

ROAD

ANDSCAPE CALCULATIONS: R-4 (ONE FAMILY RESIDENTIAL) PER CITY OF ROCHESTER HILLS ZONING ORDINANCE

INTERIOR PARKING LOT LANDSCAPE (FOR 20 CARS OR MORE)
REQUIRED: 5% OF VEHICLE USE AREA SHALL BE LANDSCAPED

TREE PER 150 SF REQUIRED 24,390.5 \* 5% = 1,219.5 SQ FT, 1,219.5 SQ FT / 150 SF = 8.1 TREES EACH LANDSCAPE ISLAND SHOULD HAVE 1 DEC TREE

PROVIDED: 9 DEC TREES AND 4,012 SF LANDSCAPE ISLAND AREA

REQUIRED: 1 DEC TREE/ 25LF AND 1 ORN TREE/ 35LF, ALONG EDGE OF PARKING LOT FACING AND WITHIN 100' OF PUBLIC ROW. ANY PARKING WITHIN 30' OF PUBLIC STREET OR ROW REQUIRES A VEGETATIVE

PROVIDED: PARKING IS NOT WITHIN 100' OF PUBLIC ROW WHERE FACING PUBLIC ROAD - NO TREES REQUIRED OR PROVIDED PARKING LOT IS LOCATED WITHIN 30' OF ROW ALONG S. ROCHESTER RD. 28 EVG SHRUBS PROVIDED IN HEDGE ROW.

STORMWATER MANAGEMENT POND LANDSCAPING

HEDGE FOR SCREENING.

REQUIRED: TYPE A BUFFER: 1.5 DEC. 1 EVG TREE AND 4 SHRUBS / 100 LF WITH DEC TREES CLUSTERED AROUND THE S AND W SIDE OF THE BASIN. PLANTINGS / SEED NATIVE TO MICHIGAN 422.7 LF PER / 100 = 4.2

PROVIDED: 7 DEC, 5 EVG AND 17 SHRUBS AND SPECIAL SEED MIXES PROPOSED BY STANTEC, SEE SHEET L-1.1 FOR DETAILS

REQUIRED: 1 DEC OR EVG TREE / 35 LF AND 1 ORN TREE / 60 LF OF ROW. NORTH ACCESS DR:  $450^{\circ}/35 = 13$  DEC. OR EVG. TREES 450'/60 = 8 ORN TREES.

S. ROCHESTER RD: 433'/35 = 13 DEC. OR EVG. TREES 433'/60 = 8 ORN. TREES. EDDINGTON BLVD: 380'/35 = 11 DEC. OR EVG. TREES 380'/60 = 6 ORN. TREES.

NORTH ACCESS DR: 18 EXISTING TREES TO REMAIN WITHIN ROW - NO ADDITIONAL TREES TO BE PROVIDED IN OR ADJACENT TO THE ROW DUE TO EXISTING UTILITIES AND EASEMENTS. 5 TREES PROVIDED SOUTH OF N ACCESS DR PER CITY REQUEST

S. ROCHESTER RD: NO ADDITIONAL TREES TO BE PROVIDED IN THE ROW DUE TO EXISTING UTILITIES AND EASEMENTS. TREES ARE LOCATED ADJACENT TO ROW. 1 EXISTING DEC TO REMAIN AND 9 PROPOSED DEC, 1 EXISTING EVG TO REMAIN AND 2 PROPOSED EVG, AND 1 EXISTING ORN TO REMAIN AND 7 PROPOSED ORN PROPOSED.

EDDINGTON BLVD: 3 EXISTING TREES TO REMAIN, 8 DEC TREES AND 6 ORN. TREES PROPOSED

BUFFER ZONE TYPE D. WHEN MAJORITY OF PROPERTY IS DEVELOPED FOR COMMERCIAL USE, PER SECTION 138-8.602 AND ARTICLE 12 (EAST PROP. LINE) REQUIRED: WHERE ABUTS ONE FAMILY DWELLINGS 2.5 DEC, 1.5 ORN, 5 EVG AND 8 SHRUBS PER EVERY 100 LF 437.6 LF / 100 = 4.4 (\* 2.5, 1.5, 5, AND 8 = )= 11 DEC, 7 ORN, 22 EVG AND 36 SHRUBS

PROVIDED: 17 EXISTING EVG, 8 PROPOSED EVG, 8 PROPOSED DEC, 7 ORN, AND 36 SHRUBS LANDSCAPE BERM PROVIDED WHERE TREES CANNOT BE PROVIDED DUE TO EXISTING UTILITIES AND EASEMENTS.

SCREENING AT PLAYGROUND FENCE AND DUMPSTER:
REQUIRED: PER CITY COMMENT, SCREEN WITH 80 % OPACITY WITH EVERGREEN UPRIGHT PLANTINGS AND SHRUBS PROVIDED: UPRIGHT EVERGREEN SHRUBS ADJ TO FENCE AND DUMPSTER

REPLACEMENT TREES REQUIRED: 1 TREE REPLACED PER 1 TREE REMOVED (NOT INCLUDING SPECIMEN) (REPLACEMENT TREES CANNOT GO TOWARDS OTHER REQUIRED TREES) 29 REPLACEMENT TREES REQUIRED -SEE TREE SHEET T-1.0 OR THIS SHEET FOR CALC DETAILS

PROVIDED: 11, 3" DEC. AND 9, 8' HT. EVG. TREES 16 TREES PAID INTO TREE FUND IN LIEU OF PROPOSED PLANTING

REGULATED ON SITE TREES REGULATED TREES REMOVED

SPECIMEN TREES REMOVED: 2" SPECIMEN REPLACMENT TREES: SPECIMEN TREES TO REMAIN ON-SITE:

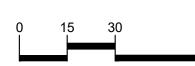
= REPLACEMENT TREES

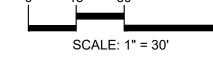
TREES (2" DECIDUOUS OR 8' EVERGREEN) TREES (2" DECIDUOUS OR 8' EVERGREEN)





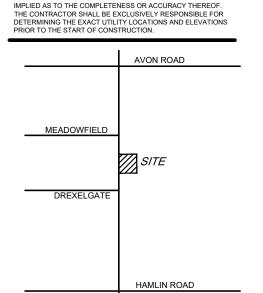






ILITIES AS SHOWN ON THIS DRAWING ARE ONLY





CLIENT

3221 W. BIG BEAVER ROAD, SUITE 111 TROY, MICHIGAN 48084

PROJECT TITLE

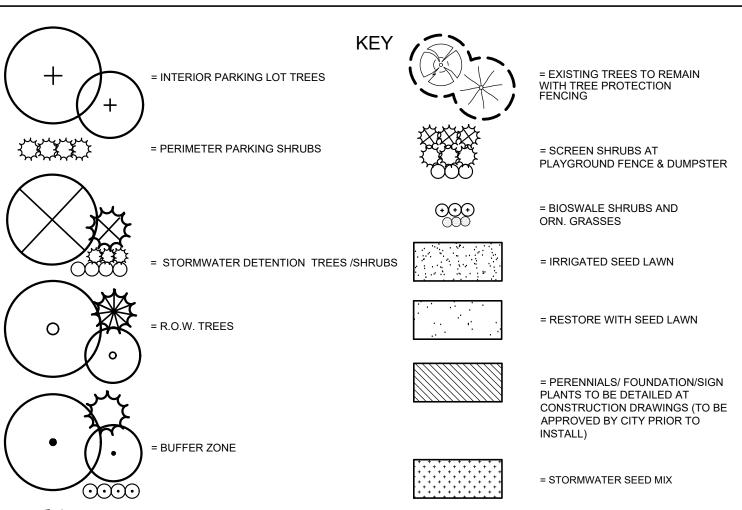
REVISIONS

**PRIMROSE SCHOOL** VACANT LOT - ROCHESTER ROAD

ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

SITE PLAN APPROVAL RESUBMITTAL 04-19-23

SITE PLAN APPROVAL RESUBMITTAL 05-25-23



SITE PLAN APPROVAL RESUBMITTAL 06-23-23 SITE PLAN APPROVAL RESUBMITTAL 07-25-23 ORIGINAL ISSUE DATE **FEBRUARY 10, 2023** DRAWING TITLE

SWALE SEED MIX

= LOW PROFILE PRAIRIE SEED MIX

**PRELIMINARY** LANDSCAPE **PLAN** 

PEA JOB NO. 2022-1301 BGG JLE DRAWING NUMBER:

NOT FOR CONSTRUCTION CITY FILE NO. 22-041 SECTION 23

SEE L-1.1 FOR PLANTINGS NOTES AND DETAILS

### PER CITY OF ROCHESTER HILLS MAINTENANCE AGREEMENT:

- Section 138-12.109 Maintenance
- The owner of the property shall be responsible for all maintenance of site landscaping, as follows:
- Landscaping shall be kept in a neat, orderly and healthy growing condition, free from debris and refuse. B. Pruning shall be minimal at the time of installation, only to remove dead or diseased branches. Subsequent pruning shall assure proper maturation of plants to achieve their approved purpose.
- C. All dead, damaged, or diseased plant material shall be removed immediately and replaced within six (6) months after it dies or in the next planting season, whichever occurs first. For purposes of this Section, the planting season for deciduous plants shall be between March 1 and June 1 and from October 1 until the prepared soil becomes frozen. The planting season for evergreen plants shall be between March 1 and June 1. Plant material installed to replace dead or diseased material shall be as close as practical to the size of the material it is intended to replace. The City may notify property owners of the need to replace dead, damaged, or diseased material.
- D. The approved landscape plan shall be considered a permanent record and integral part of the Site Plan Approval. Unless otherwise approved in accordance with the aforementioned procedures, any revisions to or removal of plant materials, or non-compliance with the maintenance requirements of this Section 138-12.109 will place the parcel in non-conformity with the approved landscape plan and be a violation of this
- E. If protected trees are damaged, a fine shall be issued on an inch-by-inch basis at a monetary rate as defined by the Forestry Department.

### LANDSCAPE COST OPINION:

### **LANDSCAPING**

PLAN							
QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	ITEM PRICE			
5,930	S.Y.	SEED LAWN	\$2.50	\$14,825.00			
27	EA.	SUB CANOPY ORNAMENTAL TREES AT 2" CAL.	\$350.00	\$9,450.00			
48	EA.	DECIDUOUS TREES AT 3" CAL.	\$550.00	\$26,400.00			
26	EA.	EVERGREEN TREES AT 8' HT.	\$450.00	\$11,700.00			
49	C.Y.	MULCH 3"	\$50.00	\$2,450.00			
97	C.Y.	PLANT MIX FOR BEDS (6" DEPTH)	\$55.00	\$5,335.00			
1,051	L.F.	ALUMINUM EDGING	\$5.00	\$5,255.00			
2	C.Y.	RIVER ROCK	\$85.00	\$170.00			
58	EA.	PERENNIALS	\$20.00	\$1,160.00			
237	EA.	SHRUBS	\$55.00	\$13,035.00			
9	EA.	TREES TO BE PAID INTO THE TREE FUND	\$304.00	\$2,736.00			
1	AC.	IRRIGATION (COMMERCIAL BUILDING)	\$21,000.00	\$21,000.00			
1,940	S.Y.	SPECIALTY SEED MIXES	\$3.00	\$5,820			
1	25%	CONTINGENCY	\$24,436.25	\$24,436.25			
	•						
		TOTAL LANDSCAPING		\$143,772.25			
LAWN RESTORATION NIC							

### **GENERAL PLANTING NOTES:**

WARRANTY STANDARDS.

INVASIVE SPECIES CONTROL.

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- 2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- . ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- 4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- 5. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- 6. ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- 7. ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- 8. ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- 9. ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- 10. ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- 11. NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- 12. ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- 13. IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- 14. ALL PLANTING BEDS SHALL RECEIVE 4" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS, SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- 15. ALL LANDSCAPED AREAS SHALL RECEIVE 4" COMPACTED TOPSOIL.

16. SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND

- 17. FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR
- 18. CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- 19. TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.

### FOR ALL SEED MIXES, PROVIDE EROSION MAT ON SLOPES AND AREAS OF WASH OUT TYP. INSTALL AND PREP PER MANUFACTURES SPECIFICATIONS. SEED MIX TO BE NATIVE PER COUNTY, NO INVASIVE SPECIES PERMITTED

### **Swale Seed Mix** Stantec Native Plant Nursery 574-586-2412 stantec.com/native-plant-nursery Botanical Name Common Name

Permanent Grasses/Sedges Big Bluestem ndropogon gerardii Bristly Sedge Carex comosa Crested Oval Sedge Carex cristatella Bottlebrush Sedge Carex lurida Carex spp. Prairie Sedge Mix Carex vulpinoidea Brown Fox Sedge Elymus virginicus Virginia Wild Rye lyceria striata Fowl Manna Grass Panicum virgatum Switch Grass Dark Green Rush Scirpus atrovirens Scirpus cyperinus Wool Grass Prairie Cord Grass Spartina pectinata

Temporary Cover: Avena sativa Lolium multiflorum

Alisma spp.

Verbena hastata

Annual Rye Water Plantain (Various Mix) Swamp Milkweed Coreopsis tripteris Spotted Joe-Pye Weed Eutrochium maculatum Iris virginica Liatris spicata Marsh Blazing Star Lobelia cardinalis Cardinal Flower Lobelia siphilitica Great Blue Lobelia Lycopus americanus Common Water Horehoun Pycnanthemum virginianum Common Mountian Mint Brown-Eyed Susan Rudbeckia triloba Sagittaria latifolia Common Arrowhead Senna hebecarpa Wild Senna Silphium terebinthinaceum Prairie Dock

Blue Vervain

Symphyotrichum novae-anglie New England Aster

Botanical Name Common Name Permanent Grasses: Side Oats Grama Bouteloua curtipendula Carex spp. Prairie Carex Mix Canada Wild Rye Elymus canadensis Koeleria pvramidata June Grass Panicum virgatum Switch Grass

Low-profile Prairie Seed Mix

stantec.com/native-plant-nursery

Stantec Native Plant Nursery 574-586-2412

Schizachyrium scoparium Little Bluestem Temporary Cover: Common Oat Avena sativa Lolium multiflorum Annual Rye

Lead Plant Amorpha canescens ThimbleWeed Anemone cylindrica Common Milkweed Asclepias syriaca Butterfly MilkWeed Asclepias tuberosa Baptisia alba White Wild Indiao Chamaecrista fasciculata Partridge Pea Coreopsis lanceolata Sand Coreopsis oreopsis palmata Prairie Coreopsis Dalea candida White Prairie Clover Purple Prairie Clover Desmanthus illinoensis Illinois Sensitive Plant chinacea purpurea Broad-Leaved Purple Coneflower Eryngium yuccifolium Rattlesnake Master espedeza capitata Round-Head Bush Clover Rough Blazing Star Liatris aspera Wild Lupine Lupinus perennis

Symphyotrichum novae-angliae New England Aster

Wild Bergamot

Stiff Goldenrod

Foxglove Beard Tongue

Common Mountain Mint

Sweet Black-Eyed Susan

Hairy Beard Tongue

Yellow Coneflower

Black-Eved Susan

Wild Quinine

Prairie Dock

Showy Goldenroo

Smooth Blue Aster

Common Spiderwort

Ironweed (Various Mix Culvers Root

Hoary Vervain

Monarda fistulosa

Oligoneuron rigidum

Penstemon digitalis

Penstemon hirsutus

Ratibida pinnata

Rudbeckia hirta

Solidago speciosa

Symphyotrichum laeve

Tradescantia ohiensis

Veronicastrum virginicum

Verbena stricta

Vernonia spp.

Parthenium integrifolium

Pycnanthemum virginianum

Rudbeckia subtomentos

Silphium terebinthinaceum

Symphyotrichum ericoides

Water Plantain (Various Mix) Asclepias incarnata Swamp Milkweed Helenium autumnale Lycopus americanus Oligoneuron riddellii Penthorum sedoides Polygonum spp. Rudbeckia subtomentosa Rudbeckia triloba Sagittaria latifolia Senna hebecarpa Symphyotrichum novae-angliae Thalictrum dasycarpum Purple Meadow Rue

Stormwater Seed Mix Stantec Native Plant Nursery 574-586-2412 stantec.com/native-plant-nursery

**Botanical Name** Permanent Grasses/Sedges/Rushes: Bolboschoenus fluviatilis Carex cristatella Carex lurida Carex vulpinoidea Elymus virginicus Glyceria striata Juncus effusus Leersia oryzoides

Crested Oval Sedge Bottlebrush Sedge Brown Fox Sedge Virginia Wild Rve Fowl Manna Grass Common Rush Rice Cut Grass Panicum virgatum Switch Grass choenoplectus tabernaemontani Softstem Bulrush Dark Green Rush Scirpus atrovirens Scirpus cyperinus Wool Grass Common Oat

Temporary Cover: Avena sativa Lolium multiflorum Forbs & Shrubs: Alisma spp.

> Bidens (Various Mix) Common Water Horehound Monkey Flower Riddell's Goldenrod Ditch Stonecrop Pinkweed (Various Mix) Sweet Black-Eyed Susan Brown-Eyed Susan Common Arrowhead Wild Senna New England Aster

Common Name

River Bulrush

Annual Rye

PERMALOC ALUMINUM EDGING OR APPROVED EQUAL WITH BLACK FINISH - BED MEDIA - COMPACTED SUBGRADE SPECIFICATIONS FOR LANDSCAPE BED EDGING: LANDSCAPE BED EDGING SHALL BE ALUMINUM AS MANUFACTURED BY PERMALOC 1.800.356.9660 8' OR 16' SECTIONS SHALL BE USED WITH ONE STAKE PER 38" OF

VARIES PER

SPECIES SEE

PLAN FOR

PLANT PERENNIALS EQUAL DISTANCE IN

UNLESS NOTED OR GRAPHICALLY SHOWN

4" SHREDDED BARK MULCH. DO NOT

PILE MULCH AGAINST PLANT STEMS

SHOVEL CUT EDGE OR ALUMINUM

EDGING AS INDICATED ON PLAN

— SPECIFIED PLANTING MIX

NOTE: REMOVE ALL CONTAINERS PRIOR

PLACE ROOTBALL ON UNEXCAVATED OR

TAMPED SOIL

ALL SPACING IS TO BE TRIANGULAR

OTHERWISE

TO PLANTING

EDGING SHALL BE 3" THICK X 4" DEPTH WHEN ADJ. TO MULCH AND

경" THICK X 5 ½" DEPTH WHEN ADJ. TO ROCK, FINISH: BLACK DURAFLEX MEETING AAMA 2603

STAKE SHALL SECURELY ENGAGE EDGING AND SHALL BE ENTIRELY BELOW TOP SURFACE OF EDGING EDGING SHALL HAVE A MINIMUM OF 2" OF INTERLOCKING OVERLAP

BETWEEN SECTIONS

INSTALL AS PER MANUFACTURER'S SPECIFICATIONS WITH TOP OF EDGING  $\frac{1}{4}$ " - $\frac{1}{2}$ " ABOVE COMPACTED FINISH GRADE. FINISH GRADE TO BE COMPACTED ON BOTH SIDES OF EDGING TO MAINTAIN STABILITY

ALUMINUM EDGE DETAIL

SPECIES SE

PLAN FOR

QUANTITY

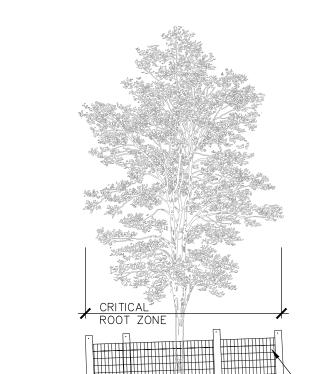
PLAN VIEW

SECTION VIEW

SCALE: 1'' = 2'-0''

PERENNIAL PLANTING DETAIL

SCALE: 1/2'' = 1'-0''



SCALE: 1'' = 3' - 0''

TREE PROTECTION WILL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN; INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP

LINE OF PROTECTED TREES DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE

ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE

TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH

FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF

FENCE SHALL BE PLACED IN A CIRCLE WITH A MINIMUM RADIUS OF 1' PER 1" DIAMETER OF THE

TREE MEASURED AT 4.5' ABOVE GROUND

4'HIGH PROTECTIVE FENCING

- EXISTING SOIL

WITH STEEL POSTS - 10' O.C.

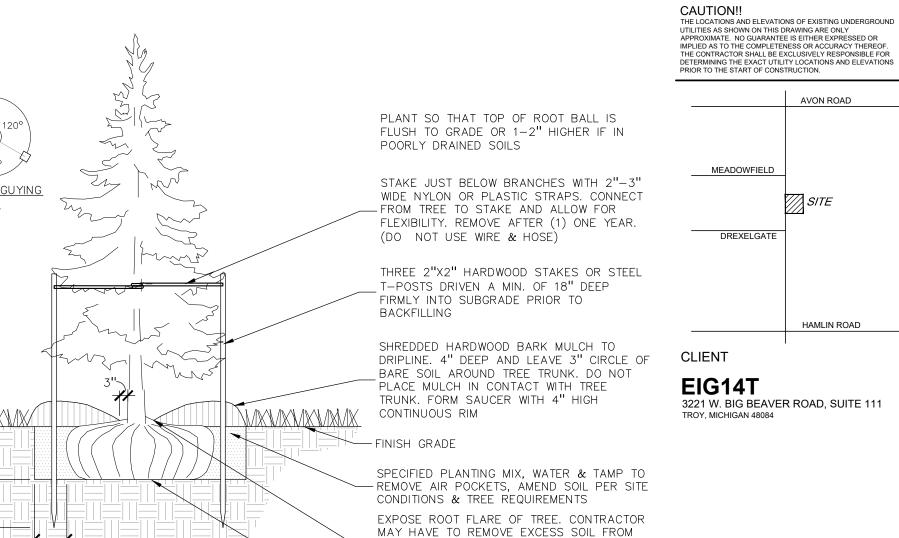
TREE PROTECTION DETAIL



GROUP

t: 844.813.2949

www.peagroup.com



TAMPED SOIL

EVERGREEN TREE PLANTING DETAIL SCALE: 1'' = 3'-0''

PROJECT TITLE **PRIMROSE** SCHOOL VACANT LOT - ROCHESTER ROAD ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

REVISIONS

SITE PLAN APPROVAL RESUBMITTAL 04-19-23

SITE PLAN APPROVAL RESUBMITTAL 05-25-23

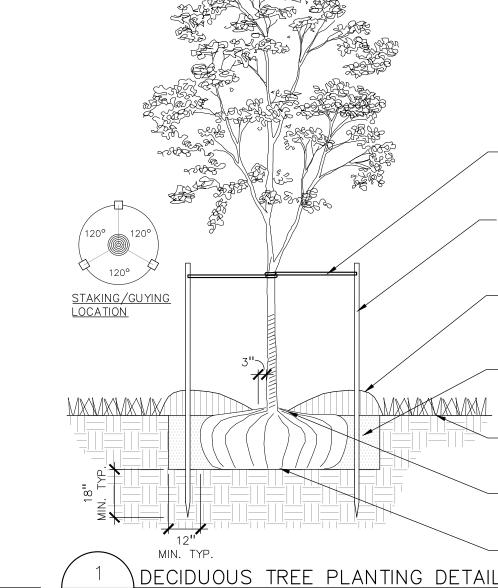
SITE PLAN APPROVAL RESUBMITTAL 06-23-23

SITE PLAN APPROVAL RESUBMITTAL 07-25-23

ORIGINAL ISSUE DATE:

FEBRUARY 10, 2023

DRAWING TITLE



SCALE: 1'' = 3'-0''

MIN. TYP.

PLANT SO THAT TOP OF ROOT BALL IS FLUSH TO GRADE OR 1-2" HIGHER IF IN POORLY DRAINED SOILS SECURE TREE WRAP WITH BIODEGRADABLE

-TOP OF ROOTBALL. REMOVE ALL BURLAP

FROM TOP  $\frac{1}{3}$  OF ROOTBALL. DISCARD ALL

NON-BIODEGRADABLE MATERIAL OFF SITE

PLACE ROOTBALL ON UNEXCAVATED OR

FIRST WINTER DO NOT PRUNE TERMINAL LEADER PRUNE ONLY DEAD, BROKEN BRANCHES AS DIRECTED BY LANDSCAPE ARCHITECT

STAKE JUST BELOW BRANCHES WITH 2"-3" WIDE NYLON OR PLASTIC STRAPS. CONNECT FROM TREE TO STAKE AND ALLOW FOR FLEXIBILITY. REMOVE AFTER (1) ONE YEAR. (DO NOT USE WIRE & HOSE)

MATERIAL AT TOP & BOTTOM, REMOVE AFTER

(3) THREE 2"X2" HARDWOOD STAKES DRIVEN A MIN. OF 18" DEEP FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING

SHREDDED HARDWOOD BARK MULCH TO DRIPLINE. 4" DEEP AND LEAVE 3" CIRCLE OF BARE SOIL AROUND TREE TRUNK. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. FORM SAUCER WITH 4" HIGH CONTINUOUS RIM

SPECIFIED PLANTING MIX, WATER & TAMP TO REMOVE AIR POCKETS, AMEND SOIL PER SITE CONDITIONS & TREE REQUIREMENTS

-FINISH GRADE

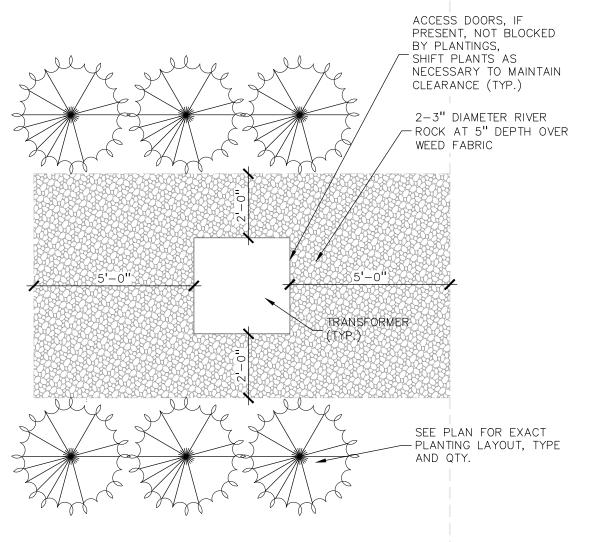
EXPOSE ROOT FLARE OF TREE. CONTRACTOR MAY HAVE TO REMOVE EXCESS SOIL FROM - TOP OF ROOTBALL. REMOVE ALL BURLAP FROM TOP  $\frac{1}{3}$  OF ROOTBALL. DISCARD ALL NON-BIODEGRADABLE MATERIAL OFF SITE PLACE ROOTBALL ON UNEXCAVATED OR

NOT FOR CONSTRUCTION CITY FILE NO. 22-041 SECTION 23

PEA JOB NO. 2022-1301 P.M. BK DN. BGG JLE DRAWING NUMBER:

**LANDSCAPE** 

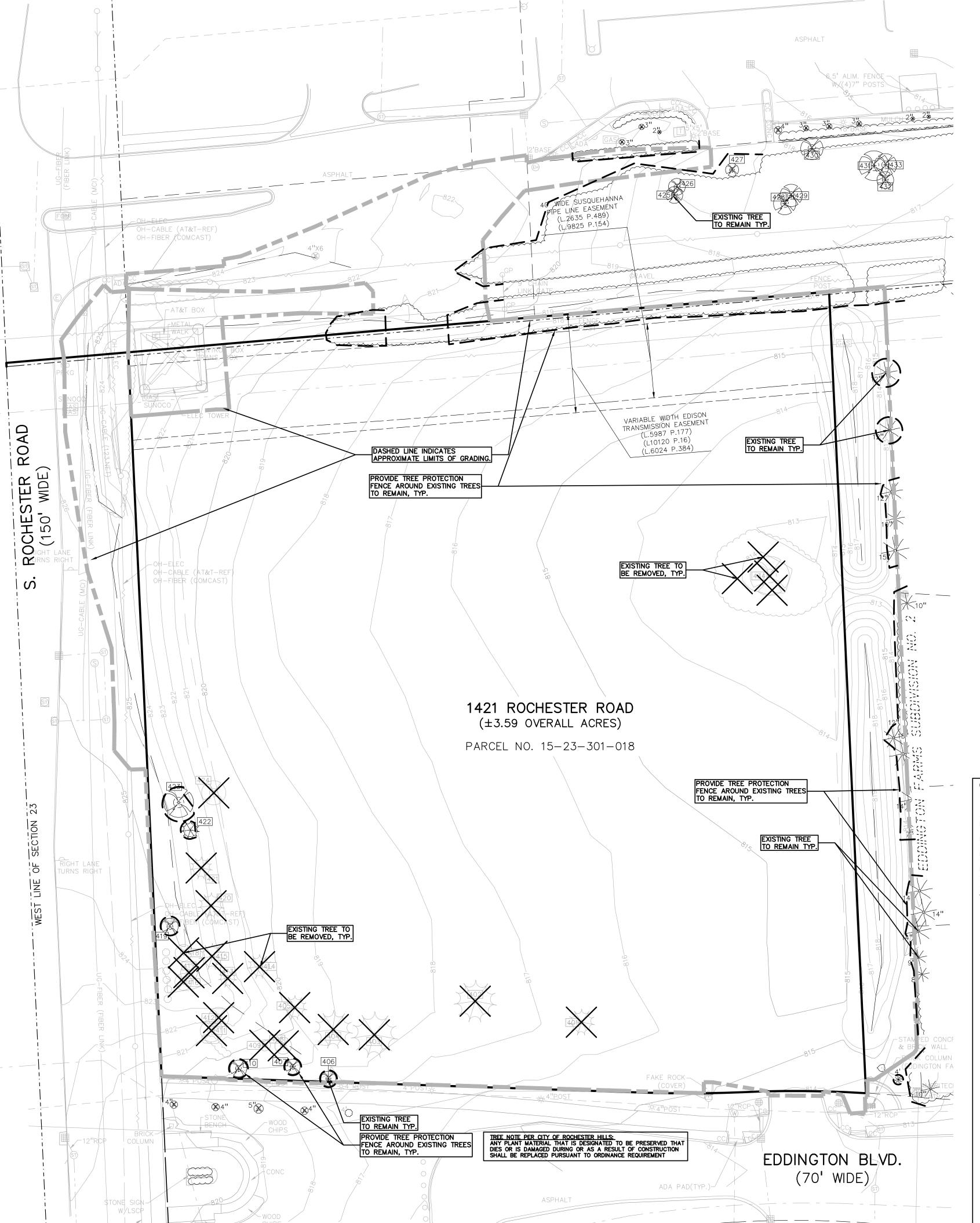
**DETAILS** 



TRANSFORMER SCREENING DETAIL SCALE: 1'' = 3'-0''

PLANT SO THAT TOP OF ROOT BALL IS FLUSH TO GRADE OR 1-2" HIGHER IF IN POORLY DRAINED SOILS DO NOT COVER TOP OF ROOTBALL WITH SOIL FORM SAUCER WITH 4" HIGH CONTINUOUS RIM SHREDDED HARDWOOD BARK MULCH 4" DEEP AND LEAVE 3" CIRCLE OF BARE SOIL AROUND TRUNK. DO NOT PLACE MULCH IN CONTACT WITH TRUNK - FINISH GRADE SPECIFIED PLANTING MIX. WATER AND TAMP TO REMOVE AIR POCKETS REMOVE ALL BURLAP FROM TOP 1/3 OF -ROOTBALL DISCARD ALL NON-BIODEGRADABLE MATERIAL OFF SITE VARIES ON CONTAINER OR BALL SIZE

SHRUB PLANTING DETAIL SCALE: 1'' = 2' - 0''



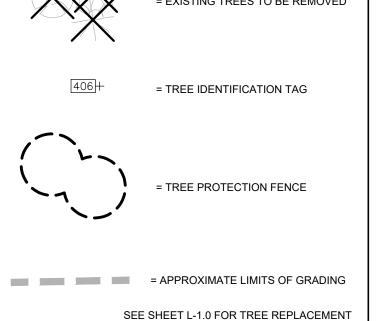
NATURAL FEATURES STATEMENT:

STEEP SLOPE: THE SITE DOES NOT CONTAIN REGULATED STEEP SLOPES. WETLANDS:
THE SITE DOES NOT CONTAIN REGULATED WETLANDS.
NATURAL FEATURES SETBACK:
THE SITE DOES NOT CONTAIN REQUIRED NATURAL FEATURE

TREE NOTE PER CITY OF ROCHESTER HILLS:
ANY PLANT MATERIAL THAT IS DESIGNATED TO BE PRESERVED THAT
DIES OR IS DAMAGED DURING OR AS A RESULT OF CONSTRUCTION
SHALL BE REPLACED PURSUANT TO ORDINANCE REQUIREMENT

= EXISTING TREES TO REMAIN = EXISTING TREES TO BE REMOVED = TREE IDENTIFICATION TAG

KEY





SCALE: 1" = 30'

THE LOCATIONS AND ELEVATIONS OF EXISTING UNIUTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREO

THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

AVON ROAD

CAUTION!!

MEADOWFIELD

DREXELGATE

CLIENT

EIG14T

TROY, MICHIGAN 48084

PROJECT TITLE

**SCHOOL** 

REVISIONS

**PRIMROSE** 

VACANT LOT - ROCHESTER ROAD

ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

SITE PLAN APPROVAL RESUBMITTAL 04-19-23

SITE PLAN APPROVAL RESUBMITTAL 05-25-23

SITE PLAN APPROVAL RESUBMITTAL 06-23-23

SITE PLAN APPROVAL RESUBMITTAL 07-25-23

ORIGINAL ISSUE DATE:

**TREE** 

**PRESERVATION** 

**PLAN** 

PEA JOB NO. 2022-1301

FEBRUARY 10, 2023

DRAWING TITLE

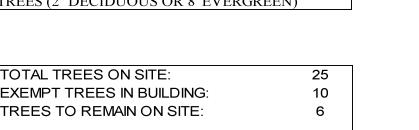
3221 W. BIG BEAVER ROAD, SUITE 111

GROUP

EXISTING TREE LIST: TREE TO BE REMOVED DENOTED WITH STRIKE OUT THROUGH TREE NUMBER

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	CONDITION	NOTES	EXEMPT?	SPECIMEN	SAVE / REMOVE	IN BULDING
<del>401</del>	₩S	<del>13</del>	White Spruce	Picea glauca	<del>Fair</del>			H	R	Н
<del>402</del>	NS	<del>21</del>	Norway Spruce	Picea Abies	Good			¥	R	¥
403	NS	<del>23</del>	Norway Spruce	Picea Abies	Good			¥	R	¥
404	NS	<del>19</del>	Norway Spruce	Picea Abies	Good			¥	R	¥
405	NS.	<del>12</del>	Norway Spruce	Picea Abies	<del>Fair</del>			H	R	¥
406	CA	8	Crab Apple	Malus caronaria	Fair	x1		N	S	N
407	CA	8	Crab Apple	Malus caronaria	Fair	x1		N	S	N
408	CA	9	Crab Apple	Malus caronaria	Fair	<del>x1</del>		N	R	N
409	CA	6	Crab Apple	Malus caronaria	Fair			N	R	Н
410	CA	11	Crab Apple	Malus caronaria	Good			N	S	N
411	CA	<del>12</del>	Crab Apple	Malus caronaria	Fair			¥	R	¥
412	CA	11	Crab Apple	Malus caronaria	Good			N	R	¥
413	<del>S</del> /4	9	Norway Spruce	Picea Abies	Fair			N	R	¥
414	<del>S</del> /4	<del>12</del>	Norway Spruce	Picea Abies	Fair			N	R	¥
415	NS	<del>13</del>	Norway Spruce	Picea Abies	Fair			N	R	¥
416	CA	<del>12</del>	Crab Apple	Malus caronaria	Good	<del>x1</del>		¥	R	N
417	CA	<del>10</del>	Crab Apple	Malus caronaria	Fair			N	R	N
418	CA	8	Crab Apple	Malus caronaria	Good			N	R	N
419	CA	8	Crab Apple	Malus caronaria	Good			N	S	N
420	NS.	<del>13</del>	Norway Spruce	Picea Abies	Good			N	R	¥
421	₩S	11	White Spruce	Picea glauca	Fair			N	R	N
422	ws	9	White Spruce	Picea glauca	Fair			N	S	N
423	MW	16	White Mulberry	Morus alba	Fair			N	S	N
424	₩W	13	White Mulberry	Morus alba	Fair			N	R	Н
434	BX	21	Box elder	Acer negundo	Fair	<b>×4</b>		N	R	N

REGULATED ON SITE TREES		
REGULATED TREES REMOVED:	14	
SPECIMEN TREES REMOVED:	5	
2" SPECIMEN REPLACMENT TREES:	22	TREES (2" DECIDUOUS OR 8' EVERGREEN)
SPECIMEN TREES TO REMAIN ON-SITE:	0	TREES
REPLACEMENT REQUIRED:	14+22-0=36	TREES (2" DECIDUOUS OR 8' EVERGREEN)



TOTAL TREES ON SITE: EXEMPT TREES IN BUILDING: TREES TO REMAIN ON SITE % TREES TO REMAIN: (6)/(25-10) 40.0%

> TREE PROTECTION WILL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE

> NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN; INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES DURING CONSTRUCTION, NO PERSON SHALL ATTACH

ANY DEVICE OR WIRE TO ANY REMAINING TREE ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH

FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF

FENCE SHALL BE PLACED IN A CIRCLE WITH A MINIMUM RADIUS OF 1' PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND

4'HIGH PROTECTIVE FENCING WITH STEEL POSTS - 10' O.C.

TREE PROTECTION DETAIL SCALE: 1'' = 3'-0''

NOT FOR CONSTRUCTION CITY FILE NO. 22-041 SECTION 23

BLA DES. DRAWING NUMBER:

CITY OF ROCHESTER HILLS NOTES:

ALL TREES ON ADJACENT PROPERTIES MUST BE PROTECTED. THE TREE PROTECTIVE FENCING MAY BE PLACED ALONG THE ACTUAL PROPERTY LINE IF THE BRANCHES OF THE TREES ON THE ADJACENT PROPERTIES DO NOT OVERHANG ONTO THE SITE BEING DEVELOPED. IF THE BRANCHES OVERHANG ONTO THE AREA OF THE SITE BEING DEVELOPED, THE TREE PROTECTIVE FENCING MUST BE PLACED AT THE ACTUAL DRIP LINE OF THESE TREES. IT SHOULD ALSO BE NOTED THAT THE SILT FENCING MUST BE PLACED ON THE DEVELOPMENT SIDE OF THE TREE PROTECTIVE FENCING. THE SILT FENCING MAY NOT BE PLACED BETWEEN THE TREE BEING PRESERVED AND THE TREE PROTECTIVE FENCING. IF ANY REGULATED TREES ARE MANAGED ON THE ADJACENT PROPERTIES, THE DAMAGED TREES WILL BE EITHER REPLACED ON THE OWNER'S PROPERTY ON AN INCH FOR INCH BASIS OR A FINE IN THE SUM OF \$122.00 PER CALIPER INCH WILL BE ISSUED AGAINST THE DEVELOPMENT. THIS FINE WILL BE DUE PRIOR TO BUILDING PERMITS BEING ISSUED. IF YOU HAVE ANY QUESTIONS OR NEED ADDITIONAL INFORMATION, CALL THE CITY'S PLANNING DEPARTMENT AT 248-656-4660.

• The tree protection fencing (TPF) shall be erected per the plans approved by the City of Rochester Hills Planning Department. The TPF must be in place and be inspected by the City of Rochester Hills' Planning Staff prior to the start of any earthwork or construction operations. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule a TPF inspection. The TPF shall remain in place throughout the entire construction process or until the City authorizes the removal or issues a final Certificate of Occupancy

• Upon completion of grading and the installation of the infrastructure, a second inspection of the TPF and the trees designated for preservation is required by the City of Rochester Hills' Forester prior to the start of any additional construction. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule this TPF inspection.

A final inspection by the City of Rochester Hills Planning Staff is required at the end of the warranty and

regulated trees not approved for removal, including, but not limited to, land clearing, grubbing, trenching, grading or filling; no person shall place any solvents, building material, construction equipment, soil deposits or

harmful materials within the drip line limit of trees designated for preservation.

maintenance period. The Landscape Maintenance Bond will not be released until this inspection is complete and all related issues are resolved. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule this inspection. • The Tree Conservation Ordinance prohibits any construction or development activities within the drip line of any

• Proposed grades are to match the existing elevations outside the limits of the TPF. No grading either cut or fill is permitted within the drip line of any tree designated for preservation.

designated to be preserved.

 All utility service requests must include notification to the installer that protected trees must be avoided. All trenching shall occur outside the TPF.

• During the construction process no person shall attach any device or wire/cable/card/rope to an existing tree

• Swales shall be routed to avoid the area within the drip line of the only tree designated for preservation. Swales shall be constructed so as to not direct any additional flow into the drip line of a tree designated for

• If tree protection cannot be maintained for a tree throughout entire period required, the replacement of that tree will be required on an inch for inch basis prior to the issuance of any Certificate of Occupancy.

 Regulated trees located off-site on adjacent properties that may be affected by construction operations must be protected defined herein.

 The TPF shall consist of four-foot high orange snow fencing to be installed around the drip line of all trees. designated to be saved. This fencing shall be supported by six-foot metal T-bar posts five-feet on center and driven a minimum of 24" into the ground. The PTF fencing shall remain upright and securely in place for the

 Prior the release of the Performance Bond, the City of Rochester Hills Forestry Division needs to inspec existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestr require the developer to remove and possibly replace any such trees.

## Plan View Scale - 1'' = 40ft

1575 FARNBOROUGH DR.

PARCEL NO. 15-23-300-039

### **General Note**

- 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- 2. PARKING LOT CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' 0"
- 3. PROPERTY LINE CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 5' 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-

### Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

## **Drawing Note**

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

# **Alternates Note**

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

### **Mounting Height Note**

MOUNTING HEIGHT IS MEASURED FROM GRADE TO SKY SIDE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

### Fixture Note

ALL FIXTURES SHALL COMPLY WITH THE ILLUMINATING AMERICA.

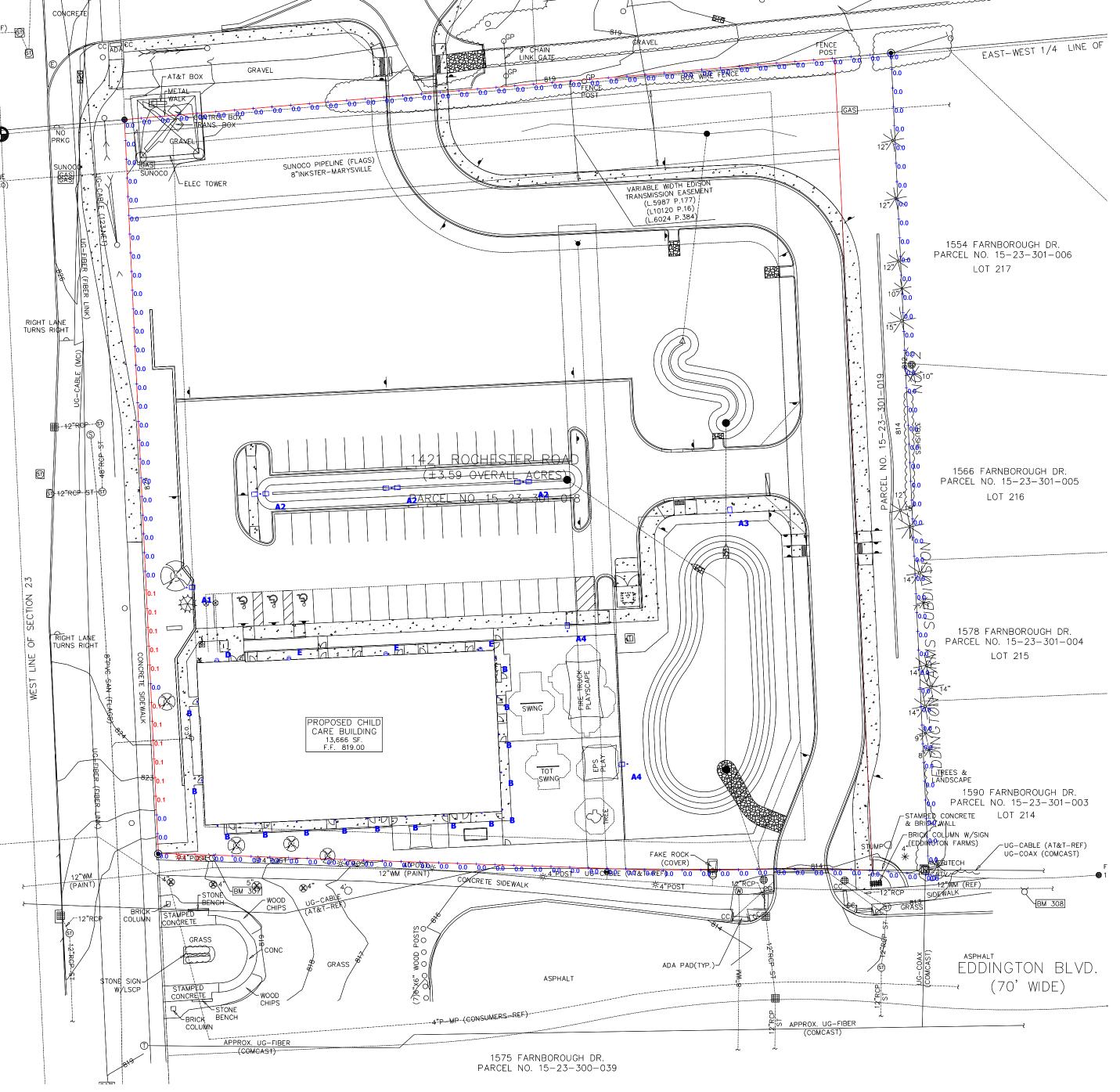
### **Controls Note**

ALL EXTERIOR LIGHTING IN NON-RESIDENTIAL DISTRICTS SHALL INCORPORATE AUTOMATIC TIMERS AND SHALL BE TURNED OFF BETWEEN THE HOURS OF MIDNIGHT AND SUNRISE, EXCEPT FOR LIGHTING NECESSARY FOR SECURITY PURPOSES OR ACCESSORY TO A USE THAT CONTINUES AFTER MIDNIGHT. SECURITY LIGHTING SHALL, TO THE EXTENT PRACTICAL, USES SENSORS AND DIM OR TURN OFF WHEN

ENGINEERING SOCIETY OF NORTH

(70' WIDE)

THERE IS NO ACTIVITY ON SITE.

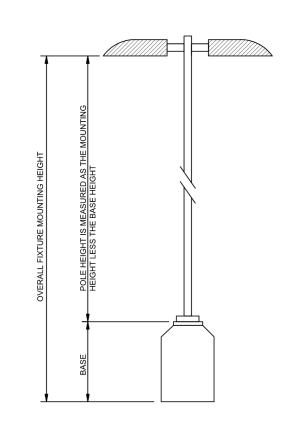


## **Plan View - PROPERTY LINE**

Scale - 1" = 40ft

Symbol	Label	QTY	Manufacturer	Description	Lamp	Mounting Height
	A1	1	Lithonia Lighting	D-Series Size 0 Area Luminaire 3000K	LED	15'-0"
	A2	3	Lithonia Lighting	D-Series Size 0 Area Luminaire 3000K	LED	15'-0"
	A3	1	Lithonia Lighting	D-Series Size 0 Area Luminaire 3000K	LED	15'-0"
	A4	2	Lithonia Lighting	D-Series Size 0 Area Luminaire 3000K	LED	15'-0"
	В	13	Gotham Architectural Lighting	EVO 4IN ROUND CYLINDER, WALL MOUNT, 3000K	LED	9'-0"
	С	2	Lithonia Lighting	WDGE2 LED WALLPACK 3000K	LED	15'-0"
	D	1	Lithonia Lighting	WDGE3 LED WALLPACK 3000K	LED	15'-0"
	Е	3	Lithonia Lighting	WDGE3 LED WALLPACK 3000K	LED	15'-0"

Statistics									
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max		
DRIVEWAY	+	0.5 fc	0.8 fc	0.3 fc	2.7:1	1.7:1	0.6:1		
OVERALL	+	0.4 fc	8.3 fc	0.0 fc	N/A	N/A	0.0:1		
PARKING LOT	+	1.3 fc	2.0 fc	0.3 fc	6.7:1	4.3:1	0.7:1		
PARKING LOT (WITHIN 25' OF BUILDING)	+	2.6 fc	3.9 fc	2.0 fc	2.0:1	1.3:1	0.7:1		
PEDESTRIAN AREA (ACCESSIBLE ROUTE)	+	0.6 fc	0.8 fc	0.2 fc	4.0:1	3.0:1	0.8:1		
PEDESTRIAN AREA (CHILD CARE BUILDING: EAST AND SOUTH SIDEWALK)	+	0.6 fc	1.0 fc	0.2 fc	5.0:1	3.0:1	0.6:1		
PLAYGROUND	+	0.8 fc	4.8 fc	0.2 fc	24.0:1	4.0:1	0.2:1		
PROPERTY LINE	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A	0.0:1		



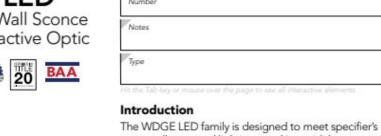




Designer DB/KB Date 3/01/2023 rev. 3/10/2023 rev. 4/19/2023 rev. 5/23/2023 Scale Not to Scale Drawing No.

#23-12467-V4





every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance. WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WDGE2 LED

Rev. 11/21/22

Schedule

### **WDGE LED Family Overview**

LIGHTING.

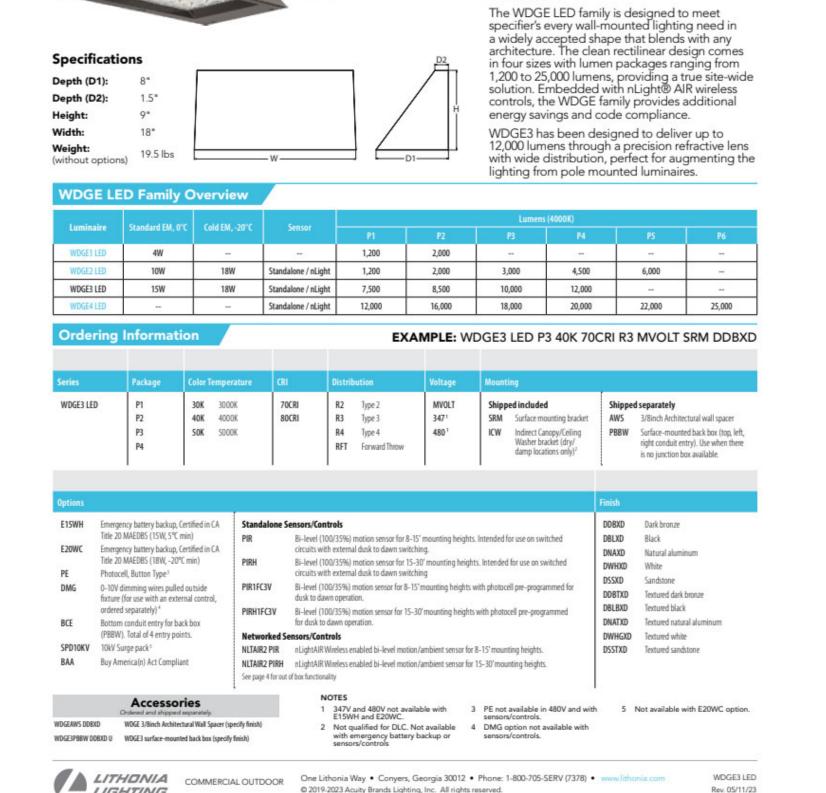
		_											
The second	One in	Construction and	Column 2005	200000	Approximate Lumens (4000K, 80CRI)								
Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	P0	P1	P2	P3	P4	P5	P6		
WDGE1 LED	Visual Comfort	4W		=	750	1,200	2,000	=	177.0	-			
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight		1,200	2,000	3,000	4,500	6,000			
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	_			
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight		7,500	8,500	10,000	12,000	-			
WDGE4 LED	Precision Refractive			Standalone / nLight		12,000	16,000	18,000	20,000	22,000	25,00		

Orderin	g Inforn	nation		EX	AMPLE: \	WDGE2 LED P3 40K 8	OCRI VF MVOLT SRM DDB)
Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting	
WDGE2 LED	P0 <sup>1</sup> P1 <sup>2</sup> P2 <sup>2</sup> P3 <sup>2</sup>	27K 2700K 30K 3000K 40K 4000K 50K 5000K	70CRI <sup>4</sup> 80CRI LW <sup>3</sup> Limited Wavelength	T1S Type I Short T2M Type II Medium T3M Type III Medium T4M Type IV Medium	MVOLT 347 <sup>5</sup> 480 <sup>3</sup>	Shipped included  SRM Surface mounting bracket  ICW Indirect Canopy/Ceiling Washer bracket (dry/	Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry). Use when there

MINICEL	P1 <sup>2</sup> P2 <sup>2</sup> P3 <sup>2</sup> P4 <sup>2</sup>	30K 40K 50K AMB <sup>2</sup>	3000K 4000K 5000K Amber	80CRI LW <sup>3</sup> Limiti Waveleng	ed T3M th T4M	lype II Medium fype III Medium fype IV Medium forward Throw Medium	347 <sup>3</sup> 480 <sup>3</sup>	SRM	Surface mounting bracket Indirect Canopy/Ceiling Washer bracket (dry/ damp locations only) <sup>6</sup>	AWS PBBW	S urface right co	Architectural wall spacer e-mounted back box (top, left, nduit entry). Use when there nction box available.
Options										Fir	ish	
E10WH	Emergency batter (10W, 5°C min) Emergency batter				Standalone S PIR	ndalone Sensors/Controls  Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching.					DDBXD Dark bronze  DBLXD Black  DNAXD Natural aluminum  DWHXD White  DSSXD Sandstone  DDBTXD Textured dark bronze	Black
PE'	(18W, -20°C min) Photocell, Button				PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching					D		White
DMG <sup>a</sup>	0-10V dimming v an external contro			ruse with	PIR1FGV	Bi-level (100/35%) motion sensor for 8–15' mounting heights with photocell pre- programmed for dusk to dawn operation.						
BCE	Bottom conduit e points.	onduit entry for back box (PBBW). Total of 4 entry  PIRH1FC3V  Bi-level (100/35%) motion sensor for 15-30'mounting heights with photocell programmed for dusk to dawn operation.					1.00	BLBXD NATXD	Textured black Textured natural aluminum			
BAA	A Buy America(n) Act Compliant Networked Sensors/Controls							D	WHGXD	Textured white		
					NLTAIR2 PIR NLTAIR2 PIRH See page 4 for out						SSTXD	Textured sandstone

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LITHONIA COMMERCIAL OUTDOOR One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com



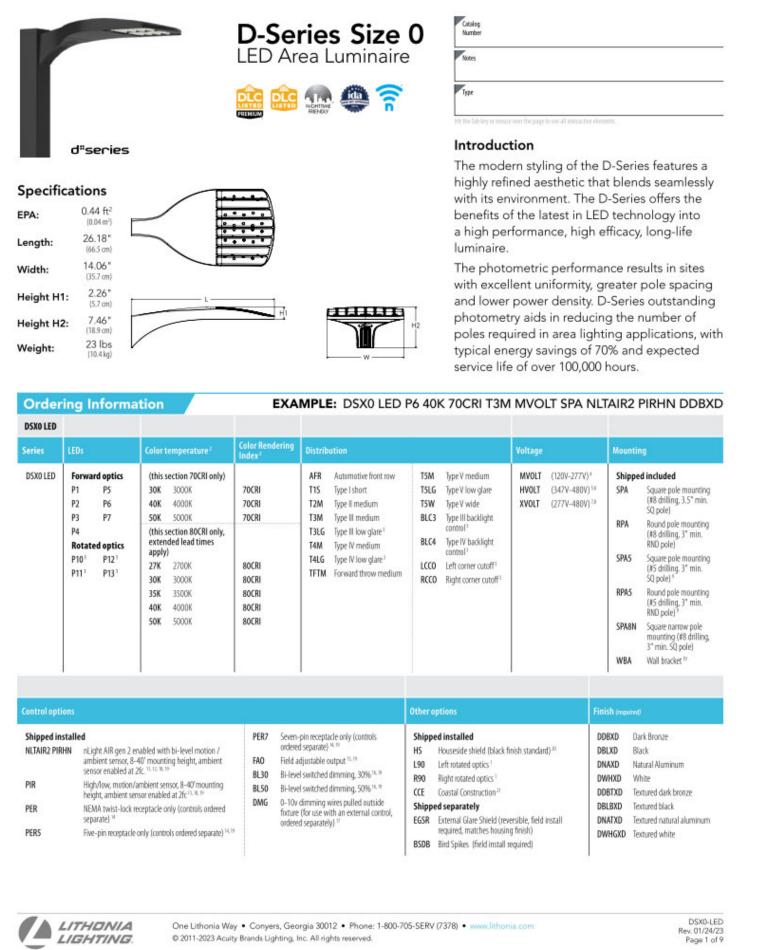
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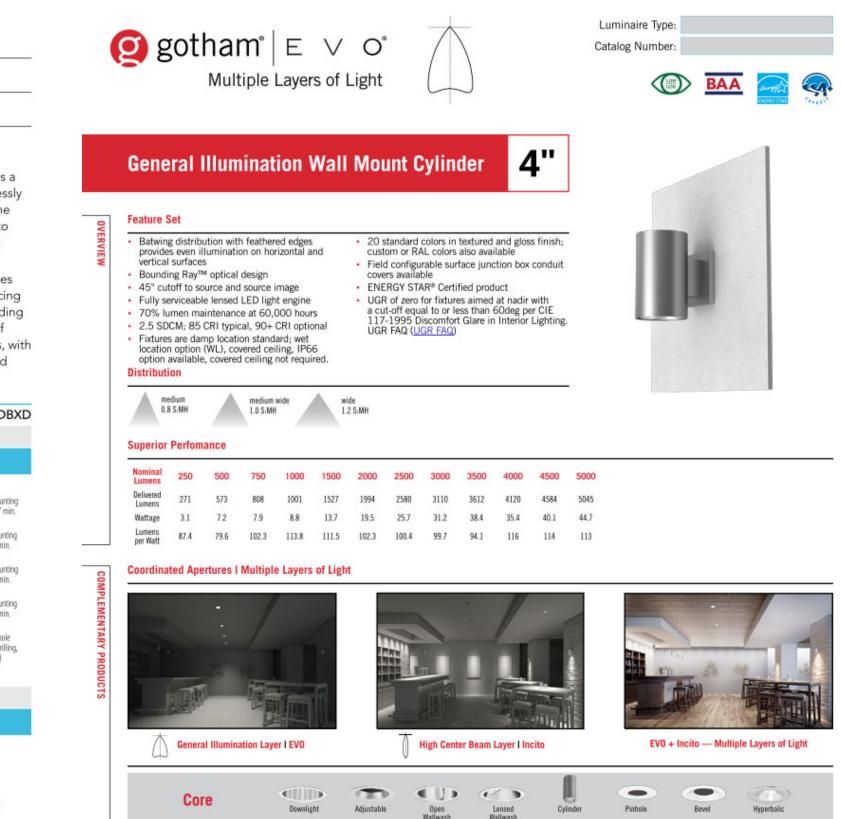
WDGE3 LED

PREMIUM

Architectural Wall Sconce

BAA





page 1 of 9

GOTHAM ARCHITECTURAL DOWNLIGHTING | 1400 Lester Road Convers, GA 30012 | P 800-705-SERV (7378) | gothamlighting.com © 2014-2022 Acuity Brands Lighting Inc. All Rights Reserved. Rev. 10/30/22 Specifications subject to change without notice. The product images shown are for illustration purposes only and may not be an exact representation of the product.

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	Е	3	Lithonia Lighting	WDGE3 LED WALLPACK 3000K	LED	15'-0"

COMMERCIAL OUTDOOR

LIGHTING.

## **General Note**

Rev. 05/11/23

1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.

COMMERCIAL OUTDOOR

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## **Mounting Height Note**

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### Fixture Note

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### **Controls Note**

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DB/KB Date 3/01/2023 rev. 3/10/2023 rev. 4/19/2023 rev. 5/23/2023 Scale Not to Scale Drawing No. #23-12467-V4

Designer

SCHOOL **PRIMROSE** 

3200 WINDY HILL ROAD, SUITE 1200 E ATLANTA, GEORGIA 30339-5640 THESE DRAWINGS AND THE DESIGN REPRESENTED HEREBY ARE THE EXCLUSIVE THESE DRAWINGS AND THE DESIGN REPRESENTED HEREBY ARE THE EXCLUSIVE PROPERTY OF PRIMROSE SCHOOL FRANCHISING CO. REPRODUCTION OR ANY USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT THE EXPRESS WRITTEN CONSENT OF PRIMROSE SCHOOL FRANCHISING CO. IS PROHIBITED. ANY UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

NOT FOR CONSTRUCTION

Professional of Record: ARCH POR NAME LICENSE NO: EXP. DATE:

Drawn/Checked	DSC / AK
Project Number	230292
Bid Date	//-
Permit Date	//-
For Construction	//-

FLOOR PLAN

# **BUILDING PROGRAM - MI**

Primrose School - ROCHESTER HILLS, MI 04/10/2023

Name	Ages		Michigan State	"	PSFC Staff	PSFC Max	Proposed Room	Staff	Required
	7.800	Per Child	Ratio	Group Size	Ratio	Group Size	Capacity	Required	Area S.F.
A1 - Infants	6 Wks - 12 Months	50	1:4	12	1:4	8	8	2	400
A2 - Infants	6 Wks - 12 Months	50	1:4	12	1:4	8	8	2	400
B1 - Toddlers	12 - 18 Months	50	1:4	12	1:6	12	12	3	600
B2 - Toddlers	18 - 23 Months	50	1:4	12	1:6	12	12	3	600
EP1 - Early Preschool	24 - 29 Months	50	1:4	12	1:8	16	12	3	600
EP2 - Early Preschool	30 - 35 Months	35	1:8	16	1:8	16	16	2	560
Pathways	30 - 42 Months	35	1:8	16	1:8	16	16	2	560
C1 - Preschool	3 Years	35	1:10	30	1:12	24	20	2	700
C2 - Preschool	3 Years	35	1:10	30	1:12	24	20	2	700
D1 - Pre - Kindergarten	4 Years	35	1:12	36	1:12	24	24	2	840
D2 - Pre - Kindergarten	4 Years	35	1:12	36	1:12	24	24	2	840
EXP - Kindergarten / After School	5 Years +	35	1:18	36	1:15	30	30	2	1050
NOTE: S.F. VALUES LISTED ON CHAI	202	27	7850						

NOTE: S.F. VALUES LISTED ON CHART ARE FOR LICENSED CAPACITY ALLOWED BY THE STATE OF MICHIGAN.

OCCUPANT LOAD S.F. AND VALUES WILL COMPLY WITH THE BUILDING CODE.

### OCCUPANCY GROUP CLASSIFICATION

E (DAYCARE) ACCESSORY USE S-1 (STORAGE)

ACCESSORY USE B (BUSINESS) **CONSTRUCTION CLASSIFICATION** 

TYPE V-B, UNPROTECTED SPRINKLERED

### BUILDING AREA (PER TABLE 506.2):

ALLOWABLE AREA: 38,000 SF

PROPOSED AREA: 13,586 SF

### **BUILDING HEIGHT:**

MAXIMUM ALLOWABLE BUILDING HEIGHT (PER TABLE 504.3): 60'-0" ALLOWABLE NUMBER OF STORIES: 2

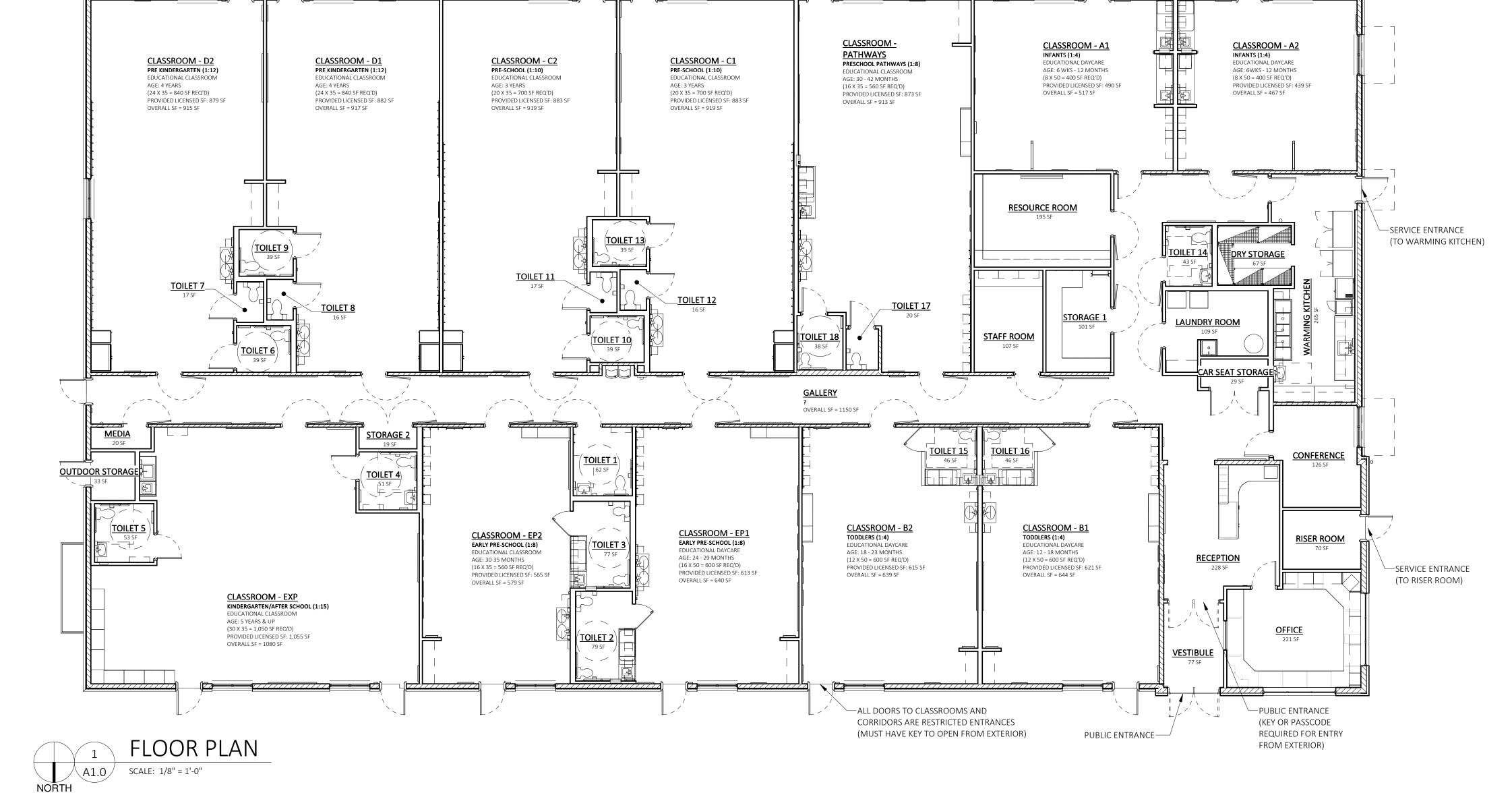
PROPOSED BUILDING HEIGHT: 34'-7"

PROPOSED NUMBER OF STORIES: 1

SPRINKLER SYSTEM:

BUILDING AND ATTIC WILL BE EQUIPPED THROUGHOUT WITH AN

AUTOMATIC SPRINKLER SYSTEM.



 $\langle X \rangle$ 

**PRIMROSE** 

Drawn/Checked	DSC / AKB
Project Number	2302925
Bid Date	//
Permit Date	//

**EXTERIOR ELEVATIONS** 

A4.0

For Construction



12 DOWNSPOUTS TIED INTO UNDERGROUND STORM SEWER BELOW GRADE.

14 4' - 0" HIGH SOLID VINYL FENCE WITH 3' - 0"W GATE(S). COLOR: TAN

SIGN. COORDINATE LOCATION WITH LOCAL FIRE OFFICIAL.

EXTERIOR FINISH LEGEND

16 RTU SCREEN. SEE NOTE BELOW\*\*\*

MARK DESCRIPTION

METAL ROOF

STONE WAINSCOT

TRIM-2 MTL TRIM @ METAL ROOF

SHUTTERS

LOUVERS

DR - 2 | FULL LITE DOOR

WIN - 1 VINYL WINDOWS

BRICK

WEATHER VANE

DS - 1 | SCUPPERS, DOWNSPOUTS @

HALF LITE DOORS

WIN - 2 VINYL WINDOWS (@ OFFICE)

BRICK SOLDIER COURSE

**GABLED ROOF** 

ACC-1

BOARD & BATTEN SIDING

FASCIA TRIM @ METAL ROOF

STONE CAP & WINDOW SILL

13 KNOX BOX OR APPROVED EQUAL. COORDINATE LOCATION WITH LOCAL FIRE OFFICIAL

15 BEIGE ALUMINUM PLAQUE W/6" REFLECTIVE BLACK VINYL NUMBERS. PROVIDED BY 1 HOUR

SPECIFICATION

MISC METAL TRIM & FLASHING ANY MISC METAL FLASHING AND TRIM NOT NOTED AS

DIRECTION AS REQ'D.

COLOR: COBBLESTONE

COLOR: TO MATCH MR-1

FOR ADDITIONAL INFORMATION.

FOR ADDITIONAL INFORMATION.

FOR ADDITIONAL INFORMATION.

SEE WINDOW SCHEDULE.

SCHEDULE

DOWN SPOUTS U.N.O.

"COBBLESTONE"

COLOR: TO MATCH "MR-1"

TRIM-1 | MTL COPING @ PARAPET WALLS | COLOR TO MATCH JAMES HARDIE "COBBLESTONE"

GROUT: LIGHT BUFF COLOR

BERRIDGE CEE-LOCK SYSTEM. COLOR: DARK BRONZE.

PRECAST BULLNOSE STONE SILL. COLOR: COBBLESTONE

LONESTAR STONE - LIBERTY CLASSIC - AUTUMN.

TRIM-1 OR TRIM-2 SHOULD MATCH COLOR OF ADJACENT SURFACE. CONTACT ARCHITECT FOR

HARDIE PANEL (4' X 10') & HARDIE TRIM BATTEN BOARDS (2 1/2" WIDE @ 2' - 0" O.C.) FINISH: SMOOTH.

EKENA MILLWORK: TWO BATTEN W/Z-BAR BOARD & BATTEN COMPOSITE SHUTTERS. 3' - 6"T x 1' - 6"W. SHUTTERS TO BE ORDERED PRIMED, PAINT TO MATCH

AMERICAN LOUVER & VENT COMPANY, TGV81260 OR

APPROVED EQUAL. COLOR: TO MATCH "COBBLESTONE"

LARGE COPPER ROOSTER WEATHERVANE. SEE 1A/A6.3

COLOR: TO MATCH "COBBLESTONE". 6" GUTTERS AND

EXTERIOR INSULATED METAL HALF LITE DOOR; COLOR

(INTERIOR & EXTERIOR): WHITE. SEE DOOR SCHEDULE

EXTERIOR INSULATED METAL FULL LITE DOOR : COLOR (INTERIOR & EXTERIOR): WHITE. SEE DOOR SCHEDULE

ANDERSEN: SILVERLINE 2200 SERIES. COLOR: WHITE.

ANDERSEN: 100 SERIES. COLOR: WHITE. SEE WINDOW

COLUMBUS BRICK; COLOR: VIRGINIAN MODULAR COLUMBUS BRICK: COLOR: VIRGINIAN MODULAR

TYPICAL DIMENSIONS AT SCUPPER OPENINGS 1' - 6" 2' - 0" 1' - 6" T.O. PARAPET 18" - 0" A.F.F. ± FINISH FLOOR
0' - 0" 

SOUTH ELEVATION SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

(WV-1)

DS-1 BR-2

(MR-1)

T.O. CUPOLA 34' - 7" A.F.F. ± MR-1 T.O. TOWER TRUSS 28' - 7 5/8" A.F.F. ± Consider crown \(\text{WD-1}\)-\(\text{VD-2}\)-\(\text{DS-2}\)molding along top of each facade, north, CENTERLINE OF TRIMBOARD
SEE SECTIONS FOR ELEVATION south, east B.O. SOLDIER COURSE
SEE SECTIONS FOR ELEVATION (BR-1) T.O. WATERTABLE

SEE SECTIONS FOR ELEVATION

ST-1

FINTS FINISH FLOOR
0' - 0"

 $\begin{array}{c|c}
 & L \\
\hline
 & MR-1
\end{array}$   $\begin{array}{c|c}
 & L \\
\hline
 & DR-1
\end{array}$   $\begin{array}{c|c}
 & WIN-1
\end{array}$ WIN-1 DR-1  $\langle MR-1 \rangle$   $\langle DR-1 \rangle$   $\langle WIN-1 \rangle$  $\frac{1}{MR-1}$ NORTH ELEVATION

\*\*\* ALL SIGNS MUST MEET THE REQUIREMENTS OF THE CITY AND BE APPROVED UNDER SEPARATE PERMITS ISSUED BY THE BUILDING DEPARTMENT\*\*\*

\*\*\* ALL ROOFTOP MECHANICAL EQUIPMENT WILL BE SCREENED UTILIZING RTU SCREENS. SCREENS WILL BE AT A MINIMUM AS TALL AS THE TALLEST PIECE OF MECHANICAL EQUIPMENT. SCREENS TO BE PAINTED TO MATCH SIDING COLOR ON BUILDING.\*\*\*

GUTTERS ALONG METAL ROOF | COLOR: TO MATCH "MR - 1"

 $\langle MR-1 \rangle$ (WD-2)  $\langle MR-1 \rangle$ 7 5/8" A.F.F. ± (3)— (WD-2) (MR-1) (WD-1)-(DS-1) C.L. OF LOGO 23' - 7" A.F.F. ± 3 T.O. PARAPET

T.O. PARAPET

18" - 0" A.F.F. ±

BR-2

BR-2 DS-2 (WD-1) BR-2 T.O. SOLDIER COURSE
SEE SECTIONS FOR ELEVATION (MR-1) BR-1 ST-2 T.O. WATERTABLE

SEE SECTIONS FOR ELEVATION

ST-1 (ST-1) FINISH FLOOR
0' - 0" FINISH FLOOR (WIN-1) (MR-1) (WIN-1) (MR-1) (ACC-1) (6) (WIN-1) (5) (11) (DR-1) $\overline{\mathsf{DR-1}}$   $\overline{\mathsf{MR-1}}$ (MR-1) (DR-1) (5) (11) (DR-1)MR-1

WEST ELEVATION A4.0 SCALE: 1/8" = 1'-0"

EAST ELEVATION

A4.0 | SCALE: 1/8" = 1'-0"



