

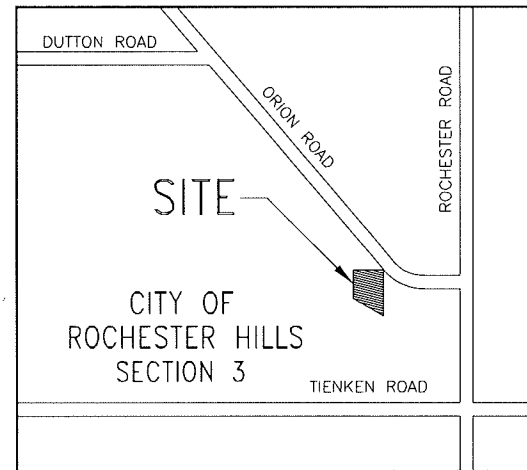
"SILVER SPOON RISTORANTE

PART OF THE S.E. 1/4 OF SECTION 3,
T. 3N., R. 11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN.

PROJECT

SILVER SPOON RISTORANTE
ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

CLIENT / APPLICANT
SILVER SPOON RISTORANTE
6830 N ROCHESTER ROAD
ROCHESTER HILLS, MICHIGAN 48306
RITO LISI (248) 652-4500



LOCATION MAP

NO SCALE



PROJECT ENGINEER
D'ANNA ASSOCIATES

SALVATORE D'ANNA, P.E.
PROFESSIONAL ENGINEER, No. 54085
1055 SOUTH BOULEVARD EAST, SUITE 200
ROCHESTER HILLS, MICHIGAN 48307
PHONE: (248) 852-7702

PROJECT ARCHITECT
D'ANNA ASSOCIATES

PIETRO D'ALEO
REGISTERED ARCHITECT
1055 SOUTH BOULEVARD EAST, SUITE 200
ROCHESTER HILLS, MICHIGAN 48307
PHONE: (248) 852-7702

PROJECT LANDSCAPE ARCHITECT
FELINO A. PASCUAL & ASSOCIATES

FELINO A. PASUCAL, RLA
24333 Orchard Lake Road, Suite G
Farmington Hills, Michigan 48336
PHONE: (248) 557-5588

CONTRACTOR'S NOTE

The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.



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LEGAL DESCRIPTION: (AS FURNISHED BY CLIENT)
LOT 15 TO LOT 19 OF AVON HILLS SUBDIVISION
PART OF THE S.E. 1/4 OF SECTION 3, T.3N, R.11E.,
ROCHESTER HILLS, OAKLAND COUNTY MICHIGAN
ID: 15-03-476-013

REVISION: PER CITY 6-30-17

D'Anna Associates
Architecture | Engineering

1055 SOUTH BLVD. E, SUITE 200
ROCHESTER HILLS, MI 48307
P 248-852-7702 F 248-852-7707
dannaassoc.com

CLIENT: SILVER SPOON RISTORANTE 6830 N ROCHESTER Rochester Hills, MI 48306 (248) 652-4500	DATE: 4/28/17
	JOB No: 13056
CITY OF ROCHESTER HILLS OAKLAND COUNTY, MICHIGAN	CITY FILE: #14-016
SHEET 1 COVER	

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SITE PLAN

SITE DATA:
 EXISTING USE: VACANT
 PROPOSED USE: RESTAURANT

ZONING: FB-1 FLEXIBLE BUSINESS OVERLAY & R-1 ONE FAMILY RESIDENTIAL

SITE AREA: 3.03 ACRES 132,195 S.F.

BUILDING AREA: 3,986 S.F. (GROSS)
 PATIO: 1,110 S.F.
 GARDEN PATIO: 650 S.F.

BUILDING HEIGHT: 18 FT / 1 STORY

OUTDOOR STORAGE: NONE

BUILDING MATERIALS: BRICK, BLOCK, STONE

REQUIRED PARKING: 1 PER 400 SF GROSS BUILDING
 5,746 / 400 = 15 SPACES

REQUIRED BARRIER FREE: 4 SPACES

PROPOSED PARKING: 61 SPACES (4 BARRIER FREE)

SETBACKS:
FRONT YARD (OLD ORION CT)
 REQUIRED: 15' MIN/25' MAX, OPTIONAL 70' MIN
 PROPOSED: 69.90'

SIDEYARD (MAPLEHILL RD)
 REQUIRED: 25' MINIMUM
 PROPOSED: 202.09'

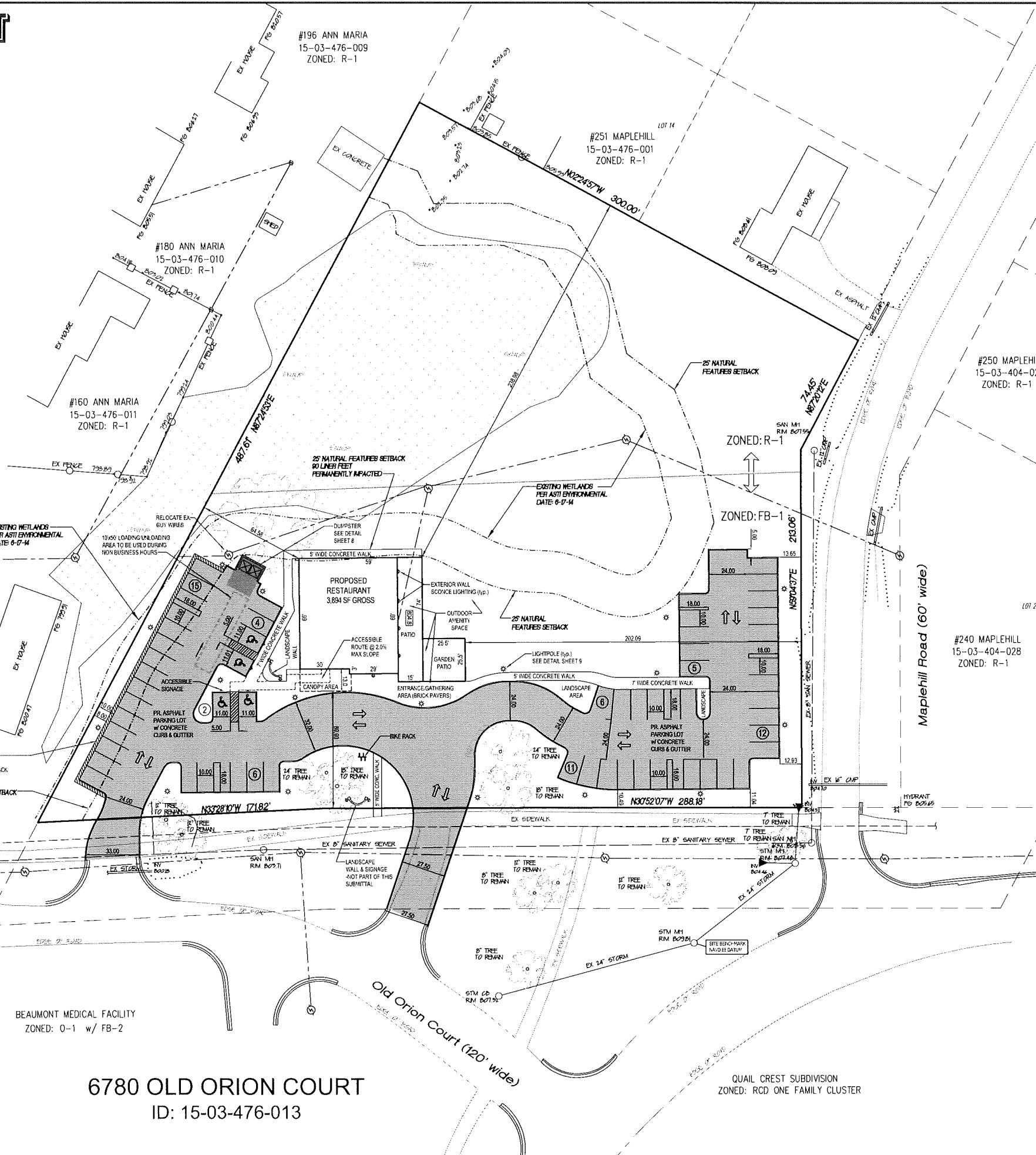
SIDEYARD (SOUTH)
 REQUIRED: 25' MINIMUM
 PROPOSED: 64.58'

REARYARD (WEST)
 REQUIRED: 50' MINIMUM
 PROPOSED: 238.98'

FACADE TRANSPARENCY:
 FRONT: 44%
 RIGHT: 25%
 LEFT: 26%
 REAR: NULL

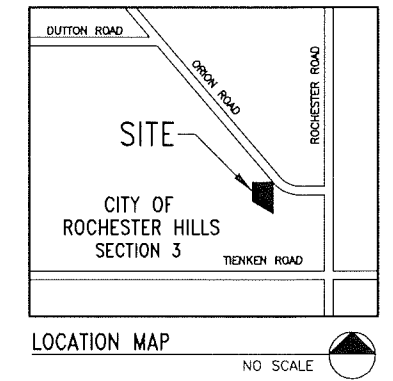
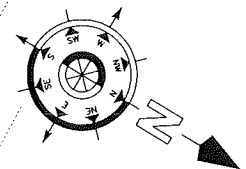
CONSTRUCTION NOTE:
 THE EXISTING BUILDING IS TO BE DEMOLISHED.
 THE PROPOSED BUILDING IS TO BE CONSTRUCTED
 UTILIZING THE EXISTING FOUNDATION

OUTDOOR AMENITY SPACE:
 GROSS LAND AREA: 132,195 SF
 2% OUTDOOR AMENITY SPACE REQUIRED= 2,644 SF
 PROVIDED OUTDOOR AMENITY SPACE: 3,500 SF



6780 OLD ORION COURT
 ID: 15-03-476-013

SCALE: 1"=30'



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 ROCHESTER HILLS, OAKLAND COUNTY MICHIGAN
 ID: 15-03-476-013

NATURAL FEATURES SETBACK:
 THE OWNER IS ASKING FOR PERMISSION TO ENCR OACH
 INTO THE 25' NATURAL FEATURES SETBACK. THE
 ENCR OACHMENT WILL BE FOR THE WEST MOST PARKING
 AREA, NORTH SIDE OF EXISTING BUILDING INCLUDING A
 PROPOSED CONCRETE WALK AND A PORTION OF THE
 GREEN HOUSE AREA.

IMPACT TO NATURAL FEATURES SETBACK:
 245 LINEAR FEET

RIGHT-OF-WAY TREES:
 THE TREES LOCATED IN THE RIGHT-OF-WAY, AS SHOWN,
 MUST BE PROTECTED DURING CONSTRUCTION.

SIGN NOTE:
 THE MONUMENT AND WALL SIGN INDICATED ON THE
 PLANS ARE FOR CONCEPTUAL PURPOSES ONLY. ALL
 SIGNS MUST MEET CHAPTER 134 OF THE CITY CODE OF
 ORDINANCES AND BE APPROVED UNDER A SEPARATE
 PERMIT ISSUED BY THE BUILDING DEPARTMENT. SIGNAGE
 IS NOT PART OF THIS SUBMITTAL.

CONTRACTOR'S NOTE

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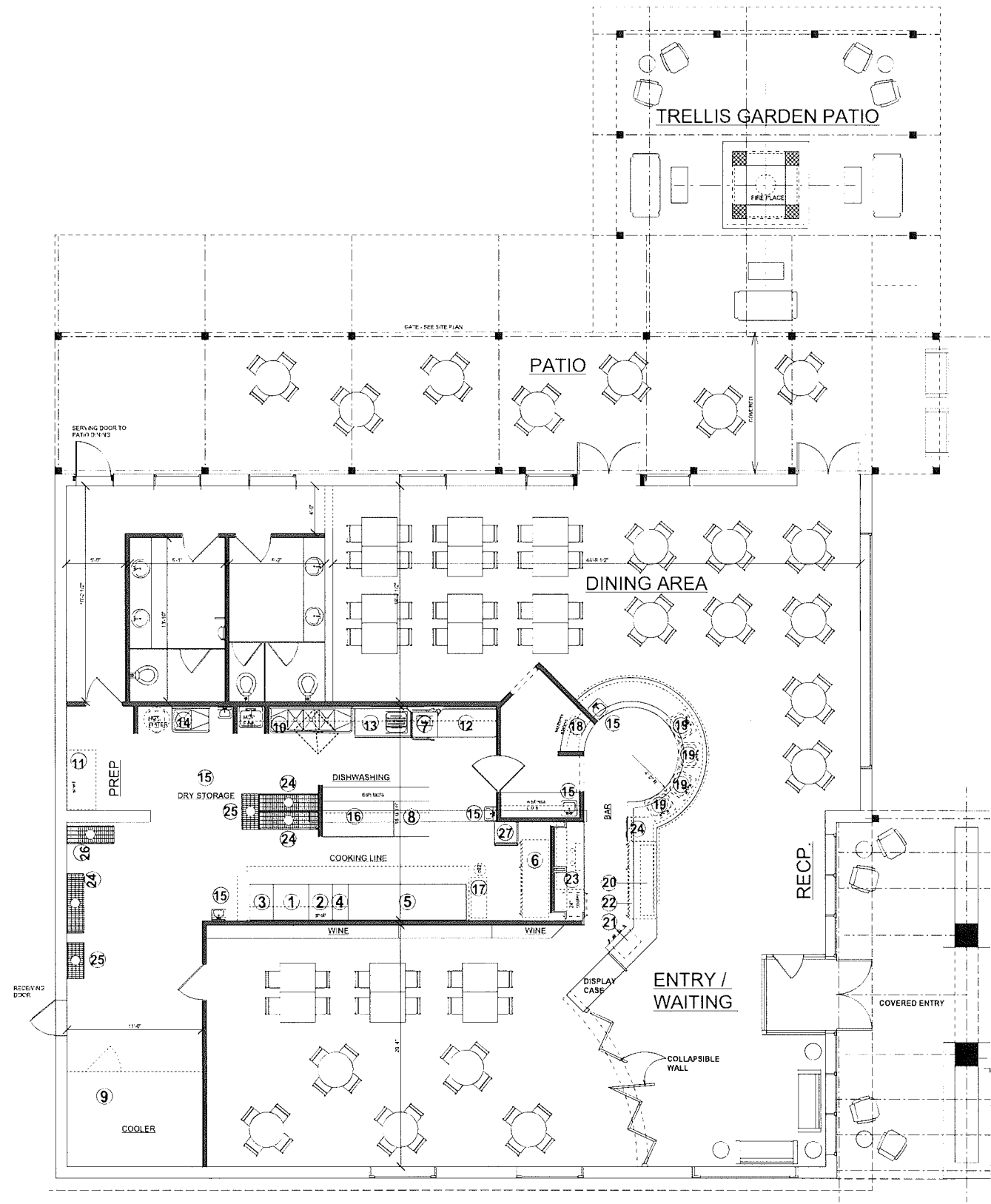
REVISION: PER CITY 6-30-17

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 dannaassoc.com

CLIENT: SILVER SPOON RISTORANTE 6830 N ROCHESTER ROCHESTER HILLS, MI 48306 (248) 652-4500	DATE: 4/28/17
	JOB No: 13056 CITY FILE: #14-016
CITY OF ROCHESTER HILLS OAKLAND COUNTY, MICHIGAN	SHEET 2 SITE PLAN

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PROPOSED FLOOR PLAN

EDGE COMPLIANCE DATA
 MDO 2014
 MDC 2014
 MDC 2015
 MDC 2016
 MDC 2017 (W/ ELECTRICAL CODE)
 MDC 2018
 MDC 2019 (MPC 13 AND MDC 2019)
 CONSTRUCTION TYPE 1B
 OCCUPANCY: RESTAURANT
 FLOOR FINISH: 1/8" x 1/8" x 1/8"
 FLOOR FINISH: 1/8" x 1/8" x 1/8"
 TOTAL SF: 277
 2 FLOOR: SEA REQUIRED; 2 PROVIDED: SEA (FOR VERTICAL RAMP)
 1 LAV / SEA REQUIRED; 2 PROVIDED: SEA
 CITY FILE: 18-218

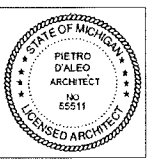


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THE SILVER SPOON
Il Cucchiato d'Algeria • Ristorante Italiano
 LIFE IS SHORT. EAT WELL.

PROPOSED ADAPTIVE REUSE
 6780 OLD ORION CT.
 ROCHESTER HILLS, MI
 48306



ISSUANCE:
 ■ SCHEMATIC
 ■ BIDDING
 ■ MUNI SUBMITTAL
 ■ CONSTRUCTION
 ■ SITE PLAN APPROVAL
 DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS INDICATED

NO.	DESC.	DATE
1	MUNI	6-29-17

ISSUE DATE 09-29-17
 DB S.D.
 CB S.D.
 SHEET 3
 PROJECT NO. 1356

ENGINEERING

DETENTION CALCULATIONS - 25 YEAR STORM REQUIRED STORAGE PER O.C.D.C. STANDARDS:

DEVELOPED AREA: 3.03 Ac. C=0.47

EQUIVALENT AREA: (3.03 Ac.)X(0.47) = 1.42 Ac.

$Q_0 = (3.03 \text{ Ac.}) \times (0.20 \text{ CFS/Ac.}) = 0.61 \text{ CFS}$

$Q_0 = (0.61 \text{ CFS}) / (1.42 \text{ Ac.}) = 0.87$

$T = -25 + [8,062.50 / (0.87)^0.5] = 71.27 \text{ MIN}$

$V_s = \frac{12,900(71.27 \text{ MIN})}{(71.27 \text{ MIN}) + 25} - 40(0.61)(71.27 \text{ MIN}) = 7,811.06 \text{ CF}$

$V_t = (7,811.06 \text{ CF}) \times (1.42 \text{ Ac.}) = 11,092 \text{ CF}$

WEIGHTED C FACTOR CALCULATION

SITE AREA: 3.03 ACRES

AREA OF ROAD, WALK & BUILDING: 0.929 ACRES

GRASS AREA / OPEN SPACE: 2.101 ACRES

C PAVEMENT = 0.95

C AGRICULTURAL = 0.25

$[(0.929 \times 0.95) + (2.101 \times 0.25)] / 3.03 = 0.465$

USE C FACTOR 0.47

STORM SEWER MANAGEMENT SYSTEM ELEVATIONS

OUTLET INVERT: 796.60

GROUND WATER PER SOIL BORINGS: 798.0

UNDERGROUND SYSTEM OUTLET INVERT: 797.15

1' BELOW LOWEST C.B. RIM (STORAGE): 800.50

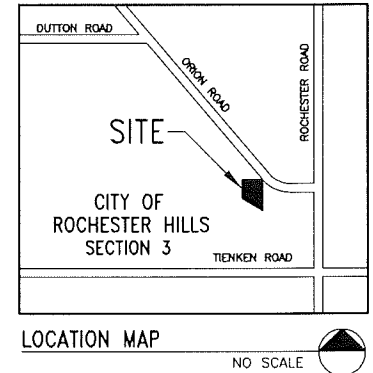
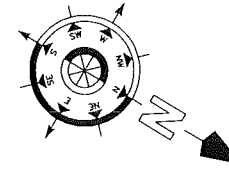
TOP OF PAVEMENT (U.G. AREA): 802.5-804.0

STORM WATER SYSTEM: CONTECH CHAMBERMAXX

CHAMBER HEIGHT: 30.3 INCH

PRE-TREATMENT: AQUA SWIRL CONCENTRATOR AS-7

SCALE: 1"=30'



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ID: 15-03-476-013

INFILTRATION AND RECHARGE NOTE:

STORM DRAINAGE INFILTRATION/RECHARGE WILL BE INCORPORATED BY PROVIDING BOTTOMLESS CATCH BASINS, PERFORATED STORM SEWER AND BOTTOMLESS UNDERGROUND DETENTION. CALCULATIONS, DESIGN AND SPECIFICATIONS FROM THE MATERIAL SUPPLIER WILL BE PROVIDED DURING THE ENGINEERING SUBMITTAL

UNDERGROUND STORAGE NOTE:

UNDERGROUND STORAGE DESIGN & DETAILS WILL BE PROVIDED DURING THE ENGINEERING REVIEW PHASE. A MANUFACTURER/SUPPLIER WILL BE CHOSEN AND WILL PROVIDE SPECIFIC DESIGN DETAILS FOR CITY REVIEW

LAND IMPROVEMENT PERMIT (LIP):

THE APPLICANT SHALL SUBMIT A LAND IMPROVEMENT PERMIT APPLICATION WITH THE ENGINEER'S ESTIMATE, FEE AND CONSTRUCTION PLANS TO GET THE CONSTRUCTION PLAN REVIEW PROCESS STARTED

NOTE:

ALL RETAINING WALLS TO BE BUILT BY OWNER

NOTE:

ALL DRAINAGE WILL REMAIN ON THE SITE. INTERIOR GRADING WILL MATCH EXISTING GRADING ALONG ADJACENT PROPERTIES.

NOTE:

THERE IS NO FLOOD PLAIN ON THIS SITE BASED ON F.E.M.A. MAP NUMBER 26125C0384F.

SANITARY NOTE:

THE EXISTING SANITARY SEWER LEAD NEEDS TO BE VIDEO INSPECTED PRIOR TO INSTALLING THE GREASE INTERCEPTOR.

CONTRACTOR'S NOTE

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REVISION: PER CITY 6-30-17

SANITARY SEWER DESIGN:

POPULATION: 84 SEATS x 0.13 = 11 PEOPLE

AVERAGE FLOW: $100 \times 11 / 24 / 3600 / 7.48 = 0.0017 \text{ cfs}$

PEAK FLOW: $4 \times 0.0017 = 0.0068 \text{ cfs}$

8" SANITARY SEWER AT 0.50% = 0.85 cfs

EX. CHURCH USE: 200 SEATS x 0.07 = 14 PEOPLE

BEAUMONT MEDICAL FACILITY
ZONED: O-1 w/ FB-2

PROPOSED GRADES:

ALL PROPOSED GRADES ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED

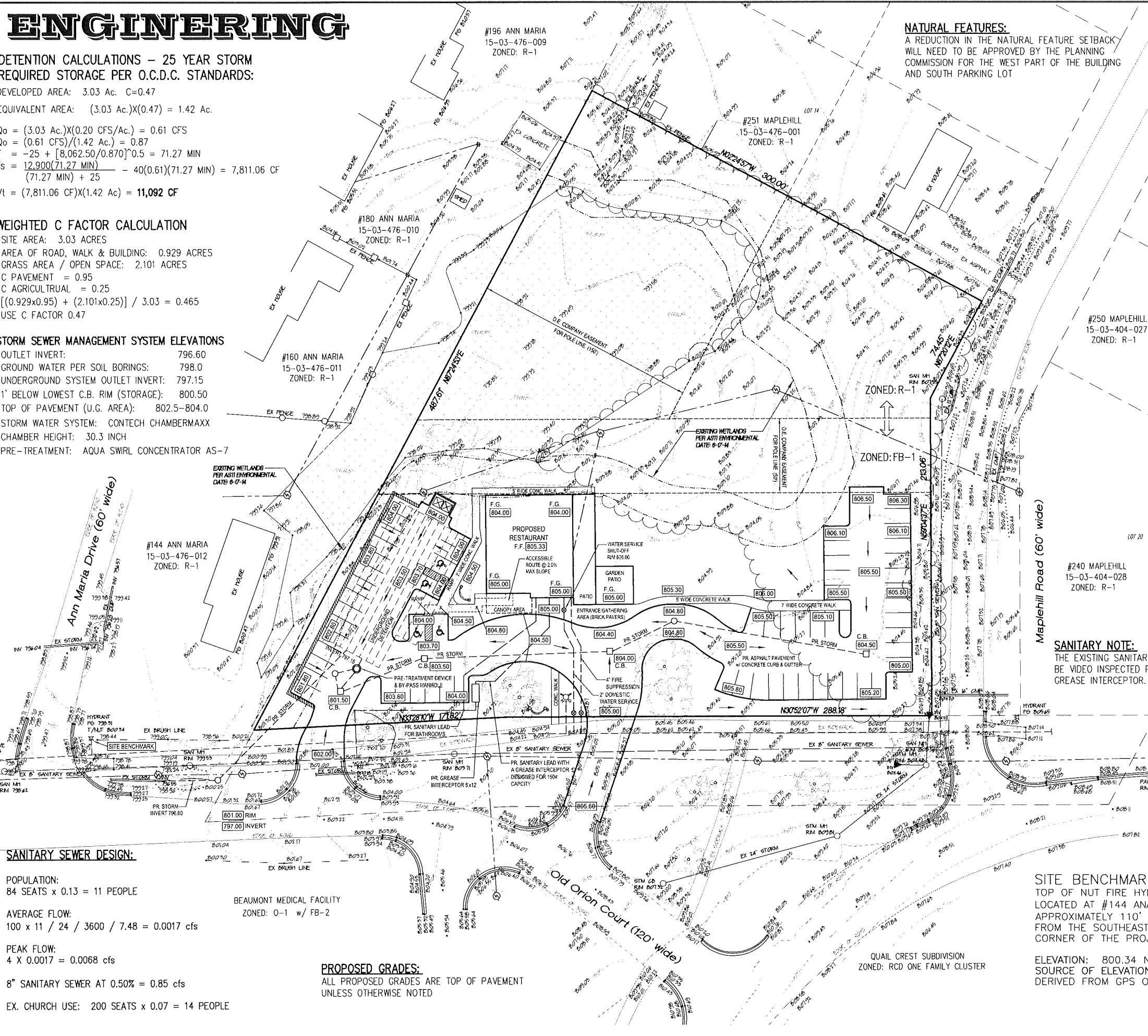
SITE BENCHMARK:

TOP OF NUT FIRE HYDRANT LOCATED AT #144 ANA MARIA, APPROXIMATELY 110' SOUTHEAST FROM THE SOUTHEAST PROPERTY CORNER OF THE PROJECT SITE.

ELEVATION: 800.34 NAVD88
SOURCE OF ELEVATION: ELEVATION DERIVED FROM GPS OBSERVATIONS

NATURAL FEATURES:

A REDUCTION IN THE NATURAL FEATURE SETBACK WILL NEED TO BE APPROVED BY THE PLANNING COMMISSION FOR THE WEST PART OF THE BUILDING AND SOUTH PARKING LOT

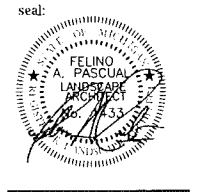


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CLIENT: SILVER SPOON RISTORANTE 6830 N ROCHESTER Rochester Hills, MI 48306 (248) 652-4500	DATE: 4/28/17 JOB No: 13056 CITY FILE: #14-016
	CITY OF ROCHESTER HILLS OAKLAND COUNTY, MICHIGAN

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client:
**Silver Spoon
 Ristorante**
 6830 N Rochester Rd,
 Rochester Hills,
 Michigan 48306

project:
**SILVER
 SPOON
 RISTORANTE**

project location:
 City of Rochester
 Hills, Michigan
 Old Orion Court, Orion Road
 and Maplehill Road

sheet title:
**landscape planting
 detail**

job no./issue/revision date:
 LS17.065.04 SPA 4-8-2017
 LS17.065.07 SPA 7-5-2017

drawn by:
 JP, CS

checked by:
 FP

date:
 4-1-2017
 notice:
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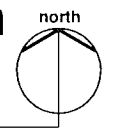


The locations and elevations of existing underground utilities as shown on this drawing are only approximate. No guarantee is either expressed or implied as to the completeness or accuracy. Contractor shall be entirely responsible for determining the exact location and elevation prior to the start of construction.

project no:
 LS17.065.04

sheet no:
LS-1 of 2

landscape plan for:
“Silver Spoon Ristorante”
 City Of Rochester Hills, Michigan



scale: 1" = 30' - 0"

note:
 unless noted otherwise, numerical value on landscape quantities specified on plan take precedence over graphic representation.

landscape requirement summary:

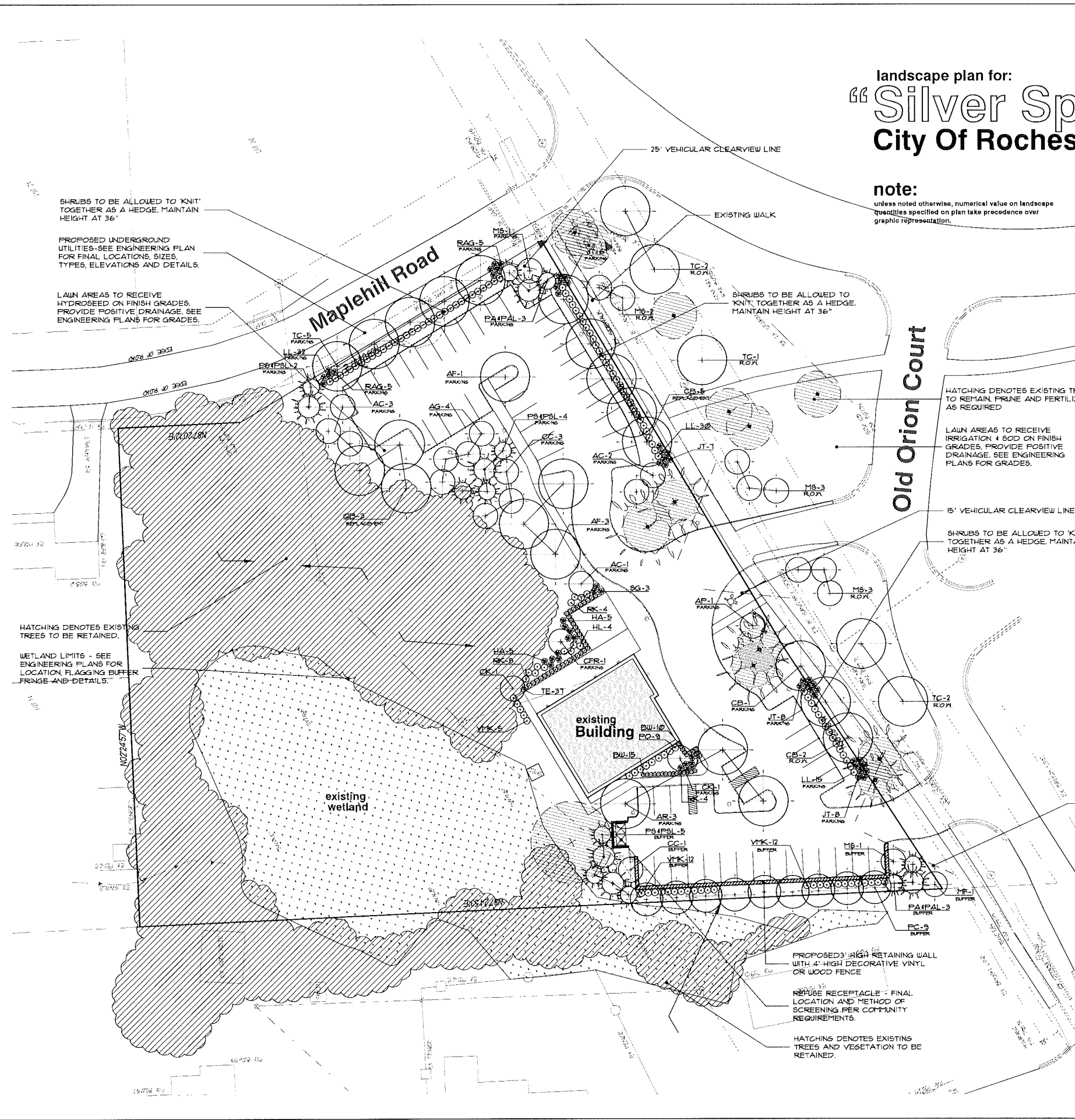
parking requirements	REQUIRED	PROVIDED
MAPLE HILL ROAD LIN. FT. PARKING FRONTAGE	160' ± (A)	
OLD ORION COURT LIN. FT. PARKING FRONTAGE	420' ±	
TOTAL LIN. FT. PARKING PERIMETER	580' ±	
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 25 LIN. FT.	23.2	18 + 6-existing
ONE (1) ORNAMENTAL TREE PER 35 LIN. FT.	16.5	17
CONTINUOUS SHRUB HEDGE (24' @ 3'-0" O.C.)	96	116
VEHICULAR CIRCULATION & PARKING AREA	11,695.00 SQFT. ±	
REQUIRED INTERIOR AREA = 5% OF 11,695.00 SQFT. ±	584.75 SQFT. ±	
ONE (1) TREE PER PER 150 SQFT. ±	3.9	4
584.75 / 150 SQFT. PER TREE = 3.9 TREES		
buffer requirements	REQUIRED	PROVIDED
TOTAL LIN. FT. OF SOUTH PROPERTY BOUNDARY	200' ± (A)	
MINIMUM BUFFER WIDTH	25'	8' (WITH WALL)
TWO AND HALF (2.5) DECIDUOUS TREES PER 100 LIN. FT.	5	4 (B)
FIVE (5) EVERGREEN TREES PER 100 LIN. FT.	10	8 (B)
ONE & ONE HALF (1.5) ORNAMENTAL TREE PER 100 LIN. FT.	3	3
EIGHT (8) DECIDUOUS OR EVERGREEN SHRUBS PER 100 LIN. FT.	16	24 (B)
TOTAL LIN. FT. OF WEST PROPERTY BOUNDARY	300' ±	
MINIMUM BUFFER WIDTH	25'	'A'
TWO AND HALF (2.5) DECIDUOUS TREES PER 100 LIN. FT.	7.5	'A'
FIVE (5) EVERGREEN TREES PER 100 LIN. FT.	15	'A'
ONE & ONE HALF (1.5) ORNAMENTAL TREE PER 100 LIN. FT.	4.5	'A'
EIGHT (8) DECIDUOUS OR EVERGREEN SHRUBS PER 100 LIN. FT.	24	'A'
road r.o.w. requirements	REQUIRED	PROVIDED
TOTAL LIN. FT. OF R.O.W. FRONTAGE OLD ORION COURT	460' ±	
ONE (1) DECIDUOUS TREE PER 35 LIN. FT.	13	14-existing
ONE (1) ORNAMENTAL TREE PER 60 LIN. FT.	8	8
tree replacement	REQUIRED	PROVIDED
TOTAL NO. OF REGULATED TREES REMOVED	31	
TOTAL NO. OF TREES REPLACEMENT PROVIDED	31	
NO. OF TREES REPLACEMENT PROVIDED ON SITE	8	
NO. OF TREES REPLACEMENT PROVIDED TO CITY TREE FUND	23	
AT A RATE OF \$205.50 PER TREE		

NOTE 'A'
 AREA WITH NO DISTURBANCE - EXISTING WOODS AND VEGETATION TO REMAIN CREDITED TOWARD REQUIREMENTS

NOTE 'B'
 REQUIRED 2-EVERGREEN TREES TO BE SUBSTITUTED WITH 4 TREES AND 8 SHRUBS

City of Rochester Hills notes:

- PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB ON THE PUBLIC RIGHT-OF-WAY
- ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC ROAD (TREES MUST BE PLANTED 15' AWAY FROM CURB OR ROAD EDGE WHERE SPEED LIMIT IS MORE THAN 35MPH)
- SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY
- EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY
- NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY LINES AT A DISTANCE ALONG EACH LINE OF 25' FROM THEIR POINT OF INTERSECTION
- NO TREES OR SHRUBS MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC WALKWAY AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION
- ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE HYDRANT
- SHADE AND EVERGREEN TREES MUST BE AT LEAST 15' AWAY FROM THE NEAREST OVER-HEAD WIRE
- TREES MUST BE PLANTED A MINIMUM OF 5' FROM AN UNDERGROUND UTILITY, UNLESS THE CITY'S LANDSCAPE ARCHITECT REQUIRES A GREATER DISTANCE
- PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS FORESTRY DIVISION NEEDS TO INSPECT ALL TREES, EXISTING OR PLANTED, TO IDENTIFY ANY THAT PROSE A HAZARD TO THE SAFE USE OF THE PUBLIC RIGHT-OF-WAY
- FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE, AND POSSIBLY REPLACE, ANY SUCH TREES



SHRUBS TO BE ALLOWED TO 'KNIT' TOGETHER AS A HEDGE. MAINTAIN HEIGHT AT 36"

PROPOSED UNDERGROUND UTILITIES-SEE ENGINEERING PLAN FOR FINAL LOCATIONS, SIZES, TYPES, ELEVATIONS AND DETAILS.

LAWN AREAS TO RECEIVE HYDROSEED ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE. SEE ENGINEERING PLANS FOR GRADES.

EXISTING WALK

SHRUBS TO BE ALLOWED TO 'KNIT' TOGETHER AS A HEDGE. MAINTAIN HEIGHT AT 36"

HATCHING DENOTES EXISTING TREE TO REMAIN. PRUNE AND FERTILIZE AS REQUIRED

LAWN AREAS TO RECEIVE IRRIGATION & BOD ON FINISH GRADES. PROVIDE POSITIVE DRAINAGE. SEE ENGINEERING PLANS FOR GRADES.

SHRUBS TO BE ALLOWED TO 'KNIT' TOGETHER AS A HEDGE. MAINTAIN HEIGHT AT 36"

HATCHING DENOTES EXISTING TREES TO BE RETAINED.

WETLAND LIMITS - SEE ENGINEERING PLANS FOR LOCATION, FLAGGING BUFFER FRINGE AND DETAILS.

PROPOSED 3' HIGH RETAINING WALL WITH 4" HIGH DECORATIVE VINYL OR WOOD FENCE

REFUSE RECEPTACLE - FINAL LOCATION AND METHOD OF SCREENING PER COMMUNITY REQUIREMENTS.

HATCHING DENOTES EXISTING TREES AND VEGETATION TO BE RETAINED.

FIRE DEPARTMENT SITE PLAN

FIRE DEPARTMENT NOTES:

CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTE R 14

OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING SAND AND/OR WATER FOR PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION.

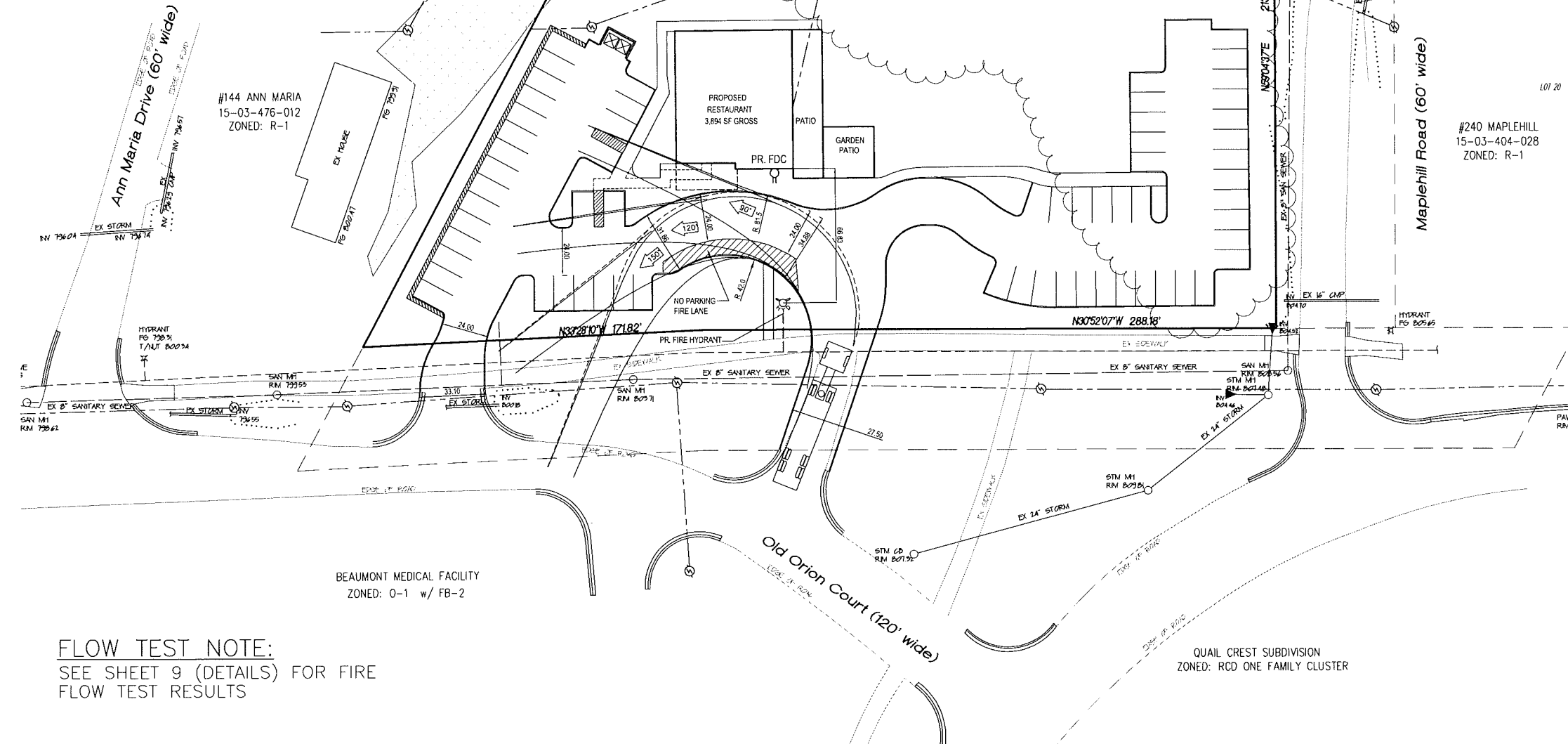
A KNOX KEY SYSTEM SHALL BE INSTALLED, IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE FROM THE KNOX COMPANY AT WWW.KNOXBOX.COM

FIRELANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

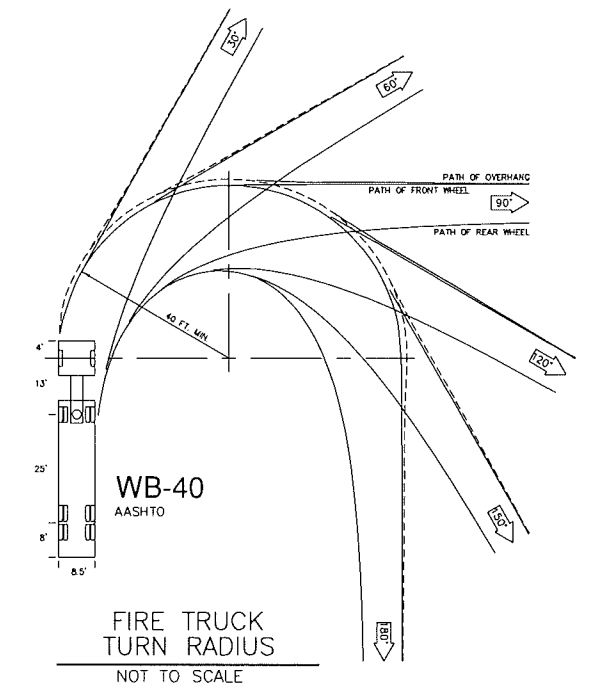
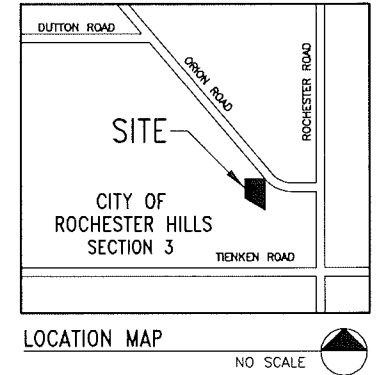
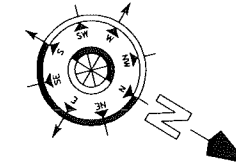
DOCUMENTAION, INCLUDING CALCULATIONS THAT A FLOW OF 1500 GPM CAN BE PROVIDED, IS BEING OBTAINED BY THE OWNER.

CONSTRUCTION TYPE: II-B

VALET PARKING IS NOT ALLOWED IN FRONT OF THE FIRE DEPARTMENT CONNECTION (FDC)



SCALE: 1"=30'



CONTRACTOR'S NOTE

The locations of existing underground utilities are shown in an approximate way only. The contractor shall determine the exact location of all existing utilities before commencing work. He agrees to be fully responsible for any and all damages which might be occasioned by his failure to exactly locate and preserve any and all underground utilities.



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1055 SOUTH BLVD. E, SUITE 200
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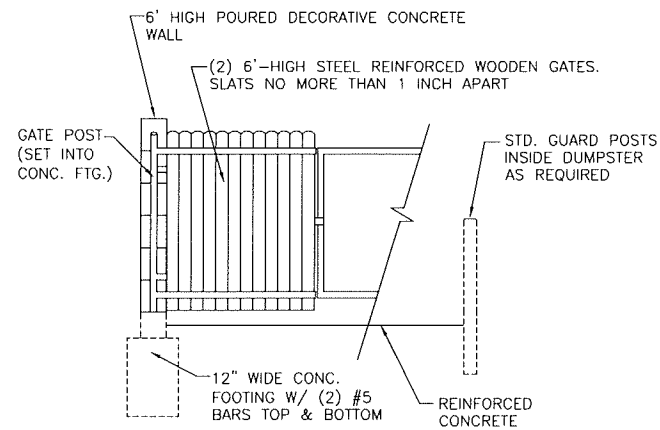
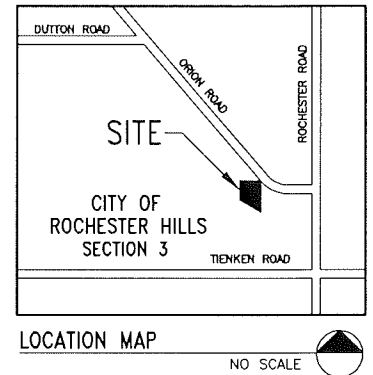
FLOW TEST NOTE:

SEE SHEET 9 (DETAILS) FOR FIRE FLOW TEST RESULTS

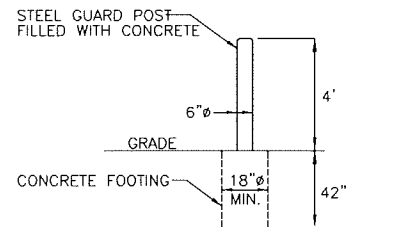
© COPYRIGHT 2017 D'ANNA ASSOC.

CLIENT: SILVER SPOON RISTORANTE 6830 N ROCHESTER Rochester Hills, MI 48306 (248) 652-4500	DATE: 4/28/17
	JOB No: 13056
CITY OF ROCHESTER HILLS OAKLAND COUNTY, MICHIGAN	CITY FILE: #14-016
SHEET 8 FIRE DEPT. SITE PLAN	

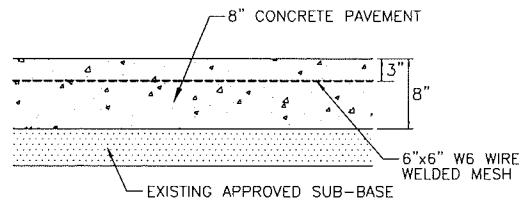
SITE PLAN DETAILS



DUMPSTER TRASH ENCLOSURE DETAIL
NOT TO SCALE



GUARD POST DETAIL
PROVIDE AT EACH OVERHEAD DOOR JAMB
NOT TO SCALE



REINFORCED CONCRETE DETAIL SECTION DUMPSTER AREA
NOT TO SCALE

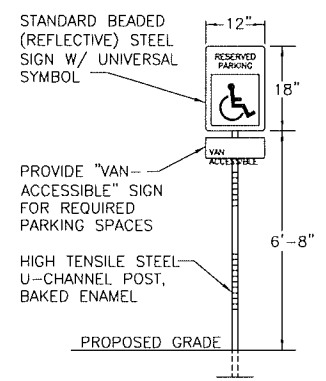
**CITY OF ROCHESTER HILLS
HYDRANT FLOW TEST**

Date: 7/23/14 Time: 9:00 AM Test Performed By: J. J. ...
Location: 2221 ... Calculator Performed By: ...

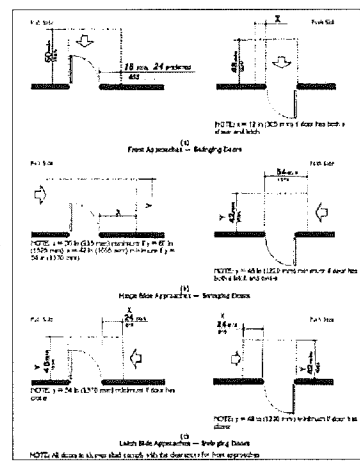
Number of Hydrants Flowing:	1
Number of Outlets Open:	1
Size of Outlet, D (inches):	4.5
Friction Loss Coefficient, C _f :	9
Static Pressure, P _s (psi):	51.5
Residual Pressure, P _r (psi):	41.2
Flow Pressure, P _f (psi):	10.3
Residual Flow, Q _r (GPM):	1200
Flow at 20 psi, Q ₂₀ (GPM):	1100
Supply Main Size (inches hydrant):	12"
Supply Main Size (inches hydrant):	12"

Flow at 20 psi, Q₂₀ (GPM) = 1100
Flow at 20 psi, Q₂₀ (GPM) = 1100

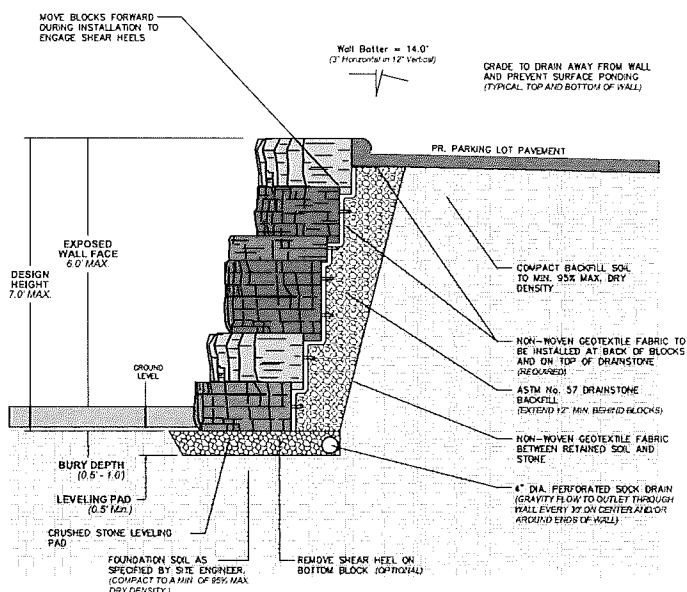
Drawing of Flow Test Site (Indicate location of flow & test hydrant):



BARRIER-FREE SIGNAGE DETAIL
NOT TO SCALE

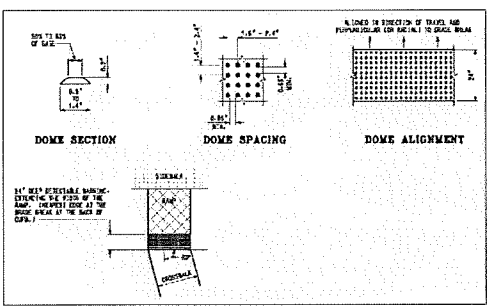


DOOR MANEUVERING CLEARANCE
NOT TO SCALE

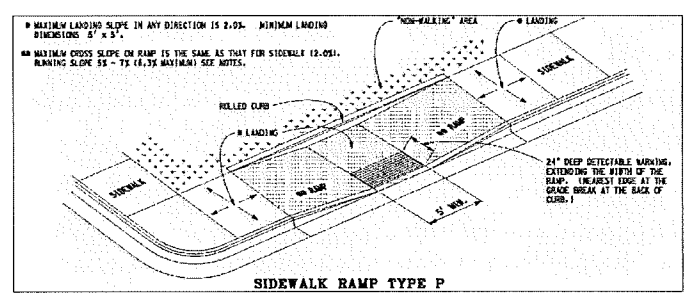


- Block sizes and placement shown are for reference only. Individual Rosetta blocks will vary with installation pattern.
- Contractor must follow all standards and procedures outlined by Rosetta Hardscapes, LLC.
- Contractor must verify all engineering assumptions outlined in the Rosetta Hardscapes, LLC design manual.
- D'Anna Associates must be notified of any changes made by the contractor or deviations in the field conditions.
- The wall construction must address both internal and external drainage.
- The section shown is for retained soil = silty sand, fine to medium sand with q = 30'

RETAINING WALL TYPICAL SECTION
NOT TO SCALE



M-DOT R-28-F RAMP DETAILS
NOT TO SCALE



SIDEWALK RAMP TYPE P

CONTRACTOR'S NOTE

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dannaassoc.com

CLIENT: SILVER SPOON RISTORANTE 6830 N ROCHESTER Rochester Hills, MI 48306 (248) 652-4500	DATE: 4/28/17
	JOB No: 13056
CITY OF ROCHESTER HILLS OAKLAND COUNTY, MICHIGAN	CITY FILE: #14-016
	SHEET 9 DETAILS

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Statistics							
Description	Symbol	Max	Min	Max/Min	Avg/Min	Avg/Max	Avg
PARKING & DRIVE AREA	⊗	3.3 fc	0.7 fc	4.7:1	2.4:1	0.5:1	1.7 fc
PROPERTY LINE VALUES	■	0.5 fc	0.0 fc	N/A	N/A	0.2:1	0.1 fc
SITE VALUES	+	4.3 fc	0.0 fc	N/A	N/A	0.1:1	0.6 fc

MANW-LED-900

Construction:

- Steel housing and chassis
- Diffuser is .10 extruded white acrylic
- Accent bars and rings are extruded aluminum

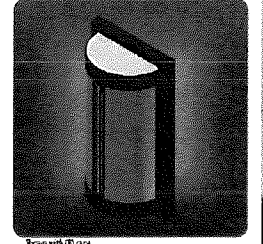
Light Source:

- LED
- Dimming (0-10v) to 10% included

Notes:

- Keyhole slots left and right
- Top and bottom white acrylic lens - standard
- Optional photocell (21) increases fixture depth 1 1/2"
- Optional battery backup increases fixture depth 1 1/2"
- UL and CUL listed WET location
- LED Components
 - Replaceable Module
 - CR1 > 80
 - Universal 120/277 volt standard
 - 5-Year Warranty on LED Components

Type: _____
Job Name: _____



Height - 14" - 16" - 20" - 26" - 38" - 50"
 Width - 6"
 Depth - 5"


WALL
 CEILING
 PENDANT
 OUTDOOR

ORDERING INFORMATION


Example: MANW-914-LED-B-U-21W-3-Z1-WSA

Model	Case	Voltage	Lamping	Color	Finish	Diffuser	Options
MANW-914-LED	A	120-277	21w LED / 245lm	2500K	815 Satin Black	WMA White Smooth Acrylic	21W LED dimming driver (0-10v) Dimming only (included)
MANW-916-LED	B		21w LED / 245lm	4000K	21 Satin Black	Optional Optic Acrylic	
MANW-920-LED	C		21w LED / 245lm	5000K	Optional	Optional	21W LED - Specialty voltage (1-10v)
MANW-926-LED	D		21w LED / 245lm	3000K	Optional	Optional	21W LED - Specialty voltage (1-10v)
MANW-930-LED	E		42w LED / 490lm		W1 Satin Black	W1 Satin Black	
MANW-938-LED	F		21w LED / 245lm		W2 Satin Black	W2 Satin Black	
MANW-950-LED	G		21w LED / 245lm		W3 Satin Black	W3 Satin Black	Battery Backup Options (Order & price to be determined)

2400 Industry Drive, Troy, MI 48068-1933
 1-800-541-8888 • 313-486-8888 • 313-486-8888 • 313-486-8888
 1-800-541-8888 • 313-486-8888 • 313-486-8888 • 313-486-8888
 www.lightway.com • www.lightway.com



D-Series Size 0 LED Area Luminaire

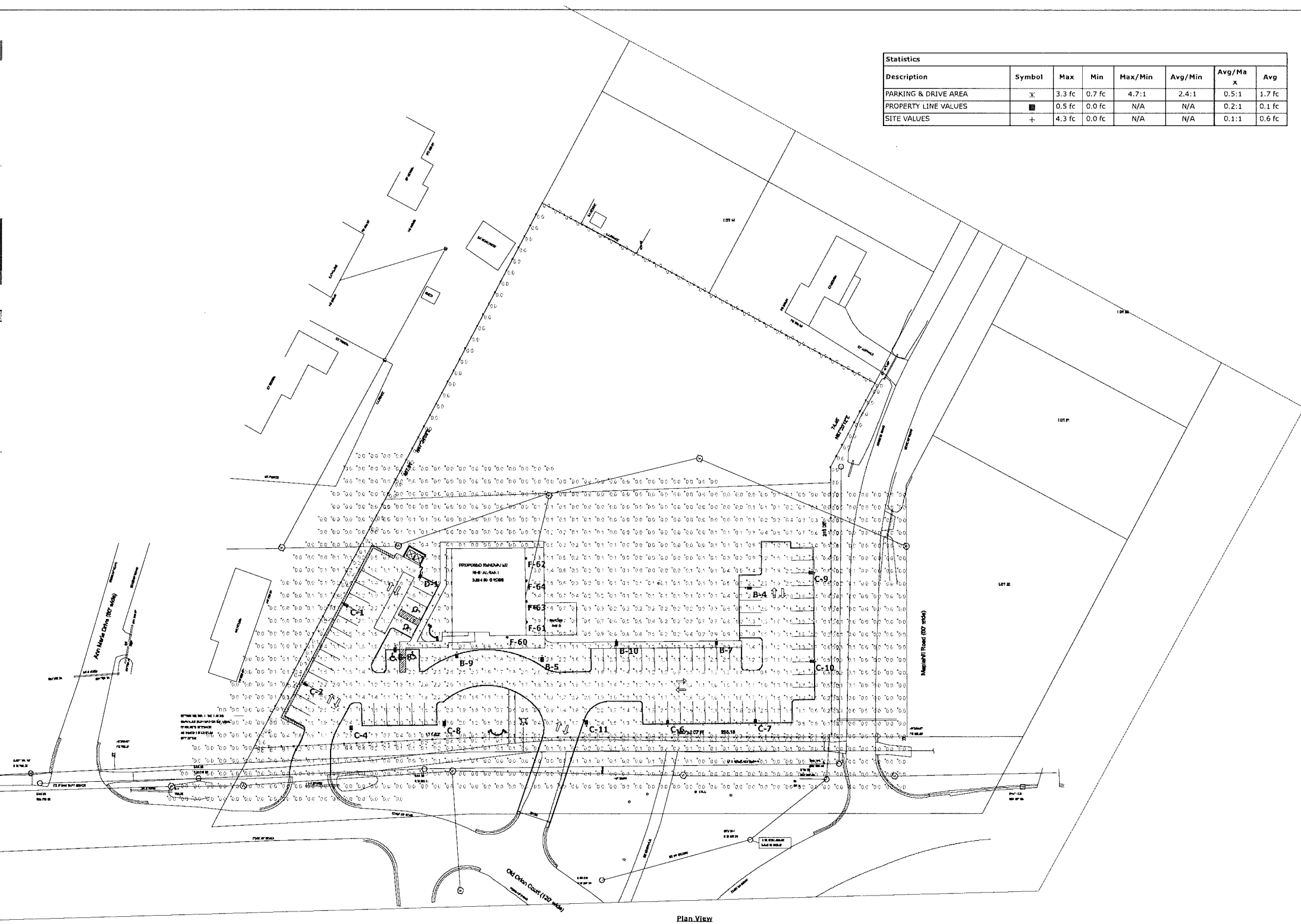


Specifications

EPA: 0.52
 Length: 24"
 Width: 12"
 Height: 12"
 Weight: 12 lbs

Ordering Information: EXAMPLE: DSX0 LED 40C 1000 40K T3M HVOLT SPA DSDX2

Label	Code	Description	Quantity	Unit Price	Total Price
4	B	DSX0 LED 20C 700 50K T3M HVOLT	15.00	15.00	225.00
5	B	DSX0 LED 20C 700 50K T3M HVOLT	15.00	15.00	225.00
6	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
7	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
8	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
9	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
10	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
11	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
12	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
13	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
14	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
15	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
16	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
17	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
18	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
19	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
20	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
21	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
22	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
23	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
24	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
25	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
26	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
27	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
28	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
29	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
30	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
31	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
32	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
33	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
34	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
35	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
36	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
37	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
38	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
39	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
40	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
41	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
42	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
43	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
44	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
45	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
46	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
47	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
48	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
49	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
50	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
51	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
52	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
53	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
54	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
55	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
56	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
57	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
58	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
59	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
60	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
61	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
62	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
63	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00
64	C	DSX0 LED 20C 700 50K T4H HVOLT HS	15.00	15.00	225.00



Plan View
 Scale - 1" = 40'

Luminaire Locations

No.	Label	X	Y	Z	MH	Orientation	Tilt
4	B	70.54	513.88	15.00	15.00	180.05	0.00
5	B	-60.76	490.56	15.00	15.00	180.05	0.00
7	B	47.37	503.68	15.00	15.00	180.05	0.00
8	B	-208.06	498.12	15.00	15.00	180.05	0.00
9	B	-159.05	493.27	15.00	15.00	180.05	0.00
10	B	-31.93	502.98	15.00	15.00	180.05	0.00
1	C	-249.24	531.74	15.00	15.00	119.50	0.00
2	C	-281.53	469.39	15.00	15.00	119.50	0.00
4	C	-242.80	430.60	15.00	15.00	0.05	0.00
6	C	8.18	435.30	15.00	15.00	0.05	0.00
7	C	78.36	436.03	15.00	15.00	0.05	0.00
8	C	-169.10	434.27	15.00	15.00	0.05	0.00
9	C	125.67	556.16	15.00	15.00	270.00	0.00
10	C	126.53	486.28	15.00	15.00	270.00	0.00
11	C	-55.73	435.30	15.00	15.00	0.05	0.00
1	D	-186.52	555.57	15.00	15.00	207.90	0.00
60	F	-118.69	505.46	7.00	7.00	180.00	0.00
61	F	-103.22	517.03	7.00	7.00	90.00	0.00
62	F	-103.59	567.19	7.00	7.00	90.00	0.00
63	F	-103.48	533.18	7.00	7.00	90.00	0.00
64	F	-103.46	549.52	7.00	7.00	90.00	0.00

Schedule

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number of Lamps	Filename	Lumens per Lamp	LLF	Wattage
□	B	6	Lithonia Lighting	DSX0 LED 20C 700 50K T3M HVOLT	DSX0 LED with 20 LEDs @700 mA, 5000K, Type 3 Medium Optics	LED	1	DSX0_LED_2 0C_700_50K _T3M_HVOLT	5684	0.9	45
□	C	9	Lithonia Lighting	DSX0 LED 20C 700 50K T4H HVOLT HS	DSX0 LED with 20 LEDs @700 mA, 5000K, Type 4 Medium Optics with HOUSE-SIDE SHIELD	LED	1	DSX0_LED_2 0C_700_50K _T4H_HVOLT HS_H5.ies	4432	0.9	45
□	D	1	Lithonia Lighting	DSX0 LED 20C 700 50K T4H HVOLT	DSX0 LED with 20 LEDs @700 mA, 5000K, Type 4 Medium Optics	LED	1	DSX0_LED_2 0C_700_50K _T4H_HVOLT	5761	0.9	45
⊗	F	5	LIGHTWAY INDUSTRIES, INC	HERVY-926-LED-U-42W	91. X 5-1/2" W. X 26" H. LED WALL SCONCE DIFFUSED LENS	LED	1	HERVY-926-LED-U-42W.ies	3463	0.9	50.07

GENERAL NOTE

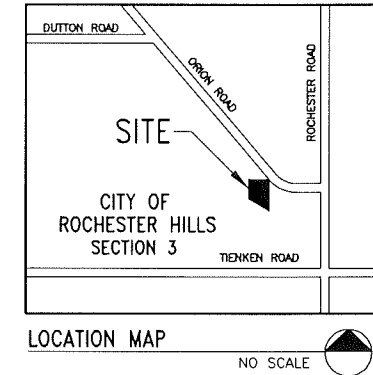
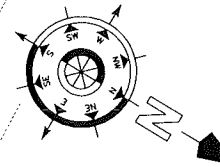
- SEE LUMINAIRE LOCATIONS FOR MOUNTING HEIGHT.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT GRADE.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

TOPOGRAPHIC SURVEY

SCALE: 1"=30'



LEGAL DESCRIPTION: (AS FURNISHED BY CLIENT)
 LOT 15 TO LOT 19 OF AVON HILLS SUBDIVISION
 PART OF THE S.E. 1/4 OF SECTION 3, T.3N, R.11E.,
 ROCHESTER HILLS, OAKLAND COUNTY MICHIGAN
 ID: 15-03-476-013

TOPOGRAPHIC AND BOUNDARY SURVEY
 PERFORMED BY AB-SB LAND SURVEY, PC.
 JOB # 2014-02-11-103-SD

SITE BENCHMARK:
 TOP OF NUT FIRE HYDRANT
 LOCATED AT #144 ANA MARIA,
 APPROXIMATELY 110' SOUTHEAST
 FROM THE SOUTHEAST PROPERTY
 CORNER OF THE PROJECT SITE.

ELEVATION: 800.34 NAVD88
 SOURCE OF ELEVATION: ELEVATION
 DERIVED FROM GPS OBSERVATIONS

CONTRACTOR'S NOTE

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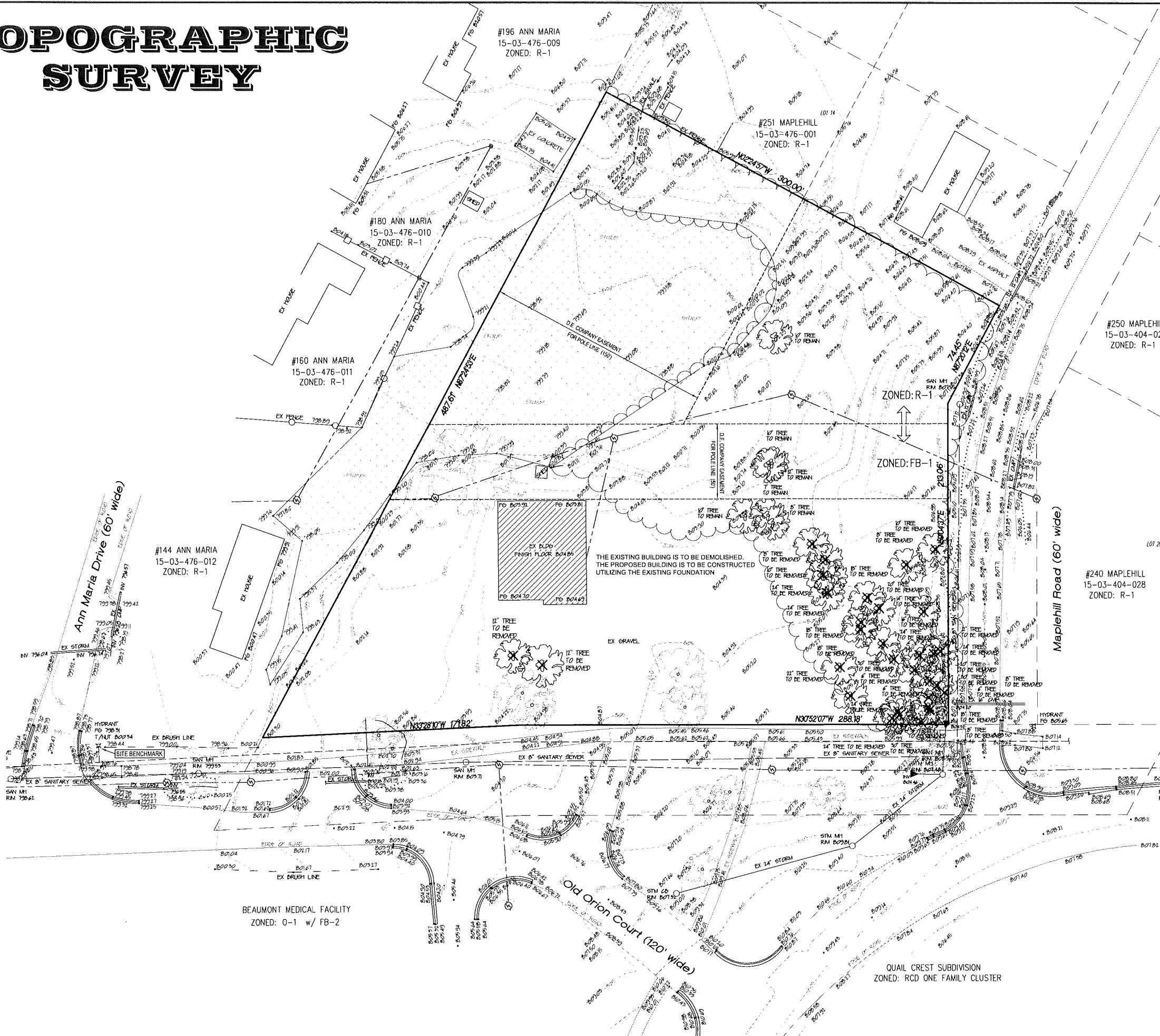


REVISION: PER CITY 6-30-17

D'Anna Associates
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 ROCHESTER HILLS, MI 48307
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 dannaassoc.com

CLIENT: SILVER SPOON RISTORANTE 6830 N ROCHESTER Rochester Hills, MI 48306 (248) 652-4500	DATE: 4/28/17 JOB No: 13056
	CITY OF ROCHESTER HILLS OAKLAND COUNTY, MICHIGAN



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