

LOCATION MAP
NO SCALE

UTILITY CONTACTS	
TELEPHONE AT&T 54 N. MILL ST. P.O. BOX 32 PONTIAC, MI 48842	GAS CONSUMERS ENERGY GAS INFORMATION MGMT 1030 FEATHERSTONE RD. PONTIAC, MI 48342
ELECTRIC DTE 1 GS GROUP ONE ENERGY PLAZZ ROOM 510 SB DETROIT MI, 48226	WATER/SEWER CITY OF ROCHESTER HILLS (DPS) ENGINEERING 1000 ROCHESTER HILLS DR. ROCHESTER HILLS, MI. 48309 (248) 656-4685
ZONING CITY OF ROCHESTER HILLS PLANNING DEPARTMENT 1000 ROCHESTER HILLS DR. ROCHESTER HILLS, MI. 48309 (248) 656-4660	

UTILITY NOTE

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171) A MINIMUM OF THREE WORKING DAYS PRIOR TO ANY EXCAVATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

ZONING INFORMATION

ZONED - B-3 SHOPPING CENTER BUSINESS DISTRICT WITH FB-3 FLEX BUSINESS OVERLAY.

B-3 ZONING REGULATIONS
FRONT - 75' (AUBURN)
REAR - 75' (EAST/WEST)
SIDE - 75'/25' (SOUTH)

FB-3 ZONING REGULATIONS
FRONT ARTERIAL SETBACK (AUBURN) 15' MIN./25' MAX
FRONT YARD MINOR SETBACK (MEJER ACCESS DRIVE) 5' MIN./20' MAX
SIDE YARD INTERIOR SETBACK (WEST) NONE

LEGEND	
	MONUMENT / SECTION CORNER
	FOUND PROPERTY IRON
	SET PROPERTY IRON
	EXISTING CATCHBASIN
	EXISTING MANHOLE/CATCHBASIN
	EXISTING MANHOLE
	EXISTING HYDRANT
	EXISTING VALVE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATERMAIN
	EXISTING FENCE LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND GAS LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING CENTERLINE
	EXISTING OVERHEAD ELECTRICAL WIRES
	EXISTING MAILBOX / NEWSPAPER BOX
	EXISTING SIGN
	EXISTING DECIDUOUS TREES
	EXISTING CONIFEROUS TREES
	EXISTING UTILITY POWER POLE
	EXISTING TELEPHONE RISER

FURNISHED LEGAL DESCRIPTION

A PART OF THE NORTHWEST 1/4 OF SECTION 35, T-3N, R-11E, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 35, THENCE N 87°47'36" E 378.42 FEET ALONG THE NORTH LINE SAID SECTION 35 AND FOLLOWING AUBURN ROAD TO THE POINT OF BEGINNING, THENCE CONTINUING N 87°47'36" E 128.19 FEET ALONG SAID NORTH LINE AND FOLLOWING SAID AUBURN ROAD, THENCE S 02°12'24" E 33.00 FEET; THENCE ALONG A CURVE TO THE RIGHT 62.83 FEET, SAID CURVE HAVING A RADIUS OF 40.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND A LONG CHORD BEARING OF S 47°12'24" E 56.57 FEET; THENCE S 02°12'24" E 126.00 FEET; THENCE ALONG A CURVE TO THE RIGHT 271.63 FEET, SAID CURVE HAVING A RADIUS OF 186.00 FEET, A CENTRAL ANGLE OF 83°40'27" AND A LONG CHORD BEARING OF S 39°37'49" W 248.13 FEET; THENCE N 02°58'28" W 383.88 FEET TO THE POINT OF BEGINNING, CONTAINING 1.2 ACRES +/- (GROSS) OR 1.08 ACRES (NET) EXCLUDING THE NORTHERLY 60 FEET FOR THE AUBURN ROAD RIGHT OF WAY

BENCHMARKS	
B.M. #1 - GV & WELL RIM NORTHEAST CORNER OF MEJER DRIVE.	ELEV. 748.85 NAVD 88 DATUM



Bud Design & Engineering Services, Inc.
Architectural | Engineering | Interior Design
10775 S. Saginaw St., Suite B
Grand Blanc, MI 48837
(919) 810-6507
(919) 810-6505
Web: www.buddesign.com

CULVER'S
AUBURN ROAD
ROCHESTER HILLS, MI



THE CITY ENGINEER HAS REVIEWED THIS PLAN AND HAS DETERMINED THAT IT COMPLIES WITH THE REQUIREMENTS OF THE ZONING ORDINANCE AND THE SUBDIVISION ACT. HOWEVER, THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL VERIFY ALL INFORMATION AND LOCATIONS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.

THIS DOCUMENT IS THE PROPERTY OF BUD DESIGN & ENGINEERING SERVICES, INC. ALL RIGHTS RESERVED.

ISSUED FOR	DATE
SITE PLAN	06/21/16
SITE PLAN	07/18/16

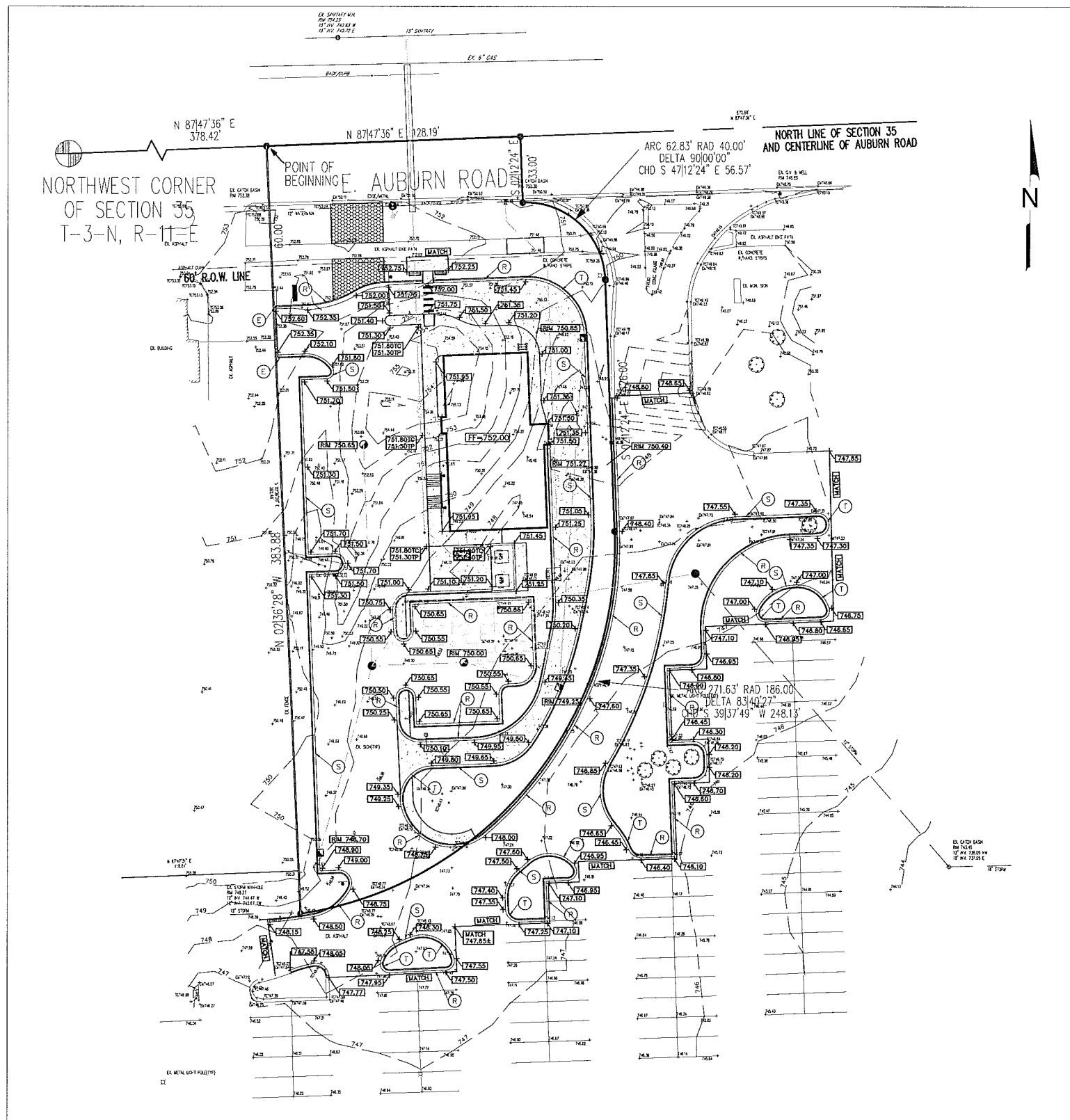
DATE:	06/09/16
DRAWN:	ACA
CHECKED:	JT
SCALE:	1"=30'
JOB NO.:	BD-16-214
SHEET TITLE:	SURVEY PLAN

SHEET
C2.0
ROCHESTER HILLS FILE #16-015

"SURVEY PROVIDED" BY:
THOMAS M. SMITH P.S.
PROFESSIONAL LAND SURVEYOR
7559 OLDE STURBRIDGE TRAIL
CLARKSTON, MICHIGAN 48348
PHONE: 248.655.3276
EMAIL: tsmith7559@yahoo.com

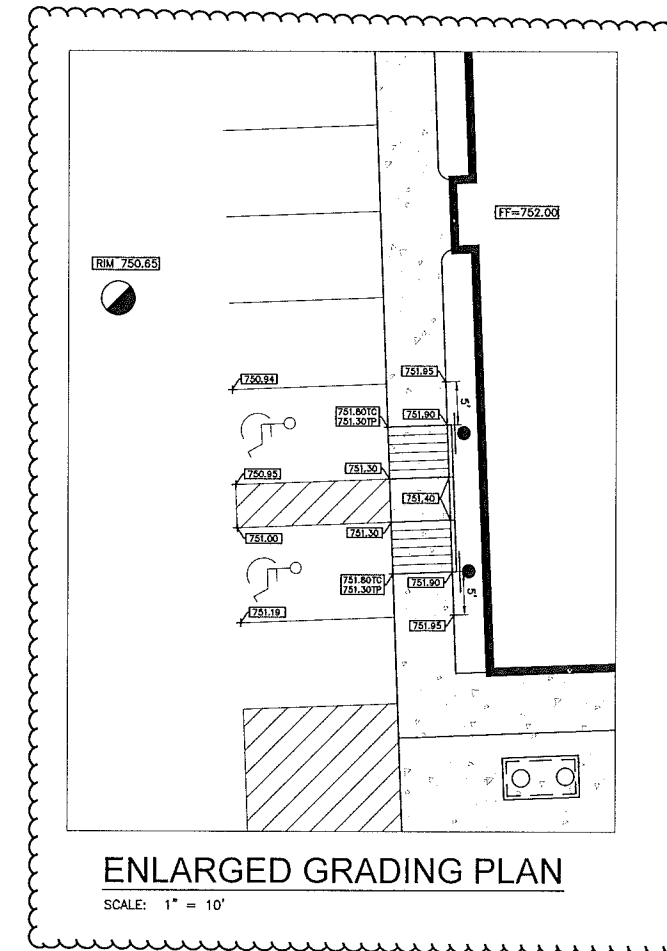
811
Know what's below.
Call before you dig.

SCALE: 1" = 30'



GRADING NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCHESTER HILLS STANDARDS AND SPECIFICATIONS.
2. SPOT ELEVATIONS INDICATE TOP OF PAVEMENT UNLESS OTHERWISE INDICATED:
 TC = TOP OF CURB
 TP = TOP OF PAVEMENT
3. CURB AND GUTTER LEGEND:
 (S) STANDARD CURB AND GUTTER
 (R) REVERSE SLOPE CURB AND GUTTER
 (T) 5' TRANSITION FROM STANDARD TO REVERSE
 (E) CURB END TRANSITION
4. REFER TO LANDSCAPE PLAN FOR LANDSCAPE TREATMENT AND PLACEMENT.



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 Web: www.budesign.com

CULVER'S
 AUBURN ROAD
 ROCHESTER HILLS, MI



WE HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAN WAS PREPARED BY US OR UNDER OUR CLOSE PERSONAL SUPERVISION AND TO THE BEST OF OUR KNOWLEDGE AND BELIEF IT COMPLIES WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS. WE WILL BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS ON THIS PLAN. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT OUR WRITTEN CONSENT. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY US IN WRITING. THIS PLAN IS THE PROPERTY OF BUD DESIGN & ENGINEERING SERVICES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT OUR WRITTEN PERMISSION.

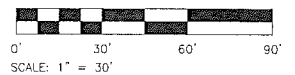
ISSUED FOR	DATE
SITE PLAN	08/21/16
SITE PLAN	07/19/16

DATE: 06/09/16
 DRAWN: ACA
 CHECKED: JT
 SCALE: 1"=30'
 JOB NO.: BD-16-214
 SHEET TITLE:
GRADING PLAN

SHEET
C4.0
 ROCHESTER HILLS FILE #16-015



Know what's below.
 Call before you dig.



Chamber Model -
Units -

Number of chambers -
Vooids in the stone (porosity) -
Base of Stone Elevation -
Amount of Stone Above Chambers -
Amount of Stone Below Chambers -
Area of system -

SC-740	Imperial	58	40	744.65	12	0	2452
		%	ft	in	in	in	sf Min. Area - 1981 sf min. area

Include Perimeter Stone in Calculations.



Height of System (inches)	Incremental Single Chamber (cubic feet)	Incremental Total Chamber (cubic feet)	Incremental Stone (cubic feet)	Incremental Ch & S1 (cubic feet)	Cumulative Chamber (cubic feet)	Elevation (feet)
51	0.00	0.00	81.73	81.73	5767.49	748.50
50	0.00	0.00	81.73	81.73	5685.76	748.82
49	0.00	0.00	81.73	81.73	5604.02	749.15
48	0.00	0.00	81.73	81.73	5522.29	749.48
47	0.00	0.00	81.73	81.73	5440.56	749.81
46	0.00	0.00	81.73	81.73	5358.82	750.14
45	0.00	0.00	81.73	81.73	5277.09	750.47
44	0.00	0.00	81.73	81.73	5195.36	750.80
43	0.00	0.00	81.73	81.73	5113.62	751.13
42	0.00	0.00	81.73	81.73	5031.89	751.46
41	0.00	0.00	81.73	81.73	4950.16	751.79
40	0.00	0.00	81.73	81.73	4868.42	752.12
39	0.05	3.19	80.46	83.65	4786.69	752.45
38	0.16	7.95	77.95	87.40	4703.04	752.78
37	0.28	16.35	75.19	91.54	4619.36	753.11
36	0.60	35.03	67.72	102.75	4524.09	753.44
35	0.80	48.50	63.13	109.63	4421.34	753.77
34	0.95	55.14	59.88	114.82	4311.71	754.10
33	1.07	62.32	56.80	119.13	4196.89	754.43
32	1.18	68.47	54.35	122.81	4077.77	754.76
31	1.27	73.41	52.37	125.78	3954.95	755.09
30	1.36	78.59	50.30	128.69	3829.17	755.42
29	1.45	84.34	48.00	132.34	3700.29	755.75
28	1.52	88.43	46.36	134.79	3567.95	756.08
27	1.58	91.77	45.02	136.80	3433.16	756.41
26	1.64	95.25	43.63	138.88	3296.36	756.74
25	1.70	98.57	42.30	140.88	3157.47	757.07
24	1.75	101.67	41.07	142.74	3016.60	757.40
23	1.80	104.56	39.91	144.47	2873.86	757.73
22	1.85	107.59	38.70	146.29	2729.39	758.06
21	1.89	109.80	37.81	147.61	2583.10	758.39
20	1.93	112.17	36.86	149.04	2435.49	758.72
19	1.97	114.55	35.91	150.46	2286.45	759.05
18	2.01	116.58	35.10	151.68	2135.99	759.38
17	2.04	118.61	34.29	152.90	1984.31	759.71
16	2.07	120.35	33.59	153.94	1831.41	760.04
15	2.10	122.08	32.90	154.98	1677.47	760.37
14	2.13	123.64	32.28	155.92	1522.49	760.70
13	2.16	124.92	31.76	156.69	1366.57	761.03
12	2.18	126.27	31.23	157.50	1209.88	761.36
11	2.20	127.50	30.73	158.24	1052.38	761.69
10	2.21	128.02	30.52	158.55	894.15	762.02
9	0.00	0.00	81.73	81.73	735.60	762.35
8	0.00	0.00	81.73	81.73	653.87	762.68
7	0.00	0.00	81.73	81.73	572.13	763.01
6	0.00	0.00	81.73	81.73	490.40	763.34
5	0.00	0.00	81.73	81.73	408.67	763.67
4	0.00	0.00	81.73	81.73	326.93	764.00
3	0.00	0.00	81.73	81.73	245.20	764.33
2	0.00	0.00	81.73	81.73	163.47	764.66
1	0.00	0.00	81.73	81.73	81.73	764.99

PROPOSED DEVELOPED CONDITIONS
DRAINAGE AREA
A₁ = 0.934 ACRES
C₁₀ = 0.78

REQUIRED DETENTION VOLUME (25-YEAR EVENT)

Q₁₀ = 0.2 cfs / acre
Q₁₀ = 0.19 CFS/AC-IMP

Q₂₅ = (Q₁₀)(A₁^{0.78})
Q₂₅ = 0.255 CFS

T₂₅ = -25 + (8062.5/Q₂₅)^{0.2}
T₂₅ = 152.84 min

V₂₅ = [(12900 * T₂₅) / (T₂₅ + 25)] - 40(Q₂₅)(T₂₅)
V₂₅ = 9,528 FT³

V₁₅ = (V₂₅)(A₁^{0.78})
V₁₅ = 6,983 FT³

EXISTING DRAINAGE
RUNOFF DIRECTED TO REGIONAL BASIN
(Atwell-Hicks "As Built" plans from City File 05-037)
DRAINAGE AREA
Area noted as "3474" on Atwell-Hicks plans
A₁ = 0.280 ACRES
C₁₀ = 0.40 Runoff Coefficient from Johnson Drain plans

REQUIRED DETENTION VOLUME (25-YEAR EVENT)

Q₁₀ = 0.2 cfs / acre
Q₁₀ = 0.08 CFS/AC-IMP

Q₂₅ = (Q₁₀)(A₁^{0.78})
Q₂₅ = 0.500 CFS

T₂₅ = -25 + (8062.5/Q₂₅)^{0.2}
T₂₅ = 101.98 min

V₂₅ = [(16500 * T₂₅) / (T₂₅ + 25)] - 40(Q₂₅)(T₂₅)
V₂₅ = 11,212 FT³

V₁₅ = (V₂₅)(A₁^{0.78})
V₁₅ = 1,256 FT³

REQUIRED DETENTION
Required detention is the difference between the existing conditions and the proposed conditions
Proposed Conditions = 6,983 FT³
Existing Conditions = 1,256 FT³
Required Detention = 5,728 FT³

REQUIRED DISCHARGE

Q = 0.255 cfs
ELEV_{DET} = 744.65 (Underground Detention)

ELEV_{DISCHARGE} = 743.50 (New MH Connection)

h_{AVE} = (ELEV_{DET} - ELEV_{DISCHARGE})
h_{AVE} = 1.15 FT

A = Q / (0.62 * (2 * g * h_{AVE})^{0.5})
A = 0.05 FT²
D = 3.0
3.0 INCH DIA. SCH 80 PVC @ 1.50%

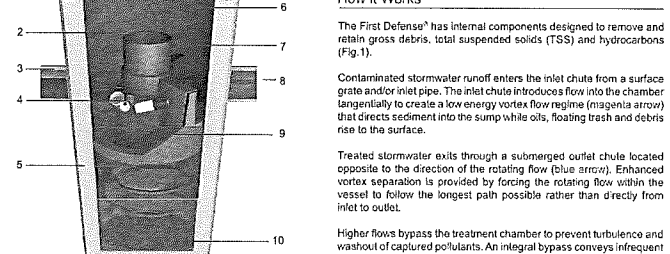


First Defense®

Cost-effective stormwater treatment with adaptability to meet demanding site requirements

Product Profile
The First Defense® is an enhanced vortex separator that combines an effective and economical stormwater treatment chamber with an integral peak flow bypass. It efficiently removes sediment total suspended solids (TSS), trash and hydrocarbons from stormwater runoff without washing out previously captured pollutants. The First Defense® is available in several model configurations to accommodate a wide range of pipe sizes, peak flows and depth constraints (Table 1, next page).

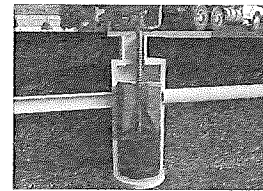
- Applications**
- Stormwater treatment at the point of entry into the drainage line
 - Sites constrained by space, topography or drainage profiles with limited slope and depth of cover
 - Retrofit installations where stormwater treatment is placed on or tied into an existing storm drain line
 - Pre-treatment for filters, infiltration and storage



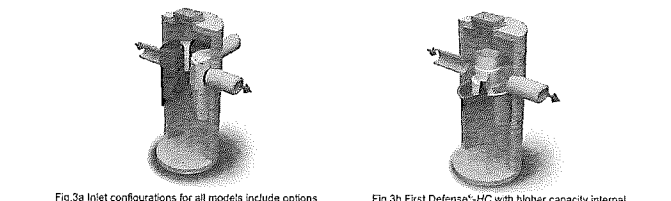
How it Works
Contaminated stormwater runoff enters the inlet chutes from a surface grate and/or inlet pipe. The inlet chute introduces a flow into the chamber tangentially to create a low energy vortex flow regime (magenta arrow) that directs sediment into the sump while oils, floating trash and debris rise to the surface.
Treated stormwater exits through a submerged outlet chute located opposite to the direction of the rotating flow (blue arrow). Enhanced vortex separation is provided by forcing the rotating flow within the vessel to follow the longest path possible rather than directly from inlet to outlet.
Higher flows bypass the treatment chamber to prevent turbulence and washout of captured pollutants. An integral bypass conveys infrequent peak flows directly to the outlet chute, eliminating the need for, and expense of, external bypass control structures. A floatables draw off slot functions to convey floatables into the treatment chamber prior to bypass.

First Defense®

Maintenance
The First Defense® needs minimal maintenance, but like all structural best management practices maintenance is necessary for the long-term protection of the environment.
Sediments captured by the First Defense® are stored in the sump; floatable trash and hydrocarbons are stored on the surface of the standing water. A commercially or municipally owned sump-vac is used to remove captured sediment and floatables (Fig. 2).
More information can be found in the First Defense® Operation and Maintenance Manual, available at <http://www.hydro-int.com/products/first-defense>.

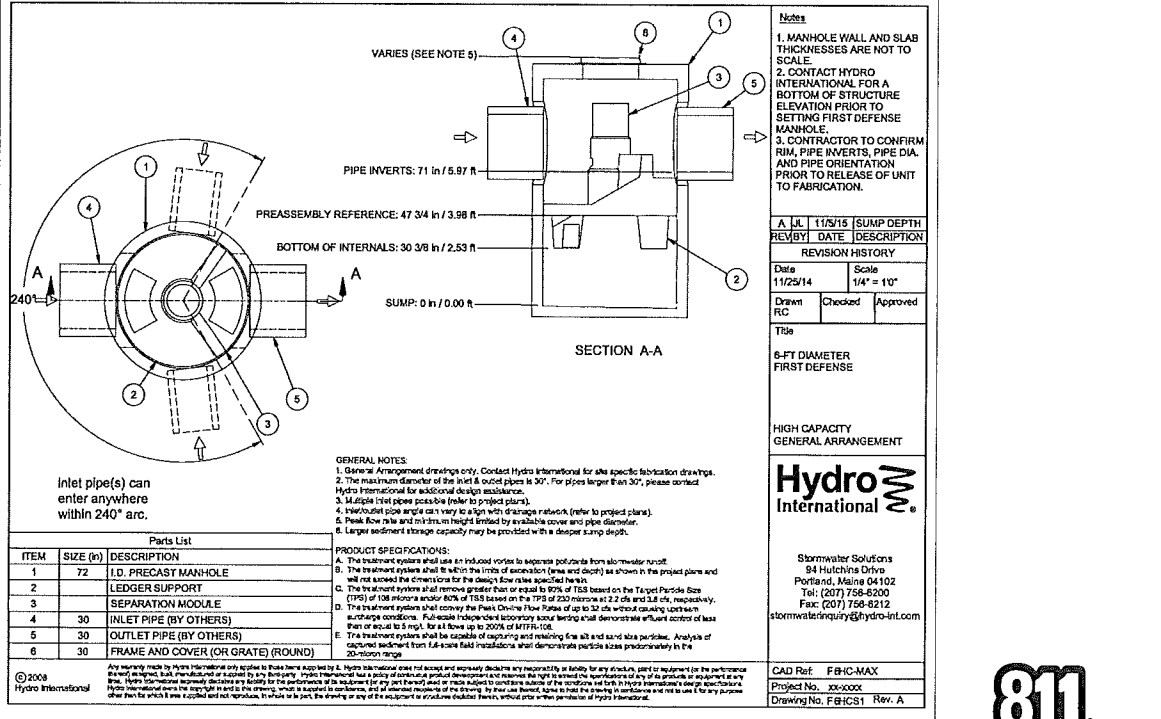


First Defense® Sizing & Design
Design Options for Inlet and Internal Bypass Arrangements
For maximum flexibility the First Defense® inlet and internal bypass arrangements are available in two configurations (Fig. 3a & 3b). Model parameters and design criteria are shown in Table 1.



First Defense® Model Number	Diameter (ft)	Typical Flow Rates for TSS Treatment		Peak Flow Rate (cfs)	Maximum Pipe Diameter (in)	Oil Storage Capacity (gal)	Typical Sediment Storage Capacity (yd ³)	Minimum Distance from Top of Rtn ¹ (ft)	Standard Distance from Outlet Invert to Sump Floor (ft)
		(ft ³ /min)	(cfs)						
FD-4	4 / 1.2	0.7 / 20	1.2 / 34	6 / 170	18 / 450	180 / 661	1.3 / 1.0	3.1 / 1.1	5.47 / 1.7
FD-HC	6 / 1.8	2.2 / 63	3.8 / 108	18 / 510	24 / 600	191 / 723	3.3 / 2.5	2.3 - 3.9 / 0.7 - 1.2	6.52 / 2.0
FD-6	6 / 1.8	2.2 / 63	3.8 / 108	18 / 510	24 / 600	420 / 1,590		4.0 / 1.2	
FD-6HC	6 / 1.8	2.2 / 63	3.8 / 108	32 / 908	30 / 750	496 / 1,878		3.0 - 5.1 / 0.9 - 1.6	

¹Contact Hydro International when larger pipe sizes are required.
²Contact Hydro International when custom sediment storage capacity is required.
³The minimum distance for the HC and 6HC models depends on pipe diameter.
Hydro International, 84 Hutchins Drive, Portland, ME 04102
Tel: (207) 756-6200 Fax: (207) 756-6212
Email: stormwaterinquiry@hydro-int.com Web: www.hydro-int.com
Stormwater Solutions Turning Water Around...®
FDS151602F



Bud Design & Engineering Services, Inc.
Architectural Engineering Interior Design
10775 S. Englewood St. Suite 8
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(734) 810-6350 (D)
(734) 810-6950 (F)
Web: www.budesign.com

CULVER'S
AUBURN ROAD
ROCHESTER HILLS, MI



WE CAN HELP YOU DESIGN AND CONSTRUCT THE BEST STORMWATER MANAGEMENT SYSTEM FOR YOUR PROJECT. OUR EXPERTS CAN ASSIST YOU IN THE SELECTION OF THE MOST EFFECTIVE AND ECONOMICAL SOLUTION FOR YOUR SITE. WE OFFER A FULL RANGE OF SERVICES INCLUDING DESIGN, CONSTRUCTION AND MAINTENANCE. CONTACT US TODAY FOR A FREE CONSULTATION.

ISSUED FOR	DATE
SITE PLAN	07/18/16

811
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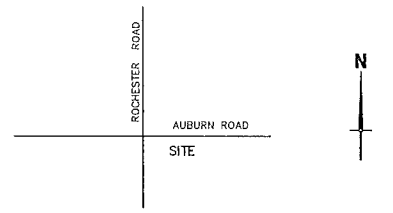
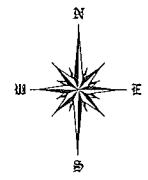
SCALE: 1" = 30'

DATE: 06/06/16
DRAWN: ACA
CHECKED: JT
SCALE: 1" = 30'
JOB NO: 60-16-214
SHEET TITLE:
STORM MANAGEMENT PLAN
SHEET
C5.1
ROCHESTER HILLS FILE #16-015

NORTHWEST CORNER
SECTION 35
T3N., R1E
378.42' N 87°47'36" E

EX. SANITARY MAIN
12" DIA. 740.83 W
15" DIA. 740.70 E
15" SANITARY
EX. 6" GAS
BACKCULVER

E. AUBURN ROAD
120 FT. PROP. RIGHT-OF-WAY



LOCATION MAP
NO SCALE



SCALE: 1" = 30'

LEGAL DESCRIPTION:

A PART OF THE NORTHWEST 1/4 OF SECTION 35, T3N, R1E, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 35, THENCE N 87°47'36" E 378.42 FEET ALONG THE NORTH LINE OF SAID SECTION 35 AND FOLLOWING AUBURN ROAD TO THE POINT OF BEGINNING, THENCE CONTINUING N 87°47'36" E 128.19 FEET ALONG SAID NORTH LINE AND FOLLOWING SAID AUBURN ROAD; THENCE S 02°12'24" E 33.00 FEET; THENCE ALONG A CURVE TO THE RIGHT 62.83 FEET, SAID CURVE HAVING A RADIUS OF 40.00 FEET, A CENTRAL ANGLE OF 90°00'00" AND A LONG CHORD BEARING OF S 47°12'24" E 56.57 FEET; THENCE S 02°12'24" E 126.00 FEET; THENCE ALONG A CURVE TO THE RIGHT 271.63 FEET, SAID CURVE HAVING A RADIUS OF 186.00 FEET, A CENTRAL ANGLE OF 83°40'27" AND A LONG CHORD BEARING OF S 39°37'49" W 248.13 FEET; THENCE N 02°36'28" W 383.88 FEET TO THE POINT OF BEGINNING. CONTAINING 1.2 ACRES(GROSS) OR 1.08 ACRES (NET) EXCLUDING THE NORTHERLY 60 FEET FOR THE AUBURN ROAD RIGHT OF WAY.

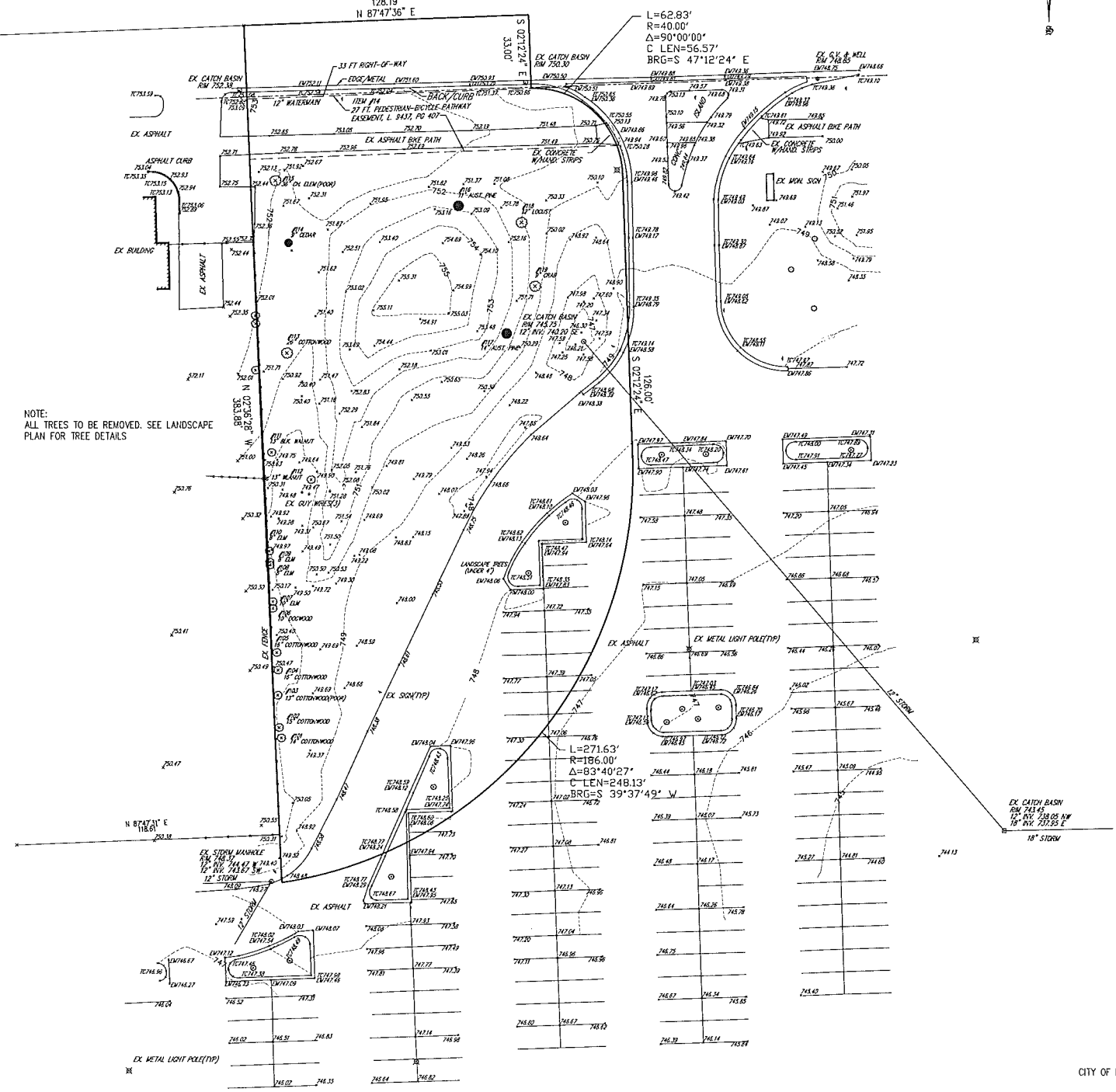
NOTE:
ALL TREES TO BE REMOVED. SEE LANDSCAPE PLAN FOR TREE DETAILS

SURVEYORS CERTIFICATE:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY DESCRIBED HEREON THAT THE PROPERTY LINES ARE AS SHOWN.

Thomas M. Smith
THOMAS M. SMITH

R.L.S. No. 31606



LEGEND

- EX. GRADE
- EX. INDEX CONTOUR
- EX. CONTOUR
- EX. WATER MAIN
- EX. STORM SEWER
- EX. SANITARY SEWER
- EX. OVERHEAD
- EX. GAS
- EX. UNDERGROUND
- EX. FENCE
- EX. RAILROAD
- EX. WALL
- EX. Q OF DITCH
- EX. WETLAND
- HYDRANT
- CATCH BASIN
- MANHOLE
- SIGN
- GATE VALVE
- LIGHT POLE
- UTILITY POLE
- METAL LIGHT POLE
- TOP OF BERM
- TOE OF BERM
- TREE TAG
- TOP OF CURB
- CUTTER
- TOP OF ASPHALT
- TOP OF WALK
- TOP OF WALL
- FOUND IRON ROD
- SET IRON ROD
- FOUND IRON PIPE
- ASPHALT
- CONCRETE

TOPO. NOTES:

- ALL ELEVATIONS ARE EXISTING ELEVATIONS
- SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD ZONE
- THE LOCATION OF THE EXISTING UTILITIES AS SHOWN WERE OBTAINED FROM MUNICIPAL AND UTILITY COMPANIES RECORDS. NO GUARANTEE CAN BE MADE REGARDING THE COMPLETENESS OR EXACTNESS OF THE UTILITIES LOCATION. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY IN THE FIELD THE LOCATION OF ALL UTILITIES. ANY POTENTIAL CONFLICT SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT MISS DIG 3 WORKING DAYS PRIOR TO CONSTRUCTION.

CITY OF ROCHESTER HILLS FILE #16-015

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THOMAS M. SMITH P.S. PROFESSIONAL LAND SURVEYOR 7559 OLDE STURBRIDGE TRAIL CLARKSTON, MICHIGAN 48348 tsmith7559@yahoo.com PHONE: (248) 625-3276	
PROJECT CULVERS ROCHESTER HILLS, MI	DRAWN BY: TMS CHECKED BY: TMS APPROVED BY: TMS SCALE HORIZ. 1"=30' SCALE VERT. N/A
ISSUED FOR: 7-11-16-LEGAL ISSUED FOR: ISSUED FOR: ISSUED FOR: ISSUED FOR: ISSUED FOR:	TITLE TOPOGRAPHIC/TREE SURVEY CLIENT ZIELKE
DATE 07-12-16 PROJECT No. 16-134 SHEET No. 1 of 1	

LANDSCAPE PLANTING NOTES:

- PLANTING**
- Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by the City of Rochester Hills, Michigan.
 - The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
 - The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
 - Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
 - Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
 - The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
 - When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
 - Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Perennial beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Only natural color, finely shredded hardwood bark mulch will be accepted.
 - Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems. All tree wrap, stakes, and guys are to be removed after one (1) winter season.
 - All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
 - Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
 - All lawn areas shall be seeded with the Grade A Kentucky Blue Grass blend as specified over the topsoil.
 - All plantings shall be completed no later than November 30 in the fall season. The date of intended installation for landscape plant materials is approximately Spring, 2017. Plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
 - Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.

- MATERIAL**
- Required landscape material shall satisfy the criteria of the *American Association of Nurserymen Standards for Nursery Stock* and be:
 - Northern nursery grown;
 - State Department of Agriculture inspected;
 - No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted);
 - Staked, wrapped, watered, and mulched according to the details provided; and
 - Guaranteed for one (1) year.
 - Topsoil shall be friable, fertile soil of clay loam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.

LANDSCAPE CALCULATIONS:

- PARKING LOT LANDSCAPING (27,626 square feet)**
- Interior landscaping areas equivalent to five percent (5%) of the vehicular use area
 - 27,626 sq. ft. times 0.05 equals 1,382 sq. ft. required
 - One (1) deciduous shade tree shall be required for each 150 sq. ft. of required interior landscape area - 1,382 divided by 150 equals 9.2 trees or 10 trees
- PERIMETER LANDSCAPING ALONG AUBURN ROAD (159 lineal feet)**
- One (1) deciduous shade tree for each twenty-five lineal feet (25 L.F.) = 6.72 trees or 7 trees
 - One (1) ornamental tree for each thirty-five lineal feet (35 L.F.) = 4.88 trees or 5 trees
 - Fifteen (15) shrubs for each one-hundred lineal feet (100 L.F.) = 23.85 shrubs or 24 shrubs
- PERIMETER LANDSCAPING ALONG MEIJER ROAD (350 lineal feet)**
- Three (3) ornamental trees for each one-hundred lineal feet (100 L.F.) = 10.5 trees or 11 trees
 - Eight (8) shrubs for each one-hundred lineal feet (100 L.F.) = 28 shrubs
- RIGHT-OF-WAY LANDSCAPING (159 lineal feet)**
- One (1) deciduous shade tree for each thirty-five lineal feet (35 L.F.) = 4.54 trees or 5 trees
 - One (1) ornamental tree for each sixty lineal feet (60 L.F.) = 2.65 trees or 3 trees

- The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Sheri/Adelphi" @ sixty percent (60%), Chewing Fescue @ twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Perennial Rye Grass @ five percent (5%). Weed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
 - Sod shall be two (2) year old "Baron/Sheri/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
 - Proposed perennials shall be full, well-rooted plants.
- GENERAL**
- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
 - The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
 - The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
 - All landscape areas shall be irrigated by an automatic underground irrigation system.
 - All written dimensions override scale dimensions on the plans.
 - All substitutions or deviations from the landscape plan must be approved by the City of Rochester Hills prior to installation.
 - All bidders must inspect the site and report any discrepancies to the Owner's representative.
 - All specifications are subject to change due to existing conditions.
 - The Owner's representative reserves the right to approve all plant material.

- MAINTENANCE**
- The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
 - All unhealthy, damaged, diseased, and/or dead material shall be removed immediately and replaced within six (6) months after it dies or in the next growing season. The planting season for deciduous plants shall be between March 1 and June 1 and from October 1 until the prepared soil becomes frozen. The planting season for evergreen plants shall be between March 1 and June 1. Plant material installed to replace dead or diseased material shall be as close as practical to the size of the material it is intended to replace. The City may notify property owners of the need to replace dead, damaged, or diseased material.
 - The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), watering, and snow removal during winter. Pruning shall be minimal at the time of installation, only to remove dead or diseased branches. Subsequent pruning will assure proper maturation of plants to achieve their approved purpose.
 - The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
 - Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
 - All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
 - The approved landscape plan will be considered a permanent record and integral part of the Site Plan Approval. Unless otherwise approved in accordance with the aforementioned procedures, any revisions to or removal of plant materials, or non-compliance with the maintenance requirements in Section 138-12.109 of the City Ordinance will place the parcel in non-conformity with the approved landscape plan and be a violation of the ordinance.

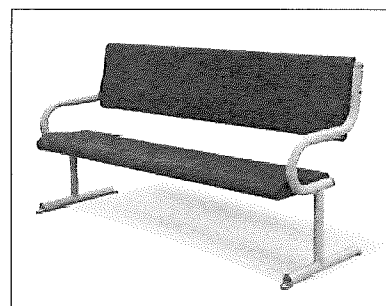
PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
PARKING LOT LANDSCAPING				
PCS	7	<i>Pyrus calleryana</i> 'Cleveland Select'	Cleveland Select Callery Pear	3" cal. B&B
TC	3	<i>Tilia cordata</i> 'Greenspire'	Greenspire European Linden	3" cal. B&B
HHR	*	<i>Hemerocallis</i> sp. 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 24" o.c.
MEIJER PARKING LOT TREE REPLACEMENT				
TC	11	<i>Tilia cordata</i> 'Greenspire'	Greenspire European Linden	3" cal. B&B
PERIMETER LANDSCAPING ALONG AUBURN ROAD				
AC	5	<i>Amelanchier canadensis</i>	Serviceberry	2 cal. B&B
GBF	7	<i>Gingko biloba</i> 'Fastigiata'	Fastigate Maidenhair Tree	3" cal. B&B
JP	22	<i>Juniperus procumbens</i>	Procombens Juniper	24" spr., 3 gal. pot
JT	12	<i>Juniperus tamariscifolia</i>	Tamarax Juniper	30" spr., 5 gal. pot
RAG	26	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	24" ht., 3 gal. pot
SBM	12	<i>Spiraea x bumalda</i> 'Magic Carpet'	Magic Carpet Spiraea	24" ht., 3 gal. pot
PERIMETER LANDSCAPING ALONG MEIJER ACCESS ROAD				
JK	15	<i>Juniperus chinensis</i> 'Keteleeri'	Keteleer Upright Juniper	4' ht. B&B
MSP	10	<i>Malus</i> sp. 'Pink Spires'	Pink Spires Crabapple	2" cal. B&B
PCS	1	<i>Pyrus calleryana</i> 'Cleveland Select'	Cleveland Select Callery Pear	3" cal. B&B
SBG	12	<i>Spiraea x bumalda</i> 'Goldflame'	Goldflame Bumald Spiraea	24" ht., 3 gal. pot
GENERAL SITE LANDSCAPING				
HQ	1	<i>Hydrangea quercifolia</i> 'Alice'	Alice Oakleaf Hydrangea	24" ht., 3 gal. pot
JC	13	<i>Juniperus chinensis</i> 'Old Gold'	Old Gold Juniper	24" spr., 3 gal. pot
RAG	19	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	24" ht., 3 gal. pot
SJS	14	<i>Spiraea japonica</i> 'Shirobana'	Shibori Japanese Spiraea	24" ht., 3 gal. pot
TMC	12	<i>Taxus x media</i> 'Chadwickii'	Chadwick Yew	24" ht., 3 gal. po
TOE	1	<i>Thuja occidentalis</i> 'Emerald'	Emerald Arborvitae	6' ht. B&B
LAM	*	<i>Lavandula angustifolia</i> 'Munstead'	Munstead Lavender	1 gal. pot, 24" o.c.

COST ESTIMATE

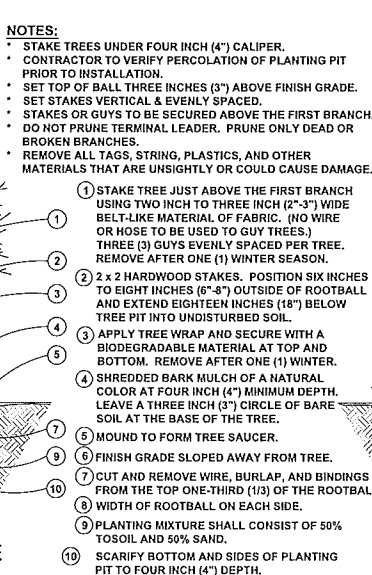
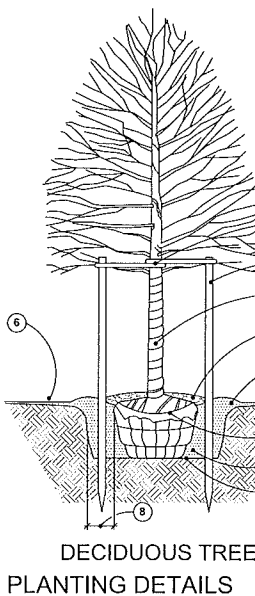
TOTAL MATERIALS SPECIFIED:

Deciduous Trees	29	\$350	\$10,150.00
Evergreen Trees	1	\$125	\$125.00
Ornamental Trees	15	\$200	\$3,000.00
Deciduous Shrubs	84	\$50	\$4,200.00
Evergreen Shrubs	59	\$50	\$2,950.00
Upright Evergreen Shrubs	15	\$90	\$1,350.00
Perennials	380	\$7	\$2,660.00
Seeded Lawn (square yards)	1,596	\$1.50	\$2,394.00
Underground Irrigation			\$5,000.00
Benches	2	\$275	\$550.00
Tree Fund - Replacement Trees	8	\$200	\$1,600.00
Tree Fund - R.O.W. Trees	10	\$200	\$2,000.00
Planting Soil Mix	28 cu. yds.	\$40	\$1,120.00
Shredded Hardwood Bark	45 cu. yds.	\$30	\$1,350.00
TOTAL			\$36,499.00

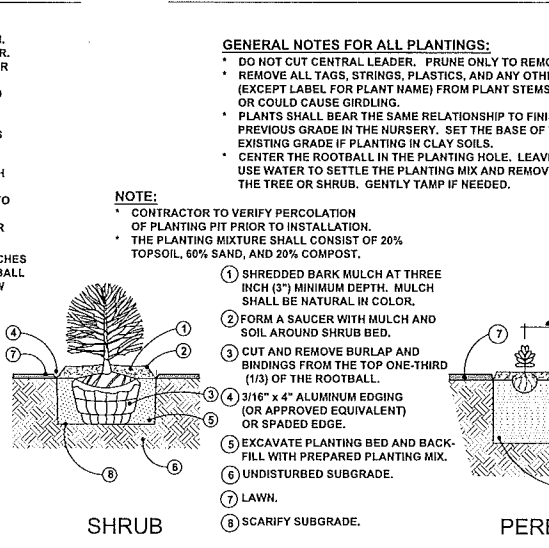
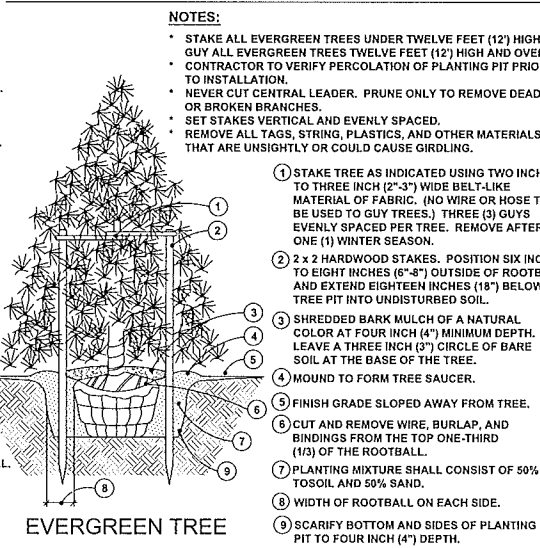


WAUSAU MADE: Bench - MF2011
Color - Textured gray with gray legs
Dimensions - 72" x 24" x 37"
Mounting - In ground

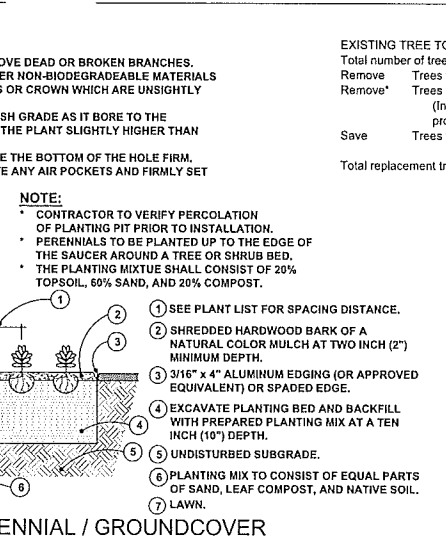
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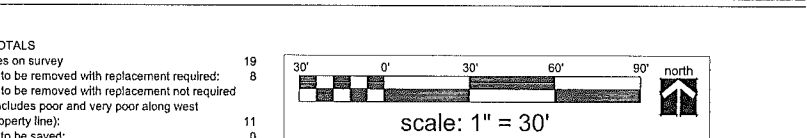
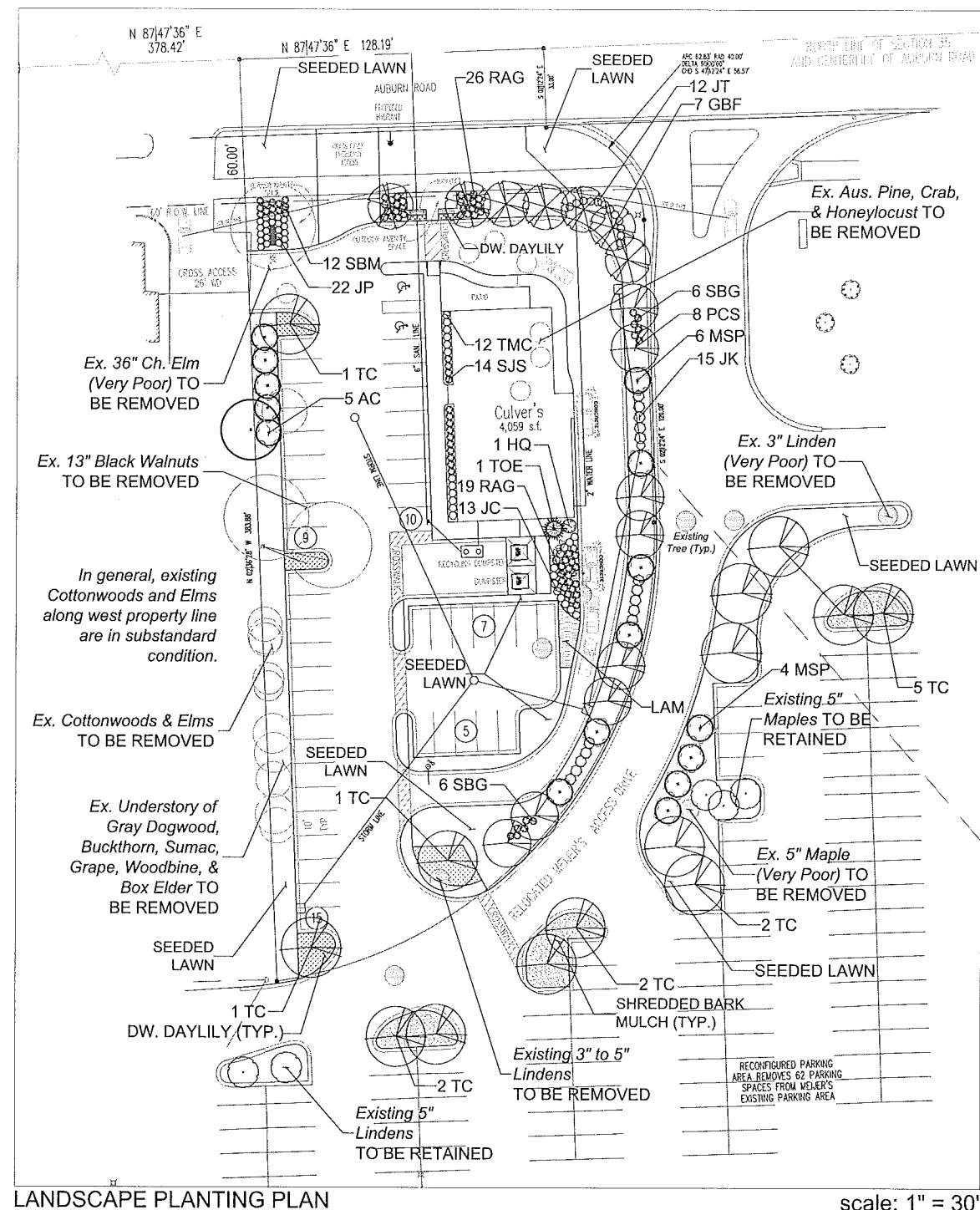
PARKING LOT ISLAND DETAIL not to scale



SHRUB not to scale



PERENNIAL / GROUNDCOVER not to scale



CITY OF ROCHESTER HILLS FILE NUMBER: 16-015

LANDSCAPE PLAN FOR:
S & Z Restaurants, L.L.C.
4564 Oakhurst Ridge Road
Clarkston, Michigan 48434
Mr. Andrew Zielke
(248) 891-6080

PROJECT LOCATION:
Culver's Restaurant
Auburn Road
Rochester Hills, Michigan

LANDSCAPE PLAN BY:
Nagy Devlin Land Design
31736 West Chicago Ave
Livonia, Michigan 48150
(734) 634-9208

STATE OF MICHIGAN
L. BRIAN DEVLIN
NO. 1260
LICENSED LANDSCAPE ARCHITECT

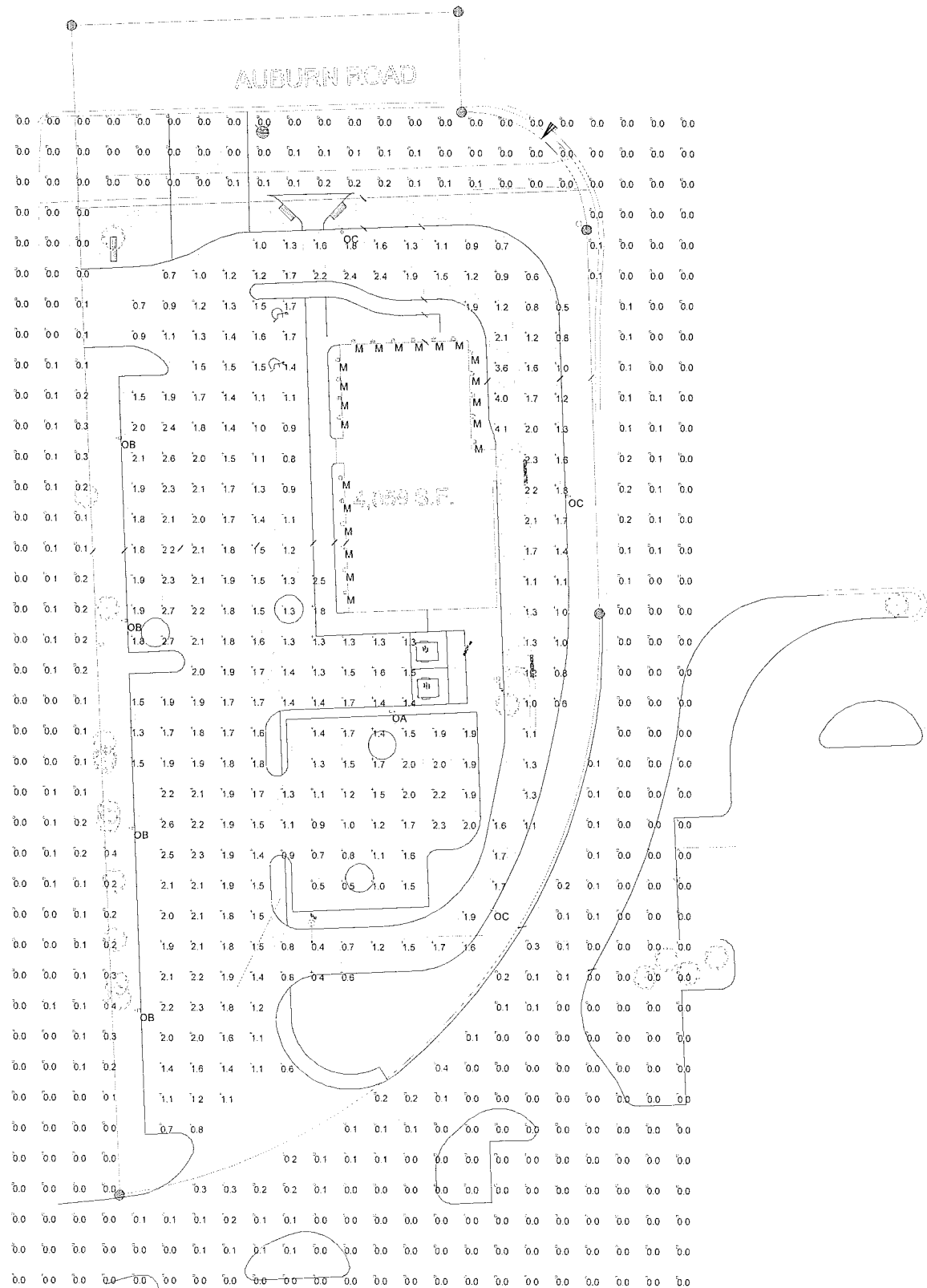
L. Brian Devlin
ORIGINAL IN BLUE

LP - 1: LANDSCAPE PLANTING PLAN

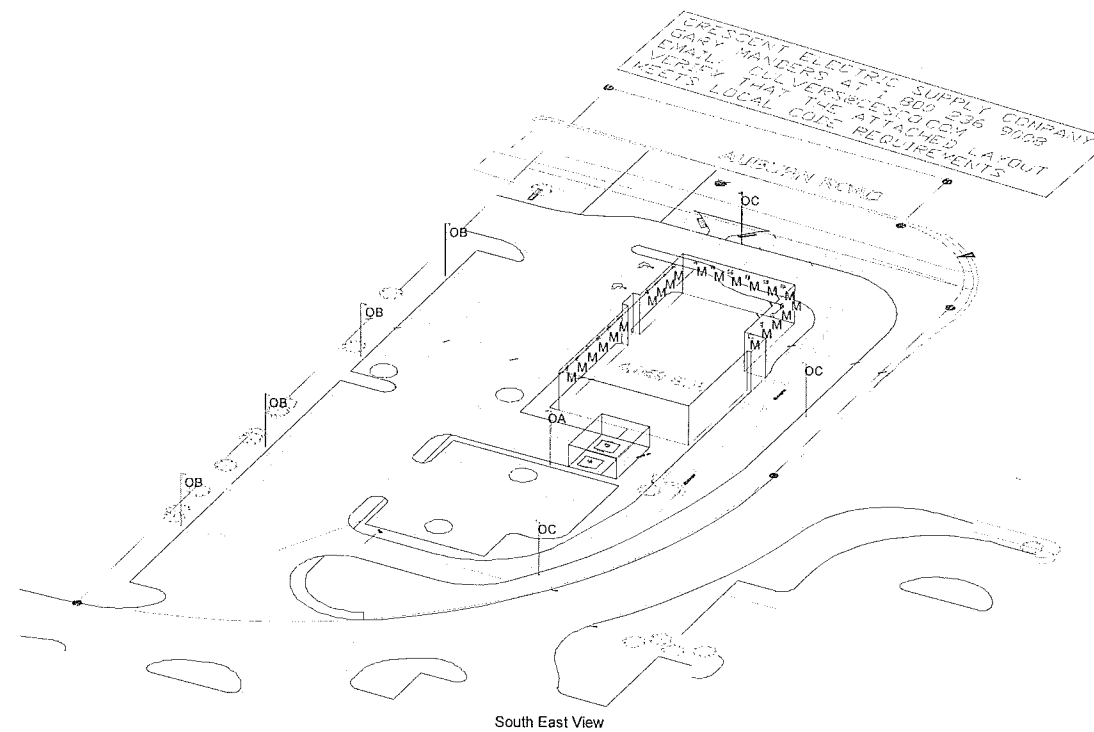
* Base data provided by Client.



CRESCENT ELECTRIC SUPPLY COMPANY
 GARY MANDERS AT 1 800 236 9008
 EMAIL: CULVER@CESCO.COM
 VERIFY THAT THE ATTACHED LAYOUT
 MEETS LOCAL CODE REQUIREMENTS



Plan View
 Scale - 1" = 25'



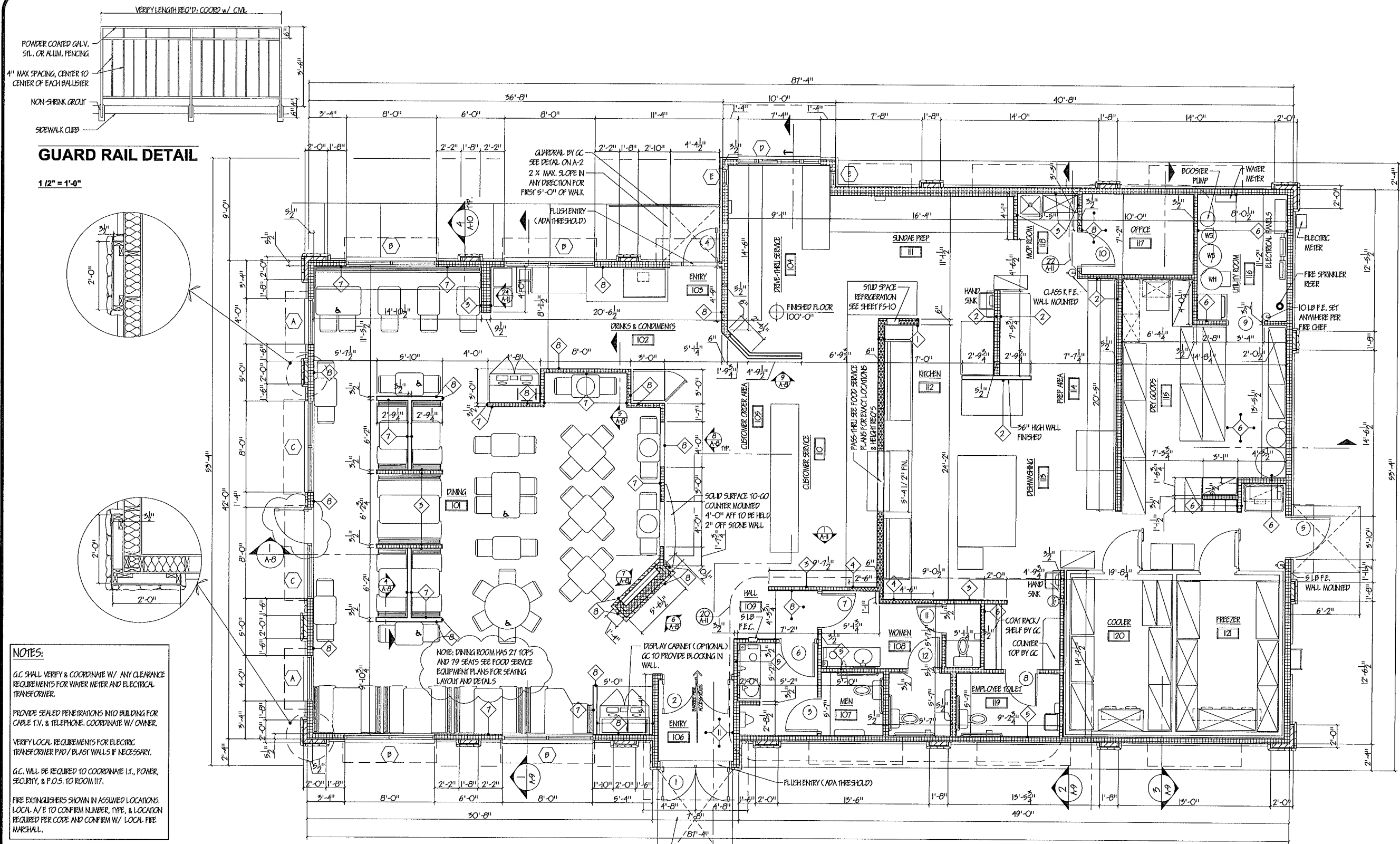
Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Wattage
□	OA	1		DSX1 LED 30C 1000 40K T5M MVOLT NA8C	LED	105
□	OB	4		DSX1 LED 30C 1000 40K T4M MVOLT HS NA8C	LED	105
□	OC	3		DSX1 LED 30C 1000 40K T3M MVOLT HS NA8C	LED	105
□	M	21	RAB LIGHTING, INC.	GNLED13N W/FLOOD REF/FROSTED LENS	ONE WHITE MULTI-CHIP LIGHT EMITTING DIODE (LED) WITH LEDS ARRANGED IN AN ARRAY OF THREE LINEAR ROWS, VERTICAL BASE- UP POSITION.	15.4
□	Light Poles	8	LITHONIA	SSS184C 2 FT. CONCRETE BASE		

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
AREA OUTSIDE OF PARKING LOT	□	0.0 fc	0.4 fc	0.0 fc	N/A	N/A
PARKING LOT	+	1.6 fc	4.1 fc	0.4 fc	10.3:1	4.0:1

CULVERS
 ROCHESTER HILLS, MI



GUARD RAIL DETAIL

1/2" = 1'-0"

NOTES:

G.C. SHALL VERIFY & COORDINATE W/ ANY CLEARANCE REQUIREMENTS FOR WATER METER AND ELECTRICAL TRANSFORMER.

PROVIDE SEALED PENETRATIONS INTO BUILDING FOR CABLE T.V. & TELEPHONE. COORDINATE W/ OWNER.

VERIFY LOCAL REQUIREMENTS FOR ELECTRIC TRANSFORMER PAD/BLAST WALLS IF NECESSARY.

G.C. WILL BE REQUIRED TO COORDINATE I.T., POWER SECURITY, & P.O.S. TO ROOM 117.

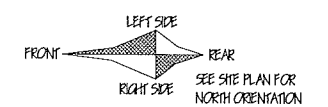
FIRE EXTINGUISHERS SHOWN IN ASSUMED LOCATIONS. LOCAL A/E TO CONFIRM NUMBER, TYPE, & LOCATION REQUIRED PER CODE AND CONFIRM W/ LOCAL FIRE MARSHAL.

- WALL TYPE:**
- 1 6" 18GA. STEEL STUDS W/ 5/8" CEMENT BOARD FROM FLOOR TO 6" ABOVE CEILING.
 - 2 5/8" CEMENT BOARD FROM FLOOR TO 12" A.F.F. WITH 3/8" PLYWOOD FROM 12" A.F.F. TO FILL HEIGHT.
 - 3 3/8" STEEL STUDS W/ 5/8" CEMENT BOARD FROM FLOOR TO 6" ABOVE CEILING.
 - 4 5/8" CEMENT BOARD FROM FLOOR TO 12" A.F.F. 5/8" GIP. BOARD FROM 12" TO 6" ABOVE CEILING WHERE APPLICABLE.
 - 5 5/8" CEMENT BOARD / 5/8" MOISTURE RESISTANT GIP. BOARD TO ROOF DECK. (COORDINATE WITH INTERIOR FINISHES)
 - 6 5/8" CEMENT BOARD FROM FLOOR TO 12" A.F.F. 5/8" PLYWOOD IN LEU OF GIP. BOARD FROM 4'-0" TO 8'-0" ABOVE FLOOR. GIP. BOARD TO 6" ABOVE CEILING.
 - 7 5/8" PLYWOOD FROM FLOOR TO TOP OF WANSCOY. G.L.E.D & SCREWED. 5/8" GIP. BOARD FROM TOP OF WANSCOY TO 6" ABOVE CEILING WHERE APPLICABLE.
 - 8 5/8" CEMENT BOARD FROM FLOOR TO 12" A.F.F. 5/8" GIP. BOARD FROM 12" TO 6" ABOVE CEILING WHERE APPLICABLE.

- KEY TO SYMBOLS**
- (XX) DOOR TYPE - SEE SHEET A-3
 - (XX) WINDOW TYPE - SEE SHEET A-3
 - (XX) WALL TYPES

FLOOR PLAN - METRO M - 2016 PROTOTYPE
SCALE: 1/4" = 1'-0"
4,060 SQUARE FEET

CITY PLAN #16-015



By	
Date	
Revision	



CULVER FRANCHISING SYSTEM, INC.
METRO M - 2016
PROTOTYPE PLANS

Sheet Contents:

FLOOR PLAN
Project: Metro M - 2016
Drawn by: S. Datta
Date: Jan. 1, 2016

Sheet
A-2

WARNING: These plans are for the exclusive use of Culver Franchising Systems, Inc. and authorized franchise holders only. No part of these plans or the design they represent may be duplicated or reproduced without permission of Culver Franchising System, Inc.

DOOR SCHEDULE

DOOR NO.	WIDTH	HGT.	MATERIAL	TYPE	FRAME:		HARDWARE GROUP	NOTES
					MATERIAL	TYPE		
1	2 @ 36"	84"	ALUM	A	ALUM	A	1	
2	2 @ 36"	84"	ALUM	A	ALUM	B	2	
3	34"	60"	WD	E	HM	E, 3'-2"	7	HM FRAME PAINT TO MATCH SW 7710 BRANDYWINE
4	36"	84"	ALUM	A	ALUM	C	1	
5	42"	84"	HM	B	HM	D	3	
6	36"	84"	WD	C	HM	E	4	HM FRAME PAINT TO MATCH SW 7710 BRANDYWINE
7	36"	84"	WD	C	HM	E	4	HM FRAME PAINT TO MATCH SW 7710 BRANDYWINE
8	34"	84"	WD	C	HM	E	6	HM FRAME PAINT TO MATCH SW 7710 BRANDYWINE
9					HM	E		HM FRAME WITH 36"84" OPENING, WD DOOR OPTIONAL.
10	36"	84"	WD	D	HM	E	5	HM FRAME PAINT TO MATCH SW 7710 BRANDYWINE
11	28"	60"	WD	E	HM	E, 2'-8"	7	HM FRAME PAINT TO MATCH SW 7710 BRANDYWINE
12	34"	60"	WD	E	HM	E, 3'-2"	7	HM FRAME PAINT TO MATCH SW 7710 BRANDYWINE

HARDWARE GROUPS:

HARDWARE GROUP 1: (Doors 1 & 4)

This hardware group to be provided as part of the aluminum entrance package and shall be manufacturer's best quality system.

- Hinges: Roton continuous hinges with heavy duty hardware
- Lock: Touchbar exit device (Van Dyrin Series 9B or approved equal)
- Buttons: Manufacturer's standard flush bolts
- Closers: LCN 4000 series with heavy duty hardware
- Threshold: Aluminum - Meets ADA requirements
- Sweep: Milly's standard sweep
- Weatherstripping: Milly's premium package
- Wall stops

HARDWARE GROUP 2: (Door 2)

This hardware group to be provided as part of the aluminum entrance package and shall be manufacturer's best quality system.

- Hinges: Roton continuous hinges with heavy duty hardware
- Lock: None
- Buttons: None
- Closers: LCN 4000 Series with heavy duty hardware
- Threshold: None
- Sweep: None
- Weatherstripping: None

HARDWARE GROUP 3: (Door 5)

- Hinges: 1-1/2 pair butts Soss 450 NRP (or Stanley or Hager equal)
- Lock: Schlage D series "Rhodes" in 626 finish
- Lock Protector: Clam-Johnson LBS220 - Coord. w/ lock
- Closers: LCN 4000 H Cush w/ Integral stop
- Threshold: Pemko 254 Series
- Weatherstripping: Full - Panko or equal
- Kick Plate: 12" high x door width @ both sides of door. 626 finish - Rockwood or equal.

HARDWARE GROUP 4: (Doors 6 & 7)

- Hinges: 1-1/2 pair butts - Soss 450 NRP (or Stanley or Hager equal)
- Push/Pull: Procline 50C x 626 and Procline 50 x 626
- Stops: hes 436 or hes 407 - 1/2 x 626
- Closers: LCN 4000 series with heavy duty hardware
- Kick Plate: 8" high x door width @ both sides 626 finish - Procline or equal

HARDWARE GROUP 5: (Doors 9 & 10)

- Hinges: 1-1/2 pair butts - Soss 450 TBP (or Stanley or Hager equal)
- Lock: Schlage AL series "Saburo" in 626 finish
- Stops: hes 436 or hes 407 - 1/2 x 626
- Kick Plate: 8" high x door width @ kitchen side 626 finish - Procline or equal

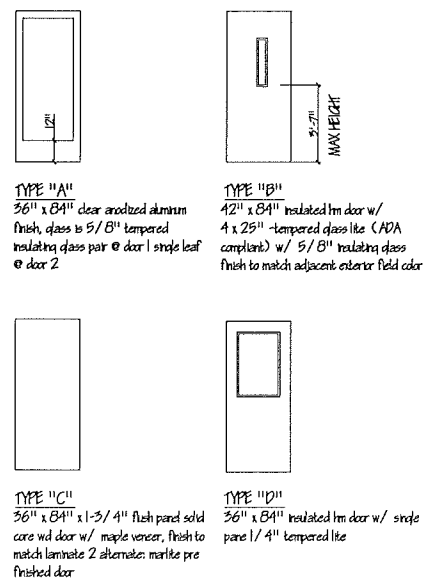
HARDWARE GROUP 6: (Door 8) (OPTIONAL: Employee Bathroom)

- Hinges: 1-1/2 pair butts - Soss 450 TBP (or Stanley or Hager equal)
- Lock: Schlage AL Series "Saburo" in 626 finish
- Closers: LCN 4000 Series with heavy duty hardware
- Kick Plate: 8" high x door width @ kitchen side 626 finish - Procline or equal

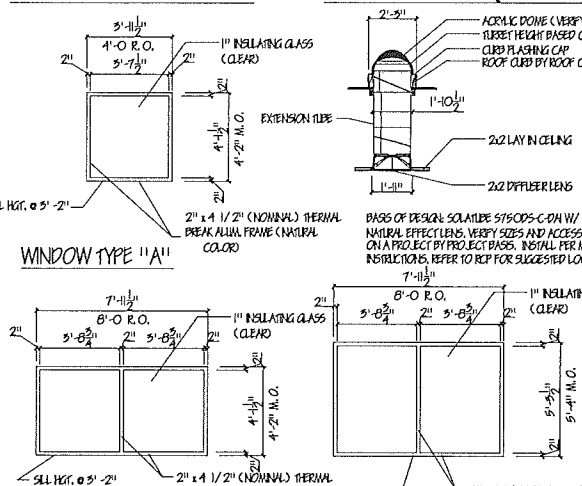
HARDWARE GROUP 7: (Doors 3, 11 & 12)

- Hinges: 1-1/2 pair butts - Soss 450 TBP (or Stanley or Hager equal)
- Lock: Schlage AL series "Saburo" in 626 finish
- Stops: hes 436 or hes 407 - 1/2 x 626

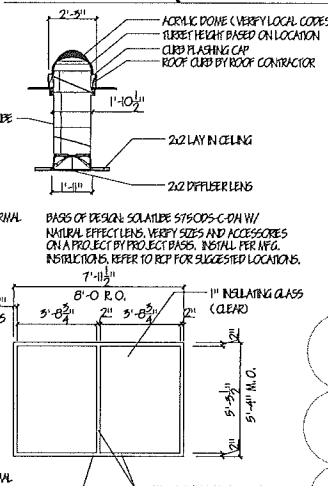
DOOR TYPES



WINDOW TYPES:



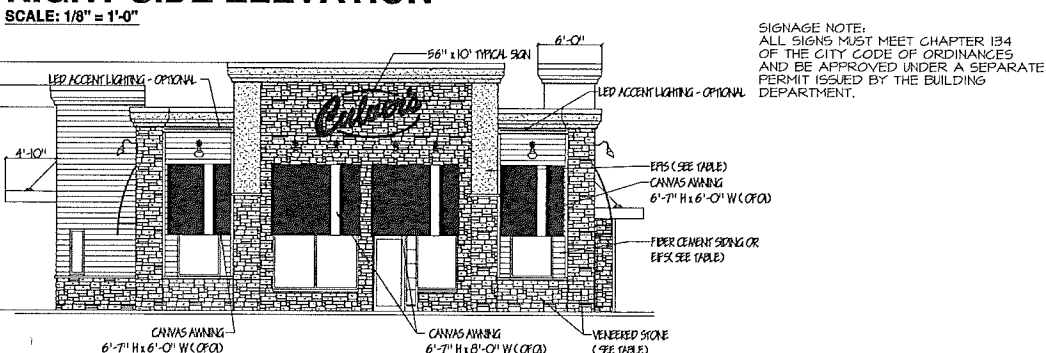
SKYLIGHT: (OPTIONAL)



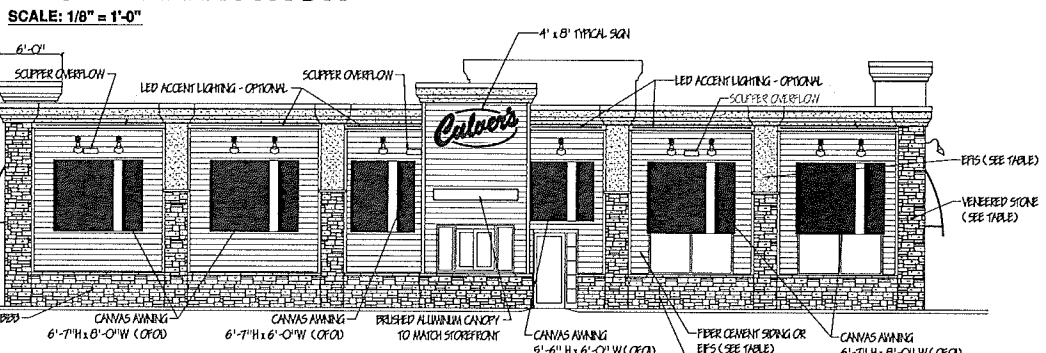
EXTERIOR MATERIALS OPTIONS: SEE EXTERIOR FINISH SELECTION DOCUMENT FOR SELECTIONS

- General Notes:
1. TOP OF PARAPET TO BE CLAD WITH LINA-CLAD STEEL REGAL BLUE OR LINA-CLAD STEEL MEDIUM BRONZE FOR ALL OPTIONS
2. DO NOT DRYSACK CULTURED STONE
- OPTION 1: STONE:**
• BOLLER CREEK, PRARE BLUFF, LANER NEWBERRY BLEND
• SILL & ACCESSORIES: BOLLER CREEK CHEL FACE, ANGLE FIN
• FLASERS & CORNICES:
• EPS: HED SAND FINISH, COLOR TO MATCH SHERWIN WILLIAMS SW7059 TRIT HIT
• MAIN FIELD MATERIAL:
• FIBER CEMENT BOARD: JAMES HARDIE, HARDERLAK LAP SPONG, COLOR: RYKI BROWN 7.25", CEDAR MILL
OR
• EPS: HED SAND FINISH, COLOR TO MATCH SHERWIN WILLIAMS SW7059 TONY TAPE
- OPTION 2: STONE:**
• BOLLER CREEK, PRARE BLUFF, INCLAVE & NAWALO BLEND
• SILL & ACCESSORIES: BOLLER CREEK CHEL FACE, ANGLE FIN
• FLASERS & CORNICES:
• EPS: HED SAND FINISH, COLOR TO MATCH SHERWIN WILLIAMS SW7059 TEE BRANCH
• MAIN FIELD MATERIAL:
• FIBER CEMENT BOARD: JAMES HARDIE, HARDERLAK LAP SPONG, COLOR: RYKI BROWN 7.25", CEDAR MILL
OR
• EPS: HED SAND FINISH, COLOR TO MATCH SHERWIN WILLIAMS SW7059 TONY TAPE
- OPTION 3: STONE:**
• ENVIRONMENTAL STONEWORKS: TUSCAN LEUCE - ASPEN
• SILL & ACCESSORIES: ENVIRONMENTAL STONEWORKS, FORD DULAC
• FLASERS & CORNICES:
• EPS: HED SAND FINISH, COLOR TO MATCH SHERWIN WILLIAMS SW7059 TRIT HIT
• MAIN FIELD MATERIAL:
• FIBER CEMENT BOARD: JAMES HARDIE, HARDERLAK LAP SPONG, COLOR: RYKI BROWN 7.25", CEDAR MILL
OR
• EPS: HED SAND FINISH, COLOR TO MATCH SHERWIN WILLIAMS SW7059 TONY TAPE
- OPTION 4: STONE:**
• ENVIRONMENTAL STONEWORKS: TUSCAN LEUCE - ASPEN
• SILL & ACCESSORIES: ENVIRONMENTAL STONEWORKS, FORD DULAC
• FLASERS & CORNICES:
• EPS: HED SAND FINISH, COLOR TO MATCH SHERWIN WILLIAMS SW7059 TRIT HIT
• MAIN FIELD MATERIAL:
• FIBER CEMENT BOARD: JAMES HARDIE, HARDERLAK LAP SPONG, COLOR: RYKI BROWN 7.25", CEDAR MILL
OR
• EPS: HED SAND FINISH, COLOR TO MATCH SHERWIN WILLIAMS SW7059 TONY TAPE

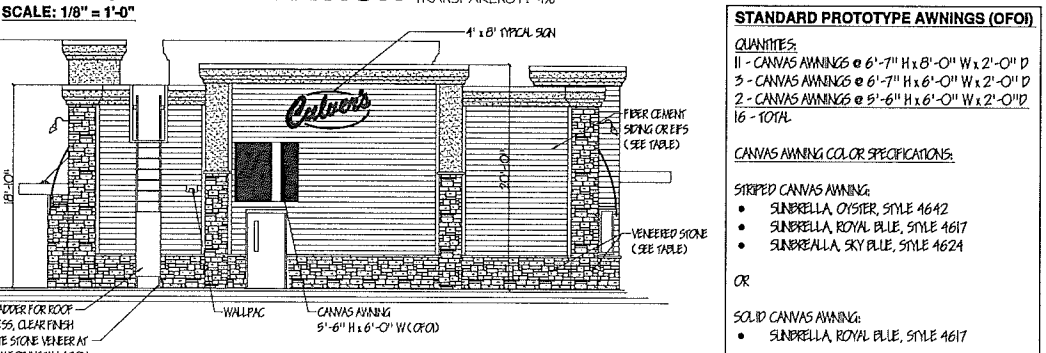
RIGHT SIDE ELEVATION



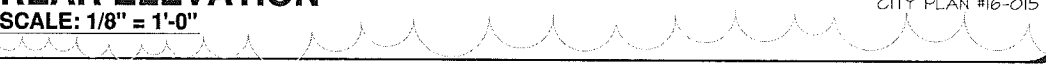
FRONT ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION



STANDARD PROTOTYPE AWNINGS (OFO)

QUANTITIES:
11 - CANVAS AWNINGS @ 6'-7" H x 6'-0" W x 2'-0" D
3 - CANVAS AWNINGS @ 6'-7" H x 6'-0" W x 2'-0" D
2 - CANVAS AWNINGS @ 5'-6" H x 6'-0" W x 2'-0" D
16 - TOTAL

CANVAS AWNING COLOR SPECIFICATIONS:

STRIPPED CANVAS AWNING:
• SUNBRELLA, OYSIER, STYLE 4642
• SUNBRELLA, ROYAL BLUE, STYLE 4617
• SUNBRELLA, SKY BLUE, STYLE 4624

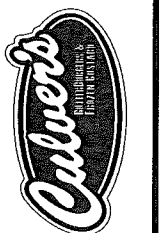
OR

SOLID CANVAS AWNING:
• SUNBRELLA, ROYAL BLUE, STYLE 4617

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By	
Revision	
Date	

Culver Franchising System, Inc.
1240 Water Street
Prairie du Sac, WI 53578
608-643-7980



CULVER FRANCHISING SYSTEM, INC. METRO M - 2015 PROTOTYPE PLANS

Sheet Contents:
EXT. ELEV'S,
DOOR & WIND.
SCHEDULE

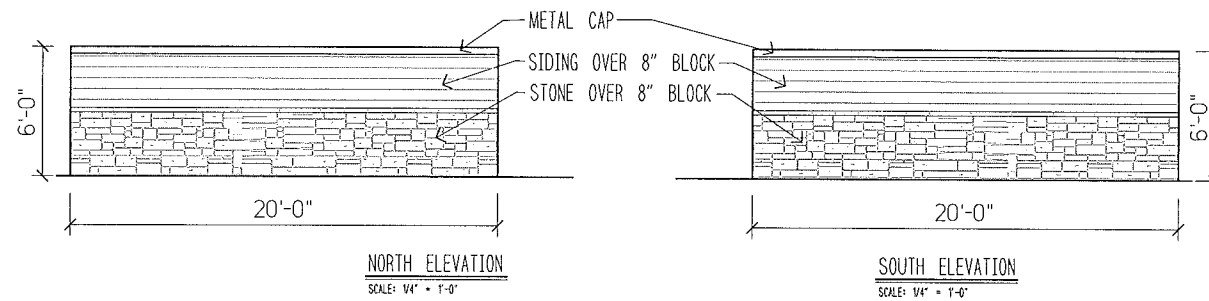
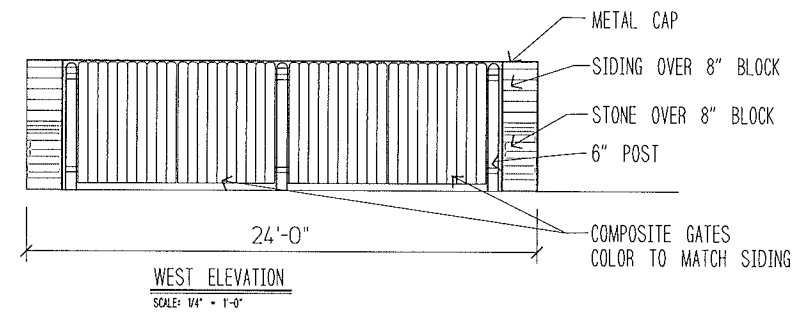
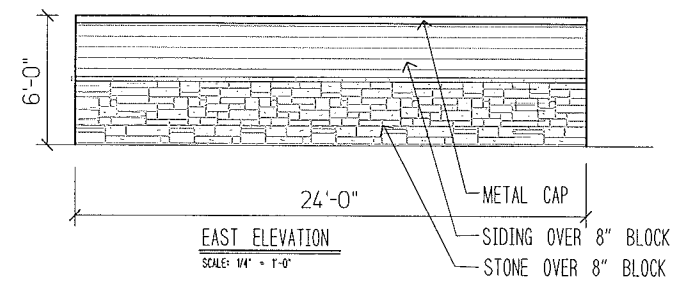
Project No. Metro M - 2015
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Sheet Contents:

DUMPSTER ENCLOSURE

Project No. Metro M - 2016

Drawn By:

Date: JULY 15, 2016

Sheet

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CITY PLAN #16-015