

LANDSCAPE PLANTING NOTES:

- PLANTING**
- Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by the City of Rochester Hills, Michigan.
 - The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
 - The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
 - Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
 - Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
 - The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
 - When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
 - Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Perennial beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Only natural color, finely shredded hardwood bark mulch will be accepted.
 - Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems. All tree wrap, stakes, and guys are to be removed after one (1) winter season.
 - All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
 - Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
 - All plantings shall be completed no later than November 30 in the fall season. The date of intended installation for landscape plant materials is approximately Spring, 2021. Plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
 - Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.

- MATERIAL**
- Required landscape material shall satisfy the criteria of the *American Association of Nurserymen Standards for Nursery Stock* and be: a.) Northern nursery grown; b.) State Department of Agriculture inspected; c.) No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted); d.) Staked, wrapped, watered, and mulched according to the details provided; and e.) Guaranteed for one (1) year.
 - Topsoil shall be friable, fertile soil of clay loam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.

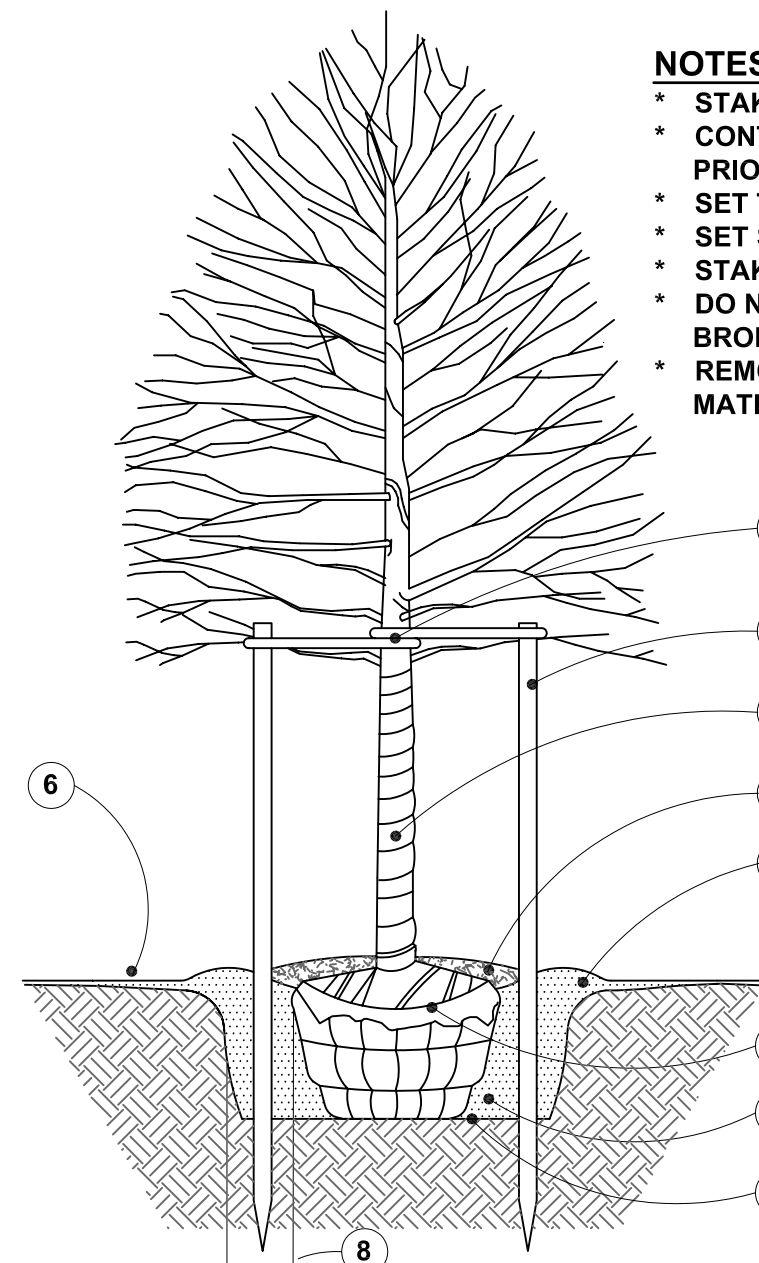
PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
AGR	2	<i>Amelanchier x grandiflora</i> 'Robin Hill'	Robin Hill Single Stem Serviceberry	2" cal. B&B
GBF	3	<i>Gingko biloba</i> 'Fastigiata'	Fastigiata Maidenhair Tree	3" cal. B&B
LSS	1	<i>Liquidambar styraciflua</i> 'Slender Silhouette'	Slender Silhouette	3" cal. B&B
RAG	14	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	24" ht., 3 gal. pot
CVM	8	<i>Coreopsis verticillata</i> 'Moonbeam'	Moonbeam Threadleaf Coreopsis	1 gal. pot, 24" o.c.
PAB	10	<i>Pennisetum alopecuroides</i> 'Burgandy Bunny'	Burgandy Bunny Dearf	1 gal. pot, 18" o.c.

NOTES:

- STAKE TREES UNDER FOUR INCH (4") CALIPER.
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- SET TOP OF BALL THREE INCHES (3") ABOVE FINISH GRADE.
- SET STAKES VERTICAL & EVENLY SPACED.
- STAKES OR GUYS TO BE SECURED ABOVE THE FIRST BRANCH.
- DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
- REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE DAMAGE.

- STAKE TREE JUST ABOVE THE FIRST BRANCH USING TWO INCH TO THREE INCH (2"-3") WIDE BELT-LIKE MATERIAL OF FABRIC. (NO WIRE OR HOSE TO BE USED TO GUY TREES.) THREE (3) GUYS EVENLY SPACED PER TREE. REMOVE AFTER ONE (1) WINTER SEASON.
- 2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL.
- APPLY TREE WRAP AND SECURE WITH A BIODEGRADABLE MATERIAL AT TOP AND BOTTOM. REMOVE AFTER ONE (1) WINTER.
- SHREDDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE INCH (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE.
- MOUND TO FORM TREE SAUCER.
- FINISH GRADE SLOPED AWAY FROM TREE.
- CUT AND REMOVE WIRE, BURLAP, AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
- WIDTH OF ROOTBALL ON EACH SIDE.
- PLANTING MIXTURE SHALL CONSIST OF 50% TOPSOIL AND 50% SAND.
- SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO FOUR INCH (4") DEPTH.



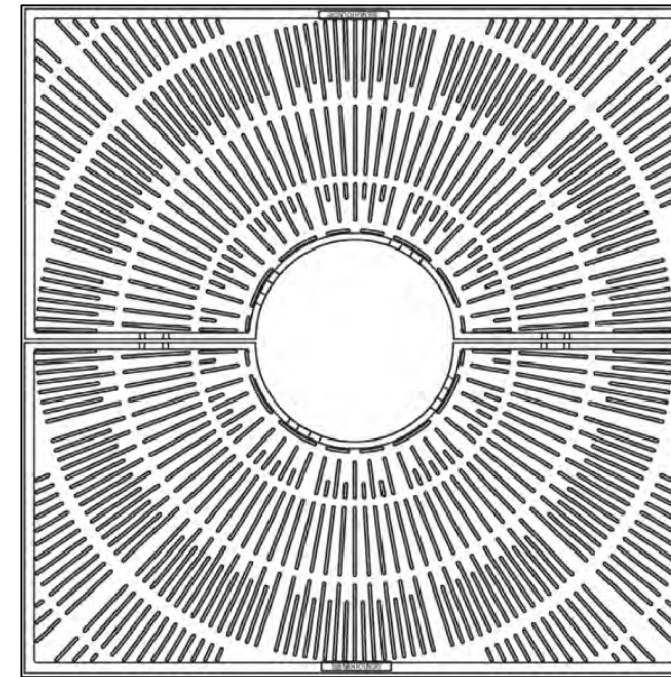
DECIDUOUS TREE

PLANTING DETAILS

- Proposed perennials shall be full, well-rooted plants.
 - Callery Pear (*Pyrus calleryana*) and Norway Maple (*Acer platanoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.
 - Cobblestone mulch to consist of two inch to six inch (2"-6") cobbles eight inches deep with geotextile fabric beneath.
- GENERAL**
- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
 - The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
 - The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
 - All landscape areas shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
 - All written dimensions override scale dimensions on the plans.
 - All substitutions or deviations from the landscape plan must be approved by the City of Rochester Hills prior to installation.
 - All bidders must inspect the site and report any discrepancies to the Owner's representative.
 - All specifications are subject to change due to existing conditions.
 - The Owner's representative reserves the right to approve all plant material.
- MAINTENANCE**
- The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
 - All unhealthy, damaged, diseased, and/or dead material shall be removed immediately and replaced within six (6) months after it dies or in the next growing season. The planting season for deciduous plants shall be between March 1 and June 1 and from October 1 until the prepared soil becomes frozen. The planting season for evergreen plants shall be between March 1 and June 1. Plant material installed to replace dead or diseased material shall be as close as practical to the size of the material it is intended to replace. The City may notify property owners of the need to replace dead, damaged, or diseased material.
 - The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), watering, and snow removal during winter. Pruning shall be minimal at the time of installation, only to remove dead or diseased branches. Subsequent pruning will assure proper maturation of plants to achieve their approved purpose.
 - The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
 - Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
 - All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
 - The approved landscape plan will be considered a permanent record and integral part of the Site Plan Approval. Unless otherwise approved in accordance with the aforementioned procedures, any revisions to or removal of plant materials, or non-compliance with the maintenance requirements in Section 138-12.109 of the City Ordinance will place the parcel in non-conformity with the approved landscape plan and be a violation of the ordinance.

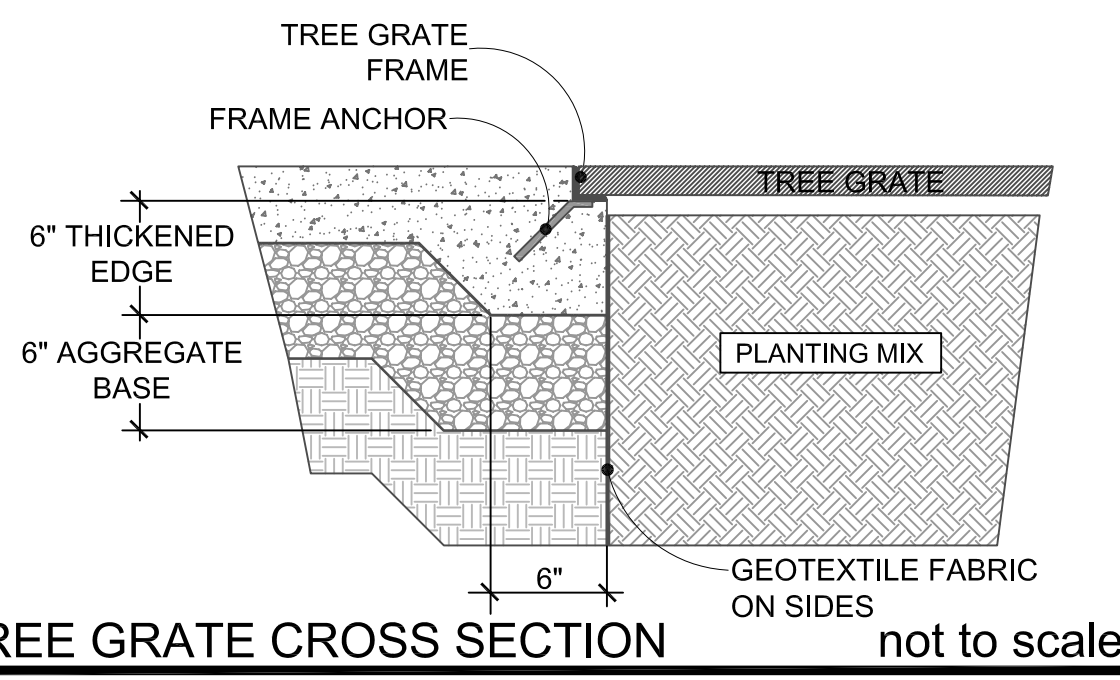
CITY OF ROCHESTER HILLS NOTES:

- All landscape areas must be irrigated. An irrigation plan must be submitted prior to Staff approval of the final site plan. Watering will occur only between the hours of 12 a.m. and 5 a.m.
- Prior to the release of the performance bond, the City of Rochester Hills must inspect all landscape plantings.
- Prior approval is required to plant any tree or shrub on the public right-of-way. All trees and shrubs must be planted at least 10' from the edge of the public road. (Trees must be planted at least 15' away from curb or road edge where the speed limit is more than 35mph). Shade trees and shrubs must be planted at least 5' from the edge of the public walkway. Evergreen and ornamental trees must be planted at least 10' from the edge of the public walkway. No tree or shrubs may be planted with the triangular area formed at the intersection of any street right-of-way lines at a distance along each line of 25' from their point of intersection. No trees or shrubs may be planted in the triangular area formed at the intersection of any driveway with a public walkway at a distance along each line of 15' from their midpoint of intersection. All trees and shrubs must be planted at least 10' from any fire hydrant. Shade and evergreen trees must be at least 15' away from the nearest overhead wire. Trees must be planted a minimum of 5' from an underground utility, unless the city's Landscape Architect requires a greater distance.
- Prior to the release of the performance bond, the City of Rochester Hills Forestry Division needs to inspect all trees, existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developerto remove, and possibly replace, any such trees.
- These requirements are incorporated into this plan.



TREE GRATES:

- Neenah Foundry: Metropolitan Collection Item No. R-8707
- 60" x 60" square with 18" opening.
- Install according to the Manufacturer's specifications.



TREE GRATE CROSS SECTION not to scale

COST ESTIMATE

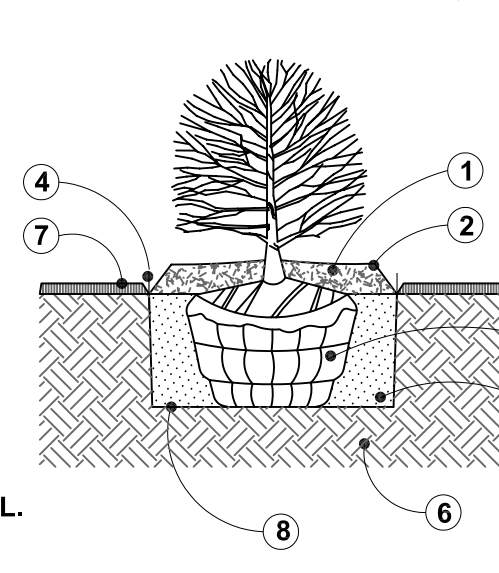
TOTAL MATERIALS SPECIFIED:				
* Deciduous Trees	4	\$350	\$1,400.00	
* Ornamental Trees	2	\$200	\$400.00	
* Deciduous Shrubs	14	\$50	\$700.00	
* Perennials	18	\$15	\$270.00	
* Sodded Lawn			\$400.00	
* Planting Soil Mix	6 cu. yds.	\$40	\$240.00	
* Shredded Hardwood Bark	8 cu. yds.	\$30	\$240.00	
* Tree Grates	3	\$800	\$2,400.00	
* Underground Irrigation			\$3,000.00	
			=====	
TOTAL			\$9,050.00	

GENERAL NOTES FOR ALL PLANTINGS:

- DO NOT CUT CENTRAL LEADER. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES.
- REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
- PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS.
- CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB. GENTLY TAMP IF NEEDED.

NOTE:

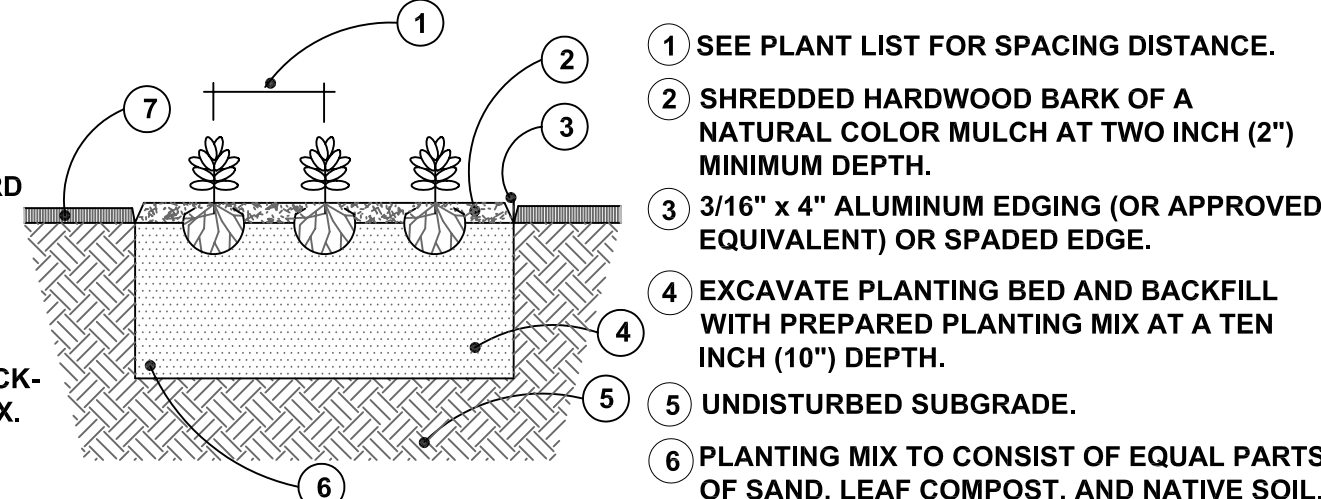
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- THE PLANTING MIXTURE SHALL CONSIST OF 20% TOPSOIL, 60% SAND, AND 20% COMPOST.



SHRUB

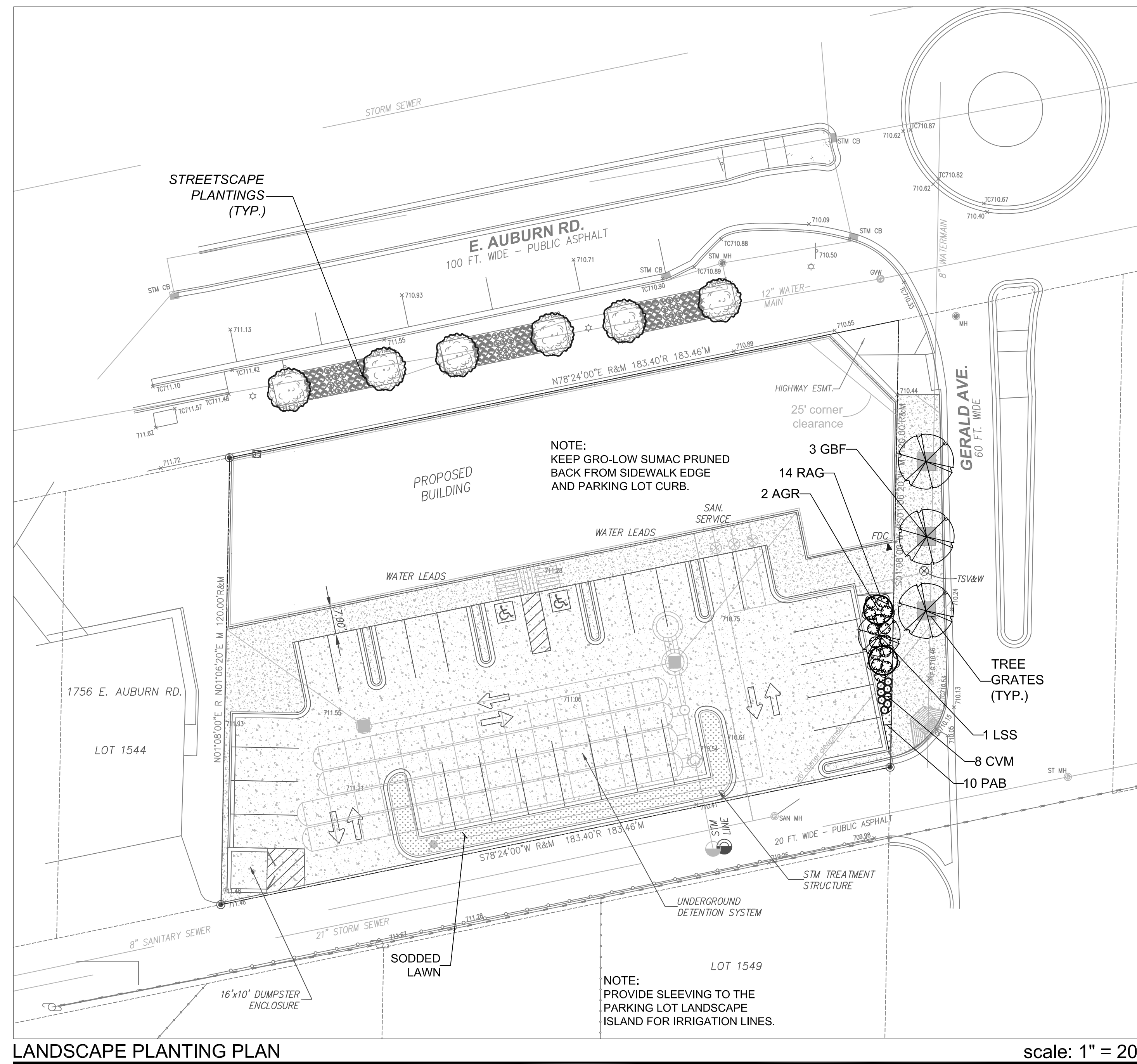
NOTE:

- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
- PERENNIALS TO BE PLANTED UP TO THE EDGE OF THE SAUCER AROUND A TREE OR SHRUB BED.
- THE PLANTING MIXTURE SHALL CONSIST OF 20% TOPSOIL, 60% SAND, AND 20% COMPOST.



PERENNIAL / GROUNDCOVER

not to scale



LANDSCAPE PLANTING PLAN

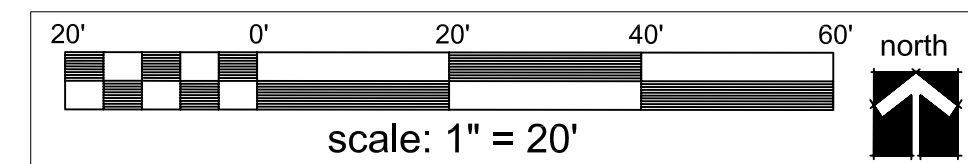
scale: 1" = 20'

LANDSCAPE CALCULATIONS:

- PERIMETER PARKING LOT LANDSCAPING (62 linear feet)**
- One (1) deciduous tree for each twenty-five lineal feet (25 l.f.) = 2.48 = 3 trees
 - Four (4) deciduous tree provided
 - One (1) ornamental tree for each thirty-five lineal feet (35 l.f.) = 1.77 = 2 trees
 - Four (4) ornamental trees provided
- RIGHT-OF-WAY LANDSCAPING ALONG GERALD AVENUE (120 linear feet)**
- One (1) deciduous tree for each thirty-five lineal feet (35 l.f.) = 3.4 = 4 trees
 - Three (3) deciduous trees provided
 - One (1) ornamental tree for each sixty lineal feet (60 l.f.) = 2.0 trees
 - Zero (0) ornamental trees provided
- (The tree planting requirements are deficient in quantity by five (5) trees, therefore, a contribution to the City Tree Fund will be made in the amount of \$1,520.)

NOTE:

- SEE ENGINEERING PLANS FOR THE SPECIFICATION OF SITE IMPROVEMENTS, UTILITY LAYOUT, AND SITE MODIFICATIONS. BEFORE IMPLEMENTING THE LANDSCAPE PLAN, REVIEW ALL ENGINEERING DOCUMENTS FOR ANY AMENDMENTS THAT MAY HAVE BEEN COMPLETED AFTER SITE PLAN APPROVAL. IF CONFLICTS OCCUR NOTIFY THE LANDSCAPE ARCHITECT SO APPROPRIATE MODIFICATIONS CAN BE MADE TO THE LANDSCAPE PLANTING PLAN.



scale: 1" = 20'

date: July 29, 2020
 revised:
 10-14-2020 Revise for City review.
 12-10-2020 Revise for utility layout changes & add trees to parking lot island.
 01-09-2021 Revise for City review.



LANDSCAPE PLAN FOR:
 Turk Architects
 1412 East Eleven Mile Road, Suite 2
 Madison Heights, Michigan 48071
 (248) 291-5168

PROJECT LOCATION:
 Zeenat Plaza
 Southwest Corner of
 East Auburn Road &
 Gerald Avenue
 Rochester Hills, Michigan

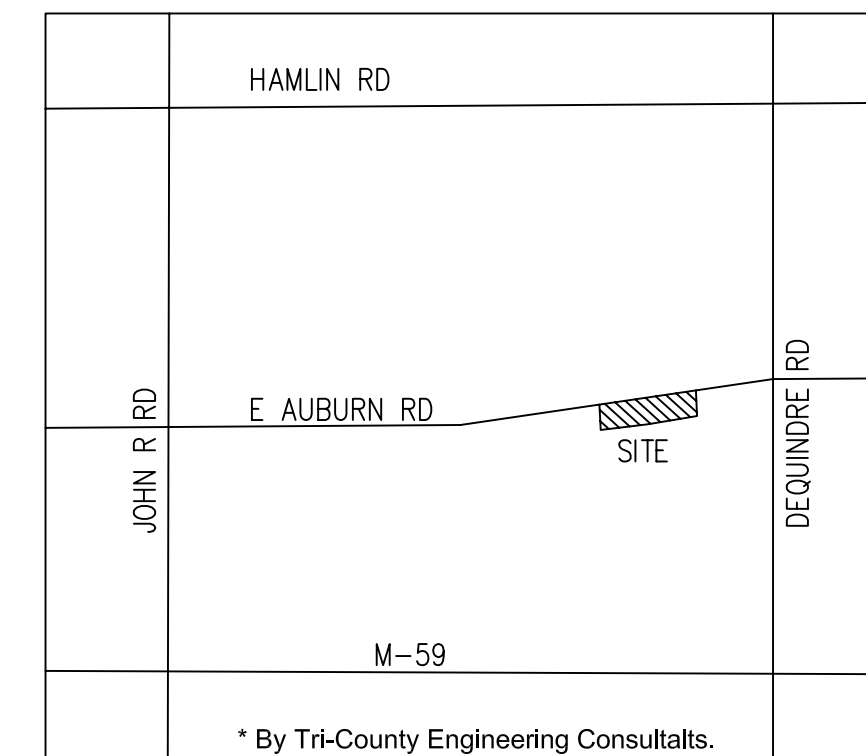
LANDSCAPE PLAN BY:
 Nagy Devlin Land Design
 31736 West Chicago Ave.
 Livonia, Michigan 48150
 (734) 634-9208



LP - 1: LANDSCAPE PLANTING PLAN

* Base data provided by Tri-County Engineering Consultalts.

CITY OF ROCHESTER HILLS FILE NUMBER: 20-022



LOCATION MAP

not to scale

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
PARKING	✕	2.7 fc	9.7 fc	0.3 fc	32.3:1	9.0:1	0.3:1
PL	+	0.1 fc	0.2 fc	0.0 fc	N/A	N/A	0.5:1
SITE	+	0.6 fc	9.7 fc	0.0 fc	N/A	N/A	0.1:1



Specifications
 CNY LED P2/P3/P4 CNY LED P2/P3
 Width: 12" 14"
 Height: 4.5" 6"
 Depth: 10" 14"
 Weight: 5.5lb 13lb

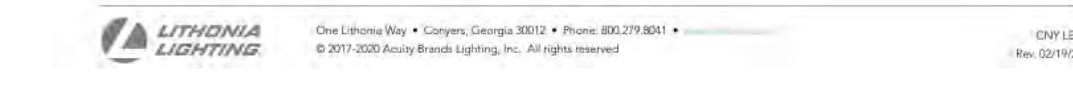
Introduction
 The CNY LED canopy luminaires are energy efficient and budget friendly, perfect for replacing up to 400W metal halide luminaires while saving up to 80% energy costs. Quick mount mechanism significantly reduces the installation time. An LED array and translucent lens create uniform and visually comfortable illumination. CNY LED luminaires are DLC Premium listed and deliver quick payback!

Ordering Information EXAMPLE: CNY LED P1 50K MVOLT DDB

Series	Performance Package	Color Temperature	Mount	Stock
CNY LED	P1 (3000K)	40K 5000K	MSD (2027V)	MSD 50K Stock
	P2 (4000K)	50K 5000K	MSD	MSD 50K Stock
	P3 (5000K)	50K 5000K	MSD	MSD 50K Stock
	P4 (6000K)	50K 5000K	MSD	MSD 50K Stock

Accessories
 1. See schedule for details.
 2. See ordering tree for details.

FEATURES & SPECIFICATIONS
INTRODUCTION: The CNY LED canopy luminaires are energy efficient and budget friendly, perfect for replacing up to 400W metal halide luminaires while saving up to 80% energy costs. Quick mount mechanism significantly reduces the installation time. An LED array and translucent lens create uniform and visually comfortable illumination. CNY LED luminaires are DLC Premium listed and deliver quick payback!
CONSTRUCTION: The CNY LED canopy luminaires are constructed from high quality materials. The luminaire housing is made of die-cast aluminum. The lens is made of polycarbonate. The luminaire is designed for easy installation and maintenance.
ELECTRICAL: The CNY LED canopy luminaires are designed for easy installation and maintenance. The luminaire is designed for easy installation and maintenance.
REQUIREMENTS: The CNY LED canopy luminaires are designed for easy installation and maintenance. The luminaire is designed for easy installation and maintenance.



Specifications
 Length: 12" 14"
 Width: 4" 6"
 Height: 10" 14"
 Weight: 5.5lb 13lb

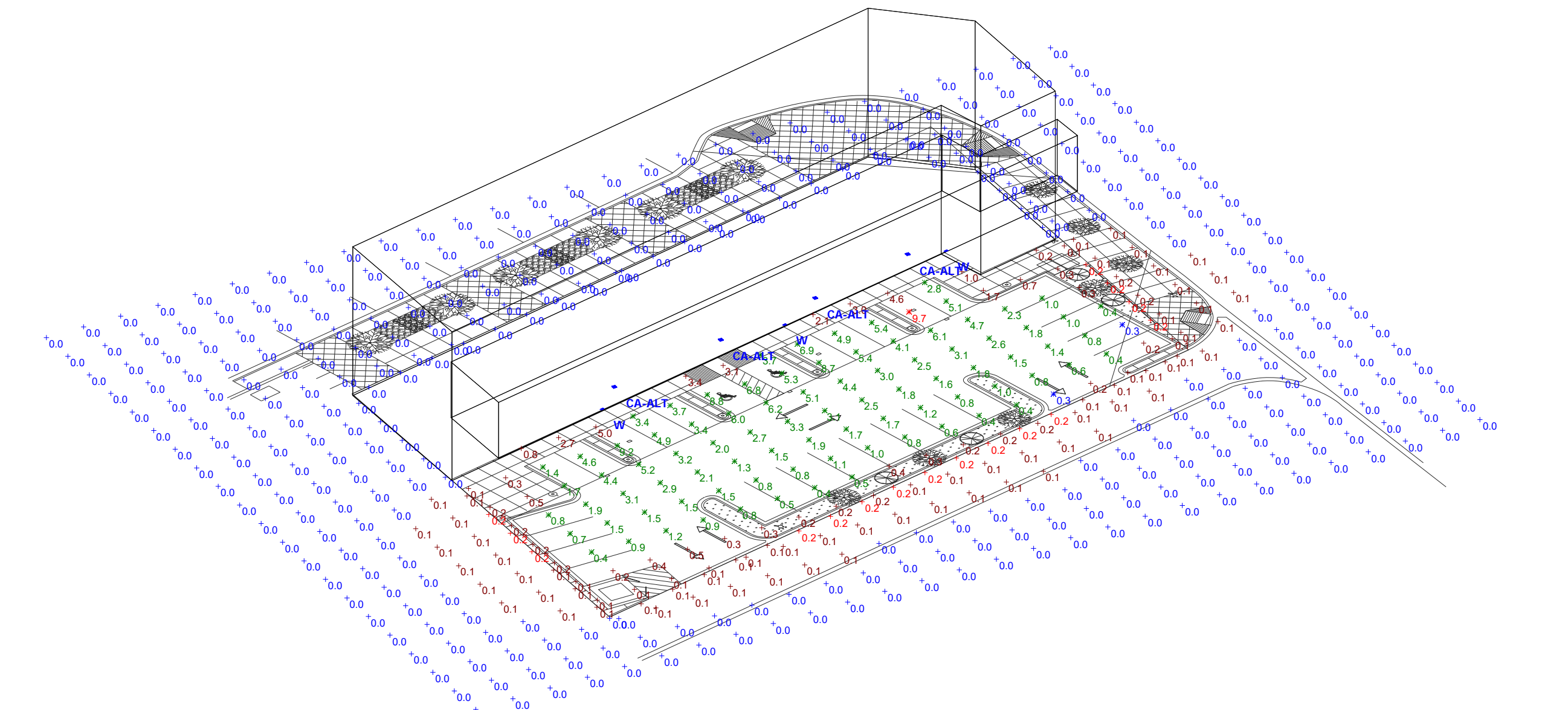
Capable Luminaire
 This item is an A+ Capable luminaire, which has been designed and tested to provide consistent color appearance and system level interoperability.
 All configurations of the luminaire meet the Acuity Brands specification for chromatic consistency.
 This luminaire is A+ Certified when ordered with DTL controls marked by a **shaded background**. DTL, DLL equipped luminaires meet the A+ specification for luminaire to photocell interoperability.
 This luminaire is part of an A+ Certified solution for RCMAT or XSense™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with **shaded background** and control options marked by a **shaded background**.
 To learn more about A+, visit www.acuitybrands.com/a-plus.
 1. See ordering tree for details.

Ordering Information EXAMPLE: KAXW LED P3 40K R3 MVOLT DDB/DX

Series	Performance Package	Color Temperature	Mount	Stock
KAXW LED	P1 (3000K)	40K 5000K	MSD (2027V)	MSD 50K Stock
	P2 (4000K)	50K 5000K	MSD	MSD 50K Stock
	P3 (5000K)	50K 5000K	MSD	MSD 50K Stock
	P4 (6000K)	50K 5000K	MSD	MSD 50K Stock

Accessories
 1. See schedule for details.
 2. See ordering tree for details.

FEATURES & SPECIFICATIONS
INTRODUCTION: The KAXW LED wall luminaires are energy efficient and budget friendly, perfect for replacing up to 400W metal halide luminaires while saving up to 80% energy costs. Quick mount mechanism significantly reduces the installation time. An LED array and translucent lens create uniform and visually comfortable illumination. KAXW LED luminaires are DLC Premium listed and deliver quick payback!
CONSTRUCTION: The KAXW LED wall luminaires are constructed from high quality materials. The luminaire housing is made of die-cast aluminum. The lens is made of polycarbonate. The luminaire is designed for easy installation and maintenance.
ELECTRICAL: The KAXW LED wall luminaires are designed for easy installation and maintenance. The luminaire is designed for easy installation and maintenance.
REQUIREMENTS: The KAXW LED wall luminaires are designed for easy installation and maintenance. The luminaire is designed for easy installation and maintenance.



South West View

Ordering Note
 FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note
 THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

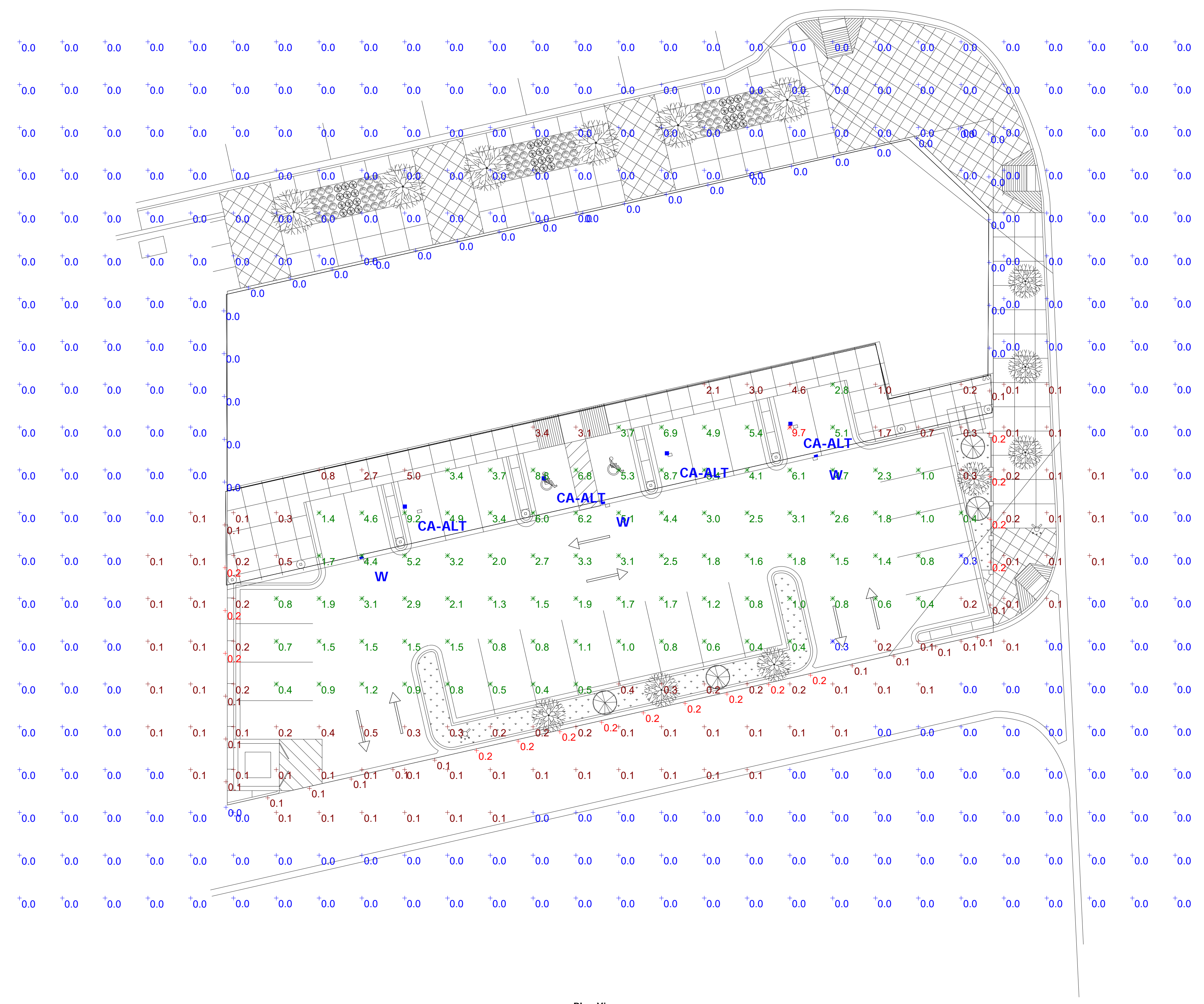
Mounting Height Note
 MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

General Note
 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.



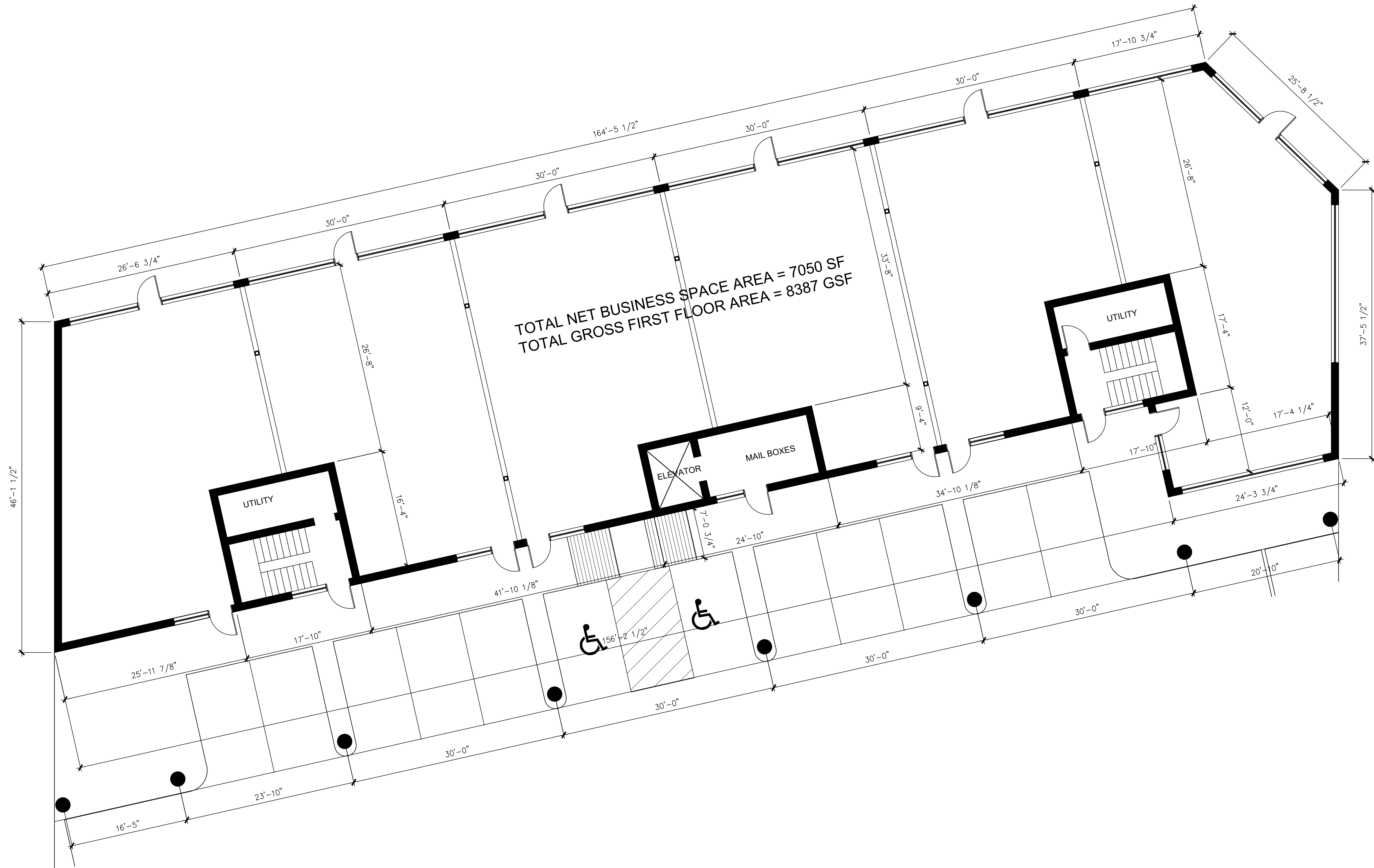
Plan View
 Scale - 1" = 15'

Schedule

Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Mounting Height
W	W	3	KAXW LED P1 40K R4 MVOLT	KAXW LED, PERFORMANCE PACKAGE 1, 4000K, TYPE 4, 120-277V	LED	1	3643	0.9	29	15'
CA-ALT	CA-ALT	4	CNY LED P2 40K MVOLT	CNY LED Canopy P2=6,600lm	LED	168	6601	0.9	51.86	14'

AUBURN ROAD OFFICE
 EXTERIOR PHOTOMETRIC SITE PLAN
 PREPARED FOR: IBI
 GASSER BUSH ASSOCIATES
 WWW.GASSERBUSH.COM

Designer
 nae
 Date
 7/13/2020
 REV. 7/16/20
 Scale
 Not to Scale
 Drawing No.
 #20-51776 V4
 1 of 1



FIRST FLOOR PLAN
 1/8" = 1'-0"

BUILDING DATA		REFERENCE MICHIGAN BUILDING CODE - 2015 (MBC-2015)	
USE GROUP	MIXED USE, NON-SEPARATED		
	ALLOWED (MBC-2015)	PROPOSED	
FIRST FLOOR AREA B (BUSINESS USE GROUP)	27,000 S.F. (MAXIMUM)	GROSS FLOOR AREA =	8387 G.S.F.
		NET BUSINESS SPACE AREA =	7050 S.F.
SECOND FLOOR AREA R-2 (RESIDENTIAL) 6 UNITS: 5 (2 BEDROOM) 1 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA =	12646 G.S.F.
THIRD FLOOR AREA R-2 (RESIDENTIAL) 4 UNITS: 4 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA =	8775 G.S.F.
BUILDING HEIGHT	3 STORIES (MAXIMUM) 60 FEET (MAXIMUM)	3 STORIES 45 FEET	
		TOTAL GROSS FLOOR AREA =	29,808 G.S.F.
TYPE OF CONSTRUCTION : V-B (ALL FLOORS SHALL BE EQUIPPED THROUGHOUT WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1, MBC 2015)			

ADDITIONAL CODE ANALYSIS TO BE ADDRESSED IN CONSTRUCTION DRAWINGS:

1. ACCESSIBLE RESIDENTIAL UNITS SHALL BE PROVIDED PER SECTION 1107, MBC-2015, AND SHALL COMPLY WITH A117.1.2009, SECTION 1004 FOR TYPE B UNITS.
2. BALCONY PROJECTIONS SHALL COMPLY WITH SECTION 705.2, 3202.3.3, MBC-2015.

PLANNING COMMISSION	01/05/2021
SITE PLAN COMMENTS -2	11/03/2020
SITE PLAN COMMENTS	10/12/2020
SITE PLAN APPLICATION	08/06/2020
CONCEPT MEETING	06/08/2020
OWNER REVIEW	05/25/2020
ISSUED FOR	DATE

FIRST FLOOR PLAN **A-01**

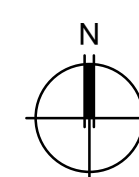
ZEENAT PLAZA
CITY FILE #20-022, SECTION 36
 LOT # 1545 - 1548 AUBURN ROAD
 ROCHESTER HILLS, MI 48307 **18007**

Turk Architects
Architects Planners Engineers

6340 PEACOCK DRIVE
 TROY, MI 48065
 T: 248-291-5168 (O)
 248-521-0961 (C)
 E: turkarchitects@gmail.com

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SECOND FLOOR PLAN
1/8" = 1'-0"

BUILDING DATA		REFERENCE MICHIGAN BUILDING CODE - 2015 (MBC-2015)	
USE GROUP	MIXED USE, NON-SEPARATED	ALLOWED (MBC-2015)	PROPOSED
FIRST FLOOR AREA B (BUSINESS USE GROUP)	27,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 8387 G.S.F. NET BUSINESS SPACE AREA = 7050 S.F.	
SECOND FLOOR AREA R-2 (RESIDENTIAL) 6 UNITS: 5 (2 BEDROOM) 1 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 12646 G.S.F.	
THIRD FLOOR AREA R-2 (RESIDENTIAL) 4 UNITS: 4 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 8775 G.S.F.	
BUILDING HEIGHT	3 STORIES (MAXIMUM) 60 FEET (MAXIMUM)	3 STORIES 45 FEET	
		TOTAL GROSS FLOOR AREA = 29,808 G.S.F.	
TYPE OF CONSTRUCTION : V-B (ALL FLOORS SHALL BE EQUIPPED THROUGHOUT WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1, MBC 2015)			

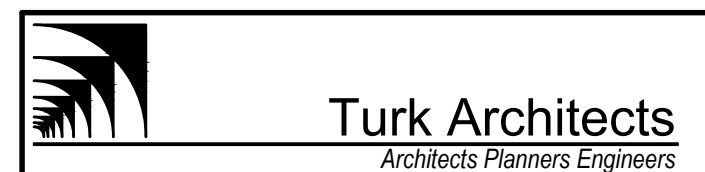
ADDITIONAL CODE ANALYSIS TO BE ADDRESSED IN CONSTRUCTION DRAWINGS:

1. ACCESSIBLE RESIDENTIAL UNITS SHALL BE PROVIDED PER SECTION 1107, MBC-2015, AND SHALL COMPLY WITH A117.1.2009, SECTION 1004 FOR TYPE B UNITS.
2. BALCONY PROJECTIONS SHALL COMPLY WITH SECTION 705.2, 3202.3.3, MBC-2015.

PLANNING COMMISSION	01/05/2021
SITE PLAN COMMENTS -2	11/03/2020
SITE PLAN COMMENTS	10/12/2020
SITE PLAN APPLICATION	08/06/2020
CONCEPT MEETING	06/08/2020
OWNER REVIEW	05/25/2020
ISSUED FOR	DATE

SECOND FLOOR PLAN A-02c

ZEENAT PLAZA
CITY FILE #20-022, SECTION 36
LOT # 1545 - 1548 AUBURN ROAD
ROCHESTER HILLS, MI 48307
18007



6340 PEACOCK DRIVE
TROY, MI 48065
T: 248-291-5168 (O)
248-521-0961 (C)
E: turkarchitects@gmail.com

STATE OF MICHIGAN
HISHAM AL TURK
ARCHITECT
No. 1301052206
ARCHITECT

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THIRD FLOOR PLAN
 1/8" = 1'-0"

BUILDING DATA		REFERENCE MICHIGAN BUILDING CODE - 2015 (MBC-2015)	
USE GROUP	ALLOWED (MBC-2015)	MIXED USE, NON-SEPARATED	
		PROPOSED	
FIRST FLOOR AREA B (BUSINESS USE GROUP)	27,000 S.F. (MAXIMUM)	GROSS FLOOR AREA =	8387 G.S.F.
		NET BUSINESS SPACE AREA =	7050 S.F.
SECOND FLOOR AREA R-2 (RESIDENTIAL) 6 UNITS: 5 (2 BEDROOM) 1 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA =	12646 G.S.F.
THIRD FLOOR AREA R-2 (RESIDENTIAL) 4 UNITS: 4 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA =	8775 G.S.F.
BUILDING HEIGHT	3 STORIES (MAXIMUM) 60 FEET (MAXIMUM)	3 STORIES	45 FEET
		TOTAL GROSS FLOOR AREA =	29,808 G.S.F.
TYPE OF CONSTRUCTION : V-B (ALL FLOORS SHALL BE EQUIPPED THROUGHOUT WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1, MBC 2015)			

ADDITIONAL CODE ANALYSIS TO BE ADDRESSED IN CONSTRUCTION DRAWINGS:

1. ACCESSIBLE RESIDENTIAL UNITS SHALL BE PROVIDED PER SECTION 1107, MBC-2015, AND SHALL COMPLY WITH A117.1.2009, SECTION 1004 FOR TYPE B UNITS.
2. BALCONY PROJECTIONS SHALL COMPLY WITH SECTION 705.2, 3202.3.3, MBC-2015.

PLANNING COMMISSION	01/05/2021
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OWNER REVIEW	05/25/2020
ISSUED FOR	DATE

THIRD FLOOR PLAN A-03c

ZEENAT PLAZA
 CITY FILE #20-022, SECTION 36

LOT # 1545 - 1548 AUBURN ROAD
 ROCHESTER HILLS, MI 48307

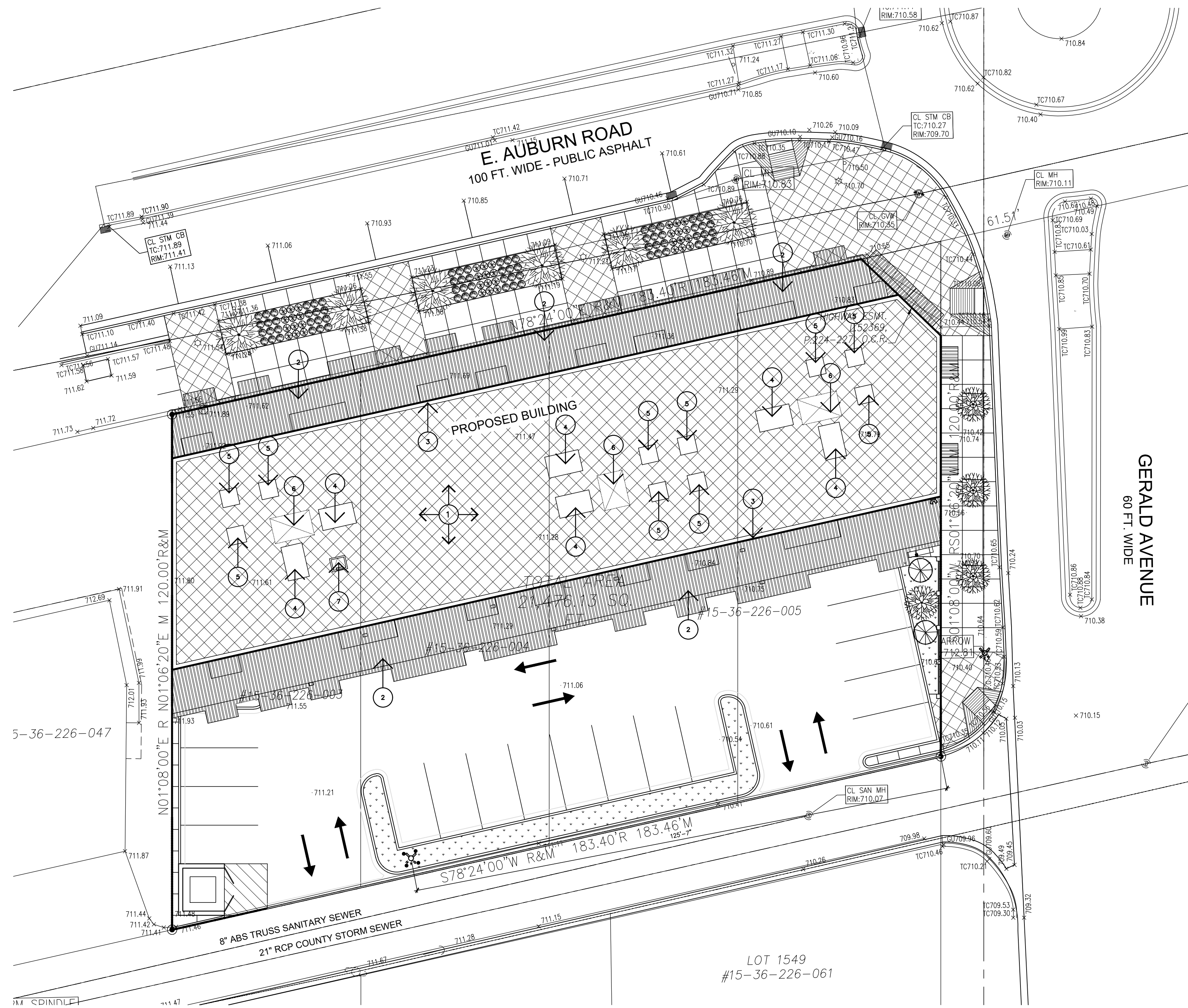
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Turk Architects
Architects Planners Engineers

6340 PEACOCK DRIVE
 TROY, MI 48065
 T: 248-291-5168 (O)
 248-521-0961 (C)
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PROPOSED ROOF PLAN
1/16" = 1'-0"

BUILDING DATA		REFERENCE MICHIGAN BUILDING CODE - 2015 (MBC-2015)	
USE GROUP	MIXED USE, NON-SEPARATED	ALLOWED (MBC-2015)	PROPOSED
FIRST FLOOR AREA B (BUSINESS USE GROUP)	27,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 8387 G.S.F.	NET BUSINESS SPACE AREA = 7050 S.F.
SECOND FLOOR AREA R-2 (RESIDENTIAL) 6 UNITS: 5 (2 BEDROOM) 1 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 12646 G.S.F.	
THIRD FLOOR AREA R-2 (RESIDENTIAL) 4 UNITS: 4 (3 BEDROOM)	21,000 S.F. (MAXIMUM)	GROSS FLOOR AREA = 8775 G.S.F.	
BUILDING HEIGHT	3 STORIES (MAXIMUM) 60 FEET (MAXIMUM)	3 STORIES	45 FEET
		TOTAL GROSS FLOOR AREA = 29,808 G.S.F.	
TYPE OF CONSTRUCTION : V-B (ALL FLOORS SHALL BE EQUIPPED THROUGHOUT WITH AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.1.1, MBC 2015)			

ADDITIONAL CODE ANALYSIS:

1. ACCESSIBLE RESIDENTIAL UNITS SHALL BE PROVIDED PER SECTION 1107, MBC-2015, AND SHALL COMPLY WITH A117.1.2009, SECTION 1004 FOR TYPE B UNITS.
2. BALCONY PROJECTIONS SHALL COMPLY WITH SECTION 705.2, 3202.3.3, MBC-2015.

DRAWING NOTES:

1. FULLY ADHERED EPDM ROOFING MEMBRANE ON 3" RIGID INSULATION BOARD.
2. STANDING SEAM METAL ROOF.
3. 3' FEET HIGH PARAPET.
4. HVAC ROOF TOP UNIT.
5. COOLING CONDENSER UNIT.
6. MECHANICAL SHAFT LOCATION.
7. ROOF ACCESS HATCH LOCATION.

FIRE DEPARTMENT NOTES:

1. AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3, MICHIGAN BUILDING CODE - 2015, SHALL BE PROVIDED THROUGHOUT THE BUILDING.
2. A KNOX KEY SYSTEM SHALL BE INSTALLED IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE FROM THE KNOX COMPANY AT knoxbox.com.
3. FIRE LANES SHALL BE DESIGNED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 503.
4. CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14.
5. OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.6.2.3.
6. FIRE DEPARTMENT CONNECTIONS SHALL NOT BE OBLSCURED OR OBSTRUCTED BY LANDSCAPING, PARKING OR BY ANY OTHER PERMANENT OR TEMPORARY MATERIALS OR DEVICE.
7. IF FIRE DEPARTMENT CONNECTION IS NOT LOCATED ON THE STREET FRONT OF THE BUILDING, A WHITE/CLEAR STROBE LIGHT SHALL BE TIED INTO THE FIRE ALARM SYSTEM AND INSTALLED OVER THE FIRE DEPARTMENT CONNECTION.
8. PROVIDE A "NO PARKING FIRE DEPARTMENT CONNECTION" SIGN OVER THE FIRE DEPARTMENT CONNECTION.
9. CLASS I STANDPIPE SYSTEM SHALL BE INSTALLED IN THE STAIRWELLS OF THE PROPOSED BUILDING IN LIEU OF FIRE APPARATUS ACCESS.
10. A NEW FIRE HYDRANT SHALL BE INSTALLED AT THE SOUTH WEST SIDE OF THE PROPERTY. (REFER TO DRAWING NOTE 11 FOR LOCATION OF THE NEW FIRE HYDRANT)

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OWNER REVIEW	05/25/2020
ISSUED FOR	DATE

ROOF PLAN	A-04
ZEENAT PLAZA	
CITY FILE #20-022, SECTION 36	
LOT # 1545 - 1548 AUBURN ROAD	
ROCHESTER HILLS, MI 48307	
18007	

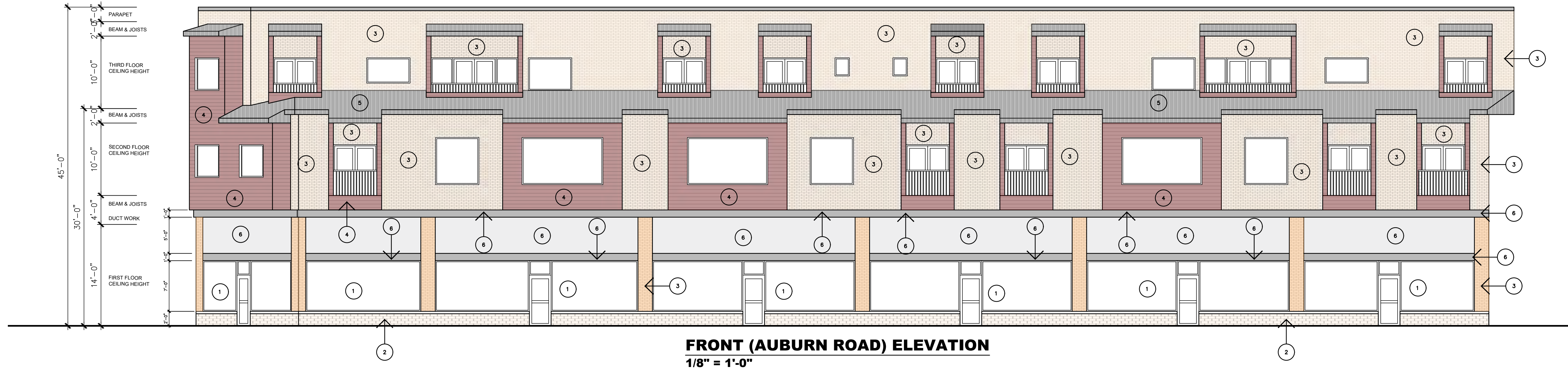
Turk Architects
Architects Planners Engineers

6340 PEACOCK DRIVE
TROY, MI 48065
T: 248-291-5168 (O)
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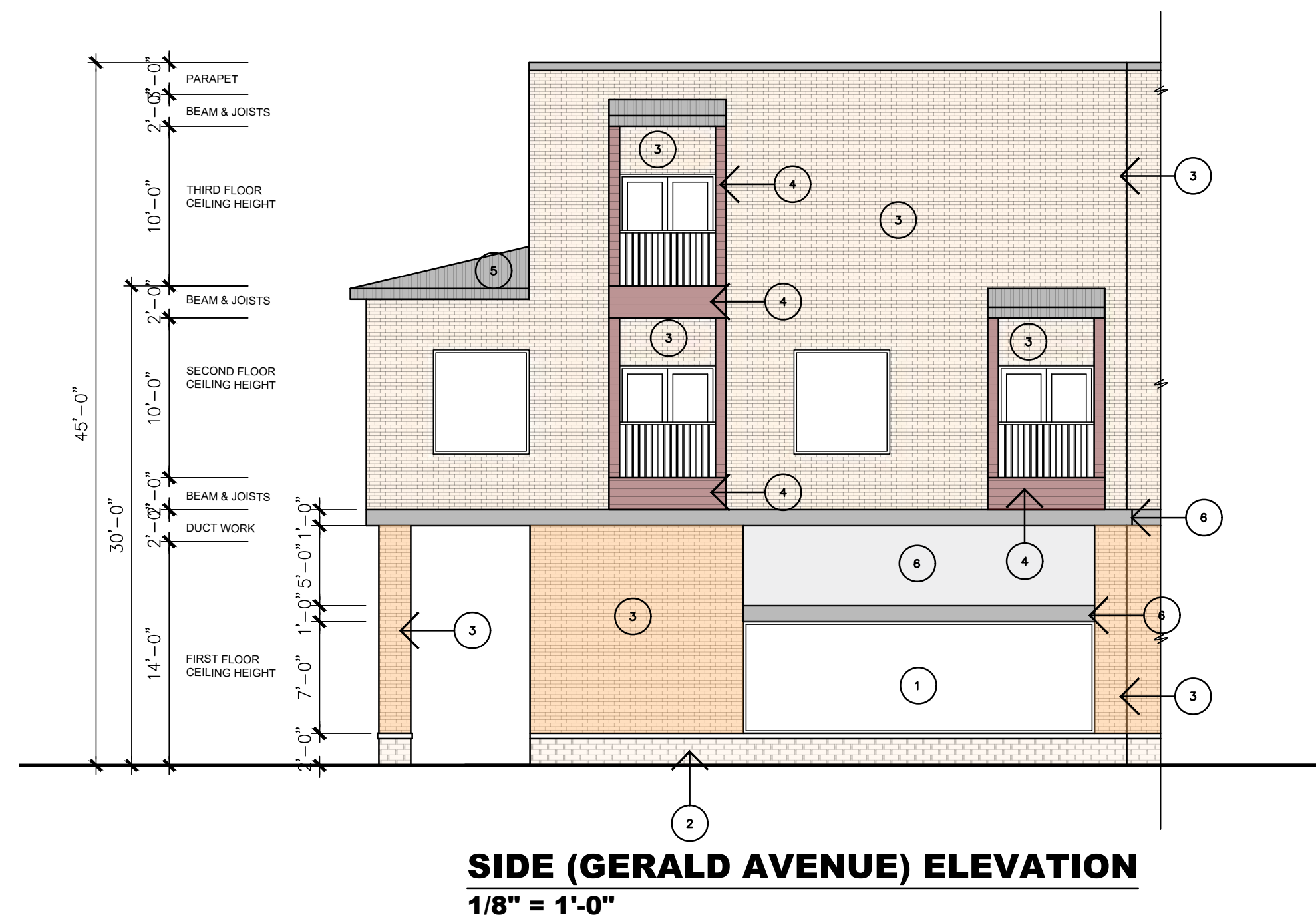
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ARCHITECT
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1/16/2021

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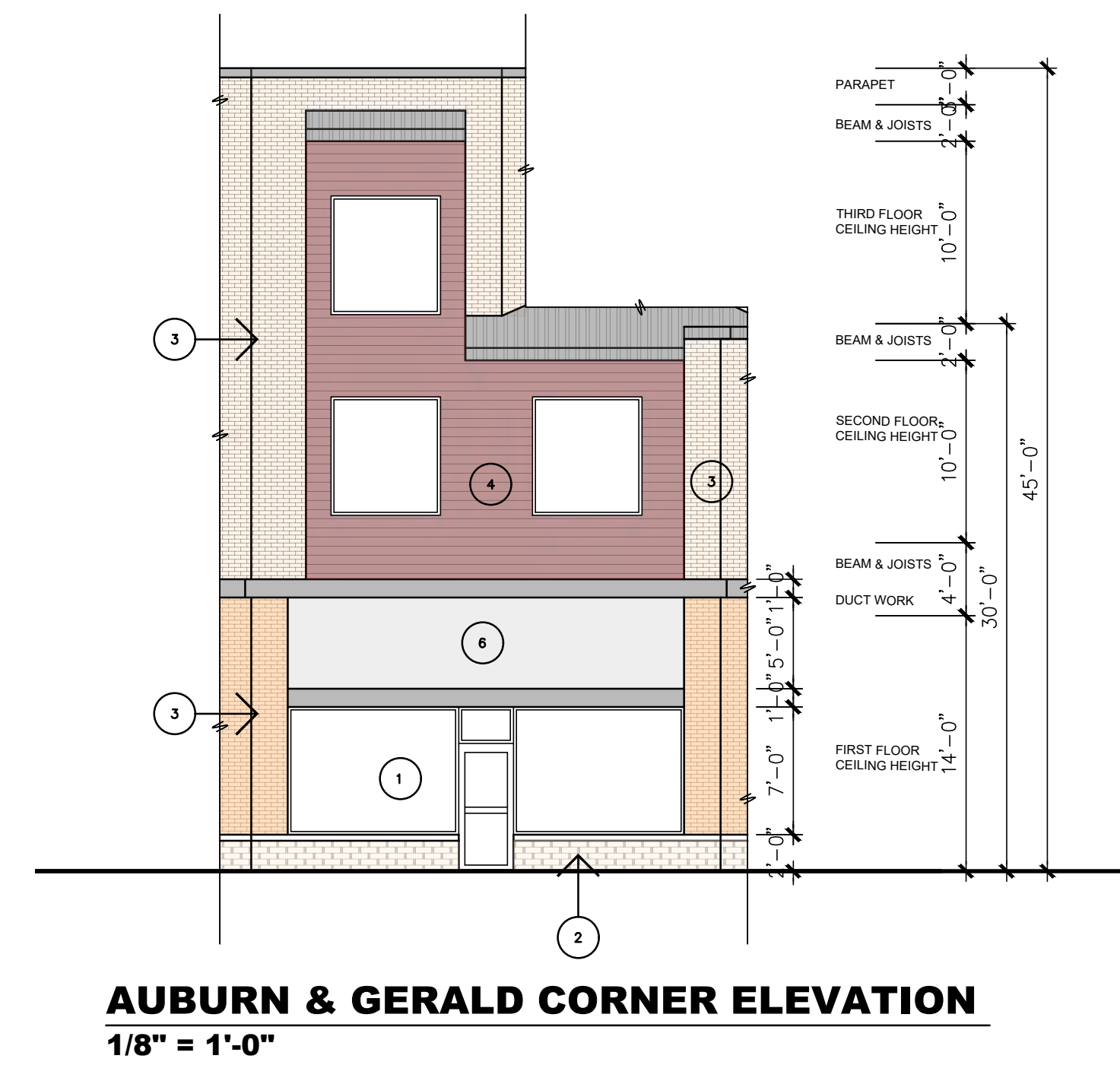
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01/05/2021



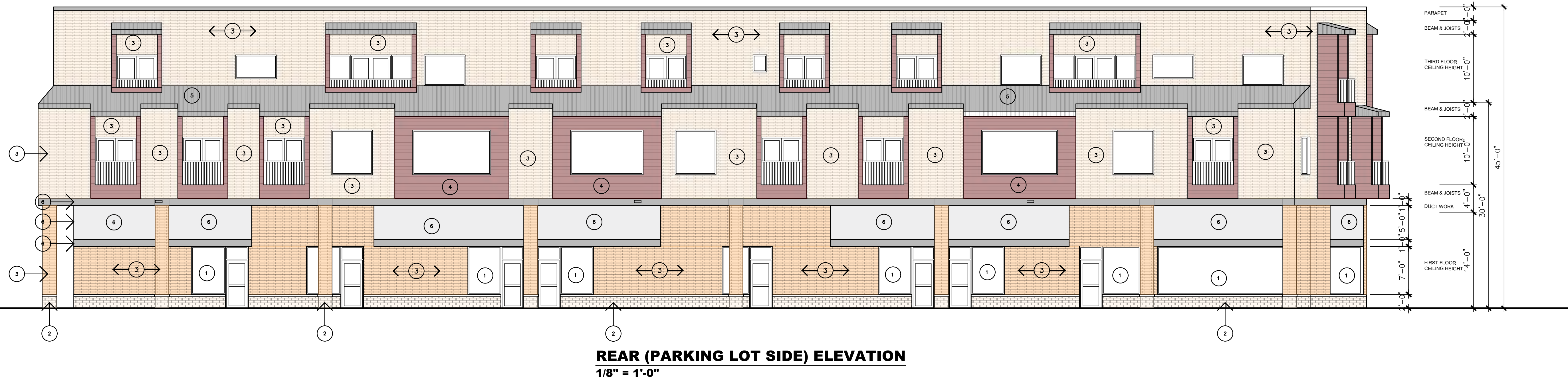
FRONT (AUBURN ROAD) ELEVATION
1/8" = 1'-0"



SIDE (GERALD AVENUE) ELEVATION
1/8" = 1'-0"



AUBURN & GERALD CORNER ELEVATION
1/8" = 1'-0"



REAR (PARKING LOT SIDE) ELEVATION
1/8" = 1'-0"

GENERAL NOTES:

- ALL NEW SIGNAGE MUST MEET CHAPTER 134 OF THE CITY CODE OF ORDINANCES AND BE APPROVED UNDER A SEPARATE PERMIT ISSUED BY THE BUILDING DEPARTMENT.

FACADE TRANSPARENCY NOTES:

- WINDOW GLAZING SHALL BE CLEAR WITH A VISIBLE LIGHT TRANSMITTANCE OF NOT LESS THAN 65% (0.65) ON GROUND FLOOR, PER GLASS MANUFACTURER SPECIFICATIONS.
- PROPOSED FACADE TRANSPARENCY AT GROUND FLOOR RETAIL USE (NON-RESIDENTIAL), ON AUBURN ROAD AND GERALD AVENUE, MEASURED BETWEEN 2 FEET AND 8 FEET ABOVE GARDE IS 85.7%, (MINIMUM 70% REQUIRED).
- WINDOW GLAZING SHALL BE CLEAR WITH A VISIBLE LIGHT TRANSMITTANCE OF NOT LESS THAN 45% (0.45) ON SECOND AND THIRD FLOORS, PER GLASS MANUFACTURER SPECIFICATIONS.
- PROPOSED FACADE TRANSPARENCY AT SECOND FLOOR RESIDENTIAL USE, ON AUBURN ROAD AND GERALD AVENUE, MEASURED FROM FLOOR TO FLOOR IS 34%, (MINIMUM 20% REQUIRED).
- PROPOSED FACADE TRANSPARENCY AT THIRD FLOOR RESIDENTIAL USE, ON AUBURN ROAD AND GERALD AVENUE, MEASURED FROM FLOOR TO FLOOR IS 27%, (MINIMUM 20% REQUIRED).

BUILDING MATERIAL NOTES:

- STORE FRONT WINDOWS AT GROUND FLOOR RETAIL SPACES.
 - STONE VENEER TOPPED WITH LIME STONE CAP.
 - BRICK VENEER.
 - COMPOSITE PANEL SYSTEM.
 - METAL ROOFING.
 - METAL PANEL SYSTEM.
- COVERAGE PERCENTAGE OF BUILDING FACADE MATERIALS AT AUBURN ROAD AND GERALD AVENUE COMBINED, BASED ON EXTERIOR WALL SURFACE AREA, EXCLUDING WINDOWS AND DOORS, ARE:
- PRIMARY BUILDING MATERIALS (BRICK VENEER, STONE VENEER AND COMPOSITE PANEL SYSTEM) ARE COVERING 65% OF THE EXTERIOR WALL SURFACE AREA. (REQUIRED MINIMUM OF 60%).
 - ACCENT BUILDING MATERIALS (METAL PANEL SYSTEM AND METAL ROOFING) ARE COVERING 35% OF THE EXTERIOR WALL SURFACE AREA. (REQUIRED MAXIMUM OF 40%).

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OWNER REVIEW	05/25/2020
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BUILDING ELEVATIONS	A-05c
ZEENAT PLAZA	
CITY FILE #20-022, SECTION 36	
LOT # 1545 - 1548 AUBURN ROAD	
ROCHESTER HILLS, MI 48307	
	18007

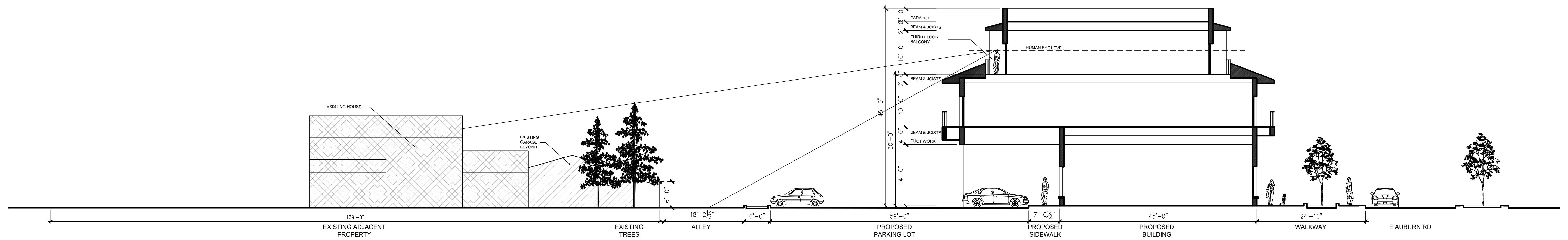
Turk Architects
Architects Planners Engineers

6340 PEACOCK DRIVE
TROY, MI 48065
T: 248-291-5168 (O)
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STATE OF MICHIGAN
HISHAM AL TURK
ARCHITECT
No. 1301052206
1/05/2021

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SITE SECTION
3/32" = 1'-0"



VIEW FROM GERALD AVE TOWARD E AUBURN RD

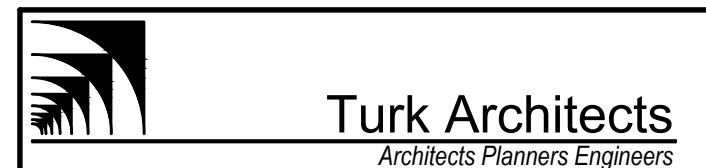


VIEW FROM E AUBURN RD TOWARD GERALD AVE

PLANNING COMMISSION	01/05/2021
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ISSUED FOR	DATE

SITE SECTION	A-06
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ZEENAT PLAZA
CITY FILE #20-022, SECTION 36
LOT # 1545 - 1548 AUBURN ROAD
ROCHESTER HILLS, MI 48307
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6340 PEACOCK DRIVE
TROY, MI 48065
T: 248-291-5168 (O)
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STATE OF MICHIGAN
HISHAM AL
TURK
ARCHITECT
No.
1301052206
ARCHITECT

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