

SITE PLAN DRAWINGS FOR ROCHESTER RETAIL

PART OF THE NE 1/4 OF SECTION 34, T. 3N., R. 11E.,
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

LEGAL DESCRIPTION

(Per Chirco Title Agency, Inc. and agency for Fidelity National Title Insurance Company, File No.: R-120530F, dated April 06, 2012)

Parcel 1:
Lot 10, AVONCROFTS SUBDIVISION, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, more particularly described as: Beginning at the point of intersection of the South line of Auburn Road (66 feet wide) with the West line of Rochester Road (66 feet wide), being the Northeast corner of said Lot 10; thence S00°02'20"W along the West line of Rochester Road (being the East line of said Lot 10), 101 feet to the Southeast corner of said Lot 10; thence West along the South line of said Lot 10, 214.06 feet to the Southwest corner of said Lot 10; thence N02°20'20"E along the West line of said Lot 10, 101.17 feet to a point on the South line of Auburn Road, being the Northwest corner of said Lot 10; thence S89°58'40"E along the South line of Auburn Road (being the North line of said Lot 10), 210 feet to the point of beginning.

Parcel 2:
The Northerly 50.00 feet of Lot 9, AVONCROFTS SUBDIVISION, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, more particularly described as: Beginning at a point on the Westerly line of Rochester Road, (M-150), 66 feet wide, said point being S00°02'20"W, 101.00 feet from the intersection of the Westerly line of Rochester Road with the Southerly line of Auburn Road (M-59) 66 feet wide; thence S00°02'20"W along said Westerly line of Rochester Road 50.00 feet to a point; thence due West, 216.07 feet to a point; thence N02°20'20"E, 50.04 feet to a point; thence due East, 214.06 feet to the point of beginning.

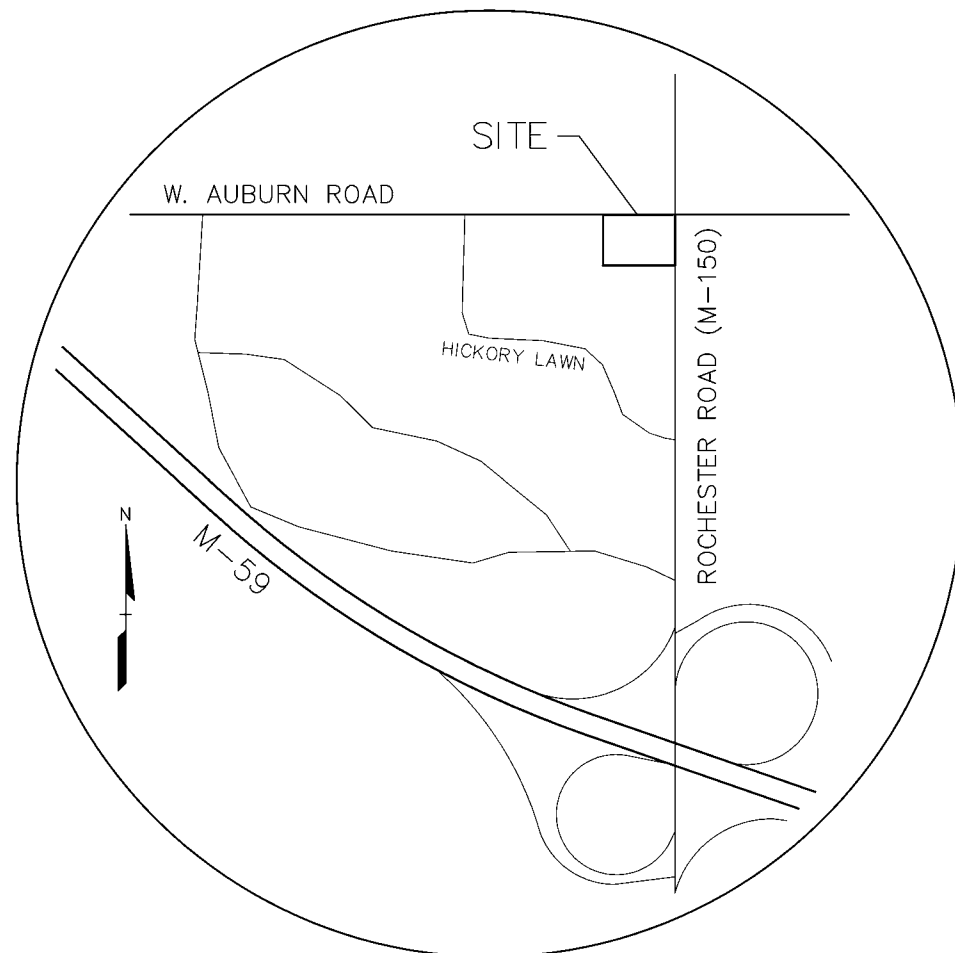
Tax Parcel 15-34-227-031

LEGAL DESCRIPTION

(Per Summa Engineering & Associates, Inc., ALTA/ACSM Land Title Survey Project No. 11-344, dated 8-11-2011)

3050 S Rochester Road:
Lot 7 and 8, also Lot 9 EXCEPT the North 50 feet thereof, Lots 11, 12 and 13 and also the North 100 feet of Lots 21, 22 and 23, AVONCROFTS SUBDIVISION, according to the Plat thereof, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, containing 193,483 sf. or 4.442 Acres, more or less.

Tax Parcel 15-34-227-037



LOCATION MAP - NOT TO SCALE

INDEX OF DRAWINGS:

- P-1 COVER SHEET
- P-2 TOPOGRAPHIC SURVEY
- P-3 PRELIMINARY SITE PLAN
- P-4 PRELIMINARY GRADING PLAN
- P-5 PRELIMINARY UTILITY PLAN
- P-6 PRELIMINARY DETAIL PLAN
- P-7 MDT RAMP DETAILS
- P-8 WB-50 TRUCK ACCESS PLAN
- P-9 FIRE TRUCK ACCESS PLAN

- TREE-1 TREE PRESERVATION PLAN
- L-1 LANDSCAPE PLAN

PHOTOMETRIC PLAN

BUILDING 'A' ARCHITECTURAL PLANS:

- R-1.3 FLOOR PLAN
- A-2.0 ELEVATIONS
- A-2.1 ELEVATIONS

BUILDINGS 'B', 'C', AND 'D' ARCHITECTURAL PLANS:

- A-1 CONCEPTUAL BUILDING ELEVATIONS & SIGN DETAILS
- A-1.1 CONCEPTUAL BUILDING ELEVATIONS
- A-2 CONCEPTUAL FLOOR PLAN BUILDING 'B'
- A-3 CONCEPTUAL FLOOR PLAN BUILDINGS 'C' & 'D'

APPLICANT/DEVELOPER:

ROCHESTER AUBURN ASSOCIATES
6750 OAKHILLS DRIVE
BLOOMFIELD HILLS, MI 48301
CONTACT: DORALD MARKUS
PHONE: (248) 892-2222
EMAIL: DSMARKUS@YAHOO.COM

PROJECT ARCHITECT:

ROGOVY ARCHITECTS
32500 TELEGRAPH ROAD, SUITE 250
BINGHAM FARMS, MI 48025
CONTACT: RACHEL L. SMITH
PHONE: (248) 540-7700
FAX: (248) 540-2710

LANDSCAPE ARCHITECT:

PROFESSIONAL ENGINEERING ASSOCIATES, INC.
2900 E. GRAND RIVER AVENUE
HOWELL, MI 48843
CONTACT: JEFF SMITH, R.L.A., LEED AP
PHONE: (517) 546-8583
FAX: (517) 546-8973

PROJECT ENGINEER:

PROFESSIONAL ENGINEERING ASSOCIATES, INC.
2430 ROCHESTER COURT, SUITE: 100
TROY, MICHIGAN 48063
CONTACT: RACHEL L. SMITH, P.E., LEED AP, CFM
PHONE: (248) 689-9090
FAX: (248) 689-1044
EMAIL: RACHEL.SMITH@PEAINC.COM

NO.	DATE	DESCRIPTION	BY	CHK	REVIEW

CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THESE DRAWINGS AND ARE ONLY APPROXIMATE. NO GUARANTEE IS BEING EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR OBTAINING THE EXACT UTILITY LOCATIONS AND DEPTHS PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. AND ARE SUBMITTED ON THE CONDITION THAT THEY ARE NOT TO BE USED, REPRODUCED, COPIED, IN WHOLE OR IN PART, OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. ALL RIGHTS ARE RESERVED. COPYRIGHT AND OTHER RIGHTS ARE HEREBY SPECIFICALLY RESERVED. © 2012 PROFESSIONAL ENGINEERING ASSOCIATES, INC.

CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, HOLD HARMLESS AND INDEMNIFY PEAI, INC. OR ALLEGIED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT. CERTAIN LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811

Know what's below
Call before you dig

MISS DIG System, Inc.
1-800-482-7171 www.missdig.net

PEAI

PROFESSIONAL ENGINEERING ASSOCIATES
2430 Rochester Ct. Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

ROCHESTER AUBURN ASSOC.
6750 OAKHILLS DRIVE
BLOOMFIELD HILLS, MI 48301

COVER SHEET
ROCHESTER RETAIL
PART OF THE NE 1/4 OF SECTION 34, T. 3N., R. 11E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. RLS DN SUR KTR P.M. JPB

ORIGINAL ISSUE DATE: MARCH 20, 2013
PEA JOB NO. 2012-074
SCALE: 1" = 30'
DRAWING NUMBER:
P-1

PRELIMINARY NOT FOR CONSTRUCTION CITY FILE #12-010

REF: L:\2012\074\DWG\12074_TPOBASE_OVERALL.DWG
REF: L:\2012\074\DWG\12074_SITE_PLANS\P-BASE-12074.DWG
REF: L:\2012\074\DWG\12074_SITE_PLANS\F-TBLK-12074.DWG

BENCHMARKS
(BENCHMARK DATUM IS GPS DERIVED NAVD88)

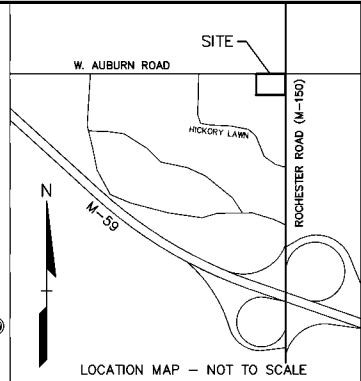
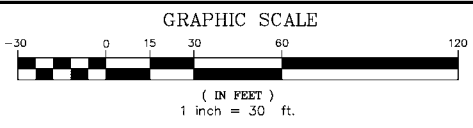
BM 300:
ARROW ON HYDRANT ON THE SOUTH SIDE OF AUBURN ROAD, ±270 FEET WEST OF THE WEST LINE OF ROCHESTER ROAD.
ELEV=782.28'

BM 301:
ARROW ON HYDRANT ON THE SOUTH SIDE OF AUBURN ROAD, ±140 FEET WEST OF THE WEST LINE OF ROCHESTER ROAD.
ELEV=780.70'

BM 302:
ARROW ON HYDRANT ±30 FEET NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #3050 ROCHESTER ROAD.
ELEV=758.40'

BM 303:
SET GEAR SPIKE IN SOUTHEAST FACE OF UTILITY POLE, SOUTH SIDE OF AUBURN ROAD, ±130 FEET NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #157 W. AUBURN.
ELEV=783.85'

BM 304:
ARROW ON HYDRANT, ±50 FEET SOUTH OF BUILDING #3050 ROCHESTER ROAD AND ±88 FEET NORTHWEST OF THE NORTHWEST CORNER OF BUILDING #3100 ROCHESTER ROAD.
ELEV=758.18'



NO.	DATE	REVISIONS
1	03/20/13	ISSUED FOR PERMITS
2	03/20/13	REVISED PER CITY REVIEW
3	03/20/13	REVISED PER CITY REVIEW

LEGAL DESCRIPTION
(Per Chirco Title Agency, Inc. and agency for Fidelity National Title Insurance Company, File No.: R-120530F, dated April 06, 2012)

Parcel 1: LOT 10, AVONCROFTS SUBDIVISION, as recorded in Liber 15, Page 15, of Plats, Oakland County Records, more particularly described as: Beginning at the point of intersection of the South line of Auburn Road (66 feet wide) with the West line of Rochester Road (66 feet wide), being the Northeast corner of said Lot 10; thence S00°02'20"W along the West line of Rochester Road (being the East line of said Lot 10), 101 feet to the Southeast corner of said Lot 10; thence West along the South line of said Lot 10, 214.06 feet to a point on the South line of Auburn Road, being the Northwest corner of said Lot 10; thence S89°58'40"E along the South line of Auburn Road (being the North line of said Lot 10), 210 feet to the point of beginning.

Parcel 2: The Northern 50.00 feet of Lot 9, AVONCROFTS SUBDIVISION, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, more particularly described as: Beginning at a point on the Westerly line of Rochester Road, (M-150), 66 feet wide, said point being S00°02'20"W, 101.00 feet from the intersection of the Westerly line of Rochester Road with the Southerly line of Auburn Road (M-59) 66 feet wide; thence S00°02'20"W along said Westerly line of Rochester Road 50.00 feet to a point; thence due West, 216.07 feet to a point; thence due East, 214.06 feet to the point of beginning.

Tax Parcel 15-34-227-031
LEGAL DESCRIPTION
(Per Summa Engineering & Associates, Inc., ALTA/ACSM Land Title Survey Project No. 11-344, dated 8-11-2011)

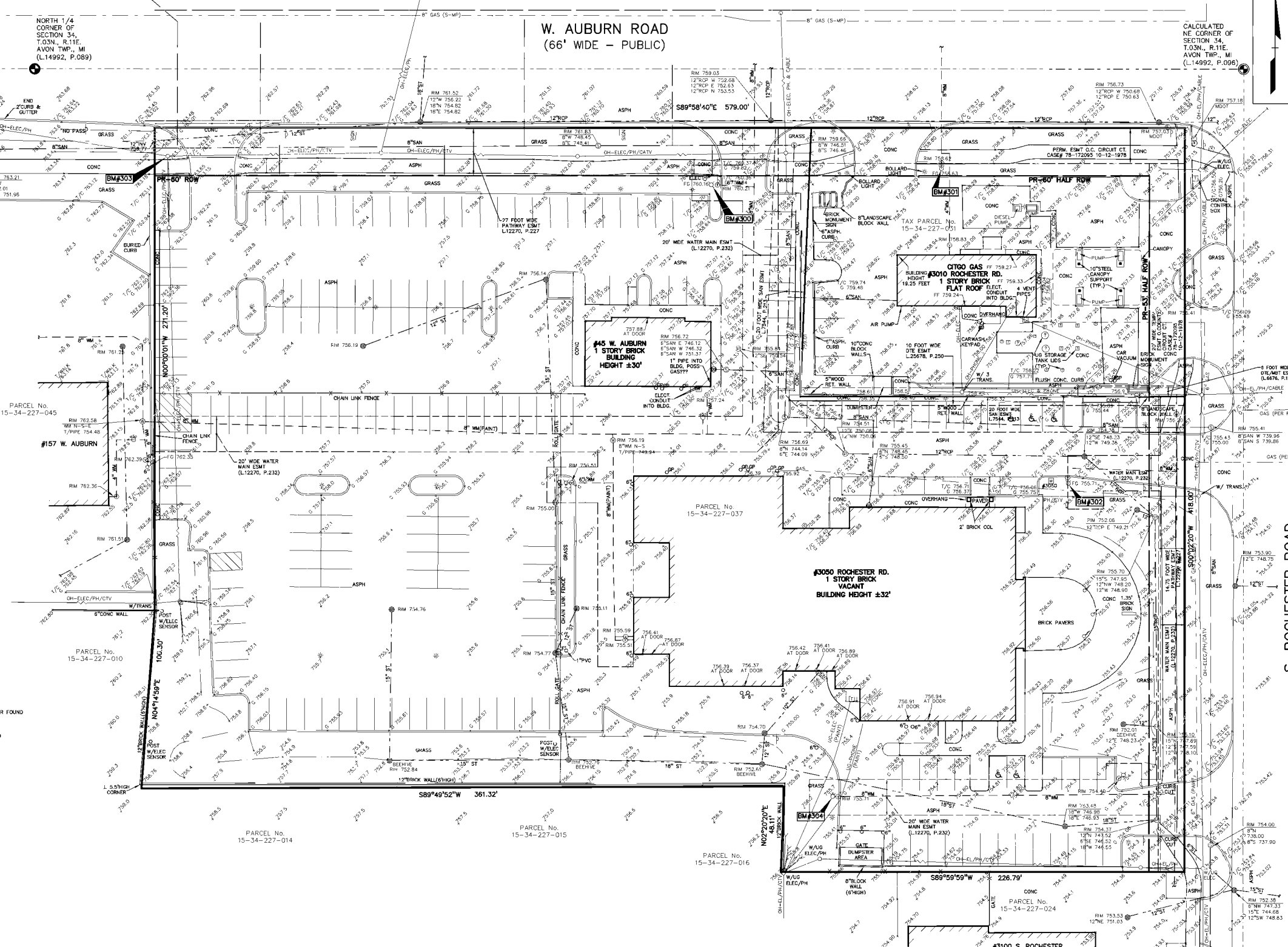
3050 S Rochester Road:
Lot 7 and 8, also Lot 9 EXCEPT the North 50 feet thereof, Lots 11, 12 and 13 and also the North 100 feet of Lots 21, 22 and 23, AVONCROFTS SUBDIVISION, according to the Plat thereof, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, containing 193,483 sq. ft. or 4.442 Acres, more or less.

Tax Parcel 15-34-227-037
FLOOD NOTE:
SUBJECT PARCELS LIE WITHIN AN AREA NOT MAPPED BY FEMA.



REFERENCE DRAWINGS

- ROCHESTER CITY MAP, RECEIVED 11-30-12
- ROCHESTER CITY MAP, RECEIVED 11-30-12
- ROCHESTER CITY MAP, RECEIVED 11-30-12
- AT&T MAP "MIDWEST", DATED 12/12/12
- CONSUMERS ENERGY MAP 03-61-34-1, DATED 08-07-09
- CONSUMER MAP, RECEIVED 11-28-12
- ALTA ACSM/LAND TITLE SURVEY FOR 3050 S. ROCHESTER ROAD, ROCHESTER HILLS, MI, BY SUMMA ENGINEERING & ASSOCIATES, INC., DATED 8-20-11
- SITE ENGINEERING PLAN FOR 3010 S. ROCHESTER ROAD, ROCHESTER HILLS, MI, BY AIR SECKER & ASSOCIATES, INC., DATED 11-5-1998
- AS-BUILT PLAN FOR MEADOWBROOK DOXXE, BY STENROSSE ASSOCIATES, DATED 5-1-1993



NOTE: SEE SHEET TREE-1 FOR TREE INVENTORY

S. ROCHESTER ROAD (VARIABLE WIDTH - PUBLIC)



CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS BEING EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE EXACT UTILITY LOCATIONS AND DEPTHS PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. NO PART OF THIS DRAWING OR DESIGN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. ALL RIGHTS ARE RESERVED. PROFESSIONAL ENGINEERING ASSOCIATES, INC. IS A PROFESSIONAL ENGINEERING FIRM AND IS NOT A CONTRACTOR. THE DESIGNER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE PROJECT AND DOES NOT INCLUDE THE CONSTRUCTION OF THE PROJECT.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811

Know what's below before you dig

MISS DIG System, Inc.

1-800-482-7171 www.missdig.net

PROFESSIONAL ENGINEERING ASSOCIATES

2430 Rochester Ct. Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peaac.com

ROCHESTER AUBURN ASSOC.

6750 OAK HILLS DRIVE
BLOOMFIELD HILLS, MI 48301

TOPOGRAPHIC SURVEY

ROCHESTER RETAIL

PART OF THE WESTERN MICHIGAN
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. RLS. DN. SUR. KTR. P.M. JPB

PRELIMINARY NOT FOR CONSTRUCTION CITY FILE #12-010

ORIGINAL ISSUE DATE: MARCH 20, 2013
PEA JOB NO. 2012-074
SCALE: 1" = 30'
DRAWING NUMBER: P-2

REF: L:\2012\074\DWG\12074_TPOBASE_OVERALL.DWG
REF: L:\2012\074\DWG\12074_TPOBASE_OVERALL.DWG
REF: L:\2012\074\DWG\12074_TPOBASE_OVERALL.DWG

BENCHMARKS
(BENCHMARK DATUM IS GPS DERIVED NAVD88)

BM 300:
ARROW ON HYDRANT ON THE SOUTH SIDE OF AUBURN ROAD, ±270 FEET WEST OF THE WEST LINE OF ROCHESTER ROAD.
ELEV=782.28'

BM 301:
ARROW ON HYDRANT ON THE SOUTH SIDE OF AUBURN ROAD, ±140 FEET WEST OF THE WEST LINE OF ROCHESTER ROAD.
ELEV=780.70'

BM 302:
ARROW ON HYDRANT ±30 FEET NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #3050 ROCHESTER ROAD.
ELEV=758.40'

BM 303:
SET GEAR SPIKE IN SOUTHEAST FACE OF UTILITY POLE, SOUTH SIDE OF AUBURN ROAD, ±130 FEET NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #157 W. AUBURN.
ELEV=783.85'

BM 304:
ARROW ON HYDRANT, ±50 FEET SOUTH OF BUILDING #3050 ROCHESTER ROAD AND ±85 FEET NORTHWEST OF THE NORTHWEST CORNER OF BUILDING #3100 ROCHESTER ROAD.
ELEV=758.18'

LEGAL DESCRIPTION
(Per Chiro Title Agency, Inc. and agency for Fidelity National Title Insurance Company, File No.: R-120530F, dated April 06, 2012)

Parcel 1:
Lot 10, AVONCROFTS SUBDIVISION, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, more particularly described as: Beginning at a point of intersection of the South line of Auburn Road (66 feet wide) with the West line of Rochester Road (66 feet wide), being the Northeast corner of said Lot 10; thence S00°02'20"W along the West line of Rochester Road (being the East line of said Lot 10), 101 feet to the Southeast corner of said Lot 10; thence West along the South line of said Lot 10, 214.06 feet to the Southwest corner of said Lot 10; thence N02°20'20"E along the West line of said Lot 10, 101.17 feet to a point on the South line of Auburn Road, being the Northwest corner of said Lot 10; thence S89°58'40"E along the South line of Auburn Road (being the North line of said Lot 10), 210 feet to the point of beginning.

Parcel 2:
The Northern 50.00 feet of Lot 9, AVONCROFTS SUBDIVISION, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, more particularly described as: Beginning at a point on the Westerly line of Rochester Road, (M-150), 66 feet wide, said point being S00°02'20"W, 101.00 feet from the intersection of the Westerly line of Rochester Road with the Southern line of Auburn Road (M-59) 66 feet wide; thence S00°02'20"W along said Westerly line of Rochester Road 50.00 feet to a point; thence due West, 216.07 feet to a point; thence N02°20'20"E, 50.04 feet to a point; thence due East, 214.06 feet to the point of beginning.

Tax Parcel 15-34-227-031

LEGAL DESCRIPTION
(Per Summo Engineering & Associates, Inc., ALTA/ACSM Land Title Survey Project No. 11-344, dated 8-11-2011)

3050 S Rochester Road:
Lot 7 and 8, also Lot 9 EXCEPT the North 50 feet thereof, Lots 11, 12 and 13 and also the North 100 feet of Lots 21, 22 and 23, AVONCROFTS SUBDIVISION, according to the Plat thereof, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, containing 193,483 sq. ft. or 4.442 Acres, more or less.

Tax Parcel 15-34-227-037

FLOOD NOTE:
SUBJECT PARCELS LIE WITHIN AN AREA NOT MAPPED BY FEMA.

LEGEND

● IRON FOUND	⊙ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊙ IRON SET	⊙ MONUMENT FOUND	⊙ RECORDED
⊙ NAIL FOUND	⊙ MONUMENT SET	⊙ MEASURED
⊙ NAIL & CAP SET		⊙ CALCULATED

EXISTING
 --- ELEC. PHONE OR CABLE TV ON LINE, POLE & GUY WIRE
 --- UNDERGROUND CABLE TV, CATV PEDESTAL
 --- TELEPHONE U.S. CABLE, PEDESTAL & MANHOLE
 --- ELECTRIC U.S. CABLE, MANHOLE, METER & MANHOLE
 --- GAS MAIN, VALVE & GAS LINE WORKER
 --- METEORICAL W.P. GATE VALVE, TAPPING SLUICE & VALVE
 --- SANITARY SEWER, CLEANOUT & MANHOLE
 --- STORM SEWER, CLEANOUT & MANHOLE
 --- COMBINED SEWER & MANHOLE
 --- CATCH BASIN
 --- FLEET (NO INDOING LINES)
 --- VARD DRAIN (2" DIA. & SMALLER)
 --- POST INDICATOR VALVE
 --- WATER VALVE BOV/GRANT VALVE BOX, SERVICE SHUTOFF
 --- MUXBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
 --- UNIDENTIFIED STRUCTURE

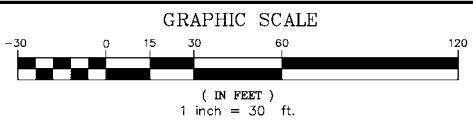
SPOT ELEVATION
 AS BUILT ELEVATION
 CONTOUR LINE
 FENCE
 GUARD RAIL
 STREET LIGHT
 SIGN

CONCRETE
 ASPHALT
 METALAND
 GRAVEL SHOULDER

REFERENCE DRAWINGS

ROCHESTER CITY MAP, RECEIVED 11-30-12
 ROCHESTER CITY MAP, RECEIVED 11-30-12
 AT&T MAP "ALBANY", DATED 12/27/12
 CONSUMERS ENERGY MAP 03-61-34-1, DATED 08-07-09
 CITY
 GAS
 OTHER
 ALTA/ACSM/LAND TITLE SURVEY FOR 3050 S. ROCHESTER ROAD, ROCHESTER HILLS, MI, BY SUMMO ENGINEERING & ASSOCIATES, INC., DATED 8-11-2011
 SITE ENGINEERING PLAN FOR 3050 S. ROCHESTER ROAD, ROCHESTER HILLS, MI, BY CHIRO TITLE AGENCY, INC. & FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED 4-6-12
 AS-BUILT PLAN FOR MEADOWBROOK DOODOE, BY STENROSE ASSOCIATES, DATED 5-1-1993

ZONED: B-2 GENERAL BUSINESS WITH FB-3 FLEXIBLE BUSINESS OVERLAY

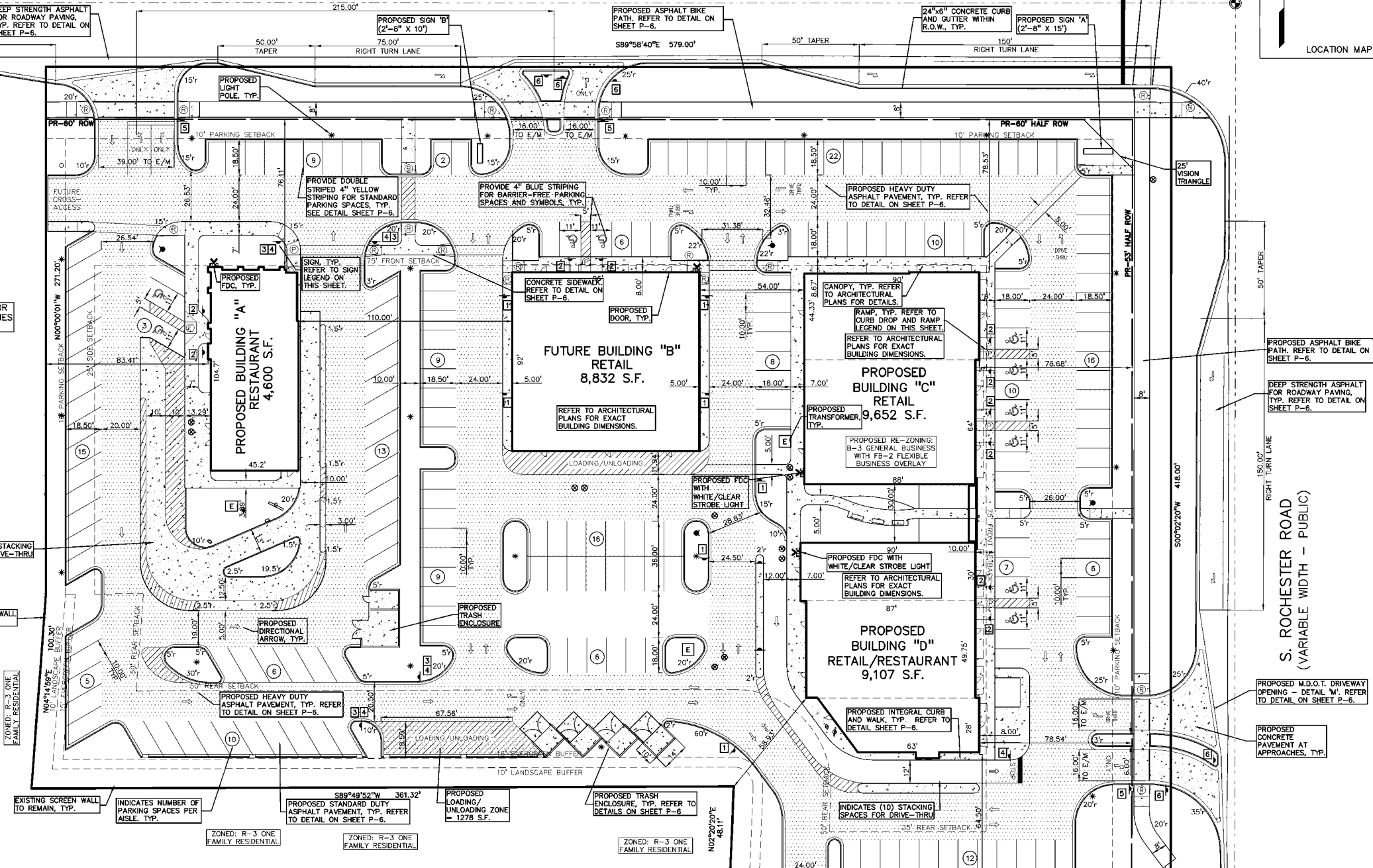


W. AUBURN ROAD (66' WIDE - PUBLIC)

NOTE: ALL WORK WITHIN THE ROCHESTER AND AUBURN ROAD RIGHTS-OF-WAY ARE UNDER THE JURISDICTION OF M.D.O.T. AND REQUIRES A PERMIT.

CALCULATED NE CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L14992, P.096)

NORTH 1/4 CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L14992, P.096)



SITE DATA TABLE:

LAND AREA: 5.18 ACRES
 NET (TO PROPOSED R.O.W.) = 4.64 ACRES

PROPOSED BUILDING AREA (GROSS):

RETAIL	4,600 S.F.
BUILDING 'A' (RESTAURANT)	8,832 S.F.
BUILDING 'C' (RETAIL)	9,652 S.F.
BUILDING 'D' (RETAIL)	4,330 S.F.
BUILDING 'D' (RESTAURANT)	4,772 S.F.
TOTAL	32,191 S.F.

PARKING REQUIRED:

RETAIL: 1 SPACE / 300 SF GROSS AREA = 22.814 / 300 = 76 SPACES

RESTAURANTS: 1 SPACE / 2 PERSONS AT MAX. CAPACITY APPROX. 180 MAX. CAPACITY/2 = 90 SPACES

TOTAL ON-SITE PARKING REQUIRED = 166 SPACES (INCLUDING 6 HC SPACES)

PARKING PROVIDED: 200 SPACES (INCLUDING 10 HC SPACES)

SITE DATA TABLE, CONTINUED:

ZONING INFO:
 PROPOSED RE-ZONING: B-3 GENERAL BUSINESS WITH FB-2 FLEXIBLE BUSINESS OVERLAY

BUILDING SETBACKS:

	REQUIRED	PROVIDED
FRONT (AUBURN)	75'	76.11'
SIDE (ROCHESTER)	75'	76.54'
SIDE (WEST)	25'	83.41'
REAR (SOUTH)	100 (50)*	58.93'

* PC CAN ALLOW 50' WHERE NO SIGNIFICANT IMPACTS. EXISTING BUILDING SETBACK IS APPROXIMATELY 55'.

Notes:

- Construction Type is V-B, fully sprinklered
- Maximum building height allowed is 2 stories/30 feet.
- All roof and ground mounted mechanical equipment shall be screened from adjacent roads and properties.
- Fire lanes shall be designated by the fire code official, and shall be conspicuously posted on both sides of the fire lane, with fire lane signs spaced not more than 100 feet apart, and in conformance with the MMUTCD.
- All pedestrian walkways and required egress doors shall comply with Michigan Barrier Free Design Criteria.
- The existing on-site soils consist of clays. The site has contaminated soils, therefore no stormwater infiltration is allowed.

CURB DROP AND RAMP LEGEND:

CURB DROP AND RAMP 'TYPE F'
 CURB DROP AND RAMP 'TYPE P'
 CURB DROP AND RAMP 'TYPE R'

REFER TO MDOT STANDARD RAMP DETAILS, 'R'-28" ON SHEET P-7 FOR RAMP DETAILS

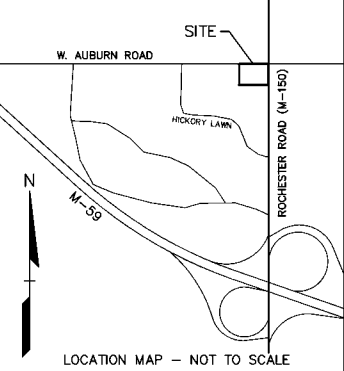
SIGN LEGEND:

NO STOPPING STANDING PARKING	1
FIRE LANE SIGN	2
'BARRIER FREE PARKING' SIGN	3
'ONE WAY' SIGN	4
'DO NOT ENTER' SIGN	5
'STOP' SIGN	6
'NO LEFT TURN' SIGN	7

REFER TO SHEET P-6 FOR SIGN DETAILS

FIRE DEPARTMENT NOTES:

- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14.
- OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARNING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURNING PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 307.6.2 & 307.6.2.3.
- FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART, "NO STOPPING, STANDING, PARKING, FIRE LANE", AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 506.



REVISIONS

NO.	DATE	DESCRIPTION
1	11-15-12	PRELIMINARY CITY REVIEW
2	11-15-12	REVISIONS

CAUTION!
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL CONTRACTING PRACTICES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811
 Know what's below before you dig
 MISS DIG System, Inc.
 1-800-482-7171 www.missdig.net

PROFESSIONAL ENGINEERING ASSOCIATES
 2430 Rochester Ct. Suite 100
 Troy, MI 48063-1872
 Phone: (248) 689-9090
 Fax: (248) 689-1044
 website: www.peaac.com

ROCHESTER AUBURN ASSOC.
 6750 OAKHILLS DRIVE
 BLOOMFIELD HILLS, MI 48301

**PRELIMINARY SITE PLAN
 ROCHESTER RETAIL**

PART OF THE CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. RLS. DN. SUR. KTR. P.M. JPB

PRELIMINARY NOT FOR CONSTRUCTION CITY FILE #12-010

SCALE: 1" = 30'

DRAWING NUMBER: P-3

BENCHMARKS
(BENCHMARK DATUM IS GPS DERIVED NAVD88)

BM 300:
ARROW ON HYDRANT ON THE SOUTH SIDE OF AUBURN ROAD, ±270 FEET WEST OF THE WEST LINE OF ROCHESTER ROAD.
ELEV=782.28'

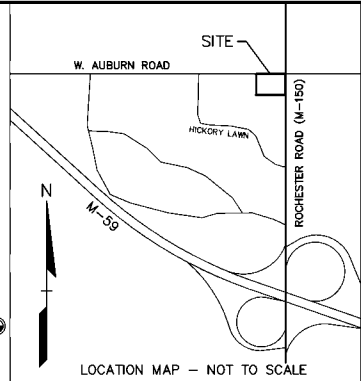
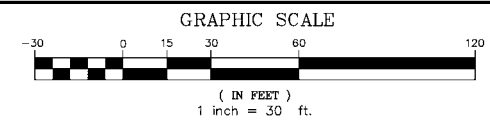
BM 301:
ARROW ON HYDRANT ON THE SOUTH SIDE OF AUBURN ROAD, ±140 FEET WEST OF THE WEST LINE OF ROCHESTER ROAD.
ELEV=780.70'

BM 302:
ARROW ON HYDRANT ±30 FEET NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #3050 ROCHESTER ROAD.
ELEV=758.40'

BM 303:
SET GEAR SPIKE IN SOUTHEAST FACE OF UTILITY POLE, SOUTH SIDE OF AUBURN ROAD, ±130 FEET NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #157 W. AUBURN.
ELEV=783.85'

BM 304:
ARROW ON HYDRANT, ±50 FEET SOUTH OF BUILDING #3050 ROCHESTER ROAD AND ±68 FEET NORTHWEST OF THE NORTHWEST CORNER OF BUILDING #3100 ROCHESTER ROAD.
ELEV=758.18'

NORTH 1/4 CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L14992, P.098)



NO.	DATE	REVISIONS
1	03/20/13	REVISED PER CITY REVIEW
2	03/27/13	REVISED PER CITY REVIEW

LEGAL DESCRIPTION
(Per Chirco Title Agency, Inc. and agency for Fidelity National Title Insurance Company, File No.: R-120530F, dated April 05, 2012)

Parcel 1: AVONCROFTS SUBDIVISION, as recorded in Liber 18, Page 15, of Plats, Oakland County Records, more particularly described as: Beginning at the point of intersection of the South line of Auburn Road (66 feet wide) with the West line of Rochester Road (66 feet wide), being the Northeast corner of said Lot 10; thence S00°02'20"W along the West line of Rochester Road (being the East line of said Lot 10), 101 feet to the Southeast corner of said Lot 10; thence West along the South line of said Lot 10, 214.06 feet to the Southwest corner of said Lot 10; thence N02°20'20"E along the West line of said Lot 10, 101.17 feet to a point on the South line of Auburn Road, being the Northwest corner of said Lot 10; thence S89°58'40"E along the South line of Auburn Road (being the North line of said Lot 10), 210 feet to the point of beginning.

Parcel 2: The Northernly 50.00 feet of Lot 9, AVONCROFTS SUBDIVISION, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, more particularly described as: Beginning at a point on the Westerly line of Rochester Road, (M-150), 66 feet wide, said point being S00°02'20"W, 101.00 feet from the intersection of the Westerly line of Rochester Road with the Southernly line of Auburn Road (M-59) 66 feet wide; thence S00°02'20"W along said Westerly line of Rochester Road 50.00 feet to a point; thence due West, 216.07 feet to a point; thence N02°20'20"E, 50.04 feet to a point; thence due East, 214.06 feet to the point of beginning.

Tax Parcel 15-34-227-031
LEGAL DESCRIPTION
(Per Summa Engineering & Associates, Inc., ALTA/ACSM Land Title Survey Project No. 11-344, dated 8-11-2011)

3050 S Rochester Road:
Lot 7 and 8, also Lot 9 EXCEPT the North 50 feet thereof, Lots 11, 12 and 13 and also the North 100 feet of Lots 21, 22 and 23, AVONCROFTS SUBDIVISION, according to the Plat thereof, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, containing 193,483 sq. ft. or 4.442 Acres, more or less.

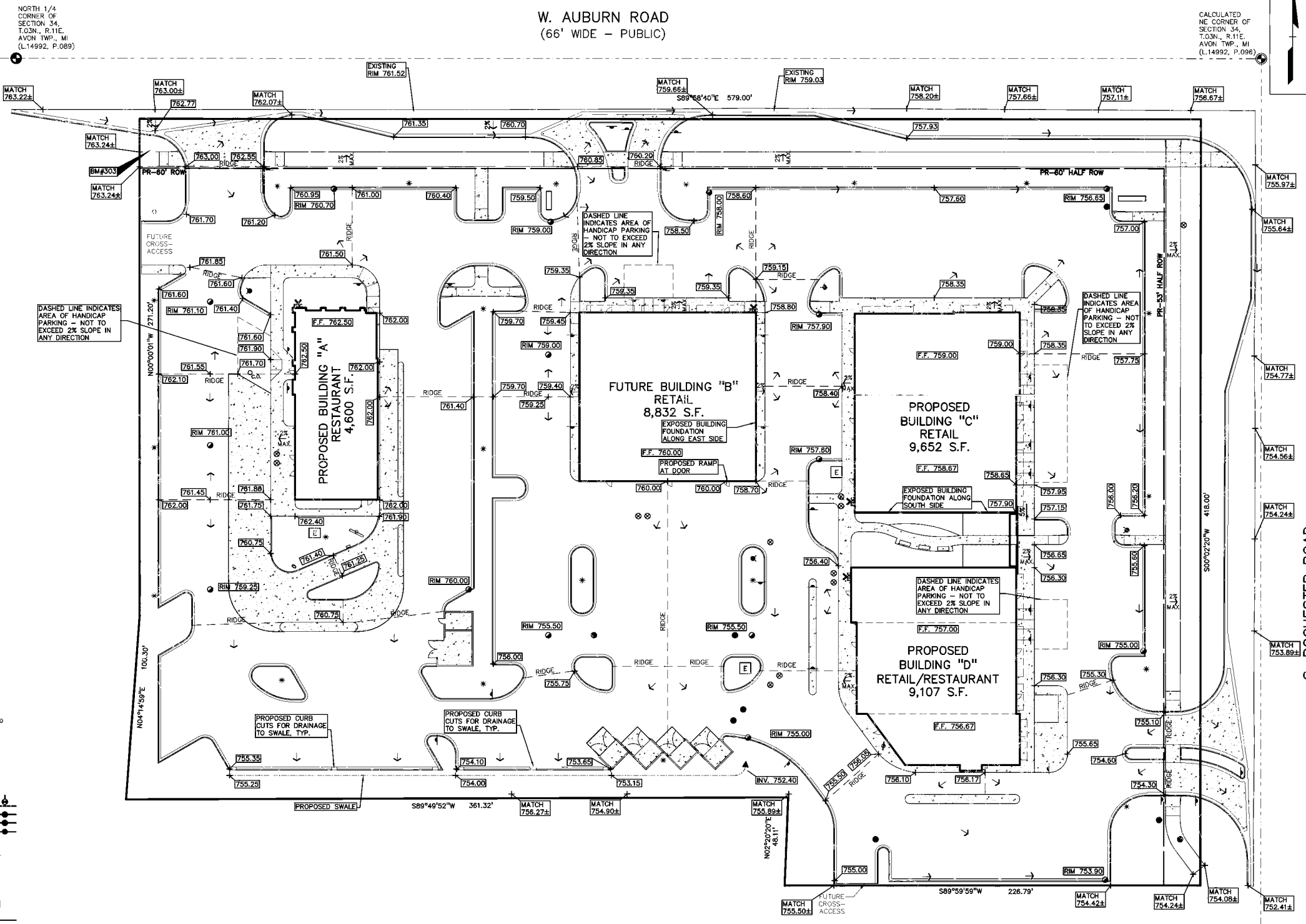
Tax Parcel 15-34-227-037
FLOOD NOTE:
SUBJECT PARCELS LIE WITHIN AN AREA NOT MAPPED BY FEMA.



REFERENCE DRAWINGS

WATER MAIN
SANITARY SEWER
STORM SEWER
TELEPHONE
GAS
CITY
OTHER

ROCHESTER CITY MAP, RECEIVED 11-30-12
ROCHESTER CITY MAP, RECEIVED 11-30-12
ROCHESTER CITY MAP, RECEIVED 11-30-12
AT&T MAP "MIDWEST", DATED 12/27/12
CONSUMERS ENERGY MAP 03-61-34-1, DATED 08-07-09
CITY MAP, RECEIVED 11-28-12
ALTA ACSM/LAND TITLE SURVEY FOR 3050 S. ROCHESTER ROAD, ROCHESTER HILLS, MI, BY SUMMA ENGINEERING & ASSOCIATES, INC., DATED 8-20-11
SITE ENGINEERING PLAN FOR 3010 S. ROCHESTER ROAD, ROCHESTER HILLS, MI, BY AIR SECKER & ASSOCIATES, INC., DATED 11-5-1998
AS-BUILT PLAN FOR MEADOWBROOK DOODOE, BY STENROSE ASSOCIATES, DATED 5-1-1993



DASHED LINE INDICATES AREA OF HANDICAP PARKING - NOT TO EXCEED 2% SLOPE IN ANY DIRECTION

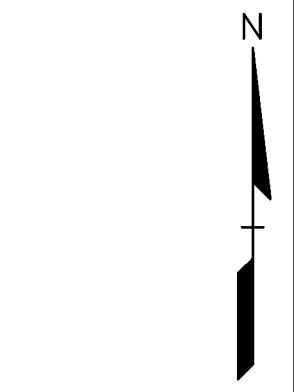
DASHED LINE INDICATES AREA OF HANDICAP PARKING - NOT TO EXCEED 2% SLOPE IN ANY DIRECTION

DASHED LINE INDICATES AREA OF HANDICAP PARKING - NOT TO EXCEED 2% SLOPE IN ANY DIRECTION

DASHED LINE INDICATES AREA OF HANDICAP PARKING - NOT TO EXCEED 2% SLOPE IN ANY DIRECTION

EARTHWORK BALANCING NOTE:
THIS PLAN IS NOT A BALANCED GRADING PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ADD 0.50' TO OBTAIN TOP OF CURB ELEVATION.



S. ROCHESTER ROAD (VARIABLE WIDTH - PUBLIC)

CALCULATED NE CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L14992, P.098)

EAST 1/4 CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L14992, P.090)

CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. NO PART OF THIS DRAWING OR DESIGN SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. ALL RIGHTS ARE RESERVED. © 2012 PROFESSIONAL ENGINEERING ASSOCIATES, INC.

CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811

Know what's below Call before you dig

MISS DIG System, Inc.
1-800-482-7171 www.missdig.net

PROFESSIONAL ENGINEERING ASSOCIATES
2430 Rochester Ct. Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

ROCHESTER AUBURN ASSOC.
6750 OAKHILLS DRIVE
BLOOMFIELD HILLS, MI 48301

PRELIMINARY GRADING PLAN
ROCHESTER RETAIL
PART OF THE MEADOWBROOK DOODOE
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. RLS. DN. RLS. SUR. KTR. P.M. JPB

PRELIMINARY NOT FOR CONSTRUCTION CITY FILE #12-010

ORIGINAL ISSUE DATE: MARCH 20, 2013
PEA JOB NO. 2012-074
SCALE: 1" = 30'
DRAWING NUMBER: P-4

REF: L:\2012074\DWG\12074_TORPOBASE_OVERALL.DWG
REF: L:\2012074\DWG\12074_PLANS\12-010-01.DWG
REF: L:\2012074\DWG\12074_PLANS\12-010-02.DWG

BENCHMARKS
(BENCHMARK DATUM IS GPS DERIVED NAVD88)

BM 300:
ARROW ON HYDRANT ON THE SOUTH SIDE OF AUBURN ROAD, ±270 FEET WEST OF THE WEST LINE OF ROCHESTER ROAD.
ELEV=782.28'

BM 301:
ARROW ON HYDRANT ON THE SOUTH SIDE OF AUBURN ROAD, ±140 FEET WEST OF THE WEST LINE OF ROCHESTER ROAD.
ELEV=780.70'

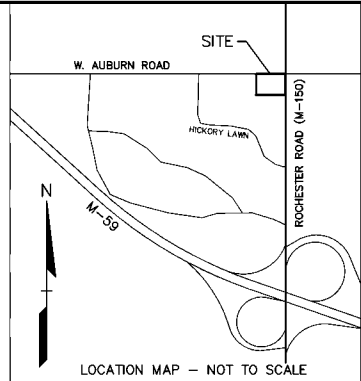
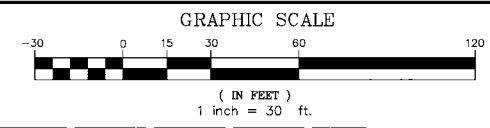
BM 302:
ARROW ON HYDRANT ±30 FEET NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #3050 ROCHESTER ROAD.
ELEV=758.40'

BM 303:
SET GEAR SPIKE IN SOUTHEAST FACE OF UTILITY POLE, SOUTH SIDE OF AUBURN ROAD, ±130 FEET NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #157 W. AUBURN.
ELEV=783.85'

BM 304:
ARROW ON HYDRANT, ±50 FEET SOUTH OF BUILDING #3050 ROCHESTER ROAD AND ±65 FEET NORTHWEST OF THE NORTHEAST CORNER OF BUILDING #3100 ROCHESTER ROAD.
ELEV=758.18'

NORTH 1/4 CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L14992, P.089)

W. AUBURN ROAD
(66' WIDE - PUBLIC)



NO.	DATE	REVISIONS
1	03/20/12	PRELIMINARY DESIGN
2	03/20/12	REVISED PER CITY REVIEW
3	03/20/12	REVISED PER CITY REVIEW
4	03/20/12	REVISED PER CITY REVIEW
5	03/20/12	REVISED PER CITY REVIEW
6	03/20/12	REVISED PER CITY REVIEW
7	03/20/12	REVISED PER CITY REVIEW
8	03/20/12	REVISED PER CITY REVIEW
9	03/20/12	REVISED PER CITY REVIEW
10	03/20/12	REVISED PER CITY REVIEW

LEGAL DESCRIPTION
(Per Chiroc Title Agency, Inc. and agency for Fidelity National Title Insurance Company, File No.: R-120530F, dated April 06, 2012)

Parcel 1:
AVONCROFTS SUBDIVISION, as recorded in Liber 18, Page 15, of Plats, Oakland County Records, more particularly described as: Beginning at the point of intersection of the South line of Auburn Road (66 feet wide) with the West line of Rochester Road (66 feet wide), being the Northeast corner of said Lot 10; thence S00°02'20"W along the West line of Rochester Road (being the East line of said Lot 10), 101 feet to the Southeast corner of said Lot 10; thence West along the South line of said Lot 10, 214.08 feet to the Southwest corner of said Lot 10; thence N02°20'20"E along the West line of said Lot 10, 101.17 feet to a point on the South line of Auburn Road, being the Northwest corner of said Lot 10; thence S89°58'40"E along the South line of Auburn Road (being the North line of said Lot 10), 210 feet to the point of beginning.

Parcel 2:
The Northern 50.00 feet of Lot 9, AVONCROFTS SUBDIVISION, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, more particularly described as: Beginning at a point on the Westerly line of Rochester Road, (M-150), 66 feet wide, said point being S00°02'20"W, 101.00 feet from the intersection of the Westerly line of Rochester Road with the Southern line of Auburn Road (M-59) 66 feet wide; thence S00°02'20"W along said Westerly line of Rochester Road 50.00 feet to a point; thence due West, 216.07 feet to a point; thence N02°20'20"E, 50.04 feet to a point; thence due East, 214.06 feet to the point of beginning.

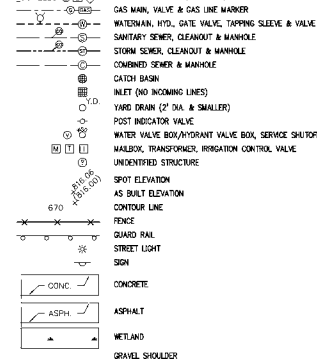
Tax Parcel 15-34-227-031
LEGAL DESCRIPTION
(Per Summo Engineering & Associates, Inc., ALTA/ACSM Land Title Survey Project No. 11-344, dated 8-11-2011)

3050 S Rochester Road:
Lot 7 and 8, also Lot 9 EXCEPT the North 50 feet thereof, Lots 11, 12 and 13 and also the North 100 feet of Lots 21, 22 and 23, AVONCROFTS SUBDIVISION, according to the Plat thereof, as recorded in Liber 19, Page 15, of Plats, Oakland County Records, containing 193,483 sq. ft. or 4.442 Acres, more or less.

Tax Parcel 15-34-227-037
FLOOD NOTE:
SUBJECT PARCELS LIE WITHIN AN AREA NOT MAPPED BY FEMA.

LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊙ IRON SET	⊙ MONUMENT FOUND	⊙ RECORDED
⊙ NAIL FOUND	⊙ MONUMENT SET	⊙ MEASURED
⊙ NAIL & CAP SET	⊙ MONUMENT SET	⊙ CALCULATED



REFERENCE DRAWINGS

WATER MAIN	ROCHESTER CITY MAP, RECEIVED 11-30-12
SANITARY SEWER	ROCHESTER CITY MAP, RECEIVED 11-30-12
STORM SEWER	ROCHESTER CITY MAP, RECEIVED 11-30-12
TELEPHONE	AT&T MAP "MICHIGAN", DATED 12/12/12
CATV	CONSULTECH ENERGY MAP 03-61-34-1, DATED 08-07-09
GAS	ALTA/ACSM/LAND TITLE SURVEY FOR 3050 S. ROCHESTER ROAD, ROCHESTER HILLS, MI, BY MR. BECKER & ASSOCIATES, INC., DATED 11-5-1998
OTHER	AS-BUILT PLAN FOR MEADOWBROOK DOODLE, BY STENROSE ASSOCIATES, DATED 5-1-1993

25 YEAR STORM DETENTION DESIGN (OAKLAND COUNTY DESIGN METHOD)

Proposed "C" Value	Existing "C" Value
Area (AC)	Area (AC)
Buildings = 0.74	Buildings = 0.65
Pavement = 3.08	Pavement = 3.25
Green Space = 0.82	Green Space = 0.74
Total = 4.64	Total = 4.64
Overall Proposed "C" = 0.86	Overall Existing "C" = 0.87

Contributing Area (A) = 4.64 AC
Allowable Discharge (Qa) = 0.93 C.F.S. (= 0.2 CFS/AC)
Coefficient of Runoff (Cr) = 0.66

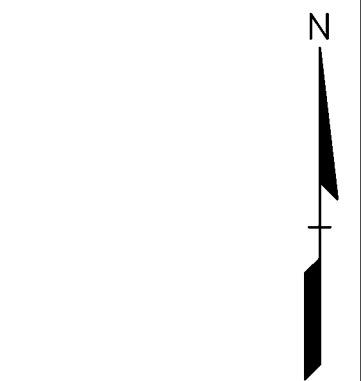
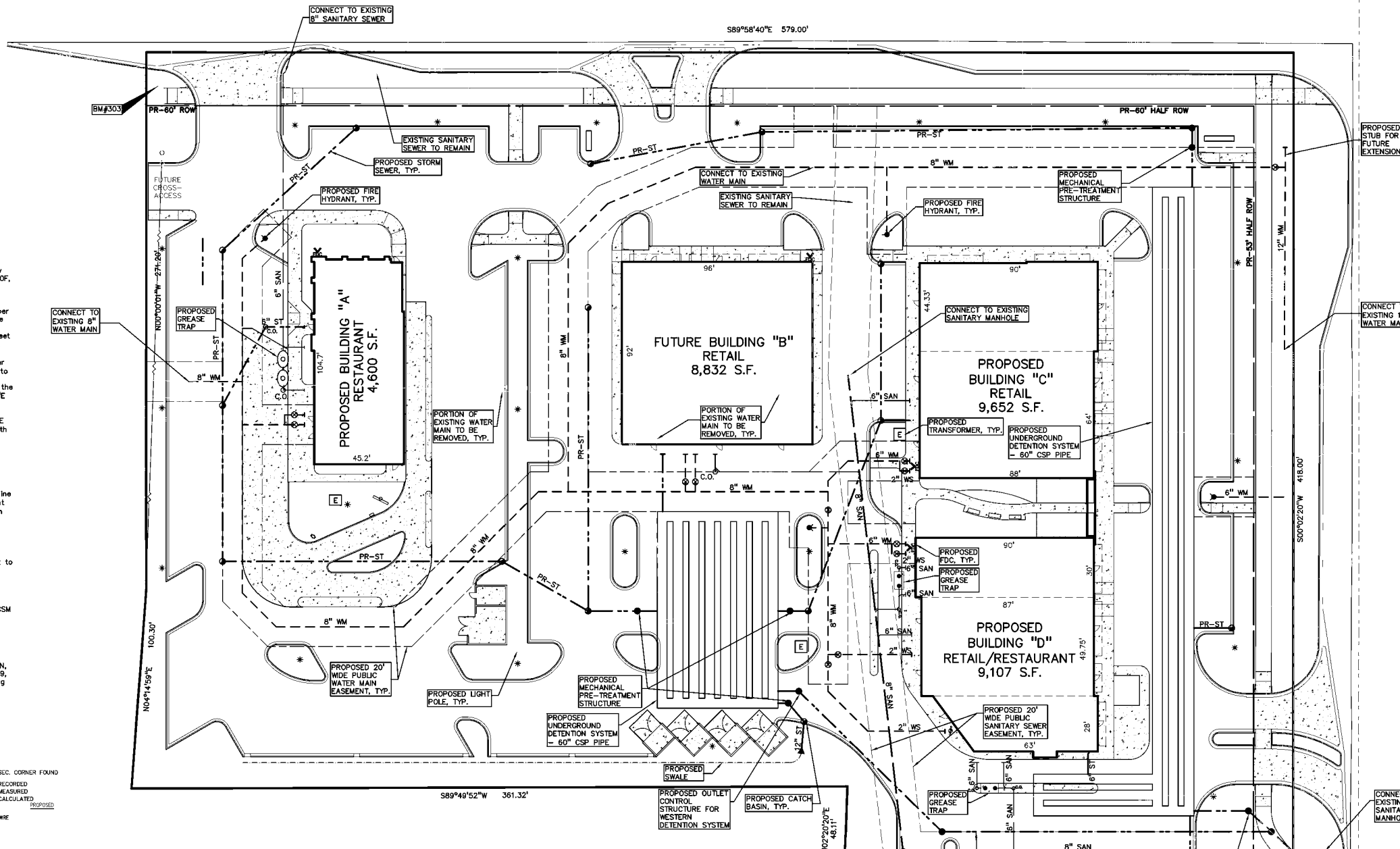
Calculation of Required Discharge (Qr) per Acre
Qr = [(Qa)(A)(Cr)] = 0.23
T = 25 + ((8062.5)(Qr)) = 151.37

Storage Volume Required
Vs = (12900)(T)((T+25)) - 400Q(T) = 9671.81
Vp = (Vs)(A)(Cr) = 38,665.89

PIPE STORAGE
L = 2000 ft
SIZE = 60 in
C/F/FT = 19.625 c.f./ft
VOLUME = 39,250.00 c.f.

- GENERAL UTILITY NOTES:**
- ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS STANDARDS AND REQUIREMENTS.
 - NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL THE NEW WATER LEAD PASSES ALL PRESSURE AND BACTERIOLOGICAL TESTS.
 - ALL WATER LEADS 2" AND SMALLER SHALL BE TYPE 'K' COPPER.
 - ALL WATER MAINS SHALL BE PROVIDED WITH 6 FEET MINIMUM COVER.
 - ALL STORM LEADS SHALL BE P.V.C. SOLID WALL PIPE, SCHEDULE 40 UNLESS OTHERWISE NOTED. ALL 12" DIAMETER STORM SEWER AND LARGER SHALL BE REINFORCED CONCRETE (RCP) CL-IV, UNLESS OTHERWISE NOTED.
 - ALL 6" SANITARY SEWER LEADS SHALL BE P.V.C. SOLID WALL PIPE, SDR 23.5 W/ RUBBER GASKET JOINTS.
 - BOXES ARE TO BE PROVIDED FOR ALL CLEANOUTS. THE BOXES SHALL BE E.J.L.W. # 1565 OR APPROVED EQUAL.
 - ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER LEAD SYSTEM ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE CITY.
 - A SOIL EROSION PERMIT WILL BE REQUIRED FROM THE CITY OF ROCHESTER HILLS.
 - ALL ELECTRIC, TELEPHONE AND CABLE TV SERVICES WILL BE UNDERGROUND.

STORMWATER NOTE:
THE EXISTING SITE SOILS CONSIST OF CLAYS. IN ADDITION, THE SITE HAS CONTAMINATED SOILS AND THEREFORE, NO INFILTRATION IS PROPOSED. STORMWATER DETENTION WILL BE PROVIDED IN UNDERGROUND PIPES. STORMWATER QUALITY WILL BE PROVIDED WITH MECHANICAL PRE-TREATMENT STRUCTURES. THE PROPOSED OUTLET WILL BE AT THE EXISTING STORMWATER OUTLET FOR THE SITE WHICH DISCHARGES TO THE STORM SEWER IN ROCHESTER ROAD.



EXISTING SANITARY SEWER BASIS OF DESIGN:
(Unit Factors Based on Oakland County Unit Assignment Factors)

Category	Value
Square Footage	25,992 S.F.
Unit Factor	0.3 per 1,000 S.F.
Population (P) (3.5 PEOPLE/EDU)	27.3 People
GAS STATION	12
Number of Pumps	0.24 per pump
REU	2.9
Population (P) (3.5 PEOPLE/EDU)	10.1 People
TOTAL	REU 10.7
Average Flow (100 GPCPD)	3,700 G.P.D.
Peak Flow (G.P.D.)	0,006 C.F.S.
Peak Flow (C.F.S.)	0.007
Peak Flow (C.F.S.)	0.033 C.F.S.

PROPOSED SANITARY SEWER BASIS OF DESIGN:
(Unit Factors Based on Oakland County Unit Assignment Factors)

Category	Value
Square Footage	22,814 S.F.
Estimated No. of Employees	34
Unit Factor	0.15 per employee
REU	5.5
Population (P) (3.5 PEOPLE/EDU)	19.2 People
RESTAURANT (QUICK SERVE)	2
Unit Factor	5.6 per restaurant
REU	11.2
Population (P) (3.5 PEOPLE/EDU)	39.2 People
RESTAURANT (CARRY OUT)	2
Unit Factor	1.9 per restaurant
REU	3.6
Population (P) (3.5 PEOPLE/EDU)	12.6 People
TOTAL	REU 20.3
Average Flow (100 GPCPD)	7,108 G.P.D.
Peak Flow (G.P.D.)	0,011 C.F.S.
Peak Flow (C.F.S.)	0.011
Peak Flow (C.F.S.)	0.044 C.F.S.
6" Pipe Capacity Provided =	0.73 C.F.S.

CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS BEING EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR OBTAINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. AND SHALL REMAIN THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. NO PART OF THIS DRAWING OR DESIGN SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. ALL RIGHTS ARE RESERVED. PROFESSIONAL ENGINEERING ASSOCIATES, INC. IS A PROFESSIONAL ENGINEERING FIRM AND IS NOT A CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811

Know what's below
Call before you dig

MISS DIG System, Inc.
1-800-482-7171 www.missdig.net

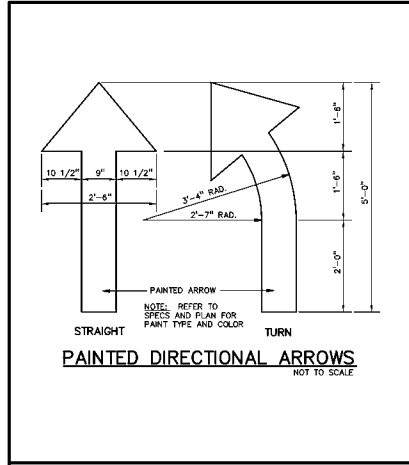
PROFESSIONAL ENGINEERING ASSOCIATES
2430 Rochester Ct. Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

ROCHESTER AUBURN ASSOC.
6750 OAKHILLS DRIVE
BLOOMFIELD HILLS, MI 48301

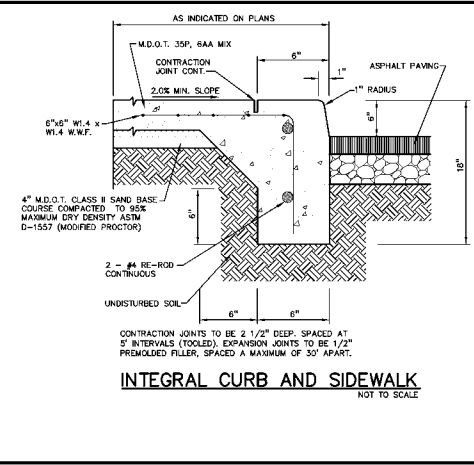
PRELIMINARY UTILITY PLAN
ROCHESTER RETAIL
PART OF THE 15-34-227-031 AND 15-34-227-037
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. RLS. DN. RLS. SUR. KTR. P.M. JPB

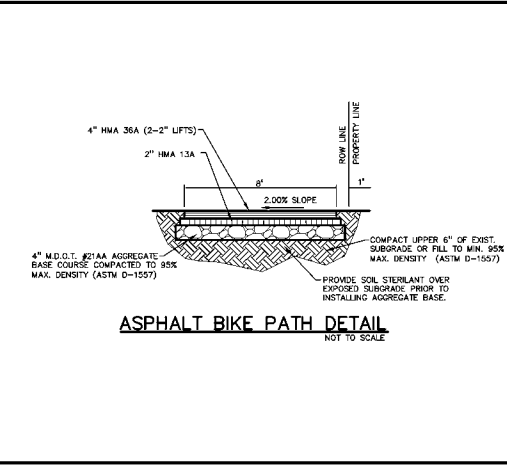
ORIGINAL ISSUE DATE: MARCH 20, 2013
PEA JOB NO. 2012-074
SCALE: 1" = 30'
DRAWING NUMBER:
P-5



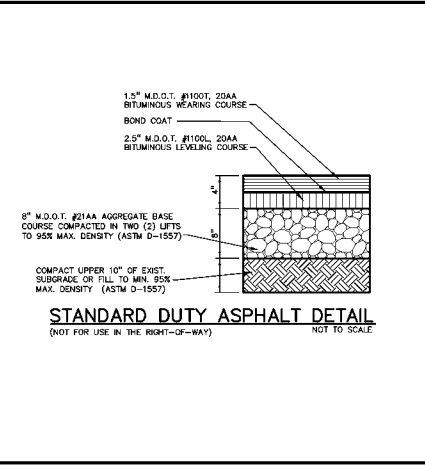
PAINTED DIRECTIONAL ARROWS
NOT TO SCALE



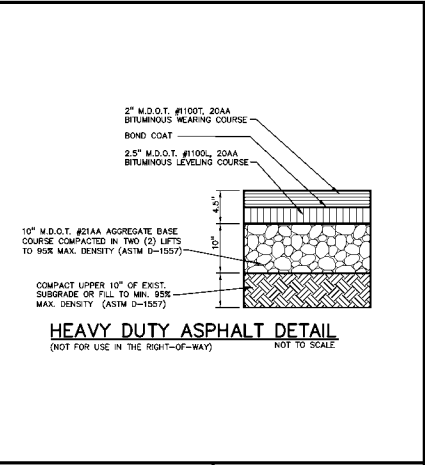
INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



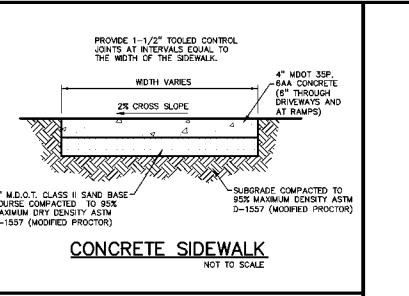
ASPHALT BIKE PATH DETAIL
NOT TO SCALE



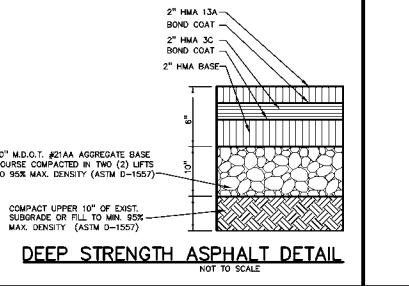
STANDARD DUTY ASPHALT DETAIL
NOT TO SCALE



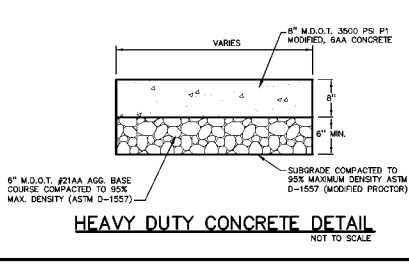
HEAVY DUTY ASPHALT DETAIL
NOT TO SCALE



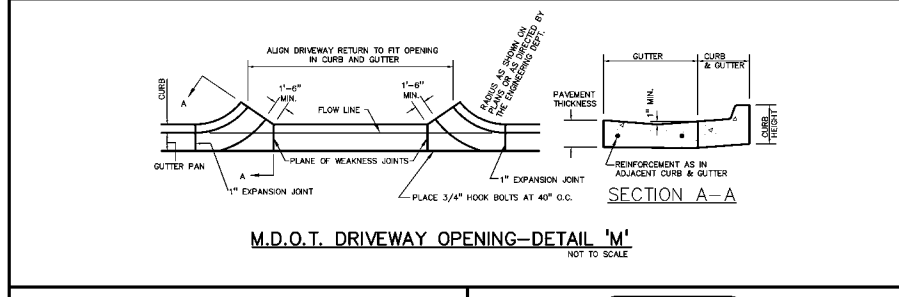
CONCRETE SIDEWALK
NOT TO SCALE



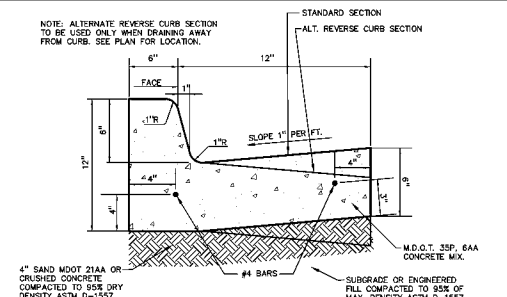
DEEP STRENGTH ASPHALT DETAIL
NOT TO SCALE



HEAVY DUTY CONCRETE DETAIL
NOT TO SCALE



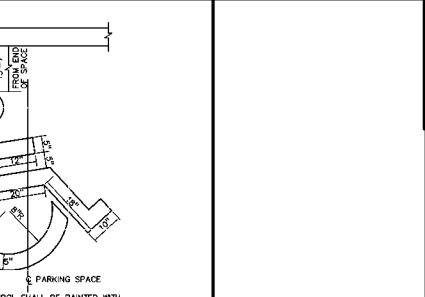
M.D.O.T. DRIVEWAY OPENING-DETAIL 'M'
NOT TO SCALE



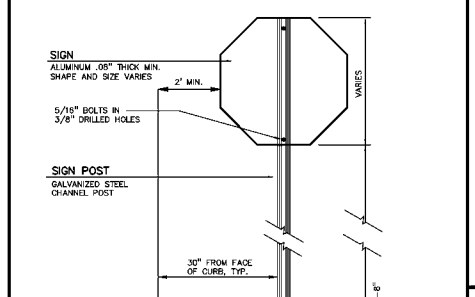
18" x 6" STANDARD CONCRETE CURB AND GUTTER
NOT TO SCALE



RESERVED PARKING ONLY
BARRIER FREE PARKING SIGN DETAIL
NOT TO SCALE



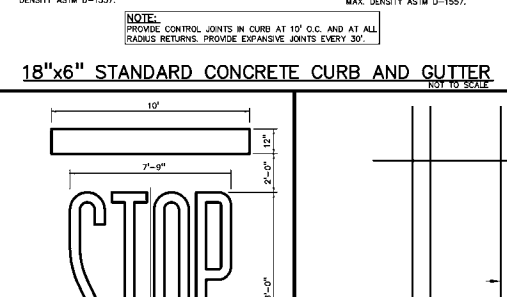
STANDARD "BARRIER FREE" SYMBOL FOR PARKING SPACE
NOT TO SCALE



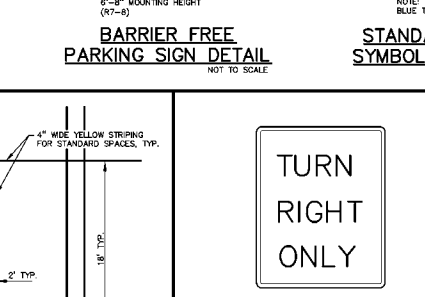
SIGN AND POST INSTALLATION IN LANDSCAPED AREAS
NOT TO SCALE



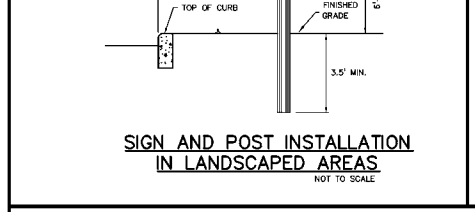
FIRE LANE NO STOPPING OR PARKING TOW AWAY ZONE
ONE WAY SIGN DETAIL
NOT TO SCALE



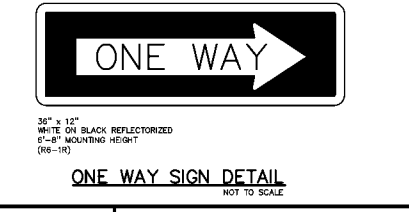
STOP sign
STOP BAR DETAIL
NOT TO SCALE



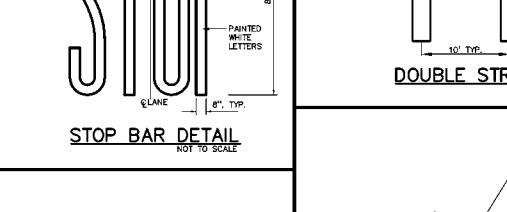
DOUBLE STRIPING DETAIL
TURN RIGHT ONLY SIGN DETAIL
NOT TO SCALE



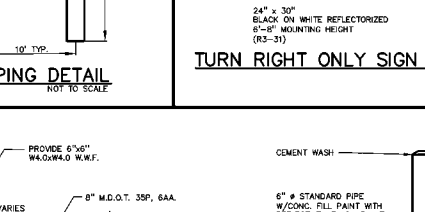
SIGN AND POST INSTALLATION IN PAVED AREAS
NOT TO SCALE



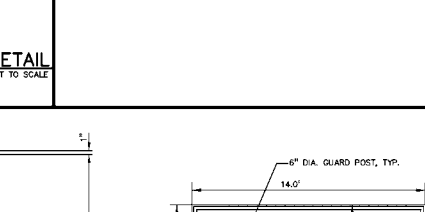
DO NOT ENTER SIGN DETAIL
NOT TO SCALE



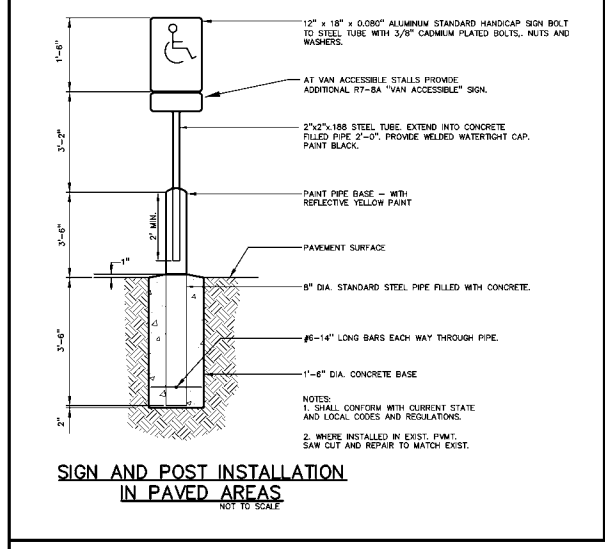
NO LEFT TURN SIGN DETAIL
NOT TO SCALE



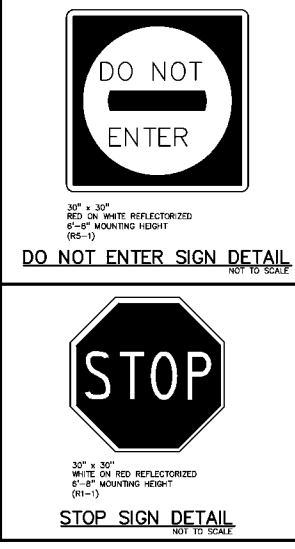
HEAVY DUTY CONCRETE PAD DETAIL
NOT TO SCALE



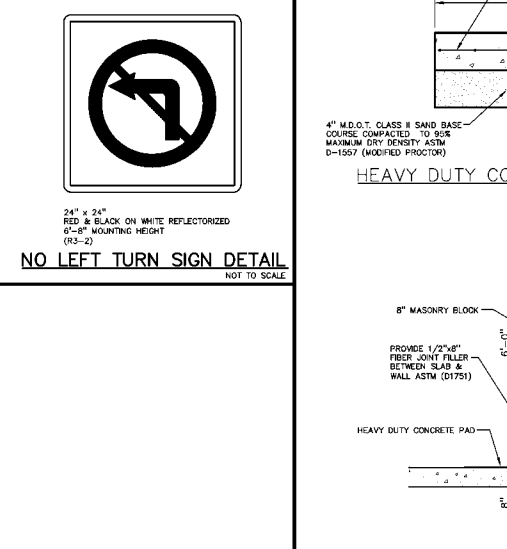
6" DIA. GUARD POST DETAIL
NOT TO SCALE



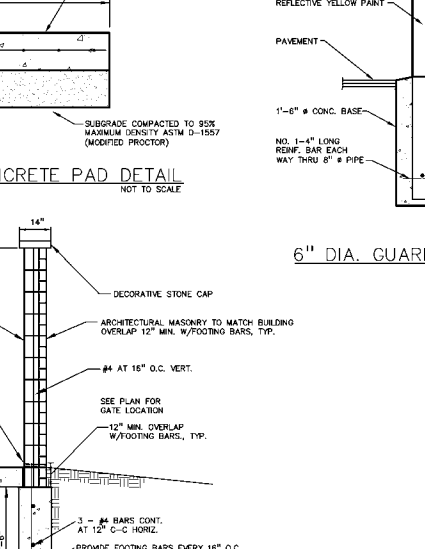
SIGN AND POST INSTALLATION IN PAVED AREAS
NOT TO SCALE



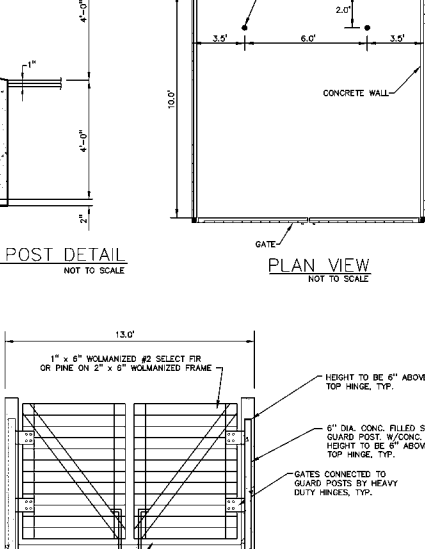
DO NOT ENTER SIGN DETAIL
NOT TO SCALE



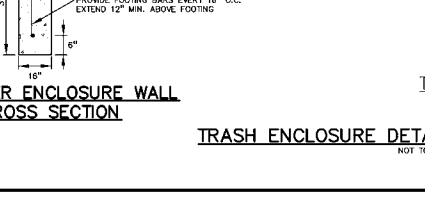
NO LEFT TURN SIGN DETAIL
NOT TO SCALE



DUMPSTER ENCLOSURE WALL CROSS SECTION
NOT TO SCALE



TRASH ENCLOSURE GATE DETAIL
NOT TO SCALE



TRASH ENCLOSURE DETAILS
NOT TO SCALE

NO.	REV.	DESCRIPTION	DATE

CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE DRAWINGS AND ONLY FOR INFORMATION. NO GUARANTEE IS BEING EXPRESSED OR IMPLIED BY THE CONTRACTOR REGARDING THE EXISTENCE OF ANY UTILITIES OR IN PART OR FULLY FOR THE INFORMATION OF THE USER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. AND ARE SUBMITTED ON THE CONDITION THAT THEY ARE NOT TO BE REPRODUCED, COPIED, OR IN WHOLE OR IN PART, OR IN ANY MANNER, WITHOUT THE WRITTEN CONSENT OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. ALL RIGHTS ARE RESERVED. NO PART OF THIS DRAWING OR DESIGN IS TO BE REPRODUCED, COPIED, OR IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. ALL RIGHTS ARE RESERVED.

3 FULL WORKING DAYS BEFORE YOU DIG CALL
811
Know what's below
Call before you dig
MISS DIG System, Inc.
1-800-482-7171 www.missdig.net



PROFESSIONAL ENGINEERING ASSOCIATES
2430 Rochester Ct. Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

ROCHESTER AUBURN ASSOC.
6750 OAKHILLS DRIVE
BLOOMFIELD HILLS, MI 48301

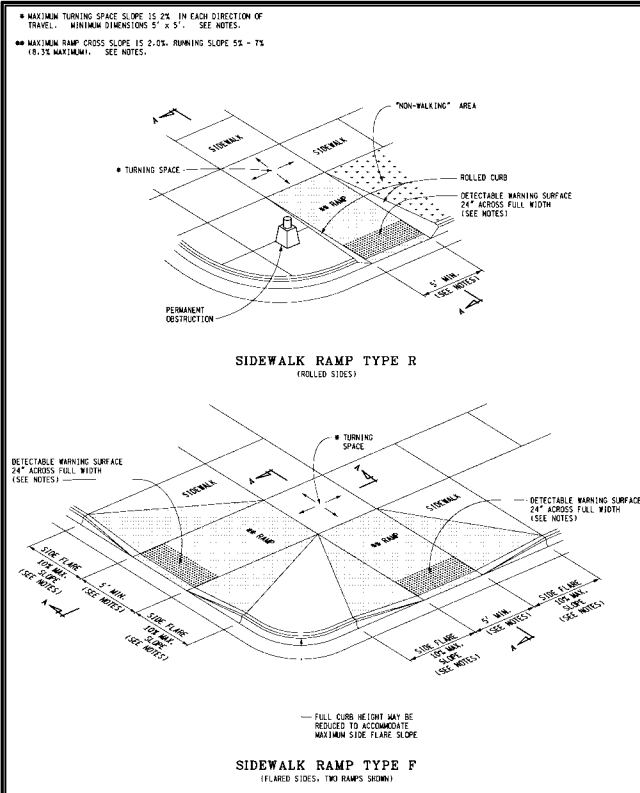
PRELIMINARY DETAIL SHEET
ROCHESTER RETAIL
PART OF THE ROCKEFELLER HILLS DEVELOPMENT
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES.	RLS	DN	SUR.	KTR	P.M.	JPB
------	-----	----	------	-----	------	-----

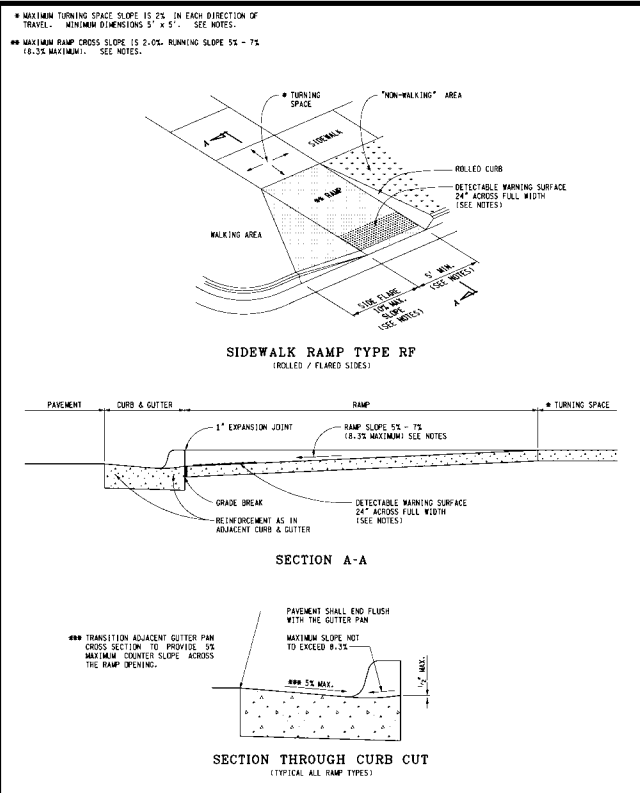
PRELIMINARY NOT FOR CONSTRUCTION
CITY FILE #12-010

ORIGINAL ISSUE DATE: MARCH 20, 2013
PEA JOB NO. 2012-074
SCALE: 1" = 30'
DRAWING NUMBER:
P-6

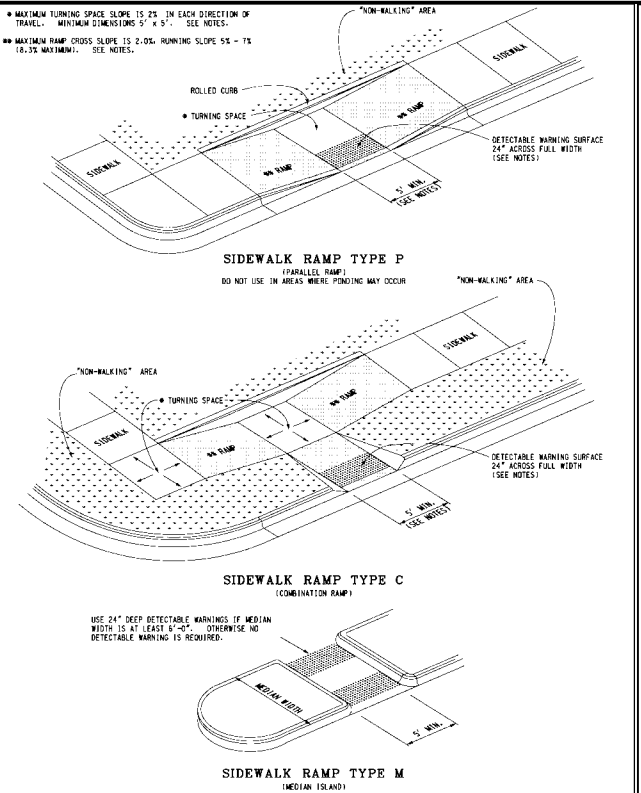
REF: L:\2012\074\DWG\12074_TORPOBASE_OVERALL.DWG
REF: L:\2012\074\DWG\12074_PLANS\PL-BASE-12074.DWG
REF: L:\2012\074\DWG\12074_PLANS\PL-TBLK-12074.DWG



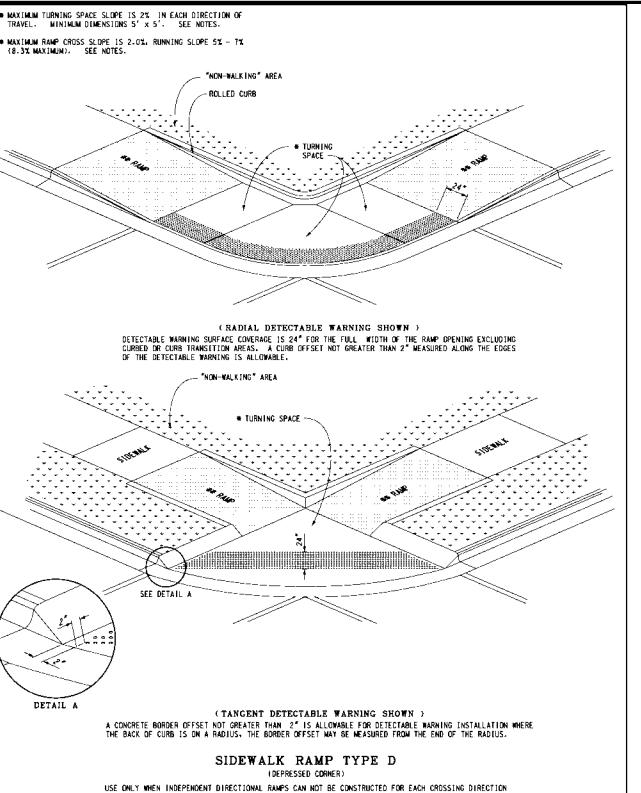
MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	
1-25-2013 F.R.S.A. APPROVAL	10-3-2012 PLAN DATE
R-28-H	
SHEET 1 OF 1	



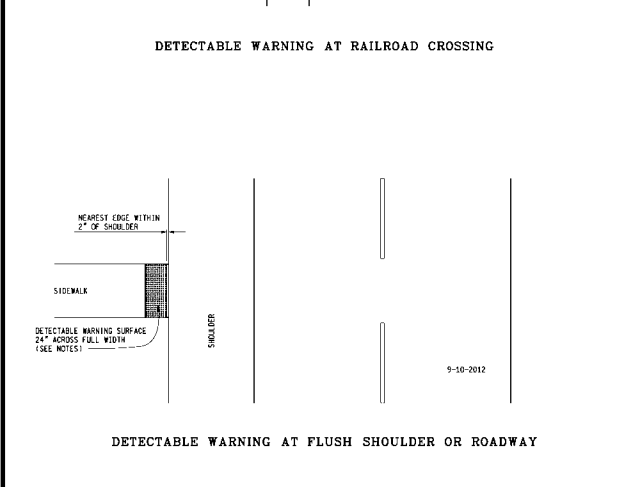
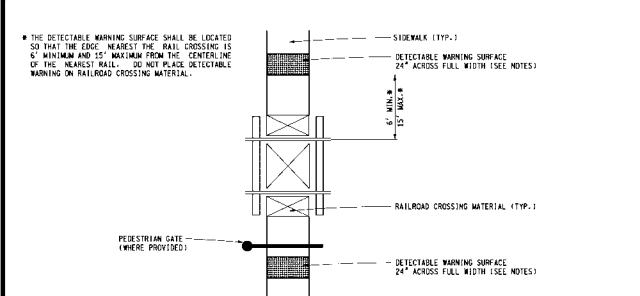
MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	
1-25-2013 F.R.S.A. APPROVAL	10-3-2012 PLAN DATE
R-28-H	
SHEET 2 OF 1	



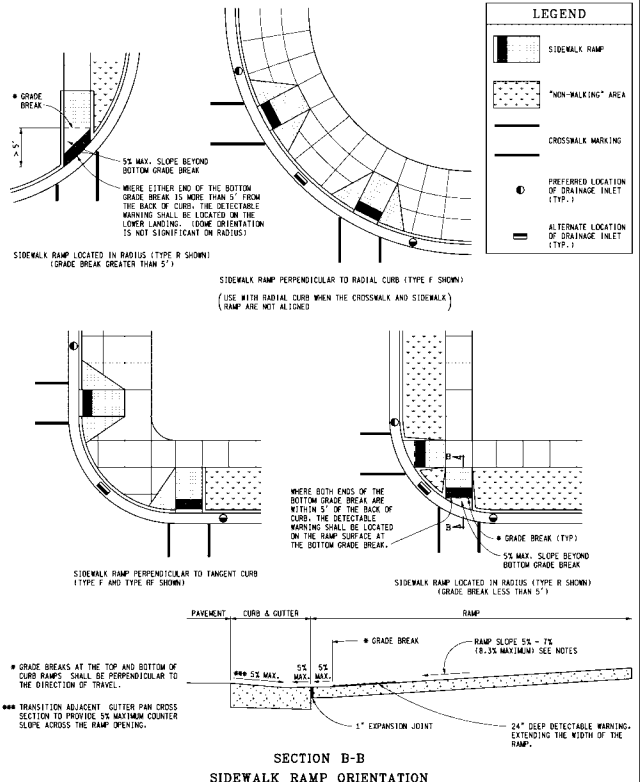
MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	
1-25-2013 F.R.S.A. APPROVAL	10-3-2012 PLAN DATE
R-28-H	
SHEET 3 OF 1	



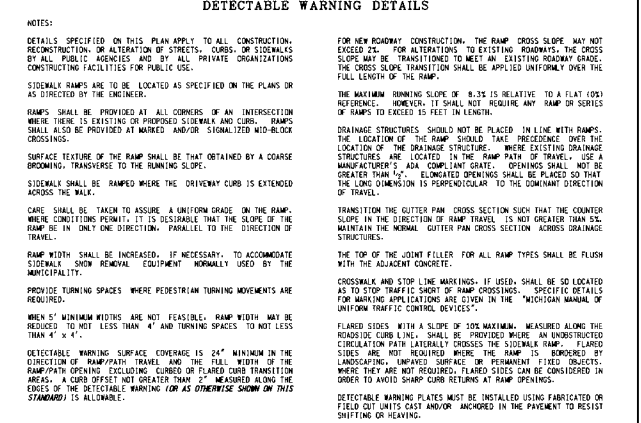
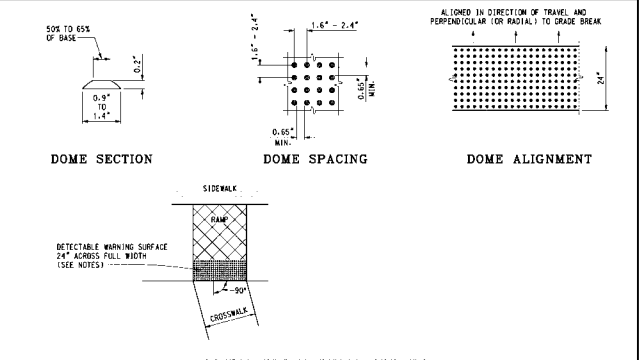
MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	
1-25-2013 F.R.S.A. APPROVAL	10-3-2012 PLAN DATE
R-28-H	
SHEET 4 OF 1	



MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	
1-25-2013 F.R.S.A. APPROVAL	10-3-2012 PLAN DATE
R-28-H	
SHEET 5 OF 1	



MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	
1-25-2013 F.R.S.A. APPROVAL	10-3-2012 PLAN DATE
R-28-H	
SHEET 6 OF 1	



MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	
1-25-2013 F.R.S.A. APPROVAL	10-3-2012 PLAN DATE
R-28-H	
SHEET 7 OF 1	

NO.	DATE	DESCRIPTION	BY	CHK.
1	08/15/11	REVISED PER CITY REVIEW	JPB	JPB

CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE EXACT UTILITY LOCATIONS AND DEPTHS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE EXACT UTILITY LOCATIONS AND DEPTHS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE EXACT UTILITY LOCATIONS AND DEPTHS PRIOR TO THE START OF CONSTRUCTION.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811

Know what's below
Call before you dig

MISS DIG System, Inc.
1-800-482-7171 www.missdig.net

PROFESSIONAL ENGINEERING ASSOCIATES
2430 Rochester Ct. Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peaac.com

ROCHESTER AUBURN ASSOC.
6750 OAKHILLS DRIVE
BLOOMFIELD HILLS, MI 48301

MDOT RAMP DETAILS
ROCHESTER RETAIL
PART OF THE BLOOMFIELD HILLS PROJECT
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

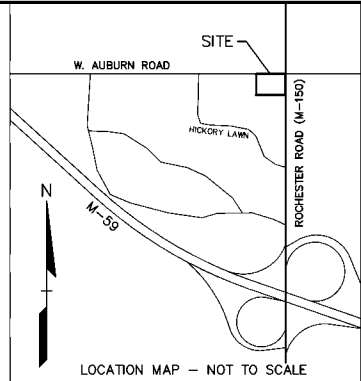
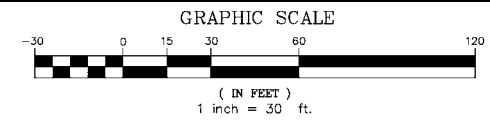
DES. RLS DN SUR. KTR JPB
R.S. DN SUR. KTR JPB

ORIGINAL ISSUE DATE: MARCH 20, 2013
PEA JOB NO. 2012-074
SCALE: 1" = 30'
DRAWING NUMBER:
P-7

PRELIMINARY NOT FOR CONSTRUCTION CITY FILE #12-010

REVISIONS

PEA

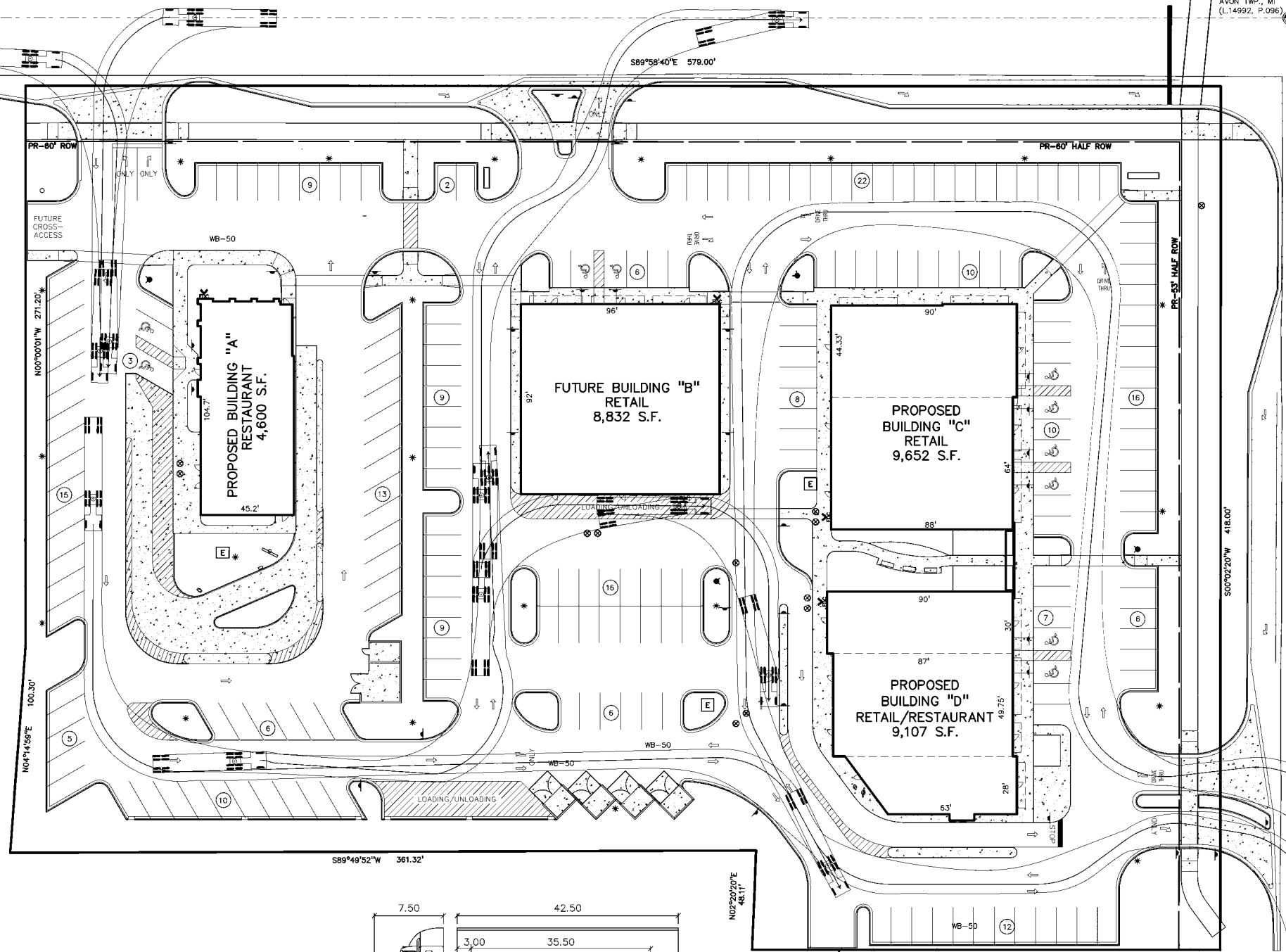


NO.	DATE	REVISIONS
1	03-23-12	REVISED PER CITY REVIEW
		BY: CHS
		DESCRIPTION

NORTH 1/4 CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L.14992, P.089)

W. AUBURN ROAD (66' WIDE - PUBLIC)

CALCULATED NE CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L.14992, P.096)



S. ROCHESTER ROAD (VARIABLE WIDTH - PUBLIC)

LEGEND

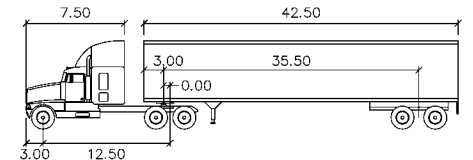
● IRON FOUND	○ BRASS PILE SET	⊙ SEC. CORNER FOUND
⊙ IRON SET	⊙ MONUMENT FOUND	⊙ RECORDED
⊙ NAIL FOUND	⊙ MONUMENT SET	⊙ MEASURED
⊙ NAIL & CAP SET		⊙ CALCULATED

EXISTING

- OH-ELEC-12" UG-CATV
- UG-CATV
- UG-PHONE
- UG-ELEC-12"
- ELEC. PHONE OR CABLE TV OH LINE, POLE & GUY WIRE
- UNDERGROUND CABLE TV, CATV PEDESTAL
- TELEPHONE U.S. CABLE, PEDESTAL & MANHOLE
- ELECTRIC U.S. CABLE, MANHOLE, METER & MANHOLE
- GAS MAIN, VALVE & GAS LINE MANHOLE
- MATERIAL, HYD. GATE, VALVE, TAPPING SLEEVE & VALVE
- SANITARY SEWER, CLEANOUT & MANHOLE
- STORM SEWER, CLEANOUT & MANHOLE
- COMBINED SEWER & MANHOLE
- CATCH BASIN
- ALLEY (NO INDOOR LINES)
- YARD DRAIN (2" DIA. & SMALLER)
- POST INDICATOR VALVE
- WATER VALVE BOX/GRANT VALVE BOX, SERVICE SHUTOFF
- WALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
- UNIDENTIFIED STRUCTURE

PROPOSED

- AS BUILT ELEVATION
- CONTOUR LINE
- FENCE LINE
- GUARD RAIL
- STREET LIGHT
- SIGN
- CONCRETE
- ASPHALT
- WETLAND
- GRAVEL SHOULDER
- STANDARD HEAVY DUTY CITY STRENGTH
- KEEP CITY STRENGTH



WB-50

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 17.7
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

REFERENCE DRAWINGS

- WATER MAIN
- SANITARY SEWER
- STORM SEWER
- TELEPHONE
- GAS
- CATV
- OTHER
- ROCHESTER CITY MAP, RECEIVED 11-30-12
- ROCHESTER CITY MAP, RECEIVED 11-30-12
- ROCHESTER CITY MAP, RECEIVED 11-30-12
- AT&T MAP "AIRBORNE", DATED 12/21/12
- CONSUMERS ENERGY MAP 03-61-34-1, DATED 08-07-09
- COMCAST MAP, RECEIVED 11-28-12
- ALTA ACSM/LAND TITLE SURVEY FOR 3650 S. ROCHESTER ROAD, ROCHESTER HILLS, MI BY SEMAN ENGINEERING & ASSOCIATES, INC. DATED 8-20-11
- SITE ENGINEERING PLAN FOR 2010 S. ROCHESTER ROAD, ROCHESTER HILLS, MI BY AIR SECKER & ASSOCIATES, INC. DATED 11-5-1098
- AS-BUILT PLAN FOR MEADOWBROOK DOODLE, BY STENROS ASSOCIATES, DATED 5-1-1993

EAST 1/4 CORNER OF SECTION 34, T.03N., R.11E, AVON TWP., MI (L.14992, P.090)

PRELIMINARY NOT FOR CONSTRUCTION CITY FILE #12-010

CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THIS DRAWING AS ONLY APPROXIMATE. NO GUARANTEE IS BEING EXPRESSED OR IMPLIED BY THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR OBTAINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. AND ARE SUBMITTED ON THE CONDITION THAT THEY ARE NOT TO BE USED FOR ANY OTHER PROJECT, IN WHOLE OR IN PART, OR REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. ALL RIGHTS ARE RESERVED. COPYRIGHT © 2012 PROFESSIONAL ENGINEERING ASSOCIATES, INC.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, HOLD HARMLESS AND INDEMNIFY PROFESSIONAL ENGINEERING ASSOCIATES, INC. FROM AND AGAINST ALL CLAIMS OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT (INCLUDING) MADE BY ANYONE FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811

Know what's below
Call before you dig

MISS DIG System, Inc.
1-800-482-7171 www.missdig.net

PEA

PROFESSIONAL ENGINEERING ASSOCIATES
2430 Rochester Ct. Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

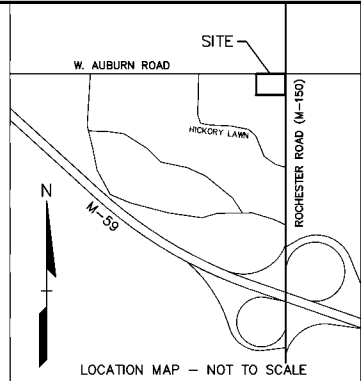
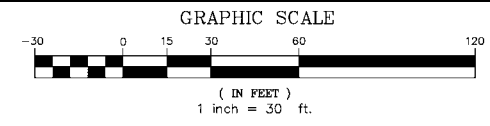
ROCHESTER AUBURN ASSOC.
6750 OAKHILLS DRIVE
BLOOMFIELD HILLS, MI 48301

WB-50 TRUCK ACCESS PLAN
PART OF THE SITE PLAN FOR THE CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. RLS DN SUR. KTR P.M. JPB

ORIGINAL ISSUE DATE: MARCH 20, 2013
PEA JOB NO. 2012-074
SCALE: 1" = 30'
DRAWING NUMBER: **P-8**

REF: L:\2012\074\DWG\2012_074_TORPOBASE_OVERALL.DWG
REF: L:\2012\074\DWG\SITE_PLAN\SP-BASE-12074.DWG
REF: L:\2012\074\DWG\SITE_PLAN\SP-TBLK-12074.DWG

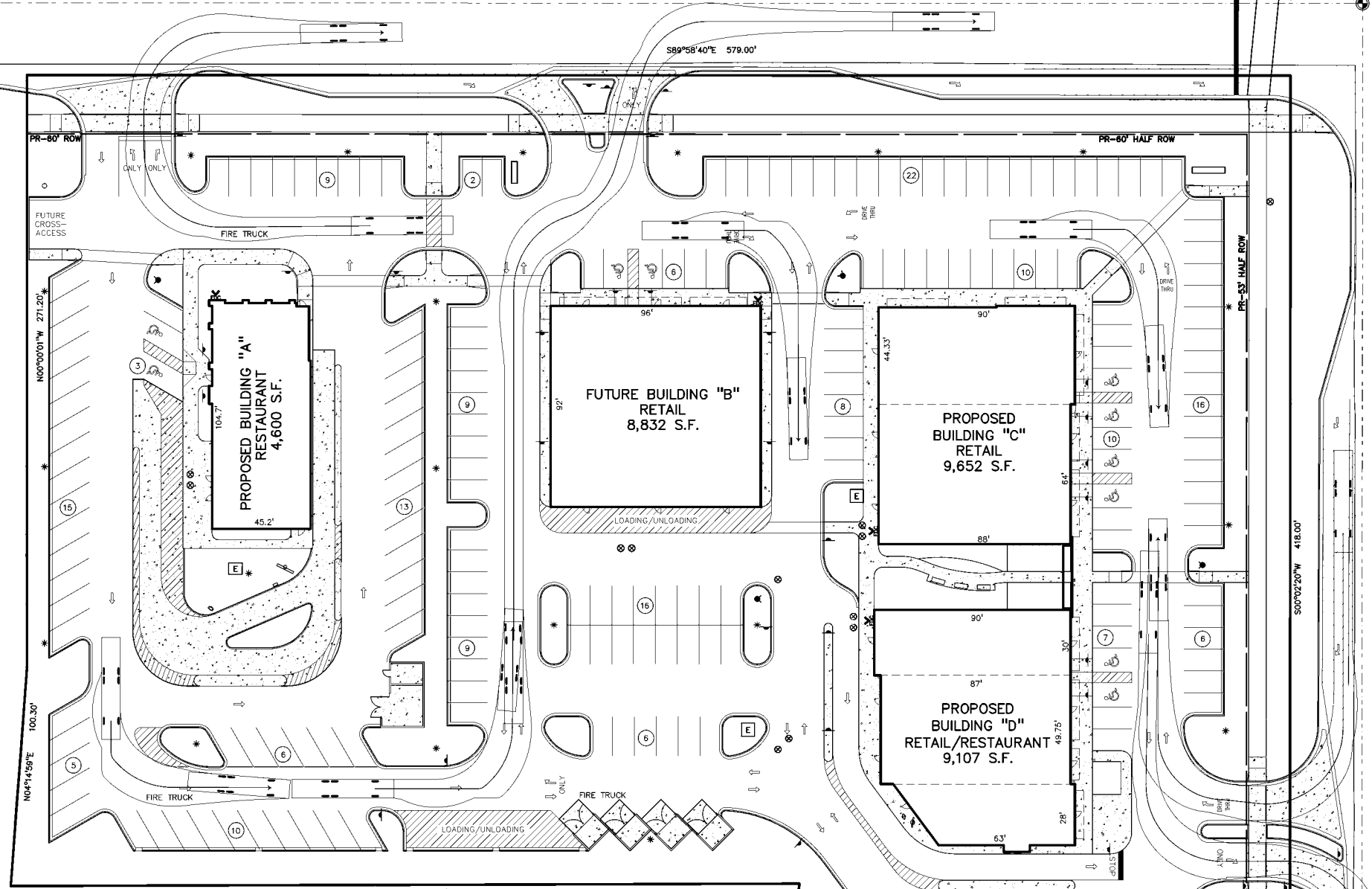


NO.	DATE	REVISIONS
1	03-23-12	REVISED PER CITY REVIEW
		BY: CHC DESCRIPTION

NORTH 1/4
CORNER OF
SECTION 34,
T.03N., R.11E,
AVON TWP., MI
(L.14992, P.089)

W. AUBURN ROAD
(66' WIDE - PUBLIC)

CALCULATED
NE CORNER OF
SECTION 34,
T.03N., R.11E,
AVON TWP., MI
(L.14992, P.096)



S. ROCHESTER ROAD
(VARIABLE WIDTH - PUBLIC)



CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS BEING EXPRESSED OR IMPLIED BY THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR OBTAINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

THIS DRAWING AND DESIGN ARE THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. ALL RIGHTS ARE RESERVED. COPYRIGHT © 2012 PROFESSIONAL ENGINEERING ASSOCIATES, INC.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND PROTECTION OF ALL PERSONS AND PROPERTY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND PROTECTION OF ALL PERSONS AND PROPERTY.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811

Know what's below
Call before you dig

MISS DIG System, Inc.
1-800-482-7171 www.missdig.net

PEA

PROFESSIONAL
ENGINEERING
ASSOCIATES

2430 Rochester Ct. Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

ROCHESTER AUBURN ASSOC.
6750 OAK HILLS DRIVE
BLOOMFIELD HILLS, MI 48301

FIRE TRUCK ACCESS PLAN
ROCHESTER RETAIL

PART OF THE SITE PLAN FOR THE
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. RLS. DN. RLS. SUR. KTR. P.M. JPB

ORIGINAL
ISSUE DATE: MARCH 20, 2013

PEA JOB NO. 2012-074

SCALE: 1" = 30'

DRAWING NUMBER
P-9

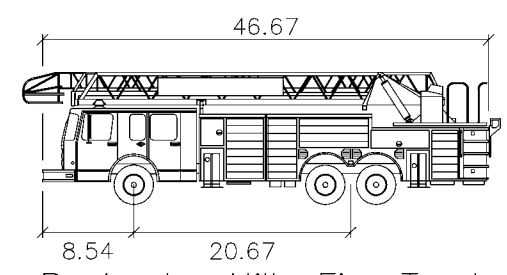
REF: L:\2012\074\DWG\2012_074_TORPOBASE_OVERALL.DWG
REF: L:\2012\074\DWG\2012_074_PLANS_P-BASE-12074.DWG
REF: L:\2012\074\DWG\2012_074_PLANS_P-TBLK-12074.DWG

LEGEND

● IRON FOUND	⊗ BRASS PILE SET	⊙ SEC. CORNER FOUND
⊙ IRON SET	⊙ MONUMENT FOUND	⊙ RECORDED
⊙ NAIL FOUND	⊙ MONUMENT SET	⊙ MEASURED
⊙ NAIL & CAP SET		⊙ CALCULATED

EXISTING

— OH-ELEC—	ELEC. PHONE OR CABLE TV OH LINE, POLE & GUY WIRE
— UG-CATV—	UNDERGROUND CABLE TV, CATV PEDESTAL
— UG-PHONE—	TELEPHONE U.S. CABLE, PEDESTAL & MANHOLE
— UG-ELEC—	ELECTRIC U.S. CABLE, MANHOLE, METER & MARKHOLE
— GAS—	GAS MAIN, VALVE & GAS LINE MARKER
— WTR—	METSEAN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
— S.S.—	SANITARY SEWER, CLEANOUT & MANHOLE
— S.S.—	STORM SEWER, CLEANOUT & MANHOLE
— S.S.—	COMBINED SEWER & MANHOLE
⊙	CATCH BASIN
⊙	ALLEY (NO INBOUND LINES)
⊙	YARD DRAIN (2" DIA. & SMALLER)
⊙	POST INDICATOR VALVE
⊙	WATER VALVE BOX/GRANT VALVE BOX, SERVICE SHUTOFF
⊙	WALBOX, TRANSFORMER, IRRIGATION CONTROL VALVE
⊙	UNIDENTIFIED STRUCTURE
⊙	SPOT ELEVATION
⊙	AS BUILT ELEVATION
—	CONTOUR LINE
—	FENCE LINE
—	GUARD RAIL
—	STREET LIGHT
—	SIGN
—	CONCRETE
—	ASPHALT
—	METAL
—	GRAVEL SHOULDER



Rochester Hills Fire Truck

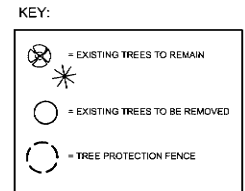
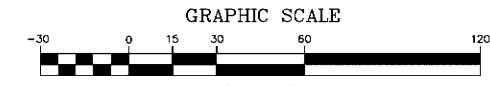
Width	: 8.50	feet
Track	: 7.61	
Lock to Lock Time	: 5.0	
Steering Angle	: 40.0	

REFERENCE DRAWINGS

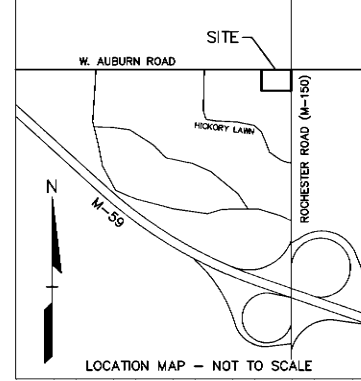
WATER MAIN	ROCHESTER CITY MAP, RECEIVED 11-30-12
SANITARY SEWER	ROCHESTER CITY MAP, RECEIVED 11-30-12
STORM SEWER	ROCHESTER CITY MAP, RECEIVED 11-30-12
TELEPHONE	AT&T MAP "AS-BUILT", DATED 12/21/12
GAS	CONSUMERS ENERGY MAP 03-61-34-1, DATED 08-07-09
CATV	COMCAST MAP, RECEIVED 11-28-12
OTHER	ALTA ACS/A/LAND TITLE SURVEY FOR 3650 S. ROCHESTER ROAD, ROCHESTER HILLS, MI BY SUMMA ENGINEERING & ASSOCIATES, INC. DATED 8-20-11
	SITE ENGINEERING PLAN FOR 2010 S. ROCHESTER ROAD, ROCHESTER HILLS, MI BY AIR SECKER & ASSOCIATES, INC. DATED 11-5-1098
	AS-BUILT PLAN FOR MEADOWBROOK DOODOE, BY STENROSS ASSOCIATES, DATED 5-1-1993

TH 1/4
NER OF
TION 34,
N., R.11E,
N TWP., MI
4992, P.099

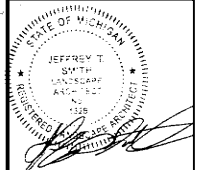
W. AUBURN ROAD
(66' WIDE - PUBLIC)



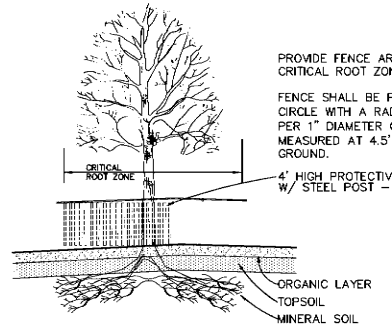
CALCULATED
NE CORNER OF
SECTION 34,
T.33N., R.11E,
AVON TWP., MI
(L-14992, P.096)



NO.	DATE	DESCRIPTION
1	5-2-13	REVISION PER CITY REVIEW
2		BY: [Signature]



CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ON THIS DRAWING ARE THE PROPERTY OF THE UTILITY COMPANIES AND ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR VERIFYING THE EXACT LOCATION AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.
THE DRAWING AND DESIGN ARE THE PROPERTY OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. THEY ARE SUBMITTED ON THE CONDITION THAT THEY ARE NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. ALL CONSTRUCTION SHALL BE SPECIFICALLY REFERENCED TO THE PROFESSIONAL ENGINEERING ASSOCIATES, INC. DRAWING.



TREE PROTECTION DETAIL
NOT TO SCALE

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	CONDITION	NOTE
175	F	-	American Elm	Ulmus americana	GOOD	Remove
179	E	6	American Elm	Ulmus americana	GOOD	Remove
180	E	7	American Elm	Ulmus americana	FAIR	To be removed
181	E	6	American Elm	Ulmus americana	FAIR	To be removed
182	HN	-	Hickory	A. sp.	GOOD	Remove
187	AU	9	Austrian Pine	Pinus nigra	GOOD	Remove
184	AU	9	Austrian Pine	Pinus nigra	FAIR	Remove
185	AU	6	Austrian Pine	Pinus nigra	GOOD	Remove
186	AU	8	Austrian Pine	Pinus nigra	FAIR	Remove
187	AU	8	Austrian Pine	Pinus nigra	GOOD	Remove
188	AU	6	Austrian Pine	Pinus nigra	FAIR	Remove
189	AU	8	Austrian Pine	Pinus nigra	FAIR	Remove
190	AU	8	Austrian Pine	Pinus nigra	FAIR	To be removed
191	AU	9	Austrian Pine	Pinus nigra	GOOD	Remove
192	AU	9	Austrian Pine	Pinus nigra	GOOD	Remove
193	AU	8	Austrian Pine	Pinus nigra	GOOD	Remove
194	AU	10	Austrian Pine	Pinus nigra	GOOD	To be removed
195	AU	8	Austrian Pine	Pinus nigra	GOOD	Remove
196	AU	8	Austrian Pine	Pinus nigra	GOOD	Remove
197	AU	6x2	Austrian Pine	Pinus nigra	GOOD	Remove
198	AU	8	Austrian Pine	Pinus nigra	GOOD	To be removed
199	AU	-	Austrian Pine	Pinus nigra	GOOD	Remove
200	AU	10	Austrian Pine	Pinus nigra	GOOD	Remove
206	AU	9	Austrian Pine	Pinus nigra	GOOD	Remove
207	AU	7	Austrian Pine	Pinus nigra	GOOD	To be removed
208	AU	8	Austrian Pine	Pinus nigra	GOOD	To be removed
209	AU	9	Austrian Pine	Pinus nigra	GOOD	Remove
200	AU	7	Austrian Pine	Pinus nigra	GOOD	Remove
217	AU	8	Austrian Pine	Pinus nigra	GOOD	Remove
218	AU	8	Austrian Pine	Pinus nigra	GOOD	Remove
219	AU	7	Austrian Pine	Pinus nigra	GOOD	Remove
220	AU	8	Austrian Pine	Pinus nigra	GOOD	Remove
221	AU	10	Austrian Pine	Pinus nigra	GOOD	Remove
222	AU	11	Austrian Pine	Pinus nigra	GOOD	Remove
223	F	6x4	American Elm	Ulmus americana	POOR	Remove
224	AU	12	Austrian Pine	Pinus nigra	GOOD	To be removed
225	AU	10	Austrian Pine	Pinus nigra	GOOD	To be removed
226	HL	8	Honeylocust	Gleditsia triacanthos	GOOD	To be removed
227	HL	6	Honeylocust	Gleditsia triacanthos	GOOD	To be removed
228	HL	8	Honeylocust	Gleditsia triacanthos	GOOD	To be removed
229	HL	9	Honeylocust	Gleditsia triacanthos	GOOD	To be removed
230	HL	10	Honeylocust	Gleditsia triacanthos	GOOD	To be removed
1786	BP	8	Balsam Poplar	Populus balsamifera	GOOD	To be removed
1787	BP	8	Balsam Poplar	Populus balsamifera	GOOD	To be removed
1788	BP	8	Balsam Poplar	Populus balsamifera	GOOD	To be removed
1789	BP	8	Balsam Poplar	Populus balsamifera	GOOD	To be removed
1790	BP	8	Balsam Poplar	Populus balsamifera	GOOD	To be removed
1791	HL	9	Honeylocust	Gleditsia triacanthos	GOOD	To be removed
1792	HL	9	Honeylocust	Gleditsia triacanthos	GOOD	To be removed
1793	HL	13	Honeylocust	Gleditsia triacanthos	GOOD	To be removed

S. ROCHESTER ROAD
(VARIABLE WIDTH - PUBLIC)

CITY OF ROCHESTER HILLS NOTES:

IMPORTANT:
ALL TREES ON ADJACENT PROPERTIES MUST BE PROTECTED. THE TREE PROTECTIVE FENCING MAY BE PLACED ALONG THE ACTUAL PROPERTY LINE IF THE BRANCHES OF THE TREES ON THE ADJACENT PROPERTIES DO NOT OVERHANG ONTO THE SITE BEING DEVELOPED. IF THE BRANCHES OVERHANG ONTO THE AREA OF THE SITE BEING DEVELOPED, THE TREE PROTECTIVE FENCING MUST BE PLACED AT THE ACTUAL DRIP LINE OF THESE TREES. IT SHOULD ALSO BE NOTED THAT THE SILT FENCING MUST BE PLACED ON THE DEVELOPMENT SIDE OF THE TREE PROTECTIVE FENCING. THE SILT FENCING MAY NOT BE PLACED BETWEEN THE TREE BEING PRESERVED AND THE TREE PROTECTIVE FENCING. IF ANY REGULATED TREES ARE MANAGED ON THE ADJACENT PROPERTIES, THE DAMAGED TREES WILL BE EITHER REPLACED ON THE OWNER'S PROPERTY ON AN INCH FOR INCH BASIS OR A FINE IN THE SUM OF \$122.00 PER CALIPER INCH WILL BE ISSUED AGAINST THE DEVELOPMENT. THIS FINE WILL BE DUE PRIOR TO BUILDING PERMITS BEING ISSUED. IF YOU HAVE ANY QUESTIONS OR NEED ADDITIONAL INFORMATION, CALL THE CITY'S PLANNING DEPARTMENT AT 248-656-4660.

TREE PROTECTION NOTES:

- The tree protection fencing (TPF) shall be erected per the plans approved by the City of Rochester Hills Planning Department. The TPF must be in place and be inspected by the City of Rochester Hills' Planning Staff prior to the start of any earthwork or construction operations. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule a TPF inspection. The TPF shall remain in place throughout the entire construction process or until the City authorizes the removal or issues a final Certificate of Occupancy, whichever occurs first.
- Upon completion of grading and the installation of the infrastructure, a second inspection of the TPF and the trees designated for preservation is required by the City of Rochester Hills' Forester prior to the start of any additional construction. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule this TPF inspection.
- A final inspection by the City of Rochester Hills Planning Staff is required at the end of the warranty and maintenance period. The Landscape Maintenance Bond will not be released until this inspection is complete and all related issues are resolved. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule this inspection.
- The Tree Conservation Ordinance prohibits any construction or development activities within the drip line of any regulated trees not approved for removal, including, but not limited to, land clearing, grubbing, trenching, grading or filling; no person shall place any solvents, building material, construction equipment, soil deposits or harmful materials within the drip line limit of trees designated for preservation.
- Proposed grades are to match the existing elevations outside the limits of the TPF. No grading either cut or fill is permitted within the drip line of any tree designated for preservation.
- During the construction process no person shall attach any device or wire/cable/rope to an existing tree designated to be preserved.
- All utility service requests must include notification to the installer that protected trees must be avoided. All trenching shall occur outside the TPF.
- Swales shall be routed to avoid the area within the drip line of the only tree designated for preservation. Swales shall be constructed so as to not direct any additional flow into the drip line of a tree designated for preservation.
- If tree protection cannot be maintained for a tree throughout entire period required, the replacement of that tree will be required on an inch for inch basis prior to the issuance of any Certificate of Occupancy.
- Regulated trees located off-site on adjacent properties that may be affected by construction operations must be protected defined herein.
- The TPF shall consist of four-foot high orange snow fencing to be installed around the drip line of all trees designated to be saved. This fencing shall be supported by six-foot metal T-bar posts five-feet on center and driven a minimum of 24" into the ground. The TPF fencing shall remain upright and securely in place for the required time as specified above.
- Prior to the release of the Performance Bond, the City of Rochester Hills Forestry Division needs to inspect all trees existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developer to remove and possibly replace any such trees.

3 FULL WORKING DAYS BEFORE YOU DIG CALL
811
Know what's below
Call before you dig
MISS Dig System, Inc.
1-800-482-7171 www.missdig.net
0205-0003

PROFESSIONAL ENGINEERING ASSOCIATES
2430 Rochester Ct. Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

ROCHESTER AUBURN ASSOC.
6750 OAKHILLS DRIVE
BLOOMFIELD HILLS, MI 48301
TREE PRESERVATION PLAN
ROCHESTER RETAIL
PART OF THE NE 1/4 OF SECTION 34, T. 33N., R. 11E.,
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

PRELIMINARY
NOT FOR CONSTRUCTION
CITY FILE #12-010

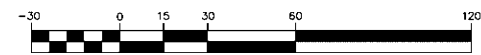
SCALE: 1" = 30'
DRAWING NUMBER:
TREE-1

REVISED PER CITY REVIEW
DATE: 5-2-13

TH 1/4
NER OF
TOW 34,
N., R.1E,
N TWP., MI
4992, P.089)

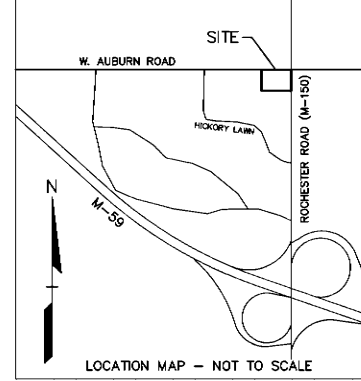
W. AUBURN ROAD
(66' WIDE - PUBLIC)

GRAPHIC SCALE

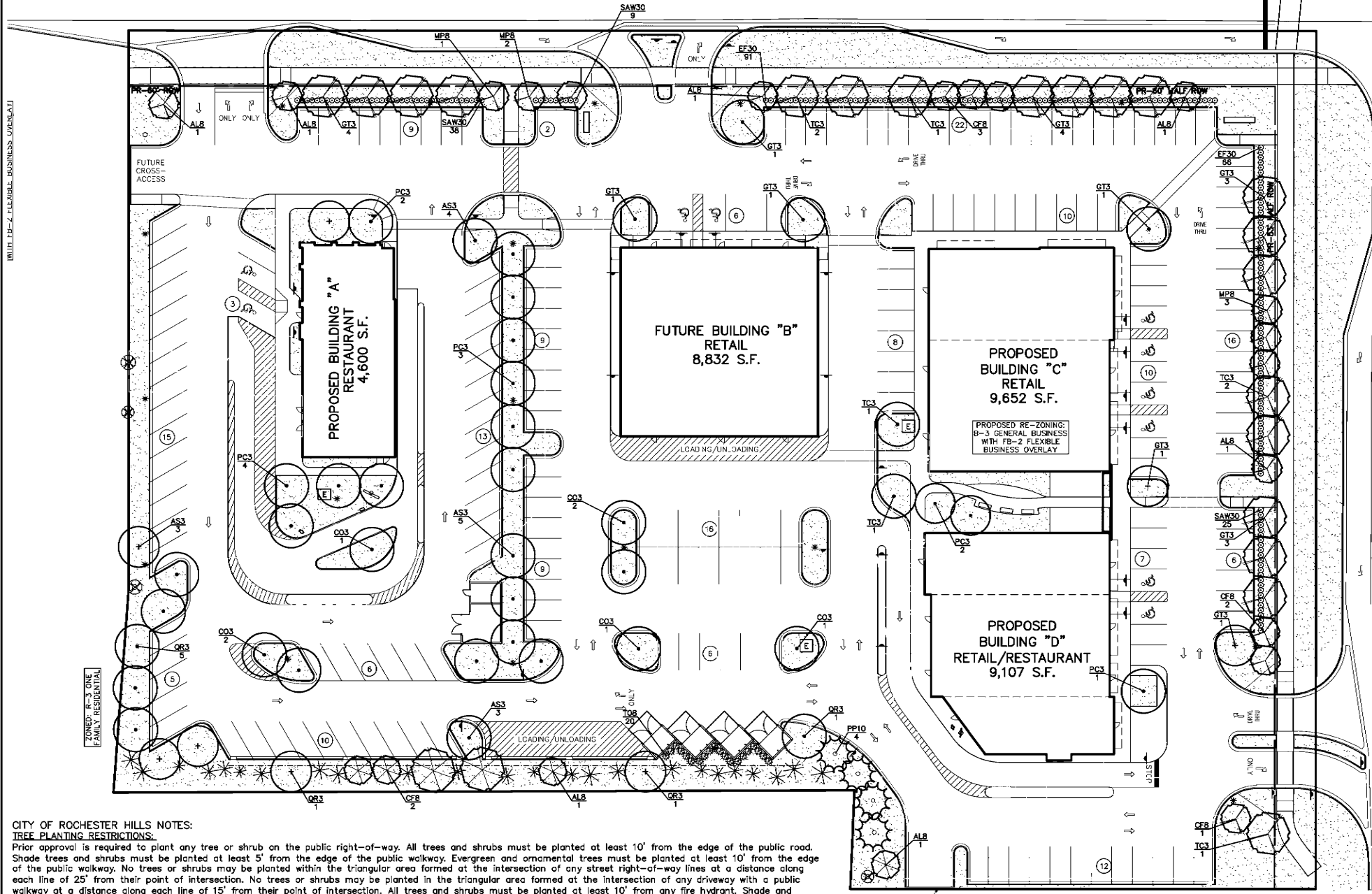


KEY:

- = PARKING LOT PERIMETER TREES
- = PARKING LOT TREES
- = RIGHT OF WAY TREES
- = BUFFER YARD TREES
- = REPLACEMENT TREES
- = SHRUBS
- = IRRIGATED SOD LAWN



NO.	DATE	REVISIONS
1	03-23-12	ISSUED PER CITY REVIEW
2	03-23-12	REVISED PER CITY REVIEW
3	03-23-12	REVISED PER CITY REVIEW



LANDSCAPE CALCULATIONS:
PER CITY OF ROCHESTER HILLS ZONING ORDINANCE

INTERIOR PARKING LOT LANDSCAPE
REQUIRED: 5% OF VEHICAL USE AREA & 1 TREE / 150 SF
120,757 SQ FT * 5% = 6,038 SQ FT
6,038 SF / 150 SF = 40 TREES
PROVIDED: 8,105 SQ FT OF LANDSCAPE AREA & 40 TREES

PERIMETER PARKING LOT LANDSCAPE
REQUIRED: 1 DEC TREE / 25 LF
1 ORN TREE / 35 LF
CONTINUOUS SHRUB HEDGE AROUND PARKING LOT ADJACENT TO STREET
W. AUBURN ROAD: 333 LF / 25 = 13 DEC TREES
333 LF / 35 = 10 ORN TREES
ROCHESTER ROAD: 240.5 LF / 25 = 10 DEC TREES
240.5 LF / 35 = 7 ORN TREES
PROVIDED: W AUBURN ROAD: 11 DEC & 10 ORN TREES PROPOSED
ROCHESTER ROAD: 9 DEC & 7 ORN TREES PROPOSED
(DUE TO UTILITY CONFLICTS)
CONTINUOUS SHRUB HEDGE

RIGHT OF WAY LANDSCAPING
REQUIRED: 1 DEC TREE / 35 LF OF RIGHT OF WAY
1 ORN TREE / 35 LF OF RIGHT OF WAY
W. AUBURN ROAD: 559 LF / 35 LF = 16 DEC & 16 ORN TREES
ROCHESTER ROAD: 391 LF / 35 LF = 11 DEC & 11 ORN TREES
PROVIDED: W AUBURN ROAD: 0 DEC TREES & 0 ORN TREES
(DUE TO DECELERATION LANES & 5' OFFSET REQ.
ALONG WITH UTILITY CONFLICTS)
ROCHESTER ROAD: 0 DEC TREES & 0 ORN TREES
(DUE TO UTILITY CONFLICTS)

BUFFER YARD LANDSCAPING
REQUIRED: 2 DEC TREES / 100 LF
1.5 ORN TREES / 100 LF
2 EVG TREES / 100 LF
4 SHRUBS / 100 LF
509 LF / 100 LF = 10 DEC TREES,
8 ORN TREES, 10 EVG TREES & 20 SHRUBS
PROVIDED: 2 DEC & 24 EVG TO REMAIN, 4 ORN PROPOSED
& 20 SHRUBS

TREE REPLACEMENT
REQUIRED: 15 DEC TREES TO BE REMOVED & REPLACED BY 3" CAL TREES = 8-3" CAL REPLACEMENT TREES
7 EVG TREES TO BE REMOVED & REPLACED BY 10' HT. TREES = 4 EVG REPLACEMENT TREES
PROVIDED: 8-3" CAL DEC TREES & 4-10' HT EVG TREES

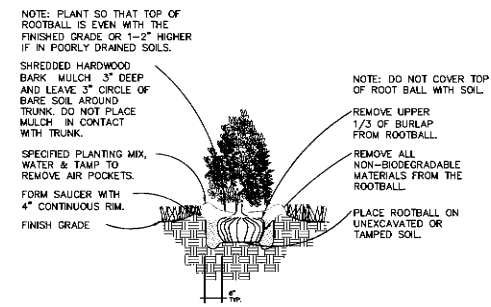
S. ROCHESTER ROAD
(VARIABLE WIDTH - PUBLIC)

TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
7	ALB	Serviceberry	<i>Amelanchier laevis</i>	8' Ht.	B&B
15	AS3	Sugar Maple	<i>Acer saccharum</i> 'Green Mountain'	3" Cal.	B&B
8	CFB	Pink Dogwood	<i>Cornus florida</i> var. 'Rubra'	8" Ht.	B&B
7	CO3	Common Hackberry	<i>Celtis occidentalis</i>	3" Cal.	B&B
20	GTS	Skyline Honeylocust	<i>Gleditsia triacanthos</i> 'Skyline'	3" Cal.	B&B
6	MPB	Prainfire Crab	<i>Morus prainfire</i>	8" Ht.	B&B
12	PC3	Cleveland Select Pear	<i>Pyrus calleryana</i> 'Cleveland Select'	3" Cal.	B&B
4	PP10	Colorado Spruce	<i>Picea pungens</i>	10' Ht.	B&B
8	OR3	Red Oak	<i>Quercus rubra</i>	3" Cal.	B&B
8	TC3	Greenspire Linden	<i>Tilia cordata</i> 'Greenspire'	3" Cal.	B&B

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
157	EF30	Green Lane Euonymus	<i>Euonymus fortunei</i> 'Green Lane'	30" Ht.	Cont.
72	SAW30	Anthony Waterer Spirea	<i>Spiraea x bum.</i> 'Anthony Waterer'	30" Ht.	Cont.
20	TOB	Mission Arborvitae	<i>Thuja occidentalis</i> 'Techny'	8' Ht.	Cont.

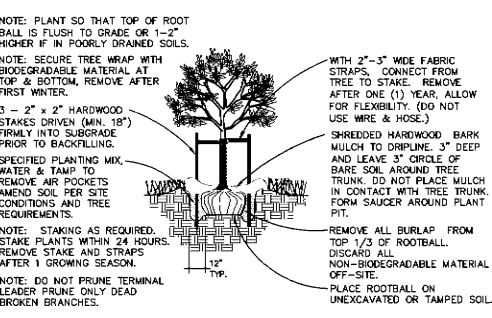


CITY OF ROCHESTER HILLS NOTES:
TREE PLANTING RESTRICTIONS:
Prior approval is required to plant any tree or shrub on the public right-of-way. All trees and shrubs must be planted at least 10' from the edge of the public road. Shade trees and shrubs must be planted at least 5' from the edge of the public walkway. Evergreen and ornamental trees must be planted at least 10' from the edge of the public walkway. No trees or shrubs may be planted within the triangular area formed at the intersection of any street right-of-way lines at a distance along each line of 25' from their point of intersection. No trees or shrubs may be planted in the triangular area formed at the intersection of any driveway with a public walkway at a distance along each line of 15' from their point of intersection. All trees and shrubs must be planted at least 10' from any fire hydrant. Shade and evergreen trees must be at least 15' away from the nearest overhead wire. Trees must be planted a minimum of 5' from an underground utility, unless the city's Landscape Architect requires a greater distance.

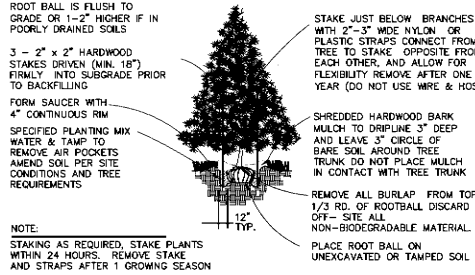
CLOSING COMMENT:
Prior to the release of the performance bond, the City of Rochester Hills Forestry Division needs to inspect all trees, existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developer to remove, and possibly replace, any such trees.

- GENERAL PLANTING NOTES:**
- Landscape contractor shall visit site, inspect existing site conditions and review proposed planting and related work. In case of discrepancy between plan and plant list, plan shall govern quantities. Contact Landscape Architect with any concerns.
 - Contractor shall verify locations of all on site utilities prior to beginning construction on his/her phase of work. Electric, gas, telephone, cable television may be located by calling MISS DIG 1-800-482-7171. Any damage or interruption of services shall be the responsibility of Contractor. Contractor shall coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to Owner's Representative prior to commencing.
 - All plant material to be premium grade nursery stock and shall satisfy American Association of Nurserymen standard for Nursery Stock. All landscape material shall be Northern Grown, No. 1, Grade.
 - Contractor is responsible for verifying all quantities shown on landscape plan prior to pricing the work.
 - The owner's representative reserves the right to reject any plant material not meeting specifications.
 - All single stem shade trees to have straight trunks and symmetrical crowns.
 - All single trunk shade trees to have a central leader; trees with forked or irregular trunks will not be accepted.

- All multi stem trees shall be heavily branched and have symmetrical crowns. One sided trees or those with thin or open crowns shall not be accepted.
- All evergreen trees shall be heavily branched and full to the ground, symmetrical in shape and not sheared for the last five growing seasons.
- All trees to have clay or clay loam balls, trees with sand balls will be Rejected.
- No machinery is to be used within the drip line of existing trees; Hand grade all lawn areas within the drip line of existing trees.
- All tree locations shall be staked by Landscape Contractor and are subject to the approval of the landscape Architect prior to installation of the plant material.
- It is mandatory that positive drainage is provided away from all buildings.
- All planting beds shall receive 4" shredded hardwood bark mulch, see specifications. Shredded palette and died mulch will not be accepted.
- All landscaped areas shall receive 3" compacted topsoil.
- Maintenance: All plant material shall be maintained in good condition by mowing, watering, mulch, etc., so as to present a healthy neat and orderly appearance free from refuse and debris.



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

SHRUB PLANTING DETAIL
NOT TO SCALE

PRELIMINARY
NOT FOR CONSTRUCTION
CITY FILE #12-010

ISSUED: L:\2012\010\WORK\01074 - 01\PROJAB OVERALL.DWG
REVISED: L:\2012\010\WORK\01074 - 01\PROJAB OVERALL.DWG
REVISED: L:\2012\010\WORK\01074 - 01\PROJAB OVERALL.DWG

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811

Know what's below
Call before you dig

MISS DIG System, Inc.
1-800-482-7171 www.missdig.net
0303-1003

PROFESSIONAL ENGINEERING ASSOCIATES
2430 Rochester Ct. Suite 100
Troy, MI 48063-1872
Phone: (248) 689-9090
Fax: (248) 689-1044
website: www.peainc.com

ROCHESTER AUBURN ASSOC.
6750 OAKHILLS DRIVE
BLOOMFIELD HILLS, MI 48301

PRELIMINARY LANDSCAPE PLAN
ROCHESTER LATER RETAIL
PART OF THE 1/4 OF SECTION 34, T. 3N., R. 11E.,
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DES. RLS DLN RLS SUR. KTR. JPB
P.M.

ORIGINAL
ISSUE DATE: MARCH 20, 2013

PEA JOB NO. 2012-074

DRAWING NUMBER
L-1

SCALE: 1" = 30'

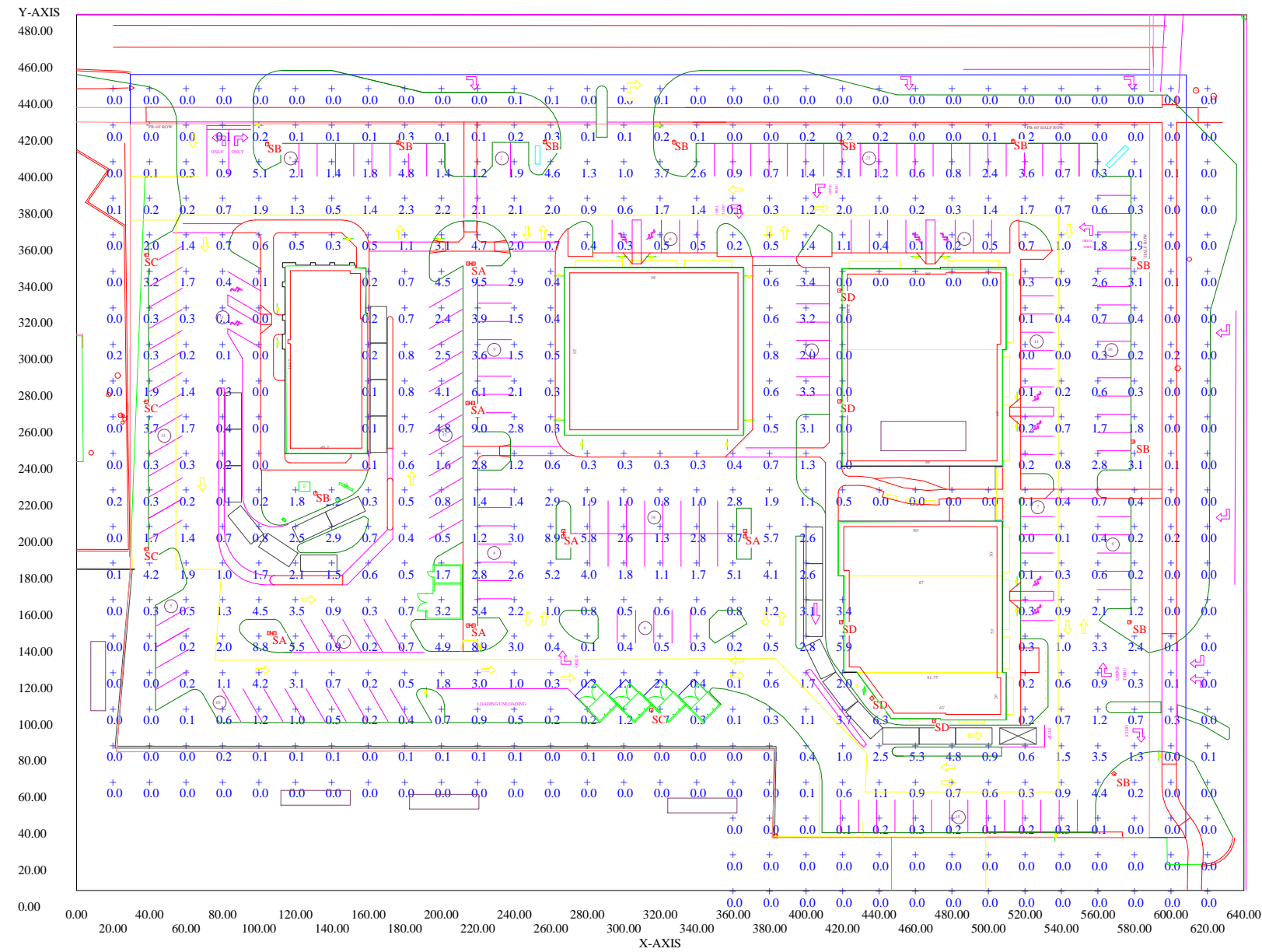
PROJECT: Rochester Rd and Auburn Rd/10417 GROUP: Group A AREA: Area 1 GRID: New Grid
 PREPARED BY: The Lighting Group - Mark Williams
 VALUES ARE FC, SCALE: 1 IN= 45.0FT, HORZ GRID (U), HORZ CALC, Z= 0.0

Computed in accordance with IES recommendations
 Statistics

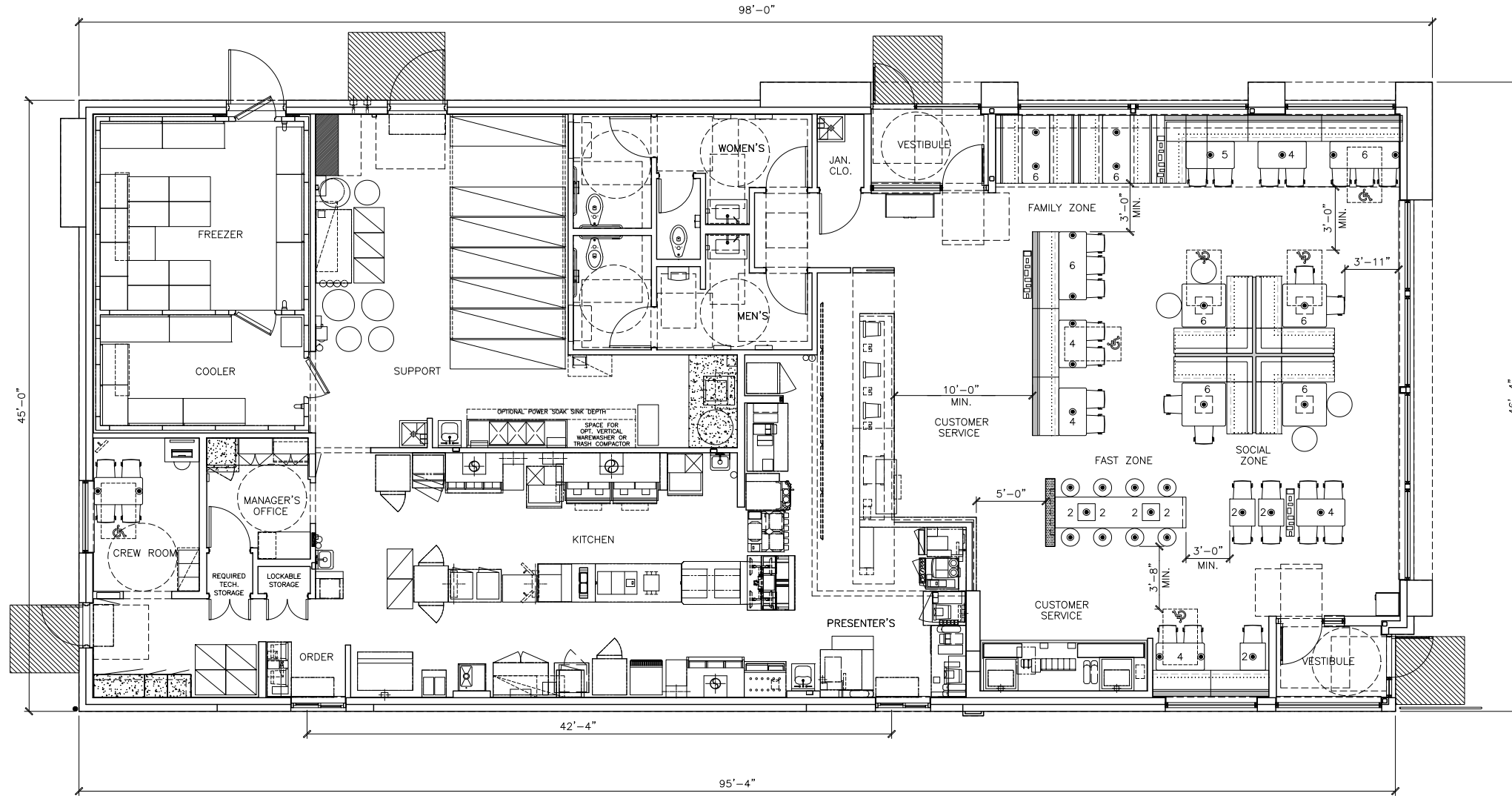
GROUP	MIN	MAX	AVE	AVE/MIN	MAX/MIN
(+)	0.0	9.5	1.0	N/A	N/A

Luminaires Used

TYPE	QTY	TEST#	DESCRIPTION
SA	6	-----	2-PTHS-5-250PSM, 4SQB5-S11G-17.5, 30" Conc. Base (2) A <PTHS-5-250-PSMH-F>, LLF= 0.70;
SB	11	-----	1-PTHS-FT-250PS, 4SQB5-S11G-17.5, 30" Conc. Base (1) B <PTHS-FT-250-PSMH-F-HSS>, LLF= 0.70;
SC	4	-----	1-PTHS-FT-175PS, 4SQB5-S11G-12.5, 30" Conc. base (1) C <PTHS-FT-175-PSMH-F-HSS>, LLF= 0.70;
SD	5	-----	CHWM-FT-250PSM, Wall mounted, 18' above grade (1) D <CHWM FT 250 MHR MT F>, LLF= 0.70;



\\MCDOMPFS10A\CAD\1\STD\STANDARD\PRELIM\2013 STANDARD BUILDINGS - 4TH QUARTER RELEASE\45 97 - WW (FULL)\A-REFERENCE PLANS.DWG 10-08-2012 14:33



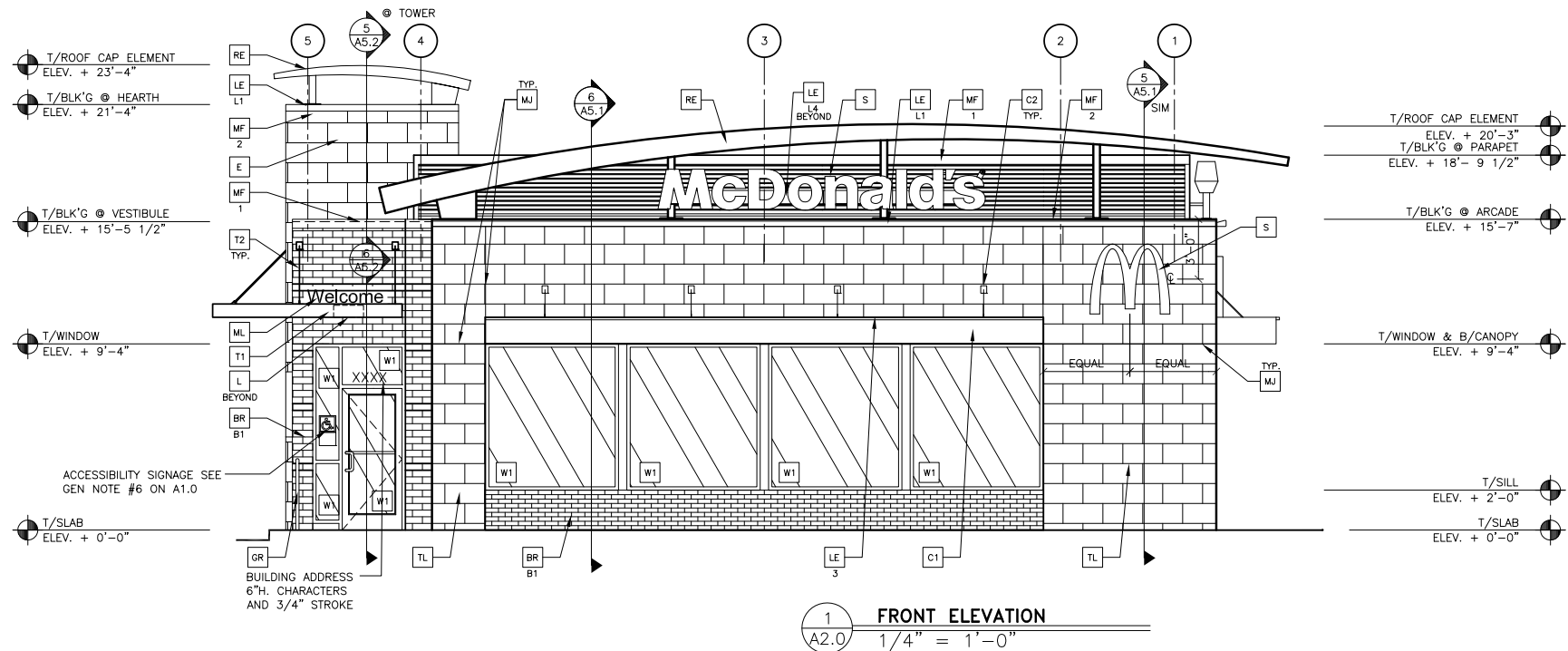
1 FLOOR PLAN
R1.3 1/4"=1'-0"

4597- WW PLAN
4,387 GROSS SQ. FT./ 4,055 NET SQ. FT.
87 SEATS (5 ACCESSIBLE SEATS)

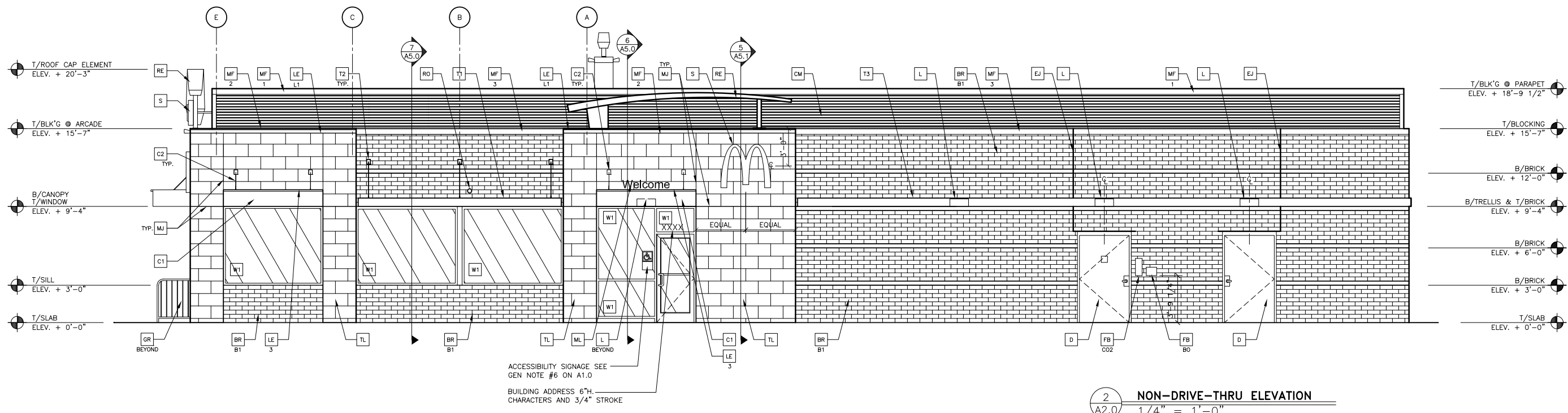
THIS DRAWING IS
FOR REFERENCE ONLY
NOT FOR CONSTRUCTION
SEATING LAYOUT IS SCHEMATIC, THE FINAL
SEATING LAYOUT TO BE PROVIDED BY OTHERS.

SHEET NO. R1.3	TITLE 2013 STANDARD BUILDING 4597 - WOOD/WOOD	DESCRIPTION WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH WOOD ROOF TRUSS FRAMING E.I.F.S. EXTERIOR FINISH ARCADE/ENTRY	SITE # 400-0000	SITE ADDRESS	DATE ISSUED	MM DD YYYY	REVIEWED BY	MM DD YYYY	STANDARD DATE	2013_01	DRAWN BY	PREPARED FOR	©2013 McDonald's USA, LLC PREPARED BY:	McDonald's USA, LLC	These drawings and specifications are the certified and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by McDonald's USA, LLC and shall not be used for any other project not suitable for use on a different site or at a later time. Use of the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.	REV	DATE	DESCRIPTION	BY
					DATE ISSUED	MM DD YYYY	REVIEWED BY	MM DD YYYY	STANDARD DATE	2013_01	DRAWN BY	PREPARED FOR							

K:\STD\STANDARD\PRELIM\2011 STANDARD BUILDINGS - APRIL 2012 RELEASE\587 WW-FULL SET\DWG\A-ELEV.DWG 04-26-2012 14:40



1 FRONT ELEVATION
A2.0 1/4" = 1'-0"



2 NON-DRIVE-THRU ELEVATION
A2.0 1/4" = 1'-0"

KEY NOTES:

- BM BRAKE METAL
COLOR = CITYSCAPE BY METAL-ERA
- C1 ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2 ALUMINUM CANOPY TIE-BACK SYSTEM
- CB 4"x4"x16" CONCRETE BRICK, TYPE- BELLA BRICK
CONTACT: CONSUMERS CONCRETE PRODUCTS
(616-243-3651)
- BT COLOR:
B1 = OLYMPIA BLEND TEXTURE, SMOOTH FACE
B2 = MIDLAND, SMOOTH FACE
- CJ CONTROL JOINT, SEE DETAIL 7/A4.1.
- CM CORRUGATED METAL PANEL, COLOR = CITYSCAPE BY METAL-ERA
- DD HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- CONFIRM USE WITH MCD PROJECT MANAGER
- GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- LE ACCENT LIGHTING - SEE ELECTRICAL
- LT-LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = UP ONLY FIXTURE
- ML METAL LETTERING - BY OTHERS

- MF METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/A5.0
1 - TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
3 = PRE-FAB MASONRY CAP FASCIA
- MJ MOVEMENT JOINT
SCHLUTER DILEX PRODUCT # BWB100HB
- PB PIPE BOLLARD - PAINTED YELLOW
- PT (RMHC) COIN COLLECTOR
UNIT #WPT DT2000 CMU
CALL 1-888-743-7435 TO ORDER
- RE ROOF CAP ELEMENT BY OTHERS
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.

- SS STAINLESS STEEL PRODUCT #
C = (CONNER STRIP) RONDEC R0100SP
E = (EDGE STRIP) A100SP
- T1 ALUMINUM TRELLIS SYSTEM
- T2 TRELLIS TIE-BACK SYSTEM
- T3 ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM
- REFER TO SIM, DETAIL 3 ON SHEET A5.1
- TL TILE: BRUSH STROKE SERIES BY EUROWEST
COLOR: OYSTER
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS - SEE ASSEMBLY NOTES
- W2 DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM - MANUAL OPEN, ELECTRONIC RELEASE
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

EUROWEST TILE

EUROWEST CONTACT: JAN DETER, (714) 937-7500
EUROWEST TILE: OYSTER BRUSHSTROKE 12"x24"x3/8" PORCELAIN BRUSHED HONED FINISH LAYOUT PATTERN: 33% MAX.
WATERPROOFING, SETTING MATERIAL AND GROUT: BY MAPEI
GROUT COLOR: 38 AVALANCHE, GROUT WIDTH: 1/8" TO 3/16"
INITIAL CLEANING: DETERDEK
*** POST INSTALLATION CLEANER IS REQUIRED ON ALL TILE APPLICATIONS. VERIFY CLEANING SOLUTION PRODUCT AND INSTRUCTIONS WITH MANUFACTURER.***
ADDITIONAL MATERIALS BY SCHLUTER SCHLUTER SYSTEMS L.P.

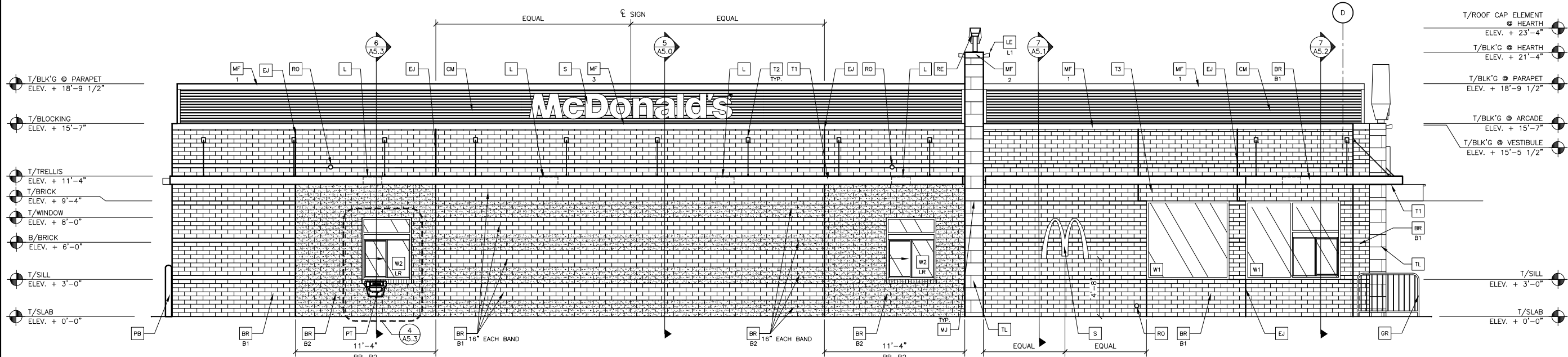
OUTSIDE CORNERS
COLOR: FOR OYSTER TILE - SAND PEBBLE RONDEC R0100SP (COLOR COATED ALUMINUM)
MOVEMENT JOINTS:
COLOR: FOR OYSTER TILE - SAND PEBBLE DILEX BWB100SP
END OF TILE FIELD ABOVE ROOF AT HEARTH:
COLOR: FOR OYSTER TILE - SAND PEBBLE RONDEC R0100SP (COLOR COATED ALUMINUM)
SCHLUTER SYSTEMS L.P. CONTACT: EARL MAUCUS, (518) 324-3410

TILE GENERAL NOTES:

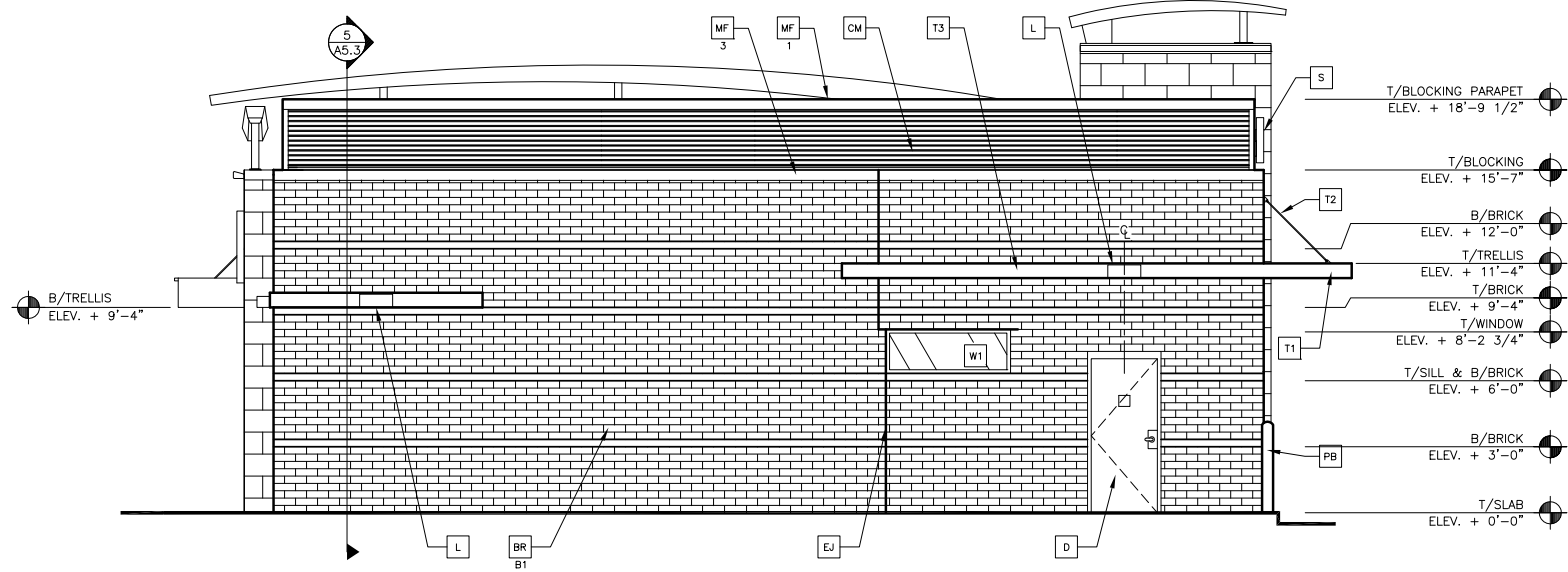
REFERENCE 2011 TCNA HANDBOOK - EJ171 MOVEMENT JOINT GUIDELINES
1. LOCATION AND FREQUENCY OF JOINTS
EXTERIOR: 8' TO 12' FEET IN EACH DIRECTION, OR AS INDICATED ON ELEVATIONS.
2. JOINT WIDTH
EXTERIOR: MINIMUM 3/8" FOR JOINTS 8' ON CENTER, MINIMUM 1/2" FOR JOINTS 12' ON CENTER.
3. PERIMETER JOINTS - MOVEMENT JOINTS ARE REQUIRED WHERE TILE WORK ABUTS RESTRAINING SURFACES SUCH AS PERIMETER WALLS, AND GRADE. FLEXIBLE SEALANT AND COMPRESSIBLE BACK-UP WHEN REQUIRED OR BOND BREAKER TAPE.
JOINT MATERIAL: URETHANE
COLOR: TO MATCH TILE AND GROUT COLOR
4. TIE-BACK AND SIGNAGE ATTACHMENT - PRE-DRILL TILE AND SLEEVE AND SEAL ALL ATTACHMENT POINTS.

PREPARED BY:	URS Corporation Great Lakes 3950 Sparks Drive, SE Grand Rapids, MI 49546 973.812.6872 fax 973.812.0984 http://www.urscorp.com
DRAWN BY:	McDonald's USA, LLC
DATE:	2013.01
REVIEWED BY:	URS TEAM
DATE ISSUED:	02 18 2013
SHEET NO.:	A2.0
TITLE:	2013 STANDARD BUILDING 4597-WOOD/WOOD
DESCRIPTION:	WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH WOOD ROOF TRUSS FRAMING EUROWEST OYSTER TILE EXTERIOR FINISH ARCADE/ENTRY
DATE:	02 18 2013
REV:	
DATE:	
DESCRIPTION:	

K:\STD\STANDARD\PRELIM\2011 STANDARD BUILDINGS - APRIL 2012 RELEASE\4587 WW-FULL SET\DWG\A-ELEV.DWG 04-26-2012 14:40



1 DRIVE THRU ELEVATION
A2.1 1/4" = 1'-0"



2 REAR ELEVATION
A2.1 1/4" = 1'-0"

KEY NOTES:

- BM** BRAKE METAL
COLOR = CITYSCAPE BY METAL-ERA
- C1** ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2** ALUMINUM CANOPY TIE-BACK SYSTEM
- CB** 4"x4"x16" CONCRETE BRICK, TYPE- BELLA BRICK
CONTACT: CONSUMERS CONCRETE PRODUCTS
(616-243-3651)
COLOR:
B1 = OLYMPIA BLEND TEXTURE, SMOOTH FACE
B2 = MIDLAND, SMOOTH FACE
- CJ** CONTROL JOINT, SEE DETAIL 7/A4.1.
- CM** CORRUGATED METAL PANEL, COLOR = CITYSCAPE BY METAL-ERA
OVER SMOOTH FACE CONCRETE BLOCK - SEE 1B/A5.0
- D** HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- FB** CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- CONFIRM USE WITH MCD PROJECT MANAGER
- GR** GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
- L** LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- LE** ACCENT LIGHTING - SEE ELECTRICAL
- L1** LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = UP ONLY FIXTURE
- ML** METAL LETTERING - BY OTHERS
- MF** METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/A5.0
1 = TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
3 = PRE-FAB MASONRY CAP FASCIA
- MJ** MOVEMENT JOINT
SCHLUTER DILEX PRODUCT # BWB100HP
- PB** PIPE BOLLARD - PAINTED YELLOW
- PT** (RMHC) COIN COLLECTOR
UNIT ##WPT DT2000 CMU
CALL 1-888-743-7435 TO ORDER
- RE** ROOF CAP ELEMENT BY OTHERS
- RO** ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- SS** STAINLESS STEEL PRODUCT #
C = (CONNER STRIP) RONDEC R0100SP
E = (EDGE STRIP) A100SP
- T1** ALUMINUM TRELLIS SYSTEM
- T2** TRELLIS TIE-BACK SYSTEM
- T3** ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM
- REFER TO SIM, DETAIL 3 ON SHEET A5.1
- TL** TILE: BRUSH STROKE SERIES BY EUROWEST
COLOR: OYSTER
- W1** EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS - SEE ASSEMBLY NOTES
- W2** DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM - MANUAL OPEN, ELECTRONIC RELEASE
- XX** SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

EUROWEST TILE

EUROWEST CONTACT: JAN DETER, (714) 937-7500
EUROWEST TILE: OYSTER BRUSHSTROKE 12"x24"x3/8" PORCELAIN BRUSHED HONED FINISH LAYOUT PATTERN: 33% MAX.
WATERPROOFING, SETTING MATERIAL AND GROUT: BY MAPEI
GROUT COLOR: 38 AVALANCHE, GROUT WIDTH: 1/8" TO 3/16"
INITIAL CLEANING: DETERDEK
*** POST INSTALLATION CLEANER IS REQUIRED ON ALL TILE APPLICATIONS. VERIFY CLEANING SOLUTION PRODUCT AND INSTRUCTIONS WITH MANUFACTURER.***
ADDITIONAL MATERIALS BY SCHLUTER SCHLUTER SYSTEMS L.P.

TILE GENERAL NOTES:

- REFERENCE 2011 TCNA HANDBOOK - EJ171 MOVEMENT JOINT GUIDELINES
1. LOCATION AND FREQUENCY OF JOINTS
EXTERIOR: 8' TO 12' FEET IN EACH DIRECTION, OR AS INDICATED ON ELEVATIONS.
 2. JOINT WIDTH
EXTERIOR: MINIMUM 3/8" FOR JOINTS 8' ON CENTER, MINIMUM 1/2" FOR JOINTS 12' ON CENTER.
 3. PERIMETER JOINTS - MOVEMENT JOINTS ARE REQUIRED WHERE TILE WORK ABUTS RESTRAINING SURFACES SUCH AS PERIMETER WALLS, AND GRADE. FLEXIBLE SEALANT AND COMPRESSIBLE BACK-UP WHEN REQUIRED OR BOND BREAKER TAPE.
JOINT MATERIAL: URETHANE AND GROUT COLOR COLOR: TO MATCH TILE AND GROUT COLOR
 4. TIE-BACK AND SIGNAGE ATTACHMENT - PRE-DRILL TILE AND SLEEVE AND SEAL ALL ATTACHMENT POINTS.

PREPARED BY: URS Corporation Great Lakes
3950 Sparks Drive, SE
Grand Rapids, MI 49546
973.812.8872 fax 973.812.0984
http://www.urscorp.com

McDonald's USA, LLC
© 2013 McDonald's USA, LLC
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared and shall be used for the project only. Use of these drawings for reference or example on another project requires the written consent of the engineer and architect. Use of these drawings on any other project without the consent of the engineer and architect is not authorized.

NO.	DATE	REVISION	DESCRIPTION

DATE: _____

DRAWN BY: _____
CHECKED BY: _____
DATE: 02/18/2013
FLINT, MI

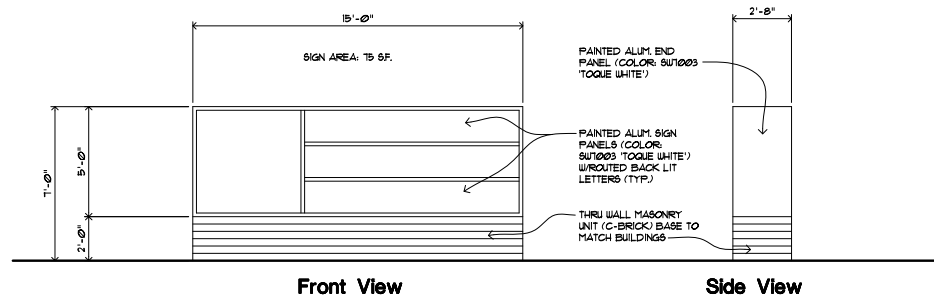
TITLE: 2013 STANDARD BUILDING
4597-WOOD/WOOD

DESCRIPTION: WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH
WOOD ROOF TRUSS FRAMING
EUROWEST OYSTER TILE EXTERIOR FINISH ARCADE/ENTRY

SHEET NO. A2.1 ELEVATIONS

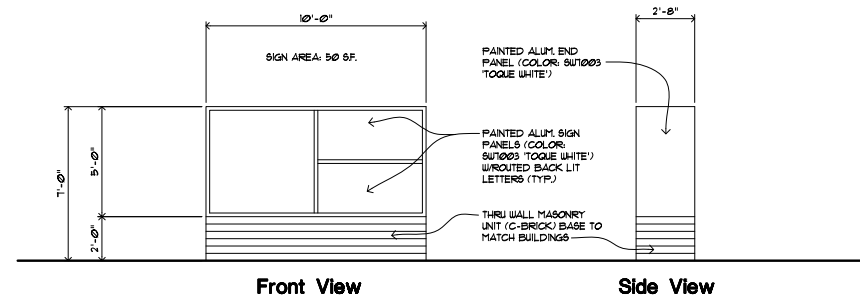
21-0308 1831 S. DORT HWY.

Issued for:
 SUBMITTED FOR PRELIMINARY
 SITE PLAN REVIEW: 18 MAR. 13
 SUBMITTED FOR PRELIMINARY
 SITE PLAN REVIEW: 03 MAY 13



Monument Sign A (2-Sided)

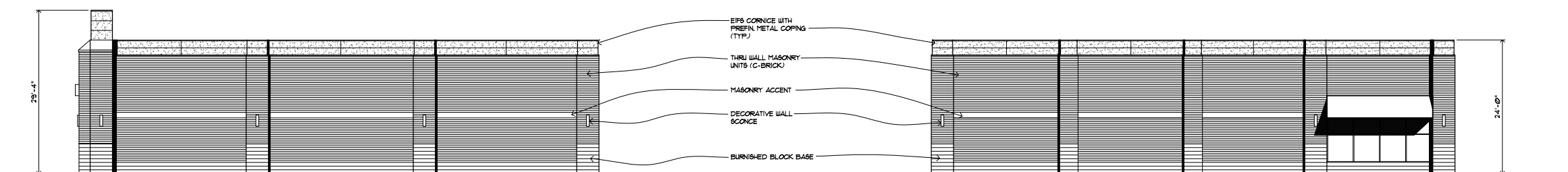
Scale: 1/4"=1'-0"



Monument Sign B (2-Sided)

Scale: 1/4"=1'-0"

project:

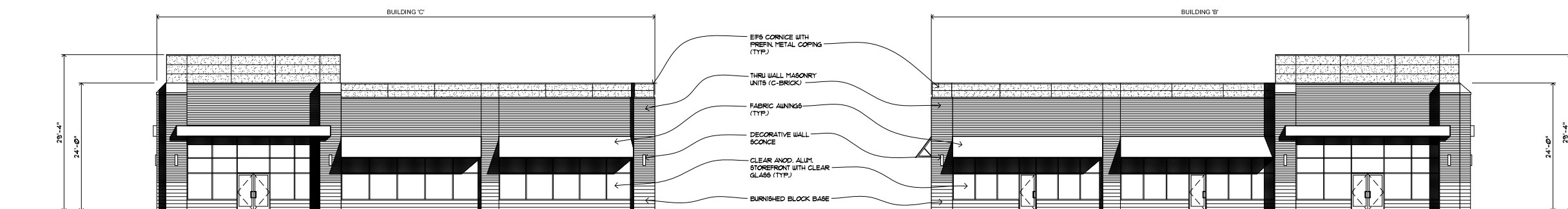


North Elevation - Bldg. D

Scale: 3/32"=1'-0"

East Elevation - Bldg. B

Scale: 3/32"=1'-0"

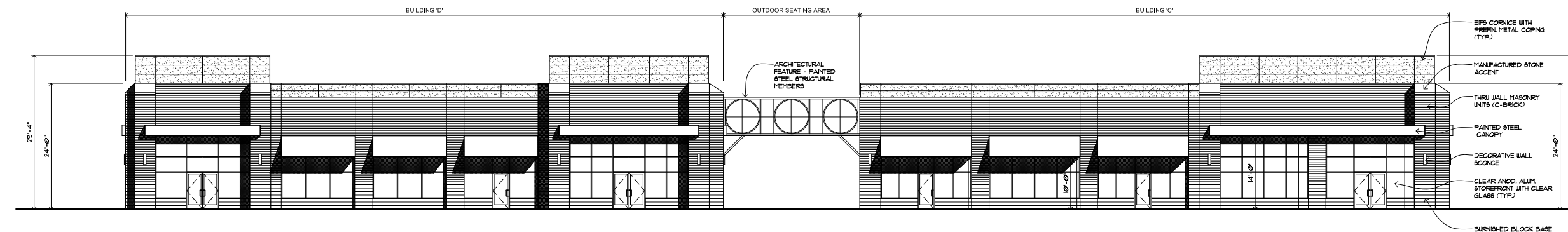


North Elevation - Bldg. C - Auburn Road

Scale: 3/32"=1'-0"

North Elevation - Bldg. B - Auburn Road

Scale: 3/32"=1'-0"



East Elevation - Bldg. D - Rochester Road

Scale: 3/32"=1'-0"

East Elevation - Bldg. C - Rochester Road

Scale: 3/32"=1'-0"

Proposed
Commercial Development

SWC Rochester Rd. & Auburn Rd.
 Rochester Hills, Michigan



32000 TELEGRAPH ROAD
 SUITE 200
 BINGHAM FARMS, MICHIGAN
 48025-2404
 PH 248.540.7700 FX 248.540.2710
 www.rogvoij.com



drawing:
**Conceptual
 Building Elevations
 & Sign Details**

DO NOT SCALE DRAWING

Issue date: 18 MAR. 13
 drawn: KL
 checked: MD
 approved: MD

file number: 10079

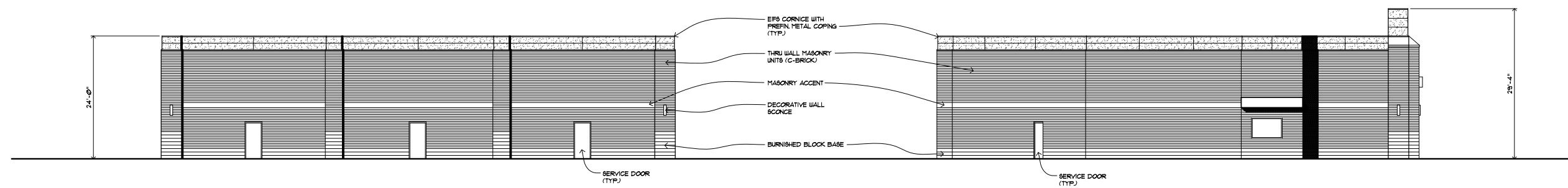
sheet:

A-1

Issued for:
 SUBMITTED FOR PRELIMINARY
 SITE PLAN REVIEW: 03 MAY 13

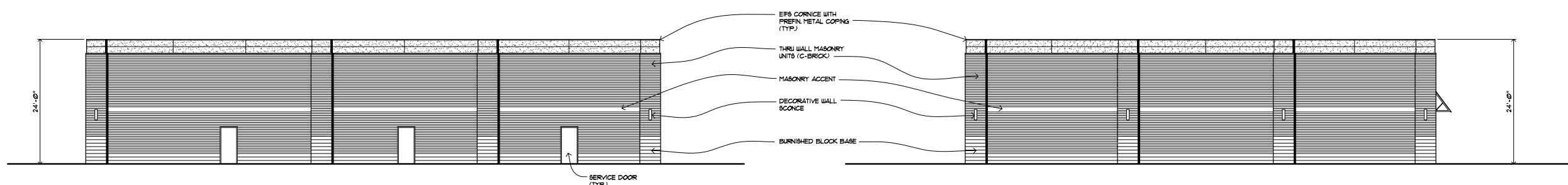
project:

Proposed
Commercial Development
 SWC Rochester Rd. & Auburn Rd.
 Rochester Hills, Michigan



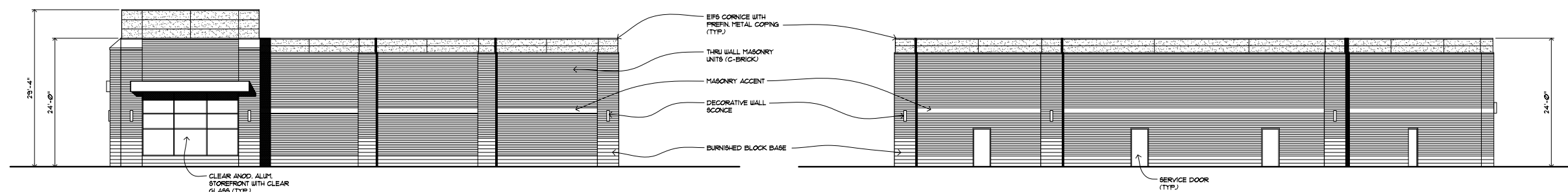
South Elevation - Bldg. B
 Scale: 3/32"=1'-0"

South Elevation - Bldg. D
 Scale: 3/32"=1'-0"



West Elevation - Bldg. C
 Scale: 3/32"=1'-0"

South Elevation - Bldg. C
 Scale: 3/32"=1'-0"



West Elevation - Bldg. B
 Scale: 3/32"=1'-0"

West Elevation - Bldg. D
 Scale: 3/32"=1'-0"



32000 TELEGRAPH ROAD
 SUITE 200
 BINGHAM FARMS, MICHIGAN
 48025-2404
 PH 248.540.7700 FX 248.540.2710
 www.rogvooy.com



drawing:
**Conceptual
 Building Elevations**

DO NOT SCALE DRAWING
 Issue date: 03 MAY 13
 drawn: KL
 checked: MD
 approved: MD

file number: 10079
 sheet:

Issued for:
 SUBMITTED FOR PRELIMINARY
 SITE PLAN REVIEW: 03 MAY 13

project:

Proposed
Commercial Development
 SWC Rochester Rd. & Auburn Rd.
 Rochester Hills, Michigan



32600 TELEGRAPH ROAD
 SUITE 250
 BINGHAM FARMS, MICHIGAN
 48025-2404
 PH 248.540.7700 FX 248.540.2710
 www.rogvoij.com



drawing:
**Conceptual
 Floor Plan
 Building 'B'**

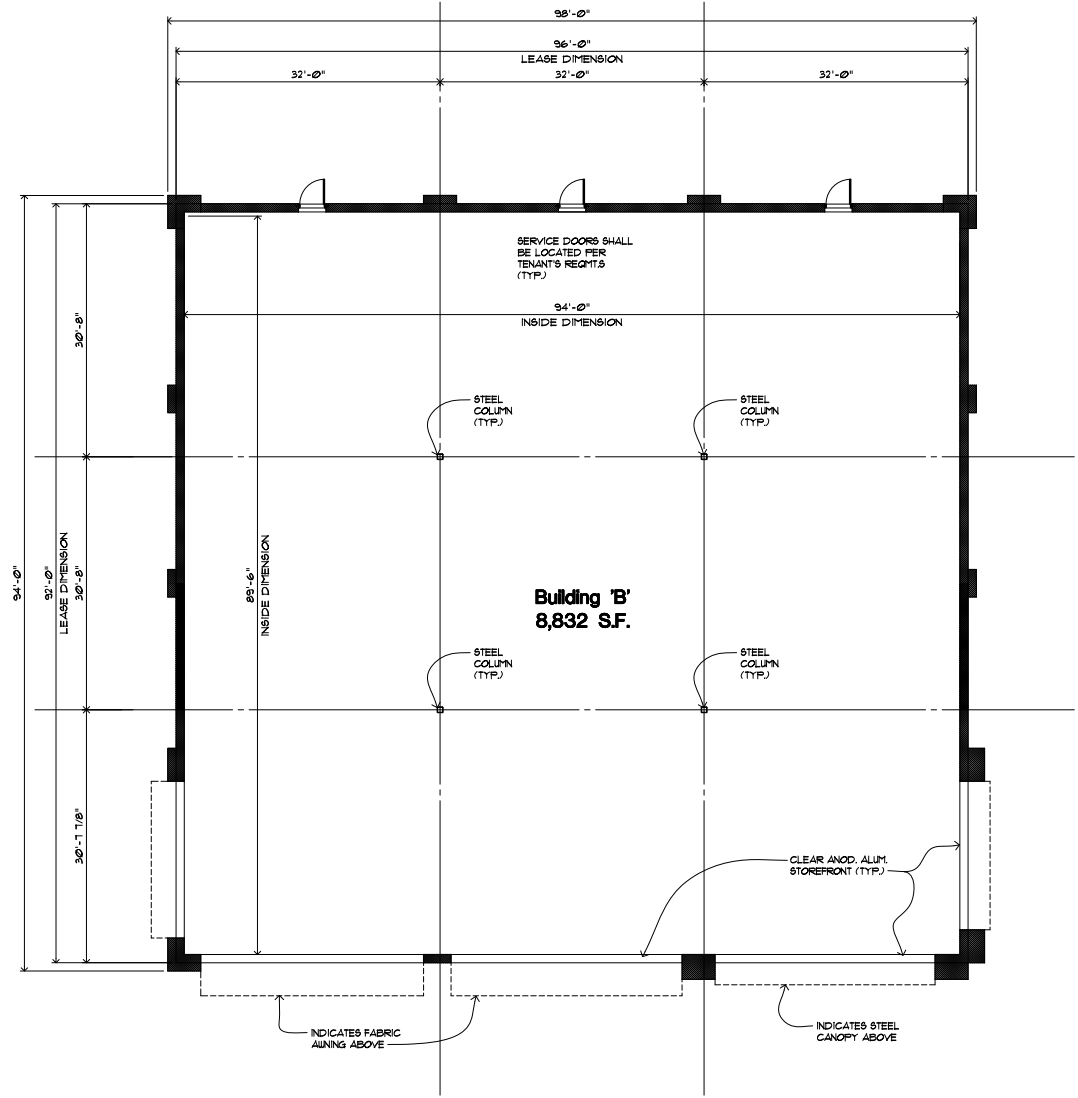
DO NOT SCALE DRAWING

Issue date: 20 MAR. 13
 drawn: KL
 checked: MD
 approved: MD

file number: **10079**

sheet:

A-2



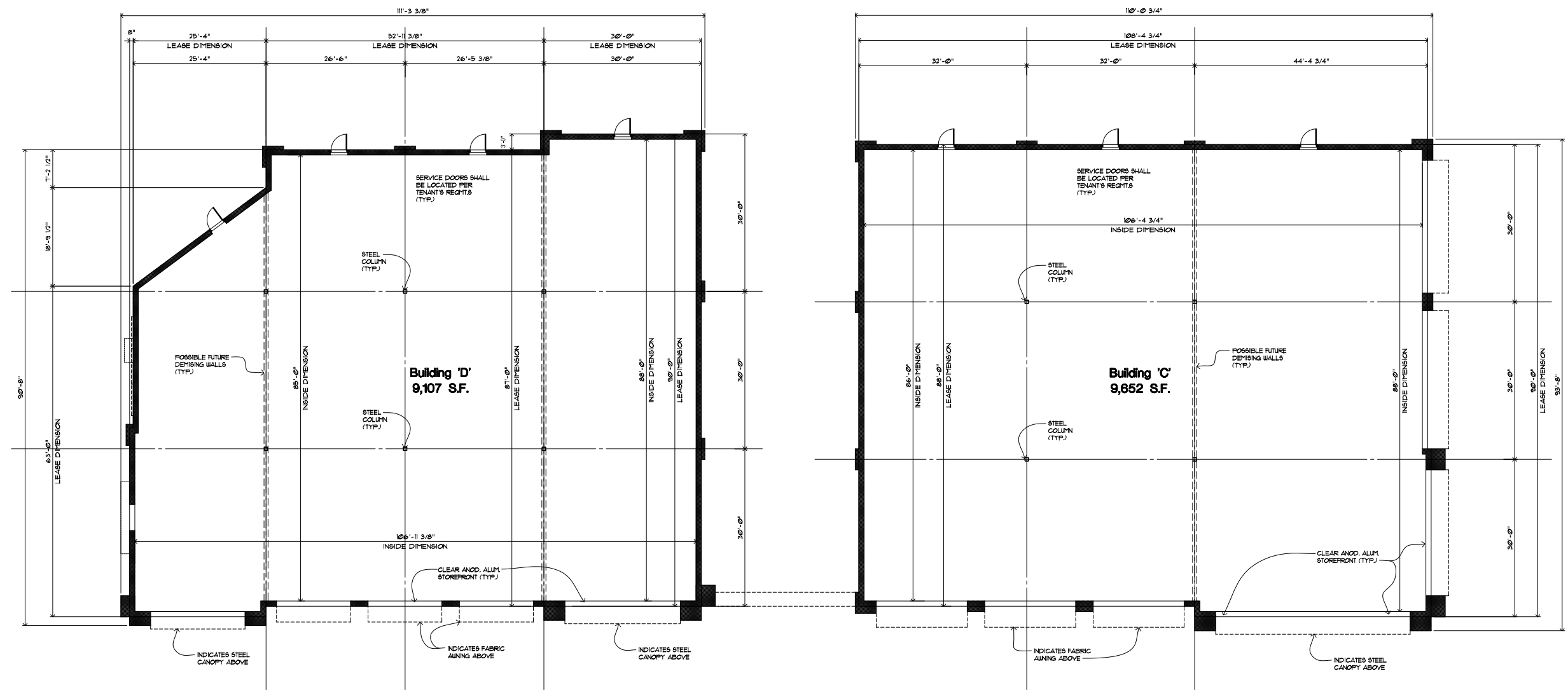
Floor Plan - Building 'B'

Scale: 3/32"=1'-0"

project:

Proposed
Commercial Development

SWC Rochester Rd. & Auburn Rd.
 Rochester Hills, Michigan



Floor Plan - Buildings 'C' & 'D'
 North
 Scale: 3/32"=1'-0"



32600 TELEGRAPH ROAD
 SUITE 250
 BINGHAM FARMS, MICHIGAN
 48025-2404
 PH 248.540.7700 FX 248.540.2710
 www.rogvoij.com



drawing:
**Conceptual
 Floor Plan
 Buildings 'C' & 'D'**

DO NOT SCALE DRAWING
 issue date: 20 MAR. 13
 drawn: KL
 checked: MD
 approved: MD

file number: 10079
 sheet: