engineer; DPS

Paul Davis, P.E. City Engineer/Deputy Director; DPS  
Sheryl McIsaac, Office Coordinator; DPS  
Russ George, Engineering Aide; DPS  
File



BUILDING DEPARTMENT  
Scott Cope

---

From: Craig McEwen, Building Inspector/Plan Reviewer *CPM*  
To: Sara Roediger, Planning Department  
Date: August 10, 2016  
Re: Griffin Claw Brewery – Review 3  
Sidwell: 15-28-151-004  
City File: 16-012

The site plan review for the above reference project was based on the following drawings and information submitted:

Sheets: Boundary/Topographic Survey, SP-2, SP-3, SP-4, A101, A201, L-1, L-2 and Exterior Lighting Photometric Plan

Approval recommended. All previous comments have been addressed.

If there are any questions, please call the Building Department at 248-656-4615. Office hours are 8 a.m. to 4:30 p.m. Monday through Friday.



R O N A N D R O M A N

*August 8, 2016*

*Re: Griffin Claw Brewing Company  
Site Plan Approval Submittal  
7/29/2016*

**Parking Requirement Calculations -**

*Existing Clubhouse 59 (A-2 use)*

*= 195 occupants / 2 parking spaces per = 97.5 spaces*

*New Warehouse, Brewing, Milling & Distilling (F-1, S-1, H-2 & H-3 use)*

*= 22,639 square feet / 500 s.f. per space = 45.3 spaces*

*= 97.5 + 45.3*

*= 143 parking spaces required*

*152 parking spaces provided*



CITY OF ROCHESTER HILLS  
1000 Rochester Hills Drive  
Rochester Hills, MI 48309

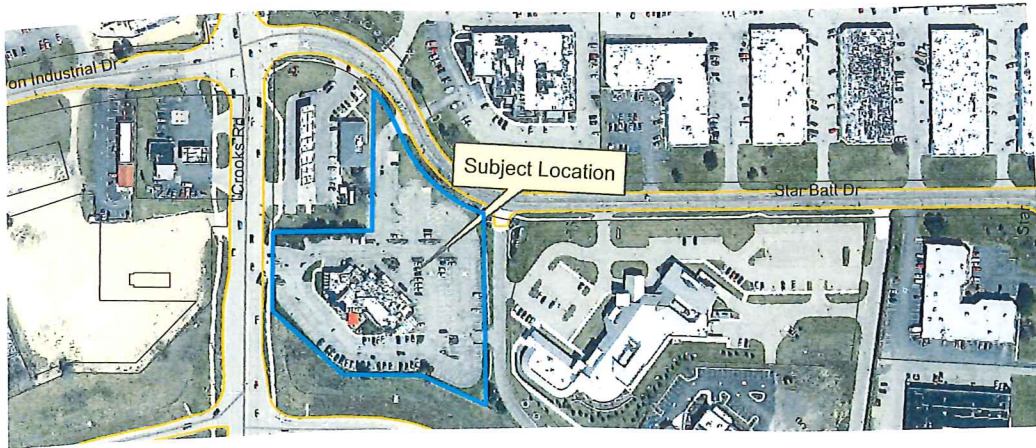
PUBLIC NOTICE

ROCHESTER HILLS PLANNING COMMISSION

**REQUEST:** Pursuant to the Tree Conservation Ordinance, Chapter 126, Article III, of the Code of Ordinances of the City of Rochester Hills, Oakland County, Michigan, a minimum of seven days' notice is hereby given to all adjacent property owners regarding the request for a Tree Removal Permit for the removal and replacement of as many as seven regulated trees associated with the proposed construction of an 15,876 square-foot warehousing and brewery in addition to a restaurant renovation. The property is identified as Parcel No 15-28-151-004 (City File No. 16-012).

**LOCATION:** East of Crooks, north of M-59

**APPLICANT:** ESM Properties, LLC  
2273 Crooks Rd.  
Rochester Hills, MI 48309



**DATE OF MEETING:** Tuesday, August 16, 2016 at 7:00 p.m.

**LOCATION OF MEETING:** City of Rochester Hills Municipal Offices  
1000 Rochester Hills Drive  
Rochester Hills, Michigan 48309

The application and plans related to the Tree Removal Permit are available for public inspection at the City Planning Department during regular business hours of 8:00 a.m. to 5:00 p.m. Monday through Friday or by calling (248) 656-4660.

Deborah Brnabic, Chairperson  
Rochester Hills Planning Commission

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is invited to contact the Facilities Division (656-4673) 48 hours prior to the meeting. Our staff will be pleased to make the necessary arrangements.  
i:\pla\development reviews\2016\16-012 griffin claw brewery\trp phn 8-16-16.doc