

Rochester Hills Research Park

1400 S. Livernois
Rochester Hills, MI 48307

DESIGNHAUS EST 1998
ARCHITECTURE

301 WALNUT BOULEVARD
ROCHESTER, MI 48307

T: 248.601.4422 F: 248.453.5854

WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

STATEMENT OF SELECTED DESIGN PROFESSIONAL

THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES ISSUED AND APPROVED CODE MODIFICATIONS AND/OR MUNICIPAL CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHEREVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

REGISTERED DESIGN PROFESSIONAL IN CHARGE:
PETER STUHLREYER, A.I.A.
MICHIGAN IDENTIFICATION # 44668
DESIGNHAUS ARCHITECTURE

PROJECT TEAM

OWNER
Eli Global
1400 South Livernois Road
Rochester Hills, MI 48307
T: 248-245-4447
CONTACT: Derek Gentile

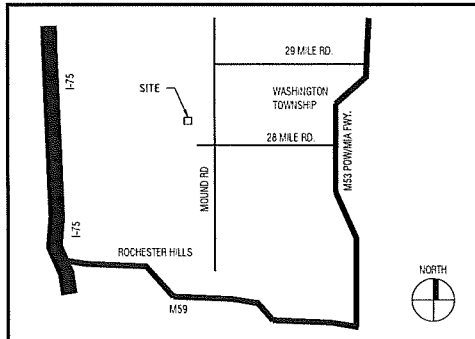
ARCHITECT
DESIGNHAUS ARCHITECTURE
301 WALNUT BLVD.
ROCHESTER, MI 48307
T: 248.601.4422
F: 248.453.5854
PROJECT MANAGER: JOE LATOZAS
PROJECT ARCHITECT:
PETER STUHLREYER, A.I.A.

CIVIL ENGINEER
DESIGNHAUS
301 WALNUT BLVD.
ROCHESTER, MI 48307
T: 248.601.4422
F: 248.453.5854
CONTACT: GREG EZZO

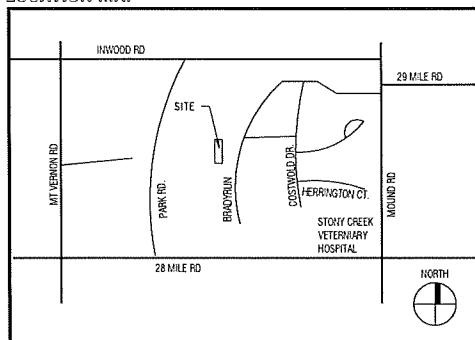
INDEX OF DRAWINGS

SHEET NO.	DRAWING NAME	STATUS
GENERAL		
G001	Title Sheet and Index	<input type="checkbox"/>
LANDSCAPE		
Sheet 1 of 6	Topographic Survey	<input type="checkbox"/>
Sheet 2 of 6	Topographic Survey	<input type="checkbox"/>
Sheet 3 of 6	Topographic Survey	<input type="checkbox"/>
Sheet 4 of 6	Topographic Survey	<input type="checkbox"/>
Sheet 5 of 6	Topographic Survey	<input type="checkbox"/>
Sheet 6 of 6	Topographic Survey	<input type="checkbox"/>
LANDSCAPE		
S100	Overall Site Plan	<input type="checkbox"/>
S101	Site Plan (North)	<input type="checkbox"/>
S102	Site Plan (South)	<input type="checkbox"/>
L100	Landscape Plan (North)	<input type="checkbox"/>
L101	Landscape Plan (South)	<input type="checkbox"/>
L102	Landscape Details	<input type="checkbox"/>
CIVIL		
C200	Preliminary Grading Plan (North)	<input type="checkbox"/>
C201	Preliminary Grading Plan (South)	<input type="checkbox"/>
C300	Preliminary Utility Plan (North)	<input type="checkbox"/>
C301	Preliminary Utility Plan (South)	<input type="checkbox"/>
ARCHITECTURAL		
A100	Building 2 Floor Plans	<input type="checkbox"/>
A100	Building 3 Floor Plans	<input type="checkbox"/>
A100	Building 4 Floor Plans	<input type="checkbox"/>
A100	Building 5 Floor Plans	<input type="checkbox"/>

VICINITY MAP



LOCATION MAP



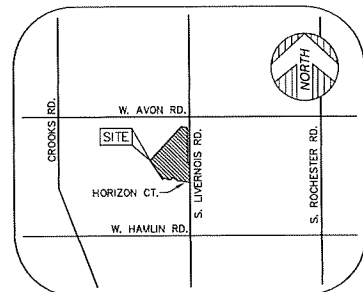
No.	Revision/Issue	Date
---	---	---
---	---	---
---	---	---
---	PUD Review Submission	10/24/18

Rochester Hills Research Park
1400 S. Livernois
Rochester Hills, MI 48307

Title Sheet and Index

G001 017170

TOPOGRAPHIC SURVEY



VICINITY MAP
(NOT TO SCALE)

PARKING

HANDICAP PARKING = 15 STALLS
STANDARD PARKING = 344 STALLS

PARCEL AREA

1,090,802± SQUARE FEET = 25.041± ACRES

BASIS OF BEARING

NORTH 02°27'24" WEST, BEING THE EAST LINE OF SECTION 21, TOWN 3 NORTH, RANGE 11 EAST, AS DESCRIBED.

BENCHMARK

SITE BENCHMARK #1
ARROW ON HYDRANT APPROXIMATELY 102 FEET EAST OF HELICOPTER PAD.
ELEVATION = 782.46' (NAVD 88 DATUM).

SITE BENCHMARK #2
TOP OF NUT ON HYDRANT APPROXIMATELY 42 FEET SOUTHEAST OF SOUTHEAST CORNER OF BUILDING.
ELEVATION = 785.69' (NAVD 88 DATUM).

SURVEYOR'S NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

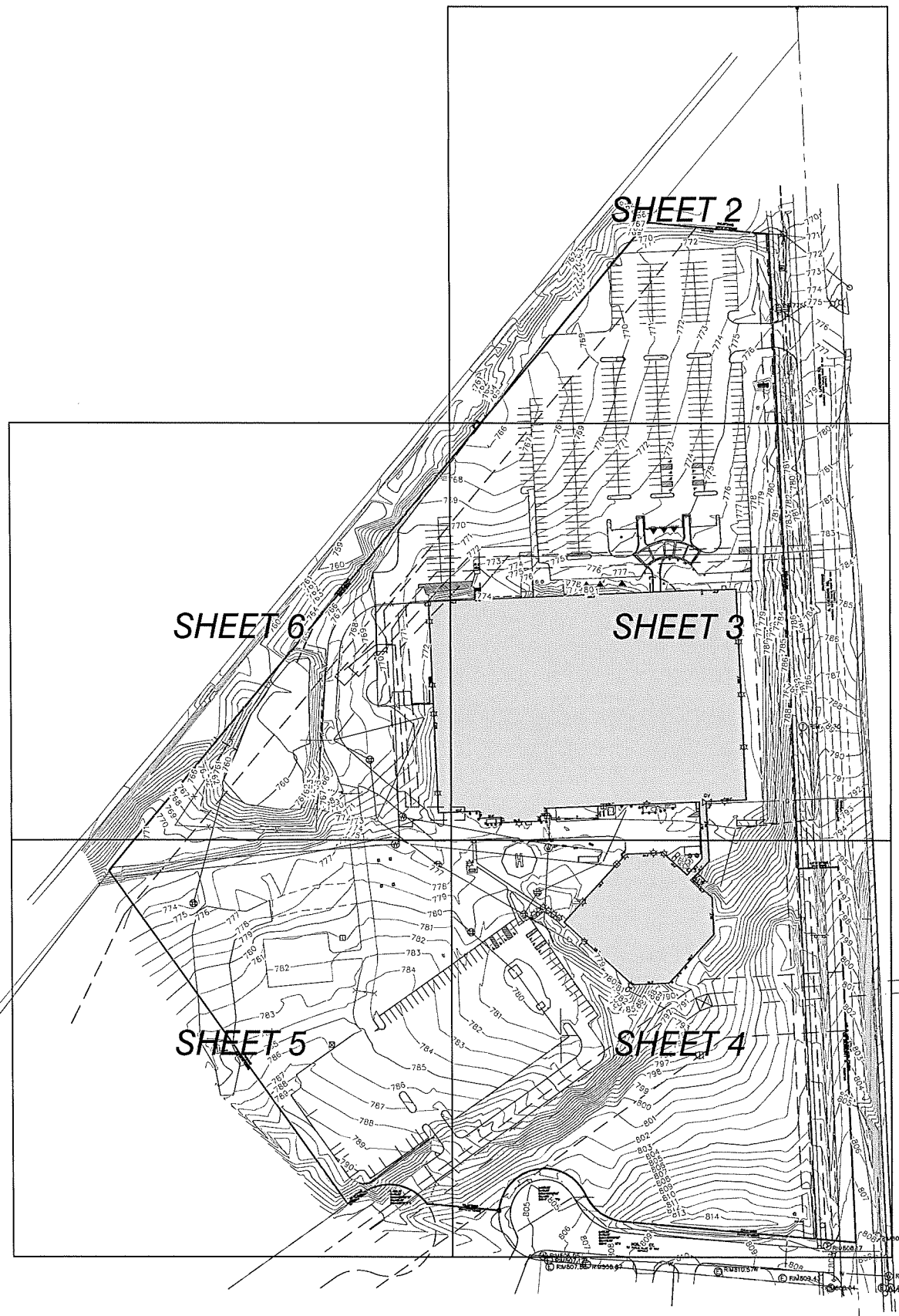
2. A CURRENT TITLE POLICY HAS NOT BEEN FURNISHED AT TIME OF SURVEY. THEREFORE EASEMENTS AND/OR ENCUMBRANCES AFFECTING SUBJECT PARCEL MAY NOT BE SHOWN.

3. APPROXIMATE LOCATION OF EASEMENTS PER PREVIOUS SURVEY.

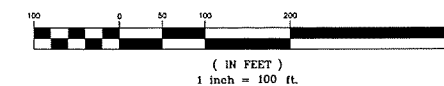
TREE SCHEDULE

TREE INVENTORY for: EEI Global, Inc., 1400 South Livernois Road, Rochester Hills, Michigan

Tree #	d.b.h.	Botanical Name	Common Name	Condition	Comments	(N) Not Regulated (s = size, c = condition)
1161		6 <i>Alnus incana</i>	Tree of Heaven	fair	- Bent/crooked leader	
1162		23 <i>Ulmus spp</i>	Elm	fair	- 1-sided crown	
1163		30 <i>Ulmus spp</i>	Elm	good		
1164		17 <i>Pinus nigra</i>	Austrian Pine	fair	- Thinning canopy	
1165	16 / 11	<i>Pinus nigra</i>	Austrian Pine	poor	- 90% or more dead	N (c)
1166		7 <i>Picea pungens</i>	Colorado Spruce	fair	- Partially girdled trunk	
1167		19 <i>Pinus nigra</i>	Austrian Pine	fair	- Thinning canopy	
1168	18 / 11	<i>Pinus nigra</i>	Austrian Pine	fair	- Thinning canopy	
1169		19 <i>Pinus nigra</i>	Austrian Pine	fair	- Dead/dying branch(es)	
1170		18 <i>Pinus nigra</i>	Austrian Pine	good		
1171		15 <i>Pinus nigra</i>	Austrian Pine	good		
1172		10 <i>Picea pungens</i>	Colorado Spruce	fair	- Pitch on trunk	
1173		14 <i>Picea pungens</i>	Colorado Spruce	fair	- Thinning canopy	
1174		9 <i>Picea pungens</i>	Colorado Spruce	fair	- Pitch on trunk	
1175		17 <i>Pinus nigra</i>	Austrian Pine	fair	- Thinning canopy	
1176		14 <i>Pinus nigra</i>	Austrian Pine	fair	- Thinning canopy	
1177		6 <i>Picea pungens</i>	Colorado Spruce	fair	- Pitch on trunk	
1178	11 / 8 / 7 /	<i>Pinus nigra</i>	Austrian Pine	fair	- Poor crotch	
1179	11 / 7 /	<i>Pinus nigra</i>	Austrian Pine	fair	- Poor crotch	
1180		6 <i>Picea pungens</i>	Colorado Spruce	fair	- Pitch on trunk & leaning	
1181	4 / 4 / 3	<i>Picea pungens</i>	Colorado Spruce	fair	- Partially girdled trunk	N (s)
1182		5 <i>Picea pungens</i>	Colorado Spruce	fair	- Partially girdled trunk	N (s)
1183		12 <i>Picea pungens</i>	Colorado Spruce	good		
1184		14 <i>Pinus nigra</i>	Austrian Pine	fair	- Dead/dying branch(es)	
1185		14 <i>Picea pungens</i>	Colorado Spruce	fair	- Pitch on trunk	
1186		8 <i>Picea pungens</i>	Colorado Spruce	fair	- Pitch on trunk & missing leader	
1187		8 <i>Picea pungens</i>	Colorado Spruce	fair	- Pitch on trunk	
1188		7 <i>Picea pungens</i>	Colorado Spruce	fair	- 1-sided crown	
1189		15 <i>Pinus nigra</i>	Austrian Pine	fair	- Dead/dying branch(es)	
1190		12 <i>Pinus nigra</i>	Austrian Pine	poor	- 75% or more dead	N (c)
1191		13 <i>Pinus nigra</i>	Austrian Pine	fair	- Dead/dying branch(es)	
1192		16 <i>Pinus nigra</i>	Austrian Pine	fair	- Thinning canopy	
1193		13 <i>Pinus nigra</i>	Austrian Pine	fair	- Dead/dying branch(es)	
1194	13 / 12	<i>Pinus nigra</i>	Austrian Pine	fair	- Thinning canopy	
1195		13 <i>Pinus nigra</i>	Austrian Pine	poor	- 75% or more dead	N (c)
1196		9 <i>Pinus nigra</i>	Austrian Pine	poor	- 75% or more dead	N (c)
1197		11 <i>Picea pungens</i>	Colorado Spruce	poor	- 75% or more dead	N (c)
1198		12 <i>Picea pungens</i>	Colorado Spruce	poor	- 75% or more dead	N (c)
1199		13 <i>Picea pungens</i>	Colorado Spruce	fair	- Dead/dying branch(es)	
1200		15 <i>Picea pungens</i>	Colorado Spruce	fair	- Pitch on trunk	
1201		15 <i>Pinus nigra</i>	Austrian Pine	fair	- Dead/dying branch(es)	
1202		14 <i>Pinus nigra</i>	Austrian Pine	poor	- 75% or more dead	N (c)
1203		15 <i>Pinus nigra</i>	Austrian Pine	fair	- Dead/dying branch(es)	
1204		11 <i>Acer saccharum</i>	Sugar Maple	fair	- Missing leader	
1205		12 <i>Acer saccharum</i>	Sugar Maple	good		
1206		12 <i>Acer saccharum</i>	Sugar Maple	good		
1207		14 <i>Acer saccharum</i>	Sugar Maple	good		
1208		13 <i>Acer saccharum</i>	Sugar Maple	good		
1209		12 <i>Acer saccharum</i>	Sugar Maple	good		
1210		11 <i>Acer saccharum</i>	Sugar Maple	good		
1211		12 <i>Acer saccharum</i>	Sugar Maple	good		
1212		13 <i>Acer saccharum</i>	Sugar Maple	good		
1213		11 <i>Acer saccharum</i>	Sugar Maple	good		
1214		10 <i>Acer saccharum</i>	Sugar Maple	good		
1215		12 <i>Acer saccharum</i>	Sugar Maple	good		
1216		11 <i>Acer saccharum</i>	Sugar Maple	good		
1217		11 <i>Acer saccharum</i>	Sugar Maple	good		
1218		12 <i>Acer saccharum</i>	Sugar Maple	good		
1219		15 <i>Acer saccharum</i>	Sugar Maple	fair	- Vertical scar on trunk	



GRAPHIC SCALE



PROPERTY DESCRIPTION

LAND SITUATED IN THE CITY OR ROCHESTER HILLS, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS:

1/4 SEC 21 PART OF NE 1/4 BEG AT PT DIST N 02-27-24 W 358.71 FT FROM E 1/4 COR, TH 84-53-32 W 353.90 FT, TH ALG CURVE TO RIGHT, RAD 70 FT, CHORD BEARS N 54-53-32 W 70 FT, DIST OF 73.30 FT, TH ALG CURVE TO LEFT, RAD 70 FT, CHORD BEARS S 80-06-30 W 135.23 FT, DIST OF 183.28 FT, TH N 84-53-32 W 109.96 FT, TH ALG CURVE TO LEFT, RAD 70 FT, CHORD BEARS N 80-25-11 W 98.99 FT, DIST OF 109.96 FT, TH ALG CURVE TO LEFT, RAD 70 FT, CHORD BEARS S 80-25-11 W 98.99 FT, DIST OF 109.96 FT, TH S 54-34-50 W 28.48 FT, TH N 35-28-25 W 621.73 FT, TH N 39-54-26 E 1284.08 FT, TH S 84-31-34 E 245.98 FT, TH S 02-27-24 E 1527.57 FT TO BEG EXC E 60 FT OF N 956.49 FT 25.04 A

MANHOLE SCHEDULE

STORM DRAIN MANHOLE (SDM#15012) RM=807.96' 12" CONC, E, 799.86' INV. 12" CONC, NW, 799.81' INV.	SANITARY MANHOLE (SMH#15164) RM=807.44' 12" CONC, N, 792.44' INV. 12" CONC, S, 792.49' INV.
STORM DRAIN MANHOLE (SDM#15025) RM=808.20' 12" CONC, SE, 798.65' INV. 12" CONC, S, 803.30' INV. 12" CONC, W, 799.00' INV.	STORM DRAIN MANHOLE (SDM#15336) RM=808.64' 48" CONC, N, 791.84' INV. 48" CONC, S, 791.84' INV. 12" CONC, W, 795.84' INV. T/WATER=792.24'
STORM DRAIN MANHOLE (SDM#15028) RM=808.20' 12" CONC, E, 798.35' INV. 12" CONC, NW, 798.45' INV.	ROUND CATCH BASIN (CB#15370) RM=777.98' 12" CONC, SW, 772.93' INV. 12" CONC, W, 772.83' INV.
STORM DRAIN MANHOLE (SDM#15574) RM=780.72' 6" CPP, N, 776.22' INV. 6" CPP, E, 776.22' INV. 6" CPP, S, 776.22' INV. 12" CONC, NW, 775.82' INV.	ROUND CATCH BASIN (CB#15412) RM=792.37' 12" CONC, NW, 786.72' INV.
STORM DRAIN MANHOLE (SDM#16067) RM=778.17' 12" CONC, N, 769.17' INV. 12" CONC, W, 769.32' INV.	BEEHIVE CATCH BASIN (CB#15725) RM=780.48' 12" CONC, NE, 770.48' INV. 12" CONC, SE, 770.53' INV. 12" CONC, NW, 770.33' INV.
ROUND CATCH BASIN (CB#10020) RM=777.07' 4" PVC, W, 775.07' INV. 4" METAL INVERTED PIPE, N, T/PIPE=774.72'	SQUARE CATCH BASIN (CB#15851) RM=779.53' 12" CONC, SE, 774.58' INV. 12" CONC, NW, 774.53' INV.
ROUND CATCH BASIN (CB#10079) RM=786.31' 12" CONC, SW, 779.36' INV.	ROUND CATCH BASIN (CB#15895) RM=779.54' 12" CONC, SE, 774.69' INV. 12" CONC, NW, 774.49' INV.
BEEHIVE CATCH BASIN (CB#10182) RM=778.74' 12" CONC, SE, 772.99' INV. 12" CONC, NW, 773.04' INV.	SQUARE CATCH BASIN (CB#15859) RM=779.53' 12" CONC, SE, 775.36' INV. 12" CONC, NW, 775.41' INV.
ROUND CATCH BASIN (CB#10217) RM=775.49' 12" CONC, SE, 771.79' INV. 12" CONC, NW, 771.69' INV.	BEEHIVE CATCH BASIN (CB#15990) RM=775.80' 12" CONC, SW, 771.80' INV.
STORM DRAIN MANHOLE (SDM#10284) RM=777.35' 12" CONC, E, 769.30' INV. 6" PVC TO DOWNSPOUT, SE, 775.15' INV. 12" CONC, S	WATER GATE VALVE MANHOLE (WMH#16068) RM=779.10' N/S PIPE T/PIPE=773.90', T/VALVE=775.16'
SQUARE CATCH BASIN (CB#10329) RM=777.37' FULL OF DEBRIS	STORM DRAIN MANHOLE (SDM#16067) RM=778.17' 12" CONC, N, 769.17' INV. 12" CONC, W, 769.32' INV.
ROUND CATCH BASIN (CB#10381) RM=776.07' 12" CONC, E, 771.27' INV. 12" CONC, W, 771.27' INV.	ROUND CATCH BASIN (CB#16108) RM=779.39' 12" CONC, SE, 774.04' INV. 12" CONC, NW, 774.04' INV.
WATER GATE VALVE MANHOLE (WMH#10461) RM=773.45' E/W PIPE, T/VALVE=766.75' T/PIPE W=765.87', T/PIPE E=765.91'	ROUND CATCH BASIN (CB#16174) RM=774.45' 12" CONC, NE, 764.05' INV. 12" CONC, SE, 768.15' INV. 12" CONC, SW CMP, W
ROUND CATCH BASIN (CB#10516) RM=768.7723' 12" CONC, NE, 760.72' INV. 15" CONC, E, 762.57' INV. 12" CONC, SE, 761.02' INV. 18" CONC, W, 760.17' INV.	SANITARY MANHOLE (SMH#16175) RM=777.19' 10" CONC, SE, 773.28' INV. 10" CONC, SW, 773.23' INV.
BEEHIVE CATCH BASIN (CB#10523) RM=778.18' 12" CONC, SE, 762.78' INV. 12" CONC, NW, 772.58' INV.	WATER GATE VALVE MANHOLE (WMH#16176) RM=777.19' E/W PIPE T/PIPE=771.32', T/VALVE=773.78'
ROUND CATCH BASIN (CB#10553) RM=772.31' 12" CONC, N, 767.41' INV. 12" CONC, SSW, 767.51' INV. 15" CONC, SW, 767.31' INV.	SANITARY MANHOLE (SMH#16177) RM=777.12' 12" CONC, SE, 773.42' INV. 12" CONC, NW, 773.32' INV.
SQUARE CATCH BASIN (CB#15008) RM=804.31' 6" CPP, E, 800.66' INV. 12" CONC, SE, 799.91' INV. 12" CONC, SW, 800.01' INV.	BEEHIVE CATCH BASIN (CB#16179) RM=776.84' 12" CONC, SE, 768.64' INV. 12" CONC, NW, 768.39' INV.
SQUARE CATCH BASIN (CB#15024) RM=807.70' 12" CONC, N, 803.50' INV. 12" CONC, S, 803.60' INV.	BEEHIVE CATCH BASIN (CB#16225) RM=773.15' 12" CONC, NE
SQUARE CATCH BASIN (CB#15054) RM=807.71' 12" CONC, N, 803.36' INV.	SANITARY MANHOLE (SMH#16333) RM=777.55' 12" CONC, E, 772.55' INV. 12" CONC, W, 772.55' INV.
SQUARE CATCH BASIN (CB#15109) RM=804.55' 12" CONC, NE, 800.30' INV.	SANITARY MANHOLE (SMH#60818) RM=778.09' 8" CONC, E, 771.67' INV. 8" CONC, W, 771.65' INV.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED. THE ELEVATIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY AND THE DRAWING HEREON DELINEATED IS A CORRECT REPRESENTATION OF THE SAME.

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976

DATE	BY	DESCRIPTION
08-17-18	JDM	ADDED GAS LINES

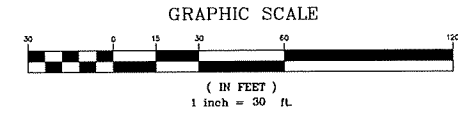
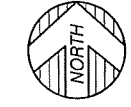
DATE	BY	DESCRIPTION
05/09/18	ATS	
MARCH 09, 2018		

DATE	BY	DESCRIPTION
05/09/18	ATS	
MARCH 09, 2018		

DATE	BY	DESCRIPTION
05/09/18	ATS	
MARCH 09, 2018		

1
1 OF 6 SHEETS

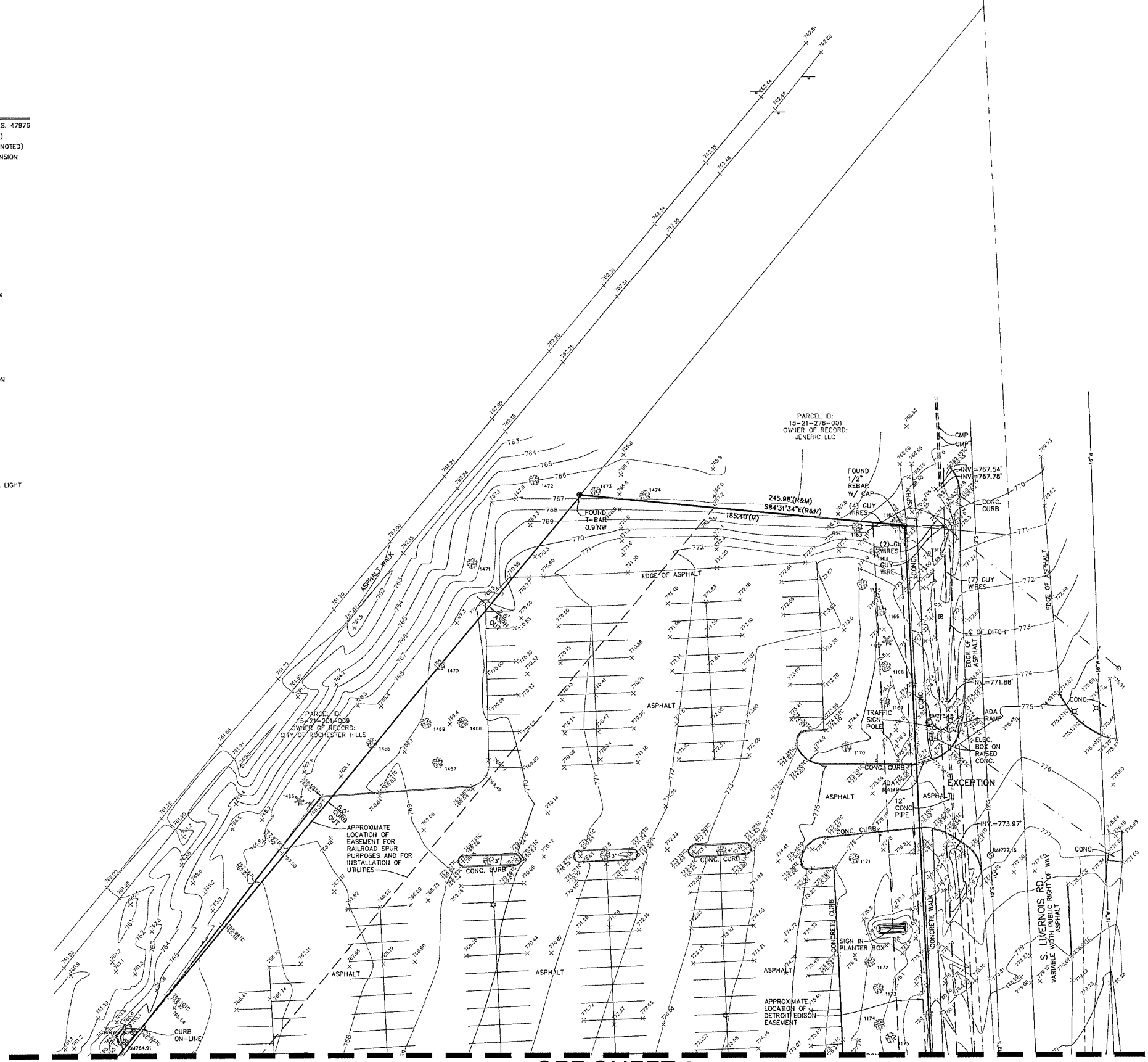
TOPOGRAPHIC SURVEY



NORTHEAST
CORNER OF
SECTION 21,
TOWN 3 NORTH,
RANGE 11 EAST

LEGEND

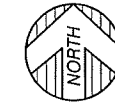
- SET 1/2" REBAR WITH CAP P.S. 47976
- ⊙ FOUND MONUMENT (AS NOTED)
- ⊙ FOUND SECTION CORNER (AS NOTED)
- (R&M) RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC PANEL
- ⊕ ELECTRIC RISER
- ⊕ TRANSFORMER
- ⊕ UTILITY POLE
- ⊕ GAS METER
- ⊕ GAS VALVE
- ⊕ TELEPHONE MANHOLE
- ⊕ CABLE TV RISER
- ⊕ TRAFFIC SIGNAL
- ⊕ TRAFFIC SIGNAL CONTROL BOX
- CLEANOUT
- SANITARY MANHOLE
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- DRAIN
- STORM DRAIN MANHOLE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- POST INDICATOR VALVE
- WATER GATE MANHOLE
- WATER VALVE
- WELL
- AIR CONDITIONING UNIT
- BOLLARD
- FLAGPOLE
- WOOD POST
- FLOOD LIGHT
- LIGHTPOST/LAMP POST/AREA LIGHT
- SINGLE POST SIGN
- HANDICAP PARKING
- DECIDUOUS TREE
- CONIFEROUS TREE
- PARCEL BOUNDARY LINE
- PLATTED LOT LINE
- ADJONER PARCEL LINE
- SECTION LINE
- EASEMENT (AS NOTED)
- EASEMENT CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- BUILDING OVERHANG
- CENTERLINE DITCH
- ASPHALT CURB
- CONCRETE CURB
- PARKING
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- EDGE OF GRAVEL
- x- FENCE (AS NOTED)
- x- WALL (AS NOTED)
- x- OVERHEAD UTILITY LINE
- x- SANITARY LINE
- x- STORM LINE
- x- WATER LINE
- x- CONTOUR MAJOR
- x- CONTOUR MINOR
- x- UNDERGROUND PIPE
- x- MATCH LINE
- x- BUILDING HATCH



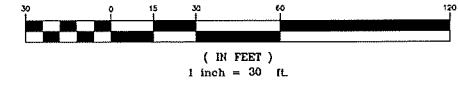
SEE SHEET 3

<p>EEL GLOBAL 1400 SOUTH LIVERNOS ROAD SECTION 21, TOWN 3 NORTH, RANGE 11 EAST CITY OF ROCHESTER HILLS, STATE OF MICHIGAN</p>	<p>KEM-TEC & ASSOCIATES 22555 GARDEN WAY • EASTPOINTE, MICHIGAN 48021 (586)772-2222 • (800)295-7222 • FAX (586)772-4048</p>
<p>DATE: 05/09/18 DRAWN BY: JDM CHECKED BY: ATS DATE: MARCH 03, 2018 PROJECT NO: 18-01235</p>	<p>DATE: 05/09/18 DRAWN BY: JDM CHECKED BY: ATS DATE: MARCH 03, 2018 PROJECT NO: 18-01235</p>
<p>2 2 OF 6 SHEETS</p>	

TOPOGRAPHIC SURVEY SEE SHEET 2



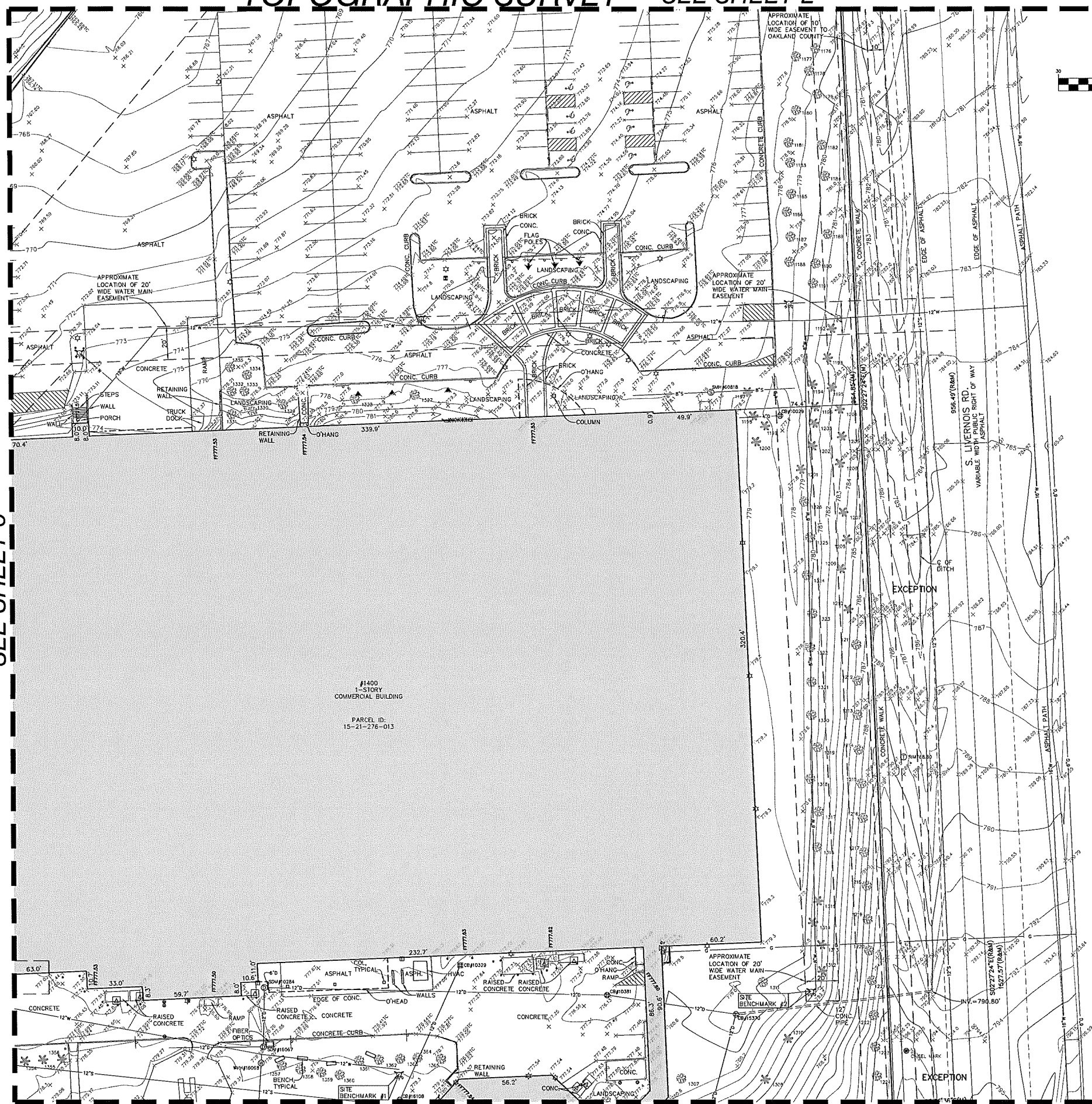
GRAPHIC SCALE



LEGEND

- SET 1/2" REBAR WITH CAP P.S. 47976
- FOUND MONUMENT (AS NOTED)
- ⊙ FOUND SECTION CORNER (AS NOTED)
- ⊠ RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- ⊕ ELECTRIC MANHOLE
- ⊖ ELECTRIC PANEL
- ⊕ ELECTRIC RISER
- ⊖ TRANSFORMER
- ⊕ UTILITY POLE
- ⊖ GAS METER
- ⊖ GAS VALVE
- ⊕ TELEPHONE MANHOLE
- ⊖ CABLE TV RISER
- ⊕ TRAFFIC SIGNAL
- ⊖ TRAFFIC SIGNAL CONTROL BOX
- ⊕ CLEANOUT
- ⊖ SANITARY MANHOLE
- ⊕ ROUND CATCH BASIN
- ⊖ SQUARE CATCH BASIN
- ⊕ DRAIN
- ⊖ STORM DRAIN MANHOLE
- ⊕ FIRE HYDRANT
- ⊖ FIRE DEPARTMENT CONNECTION
- ⊕ POST INDICATOR VALVE
- ⊖ WATER GATE MANHOLE
- ⊕ WATER VALVE
- ⊖ WELL
- ⊕ AIR CONDITIONING UNIT
- ⊖ BOLLARD
- ⊕ FLAGPOLE
- ⊖ WOOD POST
- ⊕ FLOOD LIGHT
- ⊖ LIGHTPOST/LAMP POST/AREA LIGHT
- ⊕ SINGLE POST SIGN
- ⊖ HANDICAP PARKING
- ⊕ DECIDUOUS TREE
- ⊖ CONIFEROUS TREE
- ⊕ PARCEL BOUNDARY LINE
- ⊖ PLATTED LOT LINE
- ⊕ ADJOINER PARCEL LINE
- ⊖ SECTION LINE
- ⊕ EASEMENT (AS NOTED)
- ⊖ EASEMENT CENTERLINE
- ⊕ RIGHT-OF-WAY
- ⊖ BUILDING
- ⊕ BUILDING OVERHANG
- ⊖ CENTERLINE DITCH
- ⊕ ASPHALT CURB
- ⊖ CONCRETE CURB
- ⊕ PARKING
- ⊖ EDGE OF CONCRETE (CONC.)
- ⊕ EDGE OF ASPHALT (ASPH.)
- ⊖ EDGE OF GRAVEL
- ⊕ FENCE (AS NOTED)
- ⊖ WALL (AS NOTED)
- ⊕ OVERHEAD UTILITY LINE
- ⊖ SANITARY LINE
- ⊕ STORM LINE
- ⊖ WATER LINE
- ⊕ CONTOUR MAJOR
- ⊖ CONTOUR MINOR
- ⊕ UNDERGROUND PIPE
- ⊖ MATCH LINE
- ⊕ BUILDING HATCH

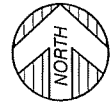
SEE SHEET 6



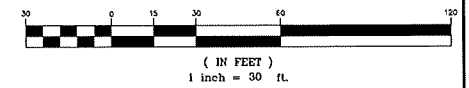
SEE SHEET 4

DATE	BY	REVISION	#1	DATE	BY
05-09-18	JDM		05-17-18	JDM	
EEI GLOBAL 1400 SOUTH LIVERNOIS ROAD SECTION 21, TOWN 3 NORTH, RANGE 11 EAST CITY OF ROCHESTER HILLS, STATE OF MICHIGAN					
KEM-TEC & ASSOCIATES PROFESSIONAL SURVEYORS - PROFESSIONAL ENGINEERS 22556 GRATIOT AVE • EASTPOINTE, MICHIGAN 48021 (986)717-2222 • (800)295-7222 • FAX (986)772-4048					
DATE	BY	REVISION	#1	DATE	BY
05/09/18	JDM		05/09/18	ATS	
MARCH 09, 2018					
PROJECT NO.	18-01235	SHEET	1" = 30'		
3					
3 OF 6 SHEETS					

TOPOGRAPHIC SURVEY SEE SHEET 3



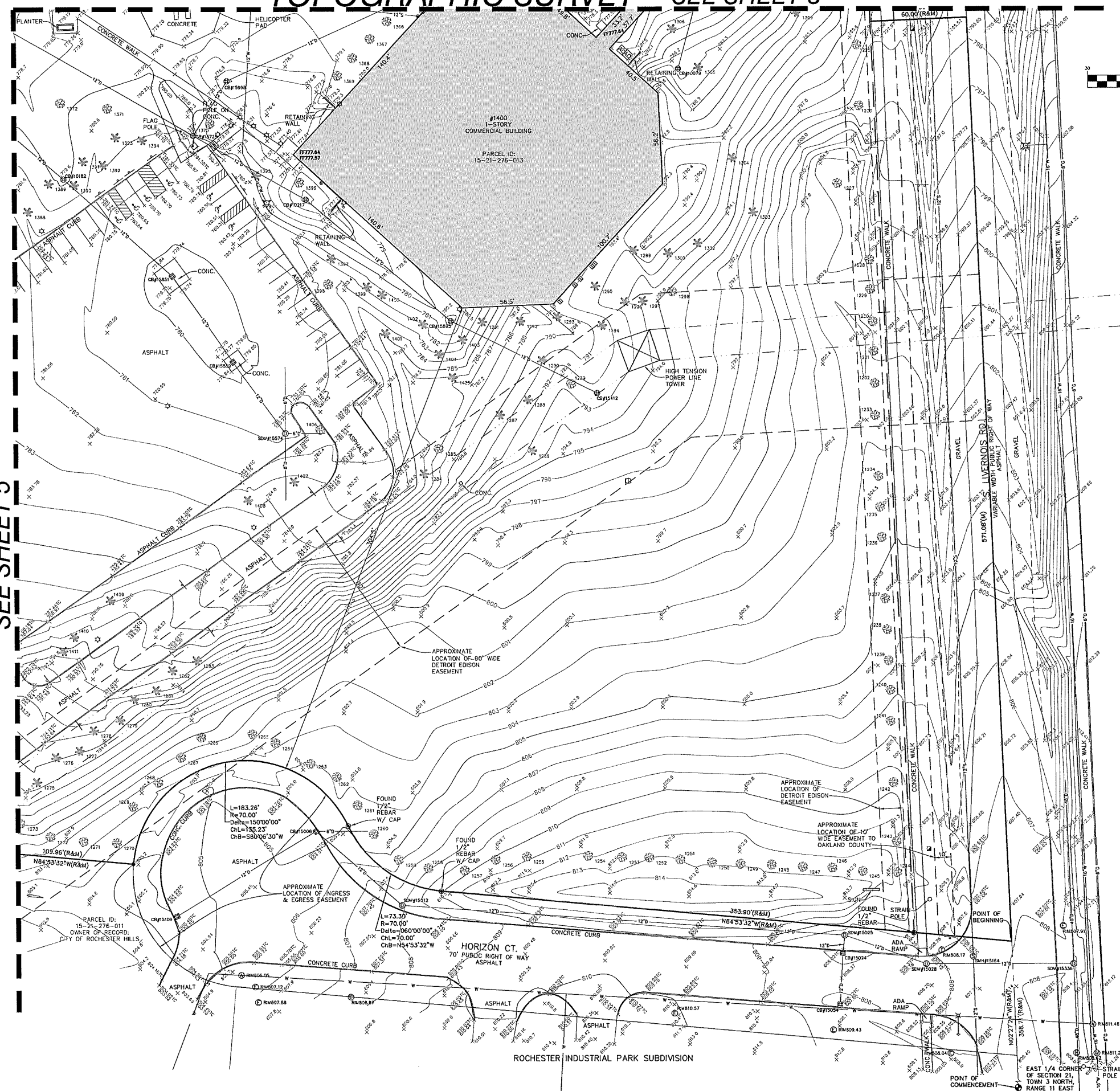
GRAPHIC SCALE



LEGEND

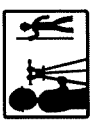
- SET 1/2" REBAR WITH CAP P.S. 47976
- FOUND MONUMENT (AS NOTED)
- FOUND SECTION CORNER (AS NOTED)
- RECORD AND MEASURED DIMENSION
- RECORD DIVISION
- MEASURED DIMENSION
- ELECTRIC MAINHOLE
- ELECTRIC PANEL
- ELECTRIC RISER
- TRANSFORMER
- UTILITY POLE
- GAS METER
- GAS VALVE
- TELEPHONE MANHOLE
- CABLE TV RISER
- TRAFFIC SIGNAL
- TRAFFIC SIGNAL CONTROL BOX
- CLEANOUT
- SANITARY MANHOLE
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- DRAIN
- STORM DRAIN MANHOLE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- POST INDICATOR VALVE
- WATER GATE MANHOLE
- WATER VALVE
- WELL
- AIR CONDITIONING UNIT
- BOLLARD
- FLAGPOLE
- WOOD POST
- FLOOD LIGHT
- LIGHTPOST/LAMP POST/AREA LIGHT
- SINGLE POST SIGN
- HANDICAP PARKING
- DECIDUOUS TREE
- CONIFEROUS TREE
- PARCEL BOUNDARY LINE
- PLATTED LOT LINE
- ADJOINER PARCEL LINE
- SECTION LINE
- EASEMENT (AS NOTED)
- EASEMENT CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- BUILDING OVERHANG
- CENTERLINE DITCH
- ASPHALT CURB
- CONCRETE CURB
- PARKING
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- EDGE OF GRAVEL
- FENCE (AS NOTED)
- WALL (AS NOTED)
- OVERHEAD UTILITY LINE
- SANITARY LINE
- STORM LINE
- WATER LINE
- CONTOUR MAJOR
- CONTOUR MINOR
- UNDERGROUND PIPE
- MATCH LINE
- BUILDING HATCH

SEE SHEET 5



EEL GLOBAL
1400 SOUTH LIVERNOIS ROAD
SECTION 21, TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS, STATE OF MICHIGAN

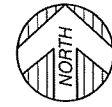
KEM-TEC & ASSOCIATES
PROFESSIONAL SURVEYORS - PROFESSIONAL ENGINEERS
22556 GRATIOT AVE. • EASTPOINTE, MICHIGAN 48021
(986)772-2222 • (800)295-7222 • FAX (586)772-4048



DATE	05/09/18
DESIGNED BY	ATS
DRAWN BY	MARCH 09, 2018
PROJECT NO.	18-01235
SCALE	1" = 30'

TOPOGRAPHIC SURVEY

SEE SHEET 6

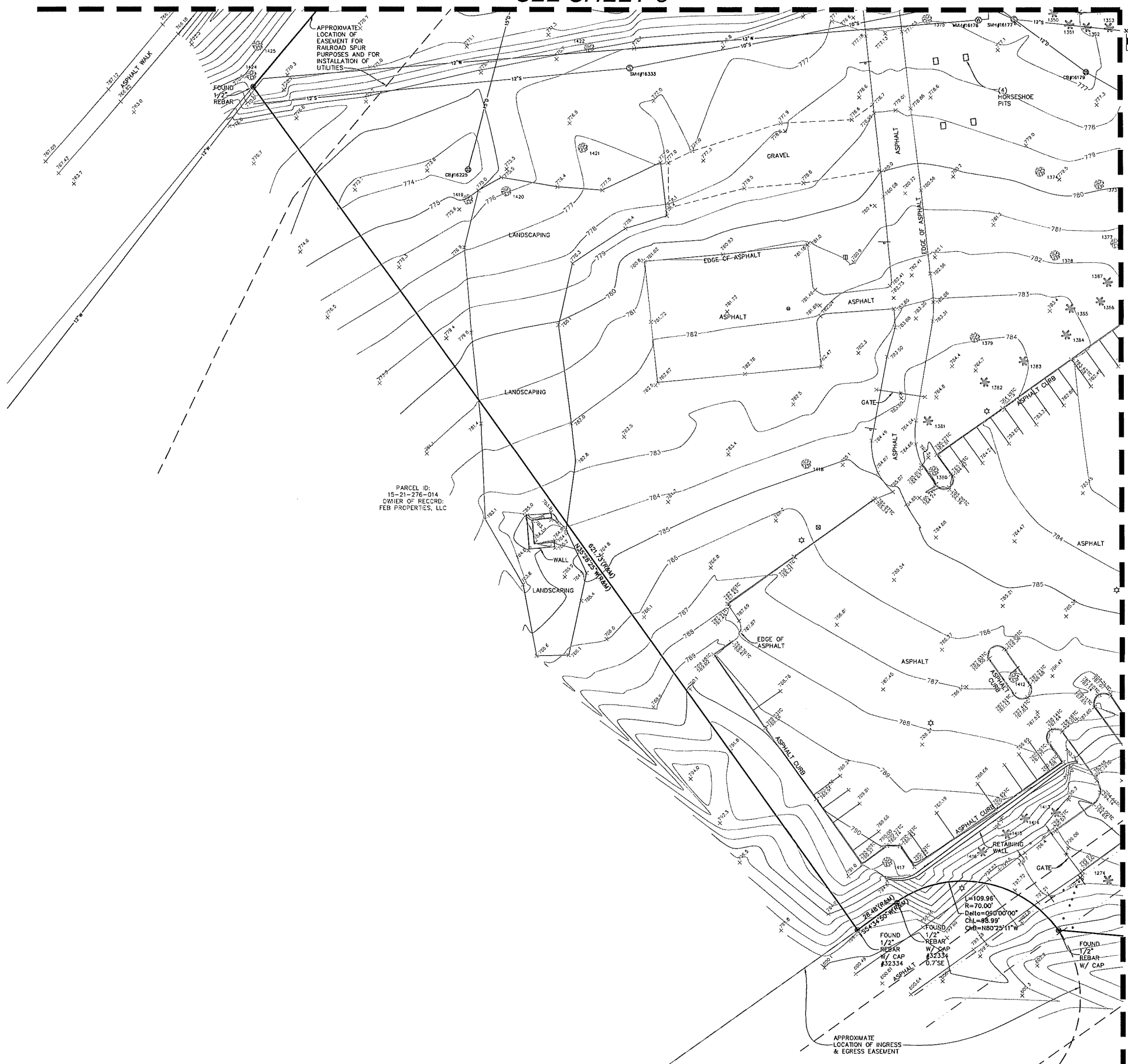


GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

LEGEND

- SET 1/2" REBAR WITH CAP P.S. 47876
- FOUND MONUMENT (AS NOTED)
- FOUND SECTION CORNER (AS NOTED)
- (R&M) RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- ⊕ ELECTRIC MANHOLE
- ⊖ ELECTRIC PANEL
- ⊕ ELECTRIC RISER
- ⊖ TRANSFORMER
- ⊕ UTILITY POLE
- ⊖ GAS METER
- ⊖ GAS VALVE
- ⊕ TELEPHONE MANHOLE
- ⊖ CABLE TV RISER
- ⊕ TRAFFIC SIGNAL
- ⊖ TRAFFIC SIGNAL CONTROL BOX
- ⊕ CLEANOUT
- ⊖ SANITARY MANHOLE
- ⊖ ROUND CATCH BASIN
- ⊖ SQUARE CATCH BASIN
- ⊖ DRAIN
- ⊖ STORM DRAIN MANHOLE
- ⊖ FIRE HYDRANT
- ⊖ FIRE DEPARTMENT CONNECTION
- ⊖ POST INDICATOR VALVE
- ⊖ WATER GATE MANHOLE
- ⊖ WATER VALVE
- ⊖ WELL
- ⊖ AIR CONDITIONING UNIT
- ⊖ BOLLARD
- ⊖ FLAGPOLE
- ⊖ WOOD POST
- ⊖ FLOOD LIGHT
- ⊖ LIGHTPOST/LAMP POST/AREA LIGHT
- ⊖ SINGLE POST SIGN
- ⊖ HANDICAP PARKING
- ⊖ DECIDUOUS TREE
- ⊖ CONIFEROUS TREE
- PARCEL BOUNDARY LINE
- PLATTED LOT LINE
- ADJOINER PARCEL LINE
- SECTION LINE
- - - EASEMENT (AS NOTED)
- - - EASEMENT CENTERLINE
- - - RIGHT-OF-WAY
- ▬ BUILDING
- ▬ BUILDING OVERHANG
- ▬ CENTERLINE DITCH
- ▬ ASPHALT CURB
- ▬ CONCRETE CURB
- ▬ PARKING
- ▬ EDGE OF CONCRETE (CONC.)
- ▬ EDGE OF ASPHALT (ASPH.)
- ▬ EDGE OF GRAVEL
- ⊗ FENCE (AS NOTED)
- ▬ WALL (AS NOTED)
- OVERHEAD UTILITY LINE
- SANITARY LINE
- STORM LINE
- WATER LINE
- CONTOUR MAJOR
- CONTOUR MINOR
- UNDERGROUND PIPE
- MATCH LINE
- ▬ BUILDING HATCH

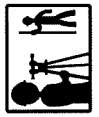


SEE SHEET 4

NO.	REVISION	DATE	BY	DESCRIPTION
1		08-17-18	JDM	ADDED GAS LINES

EEI GLOBAL
1400 SOUTH LIVERNOIS ROAD
SECTION 21, TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS, STATE OF MICHIGAN

KEM-TEC & ASSOCIATES
PROFESSIONAL ENGINEERS
22555 GRATIOT AVE. # EASTPOINTE, MICHIGAN 48021
(586)772-2222 • (800)955-7222 • FAX (586)772-4048

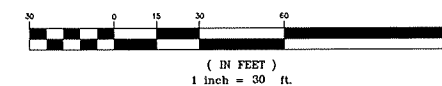


DATE PLOTTED	JDM	05/09/18
CHECKED BY	ATS	05/09/18
DRAWN BY	MARCH 09, 2018	
PROJECT NO.	18-01235	SHEET 1 OF 5

TOPOGRAPHIC SURVEY

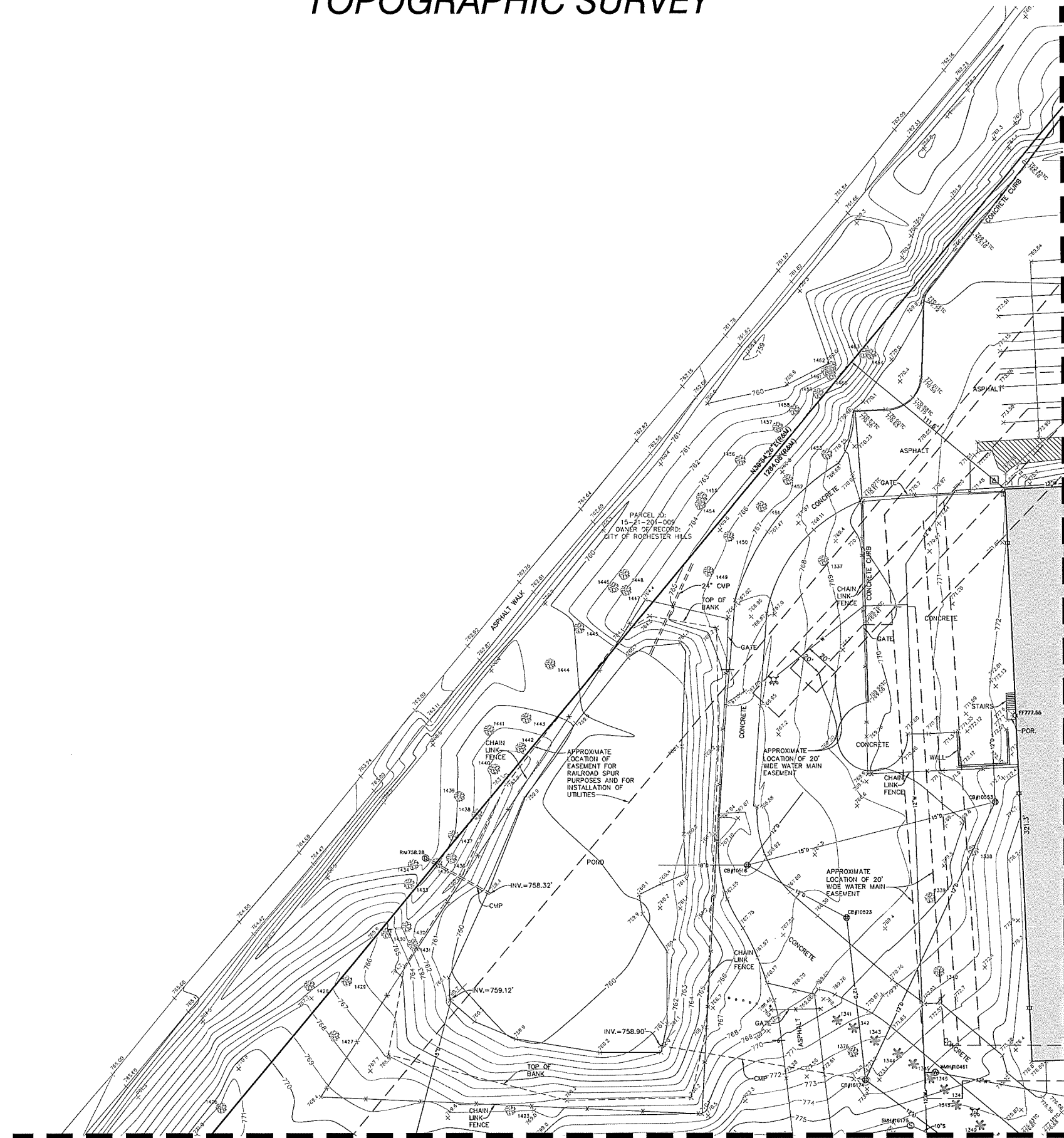


GRAPHIC SCALE



LEGEND

- SET 1/2" REBAR WITH CAP P.S. 47976
- FOUND MONUMENT (AS NOTED)
- FOUND SECTION CORNER (AS NOTED)
- (R&M) RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- ⊙ ELECTRIC MANHOLE
- ⊞ ELECTRIC PANEL
- ⊞ ELECTRIC RISER
- ⊞ TRANSFORMER
- UTILITY POLE
- ⊞ GAS METER
- ⊞ GAS VALVE
- ⊞ TELEPHONE MANHOLE
- ⊞ CABLE TV RISER
- ⊞ TRAFFIC SIGNAL
- ⊞ TRAFFIC SIGNAL CONTROL BOX
- CLEANOUT
- SANITARY MANHOLE
- ROUND CATCH BASIN
- SQUARE CATCH BASIN
- DRAIN
- STORM DRAIN MANHOLE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- POST INDICATOR VALVE
- WATER GATE MANHOLE
- WATER VALVE
- WELL
- AIR CONDITIONING UNIT
- BOLLARD
- FLAGPOLE
- WOOD POST
- FLOOD LIGHT
- LIGHTPOST/LAMP POST/AREA LIGHT
- SINGLE POST SIGN
- HANDICAP PARKING
- DECIDUOUS TREE
- CONIFEROUS TREE
- PARCEL BOUNDARY LINE
- PLATTED LOT LINE
- ADJOINER PARCEL LINE
- SECTION LINE
- EASEMENT (AS NOTED)
- EASEMENT CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- BUILDING OVERHANG
- CENTERLINE DITCH
- ASPHALT CURB
- CONCRETE CURB
- PARKING
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- EDGE OF GRAVEL
- FENCE (AS NOTED)
- WALL (AS NOTED)
- OVERHEAD UTILITY LINE
- SANITARY LINE
- STORM LINE
- WATER LINE
- CONTOUR MAJOR
- CONTOUR MINOR
- UNDERGROUND PIPE
- MATCH LINE
- BUILDING HATCH



SEE SHEET 3

SEE SHEET 5

EEL GLOBAL
1400 SOUTH LIVERNOIS ROAD
SECTION 21, TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS, STATE OF MICHIGAN

KEM-TEC & ASSOCIATES
SURVEYING & ENGINEERING
PROFESSIONAL ENGINEERS
REGISTERED IN THE STATE OF MICHIGAN
(686)772-2222 • (800)255-7222 • FAX (586)772-4648



DATE	05/09/18
BY	JDM
REVISION	05/09/18
DATE	05/09/18
BY	ATS
REVISION	MARCH 09, 2018
DATE	18-01235
PROJECT NO.	18-01235
SCALE	1" = 30'

SITE DATA

Regulation	Information
Parcel I.D.	15-21-276-013
Address	1400 South Livernois Road, Rochester Hills, MI
Zoning	Regional Employment Center Workplace District (REC-W)
Parcel Area	25.04 Acres (1,090,802 Sq. Ft.)

ZONING SCHEDULE OF REGULATIONS (REC-W)

Regulation	Required	Provided
<u>Setbacks</u>		
Minimum Front Yard Setback	10.0'	39.3'
Minimum Side Yard Setback	25.0'	33.1'
Minimum Rear Yard Setback	30.0'	39.7'
Minimum Front Parking Setback	10.0'	28.1'
Minimum Building Parking Setback	5.0'	7.0'
Maximum Building Height	42.0'	60.0' Max.
Building Coverage	N/A	26.2% (285,791 SF)
Green Space Coverage	N/A	31.5% (343,827 SF)
Impervious Coverage	N/A	42.3% (461,184 SF)

PARKING DETAIL

REC-W	Proposed PUD	Provided
<u>Warehouse</u> 1 Space per 1,700 SF (warehouse) (148,760 Gross SF) (1 / 1,700 SF) = 88 Spaces	<u>Warehouse</u> 1 Space per 2,500 SF (148,760 Gross SF) (1 / 2,500 SF) = 60 Spaces	
<u>Office</u> 1 Space per 350 SF (270,440 Gross SF) (1 / 350 SF) = 773 Spaces Total Required: 861 Spaces	<u>Office</u> 1 Space per 475 SF (270,440 Gross SF) (1 / 475 SF) = 570 Spaces Total Required: 630 Spaces	Total Provided: 630 Spaces
<u>90° Parking</u> 10' x 18' w/ 24' Aisle	10' x 18' w/ 24' Aisle Min.	10' x 18' w/ 24' Aisle Min.
<u>Parallel Parking</u> 8' x 22' w/ 12' Aisle	8' x 22' w/ 12' Aisle Min.	8' x 22' w/ 12' Aisle Min.

BUILDING DATA

Building	Height	Use	Gross Sq. Ft.
1	60'	Office Warehouse	129,410 Sq. Ft. 88,000 Sq. Ft.
2	60'	Office Warehouse	41,400 Sq. Ft. 29,830 Sq. Ft.
3	60'	Office Warehouse	36,040 Sq. Ft. 16,480 Sq. Ft.
4	60'	Professional Office	16,000 Sq. Ft.
5	60'	Office Warehouse	47,590 Sq. Ft. 14,450 Sq. Ft.
<u>Total Office Area:</u>		Professional Office	16,000 Sq. Ft.
		Warehouse Office	254,440 Sq. Ft.
		Total Office Area	270,440 Sq. Ft.
<u>Total Warehouse Area:</u>			148,760 Sq. Ft.
<u>Total Building Area:</u>			419,200 Sq. Ft.

FIRE DEPARTMENT NOTES

- A Knox key system shall be installed, in a location approved by the Fire Code Official for each building. Ordering information is available from the Knox Company at kноxbоx.com
- Fire lanes shall be designated by the Fire Code Official, and shall be conspicuously posted to both sides of the fire lane, with fire lane signs, spaced not more than 100 feet apart. Fire lane signs shall read "No Stopping, Standing, Parking, Fire Lane", and shall conform to the Michigan Manual of Uniform Traffic Control Devices. FIRE PREVENTION ORDINANCE Chapter 58, Sec. 503
- Construction sites shall be safeguarded in accordance with IFC 2006 Chapter 14.
- Minimum Fire Lane Width = 26.0'
- Open burning is not permitted including the burning of trash, debris, or land clearing materials. Open burning for warming of sand and/or water for the preparation of mortar shall be within the City of Rochester Hills Burn Permit Guidelines. FIRE PREVENTION ORDINANCE chapter 58, Sec. 307.6.2 & 307.6.2.3

NOTES

- All signs to meet Section 138-8.603 and Chapter 134 of City Code of Ordinances and be approved by Building Department.
- Use MDOOT R-28 series, sidewalk ramp and detectable warning details for sidewalk ramps and detectable warning strips.
- Maintain 10-foot horizontal separation between all underground utilities throughout.
- Livernois Road is under the jurisdiction of RCOC Jurisdiction.

WALLPACK LIGHT SPECIFICATION

WST LED
Area luminaire

Specifications:
- Luminaire Type: Area luminaire
- Length: 48"
- Height: 12"
- Weight: 12 lbs.
- Mounting: 1/2" x 4" threaded rod with nuts and washers

Emergency Battery Operation:
- Battery Type: Sealed lead-acid battery
- Battery Voltage: 12VDC
- Battery Capacity: 45Ah @ 25°C
- Discharge Rate: 100% (1 hour)

Notes:
- This luminaire is designed to be used in conjunction with the WST LED control system.
- The luminaire shall be installed in accordance with the manufacturer's instructions.
- The luminaire shall be tested and certified by a qualified testing agency.

Example:
- Example luminaire installed in a parking lot.

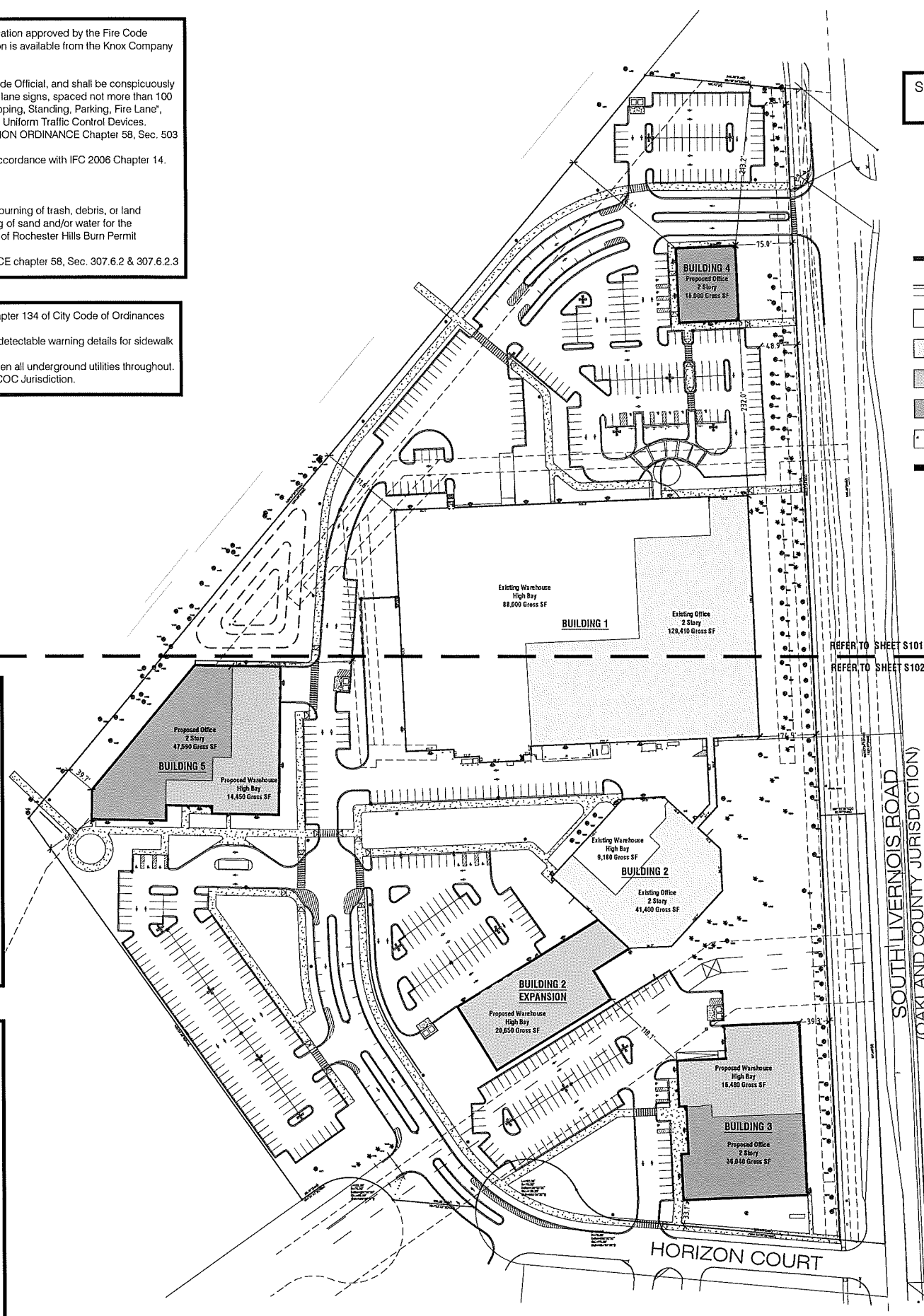
LIGHT POLE SPECIFICATION

D-Series Size 0
LED Area Luminaire

Specifications:
- Luminaire Type: Area luminaire
- Diameter: 24"
- Height: 12"
- Weight: 12 lbs.
- Mounting: 1/2" x 4" threaded rod with nuts and washers

Notes:
- This luminaire is designed to be used in conjunction with the D-Series control system.
- The luminaire shall be installed in accordance with the manufacturer's instructions.
- The luminaire shall be tested and certified by a qualified testing agency.

Example:
- Example luminaire installed in a parking lot.



LEGEND

- PROPERTY LINE
- PROPOSED CURB AND GUTTER
- EXISTING BUILDING (WAREHOUSE)
- EXISTING BUILDING (OFFICE)
- PROPOSED BUILDING (WAREHOUSE)
- PROPOSED BUILDING (OFFICE)
- PROPOSED CONCRETE
- PROPOSED RETAINING WALL
- PROPOSED BUILDING DOORS
- PROPOSED LIGHT POLES
- PROPOSED BUILDING WALLPACK LIGHT

DESIGNHAUS EST 1998
ARCHITECTURE

301 WALNUT BOULEVARD
ROCHESTER, MI 48307
T: 248.601.4422 F: 248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

PUD Review Submission 10.24.18	
No.	Revision/Issue Date

Rochester Hills Research Park
1400 S. Livernois
Rochester Hills, MI 48307

Overall Site Plan

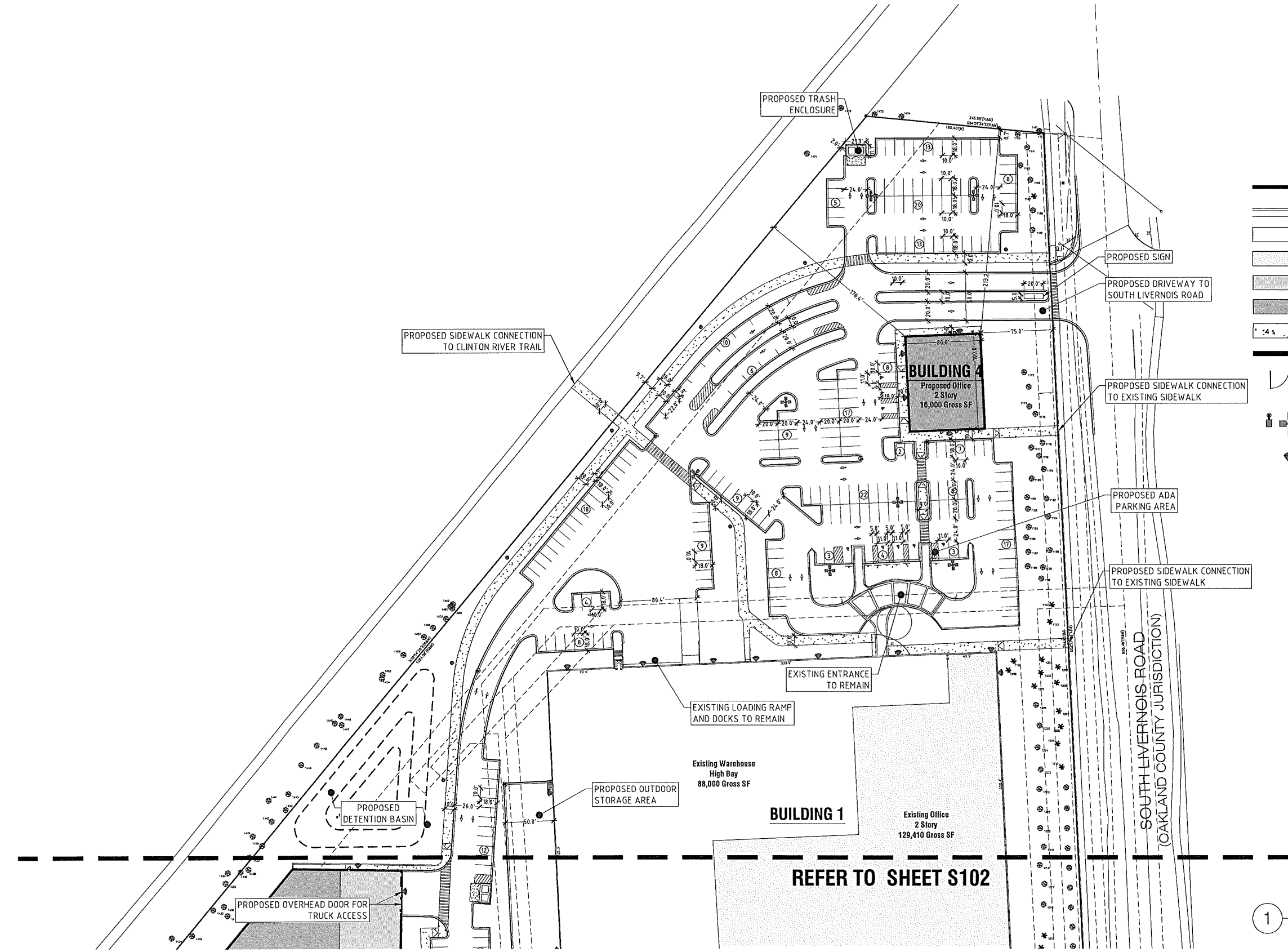
S100 01/17/20

Overall Site Plan
SCALE: 60 = 1'

S100 Site Plan.dwg

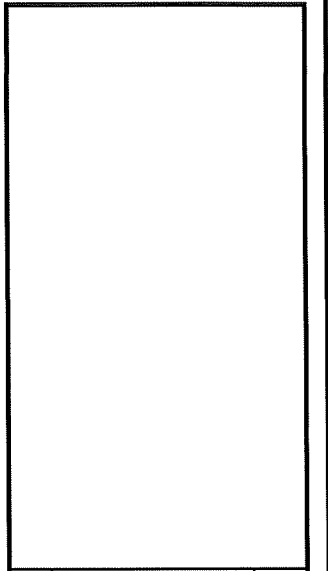
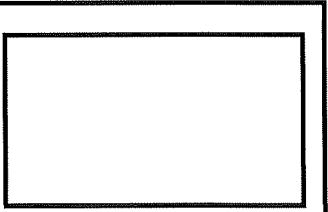
10/25/2018

DHWS-60



LEGEND

- PROPERTY LINE
- PROPOSED CURB AND GUTTER
- EXISTING BUILDING (WAREHOUSE)
- EXISTING BUILDING (OFFICE)
- PROPOSED BUILDING (WAREHOUSE)
- PROPOSED BUILDING (OFFICE)
- PROPOSED CONCRETE
- PROPOSED RETAINING WALL
- PROPOSED BUILDING DOORS
- PROPOSED AREA LIGHTS
- PROPOSED BUILDING MOUNTED LIGHTS



No.	Revision/Issue	Date
	PUD Review Submission	10.24.16

Rochester Hills Research Park
 1400 S. Livernois
 Rochester Hills, MI 48307

Site Plan (North)

1 Site Plan (North)
 SCALE: 50' = 1"

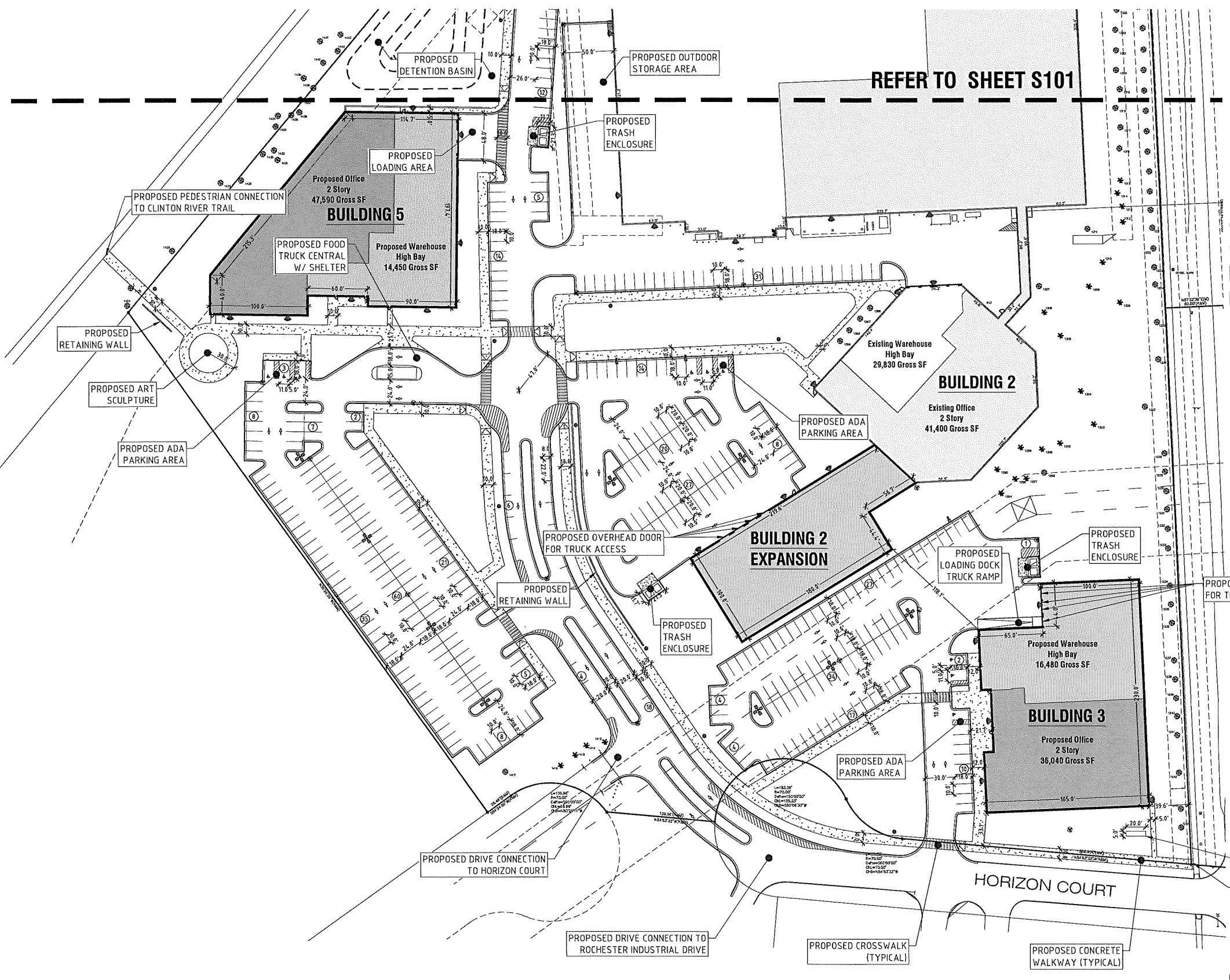


S101 17170

S100 Site Plan.dwg

10/25/2018

DHS-60



REFER TO SHEET S101

LEGEND

- PROPERTY LINE
- PROPOSED CURB AND GUTTER
- EXISTING BUILDING (WAREHOUSE)
- EXISTING BUILDING (OFFICE)
- PROPOSED BUILDING (WAREHOUSE)
- PROPOSED BUILDING (OFFICE)
- PROPOSED CONCRETE
- PROPOSED RETAINING WALL
- PROPOSED BUILDING DOORS
- PROPOSED AREA LIGHTS
- PROPOSED BUILDING MOUNTED LIGHTS

SOUTH LIVERNOIS ROAD
(OAKLAND COUNTY JURISDICTION)

1 Site Plan (South)
SCALE: 50' = 1"

DESIGNHAUS EST 1998
ARCHITECTURE

301 WALNUT BOULEVARD
ROCHESTER, MI 48307
T:248.601.4422 F:248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

No.	Revision/Issue	Date
	PUD Review Submission	10.24.18

Rochester Hills Research Park
1400 S. Livernois
Rochester Hills, MI 48307

Site Plan (South)

S102 17170

L100 Landscape Plan.dwg

10/25/2018

DHWS-60

BUFFER D - WEST PROPERTY LINE.
(6) EXISTING DECIDUOUS TREES TO
REMAIN (SEE SHEET L101 FOR
ADDITIONAL TREES)

GENERAL LANDSCAPING (4) TILIA tomentosa - SILVER LINDEN (TYP).
(SEE SHEET L101 FOR ADDITIONAL PLANTS PROPOSED)

GENERAL LANDSCAPING (58) EUDORPUS alatus 'COMPACTUS' - DWARF
BURRING BUSH (TYP). (SEE SHEET L101 FOR ADDITIONAL PLANTS PROPOSED)

GENERAL LANDSCAPING (8) BETULA nigra - PAPERBARK BIRCH
(TYP). (SEE SHEET L101 FOR ADDITIONAL PLANTS PROPOSED)

GENERAL LANDSCAPING (51) SYRINGA 'MISS KIM' - MISS KIM LILAC
(TYP). (SEE SHEET L101 FOR ADDITIONAL PLANTS PROPOSED)

GENERAL LANDSCAPING (24) ABIES concolor - CONCOLOR FIR (TYP).
(SEE SHEET L101 FOR ADDITIONAL PLANTS PROPOSED)

PARKING LOT LANDSCAPING (71) HOSTA plantaginifolia 'AUGUST
LILY' - AUGUST LILY HOSTA (TYP). (SEE SHEET L101 FOR ADDITIONAL
PLANTS PROPOSED)

PARKING LOT LANDSCAPING (55) GLEDITSIA tricanthos inermis
'THORNLESS HONEYLOCUST' - HONEY LOCUST (TYP). (SEE SHEET L101
FOR ADDITIONAL TREES PROPOSED)

PARKING LOT LANDSCAPING (65) HEMEROCALLIS 'STELLA D'ORO'
- STELLA D'ORO DAYLILY (TYP). (SEE SHEET L101 FOR ADDITIONAL
PLANTS PROPOSED)

PARKING LOT LANDSCAPING (33) CALAMAGROSTIS x acutiflora
'OVERDAM' - FEATHER REED GRASS (TYP). (SEE SHEET L101 FOR
ADDITIONAL PLANTS PROPOSED)

PARKING LOT LANDSCAPING (30) CORNUS kousa - KOUSA DOGWOOD
(TYP). (SEE SHEET L101 FOR ADDITIONAL TREES PROPOSED)

PARKING LOT LANDSCAPING (123) TAXUS x media 'WARDII' - WARDII
YEW (TYP). (SEE SHEET L101 FOR ADDITIONAL PLANTS PROPOSED)

PARKING LOT LANDSCAPING (57) TILIA tomentosa - SILVER LINDEN
(TYP). (SEE SHEET L101 FOR ADDITIONAL PLANTS PROPOSED)

BUFFER D - WEST PROPERTY LINE (10) MALUS sargentii -
SARGENT CRABAPPLE (TYP). (SEE SHEET L101 FOR
ADDITIONAL TREES PROPOSED)

BUFFER D - WEST PROPERTY LINE (10) AMELANCHIER
laevis - ALLEGHENY SERVICEBERRY (TYP). (SEE SHEET L101
FOR ADDITIONAL TREES PROPOSED)

GENERAL LANDSCAPING (100) CALAMAGROSTIS x acutiflora
'OVERDAM' - FEATHER REED GRASS (TYP). (SEE SHEET L101 FOR
ADDITIONAL PLANTS PROPOSED)

BUFFER D - WEST PROPERTY LINE (14) ACER saccharum 'GREEN
MOUNTAIN' - SUGAR MAPLE (TYP). (SEE SHEET L101 FOR
ADDITIONAL TREES PROPOSED)

GENERAL LANDSCAPING (142) HEMEROCALLIS 'STELLA D'ORO' - STELLA
D'ORO DAYLILY (TYP). (SEE SHEET L101 FOR ADDITIONAL PLANTS PROPOSED)

GENERAL LANDSCAPING (22) QUERCUS robur 'FASTIGIATA' - COLUMBIAN
ENGLISH OAK (TYP). (SEE SHEET L101 FOR ADDITIONAL PLANTS PROPOSED)

BUFFER D - WEST PROPERTY LINE (3) GINKGO biloba - MAIDENHAIR
TREE (TYP). (SEE SHEET L101 FOR ADDITIONAL TREES PROPOSED)

BUFFER D - NORTH PROPERTY LINE (5) AMELANCHIER
laevis - ALLEGHENY SERVICEBERRY (TYP)

BUFFER D - NORTH PROPERTY LINE (5) ACER saccharum
'GREEN MOUNTAIN' - SUGAR MAPLE (TYP)

BUFFER D - NORTH PROPERTY LINE (27) JUNIPERUS
scopulorum 'SKYROCKET' - SKYROCKET JUNIPER (TYP)

R.O.W. LANDSCAPE - LIVERNOIS ROAD.
(70) EXISTING TREES TO REMAIN (TYP).
(SEE SHEET L101 FOR ADDITIONAL
EXISTING TREES)

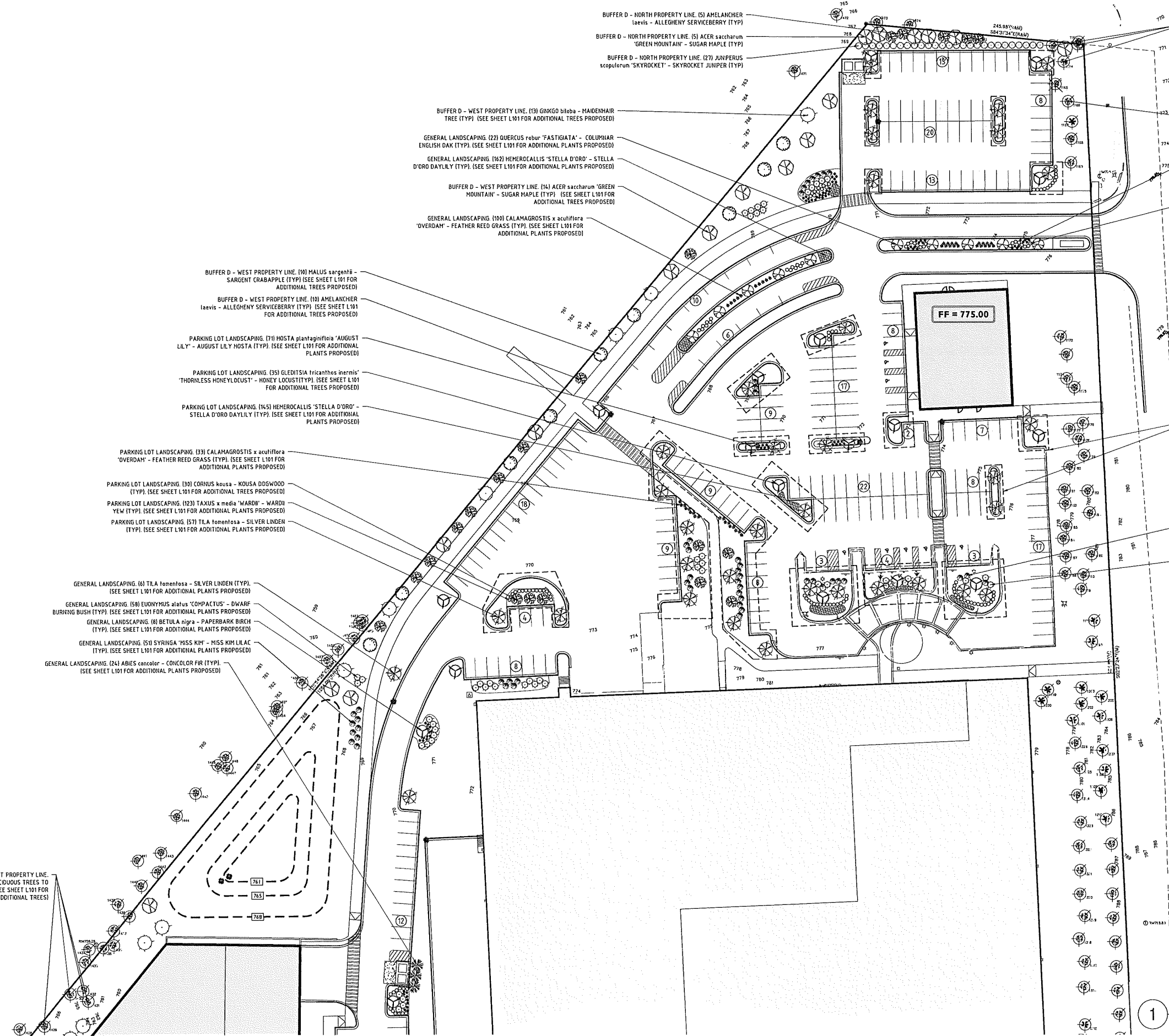
GENERAL LANDSCAPING (166) HOSTA
- MIXED USE VARIETY (MEDIUM AND
SMALL) (TYP). (SEE SHEET L101 FOR
ADDITIONAL PLANTS PROPOSED)

GENERAL LANDSCAPING (153) TAXUS
x media 'WARDII' - WARDII YEW (TYP).
(SEE SHEET L101 FOR ADDITIONAL
PLANTS PROPOSED)

AREA OF PARKING LOT
LANDSCAPING (TYP)

PARKING LOT LANDSCAPING (28)
SYRINGA 'MISS KIM' - MISS KIM LILAC
(TYP). (SEE SHEET L101 FOR ADDITIONAL
PLANTS PROPOSED)

PARKING LOT LANDSCAPING (17)
EUDORPUS alatus 'COMPACTUS' -
DWARF BURING BUSH (TYP). (SEE
SHEET L101 FOR ADDITIONAL PLANTS
PROPOSED)



DESIGNHAUS EST
ARCHITECTURE 1998

301 WALNUT BOULEVARD
ROCHESTER, MI 48307
T:248.601.4422 F:248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

No.	Revision/Issue	Date
	PUD Review Submission	10/24/18

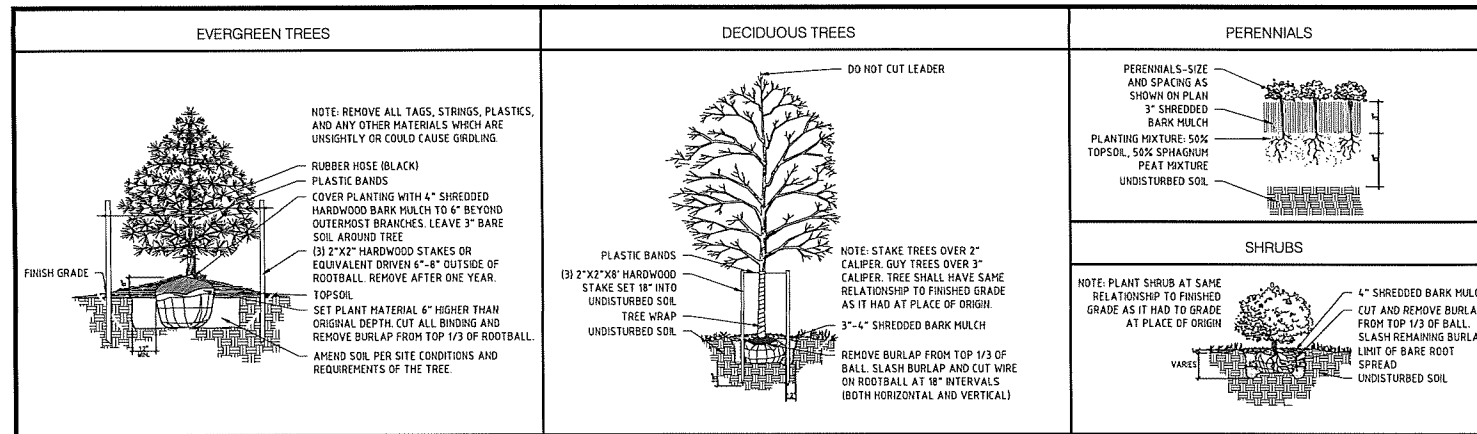
Rochester Hills Research Park
1400 S. Livernois
Rochester Hills, MI 48307

Landscape Plan (North)

L100 017170

1 Landscape Plan (North) NORTH
SCALE: 1" = 40'

PLANTING DETAILS



GENERAL NOTES FOR LANDSCAPE DEVELOPMENT

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- CONCERNING GROUND COVER, ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH, SEE SPECIFICATIONS. ALL OTHER DISTURBED AREAS SHALL BE SODDED.
- LANDSCAPING SHALL BE MAINTAINED IN A GOOD CONDITION TO PRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE (1) YEAR OF THE NEXT APPROPRIATE PLANTING PERIOD.
- OWNER TO ESTABLISH MAINTENANCE PROGRAM TO ENSURE GROUNDS AND LANDSCAPING TO REMAIN HEALTHY AND WELL GROOMED.
- RECOMMENDED PLANTING DATES ARE MARCH 1ST TO MAY 15TH FOR ALL MATERIALS, AND OCTOBER 15TH TO DECEMBER 15TH FOR DECIDUOUS MATERIALS. PLANTINGS OUTSIDE THESE DATES SHALL HAVE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
- UNDERGROUND IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED BY CONTRACTOR.
- TURF GRASS TO BE COMMON TO OAKLAND COUNTY, MI.

PLANT SCHEDULE

#	BOTANICAL NAME / COMMON NAME	SIZE/ROOT	REQUIRED PER CODE	UNIT/TOTAL COST
BUFFER D - NORTH (246)				
5	ACER saccharum 'GREEN MOUNTAIN/ SUGAR MAPLE	3' CAL	5/8 DECIDUOUS	\$350/\$1,750
5	AMELANCHIER laevis/ ALLEGHENY SERVICEBERRY	3' CAL	5/5 ORNAMENTAL	\$325/\$1,625
27	JUNIPERUS scopulorum 'SKYROCKET /SKYROCKET JUNIPER	6-7 B&B	GREEN WALL	\$325/\$8,775
THREE (3) EXISTING DECIDUOUS TREES TO REMAIN				
TOTAL BUFFER D NORTH PLANTS: \$12,150				
BUFFER D - WEST (1284)				
14	ACER saccharum 'GREEN MOUNTAIN/ SUGAR MAPLE	3' CAL	12/33 DECIDUOUS	\$350/\$4,900
13	GINKGO biloba/ MAIDENHAIR TREE	3' CAL	13/33 DECIDUOUS	\$350/\$4,550
SIX (6) EXISTING DECIDUOUS TREES TO REMAIN				
10	AMELANCHIER laevis/ ALLEGHENY SERVICEBERRY	3' CAL	10/20 ORNAMENTAL	\$325/\$3,250
10	MALUS sargentii / SARGENT CRABAPPLE	12 GAL	10/20 ORNAMENTAL	\$200/\$2,000
TOTAL BUFFER D WEST OF NORTH PL: \$14,700				
RIGHT OF WAY (LIVERNOIS) (1535)				
SEVENTY (70) EXISTING TREES TO REMAIN				
PARKING LOT LANDSCAPE (REQUIRED: 5% = 12,440 SF. PROVIDED: 32,860 SF)				
30	CORNUS kousa/KOUSA DOGWOOD	3' CAL	30/83 DECIDUOUS	\$325/\$9,750
35	GLEDTSIA tricanthos inermis 'THORNLESS HONEYLOCUST'	3' CAL	35/83 DECIDUOUS	\$350/\$12,250
57	TILIA tomentosa/SILVER LINDEN	3' CAL	57/83 DECIDUOUS	\$350/\$19,950
33	CALAMAGROSTIS x acutiflora 'OVERDAM/FEATHER REED GRASS	1 GAL		\$50/\$1,650
17	EUONYMUS alatus 'COMPACTUS/DWARF BURNING BUSH	12-15" B&B		\$100/\$1,700
145	HEMEROCALLIS 'STELLA D'ORO/STELLA D'ORO DAYLILY	1 GAL		\$50/\$7,250
71	HOSTA plantaginifolia 'AUGUST LILY/AUGUST LILY HOSTA	1 GAL		\$50/\$3,550
28	SYRINGA 'MISS KIM' / MISS KIM LILAC	5 GAL		\$100/\$2,800
123	TAXUS x media 'WARDII/WARDII YEW	12-15" B&B		\$50/\$6,150
TOTAL PARKING LOT LANDSCAPING: \$65,050				
ADDITIONAL SITE LANDSCAPING				
24	ABIES concolor/CONCOLOR FIR	7-8" B&B		\$350/\$8,400
8	BETULA nigra / PAPERBARK BIRCH	3' CAL		\$350/\$2,800
100	CALAMAGROSTIS x acutiflora 'OVERDAM/FEATHER REED GRASS	1 GAL		\$50/\$5,000
58	EUONYMUS alatus 'COMPACTUS/DWARF BURNING BUSH	12-15" B&B		\$100/\$5,800
162	HEMEROCALLIS 'STELLA D'ORO/STELLA D'ORO DAYLILY	1 GAL		\$50/\$8,100
166	HOSTA - MIXED VARIETIES (MEDIUM AND SMALL)	1 GAL		\$50/\$8,300
8	MALUS sargentii / SARGENT CRABAPPLE	12 GAL		\$200/\$1,600
8	PICEA glauca 'DENSATA/BLACK HILLS SPRUCE	7-8" B&B		\$350/\$2,800
22	QUERCUS robur 'FASTIGIATA/COLUMNAR ENGLISH OAK	3" B&B		\$350/\$7,700
153	TAXUS x media 'WARDII/WARDII YEW	12-15" B&B		\$50/\$7,050
6	TILIA tomentosa/SILVER LINDEN	3' CAL		\$350/\$2,100
51	SYRINGA 'MISS KIM' / MISS KIM LILAC	5 GAL		\$100/\$5,100
TOTAL ADDITIONAL SITE LANDSCAPING: \$64,750				
BUFFER REQUIREMENTS:				
BUFFER D: 8' WIDTH OF SOLID GREEN WALL + 2.5 DECIDUOUS + 1.5 ORNAMENTAL PER 100'				
RIGHT OF WAY: 1 DECIDUOUS PER 35' + 1 ORNAMENTAL PER 60'				
PARKING LOT: 5% OF PARKING LOT + 1 DECIDUOUS PER 150 SF OF LANDSCAPE AREA				
ANY TEMPORARY IMPACTS TO BE RESTORED TO ORIGINAL GRADE WITH ORIGINAL SOILS AND SEEDED WITH A CITY APPROVED SEED MIX, WHERE POSSIBLE, PRIOR TO FINAL APPROVAL BY STAFF.				

No.	Revision/Issue	Date	

Rochester Hills Research Park
 1400 S. Livernois
 Rochester Hills, MI 48307

Landscape Details

L102 01/17/10

GRADING NOTES

1. ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER HILLS AND M.D.O.T
2. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
3. ON-SITE FILL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
4. THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROOFROLLED USING A FULLY LOADED TANDEM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL/ PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEOGRIDS OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
5. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.

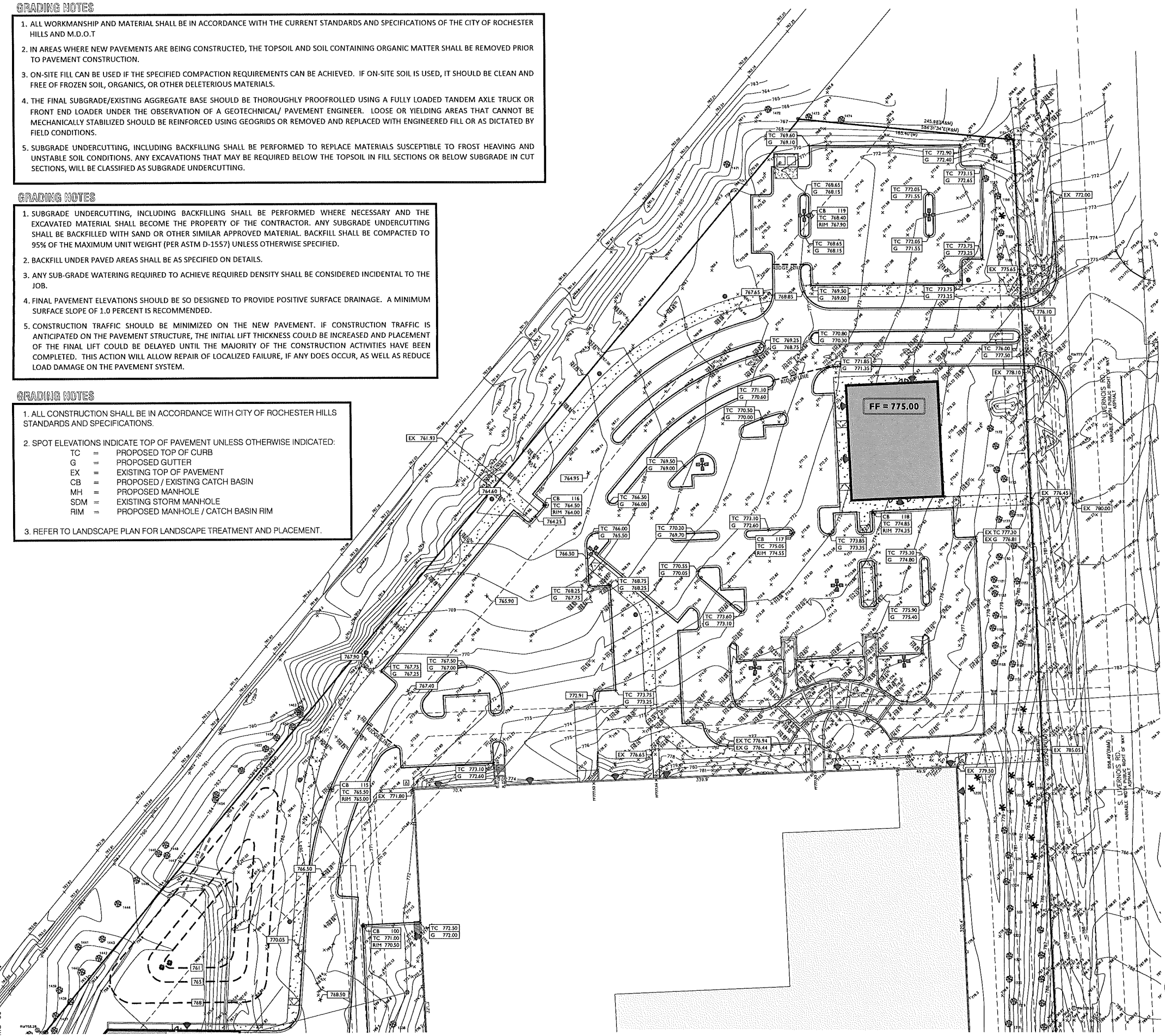
GRADING NOTES

1. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAND OR OTHER SIMILAR APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
2. BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS.
3. ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
4. FINAL PAVEMENT ELEVATIONS SHOULD BE SO DESIGNED TO PROVIDE POSITIVE SURFACE DRAINAGE. A MINIMUM SURFACE SLOPE OF 1.0 PERCENT IS RECOMMENDED.
5. CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT THICKNESS COULD BE INCREASED AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.

GRADING NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF ROCHESTER HILLS STANDARDS AND SPECIFICATIONS.
2. SPOT ELEVATIONS INDICATE TOP OF PAVEMENT UNLESS OTHERWISE INDICATED:
 - TC = PROPOSED TOP OF CURB
 - G = PROPOSED GUTTER
 - EX = EXISTING TOP OF PAVEMENT
 - CB = PROPOSED / EXISTING CATCH BASIN
 - MH = PROPOSED MANHOLE
 - SDM = EXISTING STORM MANHOLE
 - RIM = PROPOSED MANHOLE / CATCH BASIN RIM
3. REFER TO LANDSCAPE PLAN FOR LANDSCAPE TREATMENT AND PLACEMENT.

C200 Preliminary Grading Plan.dwg
10/25/2018
DHWS-60



DESIGNHAUS EST
ARCHITECTURE 1998

301 WALNUT BOULEVARD
ROCHESTER, MI 48307
T:248.601.4422 F:248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

No.	Revision/Issue	Date

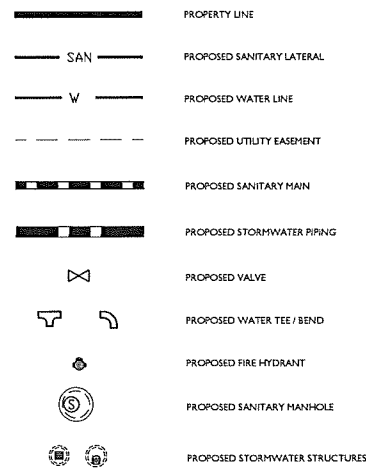
Rochester Hills Research Park
1400 S. Livernois
Rochester Hills, MI 48307

Preliminary Grading Plan (North)

C200	017170
------	--------

1 Preliminary Grading (North) NORTH SCALE: 40' = 1"

LEGEND

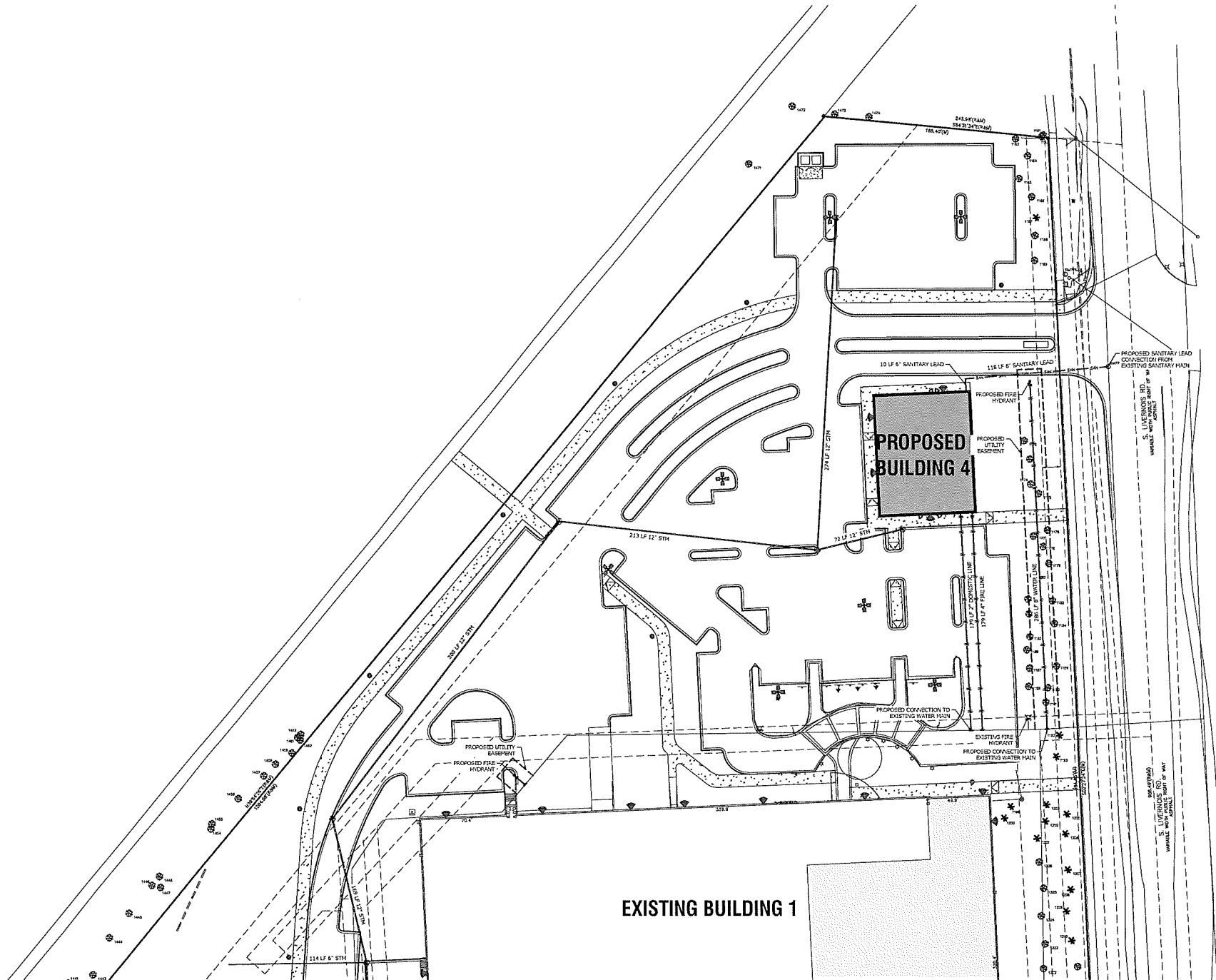


GENERAL NOTES

1. ALL CONSTRUCTION PROCEDURES AND MATERIALS SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER HILLS.
2. A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED BY THE CITY OF ROCHESTER HILLS AND HELD PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR MUST CONTACT MISS DIG (811) AT LEAST THREE WORKING DAYS PRIOR TO THE START OF CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS. ALL UTILITIES SHALL BE STAKED BEFORE CONSTRUCTION BEGINS.
4. ALL WATER MAIN EASEMENTS SHALL BE PROVIDED PRIOR TO CONSTRUCTION AND ACCEPTANCE OF THE WATER DISTRIBUTION SYSTEM.
5. WATER MAINS SHALL BE CONSTRUCTED WITH A MINIMUM COVER OF 6 FEET BELOW FINISHED GRADES, INCLUDING OPEN DRAINAGE COURSES.
6. ALL TRENCHES UNDER OR WITHIN A 1:1 RATIO OF EXISTING OR PROPOSED PAVEMENT OR DRIVEWAYS, SHALL BE BACKFILLED WITH COMPACTED CLASS II SAND TO GRADE (95% MAXIMUM UNIT DENSITY).
7. WHERE TWO UTILITIES CROSS, PROVIDE CLASS II BACKFILL MATERIAL IN SIX (6) INCH COMPACTED LAYERS TO TOP HIGHEST UTILITY.
8. WHERE WATER MAINS DIP UNDER OTHER UTILITIES, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE CONSTRUCTED WITH 11-1/4" VERTICAL BENDS, 22 1/2° OR 45° BENDS MUST BE RODDED AND PROPERLY ANCHORED.

GENERAL NOTES

1. ALL PRECAST CONCRETE GATE WELL SECTIONS SHALL BE IN ACCORDANCE WITH A.S.T.M. C478, STANDARD SPECIFICATIONS FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS. WALL THICKNESS SHALL BE AS SHOWN ON THESE DETAILS. ALL JOINTS FOR PRECAST CONCRETE GATE WELL SECTIONS SHALL BE "MODIFIED GROOVE TONGUE" WITH GASKET MANUFACTURED TO CONFORM WITH A.S.T.M. C443, STANDARD SPECIFICATION FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE USING RUBBER GASKETS.
2. CONTRACTOR SHALL INSTALL VALVES, TAPPING SLEEVES, AND GATE WELL STRUCTURES IN STRICT COMPLIANCE WITH MEASUREMENTS PROVIDED ON SHEET 1 (2'-0" BETWEEN GATE WELL WELL AND CENTERLINE OF OPERATING NUT) TO ALLOW PROPER OPERATION OF VALVE THROUGH GATE WELL OPENING.
3. ALL CROSS-CONNECTION CONTROL DEVICES SHALL BE INSTALLED AS REQUIRED BY THE ROCHESTER HILLS PLUMBING INSPECTOR AND IN ACCORDANCE WITH THE STANDARDS OF THE OAKLAND COUNTY DRAIN COMMISSIONER OPERATION AND MAINTENANCE DIVISION AND THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY, DIVISION OF DRINKING WATER AND RADIOLOGICAL PROTECTION.
4. ALL WATER SERVICE CONNECTIONS TWO (2) INCHES AND SMALLER SHALL BE MADE BY THE CITY OF ROCHESTER HILLS, DEPARTMENT OF PUBLIC SERVICES AFTER WATER MAIN ACCEPTANCE AND APPLICABLE PERMITS ARE OBTAINED.
5. ALL FITTINGS AND BENDS SHOULD BE BLOCKED IN ACCORDANCE WITH THRUST BLOCK DETAILS, UNLESS ALTERNATE THRUST RESTRAINT SYSTEM, AS INDICATED PLANS AND SPECIFICATIONS, IS APPROVED BY THE CITY OF ROCHESTER HILLS DEPARTMENT OF PUBLIC SERVICES.

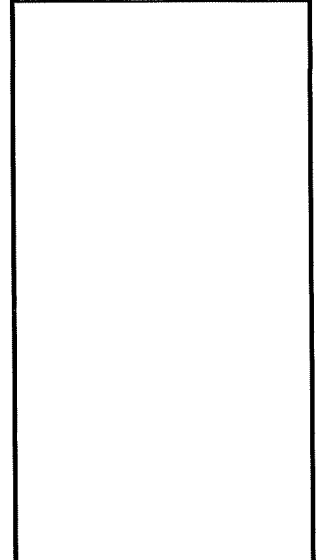
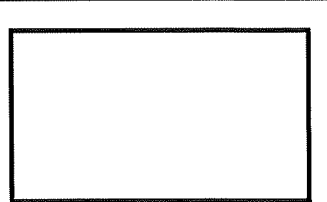


DESIGNHAUS EST 1998
ARCHITECTURE

301 WALNUT BOULEVARD
 ROCHESTER, MI 48307

T:248.601.4422 F:248.453.5854

WWW.DESIGNHAUS.COM
 INFO@DESIGNHAUS.COM



No.	Revision/Issue	Date
	PUD Review Submission	10/24/18

Rochester Hills Research Park
 1400 S. Livernois
 Rochester Hills, MI 48307

Preliminary Utility Plan (North)

C300 017170

1 Preliminary Utility Plan (North) SCALE 1" = 50'

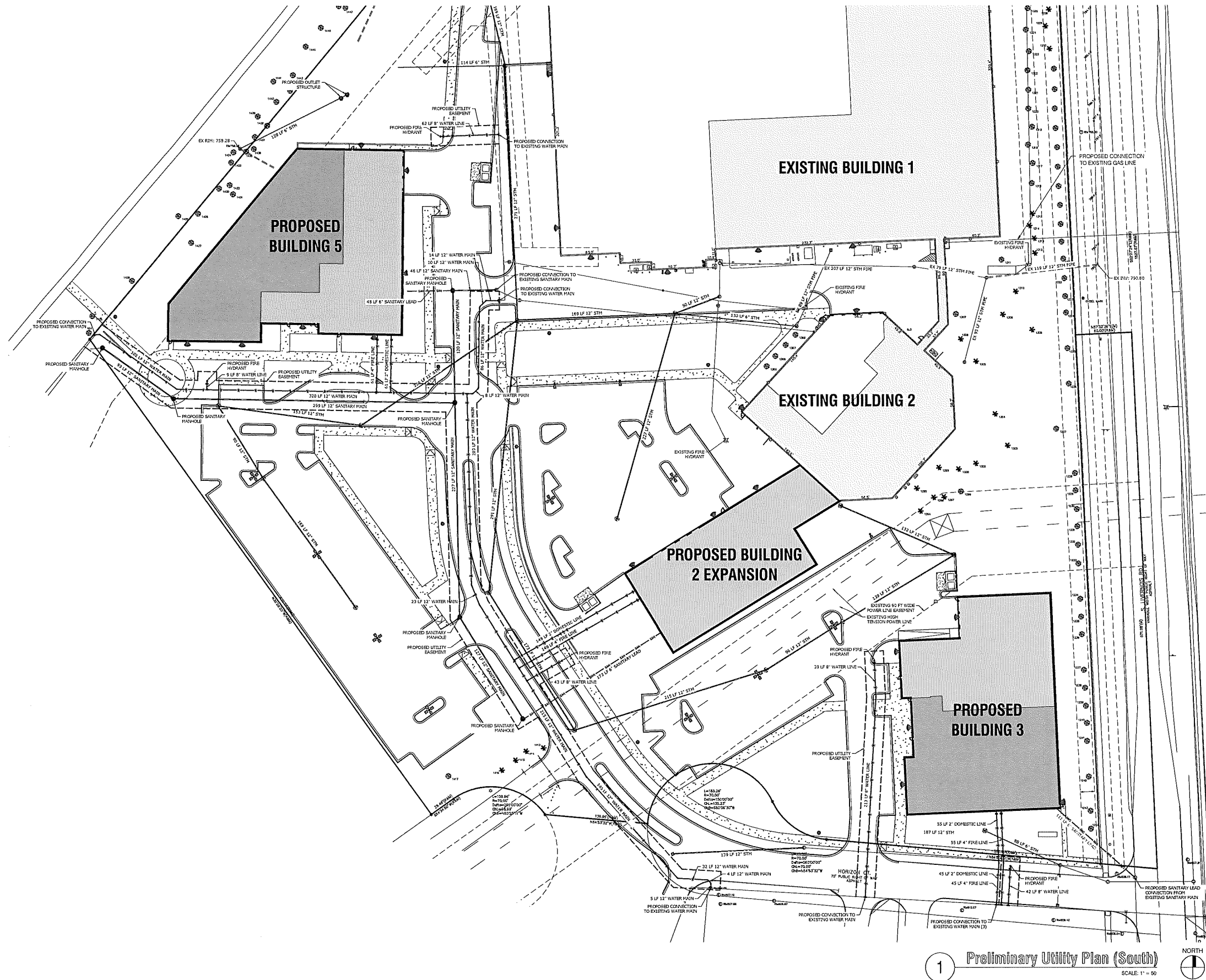


C300 Preliminary Utility Plan.dwg

10/25/2018

DWS-60

LEGEND	
	PROPERTY LINE
	PROPOSED SANITARY LATERAL
	PROPOSED WATER LINE
	PROPOSED UTILITY EASEMENT
	PROPOSED SANITARY MAIN
	PROPOSED STORMWATER PIPING
	PROPOSED VALVE
	PROPOSED WATER TEE / BEND
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY MANHOLE
	PROPOSED STORMWATER STRUCTURES



1 Preliminary Utility Plan (South) SCALE: 1" = 50'

DESIGNHAUS EST
ARCHITECTURE 1998

301 WALNUT BOULEVARD
ROCHESTER, MI 48307

T:248.601.4422 F:248.453.5854

WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

FLD Review Submission		10.24.18
No.	Revision/Issue	Date

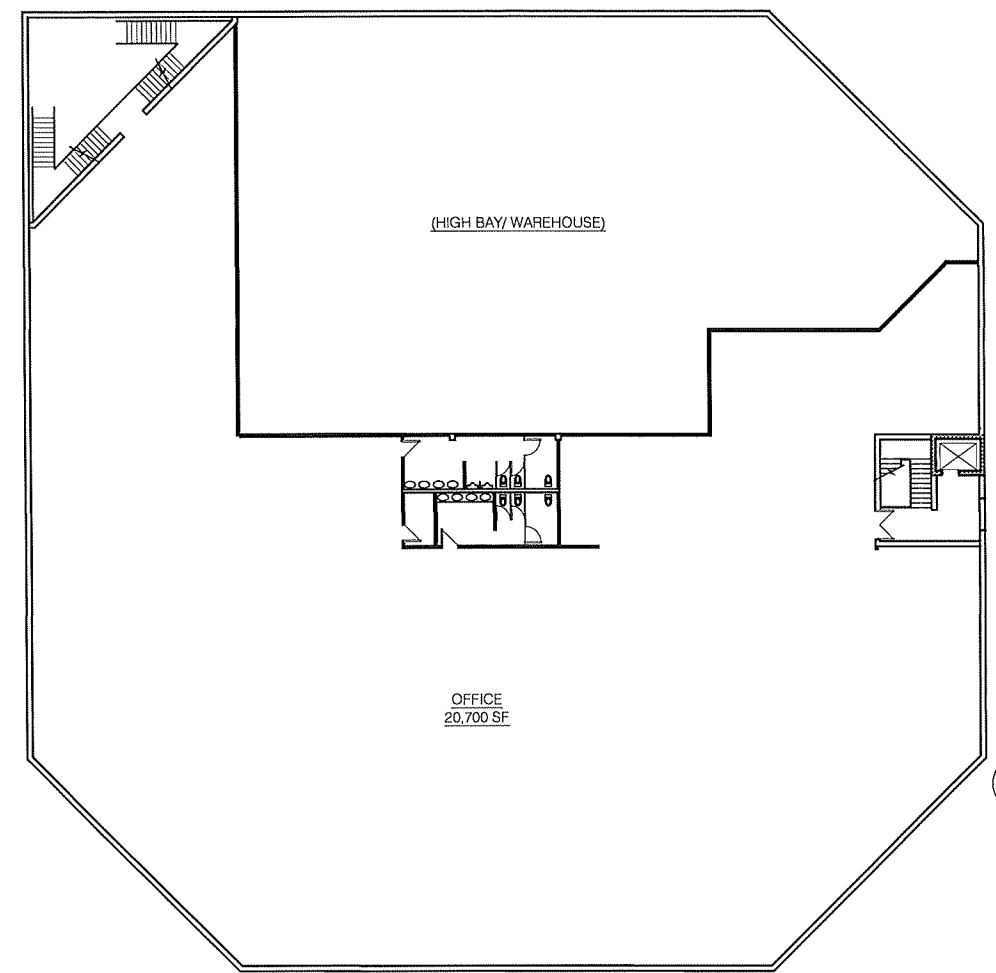
Rochester Hills Research Park
1400 S. Livernois
Rochester Hills, MI 48307

Preliminary Utility Plan (South)

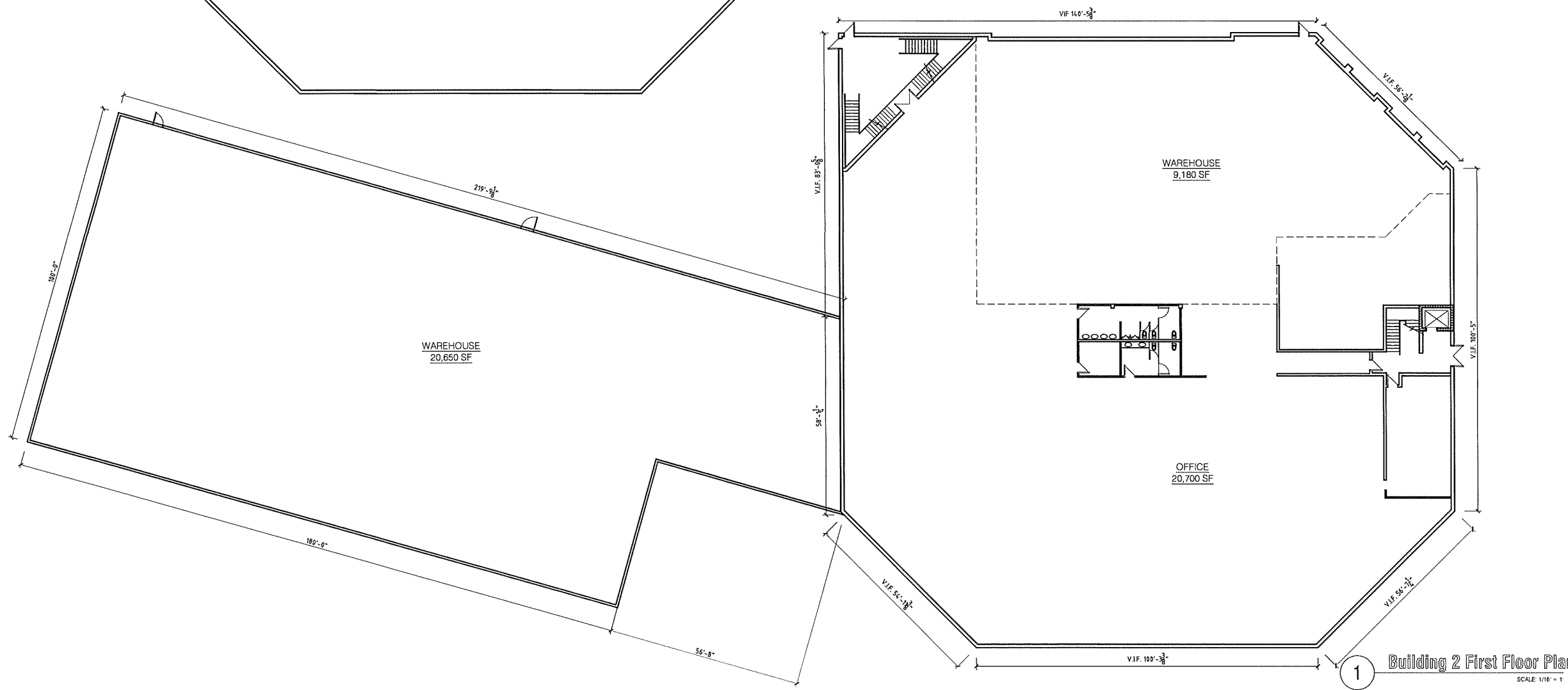
C301 017170

BUILDING DATA CHART

Building	Office	Warehouse	Building	Office	Warehouse
(existing) 1	129,410 SF	88,000 SF	4	First Floor 8,000 SF	n/a
				Second Floor 8,000 SF	n/a
Subtotals:	129,410 SF	88,000 SF	Subtotals:	16,000 SF	n/a
Building 1 Total:	217,410 GSF		Building 4 Total:	16,000 GSF	
(addition to existing) 2	First Floor 20,700 SF	29,830 SF	5	First Floor 23,795 SF	14,450 SF
	Second Floor 20,700 SF	n/a		Second Floor 23,795 SF	n/a
Subtotals:	41,400 SF	29,830 SF	Subtotals:	47,590 SF	14,450 SF
Building 2 Total:	71,230 GSF		Building 5 Total:	62,040 GSF	
3	First Floor 18,020 SF	16,480 SF			
	Second Floor 18,020 SF	n/a			
Subtotals:	36,040 SF	16,480 SF			
Building 3 Total:	52,520 GSF				
Total Office on Site: 270,440 GSF					
Total Warehouse on Site: 148,760 GSF					
Total Square Footage on Site: 419,200 GSF					



2 Building 2 Second Floor Plan
 SCALE: 1/16" = 1' NORTH



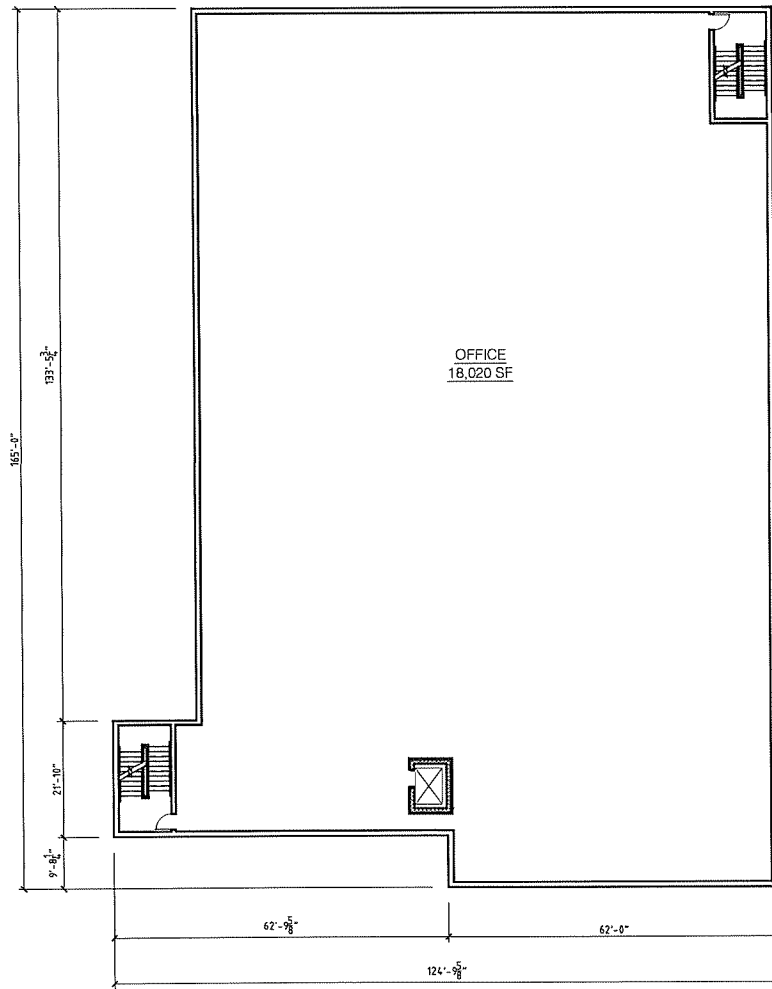
1 Building 2 First Floor Plan
 SCALE: 1/16" = 1' NORTH

No.	Revision/Issue	Date
	PUD Review Submission	10/24/16

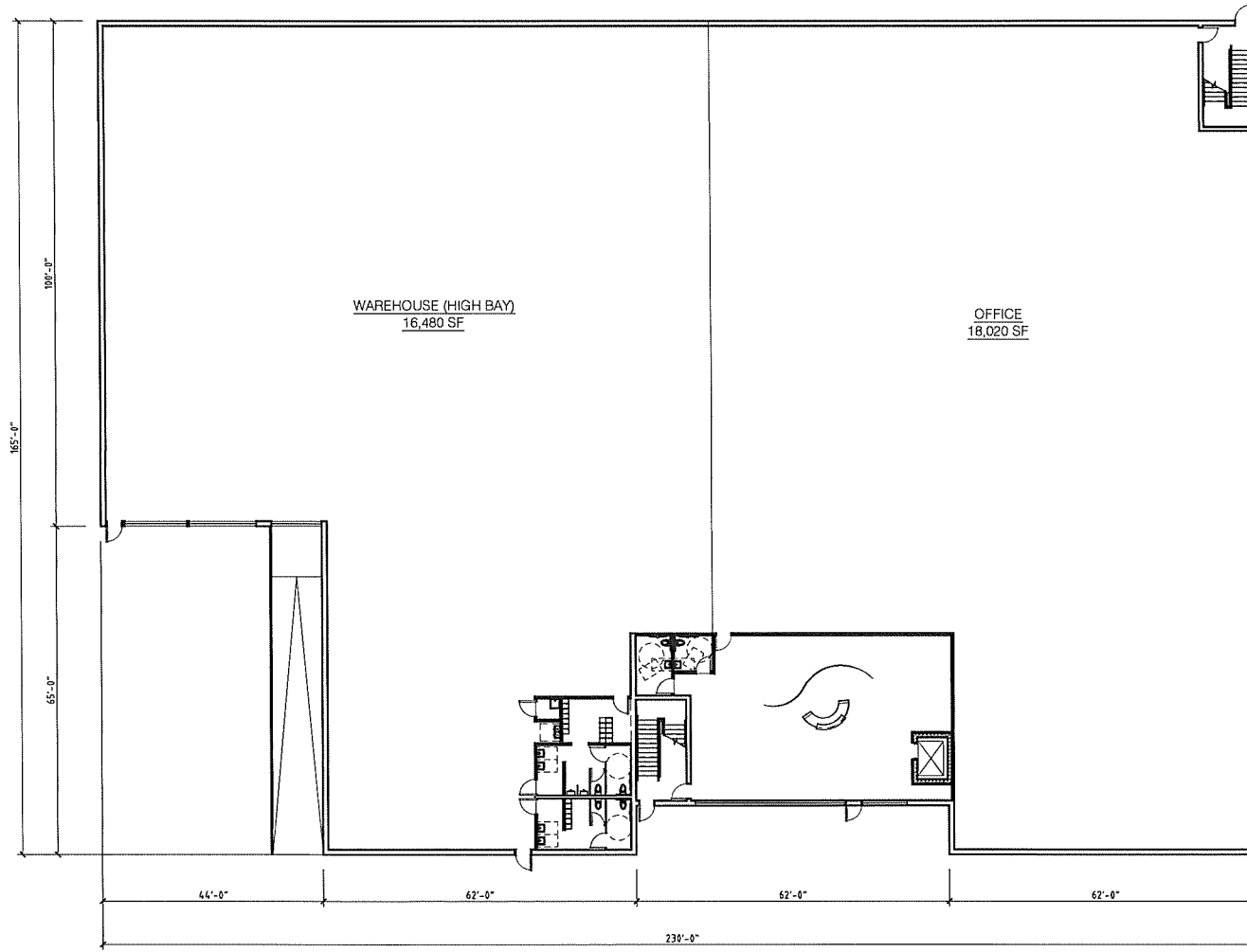
Rochester Hills Research Park
 1400 S. Livernois
 Rochester Hills, MI 48307

Building 2 Floor Plans

A100 017170



2 Second Floor Plan
SCALE: 1/16" = 1'
NORTH



1 First Floor Plan
SCALE: 1/16" = 1'
NORTH

BUILDING DATA CHART

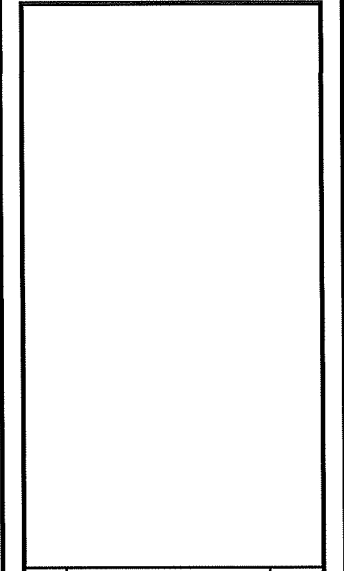
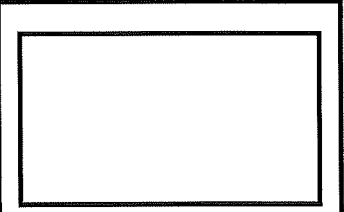
Building	Office	Warehouse	Building	Office	Warehouse		
(existing) 1	129,410 SF	88,000 SF	4	First Floor	8,000 SF	n/a	
				Second Floor	8,000 SF	n/a	
Subtotals:	129,410 SF	88,000 SF	Subtotals:	16,000 SF	n/a		
Building 1 Total:	217,410 GSF		Building 4 Total:	16,000 GSF			
(addition to existing) 2	First Floor	20,700 SF	29,830 SF	5	First Floor	23,795 SF	14,450 SF
	Second Floor	20,700 SF	n/a		Second Floor	23,795 SF	n/a
Subtotals:	41,400 SF	29,830 SF	Subtotals:	47,590 SF	14,450 SF		
Building 2 Total:	71,230 GSF		Building 5 Total:	62,040 GSF			
3	First Floor	16,020 SF	16,480 SF				
	Second Floor	18,020 SF	n/a				
Subtotals:	36,040 SF	16,480 SF					
Building 3 Total:	52,520 GSF						
Total Office on Site: 270,440 GSF							
Total Warehouse on Site: 148,760 GSF							
Total Square Footage on Site: 419,200 GSF							

DESIGNHAUS EST 1998
ARCHITECTURE

301 WALNUT BOULEVARD
ROCHESTER, MI 48307

T: 248.601.4422 F: 248.453.5854

WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM



No.	Revision/Issue	Date
---	---	---
---	---	---
---	---	---
	PLD Review Submission	10.24.18

Rochester Hills Research Park
1400 S. Livernois
Rochester Hills, MI 48307

Building 3 Floor Plans

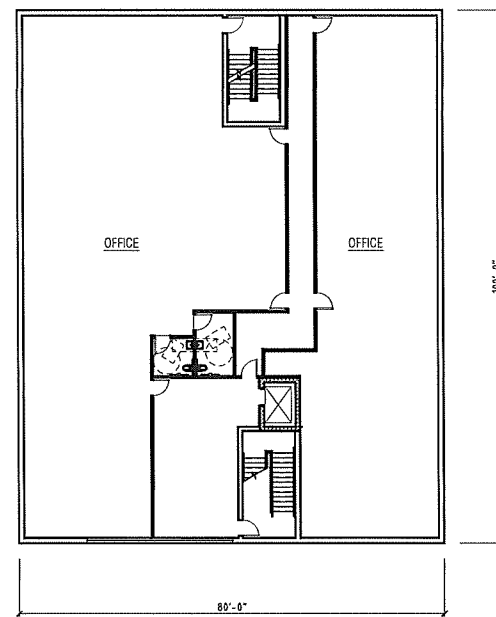
A100 017170

BUILDING DATA CHART

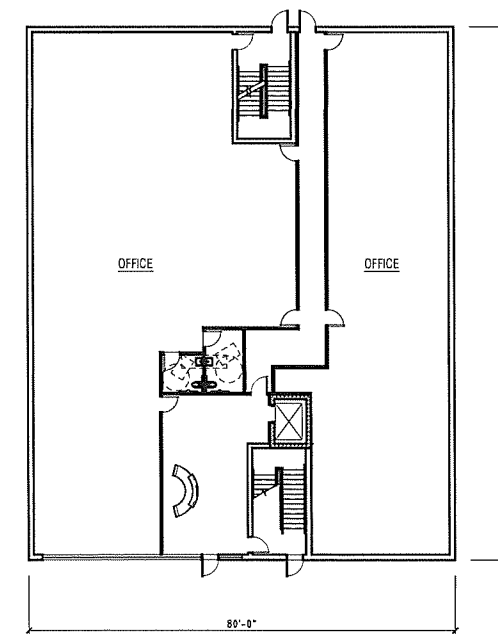
Building		Office	Warehouse	Building		Office	Warehouse
(existing) 1		129,410 SF	88,000 SF	4	First Floor	8,000 SF	n/a
					Second Floor	8,000 SF	n/a
Subtotals:		129,410 SF	88,000 SF	Subtotals:		16,000 SF	n/a
Building 1 Total:			217,410 GSF	Building 4 Total:			16,000 GSF
(addition to existing) 2	First Floor	20,700 SF	29,830 SF	5	First Floor	23,795 SF	14,450 SF
	Second Floor	20,700 SF	n/a		Second Floor	23,795 SF	n/a
Subtotals:		41,400 SF	29,830 SF	Subtotals:		47,590 SF	14,450 SF
Building 2 Total:			71,230 GSF	Building 5 Total:			62,040 GSF
3	First Floor	18,020 SF	16,480 SF				
	Second Floor	18,020 SF	n/a				
Subtotals:		36,040 SF	16,480 SF				
Building 3 Total:			52,520 GSF				
Total Office on Site: 270,440 GSF							
Total Warehouse on Site: 148,760 GSF							
Total Square Footage on Site: 419,200 GSF							

DESIGNHAUS EST
ARCHITECTURE 1998

301 WALNUT BOULEVARD
ROCHESTER, MI 48307
T: 248.601.4422 F: 248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM



2 Second Floor Plan
SCALE: 1/16" = 1'
NORTH



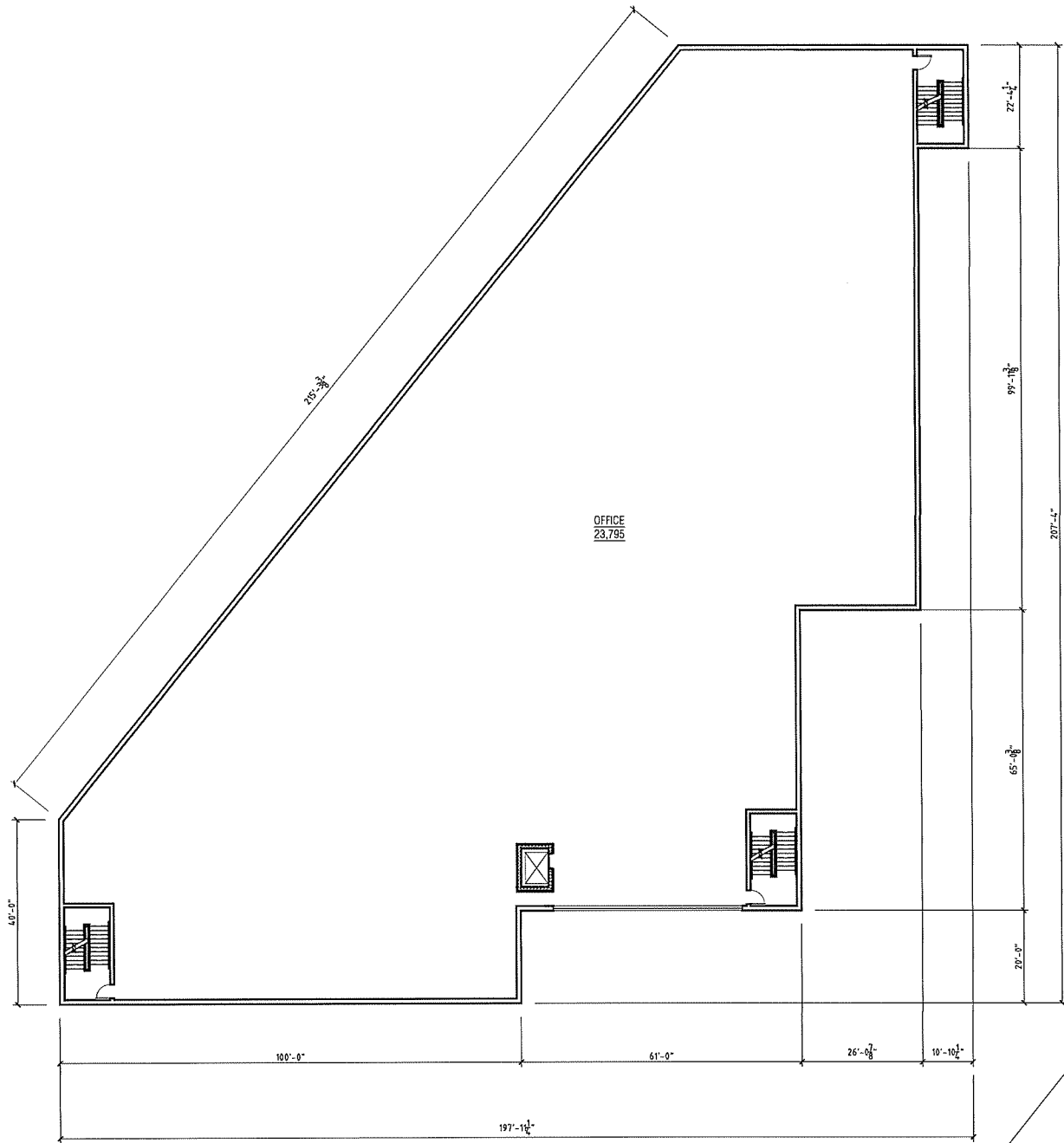
1 First Floor Plan
SCALE: 1/16" = 1'
NORTH

No.	Revision/Issue	Date
---	---	---
---	---	---
---	---	---
	PLD Review Submission	10/24/18

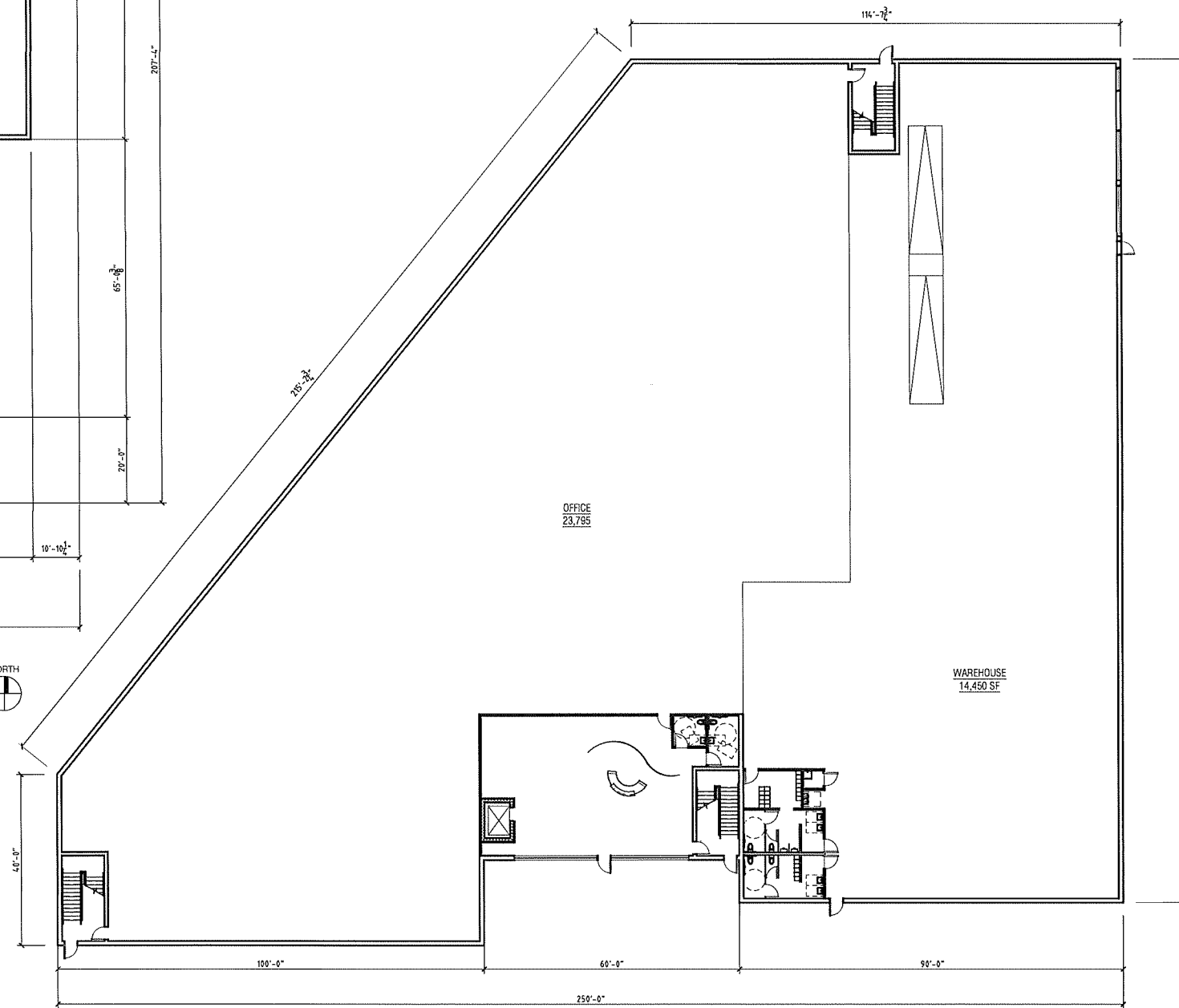
Rochester Hills Research Park
1400 S. Livernois
Rochester Hills, MI 48307

Building 4 Floor Plans

A100 017170



2 Second Floor Plan
SCALE: 1/16" = 1"



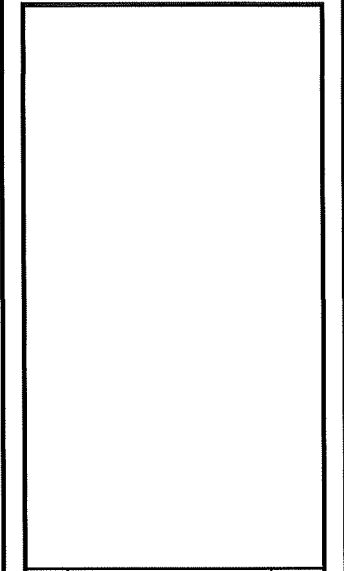
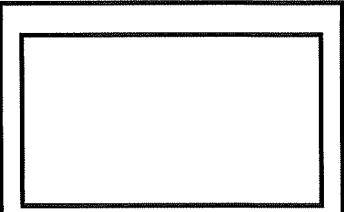
1 First Floor Plan
SCALE: 1/16" = 1"

BUILDING DATA CHART

Building		Office	Warehouse	Building		Office	Warehouse
(existing) 1		129,410 SF	88,000 SF	4	First Floor	8,000 SF	n/a
					Second Floor	8,000 SF	n/a
Subtotals:		129,410 SF	88,000 SF	Subtotals:		16,000 SF	n/a
Building 1 Total:		217,410 GSF		Building 4 Total:	16,000 GSF		
(addition to existing) 2	First Floor	20,700 SF	29,830 SF	5	First Floor	23,795 SF	14,450 SF
	Second Floor	20,700 SF	n/a		Second Floor	23,795 SF	n/a
Subtotals:		41,400 SF	29,830 SF	Subtotals:		47,590 SF	14,450 SF
Building 2 Total:		71,230 GSF		Building 5 Total:	62,040 GSF		
3	First Floor	18,020 SF	16,480 SF				
	Second Floor	18,020 SF	n/a				
Subtotals:		36,040 SF	16,480 SF				
Building 3 Total:		52,520 GSF					
		Total Office on Site: 270,440 GSF					
		Total Warehouse on Site: 148,760 GSF					
		Total Square Footage on Site: 419,200 GSF					



301 WALNUT BOULEVARD
ROCHESTER, MI 48307
T: 248.601.4422 F: 248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM



No.	Revision/Issue	Date
	PLD Review Submission	10.24.18

Rochester Hills Research Park
1400 S. Livernois
Rochester Hills, MI 48307

Building 5 Floor Plans

A100 017170