

**LOCATION OF EXISTING UTILITIES**

EXISTING PUBLIC UTILITIES AND KNOWN UNDERGROUND STRUCTURES ARE SHOWN ON THE PLANS. THE INFORMATION SHOWN IS BELIEVED TO BE REASONABLY CORRECT AND COMPLETE. HOWEVER, NEITHER THE CORRECTNESS OR THE COMPLETENESS OF SUCH INFORMATION IS GUARANTEED. PRIOR TO THE START OF ANY CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY "MISS DIG" AND REQUEST THE UTILITY COMPANIES TO MARK THE UTILITIES IN QUESTION.

SPECIAL CARE SHALL BE TAKEN IN EXCAVATING IN THE PROXIMITY OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL PROVIDE SUPPORT FOR ANY UTILITIES WITHIN THE EXCAVATION, PROVIDE PROPER COMPACTION UNDER ANY UNDERMINED UTILITY STRUCTURE AND IF NECESSARY, INSTALL TEMPORARY SHEETING OR USE A TRENCH BOX TO MINIMIZE THE EXCAVATION. CONTRACTOR SHALL PROTECT AND SAVE HARMLESS FROM DAMAGE ALL UTILITIES, ABOVE OR BELOW THE GROUND SURFACE, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION.



Know what's below.  
Call before you dig.

THE LOCATION OF THE EXISTING UTILITIES, AS SHOWN ON THIS PLAN, ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL LOCATION AND DEPTH OF ALL EXISTING UTILITIES. THE OWNER AND THE SURVEYOR SHALL NOT BE RESPONSIBLE FOR ANY OMISSION OR VARIATION FROM THE LOCATION SHOWN. THE CONTRACTOR SHALL NOTIFY "MISS DIG" AT 1 (800) 482-7171 OR 811 THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.

**SITE UTILITY NOTES**

THESE PLANS AND SPECIFICATIONS ARE SUBJECT TO MODIFICATION DURING CONSTRUCTION WHEN CONDITIONS DEVELOP THAT WERE NOT APPARENT DURING THE DESIGN AND PREPARATION OF THESE PLANS. ALL MODIFICATIONS MUST BE APPROVED BY LOCAL JURISDICTION PRIOR TO CONSTRUCTION AND/OR IMPLEMENTATION.

BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATION TO THESE PLANS OR OF ANY FIELD CONFLICTS.

IN THE EVENT OF ANY DISCREPANCY BETWEEN ANY DRAWING AND THE FIGURES WRITTEN THEREON, THE FIGURES SHALL BE TAKEN AS CORRECT.

SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

CONTRACTOR SHALL OBTAIN ENCROACHMENT PERMITS PRIOR TO COMMENCING CONSTRUCTION INVOLVING RIGHT-OF-WAYS, AND FOR THE CONSTRUCTION, MODIFICATION, OR CONNECTION TO FACILITIES. ALL WORKMANSHIP, EQUIPMENT AND MATERIALS SHALL CONFORM TO LOCAL JURISDICTION STANDARDS AND SPECIFICATIONS.

TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH LOCAL JURISDICTION.

THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAG MEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY.

WHERE SOIL OR GEOLOGIC CONDITIONS ENCOUNTERED IN GRADING OPERATIONS ARE DIFFERENT FROM THOSE ANTICIPATED IN THE SOIL AND GEOLOGICAL INVESTIGATION REPORT, OR WHERE CONDITIONS WARRANT CHANGES TO THE RECOMMENDATIONS CONTAINED THEREIN, A REVISED SOIL OR GEOLOGIC REPORT SHALL BE SUBMITTED FOR APPROVAL AND SHALL BE ACCOMPANIED BY AN ENGINEER'S OPINION AS TO THE SAFETY OF THE SITE FROM THE POSSIBILITY OF LAND SLIPPAGE, SETTLEMENT AND SEISMIC ACTIVITY.

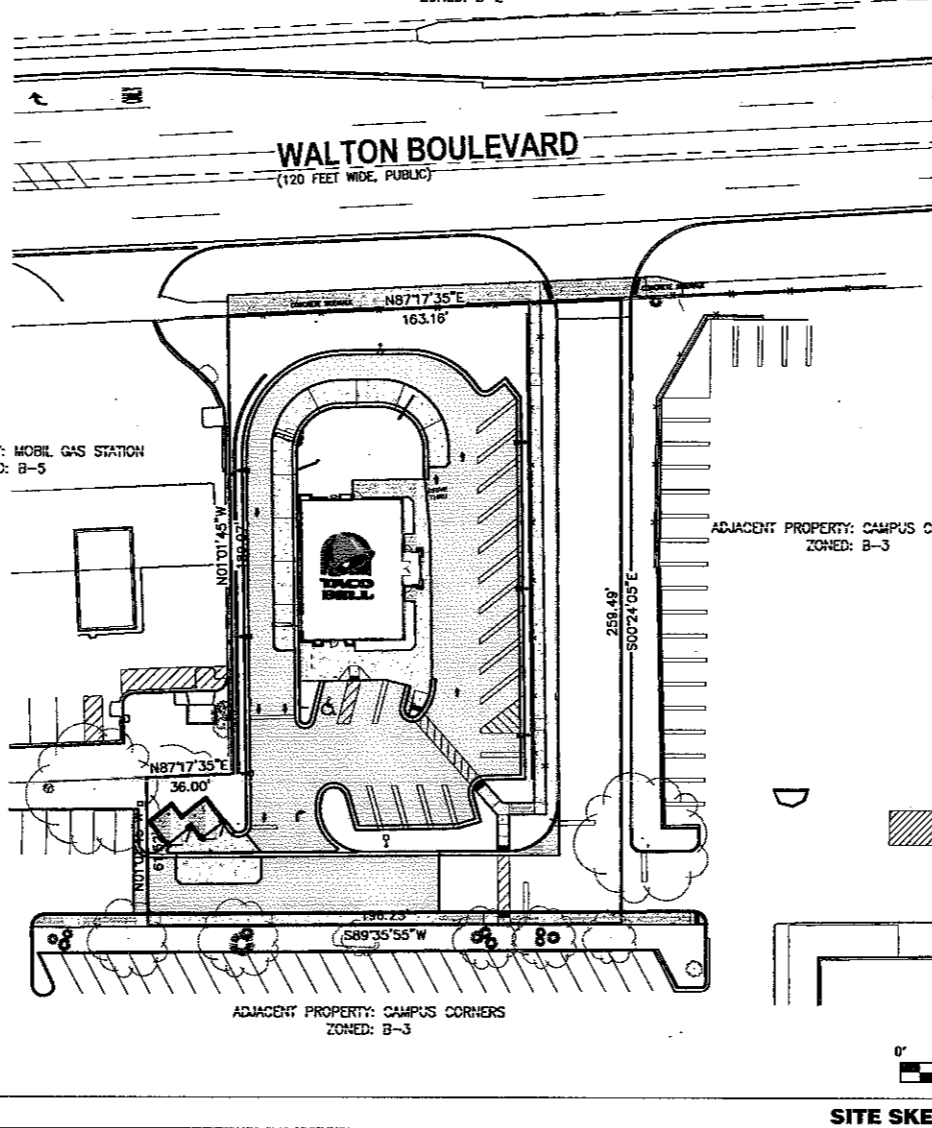
A PRECONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE DEVELOPER, SERVICES PERSONNEL AND THE DEVELOPER'S CONTRACTOR. A PRECONSTRUCTION MEETING SHALL TAKE PLACE PRIOR TO THE STARTING OF ANY CONSTRUCTION ON THE SITE.



**TACO BELL**

SECTION 15, T3N-R11E, CITY OF ROCHESTER HILLS  
OAKLAND COUNTY, MICHIGAN

ADJACENT PROPERTY: GREAT OAKS SHOPPING CENTER  
ZONED: B-2



ADJACENT PROPERTY: MOBIL GAS STATION  
ZONED: B-5

ADJACENT PROPERTY: CAMPUS CORNERS  
ZONED: B-3

ADJACENT PROPERTY: CAMPUS CORNERS  
ZONED: B-3

**SITE SKETCH** 1" = 40'

**PROPERTY OWNER**  
CLARIDGE PROPERTIES  
A MICHIGAN LIMITED CO-PARTNERSHIP

**APPLICANT**  
TACO BELL OF AMERICA, LLC  
1 GLEN BELL WAY  
IRVINE, CA 92618  
PHONE: (949) 863-4500

**ZONING INFORMATION**

PARCEL ID: PART OF 07-15-15-101-025  
PARCEL ZONING: SHOPPING CENTER BUSINESS (B-3)  
PROPOSED USE: RESTAURANT, DRIVE-THRU  
PARCEL ADDRESS: WALTON BOULEVARD  
ROCHESTER HILLS, MICHIGAN  
PARCEL SIZE: 43,660 SQUARE FEET (1.002 ACRES)

MAXIMUM HEIGHT: 30 FEET

MAXIMUM LOT COVERAGE: NONE

**STRUCTURE SETBACKS**

FRONT: 75 FEET  
SIDE: 25 FEET  
REAR: 50 FEET

**PARKING SETBACKS**

FRONT: 15 FEET  
SIDE: 15 FEET  
REAR: N/A

**PARKING REQUIREMENTS**

PARKING FORMULA:

ONE (1) SPACE FOR EACH TWO (2) PERSONS PERMITTED AT MAXIMUM OCCUPANCY.

MAXIMUM OCCUPANCY: 79 PERSONS, 2 = 40 SPACES

TOTAL NO. OF PARKING SPACES REQUIRED - 40 SPACES

TOTAL NO. OF PARKING SPACES PROVIDED - 21 SPACES

TOTAL NO. OF BARRIER-FREE SPACE PROVIDED - 1 SPACE (1-VAN ACCESSIBLE)

DRIVE-THRU STACKING SPACES REQUIRED - 10 SPACES PER RESTAURANT SERVICE WINDOW

DRIVE-THRU STACKING SPACES PROVIDED - 10 SPACES

**PROJECT INFORMATION**

THIS DESCRIPTION REFERS TO THE PROPOSED TACO BELL DEVELOPMENT. REFER TO THE ALTA/ACSM LAND TITLE SURVEY, SHEETS C0.1 AND C0.2, FOR A DESCRIPTION OF THE OVERALL SHOPPING CENTER DEVELOPMENT.

PART OF THE NORTHWEST 1/4 OF SECTION 15, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTH-WEST CORNER OF SAID SECTION 15; THENCE N87°17'35"E (RECORDED AS EAST) ALONG THE NORTH LINE OF SAID SECTION A DISTANCE OF 200.00 FEET (M&R); THENCE S01°01'45"E (RECORDED AS S01°40'40"W) A DISTANCE OF 60.03 FEET (M&R) TO THE SOUTHERLY RIGHT-OF-WAY OF WALTON BOULEVARD (120 FEET WIDE, PUBLIC) AND THE POINT OF BEGINNING. THENCE N87°17'35"E (RECORDED AS EAST) ALONG SAID RIGHT-OF-WAY A DISTANCE OF 163.16 FEET; THENCE S00°24'05"E A DISTANCE OF 259.49 FEET; THENCE S89°35'55"W A DISTANCE OF 196.25 FEET; THENCE N01°01'45"W A DISTANCE OF 61.52 FEET; THENCE N87°17'35"E (RECORDED AS EAST) A DISTANCE OF 36.00 FEET; THENCE N01°01'45"W (RECORDED AS N01°40'40"E) A DISTANCE OF 189.97 FEET (M&R) TO THE POINT OF BEGINNING. CONTAINS 43,660 SQUARE FEET (1.002 ACRES), MORE OR LESS.

ISSUE DATE: XXXXXX

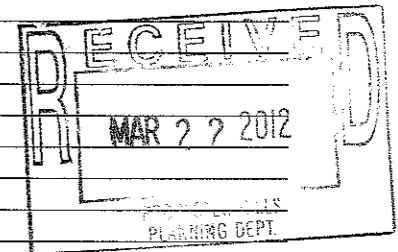
PLANNING REVIEW #1 03.20.11

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**BOUNDARY DESCRIPTION**

**SHEET SHEET TITLE**

C	COVER SHEET
C0.1	ALTA/ACSM LAND TITLE SURVEY (SHEET 1)
C0.2	ALTA/ACSM LAND TITLE SURVEY (SHEET 2)
C3.0	SITE PLAN
C3.1	SITE DETAILS
C3.2	SITE DETAILS
C4.0	GRADING PLAN
C4.1	GRADING DETAILS
C6.0	UTILITY PLAN
C6.1	UTILITY DETAILS
L1.0	PLANTING PLAN
L2.0	IRRIGATION PLAN
I1.0	ILLUMINATION PLAN
A0.1	PRELIM. FLOOR/EQUIPMENT/SEATING PLAN & ELEVATIONS



CONTRACT DATE: XXXXXX

BUILDING TYPE: T50

PLAN VERSION: JULY 2011

SITE NUMBER: 307830

ENTITY NUMBER: 308088

TACO BELL

WALTON ROAD  
ROCHESTER HILLS, MI



T50

COVER

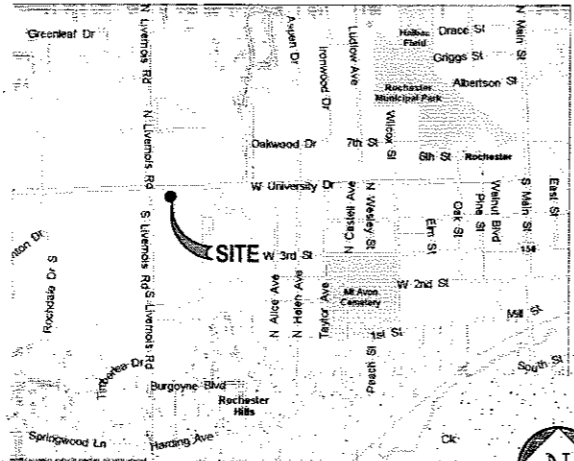


PLOT DATE: 03.20.11  
CITY FILE NO: 12-00

**SHEET INDEX**

NOT FOR  
CONSTRUCTION

**GENERAL SITE NOTES**



**LOCATION MAP** 4" = 1 MILE

**PLANNING/ZONING**

CITY OF ROCHESTER HILLS  
1000 ROCHESTER HILLS DRIVE  
ROCHESTER HILLS, MICHIGAN 48309  
Contact: ED ANZEK, PLANNING DIRECTOR  
Phone: (248) 659-4960

**SANITARY SEWER / WATER**

CITY OF ROCHESTER HILLS DPS  
1000 ROCHESTER HILLS DRIVE  
ROCHESTER HILLS, MICHIGAN 48309  
Contact: PAUL DAVIS  
Phone: (248) 656-4640

**STORM DRAINAGE**

CITY OF ROCHESTER HILLS DPS  
1000 ROCHESTER HILLS DRIVE  
ROCHESTER HILLS, MICHIGAN 48309  
Contact: ROGER MOORE  
Phone: (248) 656-4640

**ELECTRIC**

DTE  
2000 2ND AVENUE, 1205 WCB  
DETROIT, MI 48226  
Contact: JULIE MARTEL  
Phone: (248) 442-5912

**NATURAL GAS**

CONSUMERS ENERGY  
1030 FEATHERSTONE  
PONTIAC, MICHIGAN 48342  
Contact: ERIN GREEN  
Phone: (248) 658-4532

**ROADS/HIGHWAY**

ROAD COMMISSION OF OAKLAND COUNTY  
2460 PONTIAC LAKE ROAD  
WATERFORD, MICHIGAN 48328  
Contact: SCOTT SINTKOWSKI  
Phone: (248) 858-4835

**FIRE CODE**

CITY OF ROCHESTER HILLS DPS  
1000 ROCHESTER HILLS DRIVE  
ROCHESTER HILLS, MICHIGAN 48309  
Contact: RON WALKER, FIRE PLAN REVIEWER  
Phone: (248) 641-2434

**HEALTH DEPARTMENT**

OAKLAND COUNTY HEALTH DEPARTMENT  
27725 GREENFIELD ROAD  
SOUTHFIELD, MICHIGAN 48076  
Contact: JOSH NELSON  
Phone: (248) 424-7095

**TELEPHONE**

SBC  
54 N. MILL STREET  
PONTIAC, MICHIGAN 48342  
Contact: GREG HILLS  
Phone: (248) 459-0842

**EMERGENCIES**

POLICE DEPARTMENTS - 911  
FIRE DEPARTMENTS - 911  
AMBULANCE - 911

**AGENCIES**

**Notes Corresponding to Schedule B**

8. THE INTEREST OF THE KROGER CO., AN OHIO CORPORATION, LESSEE, AS EVIDENCED BY LEASE RECORDED IN LIBER 8028, PAGE 665; LEASE RECORDED IN LIBER 8046, PAGE 895; CANCELLATION AGREEMENT RECORDED IN LIBER 11769, PAGE 656; SECOND LEASE AMENDMENT RECORDED IN LIBER 12348, PAGE 400, AND THE TERMS, COVENANTS, CONDITIONS AND PROVISIONS AS CONTAINED IN SAID LEASE. AFFECTS ENTIRE SURVEYED PROPERTY.
9. GRANT OF EASEMENT IN FAVOR OF THE VILLAGE OF ROCHESTER AS RECORDED IN LIBER 3908, PAGE 425. DOES NOT AFFECT SURVEYED PROPERTY.
10. GRANT OF EASEMENT IN FAVOR OF THE VILLAGE OF ROCHESTER AS RECORDED IN LIBER 4174, PAGE 861. DOES NOT AFFECT SURVEYED PROPERTY.
11. BUILDING AND USE RESTRICTIONS, COVENANTS, CONDITIONS, OBLIGATIONS, RESERVATIONS, RIGHTS, POWERS AND CHARGES AS CONTAINED IN RESTRICTION AGREEMENT RECORDED IN LIBER 5031, PAGE 152, BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN. DOES NOT AFFECT SURVEYED PROPERTY.
12. EASEMENT IN FAVOR OF COUNTY OF OAKLAND, A MICHIGAN CONSTITUTIONAL CORPORATION RECORDED IN LIBER 5480, PAGE 841. DOES NOT AFFECT SURVEYED PROPERTY.
13. EASEMENT FOR INGRESS AND EGRESS RECITED IN WARRANTY DEED RECORDED IN LIBER 5507, PAGE 327 IN FAVOR OF MOBIL OIL CORPORATION. AFFECTS SURVEYED PROPERTY. PLOTTED HEREON.
14. RIGHT OF WAY FOR THE HOOT DRAIN AS RECORDED IN LIBER 602, PAGE 809 AND ANY FEES OR ASSESSMENTS ARISING THEREFROM. DOES NOT AFFECT SURVEYED PROPERTY.
15. RIGHT OF WAY IN FAVOR OF CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY) AS RECORDED IN LIBER 6227, PAGE 391. DOES NOT AFFECT SURVEYED PROPERTY.
16. BUILDING AND USE RESTRICTIONS AS CONTAINED IN DECLARATION AS TO RESTRICTIONS RECORDED IN LIBER 6769, PAGE 612, BUT OMITTING ANY COVENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN. DOES NOT AFFECT SURVEYED PROPERTY.
17. THE INTEREST OF TENANTS AS LESSEES, AS DISCLOSED ON THE AFFIDAVIT, RECORDED ON OCTOBER 17, 1980 IN LIBER 11589, PAGE 612, AND THE TERMS, COVENANTS, CONDITIONS AND PROVISIONS AS CONTAINED IN SAID LEASES. AFFECTS ENTIRE SURVEYED PROPERTY.
18. TERMS, PROVISIONS AND CONDITIONS CONTAINED IN THE RECIPROCAL EASEMENT AND PARTY WALL AGREEMENT RECORDED IN LIBER 7126, PAGE 380 AND AFFIRMED BY AFFIDAVITS OF INTEREST RECORDED IN LIBER 11491, PAGE 68, LIBER 12130, PAGE 727 AND MODIFIED BY AMENDMENT TO RECIPROCAL EASEMENT AND PARTY WALL AGREEMENT RECORDED IN LIBER 13608, PAGE 877. DOES NOT AFFECT SURVEYED PROPERTY.
19. GRANT OF EASEMENT RECORDED IN LIBER 6340, PAGE 420. DOES NOT AFFECT SURVEYED PROPERTY.
20. EASEMENT AGREEMENT RECORDED IN LIBER 14218, PAGE 289. DOES NOT AFFECT SURVEYED PROPERTY.
21. RIGHT OF WAY IN FAVOR OF CONSUMERS POWER COMPANY (NOW KNOWN AS CONSUMERS ENERGY) AS RECORDED IN LIBER 15210, PAGE 181. DOES NOT AFFECT SURVEYED PROPERTY.
22. WATERMAIN EASEMENT RECORDED IN LIBER 15556, PAGE 200. DOES NOT AFFECT SURVEYED PROPERTY.
23. SANITARY SEWER EASEMENTS RECORDED IN LIBER 15556, PAGES 203, 208 AND 212, RESPECTIVELY. DOES NOT AFFECT SURVEYED PROPERTY.
24. NON-EXCLUSIVE SANITARY SEWER EASEMENT RECORDED IN LIBER 15643, PAGE 587. DOES NOT AFFECT SURVEYED PROPERTY.
25. WATERMAIN EASEMENT RECORDED IN LIBER 15556, PAGE 428 AND RE-RECORDED IN LIBER 18002, PAGE 849. DOES NOT AFFECT SURVEYED PROPERTY.
26. EASEMENTS AS DISCLOSED BY CONSENT TO EASEMENT GRANT AND SUBORDINATION LENS RECORDED IN LIBER 15556, PAGES 217, 229 AND 233, RESPECTIVELY. DOES NOT AFFECT SURVEYED PROPERTY.
27. NOTICE OF COMMENCEMENT AS RECORDED IN LIBER 41493, PAGE 584. AFFECTS ENTIRE SURVEYED PROPERTY.

**Statement of Encroachments**

A. OVERHEAD UTILITIES CROSS WESTERLY PORTION OF THE SURVEYED PROPERTY WITHOUT THE BENEFIT OF AN EASEMENT.

**ALTA/ACSM Land Title Survey**

Based Upon Title Commitment No. 630541908NMS  
CHICAGO TITLE INSURANCE COMPANY  
bearing an effective date of June 11, 2010.

**SURVEYOR'S CERTIFICATION**

To Toco Bell of America, LLC, a Delaware limited liability company, and its affiliates; and Chicago Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 12, 13, and 22 of Table A thereof. The field work was completed on December 27, 2011.

Date of Plat or Map: January 13, 2012.

01/12/12

Date

Matthew Mokanyk, P.S.  
Professional Surveyor No. 42063

**Surveyor's Notes**

ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/ACSM SPECIFICATIONS UNLESS OTHERWISE SHOWN.

BEARING BASIS: MICHIGAN STATE PLANE COORDINATE SYSTEM - SOUTH ZONE.

VERTICAL CONTROL AND ELEVATIONS ARE BASED ON NAVD 88.

AT TIME OF SURVEY, THERE WAS NO EVIDENCE OF CEMETERIES, GRAVESTONES, OR BURIAL GROUNDS DISCLOSED IN THE RECORD DOCUMENTS PROVIDED TO THE SURVEYOR OR OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY.

SITE HAS DIRECT ACCESS TO WALTON BOULEVARD (PUBLIC RIGHT-OF-WAY)

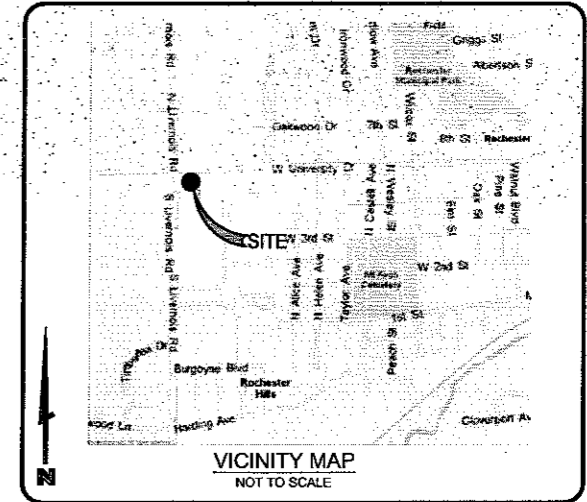
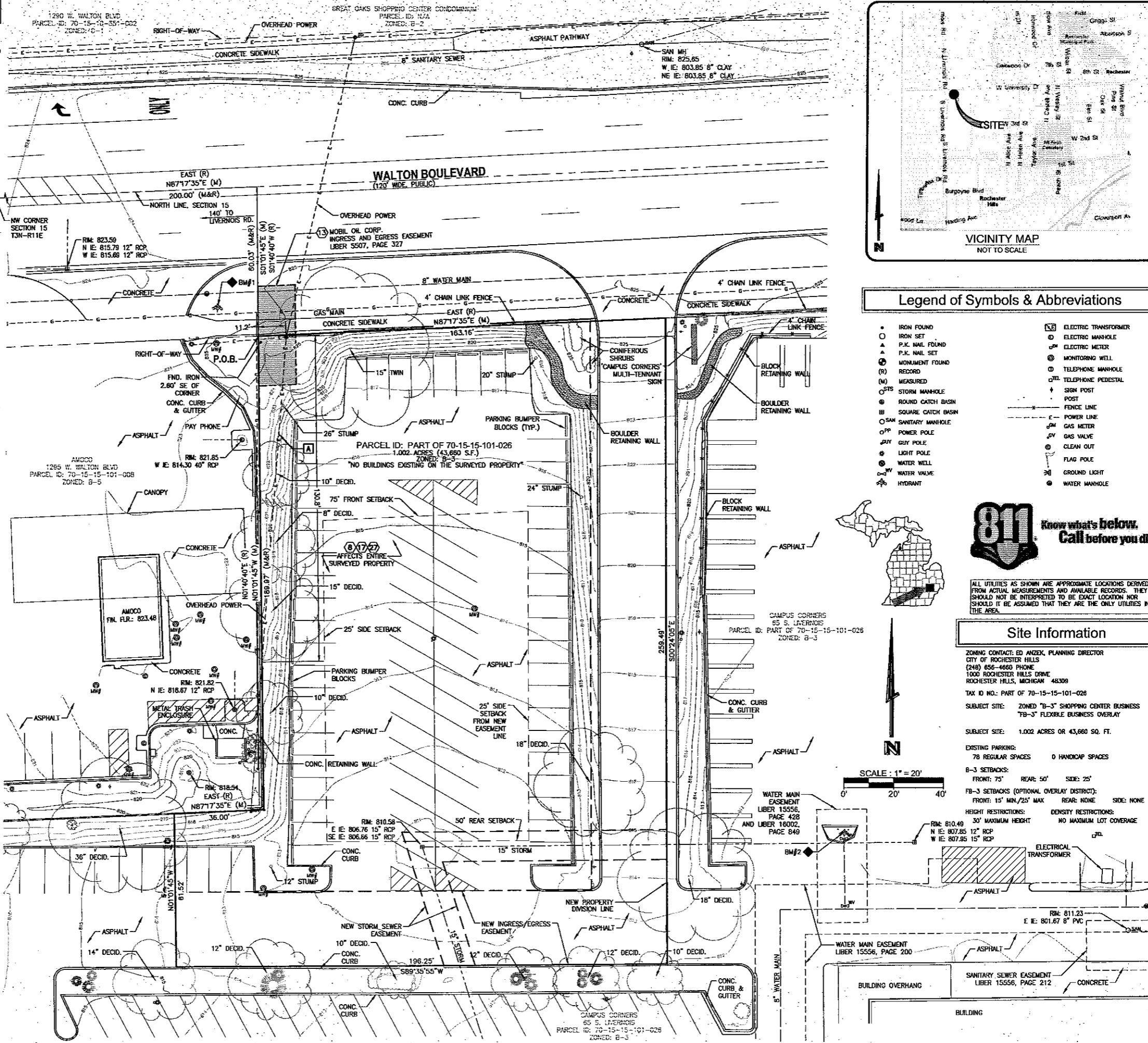
**Flood Note**

By graphic plotting only, this property is in Zone(s) XC of the Flood Insurance Rate Map, Community Panel No. 261250032Z, which bears an effective date of 09/29/06, and is NOT in a Special Flood Hazard Area. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

**SITE BENCHMARKS**

- BENCHMARK #1: ARROW ON HYDRANT, SOUTHERLY RIGHT-OF-WAY OF WALTON BOULEVARD  
ELEVATION: 826.42 (NAVD 88)
- BENCHMARK #2: ARROW ON HYDRANT, 70 FEET EAST OF ENTRANCE DRIVEWAY (PANERA BREAD PARKING LOT)  
ELEVATION: 814.26 (NAVD 88)

CONVERSION TO NGVD 29: +0.43 FEET



**Legend of Symbols & Abbreviations**

- |                      |                        |
|----------------------|------------------------|
| • IRON FOUND         | ⊠ ELECTRIC TRANSFORMER |
| ○ IRON SET           | ⊙ ELECTRIC MANHOLE     |
| ▲ P.K. NAIL FOUND    | ⊕ ELECTRIC METER       |
| ● P.K. NAIL SET      | ⊞ MONITORING WELL      |
| ⊠ MONUMENT FOUND     | ⊙ TELEPHONE MANHOLE    |
| (R) RECORD           | ⊞ TELEPHONE PEDESTAL   |
| (M) MEASURED         | ⊕ SIGN POST            |
| ○ STORM MANHOLE      | ⊞ FENCE LINE           |
| ⊙ ROUND CATCH BASIN  | ⊕ POWER LINE           |
| ⊞ SQUARE CATCH BASIN | ⊕ GAS METER            |
| ⊙ SANITARY MANHOLE   | ⊕ GAS VALVE            |
| ⊕ POWER POLE         | ⊕ CLEAN OUT            |
| ⊕ GUY POLE           | ⊕ FLAG POLE            |
| ⊕ LIGHT POLE         | ⊕ GROUND LIGHT         |
| ⊕ WATER WELL         | ⊕ WATER MANHOLE        |
| ⊕ WATER VALVE        |                        |
| ⊕ HYDRANT            |                        |

811 Know what's below. Call before you dig.

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

**Site Information**

ZONING CONTACT: ED ANZEK, PLANNING DIRECTOR  
CITY OF ROCHESTER HILLS  
(248) 656-4660 PHONE  
1000 ROCHESTER HILLS DRIVE  
ROCHESTER HILLS, MICHIGAN 48309

TAX ID NO.: PART OF 70-15-15-101-026

SUBJECT SITE: ZONED "B-3" SHOPPING CENTER BUSINESS  
"B-3" FLEXIBLE BUSINESS OVERLAY

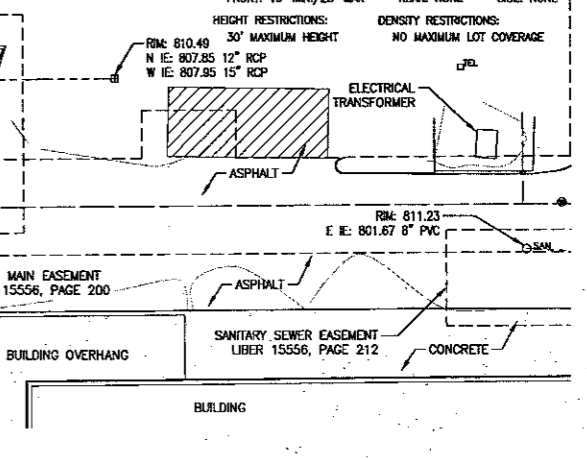
SUBJECT SITE: 1.002 ACRES OR 43,660 SQ. FT.

EXISTING PARKING: 78 REGULAR SPACES 0 HANDICAP SPACES

B-3 SETBACKS:  
FRONT: 75' REAR: 50' SIDE: 25'

FB-3 SETBACKS (OPTIONAL OVERLAY DISTRICT):  
FRONT: 15' MIN./25' MAX REAR: NONE SIDE: NONE

HEIGHT RESTRICTIONS: DENSITY RESTRICTIONS:  
30' MAXIMUM HEIGHT NO MAXIMUM LOT COVERAGE



**LANDTECH**  
Professional Surveying & Engineering

P.O. BOX 193  
1275 MCGREGOR WAY  
GRAWN, MI 49637  
PH: 231.943.0050  
FAX: 231.943.0051  
TOLL FREE: 877.520.LAND  
www.landtechps.com

**WT DEVELOPMENT CORPORATION**

WT Development Corporation  
10223 E. Cherry Bend Rd., Ste. A  
Traverse City, Michigan, 49684

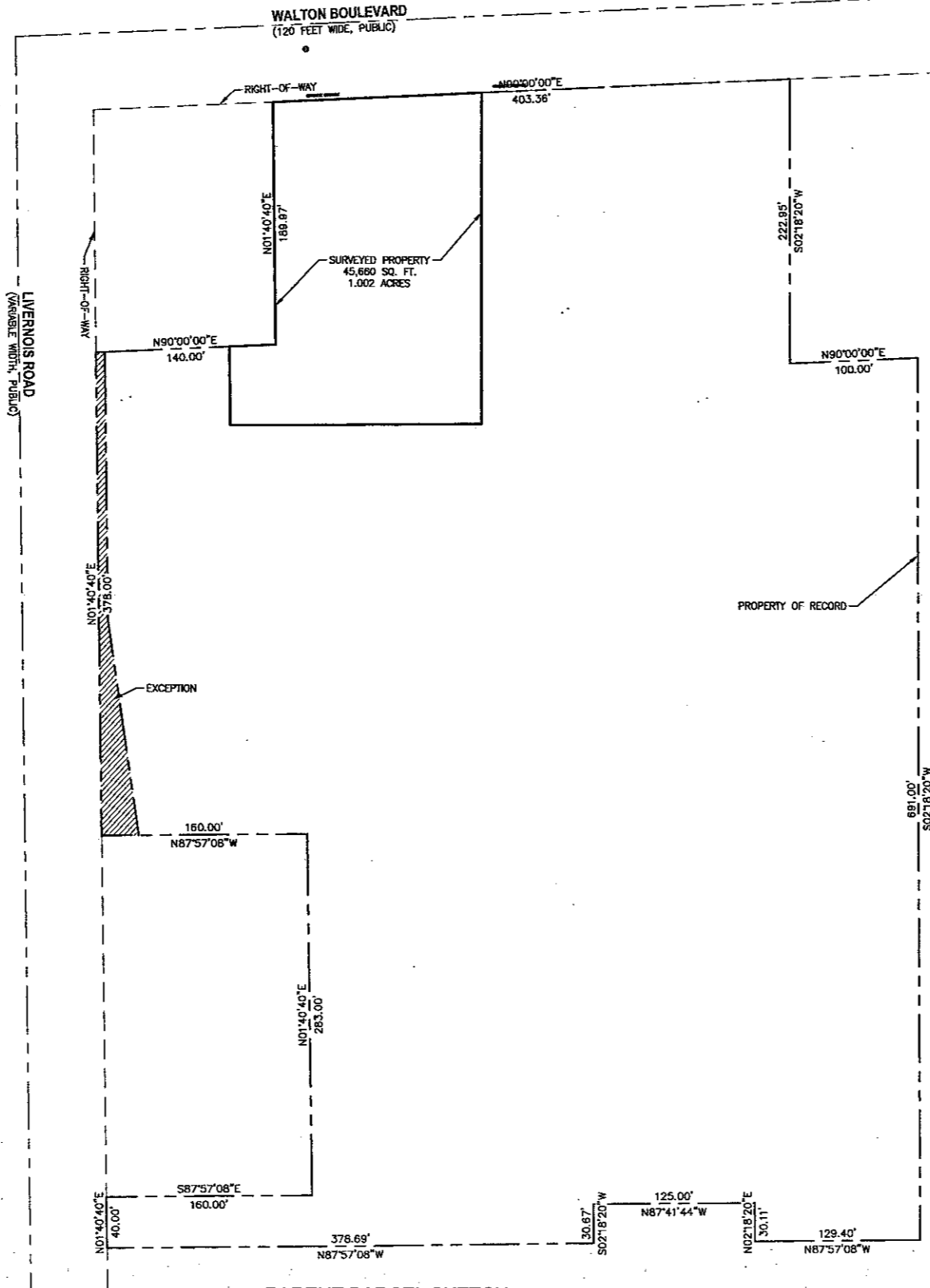
Contact: Bill Becker, President  
Phone: (231) 922-9250  
Fax: (231) 922-9257

**PROJECT CONSULTANT**

**ALTA/ACSM LAND TITLE SURVEY**

**CO.1**

PLOT DATE: 01.12.12



PARENT PARCEL SKETCH  
SCALE: 1" = 60'



**Title Commitment Legal Description**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE TOWNSHIP OF AVON, OAKLAND COUNTY, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:

LAND IN THE TOWNSHIP OF AVON, NOW CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, PART OF THE NORTHWEST QUARTER OF SECTION 15, TOWN 3 NORTH, RANGE 11 EAST, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 15; THENCE EAST ALONG THE NORTH LINE OF SAID SECTION 15, 200.00 FEET; THENCE SOUTH 01 DEGREE 40 MINUTES 40 SECONDS WEST 60.03 FEET TO THE POINT OF BEGINNING OF THE LANDS HEREIN DESCRIBED; THENCE EAST 403.36 FEET; THENCE SOUTH 02 DEGREES 18 MINUTES 20 SECONDS WEST, 222.95 FEET THENCE EAST 100.00 FEET; THENCE SOUTH 02 DEGREES 18 MINUTES 20 SECONDS WEST, 891.00 FEET THENCE NORTH 87 DEGREES 57 MINUTES 08 SECONDS WEST 120.40 FEET THENCE NORTH 00 DEGREES 18 MINUTES 20 SECONDS EAST 30.11 FEET TO THE SOUTHEAST CORNER OF BUILDING; THENCE ALONG BUILDING NORTH 87 DEGREES 57 MINUTES 08 SECONDS WEST 125.00 FEET TO THE SOUTHWEST CORNER OF BUILDING; THENCE SOUTH 02 DEGREES 18 MINUTES 20 SECONDS WEST 30.87 FEET; THENCE NORTH 87 DEGREES 57 MINUTES 08 SECONDS WEST, 378.69 FEET TO A POINT 80 FEET EAST OF THE WEST LINE OF SECTION 15; THENCE NORTH 01 DEGREE 40 MINUTES 40 SECONDS EAST 40.00 FEET; THENCE SOUTH 87 DEGREES 57 MINUTES 08 SECONDS EAST, 180.00 FEET; THENCE NORTH 01 DEGREE 40 MINUTES 40 SECONDS EAST, 283.00 FEET; THENCE NORTH 87 DEGREES 57 MINUTES 08 SECONDS WEST, 180.00 FEET TO A POINT 80 FEET EAST OF THE WEST LINE OF SAID SECTION 15; THENCE NORTH 01 DEGREE 40 MINUTES 40 SECONDS EAST, 378.00 FEET; THENCE EAST 140.00 FEET; THENCE NORTH 01 DEGREE 40 MINUTES 40 SECONDS EAST 188.97 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART OF THE NORTHWEST QUARTER OF SECTION 15, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS (FORMERLY AVON TOWNSHIP), OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 15; THENCE EAST 200 FEET ALONG THE NORTH LINE OF SAID SECTION 15; THENCE SOUTH 01 DEGREE 40 MINUTES 40 SECONDS WEST 250.00 FEET; THENCE WEST 133.00 FEET TO POINT OF BEGINNING NO.1; THENCE SOUTH 01 DEGREE 40 MINUTES 40 SECONDS WEST 209.21 FEET ALONG A LINE 67.0 FEET EAST OF, MEASURED AT RIGHT ANGLES TO, AND PARALLEL WITH THE WEST LINE OF SAID SECTION 15; THENCE SOUTH 05 DEGREES 43 MINUTES 51 SECONDS EAST 170.81 FEET; THENCE NORTH 87 DEGREES 57 MINUTES 08 SECONDS WEST 29.00 FEET; THENCE NORTH 01 DEGREE 40 MINUTES 40 SECONDS EAST 378.00 FEET ALONG A LINE 60.00 FEET EAST OF, MEASURED AT RIGHT ANGLES TO, AND PARALLEL WITH THE WEST LINE OF SAID SECTION 15; THENCE EAST, 7.00 FEET TO POINT OF BEGINNING NO.1.

PARCEL ID: 70-15-15-101-026  
STREET ADDRESS: 65 SOUTH LIVERNOIS, ROCHESTER HILLS

**Legal Description of Surveyed Property**

THIS DESCRIPTION OF THE SURVEYED PROPERTY IS A NEW PARCEL BEING CREATED FROM THE EXISTING PARCEL OF RECORD DESCRIBED IN SCHEDULE A OF CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 630541809NITS, BEARING AN EFFECTIVE DATE OF JUNE 11, 2010.

PART OF THE NORTHWEST 1/4 OF SECTION 15, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 15; THENCE NORTH 87°17'35"E (RECORDED AS EAST) ALONG THE NORTH LINE OF SAID SECTION 15 A DISTANCE OF 200.00 FEET (MAR); THENCE S01°01'45"E (RECORDED AS S01°40'40"W) A DISTANCE OF 60.03 FEET (MAR) TO THE SOUTHERLY RIGHT-OF-WAY OF WALTON BOULEVARD (120 FEET WIDE, PUBLIC) AND THE POINT OF BEGINNING; THENCE N87°17'35"E (RECORDED AS EAST) ALONG SAID RIGHT-OF-WAY A DISTANCE OF 163.16 FEET; THENCE S00°24'05"E A DISTANCE OF 259.49 FEET; THENCE S89°35'55"W A DISTANCE OF 198.25 FEET; THENCE N01°01'45"W A DISTANCE OF 61.52 FEET; THENCE N87°17'35"E (RECORDED AS EAST) A DISTANCE OF 38.00 FEET; THENCE N01°01'45"W (RECORDED AS N01°40'40"E) A DISTANCE OF 189.97 FEET (MAR) TO THE POINT OF BEGINNING. CONTAINS 43,680 SQUARE FEET (1.002 ACRES), MORE OR LESS.



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Traverse City, Michigan, 49684

Contact: Bill Beckett, President  
Phone: (231) 922-9250  
Fax: (231) 922-9257

PROJECT CONSULTANT

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SCALE: 1" = 20'  
DATE: 01.12.12  
DRAWN BY: JU  
CHECKED BY: MM  
PARCEL AREA: 1.002 AC.  
ENTITY NUMBER: 398088  
SITE NUMBER: 807630

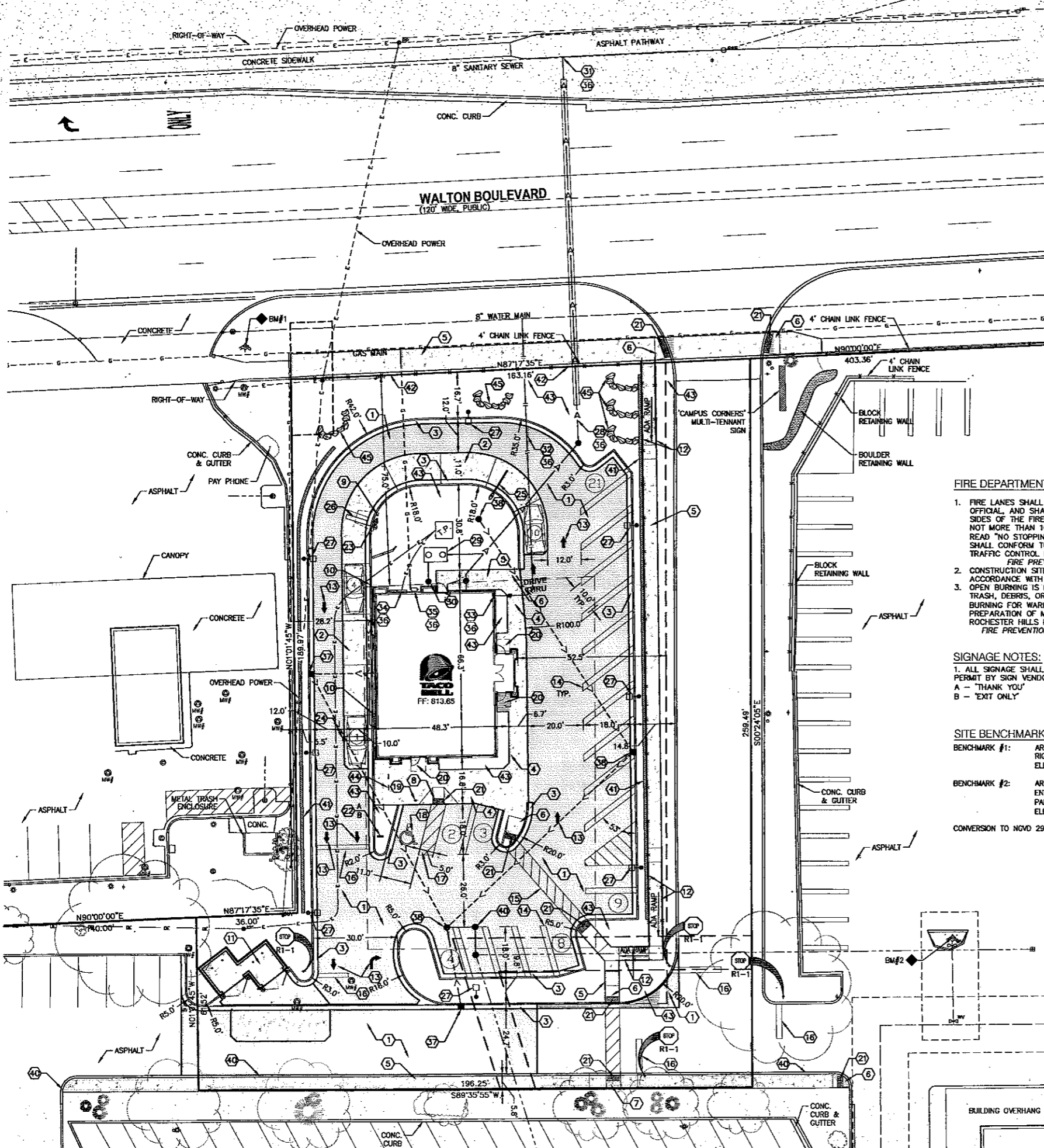
TACO BELL  
S. LIVERNOIS  
ROCHESTER HILLS, MICHIGAN



ALTA/ACSM  
LAND TITLE  
SURVEY

C0.2

PLOT DATE: 01.12.12



**SITE PLAN** 1" = 20' **8**

- 1 A.C. PAVING AND BASE, SEE DETAIL 1/C3.1 AND SOILS REPORT.
- 2 CONSTRUCT 8-INCH CONCRETE PAVEMENT PER DETAIL 2/C3.1 AND SOILS REPORT.
- 3 CONSTRUCT 6" P.C.C. CURB & GUTTER PER DETAIL 4/C3.1
- 4 CONSTRUCT P.C.C. CURB EDGE SIDEWALK PER DETAIL 5/C3.1
- 5 CONSTRUCT P.C.C. SIDEWALK PER DETAIL 6/C3.1
- 6 DEPRESS CURBS AND RAMP SIDEWALK TO MATCH BACK OF CURB GRADE - MAX SLOPE 1:12. CONCRETE RAMPS AND LANDINGS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE SIX (6) INCHES THICK.
- 7 CONSTRUCT SIDEWALK CURB RAMP - MAX SLOPE 1:12. REFER TO GRADING PLAN AND DETAIL 8/C3.1
- 8 CONSTRUCT P.C.C. DEPRESSION CURB RAMP - MAX. SLOPE 1:12. REFER TO GRADING PLAN AND DETAIL 7/C3.1
- 9 INSTALL GUARD POST BOLLARD PER DETAIL 10/C3.1
- 10 INSTALL BOLLARD AT CURB PER DETAIL 11/C3.1
- 11 CONSTRUCT TRASH ENCLOSURE ON 8" PCC PAD PER DETAIL 16/C3.1
- 12 INSTALL HAND RAIL ALONG SIDEWALK RAMP. SEE DETAIL 13/C4.1
- 13 PAINT TRAFFIC ARROWS - WHITE PER DETAIL 1/C3.2
- 14 PAINT 4" WIDE PARKING STRIPES, WHITE REFLECTIVE PAINT
- 15 PAINT MARKED CROSSWALK, 5 FT. MIN. WIDTH AT PEDESTRIAN CROSSING. STRIPES SHALL BE 4" WIDE (MIN.) WITH DIAGONALS @ 4"-0" MAX.
- 16 INSTALL 12" WIDE STOP BAR. WHITE REFLECTIVE THERMOPLASTIC TAPE.
- 17 STRIPE ADA PARKING SPACES PER DETAIL 1/C3.2
- 18 PAINT ADA SYMBOL - WHITE ON BLUE BACKGROUND (1-REG. SPACE, 1-VAN SPACE)
- 19 ACCESSIBLE PARKING SIGN, PER DETAIL 3/C3.2 (1-REG. SPACE, 1-VAN SPACE). HEIGHT OF SIGN MIN. 5'-0" ABOVE PARKING SURFACE.
- 20 ACCESSIBLE "SHING-SIDE" MANEUVERING SPACE AT ALL EXTERIOR DOORS. 2x MAX. SIDEWALK SLOPE, 2' TO STRIKE SIDE OF DOOR, 5' OUT FROM DOOR.
- 21 DETECTIBLE WARNING STRIPS PER ANSI A117.1/ADA GUIDELINES. WARNINGS SHALL EXTEND THE FULL WIDTH OF THE RAMP.
- 22 DOUBLE FACED, ILLUMINATED, DIRECTIONAL SIGN (SIGN FACE AS NOTED), BY SIGN SUPPLIER. FOUNDATION BY SIGN COMPANY AND ROUGH ELECTRICAL BY G.C. UNDER SEPARATE PERMIT. SEE DETAIL 12/C3.2
- 23 TACO BELL MENU BOARD, SENSOR LOOP & ORDER CONFIRMATION BOARD BY SIGN SUPPLIER. FOUNDATION AND ROUGH ELECTRICAL BY G.C. (4.0 AMPS). REFER TO DETAIL 14/C3.2 AND 16/EG.0.
- 24 INSTALL TIMER LOOP AT PICK-UP WINDOW PER DETAIL 16/EG.0.
- 25 TACO BELL SOFT CLEARANCE SIGN SUPPLIED BY OWNER, INSTALLED BY G.C. REFER TO DETAIL 2/C3.2.
- 26 INSTALL TIMER LOOP AT ORDER CONFIRMATION BOARD PER DETAIL 14/C3.1 AND 16/EG.0.
- 27 250 WATT (208) VOLT YARD LIGHT W/FULL CUT-OFF LENSES. LIGHT FIXTURES SUPPLIED BY OWNER, INSTALLED BY G.C. MAX. OVERALL STANDARD HEIGHT = 20'-0". SEE DETAIL 7C3.2 AND 8/C3.2.
- 28 INSTALL 190 L.F. OF 6" SCH 40 PVC SANITARY SEWER LEAD W/ CLEANOUTS @ 100' O.C. SEE UTILITY PLAN FOR DETAILS.
- 29 INSTALL 1,000-GALLON GREASE INTERCEPTOR PER DETAIL 4/C6.1. SEE UTILITY PLAN FOR LOCATIONS OF SEWER LATERALS, AND CLEANOUTS.
- 30 CLEANOUT TO GRADE FOR BUILDING SEWERS. SEE PLUMBING PLANS AND DETAIL 1/C5.1.
- 31 CONNECT TO EXISTING SANITARY SEWER. SEE UTILITY PLAN.
- 32 INSTALL 110 L.F. 2" SDR 9 POLYETHYLENE WATER SERVICE WITH TRACER WIRE. INSTALL NEW CURB STOP AND BOX PER CITY OF ROCHESTER HILLS SPECIFICATIONS. SEE UTILITY PLAN.
- 33 INSTALL WATER POINT OF ENTRY. SEE PLUMBING & CIVIL PLANS. (BRING UP IN BUILDING). PROVIDE SHUT OFF VALVE AT POINT OF ENTRY.
- 34 ELECTRICAL MAIN SWITCHBOARD. SEE ELECTRICAL DRAWINGS.
- 35 GAS METER
- 36 COORDINATE ALL UTILITY WORK WITH UTILITY COMPANIES.
- 37 CONSTRUCT STORM INLET PER CITY OF ROCHESTER HILLS STORM SYSTEM STANDARD DETAILS. (AFTER INSTALLATION PLACE FILTER FABRIC OVER INLET AND LINE WITH STONE).
- 38 CONSTRUCT STANDARD CATCH BASIN PER CITY OF ROCHESTER HILLS STORM SYSTEM STANDARD DETAILS. (AFTER INSTALLATION PLACE FILTER FABRIC OVER INLET AND LINE WITH STONE).
- 39 CONSTRUCT STORM SEWER MANHOLE PER CITY OF ROCHESTER HILLS STORM SYSTEM STANDARD DETAILS.
- 40 CONSTRUCT MDOT E-4 CURB ALONG EDGE OF SIDEWALK. PROVIDE 3/8" EXPANSION JOINT BETWEEN CURB AND SIDEWALK.
- 41 CONSTRUCT SEGMENTAL RETAINING WALL. SEE DETAIL 6/C6.1.
- 42 INSTALL 3"-6" ORNAMENTAL FENCE. SEE DETAIL 12/C3.1.
- 43 LANDSCAPE AREA. REFER TO LANDSCAPE DRAWINGS.
- 44 PROPOSED BICYCLE RACKS. SEE DETAIL 11/C3.1.
- 45 PROPOSED BOULDER RETAINING WALL. REFER TO LANDSCAPE DRAWINGS.

**FIRE DEPARTMENT NOTES**

1. FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE," AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.  
FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 503
2. CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14.
3. OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES.  
FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 307.6.2 & 307.6.2.3

**SIGNAGE NOTES:**

1. ALL SIGNAGE SHALL BE PERMITTED UNDER SEPARATE SIGN PERMIT BY SIGN VENDOR.
- A - "THANK YOU"
- B - "EXIT ONLY"

**SITE BENCHMARKS**

- BENCHMARK #1:** ARROW ON HYDRANT, SOUTHERLY RIGHT-OF-WAY OF WALTON BOULEVARD  
ELEVATION: 826.42 (NAVD 88)
- BENCHMARK #2:** ARROW ON HYDRANT, 70 FEET EAST OF ENTRANCE DRIVEWAY (PANERA BREAD PARKING LOT)  
ELEVATION: 814.26 (NAVD 88)
- CONVERSION TO NAVD 29: +0.43 FEET

**KEYED SITE NOTES** **3**

- IRON FOUND
- IRON SET
- ▲ P.K. NAIL FOUND
- △ P.K. NAIL SET
- ⊙ GPS MONUMENT
- ⊙ MONUMENT FOUND
- ⊙ MONUMENT SET
- (R) RECORD MEASURED
- <sub>ST</sub> STORM MANHOLE
- ⊙ CATCH BASIN
- ⊙<sub>SQ</sub> SQUARE CATCH BASIN
- <sub>SM</sub> SANITARY MANHOLE
- ⊙ SANITARY CLEAN-OUT
- ⊙<sub>MW</sub> MONITOR WELL
- <sub>TEL</sub> TELCO. MANHOLE
- POWER POLE
- GUY
- LIGHT POLE
- ELECTRIC TRANSFORMER
- ELECTRIC METER
- ELECTRIC HANDHOLE
- WATER VALVE
- HYDRANT
- GAS METER
- GAS MARKER
- GAS VALVE
- TELEPHONE PEDESTAL
- SIGN POST
- FENCE LINE
- BENCHMARK
- POST
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- ACCESSIBLE ROUTE

**LEGEND** **4**

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**PROJECT CONSULTANT**

ISSUE DATE:	XXXXXX
△ PLANNING REVIEW #1 03.20.12	
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CONTRACT DATE:	XXXXXX
BUILDING TYPE:	T50
PLAN VERSION:	JULY 2011
SITE NUMBER:	307630
ENTITY NUMBER:	396088

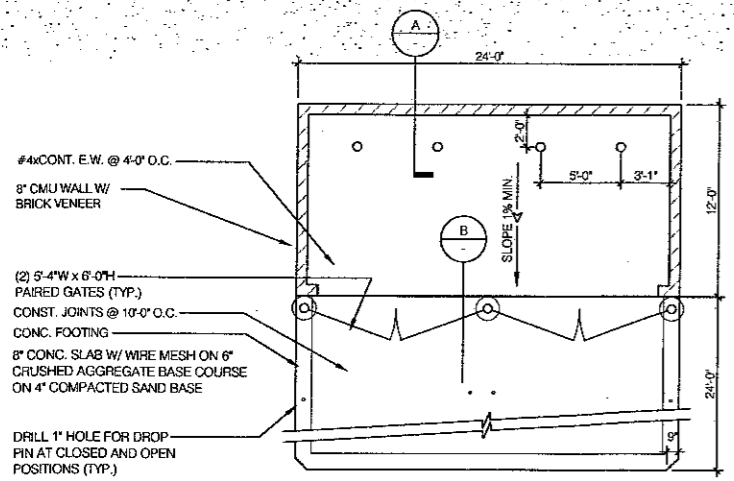
**TACO BELL**  
WALTON ROAD  
ROCHESTER HILLS, MI



**SITE PLAN**

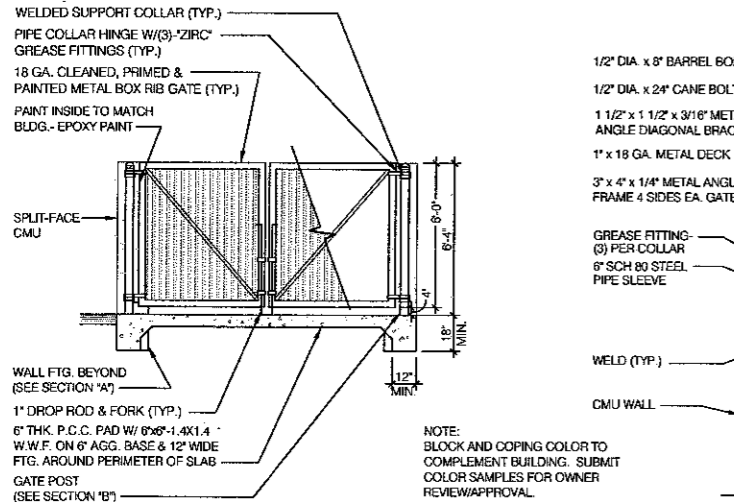
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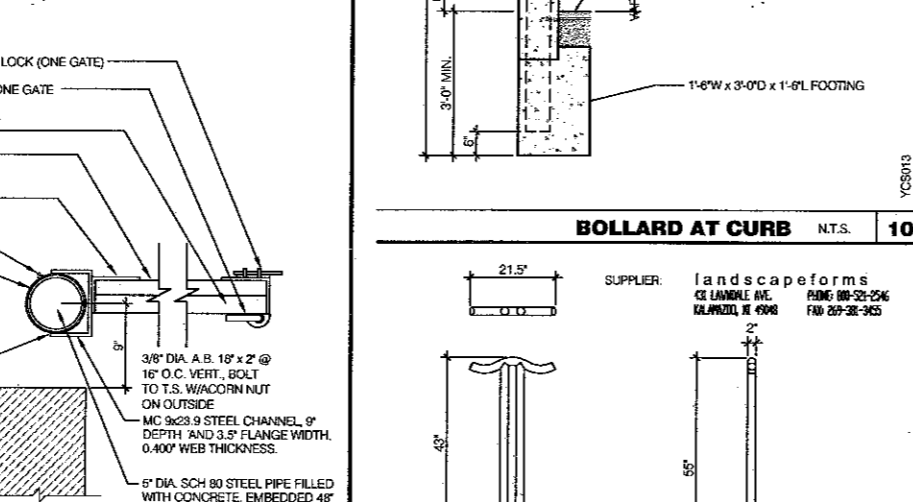


DOUBLE WIDE TRASH ENCLOSURE

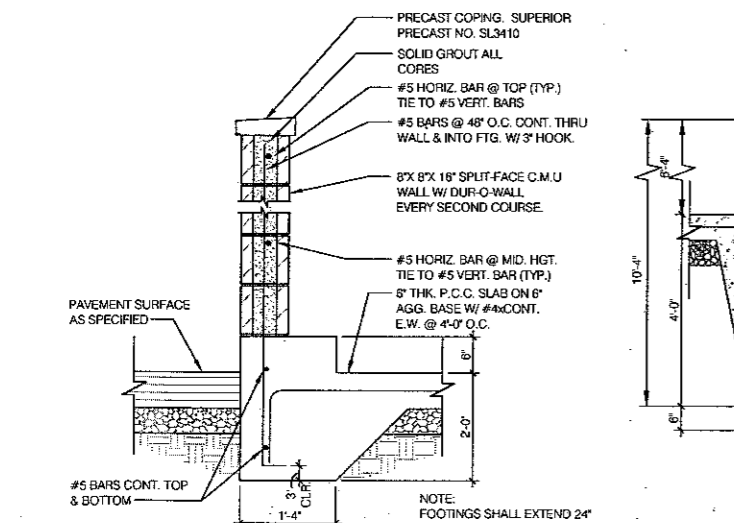
PLAN VIEW



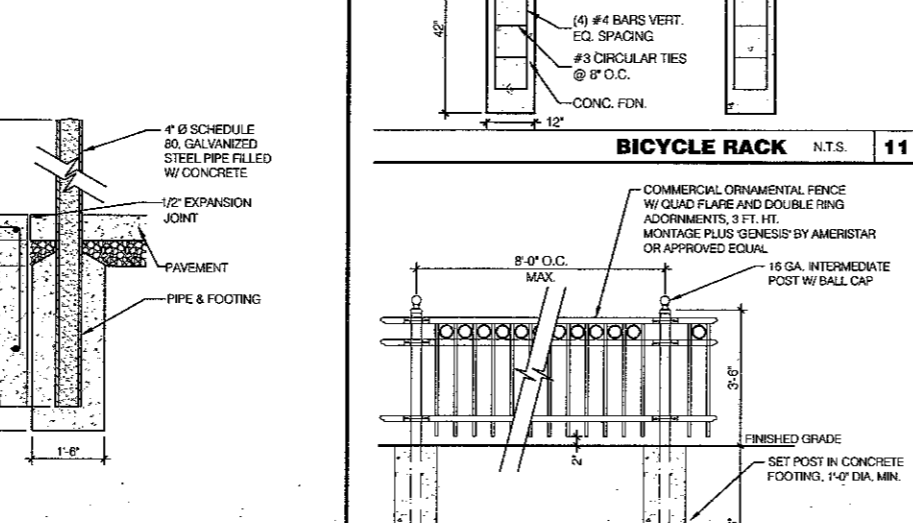
ELEVATION



JAMB DETAIL

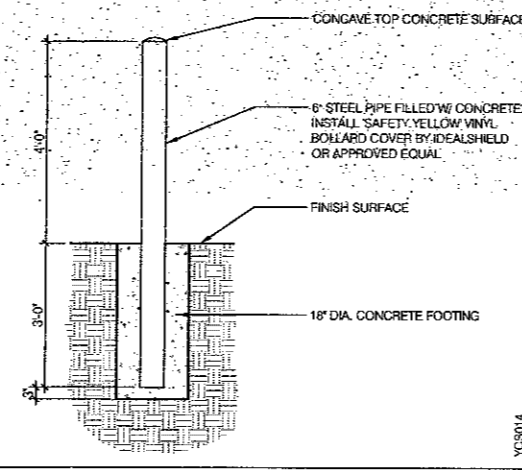


SECTION 'A'

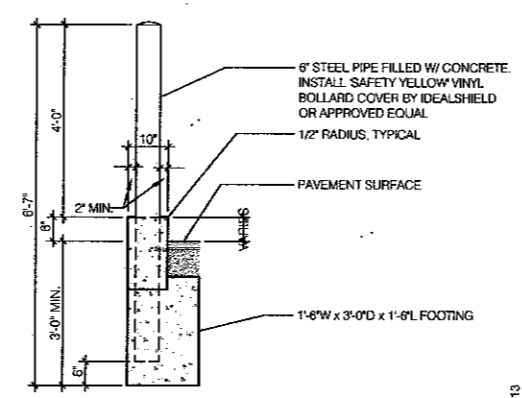


SECTION 'B'

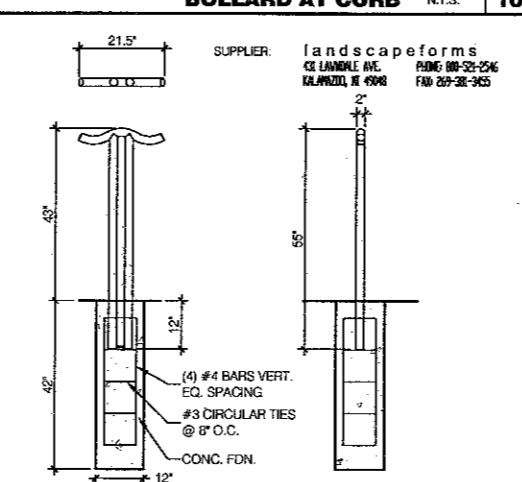
TRASH ENCLOSURE N.T.S. 16



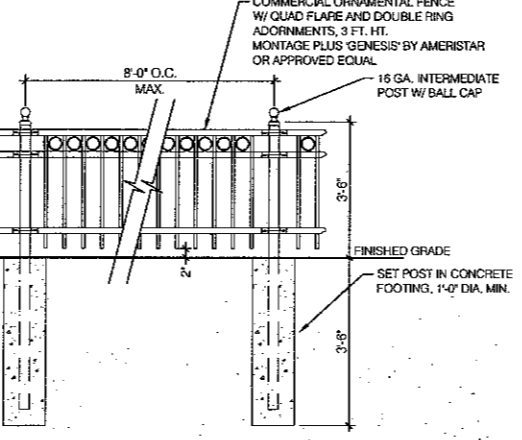
GUARD POST BOLLARD N.T.S. 9



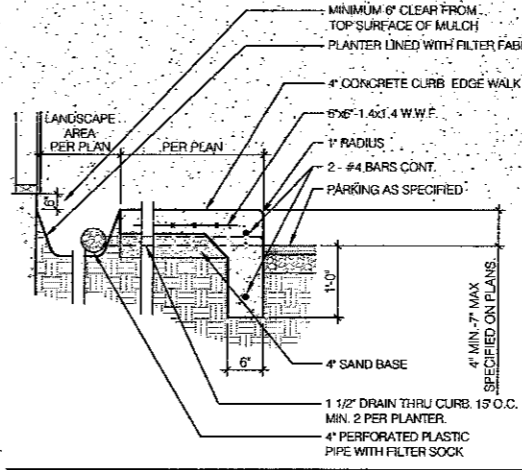
BOLLARD AT CURB N.T.S. 10



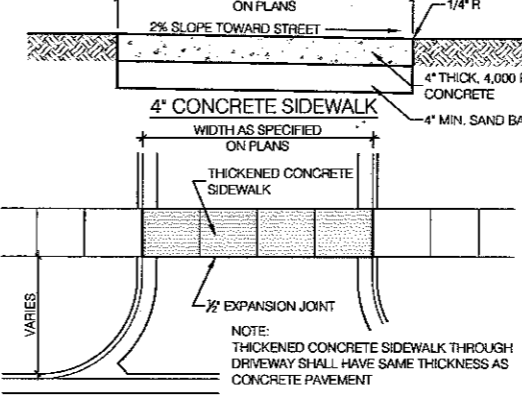
BICYCLE RACK N.T.S. 11



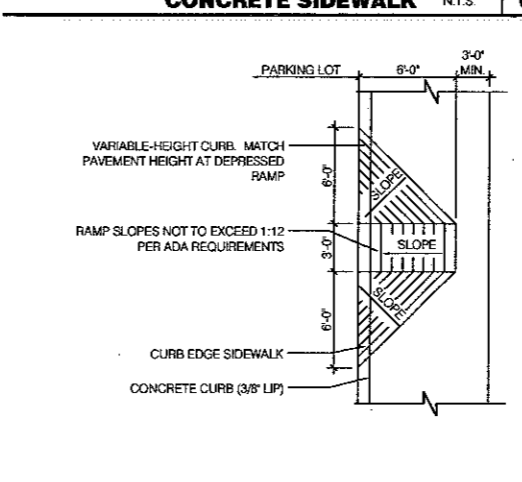
ORNAMENTAL FENCE N.T.S. 12



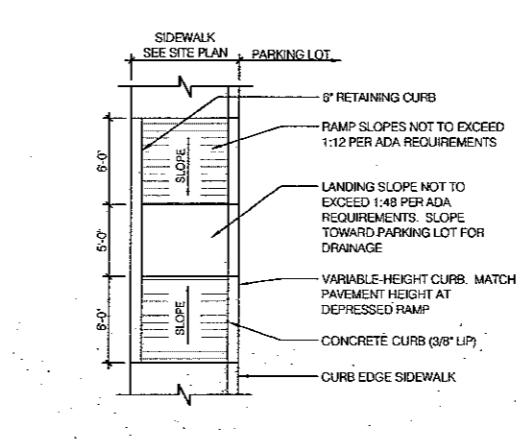
CURB EDGE SIDEWALK N.T.S. 7



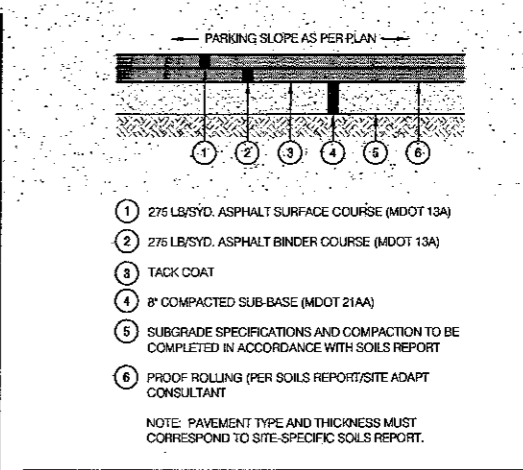
CONCRETE SIDEWALK N.T.S. 6



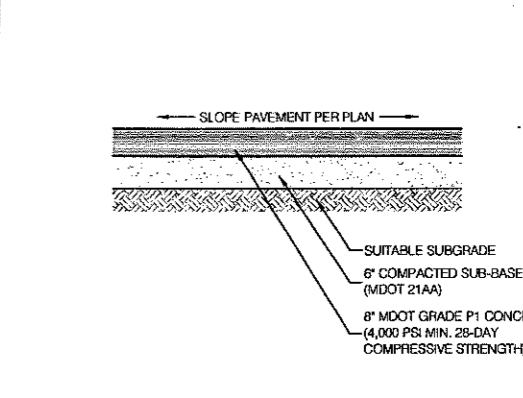
SIDEWALK RAMP N.T.S. 7



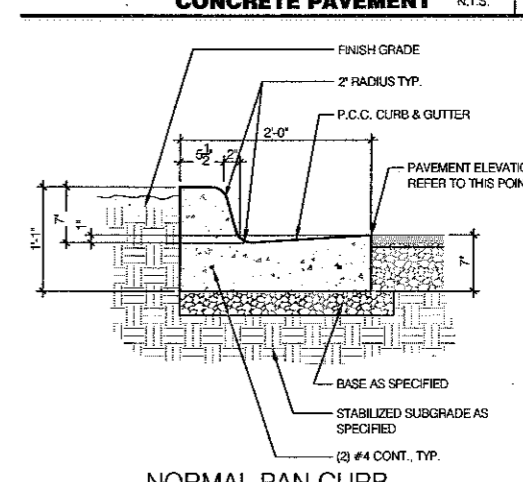
CURB RAMP N.T.S. 8



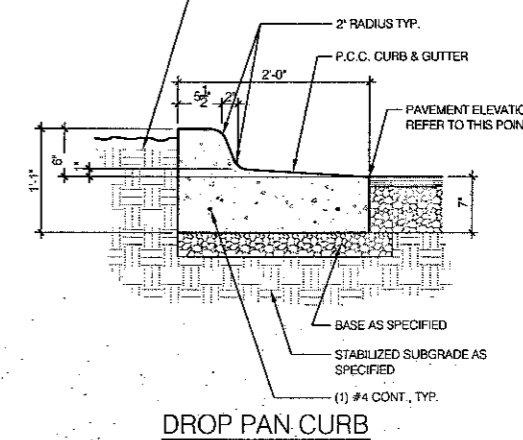
ASPHALT PAVEMENT N.T.S. 1



CONCRETE PAVEMENT N.T.S. 2



NORMAL PAN CURB



DROP PAN CURB

ISSUE DATE:	XX.XX.XX
PLANNING REVIEW #1	03.20.12

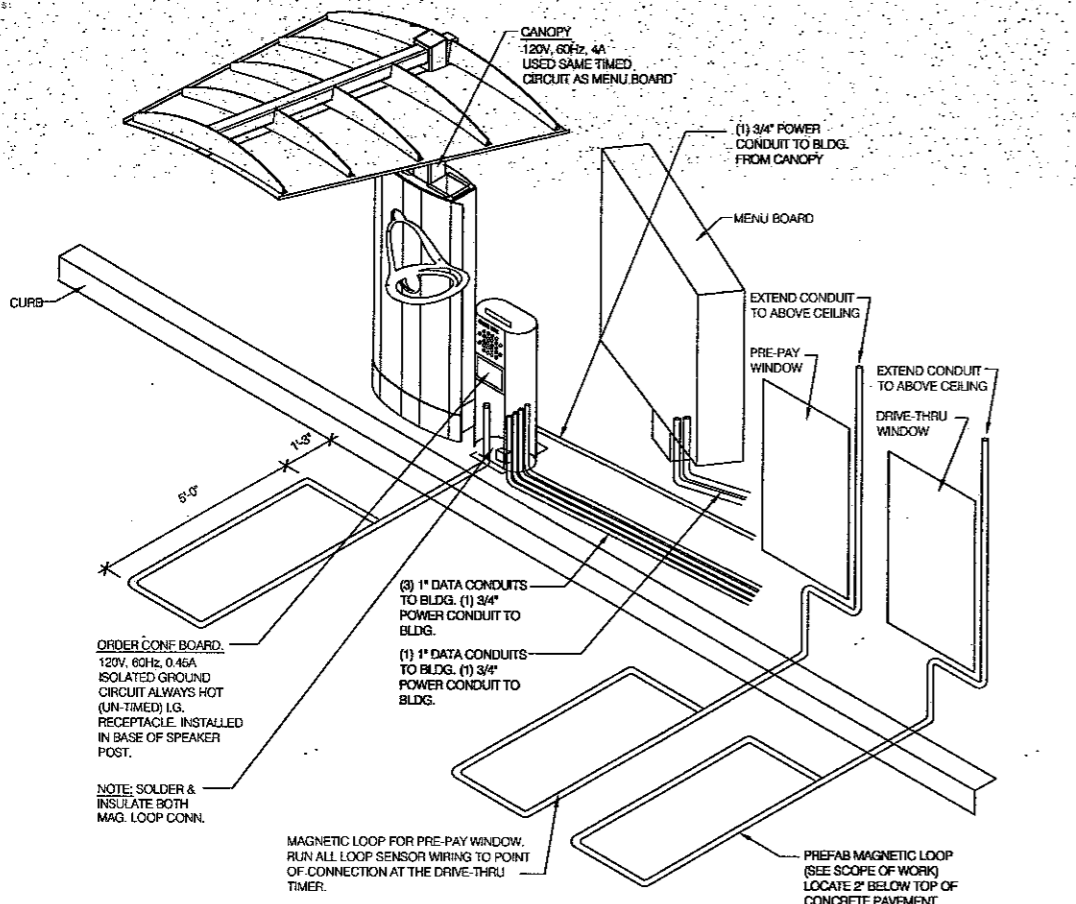
CONTRACT DATE:	XX.XX.XX
BUILDING TYPE:	T50
PLAN VERSION:	JULY 2011
SITE NUMBER:	307630
ENTITY NUMBER:	386088

TACO BELL  
WALTON ROAD  
ROCHESTER HILLS, MI

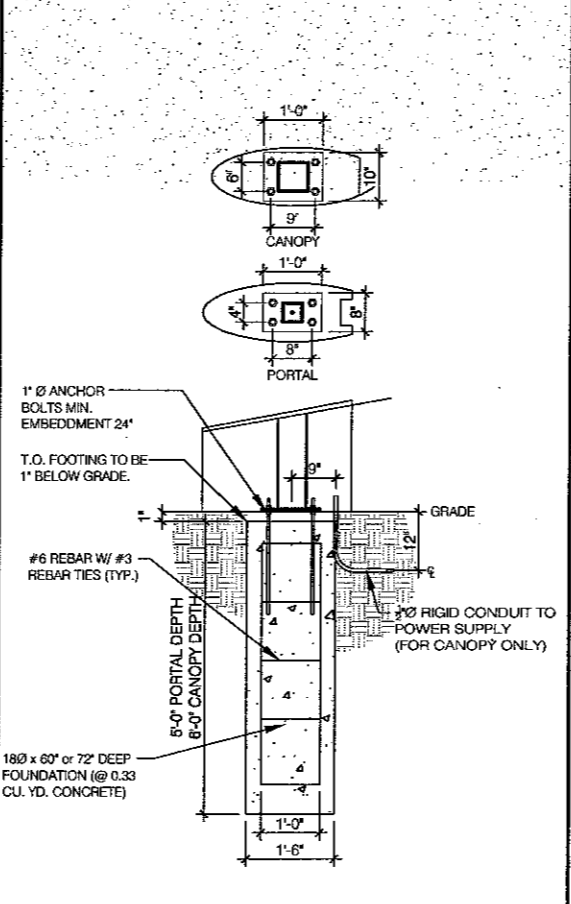
**TACO BELL**  
T50

SITE DETAILS

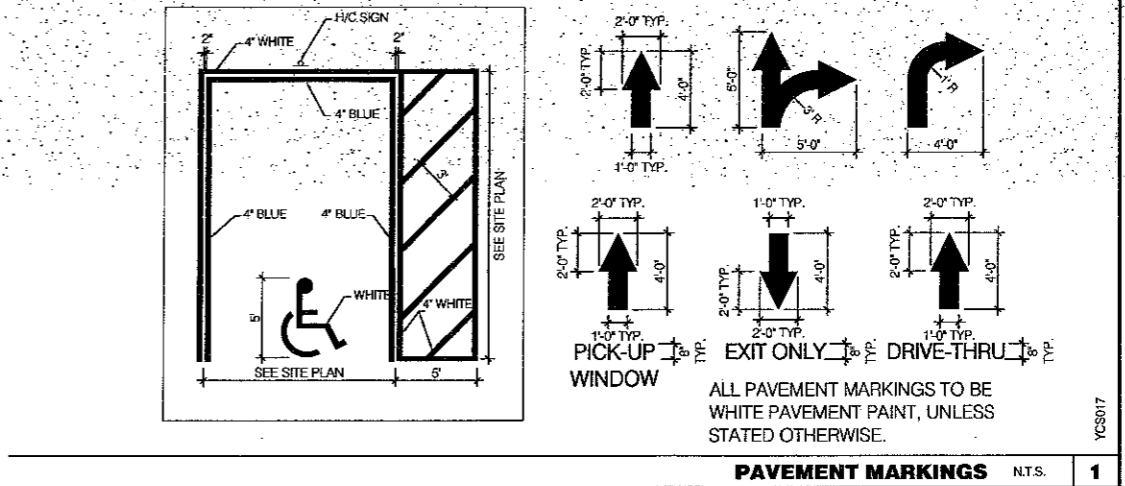
**C3.1**



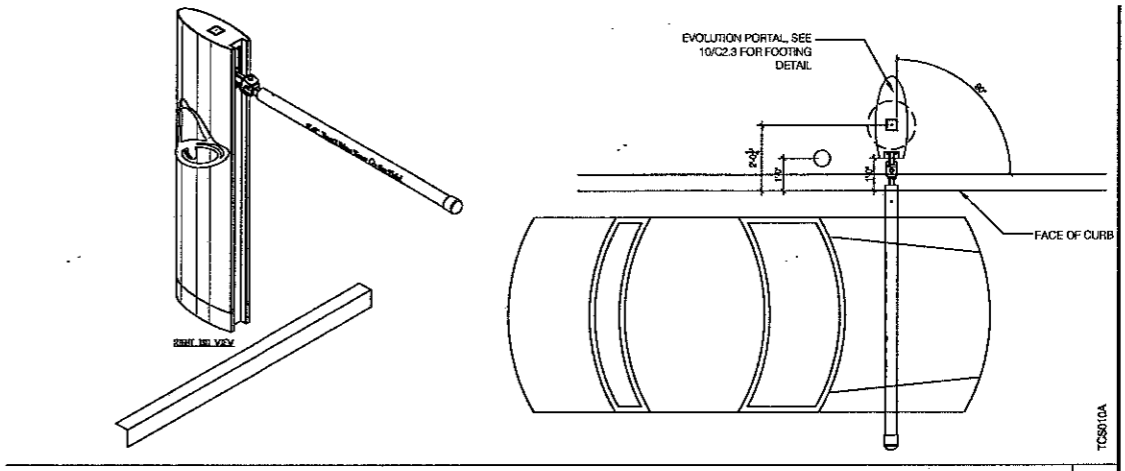
**DRIVE-THRU ISOMETRIC** N.T.S. 14



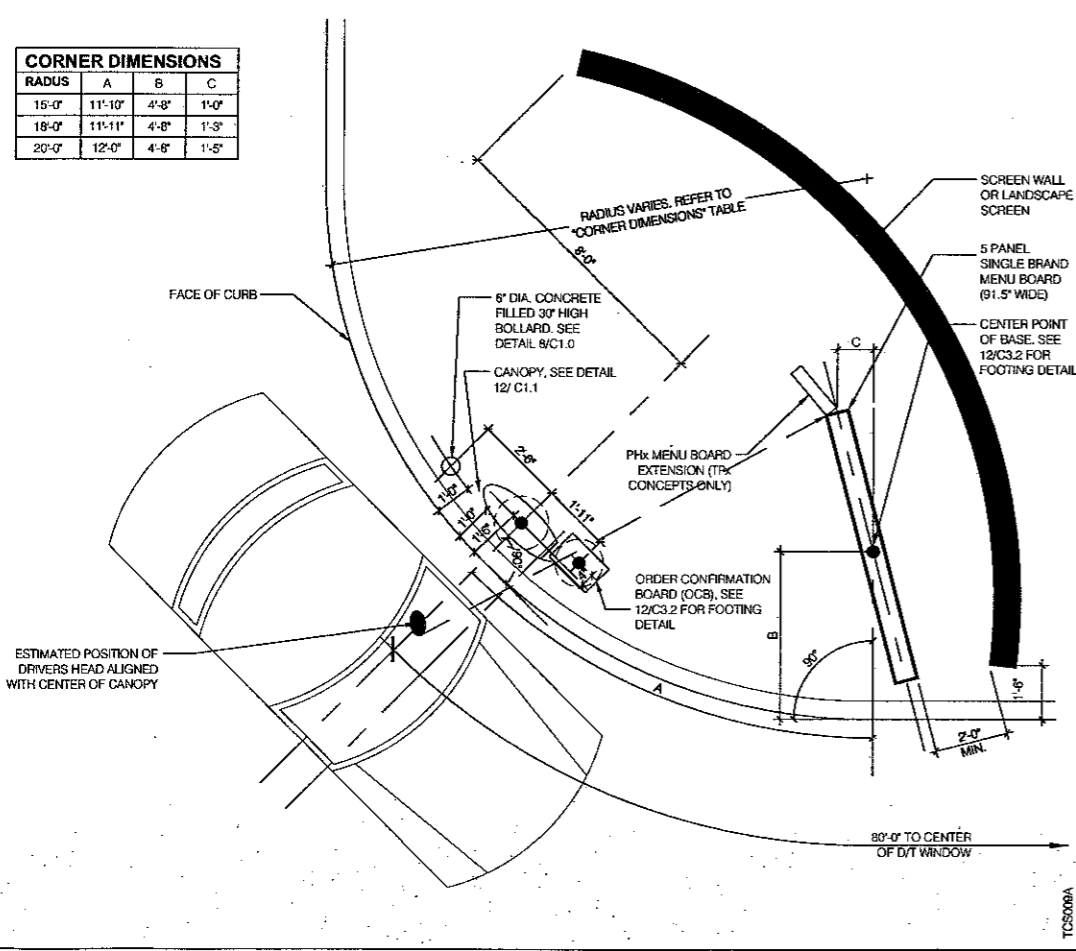
**CLEARANCE BAR/CANOPY FDN.** N.T.S. 10



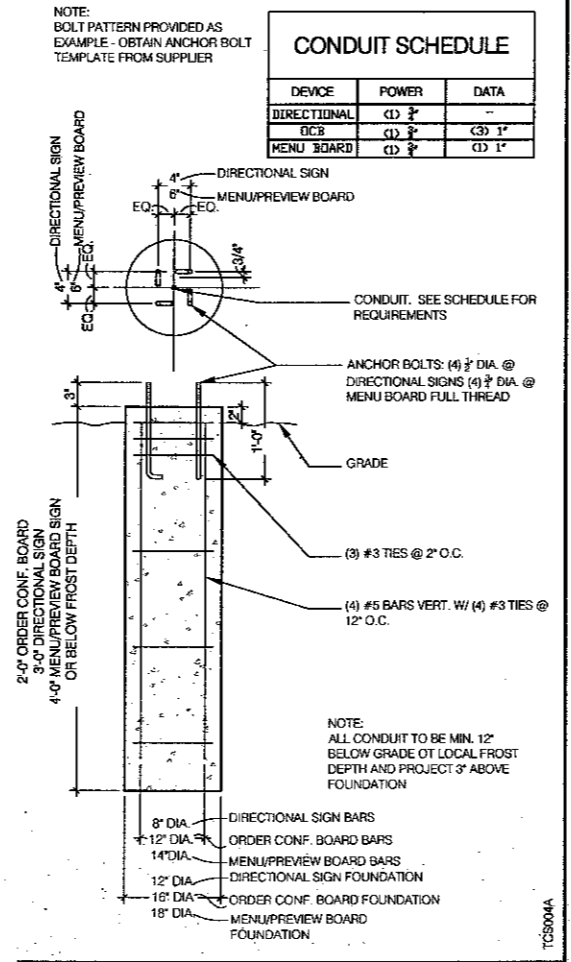
**PAVEMENT MARKINGS** N.T.S. 1



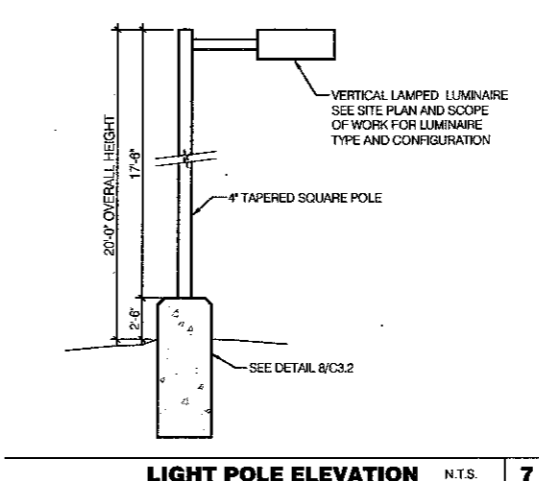
**SOFFIT CLEARANCE BAR** N.T.S. 2



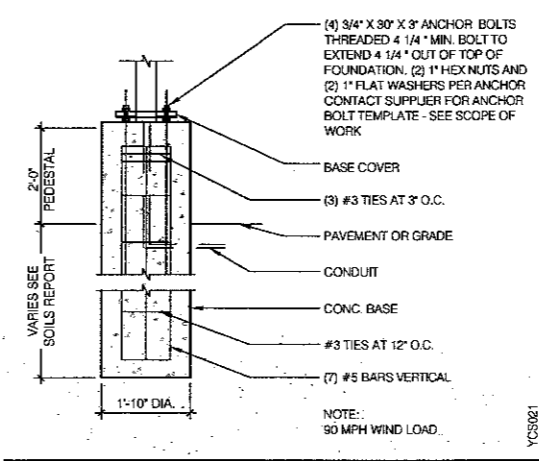
**ENLARGED MENU BOARD DETAIL @ STRAIGHT CURB** N.T.S. 16



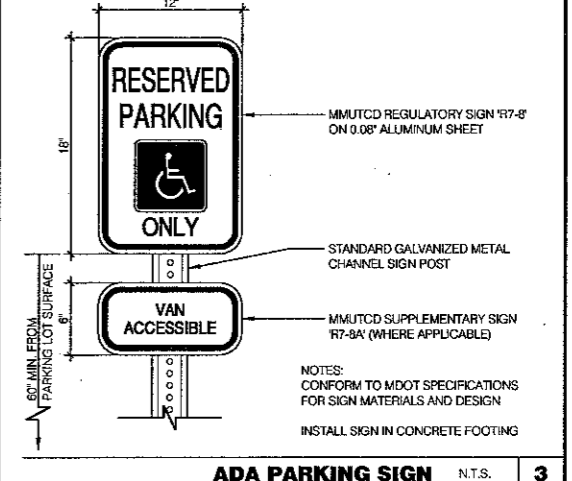
**SIGN FOUNDATION** N.T.S. 12



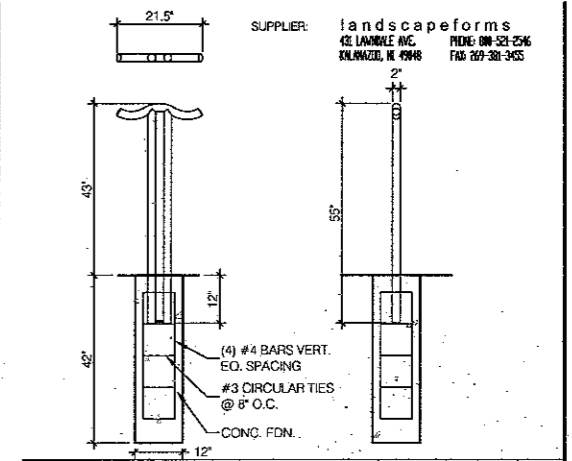
**LIGHT POLE ELEVATION** N.T.S. 7



**LIGHT FOUNDATION** N.T.S. 8



**ADA PARKING SIGN** N.T.S. 3



**BICYCLE RACK** N.T.S. 4

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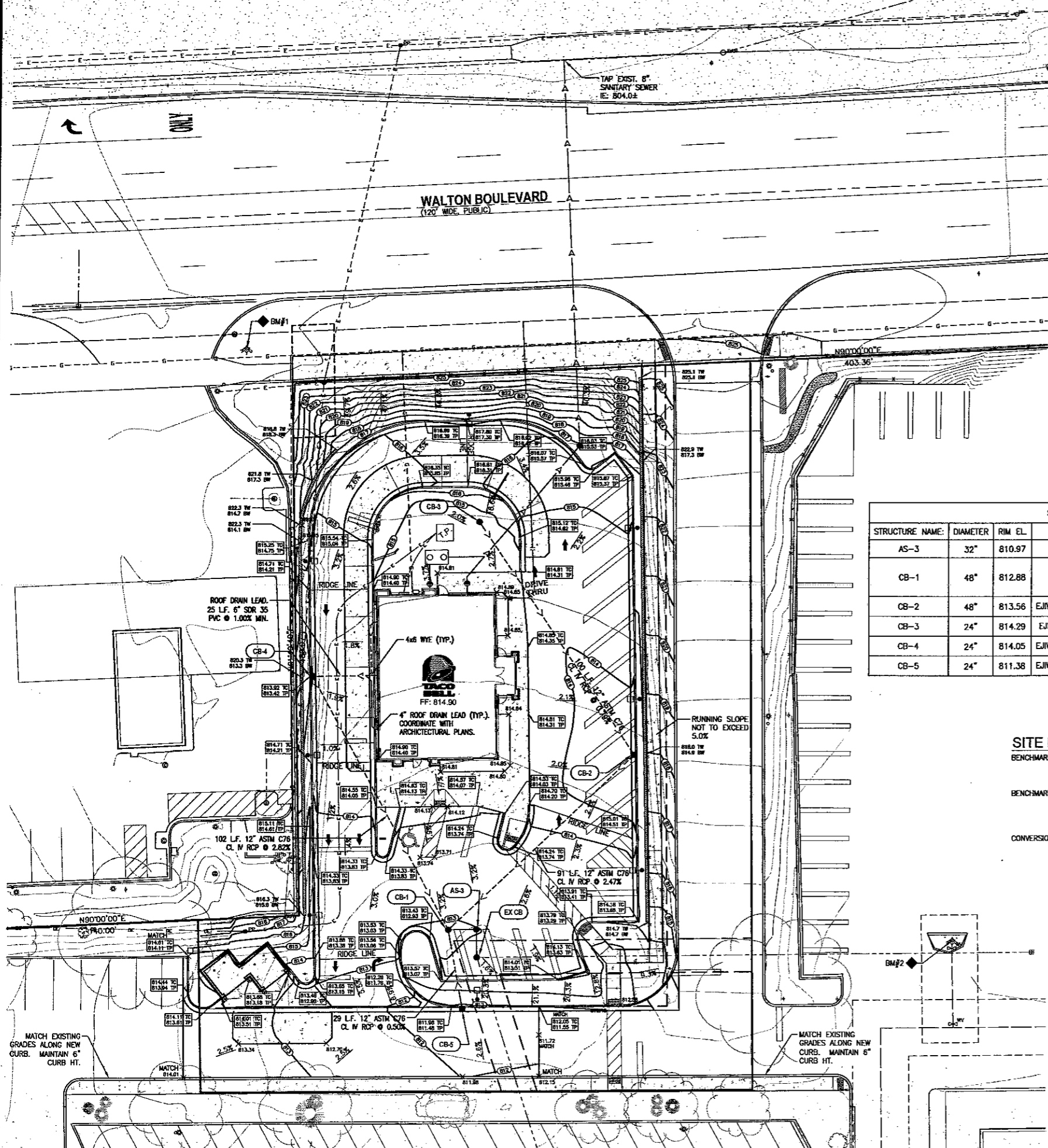
**WT DEVELOPMENT CORPORATION**  
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**PROJECT CONSULTANT**

ISSUE DATE: XX.XX.XX  
 ▲ PLANNING REVIEW #1 03.20.12  
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 CONTRACT DATE: XXXXXX  
 BUILDING TYPE: T50  
 PLAN VERSION: JULY 2011  
 SITE NUMBER: 307630  
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**TACO BELL**  
WALTON ROAD  
ROCHESTER HILLS, MI

**TACO BELL**  
T50

**SITE DETAILS**  
**C3.2**  
PLOT DATE: 03.20.12  
CITY FILE NO: 12-002



EXISTING CONDITIONS			
DESCRIPTION	AREA (S.F.)	RUN-OFF COEFF.	A x C
ASPHALT/CONCRETE	23,691	0.95	22506.5
BUILDINGS/ROOFS	0	0.95	0.0
LAWNS/LANDSCAPING	7,209	0.20	1441.8
TOTAL	30,900		23948.3
WEIGHTED RUN-OFF COEFF.			0.78

PROPOSED CONDITIONS			
DESCRIPTION	AREA (S.F.)	RUN-OFF COEFF.	A x C
ASPHALT/CONCRETE	19,842	0.95	18849.9
BUILDINGS/ROOFS	2,720	0.95	2584.0
LAWNS/LANDSCAPING	8,338	0.20	1667.6
TOTAL	30,900		23101.5
WEIGHTED RUN-OFF COEFF.			0.75

STORM WATER RUN-OFF FROM THE SITE UNDER PROPOSED CONDITIONS IS A NET DECREASE COMPARED TO EXISTING CONDITIONS. NO STORM WATER DETENTION IS PROPOSED FOR THIS PROJECT.

**RUN-OFF COEFFICIENTS** 1

THE FORMS FOR CONCRETE SIDEWALKS, CURBS, GUTTERS, AND DRIVEWAYS THAT ARE TO BE CONSTRUCTED TO CONFORM TO EXISTING ROADS SHALL BE INSTALLED TO THE GRADES SHOWN ON THESE PLANS. PRIOR TO PLACING CONCRETE, THE FORMS SHALL BE INSPECTED AND APPROVED BY LOCAL JURISDICTION FOR CONFORMANCE TO EXISTING ROAD IMPROVEMENTS. GRADES OF NEW IMPROVEMENTS ARE SUBJECT TO FIELD ADJUSTMENT TO FIT CONDITIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING EXISTING FACILITIES TO AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS, OR HAZARDOUS CONDITIONS.

ALL GRADING, BACK FILLING, EXCAVATION, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORT. REFER TO THIS REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS. SOIL BORING LOCATIONS AND LOGS ARE INCLUDED IN THE REPORT.

WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED WITH ENGINEERED BACKFILL MATERIAL.

A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE ON THE SITE DURING GRADING OPERATIONS AND SHALL OBSERVE THE CONSTRUCTION AND IDENTIFY ANY CONDITIONS THAT SHOULD BE CORRECTED AND RECOMMEND CORRECTIVE MEASURES TO THE CONTRACTOR.

ALL GRADING, EROSION, AND SEDIMENT CONTROL AND RELATED WORK UNDERTAKEN ON THIS SITE SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION.

THE CONTRACTOR SHALL NOT DISTURB ANY PERMANENT SURVEY POINTS WITHOUT THE CONSENT OF LOCAL JURISDICTION. ANY POINTS DESTROYED SHALL BE REPLACED BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.

GRADING AT THE BOUNDARIES SHALL BE DONE SO AS NOT TO OBSTRUCT THE RUNOFF OF STORM WATERS FROM ADJACENT PROPERTIES.

ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED.

CONTRACTOR TO MAINTAIN ALL SOIL EROSION CONTROL MEASURES. SURROUNDING PAVED AREAS SHALL BE POWER BROOMED AS NECESSARY TO REMOVE MUD TRACKING FROM THE SITE.

ALL DISTURBED AREAS SHALL BE TOP SOILED, SEEDED, FERTILIZED AND MULCHED.

CONTRACTOR SHALL OBTAIN SOIL EROSION PERMIT PRIOR TO ANY CONSTRUCTION.

ALL STRUCTURES, SIDEWALKS, CURBS AND ASPHALT SHALL HAVE A MINIMUM OF 12" OF CLEAN GRANULAR MATERIAL (M.D.O.T. CLASS II) AS A SUB-BASE AND COMPACTED TO 95% MAXIMUM UNIT DENSITY. IF PUMPING OR YIELDING IS CAUSED BY THE COMPACTIVE EFFORTS, THE SAND LAYER SHALL BE INCREASED UNTIL DENSITY CAN BE OBTAINED WITHOUT PUMPING WATER THROUGH THE SUBGRADE.

STRUCTURE TABLE					
STRUCTURE NAME:	DIAMETER	RIM EL.	CASTING	IE IN:	IE OUT
AS-3	32"	810.97	SUPPLIED BY MFR.	12" W 807.01	12" S 807.01
CB-1	48"	812.88	EJW 1040 / M1 GRATE	12" NE 807.16 12" NW 807.16 12" S 807.16	12" E 807.06
CB-2	48"	813.56	EJW 7045 / M1 GRATE, T1 BACK	12" NW 809.50	12" SW 809.40
CB-3	24"	814.29	EJW 1040 / O1 BEEHIVE GRATE		12" SE 810.29
CB-4	24"	814.05	EJW 7045 / M1 GRATE, T1 BACK	6" E 811.05	12" SE 810.05
CB-5	24"	811.38	EJW 7045 / M1 GRATE, T1 BACK		12" N 807.30

**SITE BENCHMARKS**

- BENCHMARK #1: ARROW ON HYDRANT, SOUTHERLY RIGHT-OF-WAY OF WALTON BOULEVARD ELEVATION: 826.42 (NAVD 88)
  - BENCHMARK #2: ARROW ON HYDRANT, 70 FEET EAST OF ENTRANCE DRIVEWAY (PANERA BREAD PARKING LOT) ELEVATION: 814.26 (NAVD 88)
- CONVERSION TO NAVD 29: +0.43 FEET

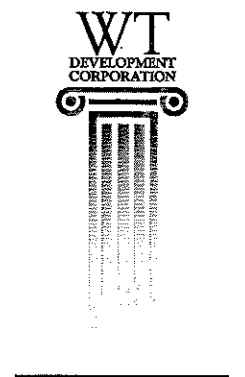
**GRADING NOTES** 3

**LEGEND** 4

● IRON FOUND	— P— POWER POLE
○ IRON SET	— GUY GUY
▲ P.K. NAIL FOUND	○ LP LIGHT POLE
▲ P.K. NAIL SET	□ ET ELECTRIC TRANSFORMER
● GPS MONUMENT	□ EM ELECTRIC METER
● MONUMENT FOUND	□ EH ELECTRIC HANDHOLE
● MONUMENT SET	— HV WATER VALVE
(R) RECORD	— HYDRANT
(M) MEASURED	— GAS METER
○ STS STORM MANHOLE	— GAS MARKER
○ CATCH BASIN	— GAS VALVE
○ SB SQUARE CATCH BASIN	— TEL TELEPHONE PEDESTAL
○ SM SANITARY MANHOLE	— S SIGN POST
○ MW MONITOR WELL	— F FENCE LINE
○ TEL TELCO. MANHOLE	— B BENCHMARK
	— P POST



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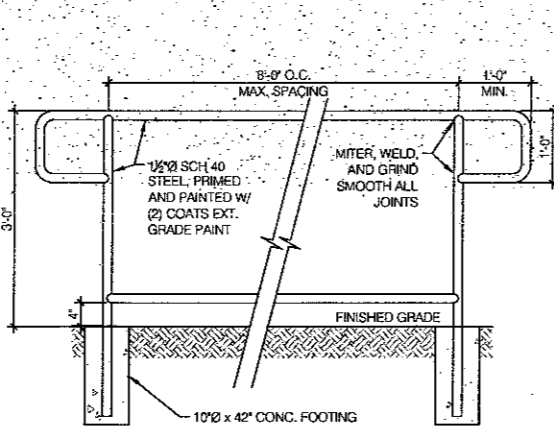
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CONTRACT DATE: XX.XX.XX  
BUILDING TYPE: T50  
PLAN VERSION: JULY 2011  
SITE NUMBER: 307630  
ENTITY NUMBER: 386008

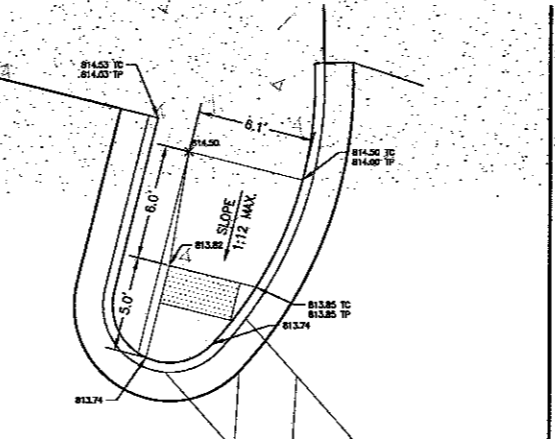
TACO BELL  
WALTON ROAD  
ROCHESTER HILLS, MI



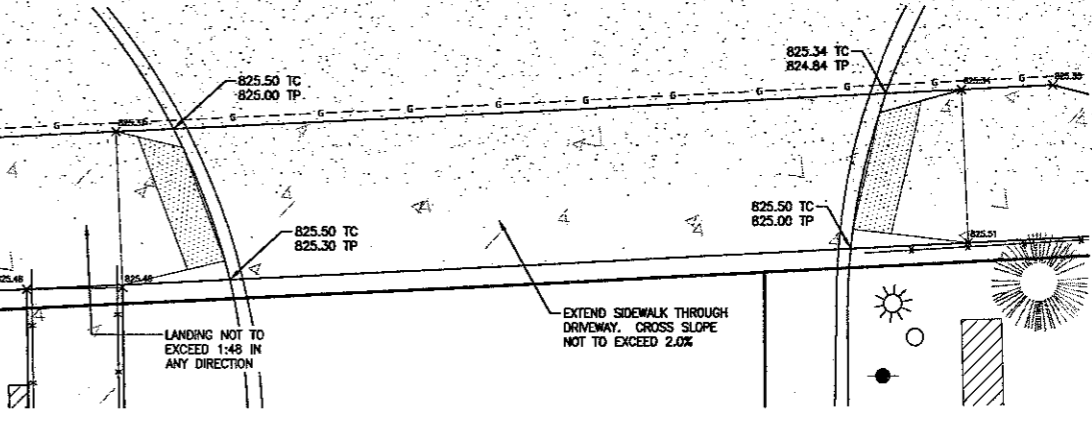
**GRADING PLAN**  
**C4.0**



**HAND RAIL** N.T.S. **13**



**RAMP DETAIL** 1"=5' **9**



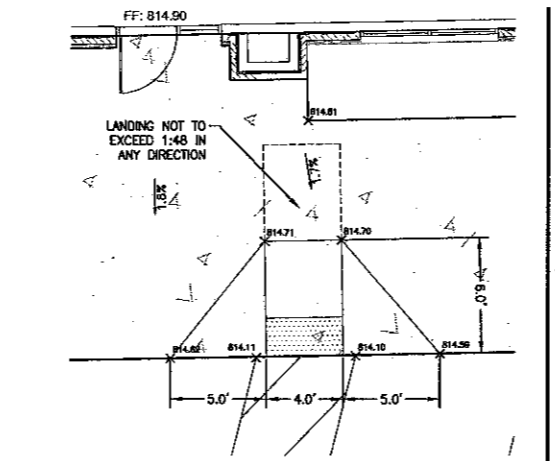
**SIDEWALK @ SHOPPING CENTER ENTRANCE** 1"=5' **1**

NOT USED **17**

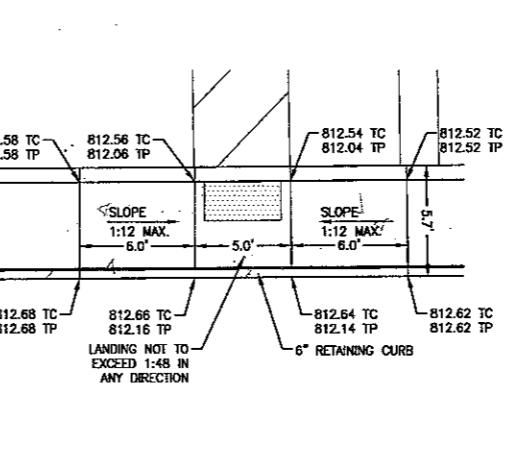
NOT USED **18**



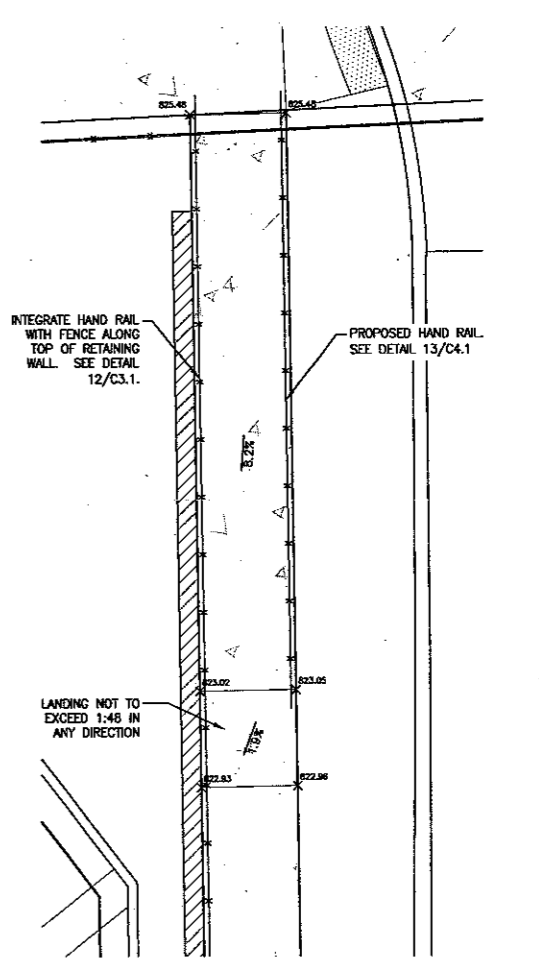
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**RAMP DETAIL** 1"=5' **10**



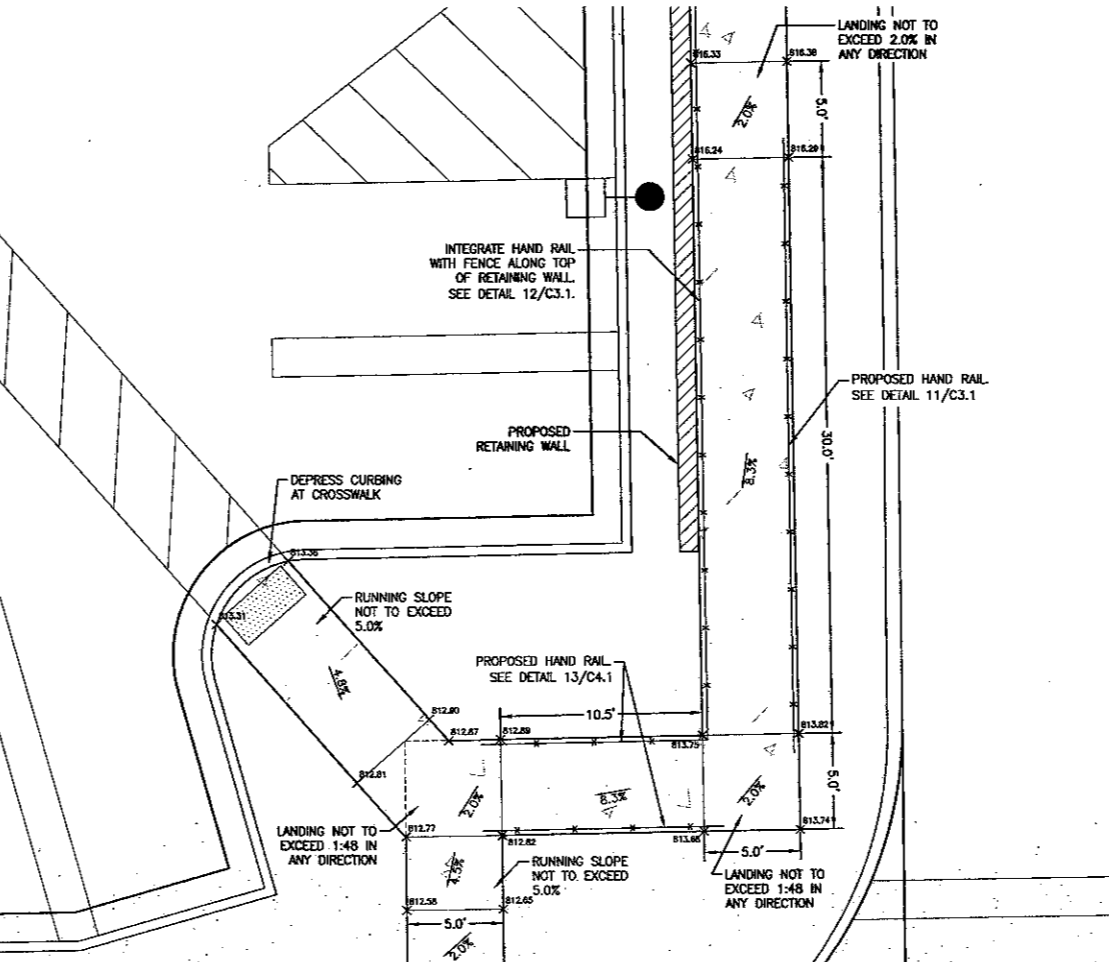
**RAMP DETAIL** 1"=5' **6**



**RAMP DETAIL** 1"=5' **3**

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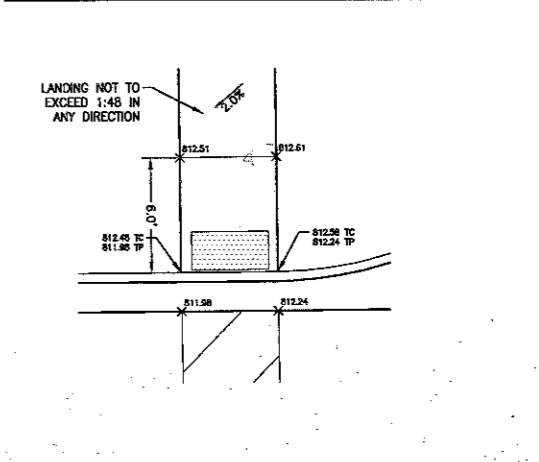
NOT USED **15**



**RAMP DETAIL** 1"=5' **8**

NOT USED **20**

NOT USED **16**



**RAMP DETAIL** 1"=5' **4**

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CONTRACT DATE:	XXXXXX
BUILDING TYPE:	T50
PLAN VERSION:	JULY 2011
SITE NUMBER:	307630
ENTITY NUMBER:	396088

**TACO BELL**  
 WALTON ROAD  
 ROCHESTER HILLS, MI

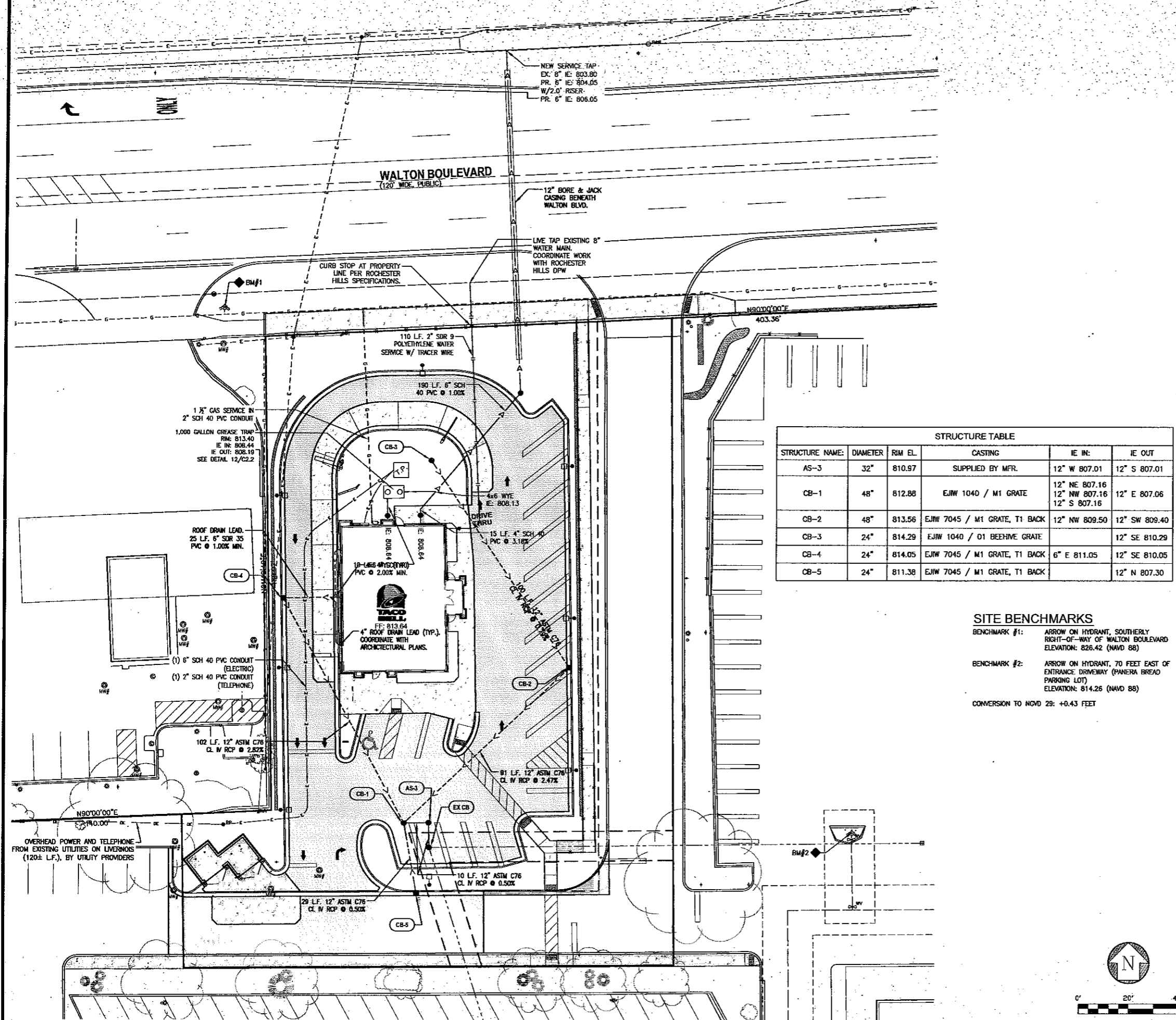
**TACO BELL**  
 T50

**GRADING DETAILS**

**C4.1**

PLOT DATE: 03.20.12  
 CITY FILE NO: 12-002





STRUCTURE TABLE					
STRUCTURE NAME	DIAMETER	RIM EL.	CASTING	IE IN.	IE OUT
AS-3	32"	810.97	SUPPLIED BY MFR.	12" W 807.01	12" S 807.01
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**SITE BENCHMARKS**

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CONVERSION TO NGVD 29: +0.43 FEET

PLANS ARE SUBJECT TO REVIEW AND APPROVAL BY LOCAL PUBLIC WORKS DEPARTMENT. NO CONSTRUCTION SHALL BEGIN WITHOUT ENGINEERING APPROVAL.

ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH LOCAL JURISDICTION.

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING STRUCTURES AND/OR UTILITIES DURING CONSTRUCTION. PROPER REPAIR SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.

THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO ANY EXCAVATION SO THAT SERVICE LINES CAN BE MARKED.

THE CONTRACTOR SHALL COORDINATE THE WORK TO AVOID CONFLICTS BETWEEN SEWERS, STORM DRAINS, AND WATER MAINS. TEMPORARY REPAIRS TO ALL TRENCHES WITHIN THE TRAVELED WAY, ON EXISTING ROADS, SHALL BE MADE WITHIN TWENTY-FOUR (24) HOURS OF THE TRENCH OPENING. MINIMUM TEMPORARY REPAIRS SHALL CONSIST OF BACKFILLING AND COMPACTING 6" OF AGGREGATE BASE AND 1" OF TEMPORARY ASPHALTIC SURFACE.

EXISTING UNDERGROUND FACILITIES, AS SHOWN, ARE APPROXIMATE ONLY AND WERE OBTAINED FROM AVAILABLE UTILITY RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY OR COMPLETENESS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL LOCAL UTILITIES AND TO HAVE ALL FACILITIES LOCATED AND EXPOSED TO VERIFY THE CLEARANCE OF NEW PIPE LINE CROSSINGS BEFORE CONSTRUCTION OF NEW PIPE LINES COMMENCES.

ANY RELOCATION OF PUBLIC UTILITIES SHALL BE DONE IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY AND WITH REGARD TO THE REQUIRED FEES, BONDS, PERMITS, WORKING CONDITIONS, ETC. OF SAID COMPANY.

ABANDONED UNDERGROUND STRUCTURES ENCOUNTERED SHALL BE REMOVED TO SUFFICIENT DEPTH TO ALLOW UNDERGROUND LINES TO CROSS.

PRIOR TO FINAL PREPARATION OF THE SUBGRADE AND PLACEMENT OF BASE MATERIAL, ALL UNDERGROUND UTILITY MAINS SHALL BE INSTALLED AND SERVICE CONNECTIONS STUBBED OUT BEYOND THE CURB LINE. SERVICES FROM PUBLIC UTILITIES AND SANITARY SEWERS SHALL BE MADE IN A MANNER THAT WILL MINIMIZE THE DISTURBANCE OF THE ADJACENT STREET. ALL CONDUITS SHALL BE SCHEDULE 40 AND BURIED AT A MINIMUM DEPTH OF 3 FEET.

**SOIL EROSION CONTROL**  
A SOIL EROSION CONTROL PLAN IS SHOWN ON THE DRAINAGE PLAN SHEET C3. THE CONTRACTOR SHALL OBTAIN A PART 91 ACT 451 SOIL EROSION CONTROL PERMIT, INCLUDING THE PAYMENT OF FEES AND THE PROVIDING OF NECESSARY BONDS. NO EARTH CHANGES OF EXCAVATION SHALL BE STARTED PRIOR TO THE ISSUANCE OF THIS PERMIT.

THE CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED SEWER FACILITIES ON OR ADJACENT TO THE SITE DURING EXCAVATION AND CONSTRUCTION. ALL SEDIMENT SHALL BE CONTAINED ON SITE. ANY SILT IN COUNTY DRAINS, STORM SEWER, CULVERTS, ETC. AS A RESULT OF THIS PROJECT SHALL BE REMOVED BY THE CONTRACTOR.

**FLOOD PLAN OR WETLAND CONSTRUCTION**  
THE PROJECT SITE IS NOT LOCATED WITHIN ANY FLOOD PLAN OR FLOODWAY.

NPDES STORM WATER DISCHARGE PERMIT IS NOT REQUIRED FOR THIS PROJECT.

**PERMIT TO CONSTRUCT PUBLIC UTILITY**  
NO PUBLIC UTILITIES ARE BEING CONSTRUCTED UNDER THIS PROJECT.

**MUNICIPALITY SEWER & WATER PERMIT**  
PRIOR TO CONSTRUCTION CONTRACTOR SHALL VERIFY WITH THE OWNER THAT SEWER AND WATER SERVICE PERMITS HAVE BEEN OBTAIN AND FEES PAID.

**STATE CONSTRUCTION PERMITS**  
NO NEW SANITARY SEWER OR WATER MAINS ARE TO BE CONSTRUCTED UNDER THIS PROJECT. NO MDEQ PERMITS ARE REQUIRED.



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WT Development Corporation  
1023 E. Cherry Bend Rd., Ste. A  
Traverse City, Michigan, 49684

Contact: Bill Becker, President  
Phone: (231) 922-9250  
Fax: (231) 922-9157

PROJECT CONSULTANT

ISSUE DATE: XX.XX.XX  
 ▲ PLANNING REVIEW #1 03.20.12  
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CONTRACT DATE: XX.XX.XX  
 BUILDING TYPE: T50  
 PLAN VERSION: JULY 2011  
 SITE NUMBER: 307630  
 ENTITY NUMBER: 396098

TACO BELL  
 WALTON ROAD  
 ROCHESTER HILLS, MI



UTILITY PLAN

C6.0

PLOT DATE: 03.20.12  
 CITY FILE NO: 12-002

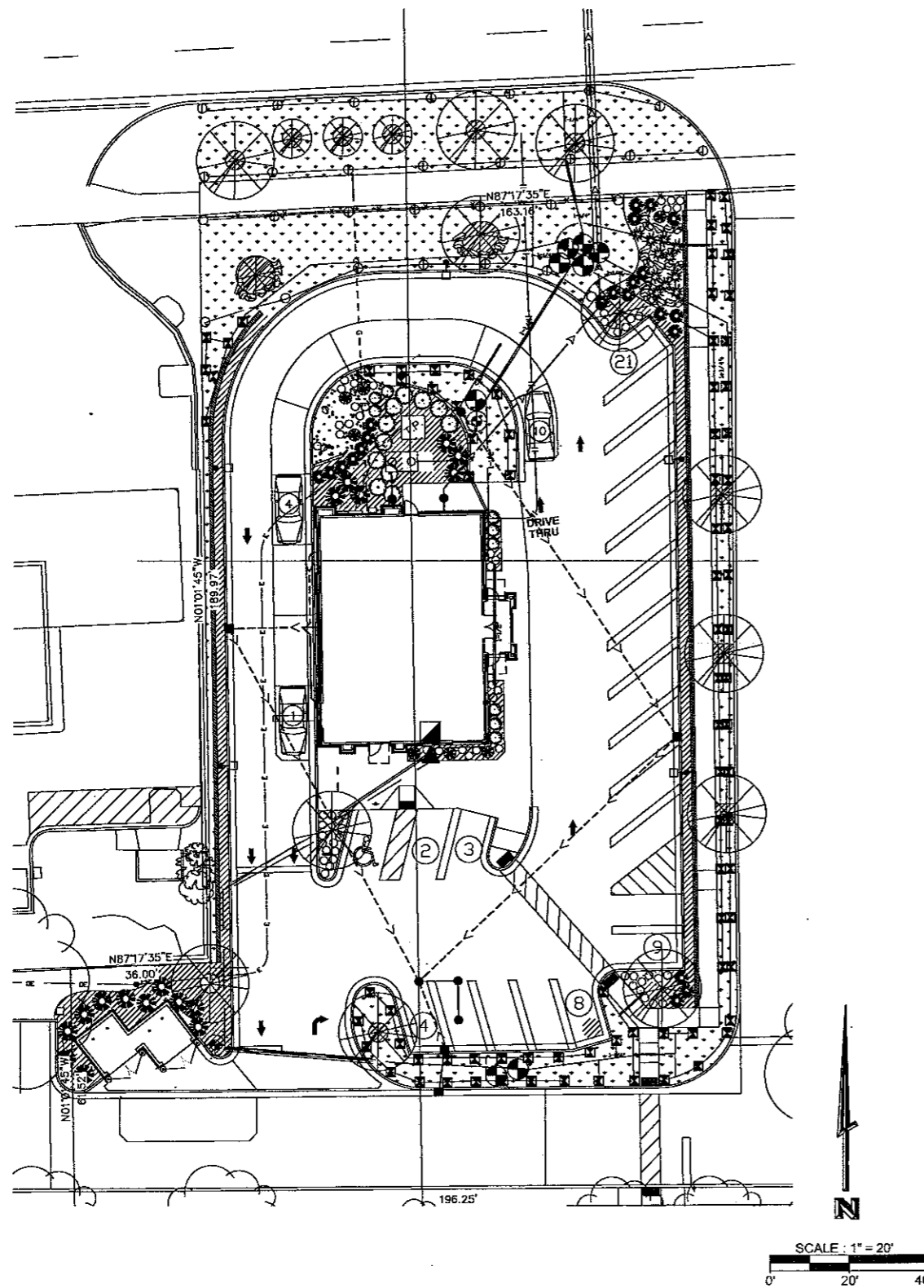
**UTILITY NOTES 3**

● IRON FOUND	○ POWER POLE
○ IRON SET	○ GUY
▲ P.K. NAIL FOUND	○ LIGHT POLE
▲ P.K. NAIL SET	□ ELECTRIC TRANSFORMER
● GPS MONUMENT	□ ELECTRIC METER
● MONUMENT FOUND	□ ELECTRIC HANDHOLE
● MONUMENT SET	○ WATER VALVE
(R) RECORD	○ HYDRANT
(M) MEASURED	○ GAS METER
○ STS STORM MANHOLE	○ GAS MARKER
○ CATCH BASIN	○ GAS VALVE
○ SQUARE CATCH BASIN	○ TELEPHONE PEDESTAL
○ SANITARY MANHOLE	○ SIGN POST
○ SANITARY CLEAN-OUT	○ FENCE LINE
○ MW MONITOR WELL	○ BENCHMARK
○ TEL. TELCO. MANHOLE	○ POST

**LEGEND 4**







**UNUSED** N.T.S. 2

1. ALL WORK IS TO BE IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
2. ACCEPTABLE IRRIGATION MANUFACTURERS ARE TORO, RAINBIRD AND HUNTER.
3. ALL UNDERGROUND ELECTRICAL CONNECTIONS ARE TO BE MADE WITH WATER PROOF CONNECTORS.
4. BACKFLOW PREVENTOR AND INSTALLATION IS NOT INCLUDED IN THE IRRIGATION CONTRACT. COORDINATE WITH PLUMBING CONTRACTOR.
5. ALL CONTROL VALVES ARE TO BE INSTALLED IN VALVE BOXES.
6. ALL CONTROL WIRING IS TO BE 18 GA MULTI-CONDUCTOR, UL APPROVED FOR DIRECT BURY.
7. ALL SPRINKLERS SHALL BE INSTALLED ON POLY SWING PIPE.
8. NO SADDLE TYPE TEES OR CONNECTIONS ARE ALLOWED. INSERT TYPE FITTINGS WITH STAINLESS STEEL CLAMPS ONLY FOR POLY PIPE CONNECTIONS.
9. MAINLINE FITTINGS SHALL BE PVC, SCH 40 SOLVENT WELDED.
10. LATERAL PIPE NOT SIZED IS TO BE 1" POLY, DRIP PIPE THRU LAWN AREAS IS TO BE 3/8" POLY.
11. SLEEVES ARE TO BE 4" PVC SDR 26 OR SCH 40. INSTALLATION IS INCLUDE IN IRRIGATION CONTRACT. COORDINATE WITH GENERAL CONTRACTOR.
12. WATER REQUIREMENT 24GPM @ 50PSI
13. A COMPLETE AS-BUILT PLAN IS REQUIRED BEFORE FINAL PAYMENT OF CONTRACT.
14. ALL MATERIAL SHALL BE GUARANTEED FROM DEFECT FOR ONE YEAR MINIMUM. LABOR SHALL BE WARRANTED FOR ONE YEAR MINIMUM.

**IRRIGATION SPECIFICATIONS** 3

- ☒ 12" POP-UP SPRAY, NOZZLE AS NEEDED
- 4" POP-UP SPRAY, NOZZLE AS NEEDED
- 4" POP-UP WITH MINI ROTATOR 3000 NOZZLE
- ⊙ 4" POP-UP WITH MINI ROTATOR 2000 NOZZLE
- ⊕ 1" ELECTRIC VALVE, DRIP ZONE, WITH PRV & FILTER IN 12" VALVE BOX
- ⊗ 1" ELECTRIC VALVE WITH FLOW CONTROL
- 12 STATION COMMERCIAL GRADE CONTROLLER
- WIRELESS RAIN SENSOR (LOCATION TO BE DETERMINED)
- ▲ 1" PRESSURE TYPE BACKFLOW PREVENTOR
- MAINLINE 1-1/2" PVC, SDR 26, 14" BURY
- LATERAL PIPE, 1" THRU 1-1/2", 80# POLY
- - - DRIP TUBE .590 WITH EMITTERS
- SLEEVE, 4" PVC

DESCRIPTION

AN AUTOMATICALLY CONTROLLED LAWN IRRIGATION SYSTEM INCLUDING PIPING, BACKFLOW PREVENTER (BY GENERAL CONTRACTOR), SPRINKLER HEADS, VALVES, CONTROLS, CONTROL WIRING, FITTINGS, ELECTRICAL CONNECTIONS, RAIN SENSOR AND NECESSARY ACCESSORIES.

SYSTEM REQUIREMENTS

FULL AND COMPLETE COVERAGE IS REQUIRED. PROVIDE DESIGN FOR A COMPLETE LAWN IRRIGATION SYSTEM TO SPRINKLE THE ENTIRE PARCEL INCLUDING ALL PLANTER BEDS AND RIGHT-OF-WAY GREENBELTS WITHOUT OVERTHROW ON ROADWAYS, SIDEWALKS, WINDOW WELLS, OR BUILDINGS AND TO PROTECT TREES FROM CLOSE HIGH SPRAY VELOCITY.

PIPING

ALLOW A MINIMUM OF 3 INCHES BETWEEN PARALLEL PIPES IN THE SAME TRENCH.  
 HOLD PIPE SECURELY IN PLACE WHILE JOINT IS BEING MADE.  
 INSTALL SPRINKLER LINES TO AVOID STORM SEWER, SANITARY SEWER, WATER AND GAS LINES OR OTHER UTILITIES, ALL OF WHICH HAVE RIGHT OF WAY.  
 CLEAN INTERIOR OF PIPE OF FOREIGN MATTER BEFORE INSTALLATION. KEEP PIPE CLEAN DURING LAYING OPERATIONS BY MEANS OF PLUGS OR OTHER METHODS. WHEN WORK IS NOT IN PROGRESS, SECURELY CLOSE OPEN ENDS OF PIPE AND FITTINGS TO PREVENT WATER, EARTH, OR OTHER SUBSTANCES FROM ENTERING.  
 CONTROL VALVES SHALL NEVER BE LESS THAN 3 INCHES BELOW FINISHED GRADE.  
 EXISTING SIDEWALKS AND CURBS SHALL NOT BE CUT DURING TRENCHING AND INSTALLATION OF PIPE. CONDUITS FOR IRRIGATION WILL BE INSTALLED BY EXCAVATING CONTRACTOR. REPAIR OR REPLACE ANY CONCRETE THAT CRACKS, DUE TO SETTLING, DURING THE GUARANTEE PERIOD.  
 CLOSE PIPE OPENINGS WITH CAPS OR PLUGS DURING INSTALLATION. TIGHTLY COVER AND PROTECT FIXTURES AND EQUIPMENT AGAINST DIRT, WATER AND CHEMICAL OR MECHANICAL INJURY. AT COMPLETION OF ALL WORK THOROUGHLY CLEAN FIXTURES, EXPOSED MATERIALS AND EQUIPMENT.

SPRINKLERS

PLACE PART-CIRCLE ROTARY SPRINKLER HEADS NO MORE THAN 6 INCHES FROM EDGE, OF AND FLUSH WITH TOP OF ADJACENT WALKS, HEADER BOARDS, CURBS, AND MOWING APRONS, OR PAVED AREAS AT TIME OF INSTALLATION.  
 INSTALL ALL SHRUB SPRAYS, SPRINKLERS AND QUICK COUPLERS ON SWING JOINTS AS DETAILED ON PLANS.  
 SET SHRUB HEADS 8 INCHES ABOVE GRADE AND 1 FOOT FROM EDGE OF CURB OR PAVEMENT. PLACE ADJACENT TO WALLS.

CONTROL WIRING

WIRING FROM MASTER CONTROLLERS TO SATELLITES SHALL BE LOCATED IN TRENCH WITH NEW IRRIGATION LINES.  
 WIRING BUNDLES LOCATED WITH PIPING SHALL BE SET WITH TOP OF THE BUNDLE BELOW TOP OF THE PIPE. NO TWO WIRES IN ANY BUNDLE SHALL BE OF THE SAME COLOR.

VALVES

NO VALVES SHALL BE SET UNDER ROADS, PAVEMENT OR WALKS.  
 CLEAN INTERIOR OF VALVES OF FOREIGN MATTER BEFORE INSTALLATION. SET VALVE BOX COVER FLUSH WITH FINISHED GRADE.

INSPECTIONS AND TESTING

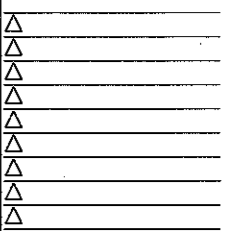
IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS AND TESTING OF SYSTEM.  
 OPERATION TEST: UPON COMPLETION OF THE FINAL ADJUSTMENT OF THE SPRINKLER HEADS TO PERMANENT LEVEL AT GROUND SURFACE, TEST EACH SPRINKLER SECTION BY THE PAN TEST AND VISUAL TEST TO INDICATE A UNIFORM DISTRIBUTION WITHIN ANY ONE SPRINKLER HEAD AREA AND OVER THE ENTIRE AREA. OPERATE THE ENTIRE INSTALLATION TO DEMONSTRATE THE COMPLETE AND SUCCESSFUL OPERATION OF ALL EQUIPMENT.

**WT DEVELOPMENT CORPORATION**

WT Development Corporation  
 10223 E. Cherry Bend Rd., Ste. A  
 Traverse City, Michigan, 49684

Contact: Bill Becker, President  
 Phone: (231) 922-9250  
 Fax: (231) 922-9257

**PROJECT CONSULTANT**



SCALE: 1" = 20'  
 DATE: 02.07.12  
 DRAWN BY: ACS  
 CHECKED BY:  
 PARCEL AREA: CS  
 ENTITY NUMBER: 986088  
 SITE NUMBER: 607630

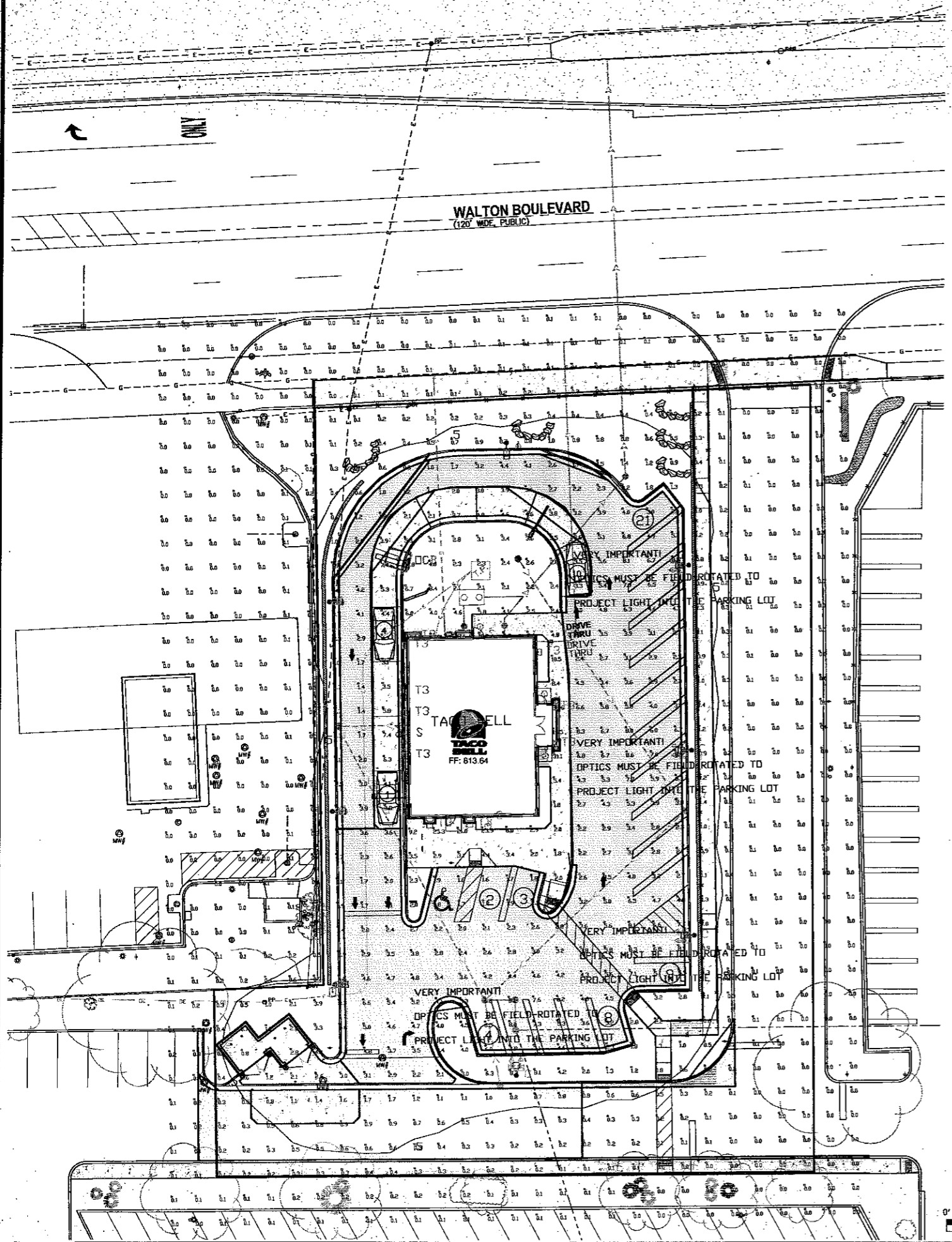
**TACO BELL**  
 S. LIVERNOIS  
 ROCHESTER HILLS, MICHIGAN



**IRRIGATION PLAN**

**L2.0**





**ILLUMINATION PLAN** 1" = 20' **12**

NOT USED	5
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NOT USED	6
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TACO BELL  
 65 S. LIVERNOIS  
 ROCHESTER HILLS, MI  
 PREPARED BY: JOHN BUJAKE  
 ACCUSERV LIGHTING & EQUIPMENT  
 877-707-7378  
 502-961-0357 FAX  
 jbukake@accu-serv.com  
 MARCH 15, 2012

Statistical Area Summary					
Project: All Projects					
Label	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT SURFACE	4.10	8.6	1.0	4.10	8.60
DRIVE-THRU LANE SURFACE	4.14	7.4	2.0	2.07	3.70

LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Luminaire Schedule						
Project: All Projects						
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
[Symbol]	11	T3	SINGLE	9500	0.800	ACCU WSCTTB01-008/LID01/06211-015 @ 7.5' A.F.G.
[Symbol]	5	S	SINGLE	8500	0.700	ACCU KB3921BK-FULLCUT @ 11.71' A.F.G.
[Symbol]	1	OCB	SINGLE	12500	0.700	TACO BELL - ORDER POINT CANOPY
[Symbol]	3	A	SINGLE	22500	0.750	ACCU KSF2-250M-R4SC-TB-SP09-SCWA-LPI / SSS-17.5-4C-DM19-DOB
[Symbol]	1	B	2 @ 90 DEGREES	22500	0.750	ACCU (2) KSF2-250M-R4SC-TB-SP09-SCWA-LPI / SSS-17.5-4C-DM29-DOB
[Symbol]	4	C	ROTATED2 BOTH IN 90°	22500	0.750	ACCU (2) KSF2-400M-R4SC-TB-SP09-SCWA-LPI (OPTICS ROTATED) / SSS-17.5-4C-DM28-DOB

VERY IMPORTANT: FIXTURE C OPTICAL ASSEMBLIES MUST BE FIELD-ROTATED TO PROJECT LIGHT INTO THE PARKING LOT  
 LIGHTING RESTRICTIONS: FIXTURES MUST BE FULL CUTOFF  
 FIXTURE LAMP WATTAGE NOT TO EXCEED 250W  
 FIXTURE MOUNTING HEIGHT NOT TO EXCEED 20'  
 LIGHT LEVEL AT THE PROPERTY LINE NOT TO EXCEED 0.5 FOOT-CANDLE

SITE FIXTURES ARE FULL CUTOFF 250W PULSE-START METAL HALIDE w/ FLAT LENSES AND INTERNAL HOUSE SIDE SHIELDS  
 POLES ARE 17'-6" FOR AN OVERALL FIXTURE MOUNTING HEIGHT OF 20'-0" A.F.G.

**LIGHTING NOTES** **4**

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**PROJECT CONSULTANT**

ISSUE DATE: XX.XX.XX  
 Δ PLANNING REVIEW #1 03.20.12  
 Δ  
 Δ  
 Δ  
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CONTRACT DATE: XX.XX.XX  
 BUILDING TYPE: T50  
 PLAN VERSION: JULY 2011  
 SITE NUMBER: 307630  
 ENTITY NUMBER: 396098

TACO BELL  
 WALTON ROAD  
 ROCHESTER HILLS, MI

**TACO BELL**  
 T50

**ILLUMINATION PLAN**

**11.0**

