

OAKS AT HAMPTON APARTMENTS

NEW LEASING CENTER AND MAINTENANCE GARAGE

EAST OF DORSET DR, NORTH OF HAMPTON CR
ROCHESTER HILLS MICHIGAN

ARCHITECT:
STUCKY VITALE ARCHITECTS
27172 WOODWARD AVENUE
ROYAL OAK, MICHIGAN 48067
(248) 546-6700

CIVIL ENGINEER:
NOWAK AND FRAUS
48680 VAN DYKE SUITE 200
SHELBY TOWNSHIP MICHIGAN
(586) 739-0939

MECHANICAL / ELECTRICAL ENGINEER:
MA ENGINEERING
180 HIGH OAK ST.
BLOOMFIELD HILLS, MI 48304
(248) 258-1610

APPLICABLE CODES: (COMMERCIAL):
BUILDING CODE:

2015 MICHIGAN BUILDING CODE (MBC) AS AMENDED

MECHANICAL CODE:
2021 MICHIGAN MECHANICAL CODE AS AMENDED

PLUMBING CODE:
2021 MICHIGAN PLUMBING CODE AS AMENDED

ELECTRICAL CODE:
2023 NATIONAL ELECTRIC CODE (NEC) AS AMENDED & MICHIGAN AMENDMENTS PART 8.

ENERGY CODE:
2015 MICHIGAN BUILDING CODE (CHAPTER 13)
2015 MICHIGAN ENERGY CODE
ASHRAE 90.1-2013 ENERGY STANDARDS FOR BUILDINGS

FIRE CODE:
2015 INTERNATIONAL FIRE CODE REFERENCED IN 2015 MICHIGAN BUILDING CODE

BARRIER FREE REQUIREMENTS:
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN (DOJ)
MBC-2012, CHAPTER 11)
ICC / ANS I 117.1 - 2009, EXCEPT SECTION 611 & 707

LIFE SAFETY CODES:
2015 NFPA 101 LIFE SAFETY CODE

PROJECT DATA:

BUILDING CODE AUTHORITY:
CITY OF ROCHESTER HILLS

OWNER:
OAKS AT HAMPTON
643 DORCHESTER DR.
ROCHESTER HILLS MICHIGAN
(248) 852-1377

TYPE OF CONSTRUCTION:
5B

USE GROUP:
S-2

PROJECT AREA:
NEW WORK
LEASING CENTER 4,350 = SF
TOTAL PROJECT AREA 4,350 = SF

MAINTENANCE GARAGE
TYPE OF CONSTRUCTION:
5B

USE GROUP:
U

PROJECT AREA:
NEW WORK
MAINTENANCE GARAGE 1,200 = SF
TOTAL PROJECT AREA 1,200 = SF

SITE AREA OF WORK:
LEASING BUILDING SITE = +/- 22,170 SF
MAINTENANCE BUILDING SITE = +/- 8,400 SF

APPLICABLE CODES:
FIRE CODE:

2015 MICHIGAN BUILDING CODE:
TABLE 602 PROPERTY LINE 10' X <30 = 13'-6" AND 18'-0"
TYPE 5B NEW CONSTRUCTION OCCUPYING ZERO FIRE
RESISTANCE RATING.
EXISTING TYPE 5B CONSTRUCTION R OCCUPANCY ZERO
FIRE RESISTANCE RATING.

TABLE 705.8
30 FT OR GREATER UNPROTECTED, NON SPRINKLED = NO
LIMIT

Next Steps: Plans will be scheduled for next available Planning Commission meeting.



**J2024-0157
PSP2024-0032
Revision #1
Received 10/17/2024**

**City of Rochester
Hills Planning &
Economic
Development**

Site Plan Review

Reviewed for compliance with City Ordinance, Building and Fire Codes
Conditions and mark-ups noted throughout plan set must be addressed prior to final approval

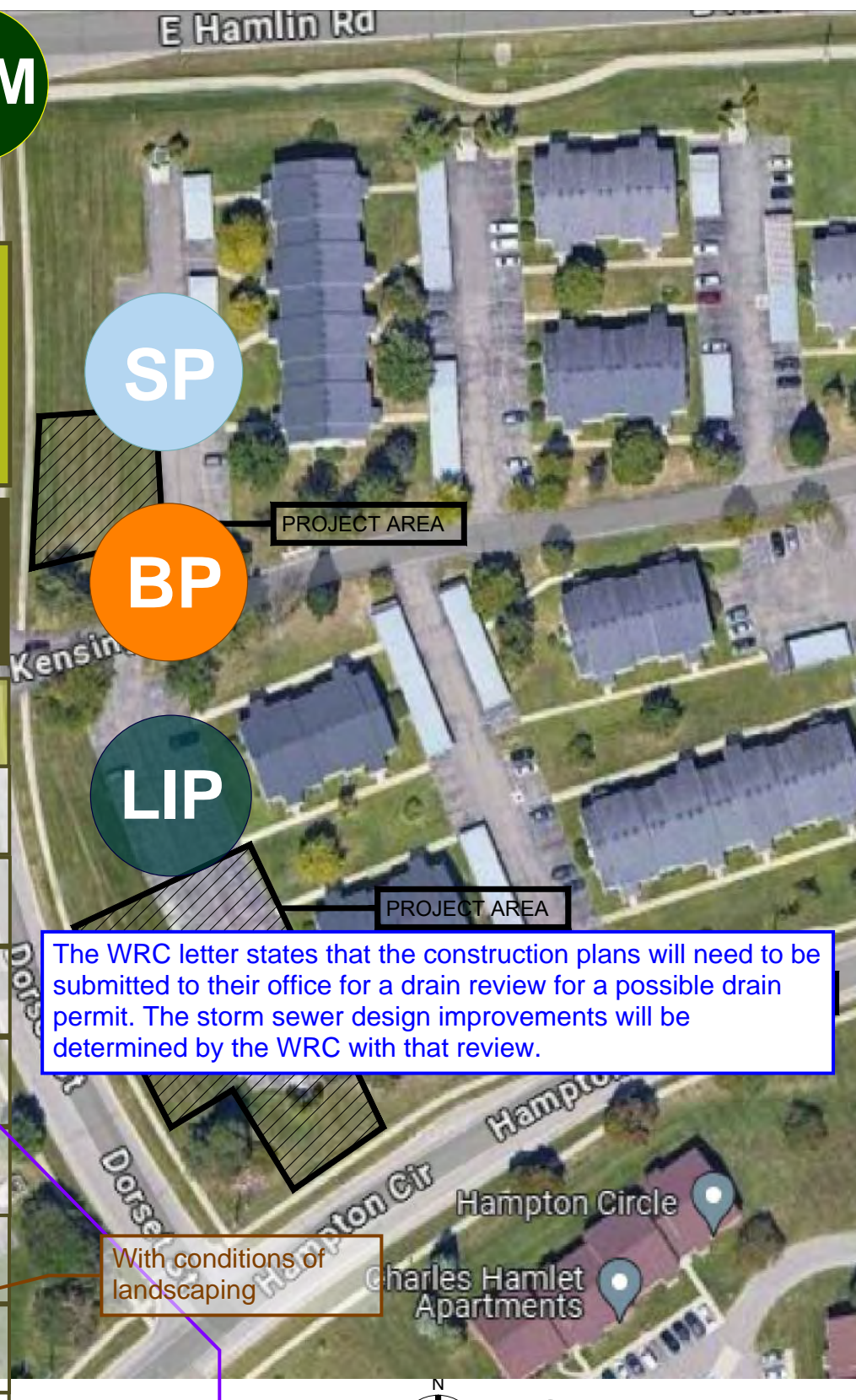
Department	Reviewer	Approved
Assessing	Assessing	Yes
Building	Jason Rhoades 248-841-2436 Rhoades.Ja@RochesterHills.org	Yes (with conditions)
Engineering - Utilities	Jason Boughton 248-841-2490 Boughton.J@RochesterHills.org	Yes
Engineering Legal	Seth Bucholz 248-841-2491 bucholz.s@rochesterhills.org	YES Date: 10/29/2024
Fire	Lt. Jon Mills 248-841-2708 Mills.J@RochesterHills.org	Yes
Natural Resources	Matt Einheuser 248-841-2551 Einheuser.M@RochesterHills.org	Yes
Planning	Chris McLeod 248-841-2572 mcleod.c@RochesterHills.org	Yes
Traffic	Keith Depp 248-841-2503 Depp.K@RochesterHills.org	Yes

Maintenance. The owner, tenant, occupant or person responsible for any property which was the subject of an approved site plan shall maintain the property and the improvements thereon in accordance with the approved site plan or an approved amendment thereof. This responsibility shall include the duty to maintain in a condition substantially similar as approved, including the duty to replace, if necessary, all improvements such as, but not by way of limitation, all greenbelts, planting, walls, fences, paving, trash receptacles, handicapped parking areas, etc.

SHEET INDEX		ISSUED FOR	
DRAWING INDEX KEY: <input type="checkbox"/> NOT ISSUED <input checked="" type="checkbox"/> PREVIOUSLY ISSUED <input checked="" type="checkbox"/> ISSUED <input checked="" type="checkbox"/> REFERENCE		09-03-2024 SPA	10-11-2024 SPA
GENERAL			
G001	TITLE SHEET AND SHEET INDEX AND LOCATOR PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
CIVIL			
C1	TOPOGRAPHIC SURVEY	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
C2	DEMOLITION PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
C3	SITE PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
C4	FIRE TRUCK MANEUVERING PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
C5	ENGINEERED SITE PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
LANDSCAPE			
L1	LANDSCAPE PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
ARCHITECTURAL			
A101	LEASING CENTER FLOOR PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
A102	MAINTENANCE GARAGE FLOOR PLAN	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
A300	LEASING CENTER EXTERIOR RENDER	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
A301	LEASING CENTER EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
A302	LEASING CENTER EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
A303	MAINTENANCE GARAGE EXTERIOR ELEVATIONS	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

SYMBOL LEGEND	ABBREVIATION
DASHED ARROW INDICATES ELEVATED SECTION	@ ACOUST. AT ACOUSTICAL
ELEVATION NUMBER	A.C.T. ADJ. ACUSTIC CEILING TILE
SHEET NUMBER WHERE ELEVATION IS LOCATED	A.F.F. ABOVE FINISH FLOOR
ELEVATION NUMBER	ALUM. ALUMINUM
SHEET NUMBER WHERE ELEVATION IS LOCATED	ANOD. ANODIZED
DETAIL REFERENCE NUMBER	BD. BOARD
SHEET NUMBER WHERE DETAIL IS LOCATED	BLDG. BUILDING
DETAIL REFERENCE NUMBER	BLK. BLOCK
SHEET NUMBER WHERE DETAIL IS REFERENCED	BLKG. BLOCKING
DETAIL NAME	CEM. CEMENT
DRAWING SCALE	C.J. CONTROL JOINT
REFERENCE POINT OF ELEVATION	CLG. CEILING
HEIGHT ABOVE FINISHED FLOOR	C. CENTER LINE
HEIGHT ABOVE FINISHED FLOOR	C.O. CLEAN OUT
HEIGHT ABOVE FINISHED FLOOR	COL. COLUMN
HEIGHT ABOVE FINISHED FLOOR	CONC. CONCRETE
HEIGHT ABOVE FINISHED FLOOR	C.G. CORNER GUARD
HEIGHT ABOVE FINISHED FLOOR	CONST. CONSTRUCTION
HEIGHT ABOVE FINISHED FLOOR	CONT. CONTINUOUS
HEIGHT ABOVE FINISHED FLOOR	CORR. CORRUGATED
HEIGHT ABOVE FINISHED FLOOR	CPT. CARPET
HEIGHT ABOVE FINISHED FLOOR	C.T. CERAMIC TILE
HEIGHT ABOVE FINISHED FLOOR	DET. DETAIL
HEIGHT ABOVE FINISHED FLOOR	DIA. DIAMETER
HEIGHT ABOVE FINISHED FLOOR	DM. DIMENSION
HEIGHT ABOVE FINISHED FLOOR	DN. DOWN
HEIGHT ABOVE FINISHED FLOOR	D.O. DOOR OPENING
HEIGHT ABOVE FINISHED FLOOR	DR. DRAWING
HEIGHT ABOVE FINISHED FLOOR	DWG. DRAWING
HEIGHT ABOVE FINISHED FLOOR	EA. EACH
HEIGHT ABOVE FINISHED FLOOR	ELEV. ELEVATION
HEIGHT ABOVE FINISHED FLOOR	E.W. EACH WAY
HEIGHT ABOVE FINISHED FLOOR	EXG. EXISTING
HEIGHT ABOVE FINISHED FLOOR	EXIST. EXISTING
HEIGHT ABOVE FINISHED FLOOR	EXP. EXPANSION, EXPOSED
HEIGHT ABOVE FINISHED FLOOR	EXT. EXTERIOR
HEIGHT ABOVE FINISHED FLOOR	F.D. FLOOR DRAIN
HEIGHT ABOVE FINISHED FLOOR	FDN. FOUNDATION
HEIGHT ABOVE FINISHED FLOOR	F.R.P. FIBER REINFORCED PANELS
HEIGHT ABOVE FINISHED FLOOR	FIN. FINISH
HEIGHT ABOVE FINISHED FLOOR	FLOOR FLOOR
HEIGHT ABOVE FINISHED FLOOR	F.O. FACE OF
HEIGHT ABOVE FINISHED FLOOR	F.O.S. FACE OF STUD
HEIGHT ABOVE FINISHED FLOOR	FR. FRAME
HEIGHT ABOVE FINISHED FLOOR	FTG. FOOTING
HEIGHT ABOVE FINISHED FLOOR	FV. FIELD VERIFY
HEIGHT ABOVE FINISHED FLOOR	GA. GAUGE
HEIGHT ABOVE FINISHED FLOOR	GALV. GALVANIZED
HEIGHT ABOVE FINISHED FLOOR	GYP. GYPSUM
HEIGHT ABOVE FINISHED FLOOR	HW. HARDWARE
HEIGHT ABOVE FINISHED FLOOR	H.M. HOLLOW METAL
HEIGHT ABOVE FINISHED FLOOR	HORIZ. HORIZONTAL
HEIGHT ABOVE FINISHED FLOOR	HT. HEIGHT
HEIGHT ABOVE FINISHED FLOOR	I.D. INSIDE DIAMETER
HEIGHT ABOVE FINISHED FLOOR	INSUL. INSULATION
HEIGHT ABOVE FINISHED FLOOR	INT. INTERIOR
HEIGHT ABOVE FINISHED FLOOR	JO. JOINT
HEIGHT ABOVE FINISHED FLOOR	LAV. LAVATORY
HEIGHT ABOVE FINISHED FLOOR	LG. LONG
HEIGHT ABOVE FINISHED FLOOR	L.L.O. LONG LEG OUTSTANDING
HEIGHT ABOVE FINISHED FLOOR	L.L.V. LONG LEG VERTICAL
HEIGHT ABOVE FINISHED FLOOR	MAX. MAXIMUM
HEIGHT ABOVE FINISHED FLOOR	MECH. MECHANICAL
HEIGHT ABOVE FINISHED FLOOR	MET. MET.
HEIGHT ABOVE FINISHED FLOOR	MEZZ. MEZZANINE
HEIGHT ABOVE FINISHED FLOOR	MIS. MISCELLANEOUS IRON
HEIGHT ABOVE FINISHED FLOOR	M.I. MINIMUM
HEIGHT ABOVE FINISHED FLOOR	MISC. MISCELLANEOUS
HEIGHT ABOVE FINISHED FLOOR	M.O. MASONRY OPENING
HEIGHT ABOVE FINISHED FLOOR	N.I.C. NOT IN CONTRACT
HEIGHT ABOVE FINISHED FLOOR	N.T.S. NOT TO SCALE
HEIGHT ABOVE FINISHED FLOOR	O.C. ON CENTER
HEIGHT ABOVE FINISHED FLOOR	O.D. OUTSIDE DIAMETER
HEIGHT ABOVE FINISHED FLOOR	OPENS. OPENING
HEIGHT ABOVE FINISHED FLOOR	OPP. OPPOSITE
HEIGHT ABOVE FINISHED FLOOR	P.L.G. PLATE GLASS
HEIGHT ABOVE FINISHED FLOOR	P.L.S. PLATE STEEL
HEIGHT ABOVE FINISHED FLOOR	PLAM. PLASTIC LAMINATE
HEIGHT ABOVE FINISHED FLOOR	PLAS. PLASTER
HEIGHT ABOVE FINISHED FLOOR	PREFAB. PREFABRICATED
HEIGHT ABOVE FINISHED FLOOR	PROJ. PROJECTION
HEIGHT ABOVE FINISHED FLOOR	P.S.F. POUNDS PER SQUARE FOOT
HEIGHT ABOVE FINISHED FLOOR	PAINT. PAINT, POINT
HEIGHT ABOVE FINISHED FLOOR	PT. RISER
HEIGHT ABOVE FINISHED FLOOR	R. RETURN AIR
HEIGHT ABOVE FINISHED FLOOR	R.B. RUBBER BASE
HEIGHT ABOVE FINISHED FLOOR	R.C. ROOF CONDUCTOR
HEIGHT ABOVE FINISHED FLOOR	R.C.P. REFLECTED CEILING PLAN
HEIGHT ABOVE FINISHED FLOOR	R.D. ROOF DRAIN
HEIGHT ABOVE FINISHED FLOOR	R.F. RUBBER FLOORING
HEIGHT ABOVE FINISHED FLOOR	REIN. REINFORCING
HEIGHT ABOVE FINISHED FLOOR	REQ'D. REQUIRED
HEIGHT ABOVE FINISHED FLOOR	ROOF. ROOFING
HEIGHT ABOVE FINISHED FLOOR	RM. ROOM
HEIGHT ABOVE FINISHED FLOOR	R.S. ROOF SUMP
HEIGHT ABOVE FINISHED FLOOR	R.T. RUBBER TILE
HEIGHT ABOVE FINISHED FLOOR	SAN. SANITARY
HEIGHT ABOVE FINISHED FLOOR	SCHED. SCHEDULE
HEIGHT ABOVE FINISHED FLOOR	SHT. SHEET
HEIGHT ABOVE FINISHED FLOOR	SIM. SIMILAR
HEIGHT ABOVE FINISHED FLOOR	SPEC. SPECIFICATION
HEIGHT ABOVE FINISHED FLOOR	S.S. SERVICE SINK
HEIGHT ABOVE FINISHED FLOOR	STL. STEEL
HEIGHT ABOVE FINISHED FLOOR	STD. STANDARD
HEIGHT ABOVE FINISHED FLOOR	STOR. STORAGE
HEIGHT ABOVE FINISHED FLOOR	STRUCT. STRUCTURE
HEIGHT ABOVE FINISHED FLOOR	SUSP. SUSPENDED
HEIGHT ABOVE FINISHED FLOOR	SW. SWITCH
HEIGHT ABOVE FINISHED FLOOR	SYM. SYMMETRICAL
HEIGHT ABOVE FINISHED FLOOR	T. TREAD
HEIGHT ABOVE FINISHED FLOOR	T&B TOP AND BOTTOM
HEIGHT ABOVE FINISHED FLOOR	TEL. TELEPHONE
HEIGHT ABOVE FINISHED FLOOR	TERR. TERRAZZO
HEIGHT ABOVE FINISHED FLOOR	T&G TONGUE AND GROOVE
HEIGHT ABOVE FINISHED FLOOR	THK. THICKNESS
HEIGHT ABOVE FINISHED FLOOR	THRES. THRESHOLD
HEIGHT ABOVE FINISHED FLOOR	T.O.S. TOP OF STEEL
HEIGHT ABOVE FINISHED FLOOR	TYP. TYPICAL
HEIGHT ABOVE FINISHED FLOOR	UC UNDERCUT
HEIGHT ABOVE FINISHED FLOOR	UNLESS NOTED OTHERWISE
HEIGHT ABOVE FINISHED FLOOR	U.N.O. VINYL BASE
HEIGHT ABOVE FINISHED FLOOR	V.C.T. VERTICAL COMPOSITION TILE
HEIGHT ABOVE FINISHED FLOOR	V.I.F. VERIFY IN FIELD
HEIGHT ABOVE FINISHED FLOOR	W. WIDE
HEIGHT ABOVE FINISHED FLOOR	VERT. VERTICAL
HEIGHT ABOVE FINISHED FLOOR	WAINS. WAINSCOT
HEIGHT ABOVE FINISHED FLOOR	W.C. WATER CLOSET
HEIGHT ABOVE FINISHED FLOOR	WOOD WIN. WOOD WINDOW
HEIGHT ABOVE FINISHED FLOOR	WT. WEIGHT
HEIGHT ABOVE FINISHED FLOOR	W.W.F. WELDED WIRE FABRIC

MATERIAL LEGEND	
	ACOUSTICAL CEILING
	BATT/LOOSE INSULATION
	BLOCKING/ROUGH LUMBER - CONTINUOUS
	BLOCKING/ROUGH LUMBER
	CONCRETE
	FINISHED WOOD
	GLASS
	GYPSUM WALLBOARD
	MASONRY
	PARTICLE BOARD
	PLYWOOD



The WRC letter states that the construction plans will need to be submitted to their office for a drain review for a possible drain permit. The storm sewer design improvements will be determined by the WRC with that review.

With conditions of landscaping

As long as additional comments are addressed.



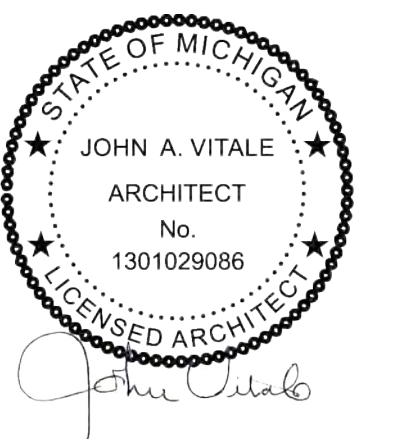
STATEMENT OF INTELLECTUAL PROPERTY. THE IDEAS, CONCEPTS, DRAWINGS AND THOUGHTS CONVEYED HEREIN ARE THE INTELLECTUAL PROPERTY OF STUCKY VITALE ARCHITECTS. THIS SET OF DRAWINGS, IN WHOLE OR IN PART, MAY NOT BE REPRODUCED, WITHOUT THE WRITTEN CONSENT OF STUCKY VITALE ARCHITECTS. THIS INFORMATION IS PROTECTED UNDER U.S. COPYRIGHT LAW, ALL RIGHTS RESERVED.

Consultants:

NOT FOR CONSTRUCTION

Project :
OAKS AT HAMPTON APARTMENTS
EAST SIDE OF DORSET DR
NORTH OF HAMPTON CR
ROCHESTER HILLS MI

Issued for :
REVIEW: 05/20/2024
SPA REVIEW: 09/03/2024
SPA REVIEW: 10/11/2024



Drawn by :
ARA

Checked by :
JAV, MJB

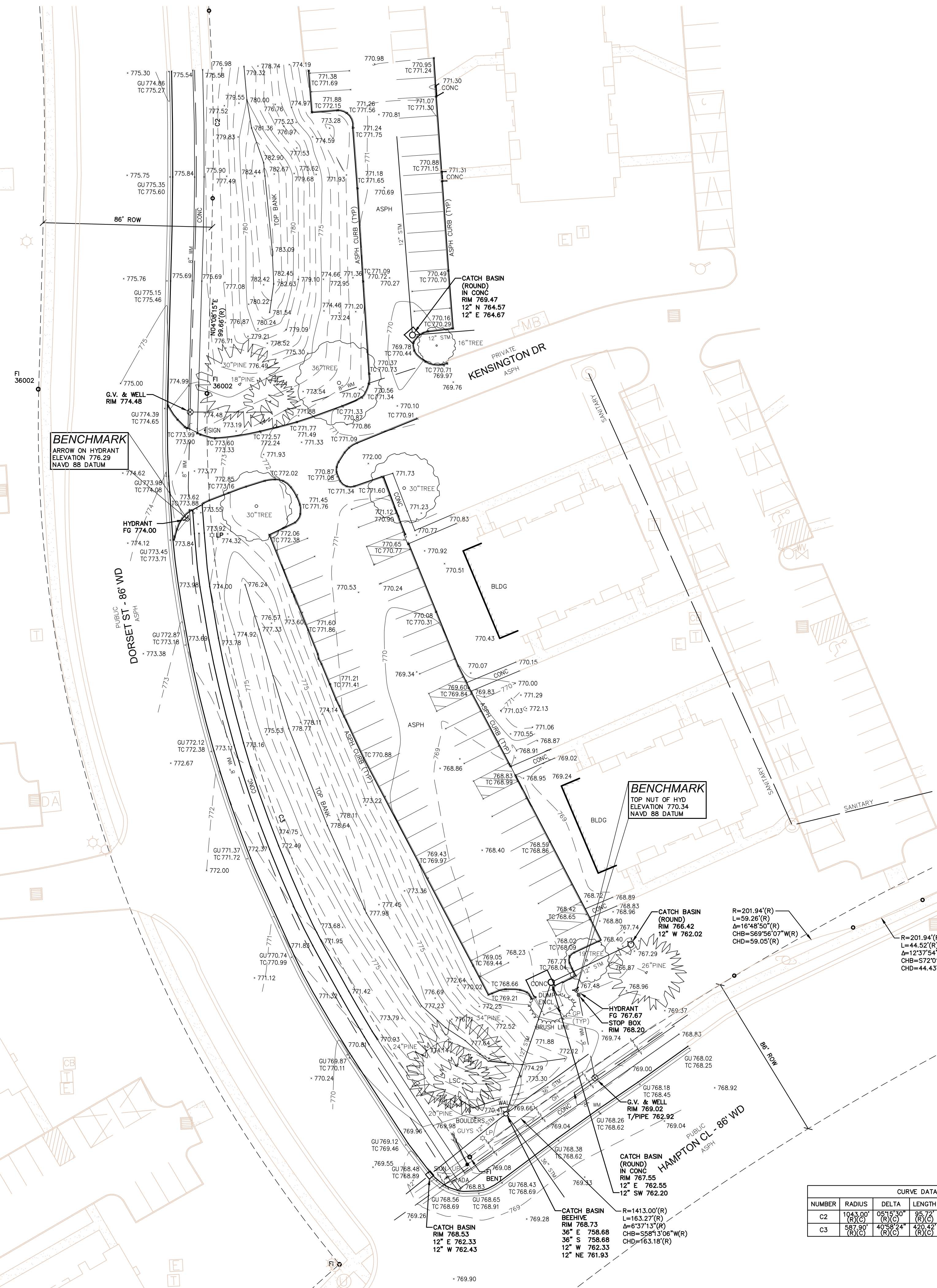
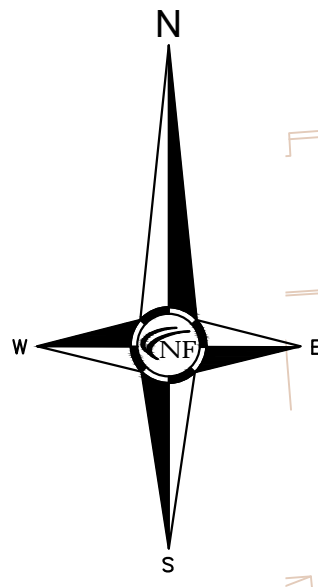
Sheet Title :
TITLE SHEET,
SHEET INDEX, +
LOCATOR PLAN

Project No. :
2024.066

Sheet No. :
G001

DO NOT SCALE DRAWINGS
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The applicant will need to submit a Land Improvement Permit (LIP) application with engineer's estimate, fee and construction plans to proceed with the construction plan review process.



SEAL



PROJECT
Oaks at Hampton Apartments
Leasing Center

CLIENT
The Monahan Company
21321 Kelly Road
Eastpointe, MI 48021

Contact:
Nathan Knapp,
Senior Construction Estimator
Phone: (586) 774-3800
Email: nathan@themonahanco.com

PROJECT LOCATION
Part of the Northwest 1/4 of
Section 26, Town 3 North,
Range 11 East,
City of Rochester Hills,
Oakland County, Michigan

SHEET
Topographic Survey



Know what's below
Call before you dig.

DATE ISSUED/REVISED
09/03/2024 ISSUED FOR SPA
10/11/2024 REVISED PER CITY REVIEW

LEGAL DESCRIPTION

PARCEL ID. NO. - 15-26-127-002
PART OF THE NORTHWEST 1/4 OF SECTION 26, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT WHICH IS NORTH 88° 52' 45" EAST, 1218.13 FEET ALONG THE NORTH LINE OF SECTION 26 AND SOUTH 01 DEG. 07' 15" EAST, 60.00 FEET FROM THE NORTHWEST CORNER OF SECTION 26, TOWN 3 NORTH, RANGE 11 EAST; THENCE NORTH 88 DEG. 52' 45" EAST, 885.91 FEET ALONG A LINE PARALLEL TO AND 60.00 FEET SOUTH OF THE NORTH LINE OF SECTION 26; THENCE SOUTH 01 DEG. 07' 15" EAST, 483.05 FEET, THENCE WESTERLY 567.90 FEET ALONG A CURVE CONCAVE TO THE SOUTH, RADIUS OF 1400.00 FEET, CENTRAL ANGLE OF 23 DEG. 14' 30" LONG CHORD BEARS SOUTH 77 DEG. 19' 53" WEST 564.02 FEET; THENCE WESTERLY 44.52 FEET ALONG A CURVE CONCAVE TO THE NORTH, RADIUS OF 201.94 FEET, CENTRAL ANGLE OF 12 DEG. 37' 54" LONG CHORD BEARS SOUTH 72 DEG. 01' 35" WEST 44.43 FEET; THENCE WESTERLY 59.26 FEET ALONG A CURVE CONCAVE TO THE SOUTH, RADIUS OF 201.94 FEET, CENTRAL ANGLE OF 16 DEG. 48' 50" LONG CHORD BEARS SOUTH 69 DEG. 56' 07" WEST, 59.05 FEET; THENCE WESTERLY 163.27 FEET ALONG A CURVE CONCAVE TO THE SOUTH, RADIUS OF 1413.00 FEET, CENTRAL ANGLE OF 06 DEG. 37' 13", THENCE NORTHERLY 420.42 FEET ALONG A CURVE CONCAVE TO THE EAST, RADIUS OF 587.90 FEET, CENTRAL ANGLE OF 40 DEG. 58' 24", LONG CHORD BEARS NORTH 16 DEG. 20' 57" WEST, 411.52 FEET; THENCE NORTH 04 DEG. 08' 15" EAST, 99.66 FEET; THENCE NORTHERLY 95.72 FEET ALONG A CURVE CONCAVE TO THE WEST, RADIUS OF 1043.00 FEET, CENTRAL ANGLE OF 05 DEG. 15' 30", LONG CHORD BEARS NORTH 01 DEG. 30' 30" EAST, 95.69 FEET; THENCE NORTH 01 DEG. 07' 15" WEST, 119.32 FEET TO THE POINT OF BEGINNING.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER 2024122901370, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON 1-11-24. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

CURVE DATA

NUMBER	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
C2	1043.00' (R)(C)	05°15'30" (R)(C)	95.72' (R)(C)	95.69' (R)(C)	N01°30'50"E (R)(C)
C3	587.90' (R)(C)	40°58'24" (R)(C)	420.42' (R)(C)	411.52' (R)(C)	N16°20'57"W (R)(C)

LEGEND

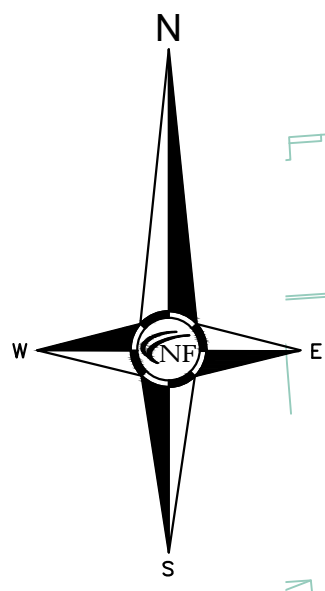
- MANHOLE
- HYDRANT
- MANHOLE
- UTILITY POLE
- EXISTING SANITARY SEWER
- EXISTING SAN. CLEAN OUT
- EXISTING WATER MAIN
- EXISTING STORM SEWER
- EX. R.Y. CATCH BASIN
- EXISTING BURIED CABLES
- OVERHEAD LINES
- LIGHT POLE
- SIGN
- EXISTING GAS MAIN

ROCHESTER HILLS
MICHIGAN

J024-0157
PSP2024-0032
Revision #1

Received
10/17/2024
City of Rochester Hills
Planning & Economic
Development

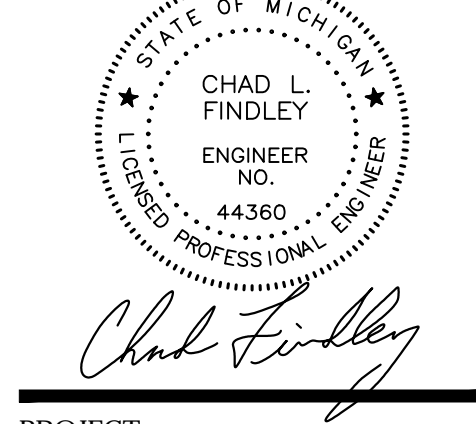
DRAWN BY:
J. Nelson
PROJECT MANAGER:
C. Findley
APPROVED BY:
K. Navaroli
DATE:
1-11-24
SCALE: 1" = 30'
NFE JOB NO. sheet no.
N944 C1



civil Engineers
Land Surveyors
Land Planners

NOWAK & FRAUS ENGINEERS
46777 Woodward Ave.
Pontiac, MI 48342-5032
Tel. (248) 332-7931
Fax. (248) 332-8257
WWW.NOWAKFRAUS.COM

SEAL



PROJECT
Oaks at Hampton Apartments
Leasing Center

CLIENT
The Monahan Company
21321 Kelly Road
Eastpointe, MI 48021

Contractor:
Nathan Knapp,
Senior Construction Estimator
Phone: (586) 774-3800
Email: nathan@themonahanco.com

PROJECT LOCATION
Part of the Northwest 1/4 of
Section 26, Town 3 North,
Range 11 East,
City of Rochester Hills,
Oakland County, Michigan

SHEET
Site Plan
Demolition Plan



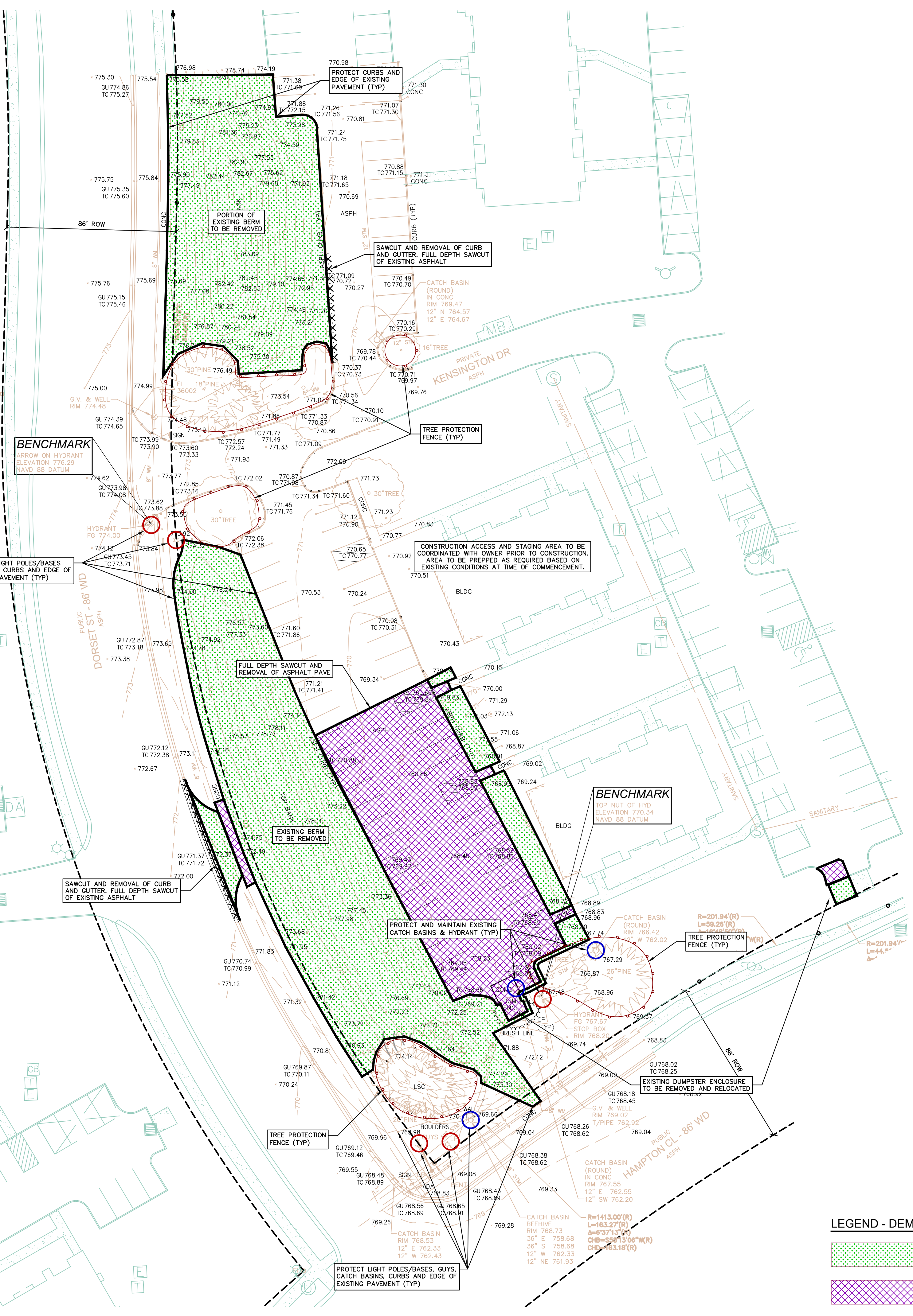
Know what's below
Call before you dig.

DATE ISSUED/REVISED
09/03/2024 ISSUED FOR SPA
10/11/2024 REVISED PER CITY REVIEW

DRAWN BY:
J. Klinkenberger
PROJECT MANAGER:
J. Klinkenberger
APPROVED BY:
C. Findley

DATE:
08/07/2024

SCALE: 1" = 30'
30 15 0 15 30 45
NFE JOB NO. sheet no.
N944 C2

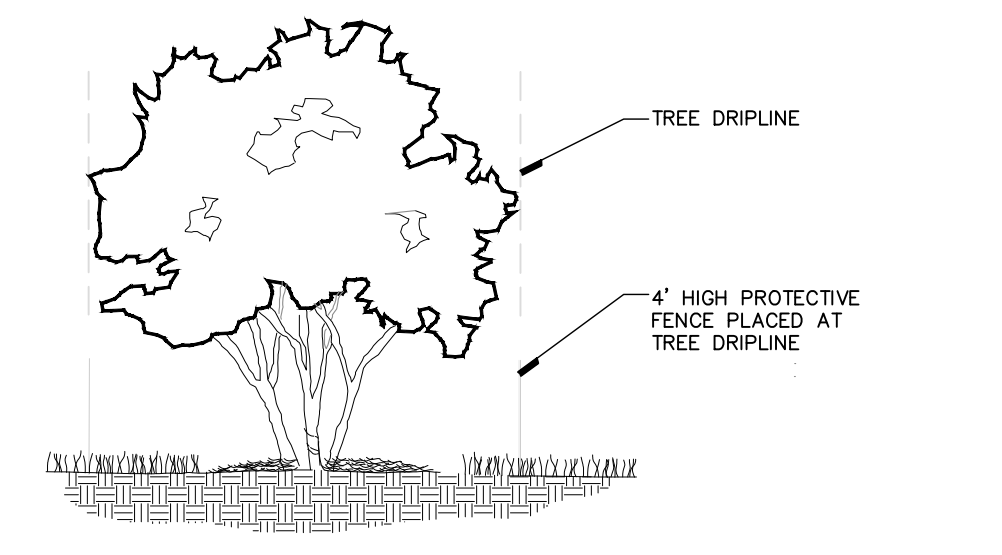


GENERAL TREE PROTECTION NOTES

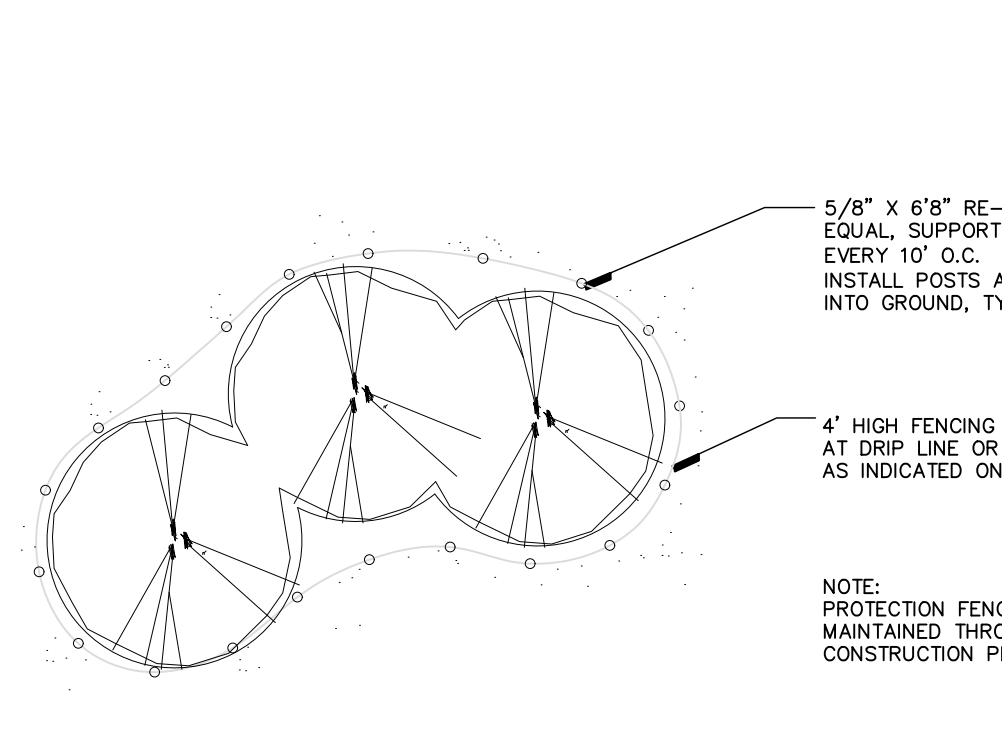
- 1. APPROVED TREE PROTECTION SHALL BE ERRECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL THE IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
- 2. ALL UNDERSTORY VEGETATION WITHIN THE LIMITS OF PROTECTIVE FENCING SHALL BE PRESERVED.
- 3. NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE.
- 4. WHERE GROUPINGS OF TREES ARE TO REMAIN, TREE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING LINE.
- 5. DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY TREE, SCHEDULED TO REMAIN.
- 6. ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
- 7. SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
- 8. TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.
- 9. ROOT ZONES OF PROTECTED TREES SHOULD BE SURROUNDED WITH RIGIDLY STAKED FENCING.
- 10. THE PARKING OF IDLE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.
- 11. THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED. ALL TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REMAIN.
- 12. THE GRUBBING OF UNDERSTORY VEGETATION WITHIN CONSTRUCTION AREAS SHOULD BE CLEARED BY CUTTING VEGETATION AT THE GROUND WITH A CHAIN SAW OR MINIMALLY WITH A HYDRO-AXE.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER ORDINANCE GUIDELINES, FOR THE DAMAGE OR REMOVAL OF ANY TREE DESIGNATED TO REMAIN.
- 14. TREES TO BE REMOVED SHALL BE FIELD VERIFIED, EVALUATED AND FLAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT OR FORESTER, ONLY AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.

DEMOLITION NOTES

- 1. DEMOLITION OF SITE IMPROVEMENTS SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE PUBLIC AGENCY HAVING JURISDICTION OVER SAID DEMOLITION.
- 2. FOR ANY DEMOLITION WITHIN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR, AND SECURE, ALL NECESSARY PERMITS AND LICENSES AND ARRANGE FOR ALL SITE INSPECTIONS.
- 3. SITE DEMOLITION INCLUDES THE COMPLETE REMOVAL OF SITE IMPROVEMENTS AND OFF-SITE DISPOSAL. DEBRIS SHALL BE TRANSPORTED TO AN APPROPRIATE DISPOSAL FACILITY THAT IS LICENSED FOR THAT TYPE OF DEBRIS.
- 4. THE CONTRACTOR SHALL COORDINATE TRUCK ROUTES WITH THE MUNICIPALITY PRIOR TO COMMENCEMENT OF SITE DEMOLITION. ALL TRUCKS SHALL BE TARPED OR PROPERLY SECURED TO CONTAIN DEMOLITION DEBRIS PRIOR TO LEAVING SITE.
- 5. EXISTING ON-SITE UNDERGROUND UTILITIES AND BUILDING SERVICES HAVE BEEN INDICATED BASED UPON THE BEST AVAILABLE UTILITY RECORDS AND/OR ON-SITE INSPECTION. NO GUARANTEE IS MADE BY THE DESIGN ENGINEER, AS TO THE COMPLETENESS OR ACCURACY OF UTILITY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF UTILITY INFORMATION (THE DESIGN ENGINEER MAKES NO GUARANTEE NOR ASSUMES ANY LIABILITY AS TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY DATA).
- 6. PRIOR TO THE REMOVAL OR ABANDONMENT OF ANY EXISTING UNDERGROUND UTILITY OR BUILDING SERVICE LINES CALLED FOR IN THE PLANS OR DISCOVERED DURING EXCAVATION, THE CONTRACTOR MUST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE/ACTIVE, THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS RECONNECTED WITHOUT AN INTERRUPTION IN SERVICE. THE RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY.
- 7. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO SITE DEMOLITION.
- 8. * THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF THE SITE DEMOLITION.
- 9. THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE DETROIT EDISON COMPANY. REMOVAL OF DETROIT EDISON ELECTRICAL SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF DETROIT EDISON.
- 10. THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH CONSUMERS ENERGY/MICHIGAN. REMOVAL OF CONSUMERS ENERGY/MICHIGAN GAS SERVICES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF CONSUMERS ENERGY/MICHIGAN.
- 11. THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH AMERITECH. REMOVAL OF AMERITECH COMMUNICATION SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF AMERITECH.
- 12. THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE APPROPRIATE CABLE MEDIA COMPANY. REMOVAL OF CABLE SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE CABLE COMPANY.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF PRIVATE UTILITY COMPANIES AND COORDINATE UTILITY SERVICE SHUT OFF/DISCONNECT, PRIOR TO DEMOLITION OF EXISTING STRUCTURES OR PROPERTIES.
- 14. ALL UTILITY METERS SHALL BE REMOVED BY THE APPROPRIATE UTILITY COMPANY.
- 15. ANY ON-SITE STORM SEWER FACILITIES LOCATED DURING DEMOLITION SHALL BE REMOVED AND BULK HEADED AT THE PROPERTY LINE IF INDICATED FOR REMOVAL ON THE PLANS.
- 16. PRIOR TO BUILDING DEMOLITION, ALL HAZARDOUS MATERIAL SHALL BE REMOVED BY OTHERS. THE DEMOLITION CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER SHOULD ANY SUSPICIOUS MATERIAL BE FOUND.
- 17. WATER SERVICES AND/OR STOP-BOX SHALL BE PRESERVED AND BULK HEADED AT THE PROPERTY LINE OR AS DIRECTED BY THE OWNER'S REPRESENTATION.
- 18. WHERE EXISTING BUILDINGS PLANNED FOR DEMOLITION FALL WITHIN PROPOSED BUILDING FOOT PRINTS, BASEMENT FLOOR SLABS, FOUNDATION WALLS AND FOOTINGS SHALL BE COMPLETELY REMOVED AND BACK FILLED WITH MDOT CLASS 1 GRANULAR MATERIAL AND BE MACHINE COMPACTED TO A MINIMUM OF 98% OF MATERIALS MAXIMUM DENSITY.



TREE PROTECTION DETAIL-SECTION NTS



TREE PROTECTION DETAIL-PLAN NTS

LEGEND - DEMOLITION
[Green hatched box] INDICATES AREAS OF EARTH EXCAVATION
[Purple hatched box] INDICATES AREAS OF PAVEMENT REMOVAL CONTRACTOR TO REMOVE CONCRETE SLAB ON GRADE OR ASPHALT PAVEMENT, FULL DEPTH ALONG WITH SUBBASE COURSE

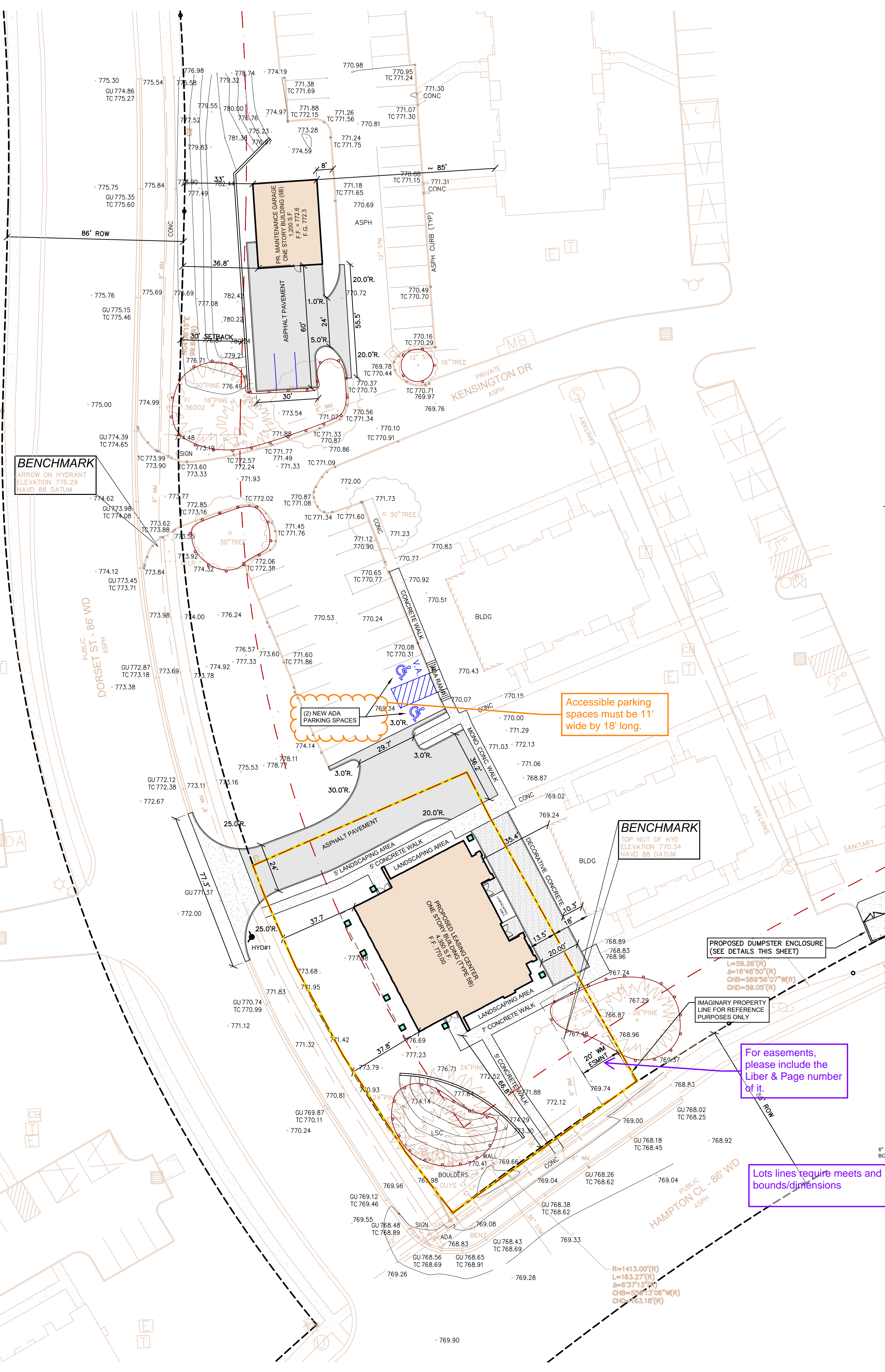
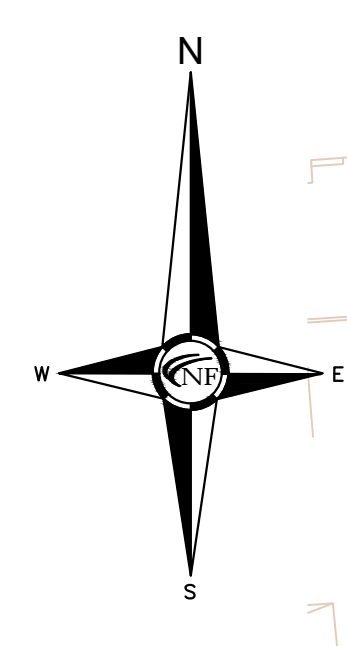
NOT TO BE USED AS CONSTRUCTION DRAWINGS

TOPOGRAPHIC SURVEY NOTES

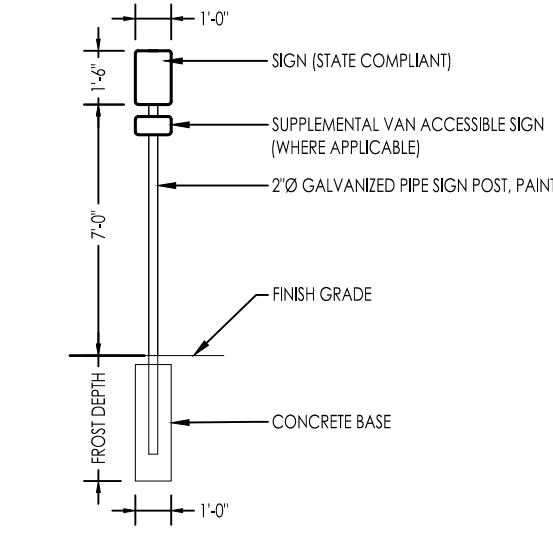
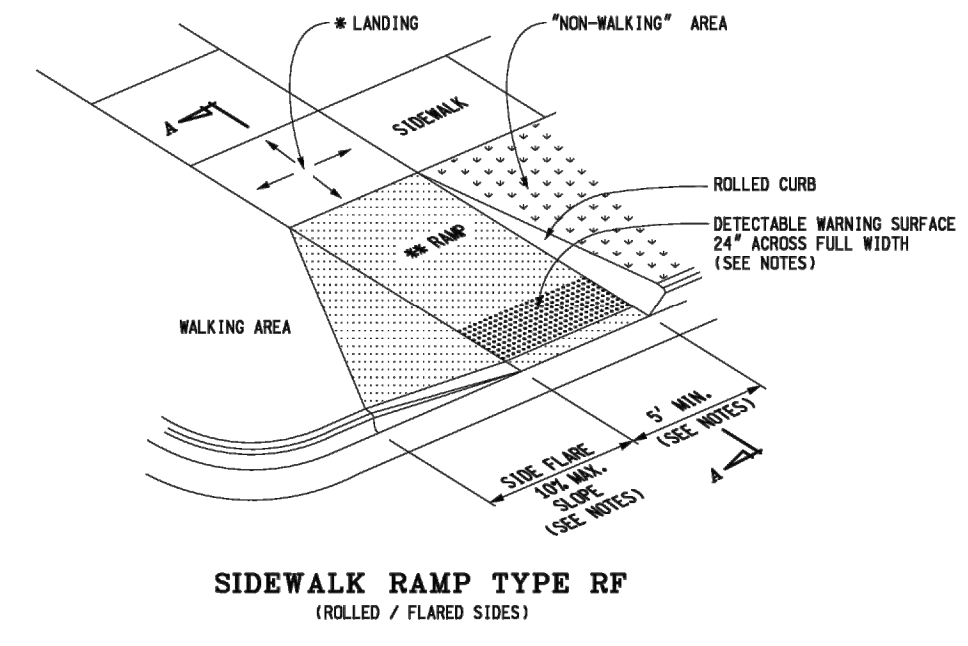
ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER

LEGEND table with symbols for Manhole, Hydrant, Catch Basin, Utility Pole, GUY Pole, GUY WIRE, Existing Sanitary Sewer, Existing San. Clean Out, Existing Water Main, Existing Storm Sewer, Ex. R. Y. Catch Basin, Existing Buried Cables, Overhead Lines, Light Pole, Sign, Existing Gas Main, Existing Curb & Gutter to be Removed, Existing Utility to be Abandoned, and Existing Tree to be Removed.

ROCHESTER HILLS MICHIGAN logo
J024-0157
PSP2024-0032
Revision #1
Received 10/17/2024
City of Rochester Hills
Planning & Economic Development

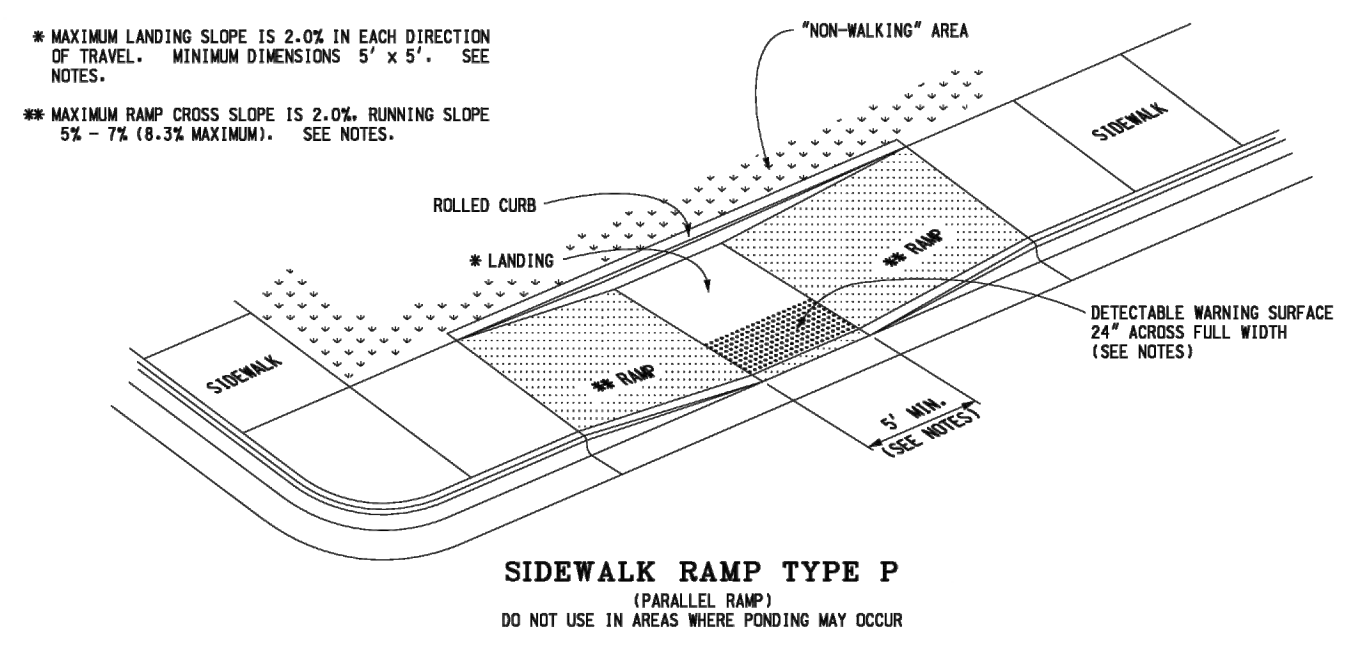


• MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
 • MAXIMUM RAMP CROSS SLOPE IS 2.0%. RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.

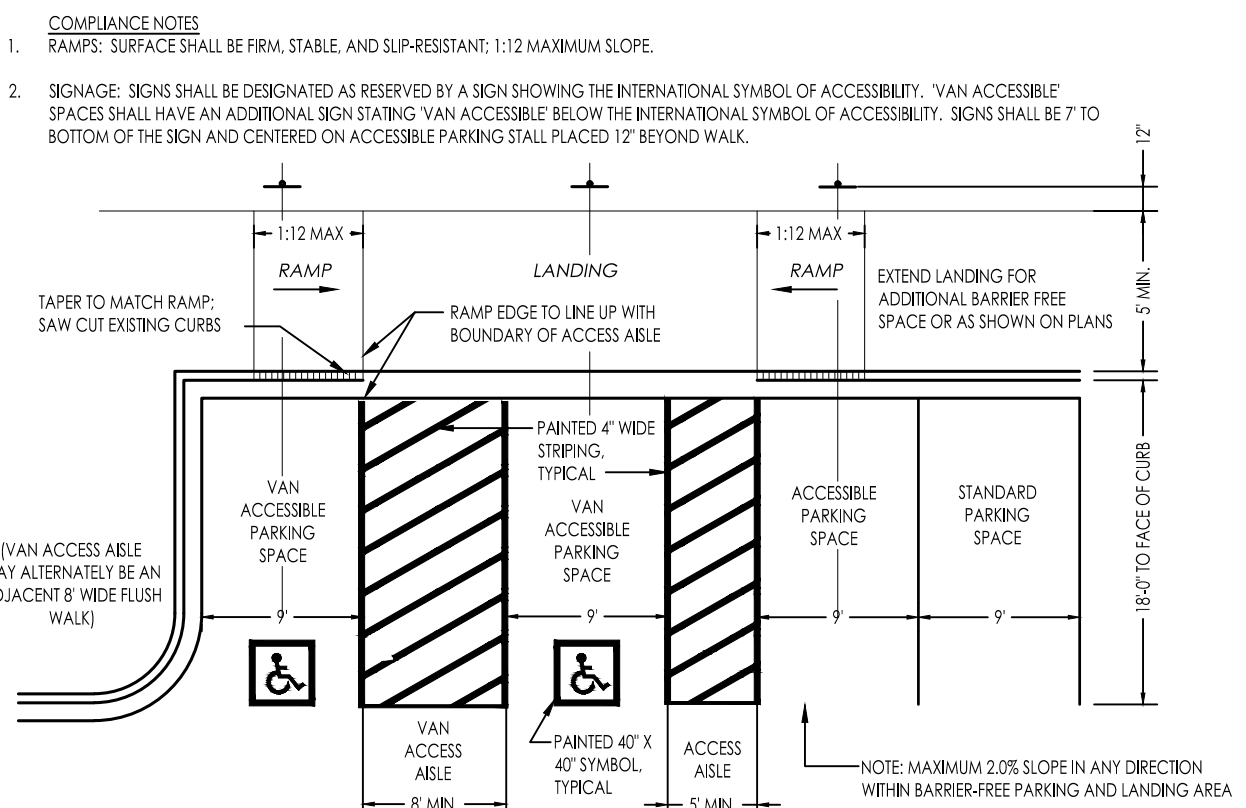


PARKING SIGN DETAIL
N.T.S.

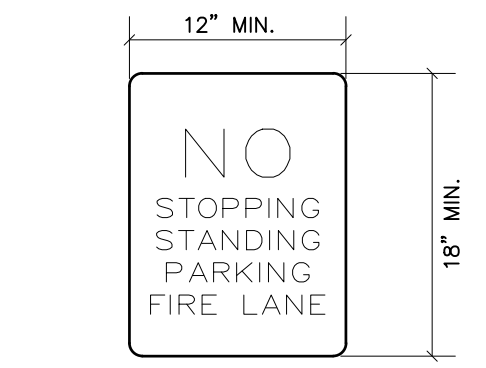
COMPLIANCE NOTES
 1. RAMP: SURFACE SHALL BE FIRM, STABLE, AND SLIP-RESISTANT; 1:12 MAXIMUM SLOPE.
 2. SIGNAGE: SIGNS SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN STATING 'VAN ACCESSIBLE' BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE 7' TO BOTTOM OF THE SIGN AND CENTERED ON ACCESSIBLE PARKING SPACES PLACED 12' BEYOND WALK.



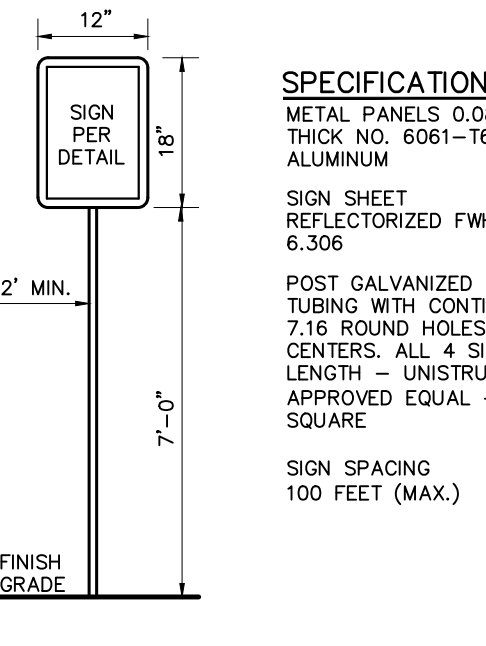
SIDEWALK RAMP TYPE P
(PARALLEL RAMP)
DO NOT USE IN AREAS WHERE PONDING MAY OCCUR



ACCESSIBLE PARKING LAYOUT
N.T.S.

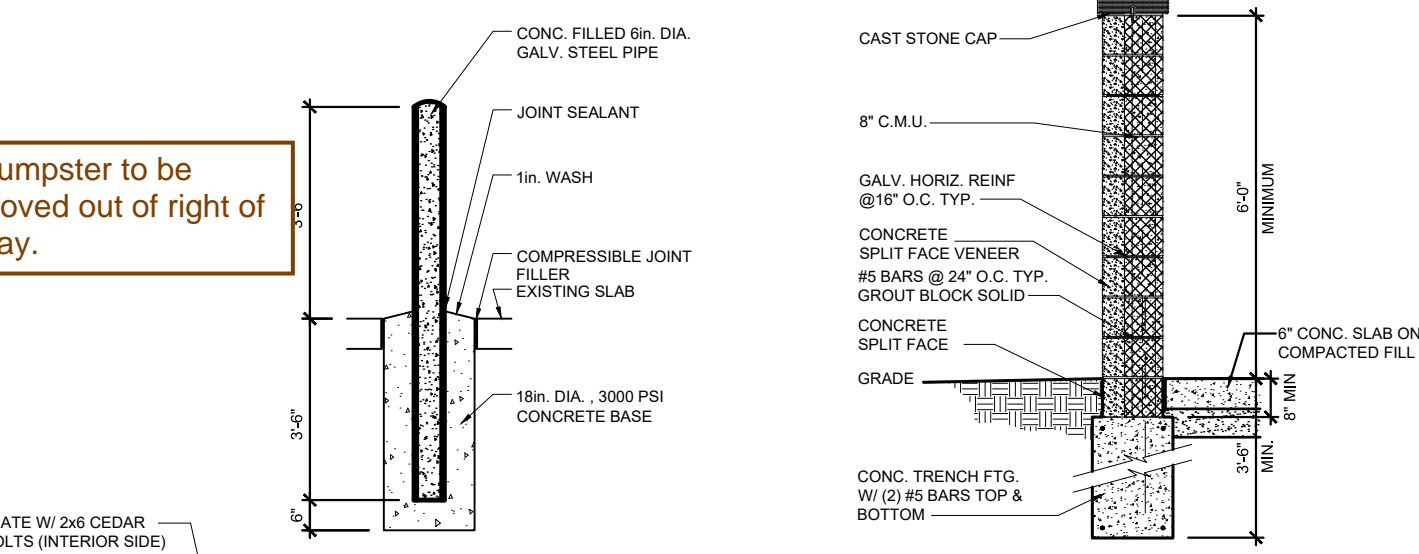


FIRE LANE SIGN DETAIL



NO PARKING SIGN DETAIL
N.T.S.

SPECIFICATIONS
 METAL PANELS 0.081 INCH THICK, NO. 6061-T6 ALUMINUM
 SIGN SHEET REFLECTORIZED FWHA 6-306
 POST GALVANIZED SQUARE TUBING WITH CONTINUOUS 7/16 ROUND HOLES ON 1 CENTERS. ALL 4 SIDES ENTIRE LENGTH - UNISTRUT OR APPROVED EQUAL - 1-3/4 SQUARE
 SIGN SPACING 100 FEET (MAX.)



DOUBLE DUMPSTER ENCLOSURE DETAIL
N.T.S.



PAVING LEGEND

[Symbol]	PROPOSED CONCRETE PAVEMENT
[Symbol]	PROPOSED ASPHALT PAVEMENT

LEGEND

[Symbol]	MANHOLE	EXISTING SANITARY SEWER
[Symbol]	HYDRANT	SAN. CLEAN OUT
[Symbol]	MANHOLE	GATE VALVE
[Symbol]	MANHOLE	CATCH BASIN
[Symbol]	UTILITY POLE	EXISTING WATERMAIN
[Symbol]	GLY POLE	EXISTING STORM SEWER
[Symbol]	GLY WIRE	EX. R. Y. CATCH BASIN
[Symbol]	GLY WIRE	EXISTING BURIED CABLES
[Symbol]	GLY WIRE	OVERHEAD LINES
[Symbol]	GLY WIRE	LIGHT POLE
[Symbol]	GLY WIRE	SIGN
[Symbol]	C.O. MANHOLE	EXISTING GAS MAIN
[Symbol]	HYDRANT	PR. SANITARY SEWER
[Symbol]	INLET	PR. WATER MAIN
[Symbol]	C.B. MANHOLE	PR. STORM SEWER
[Symbol]	[Symbol]	PR. R. Y. CATCH BASIN
[Symbol]	[Symbol]	PROPOSED LIGHT POLE

LEGEND

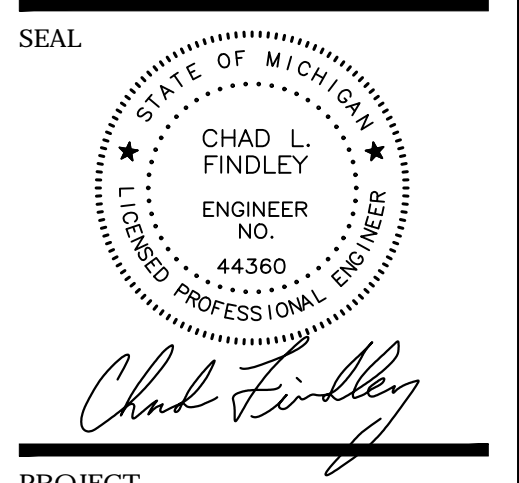
LEGEND

[Symbol]	MANHOLE	EXISTING SANITARY SEWER
[Symbol]	HYDRANT	SAN. CLEAN OUT
[Symbol]	MANHOLE	GATE VALVE
[Symbol]	MANHOLE	CATCH BASIN
[Symbol]	UTILITY POLE	EXISTING WATERMAIN
[Symbol]	GLY POLE	EXISTING STORM SEWER
[Symbol]	GLY WIRE	EX. R. Y. CATCH BASIN
[Symbol]	GLY WIRE	EXISTING BURIED CABLES
[Symbol]	GLY WIRE	OVERHEAD LINES
[Symbol]	GLY WIRE	LIGHT POLE
[Symbol]	GLY WIRE	SIGN
[Symbol]	C.O. MANHOLE	EXISTING GAS MAIN
[Symbol]	HYDRANT	PR. SANITARY SEWER
[Symbol]	INLET	PR. WATER MAIN
[Symbol]	C.B. MANHOLE	PR. STORM SEWER
[Symbol]	[Symbol]	PR. R. Y. CATCH BASIN
[Symbol]	[Symbol]	PROPOSED LIGHT POLE



**civil Engineers
Land Surveyors
Land Planners**

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 Pontiac, MI 48342-5032
 Tel. (248) 332-7931
 Fax. (248) 332-8257
 WWW.NOWAKFRAUS.COM



PROJECT
 Oaks at Hampton Apartments
 Leasing Center

CLIENT
 The Monahan Company
 21321 Kelly Road
 Eastpointe, MI 48021

Contact:
 Nathan Knapp,
 Senior Construction Estimator
 Phone: (586) 774-3800
 Email: nathan@themonahanco.com

PROJECT LOCATION
 Part of the Northwest 1/4 of
 Section 26, Town 3 North,
 Range 11 East,
 City of Rochester Hills,
 Oakland County, Michigan

SHEET
 Site Plan



DATE ISSUED/REVISED
 09/03/2024 ISSUED FOR SPA
 10/11/2024 REVISED PER CITY REVIEW

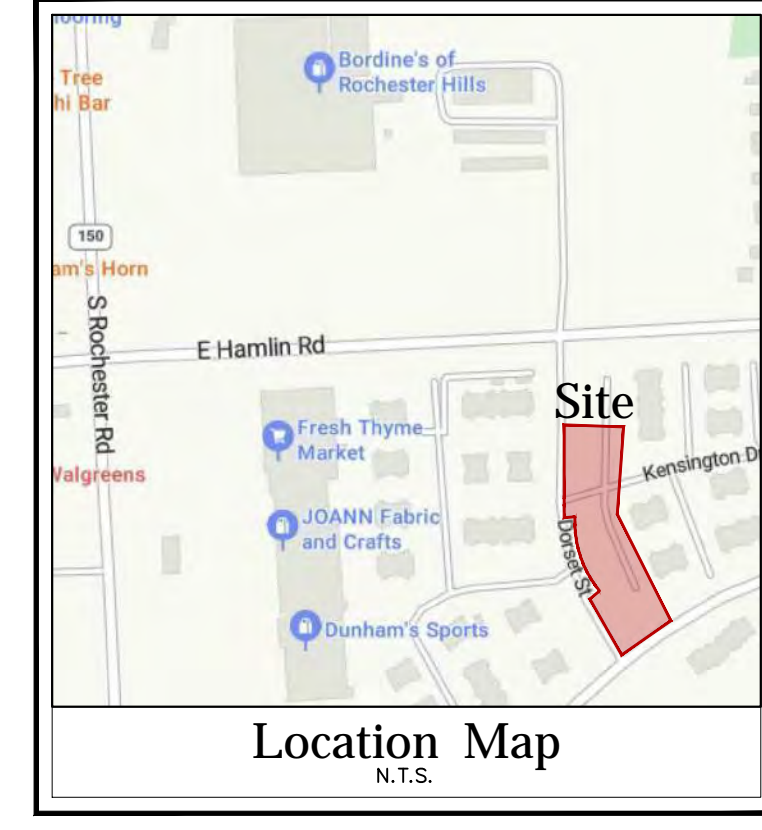
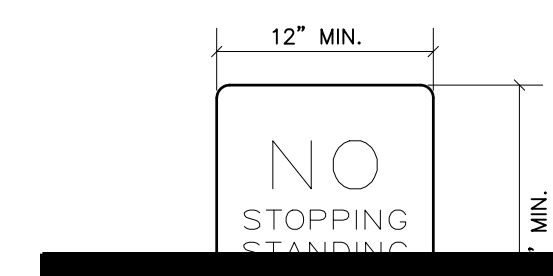
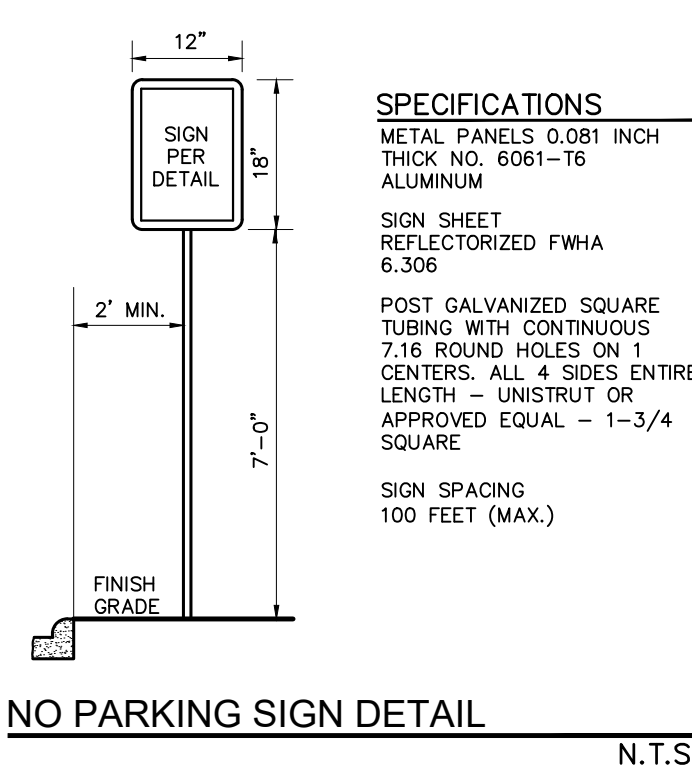
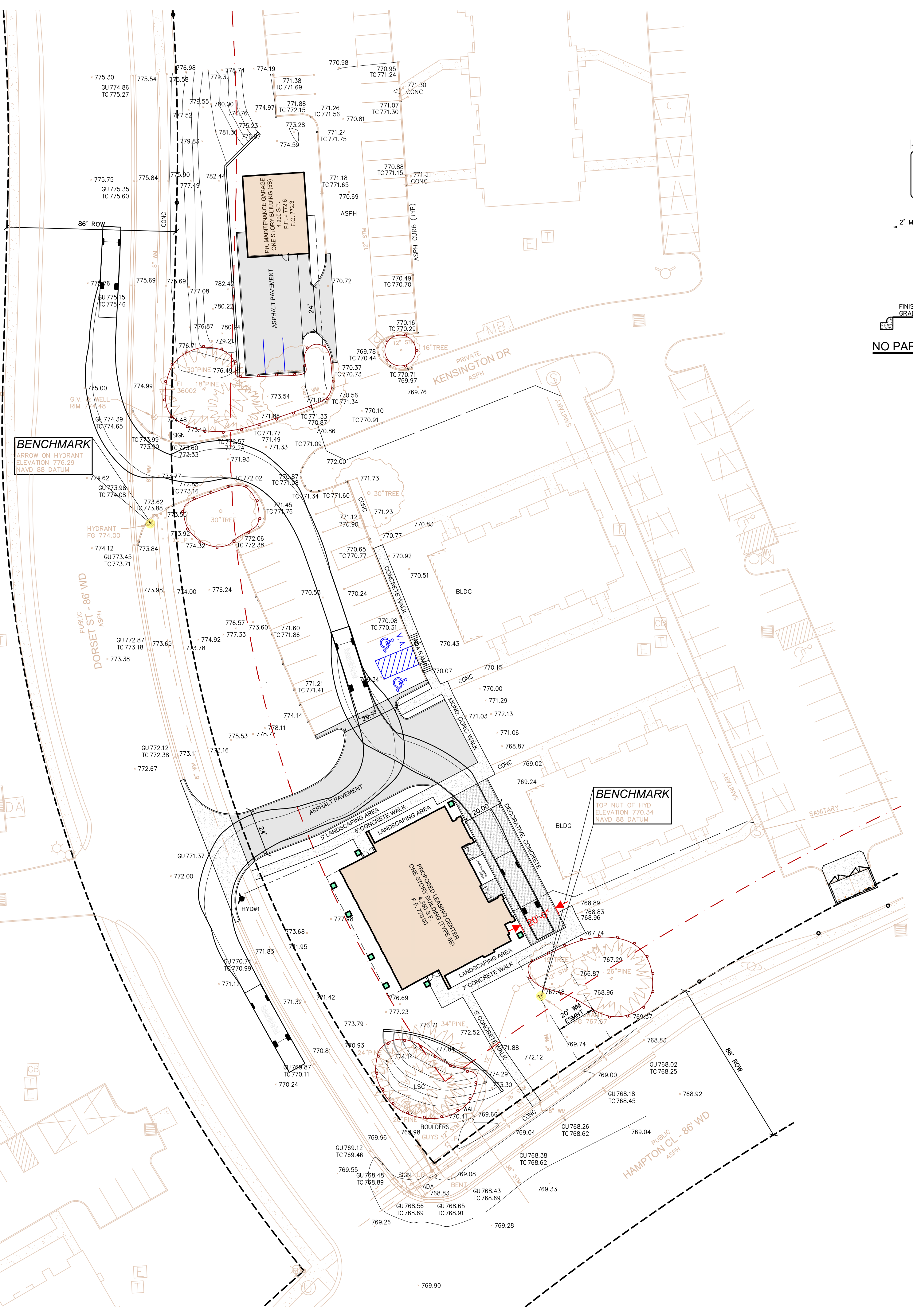
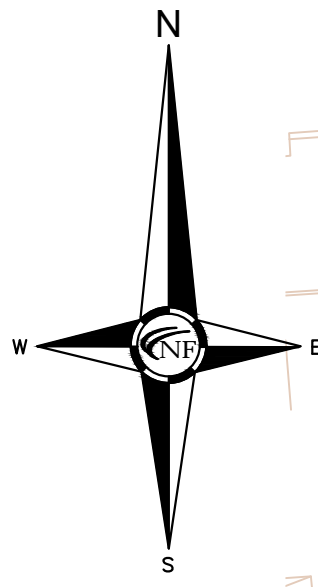
DRAWN BY:
 J. Klinkenberger
PROJECT MANAGER:
 J. Klinkenberger
APPROVED BY:
 C. Findley

DATE:
 08/07/2024
SCALE: 1" = 30'
 30 15 0 15 30 45
NFE JOB NO. sheet no.
 N944 C3

ROCHESTER HILLS MICHIGAN
 J024-0157
 PSP2024-0032
 Revision #1

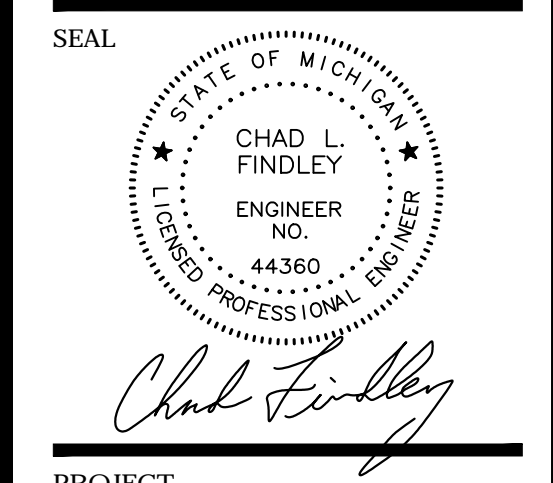
Received
 10/17/2024
 City of Rochester Hills
 Planning & Economic
 Development

**NOT TO BE USED AS
CONSTRUCTION
DRAWINGS**



NF ENGINEERS
civil Engineers
Land Surveyors
Land Planners

NOWAK & FRAUS ENGINEERS
46777 Woodward Ave.
Pontiac, MI 48342-5032
Tel. (248) 332-7931
Fax. (248) 332-8257
WWW.NOWAKFRAUS.COM



PROJECT
Oaks at Hampton Apartments
Leasing Center

CLIENT
The Monahan Company
21321 Kelly Road
Eastpointe, MI 48021

Contact:
Nathan Knapp,
Senior Construction Estimator
Phone: (586) 774-3800
Email: nathan@themonahanco.com

PROJECT LOCATION
Part of the Northwest 1/4 of
Section 26, Town 3 North,
Range 11 East,
City of Rochester Hills,
Oakland County, Michigan

SHEET
Site Plan
Fire Truck Maneuvering Plan



DATE	ISSUED/REVISED
09/03/2024	ISSUED FOR SPA
10/11/2024	REVISED PER CITY REVIEW

DRAWN BY:
J. Klinkenberger
PROJECT MANAGER:
J. Klinkenberger
APPROVED BY:
C. Findley

DATE:
08/07/2024
SCALE: **1" = 30'**
NFE JOB NO. **N944** sheet no. **C4**

Pierce Turning Performance Analysis 03/30/2017

Bid Number: 581 Department: City of Rochester Hills

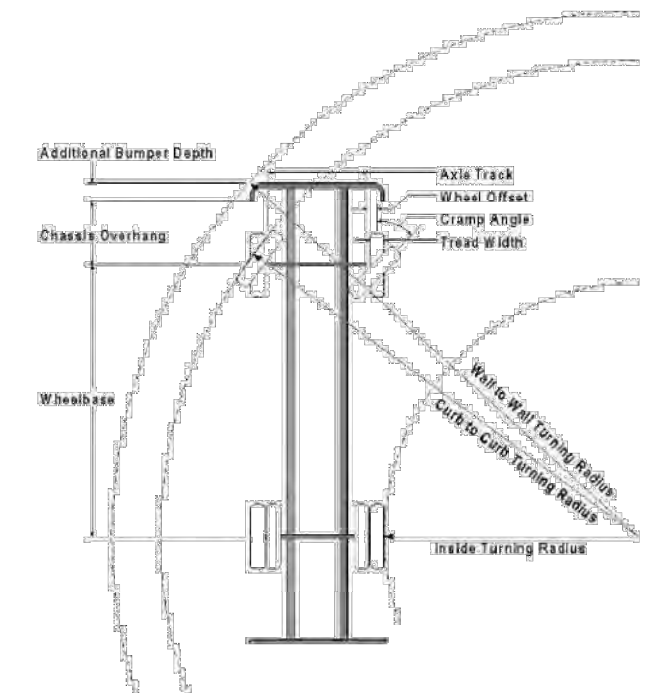
Chassis: Arrow XT Chassis, PAP/Midmount Body: Aerial, Platform, 95', Mid-Mount, Alum Body

Parameters:	
Inside Cramp Angle:	45°
Axle Track:	82.92 in.
Wheel Offset:	4.88 in.
Tread Width:	17.4 in.
Chassis Overhang:	68.99 in.
Additional Bumper Depth:	7 in.
Front Overhang:	75.99 in.
Wheelbase:	270 in.
Overall Length:	463"

Calculated Turning Radii:

Inside Turn:	21 ft. 5 in.
Curve to curb:	38 ft. 2 in.
Wall to wall:	41 ft. 0 in.

Comments:
95' PAP - City of Rochester Hills
Rear Overhang - 16 feet



FIRE DEPARTMENT NOTES
1) A "KNOX" KEY SYSTEM MAY BE REQUIRED IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE THROUGH THE KNOX COMPANY AT WWW.KNOXCO.COM

ROCHESTER HILLS MICHIGAN

J024-0157
PSP2024-0032
Revision #1

Received 10/17/2024
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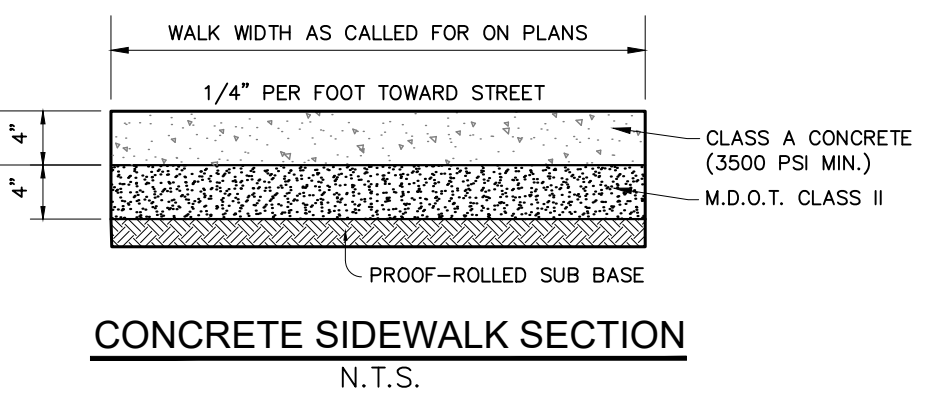
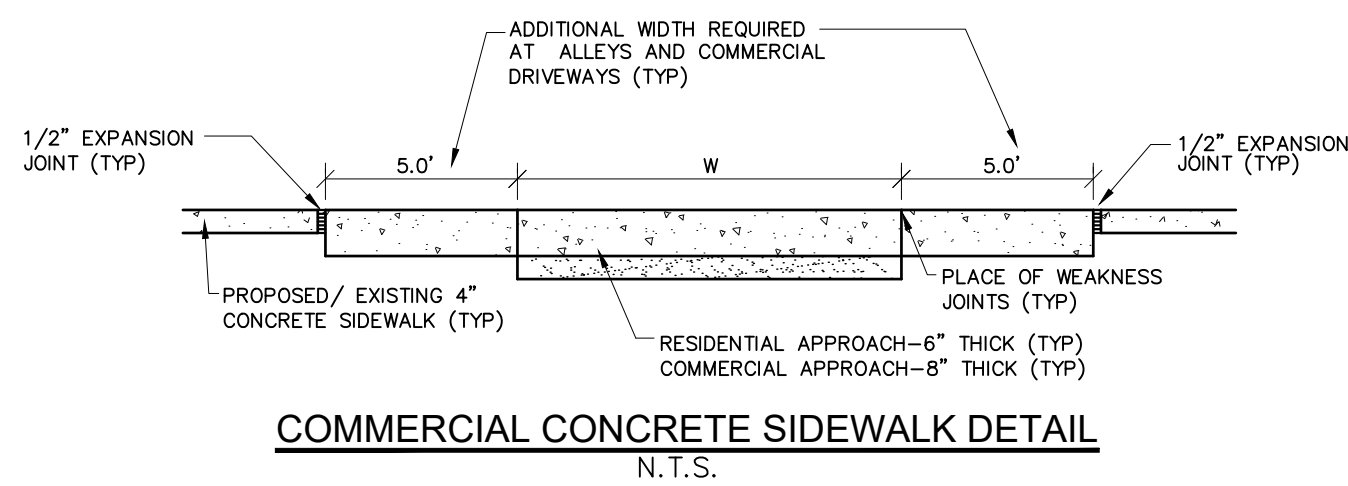
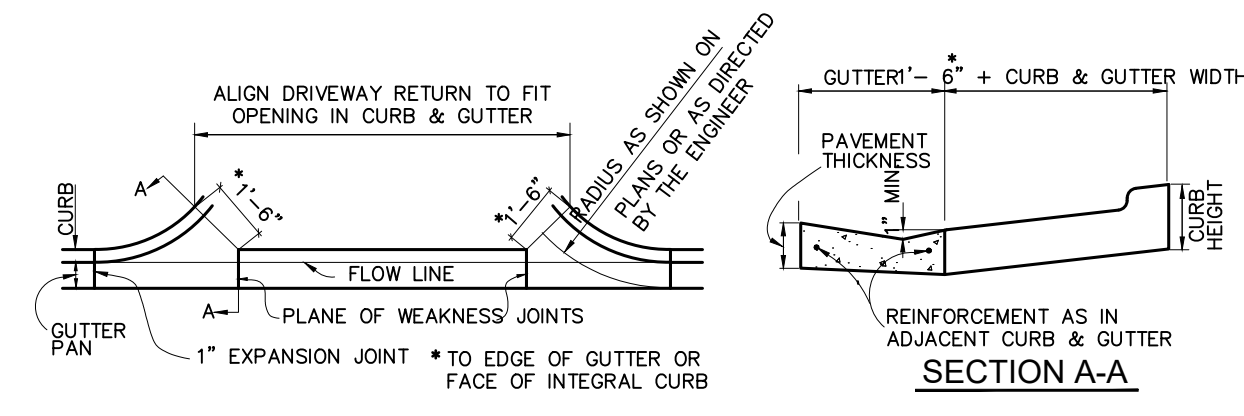
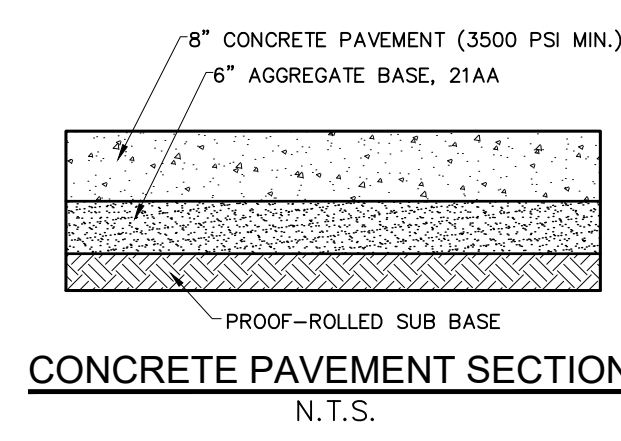
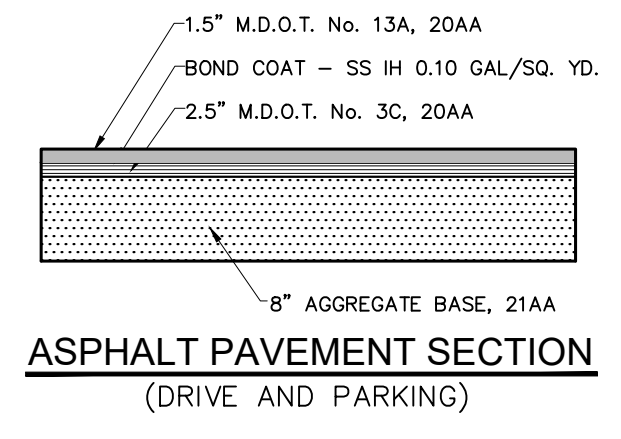
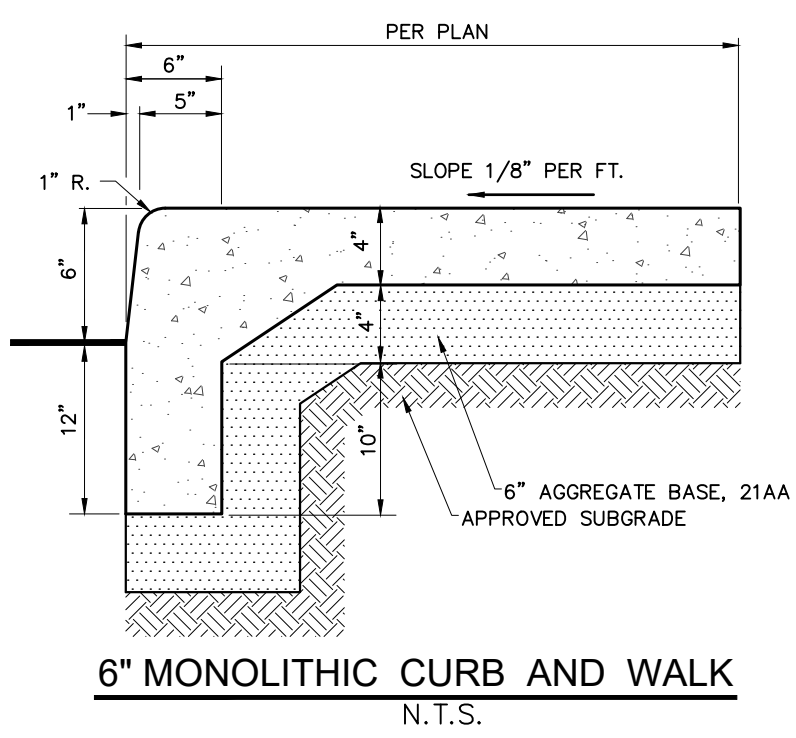
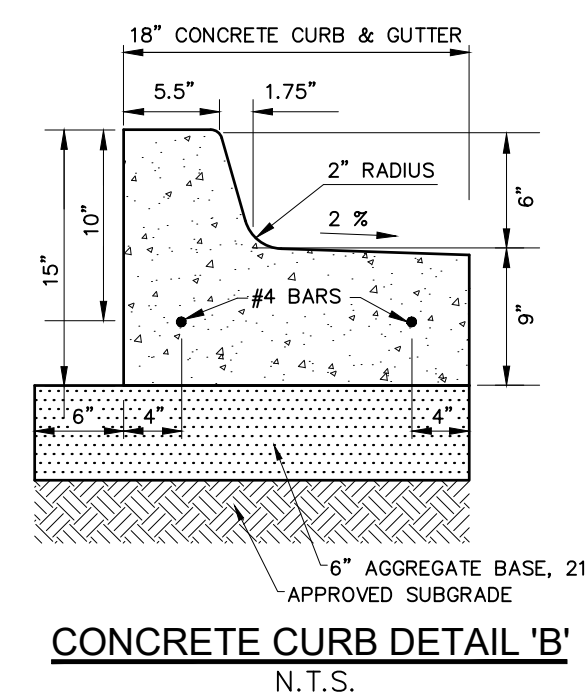
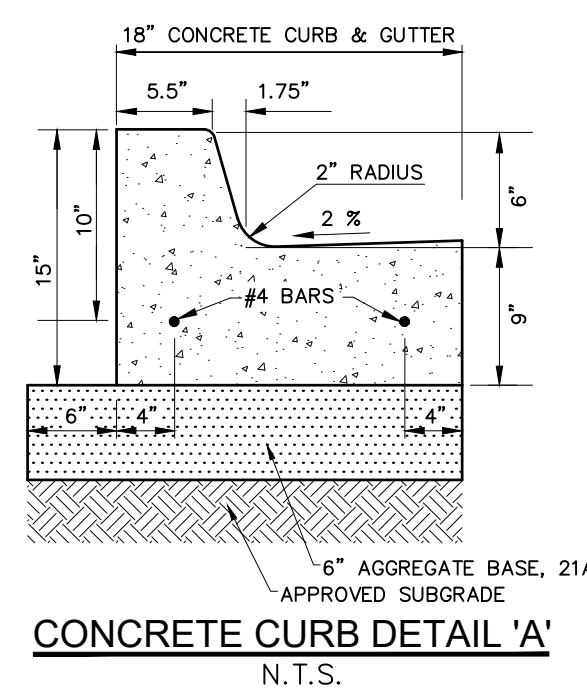
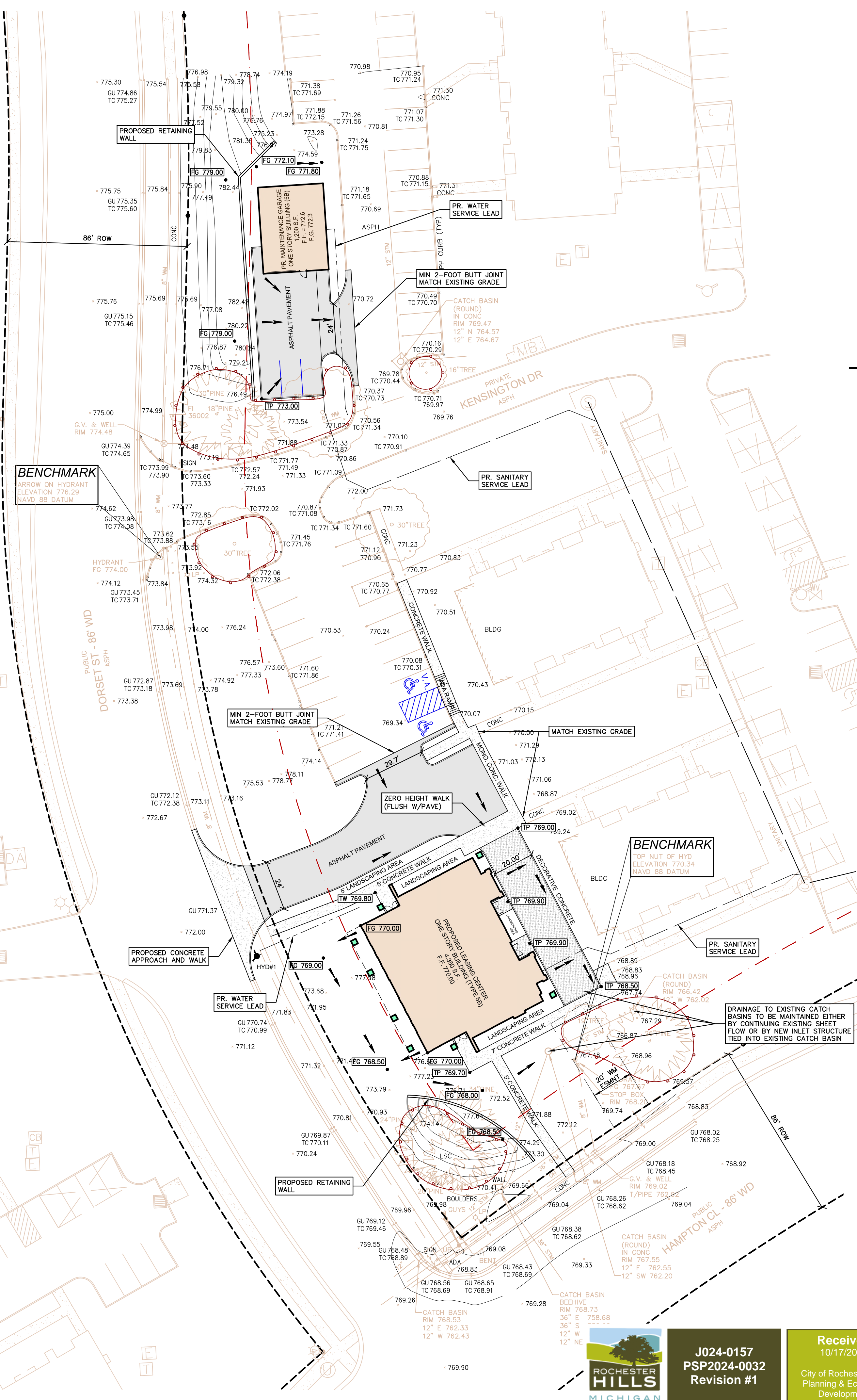
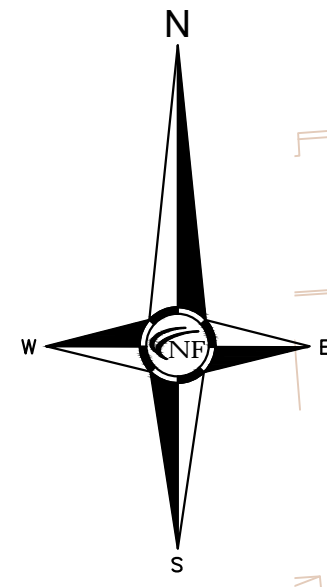
NOT TO BE USED AS
CONSTRUCTION
DRAWINGS

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		GATE VALVE
	MANHOLE CATCH BASIN		EXISTING WATERMAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY POLE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	LIGHT POLE		OVERHEAD LINES
	SIGN		EXISTING GAS MAIN
	C.O. MANHOLE		PR. SANITARY SEWER
	INLET		PR. WATER MAIN
	MANHOLE		PR. STORM SEWER
	MANHOLE		PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE		

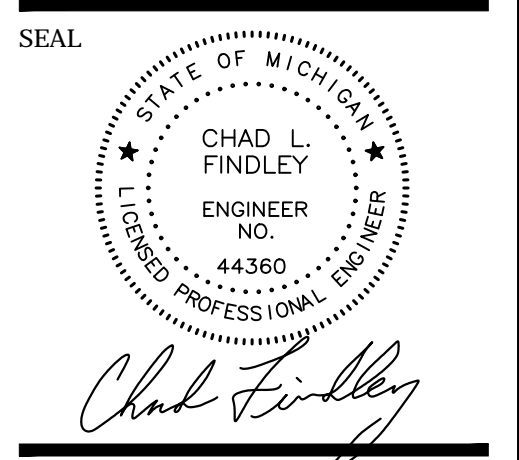


GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:
CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.
ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100I, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.
PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.
ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.
ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.
ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.
ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6\"/>



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PROJECT
Oaks at Hampton Apartments
Leasing Center

CLIENT
The Monahan Company
21321 Kelly Road
Eastpointe, MI 48021

PROJECT LOCATION
Part of the Northwest 1/4 of
Section 26, Town 3 North,
Range 11 East,
City of Rochester Hills,
Oakland County, Michigan

SHEET
Site Plan
Engineered Site Plan



DATE ISSUED/REVISED
09/03/2024 ISSUED FOR SPA
10/11/2024 REVISED PER CITY REVIEW

DRAWN BY:
J. Klinkenberger
PROJECT MANAGER:
J. Klinkenberger
APPROVED BY:
C. Findley

DATE:
08/07/2024
SCALE: 1" = 30'
NFE JOB NO. sheet no.
N944 C5

AREA-WEIGHTED C CALCULATIONS (GARAGE - EXISTING)

Subarea ID	Area	Runoff Coeff.	Product
A	1.0	0.5	0.5
C	0.5	0.5	0.25
CA	0.5	0.5	0.25
Sum	2.0	0.5	0.85

AREA-WEIGHTED C CALCULATIONS (GARAGE - PROPOSED)

Subarea ID	Area	Runoff Coeff.	Product
A	1.0	0.5	0.5
C	0.5	0.5	0.25
CA	0.5	0.5	0.25
Sum	2.0	0.5	0.85

AREA-WEIGHTED C CALCULATIONS (LEASING - EXISTING)

Subarea ID	Area	Runoff Coeff.	Product
A	1.0	0.5	0.5
C	0.5	0.5	0.25
CA	0.5	0.5	0.25
Sum	2.0	0.5	0.85

AREA-WEIGHTED C CALCULATIONS (LEASING - PROPOSED)

Subarea ID	Area	Runoff Coeff.	Product
A	1.0	0.5	0.5
C	0.5	0.5	0.25
CA	0.5	0.5	0.25
Sum	2.0	0.5	0.85

SANITARY SEWER BASIS OF DESIGN - LEASING CENTER

Use	Qty.	Unit Factor
Offices - General	4,350 Sq. Ft.	@ 0.40 Per 1,000 Sq. Ft. = 1.74 REUs
Total REUs		= 1.74 REUs
Equivalent Population		= 2.44 People Per REU
Total Population		= 4. People
Average Flow		= 100 Gal/Per/Day * Population = 7.48 gal/cf * 86,400 sec/day = 424.56 GPD = 0.0007 CFS
Peak Factor		= 18 + (# of Persons/1000) * 0.50 = 4 + (# of Persons/1000) * 0.50 = 4.44
Peak Flow		= Peak Factor * Average Flow = 1886.70 GPD = 0.0029 CFS

SANITARY SEWER BASIS OF DESIGN - MAINTENANCE GARAGE

Use	Qty.	Unit Factor
Warehouses & Storage	3 Fixtures	@ 0.12 Per 1 Fixtures = 0.36 REUs
Total REUs		= 0.36 REUs
Equivalent Population		= 2.44 People Per REU
Total Population		= 1. People
Average Flow		= 100 Gal/Per/Day * Population = 7.48 gal/cf * 86,400 sec/day = 87.84 GPD = 0.0001 CFS
Peak Factor		= 18 + (# of Persons/1000) * 0.50 = 4 + (# of Persons/1000) * 0.50 = 4.47
Peak Flow		= Peak Factor * Average Flow = 393.02 GPD = 0.0006 CFS

PAVING LEGEND

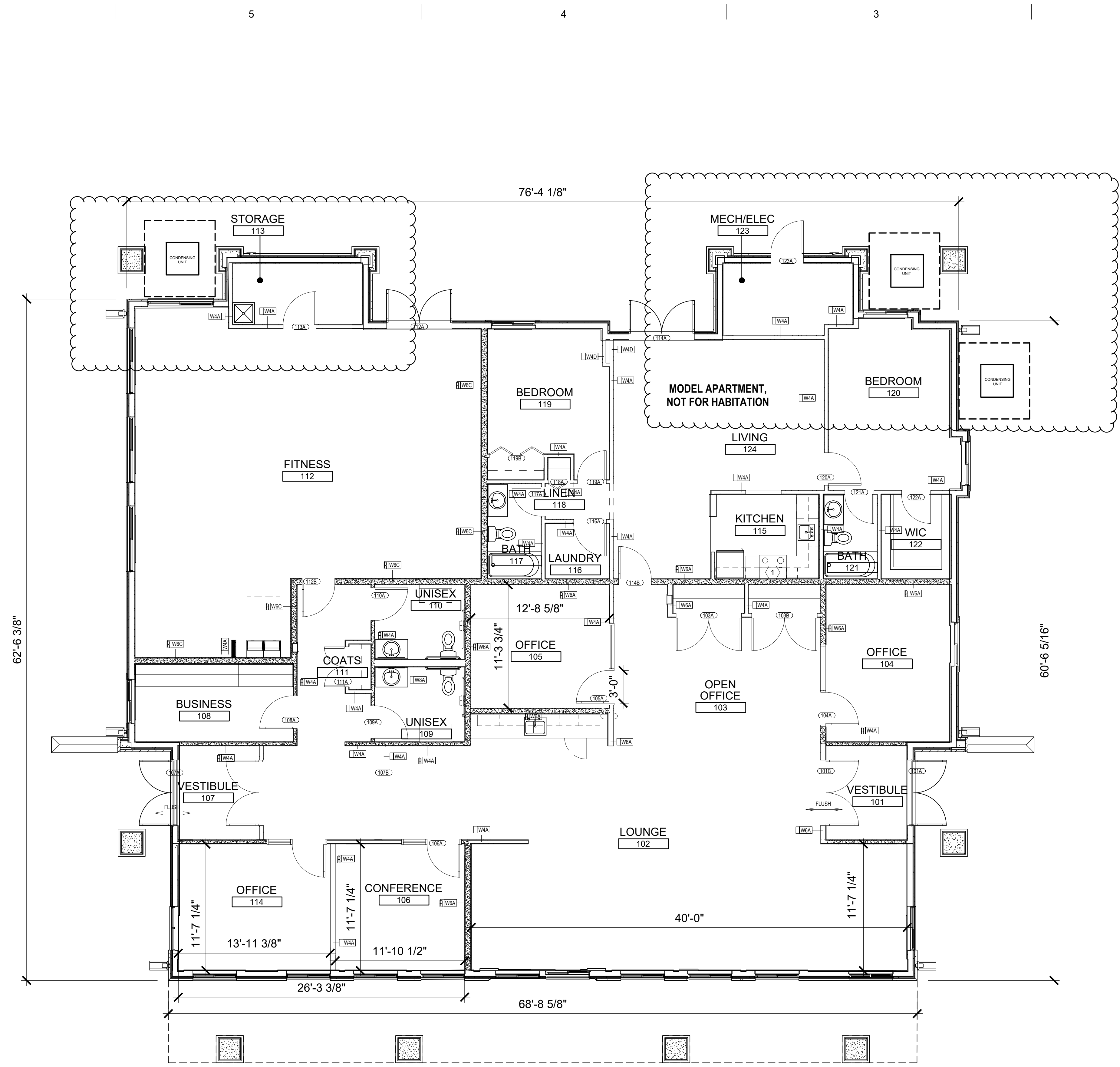
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE		EXISTING WATERMAIN
	MANHOLE		EXISTING STORM SEWER
	UTILITY POLE		EX. R. Y. CATCH BASIN
	GLY POLE		EXISTING BURIED CABLES
	GLY WIRE		OVERHEAD LINES
	GLY WIRE		LIGHT POLE
	C.O.		EXISTING GAS MAIN
	HYDRANT		PR. SANITARY SEWER
	MANHOLE		PR. WATER MAIN
	MANHOLE		PR. STORM SEWER
	MANHOLE		PR. R. Y. CATCH BASIN
	MANHOLE		PROPOSED LIGHT POLE

NOT TO BE USED AS
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ARCHITECTURAL FLOOR PLAN
SCALE: 3/16" = 1'-0"

GENERAL FLOOR PLAN NOTES:

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WOOD, INCLUDING BLOCKING, USED ON THE PROJECT SHALL BE FIRE RETARDANT TREATED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.
- PROVIDE TRANSITION STRIPS AT EACH CHANGE IN FLOOR FINISH MATERIALS.
- PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
- REINFORCE WALL AND PROVIDE BLOCKING AS REQUIRED TO SUPPORT WALL CABINETS AND COUNTERTOPS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL WALL REINFORCING FOR INSTALLATION OF ACCESSORIES, COAT RACKS, CHART RACKS, CASEWORK, AND OTHER WALL MOUNTED ITEMS.
- CLEAN AND REPAIR ALL EXISTING FLOOR FINISHES AS NECESSARY.
- ALL EXPOSED PIPES, DUCTS, AND CONDUIT TO BE PAINTED TO MATCH EXISTING.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD PARTITIONS AT 30'-0" O.C. MAXIMUM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
- COORDINATE WITH OWNER'S EQUIPMENT SUPPLIER FOR INSTALLATION REQUIREMENTS / LOCATIONS OF FLOOR / WALL / CEILING MOUNTED ITEMS: IE. CAMERAS, TV'S, SPEAKERS, SENSORS, SECURITY WIRING, VAULTS, ATMS.
- CONTRACTOR SHALL CONDUCT A ROUGH ELECTRICAL INSPECTION WITH OWNER, PRIOR TO ENCLOSING WALLS, FOR THE PURPOSE OF CONFIRMING ALL J-BOX LOCATIONS FOR POWER, DATA, VOICE, SWITCH, THERMOSTAT, ETC.
- CONTRACTOR TO FILL ANY AND ALL EQUIPMENT PENETRATIONS OR DEPRESSIONS INTO OR THROUGH THE EXISTING SLAB THAT WILL NOT BE UTILIZED TO FEED NEW EQUIPMENT (I.E. ABANDONED FLOOR CORES, IMPRESSION FROM PREVIOUS EQUIPMENT FLOOR PLATE REMOVAL). PENETRATIONS SHALL BE FILLED WITH NON-SHRINK GROUT. THE SIDES OF ANY EXISTING OPENINGS SHALL BE MODIFIED/TAPERED SO THAT THEY ARE WIDER AT THE TOP THAN AT THE BOTTOM. FOR LARGE OPENINGS, PROVIDE ONE (1) #5 BAR 2" UP FROM BOTTOM OF HOLE.
- A TACTILE SIGN STATING "EXIT" AND COMPLYING WITH ICC-A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN "AREA OF REFUGE", AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY, AND THE EXIT DISCHARGE.
- PROVIDE PERMANENT MIN 3-INCH HIGH CONTRASTING COLOR MARKING AND IDENTIFICATION AT ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS WITHIN 15 FEET AT THE END OF EACH WALL, AND NOT EXCEEDING 30 FEET MAXIMUM HORIZONTAL INTERVALS, MINIMUM 2 LOCATIONS EACH WALL, TYPICAL FOR ACCESSIBLE HORIZONTAL INTERVALS, MINIMUM 2 LOCATIONS EACH WALL.

FLOOR PLAN KEY NOTES:

- (TYPICAL THIS SHEET ONLY)
- ① TYPE II HOOD SUPPRESSION SYSTEM INSTALLED



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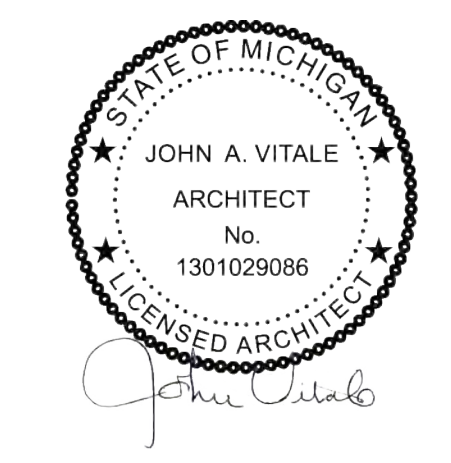
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Project :
OAKS AT HAMPTON APARTMENTS
EAST SIDE OF DORSET DR
NORTH OF HAMPTON CR
ROCHESTER HILLS MI

Issued for :
REVIEW: 06/27/2024
REVIEW: 07/03/2024
SPA REVIEW: 10/11/2024



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ARA
Checked by :
JAV, MJB

Sheet Title :
LEASING CENTER
FLOOR PLAN

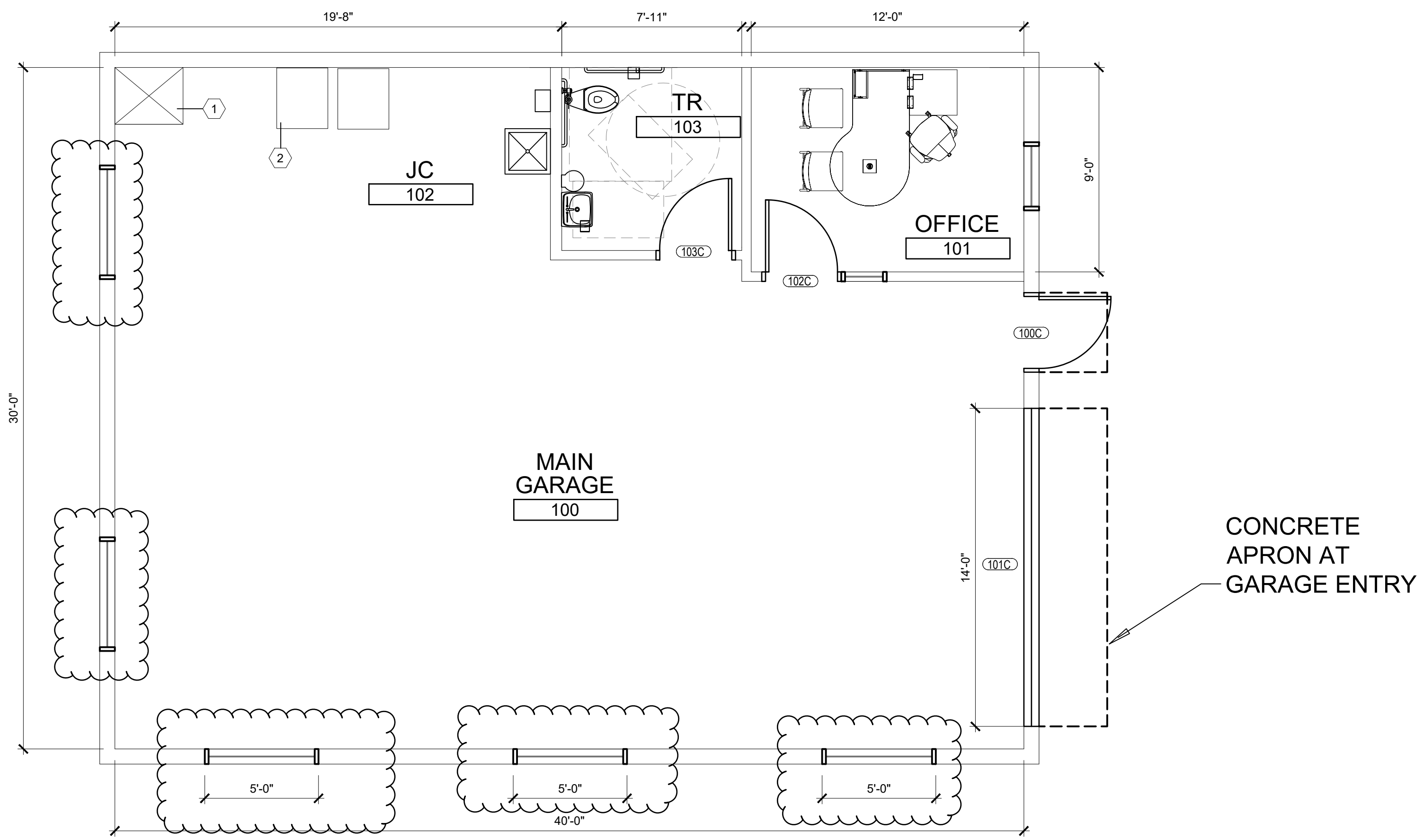
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A101

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PSP2024-0032
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10/17/2024
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1
A102 ARCHITECTURAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



GENERAL FLOOR PLAN NOTES:

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
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- PAINT, PATCH AND REPAIR THE FOLLOWING TO MATCH EXISTING MATERIALS: FLOOR, WALL, AND CEILING SURFACES AS REQUIRED ADJACENT TO AREAS BEING DEMOLISHED. REFER TO DEMOLITION DRAWINGS FOR MORE INFORMATION.
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FLOOR PLAN KEY NOTES:

- (TYPICAL THIS SHEET ONLY)
- ① FUTURE FURNACE LOCATION
 - ② FUTURE W/D HOOK UP LOCATION



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Project :
OAKS AT HAMPTON APARTMENTS
EAST SIDE OF DORSET DR
NORTH OF HAMPTON CR
ROCHESTER HILLS MI

Issued for :
REVIEW: 05/16/2024
REVIEW: 05/20/2024
SPA REVIEW: 06/18/2024
SPA REVIEW: 10/11/2024

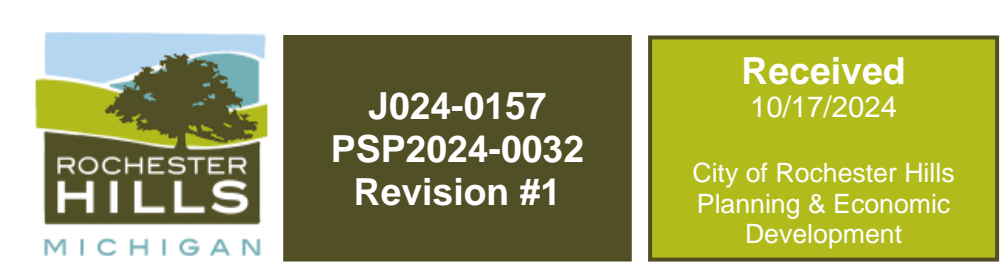


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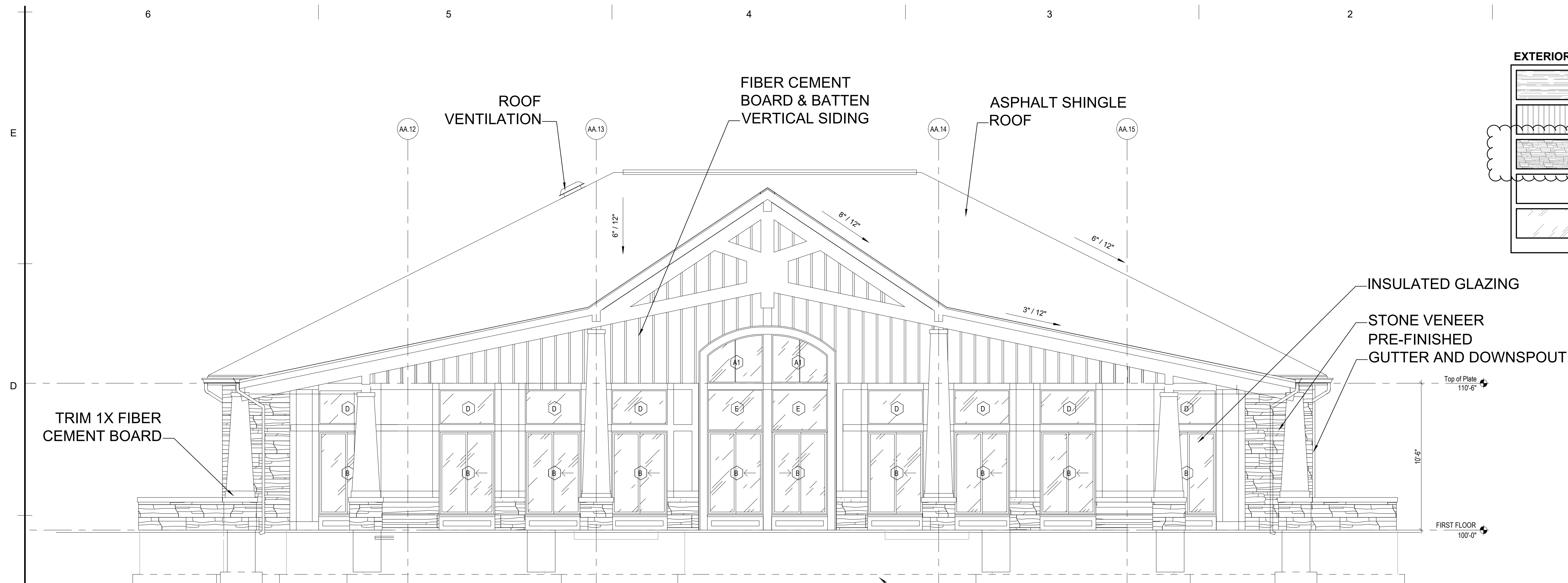
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MAINTENANCE
GARAGE FLOOR PLAN

Project No. :
2024.066

Sheet No. :
A102



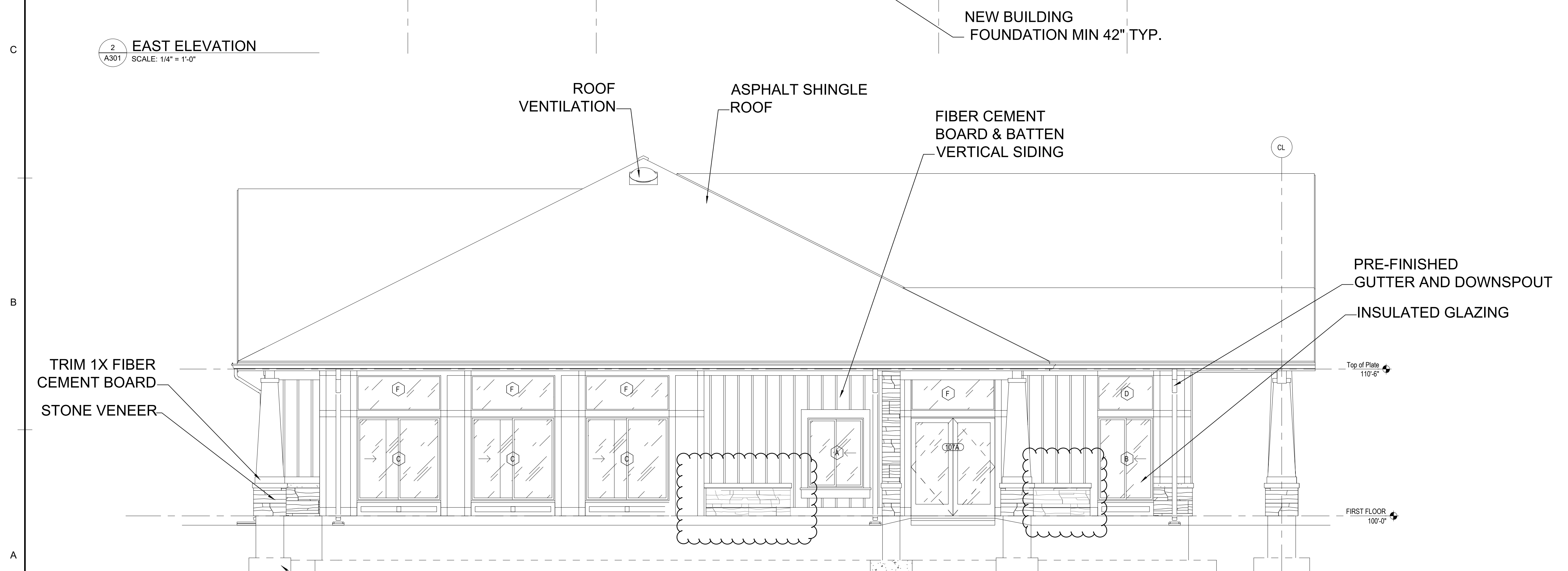
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EXTERIOR MATERIALS LEGEND

	ASPHALT SHINGLE ROOFING
	FIBER CEMENT BOARD & BATTEN VERTICAL SIDING
	LIBERTY HILL STONE VENEER
	TRIM: 1x FIBER CEMENT BOARD
	INSULATED GLAZING (IG-1)

2 EAST ELEVATION
 A301 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
 A301 SCALE: 1/4" = 1'-0"

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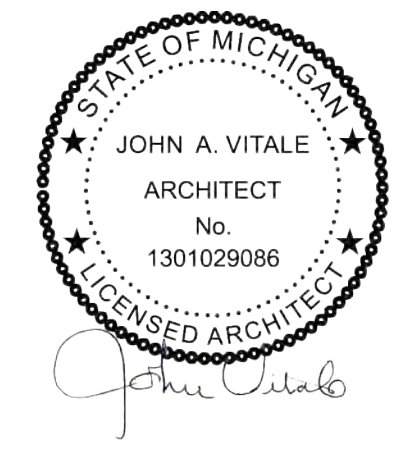
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 EAST SIDE OF DORSET DR
 NORTH OF HAMPTON CR
 ROCHESTER HILLS MI

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 SPA REVIEW: 10/11/2024



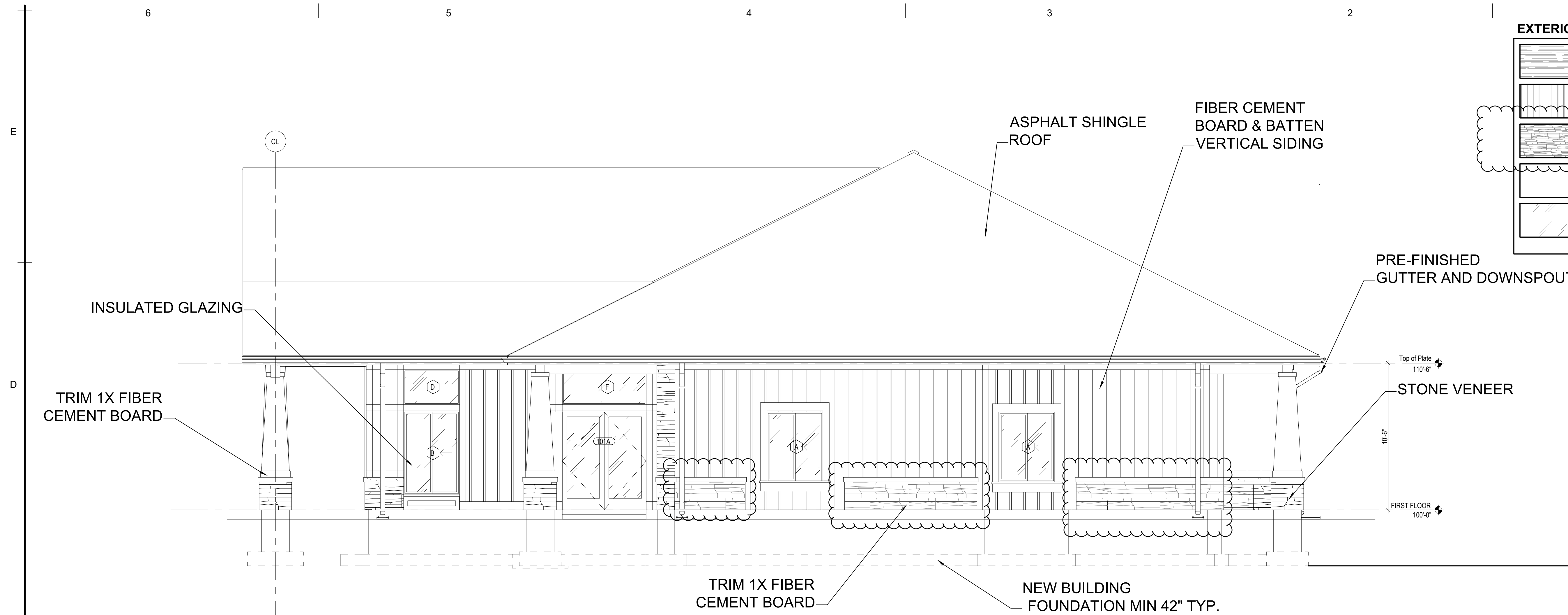
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 Sheet Title :
 LEASING CENTER
 EXTERIOR
 ELEVATIONS

Project No. :
2024.066

Sheet No. :
A301

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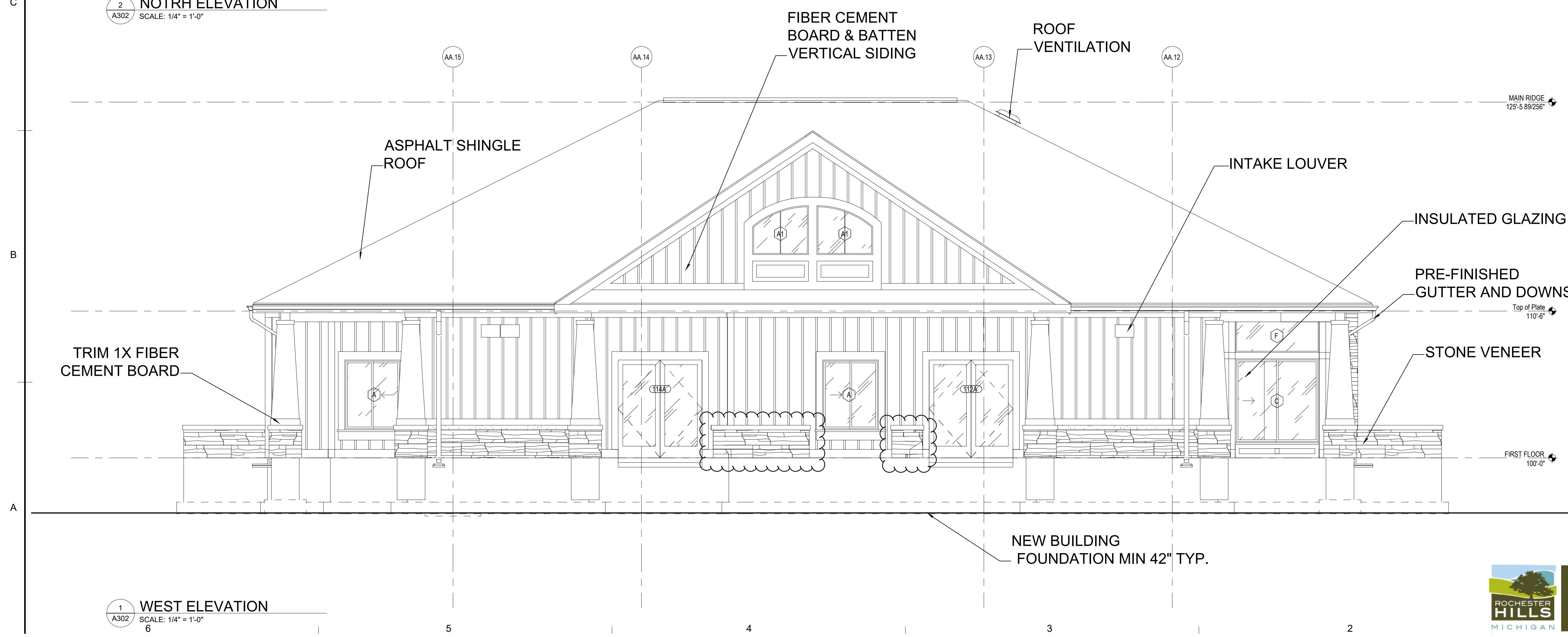
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EXTERIOR MATERIALS LEGEND

	ASPHALT SHINGLE ROOFING
	FIBER CEMENT BOARD & BATTEN VERTICAL SIDING
	LIBERTY HILL STONE VENEER
	TRIM: 1x FIBER CEMENT BOARD
	INSULATED GLAZING (IG-1)

2 NOTRH ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

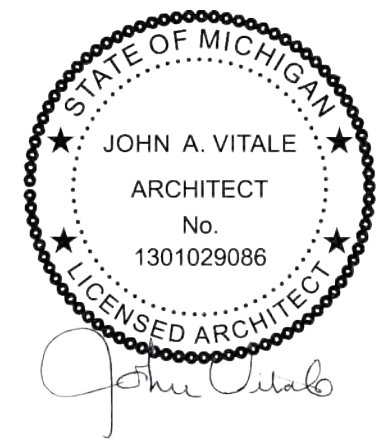
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APARTMENTS
EAST SIDE OF DORSET DR
NORTH OF HAMPTON CR
ROCHESTER HILLS MI

Issued for :
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SPA REVIEW: 10/11/2024



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Sheet Title :
LEASING CENTER
EXTERIOR
ELEVATIONS

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Sheet No. :
A302



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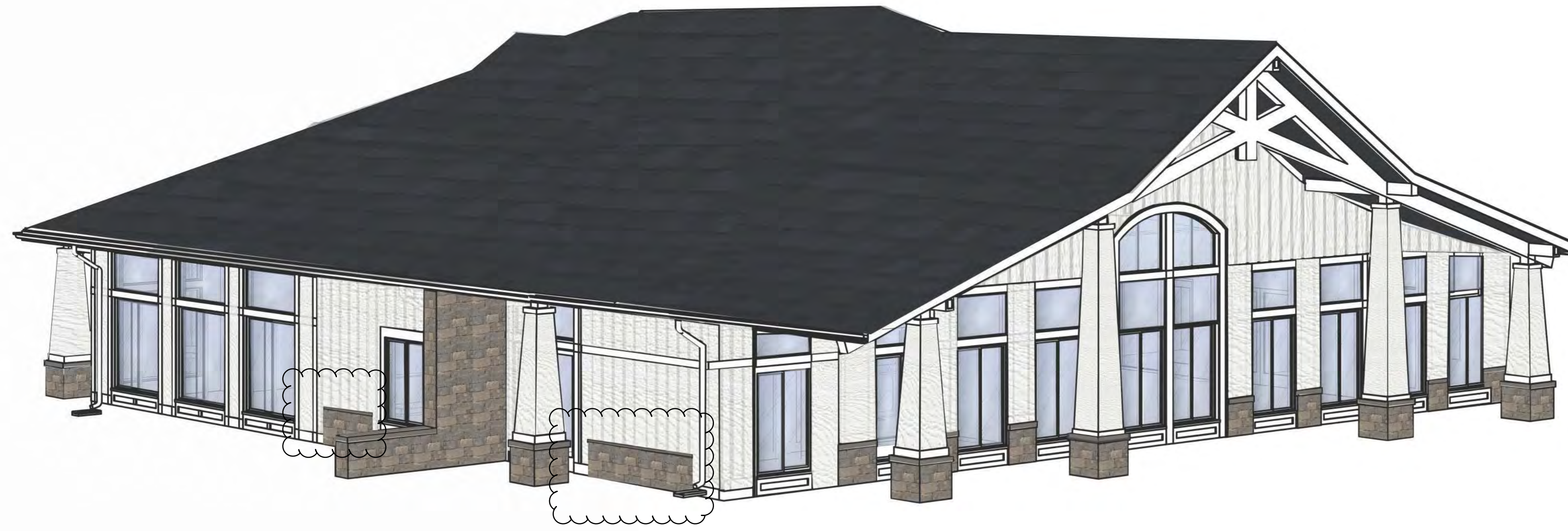
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C

B

A



2 3D VIEW - FRONT
A301 SCALE: NTS

EXTERIOR MATERIALS LEGEND

	ASPHALT SHINGLE ROOFING
	FIBER CEMENT BOARD & BATTEN VERTICAL SIDING
	LIBERTY HILL STONE VENEER
	TRIM: 1x FIBER CEMENT BOARD
	INSULATED GLAZING (IG-1)



2 3D VIEW - REAR
A301 SCALE: NTS



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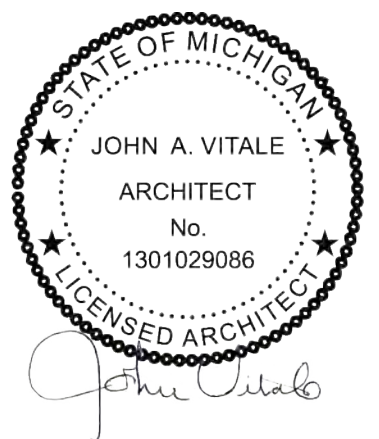
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Project :

OAK HAMPTON
APARTMENTS
EAST SIDE OF DORSET DR
NORTH OF HAMPTON CR
ROCHESTER HILLS MI

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REVIEW: 08/20/2024
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Sheet Title :
LEASING CENTER
EXTERIOR RENDER

Project No. :
2024.066

Sheet No. :
A300



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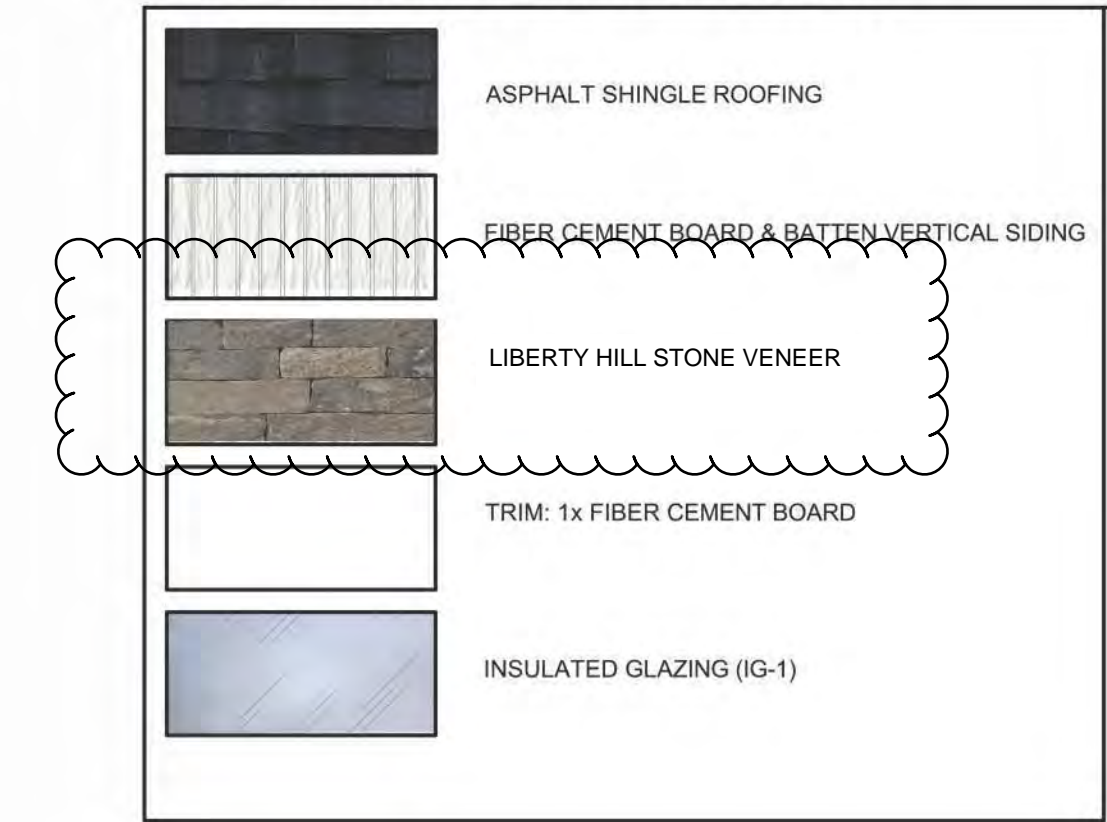
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4

3

2

EXTERIOR MATERIALS LEGEND



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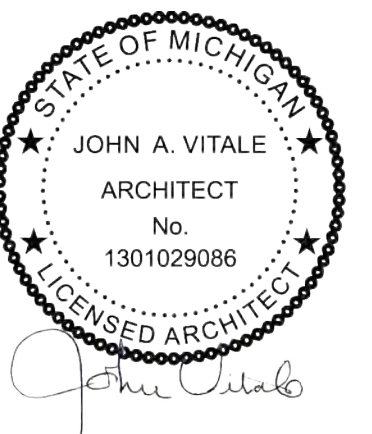
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Project :

OAK HAMPTON
 APARTMENTS
 EAST SIDE OF DORSET DR
 NORTH OF HAMPTON CR
 ROCHESTER HILLS MI

Issued for :

REVIEW: 05/16/2024
 REVIEW: 05/20/2024
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 Checked by :
 JAV, MJB

Sheet Title :
 MAINTENANCE
 GARAGE EXTERIOR
 ELEVATIONS

Project No. :
 2024.066

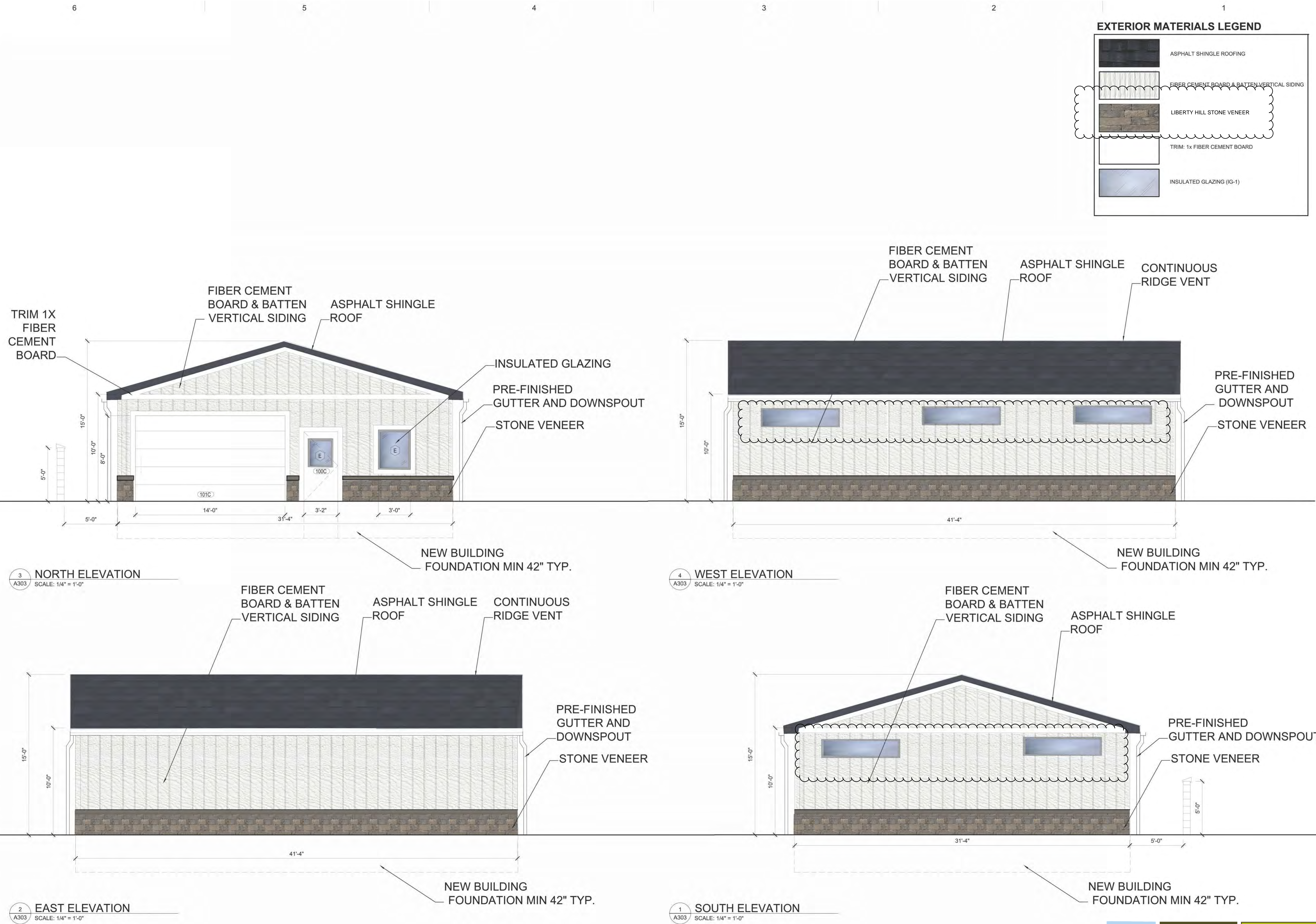
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 PSP2024-0032
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 City of Rochester Hills
 Planning & Economic
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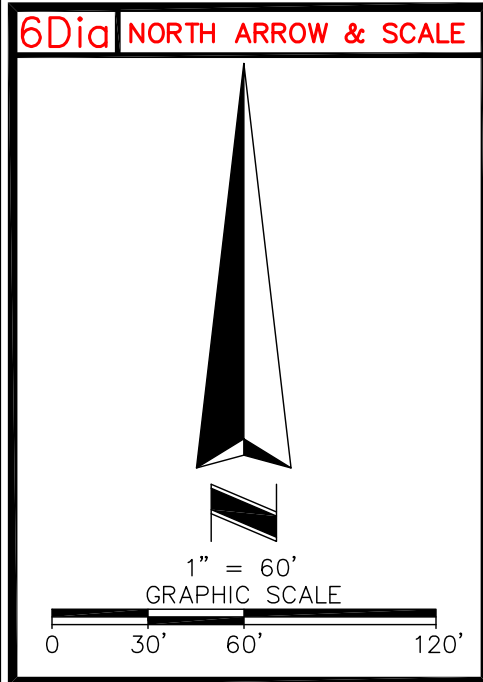


3 NORTH ELEVATION
 A303 SCALE: 1/4" = 1'-0"

4 WEST ELEVATION
 A303 SCALE: 1/4" = 1'-0"

2 EAST ELEVATION
 A303 SCALE: 1/4" = 1'-0"

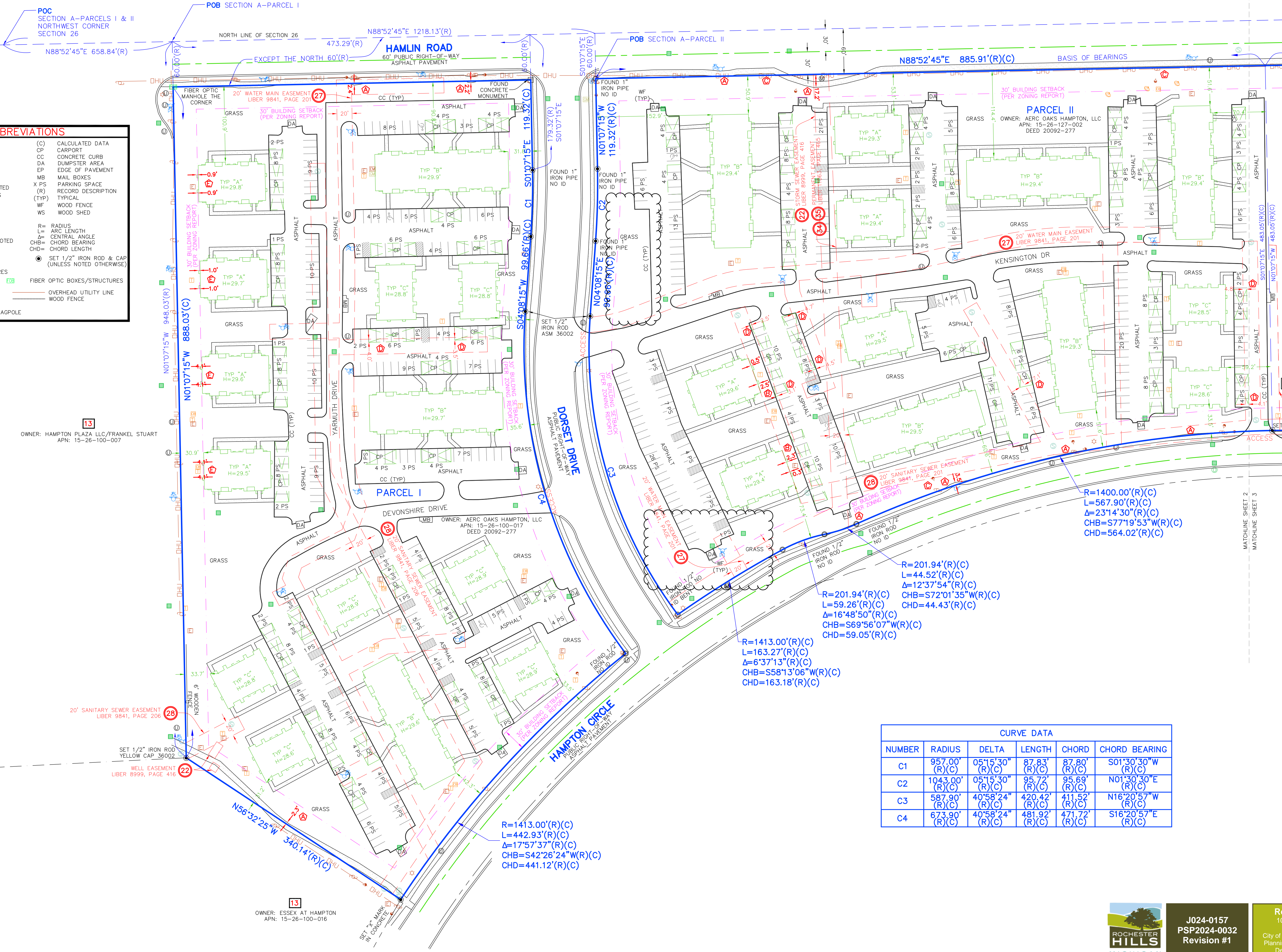
1 SOUTH ELEVATION
 A303 SCALE: 1/4" = 1'-0"



6Di NORTH ARROW & SCALE

6Di LEGEND AND ABBREVIATIONS

	CONCRETE SURFACE	(C)	CALCULATED DATA
	NO PARKING AREA	CP	CORPORT
	HANDICAP PARKING	CC	CONCRETE CURB
	CABLE BOX	DA	DUMPSTER AREA
	CATCH BASIN	EP	EDGE OF PAVEMENT
	CONCRETE MONUMENT AS NOTED	MB	MAIL BOXES
	ELECTRIC BOXES/STRUCTURES	X PS	PARKING SPACE
	ELECTRIC METER	(R)	RECORD DESCRIPTION
	FIRE HYDRANT	(TYP)	TYPICAL
	GAS METER	WF	WOOD FENCE
	GUY ANCHOR	WS	WOOD SHED
	LIGHT POLE	R=	RADIUS
	RECOVERED MONUMENT AS NOTED	L=	ARC LENGTH
	SANITARY MANHOLE	CA=	CENTRAL ANGLE
	SATELLITE DISH	CHB=	CHORD BEARING
	STORM MANHOLE	CHD=	CHORD LENGTH
	TELEPHONE BOXES/STRUCTURES	●	SET 1/2" IRON ROD & CAP (UNLESS NOTED OTHERWISE)
	TELEPHONE RISER	---	FIBER OPTIC BOXES/STRUCTURES
	UTILITY MANHOLE	---	OVERHEAD UTILITY LINE
	WATER METER	---	WOOD FENCE
	WATER VALVE	○	FLAGPOLE



OWNER: HAMPTON PLAZA LLC/FRANKEL STUART
APN: 15-26-100-007

OWNER: AERC OAKS HAMPTON, LLC
APN: 15-26-100-017
DEED: 20092-277

OWNER: ESSEX AT HAMPTON
APN: 15-26-100-016

R=1400.00'(R)(C)
L=567.90'(R)(C)
Δ=23°14'30"(R)(C)
CHB=S77°19'53"W(R)(C)
CHD=564.02'(R)(C)

R=201.94'(R)(C)
L=44.52'(R)(C)
Δ=12°37'54"(R)(C)
CHB=S72°01'35"W(R)(C)
CHD=44.43'(R)(C)

R=201.94'(R)(C)
L=59.26'(R)(C)
Δ=16°48'50"(R)(C)
CHB=S69°56'07"W(R)(C)
CHD=59.05'(R)(C)

R=1413.00'(R)(C)
L=163.27'(R)(C)
Δ=6°37'13"(R)(C)
CHB=S58°13'06"W(R)(C)
CHD=163.18'(R)(C)

CURVE DATA

NUMBER	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
C1	957.00'(R)(C)	05°15'30"(R)(C)	87.83'(R)(C)	87.80'(R)(C)	S01°30'30"W(R)(C)
C2	1043.00'(R)(C)	05°15'30"(R)(C)	95.72'(R)(C)	95.69'(R)(C)	N01°30'30"E(R)(C)
C3	587.90'(R)(C)	40°58'24"(R)(C)	420.42'(R)(C)	411.52'(R)(C)	N16°20'57"W(R)(C)
C4	673.90'(R)(C)	40°58'24"(R)(C)	481.92'(R)(C)	471.72'(R)(C)	S16°20'57"E(R)(C)

6DVI ALTA/ACSM LAND TITLE SURVEY
OF
OAKS AT HAMPTON APARTMENTS
643 DORCHESTER RD
ROCHESTER HILLS, MICHIGAN
OAKLAND COUNTY

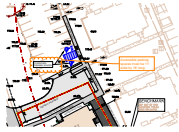
ASM AMERICAN SURVEYING & MAPPING INC.
ORLANDO, FLORIDA 32803
3191 WAGUIRE BLVD., SUITE 200
PHONE (407) 426-7979
WWW.ASMCORPORATE.COM

ROCHESTER HILLS MICHIGAN
J024-0157
PSP2024-0032
Revision #1
Received 10/17/2024
City of Rochester Hills
Planning & Economic
Development

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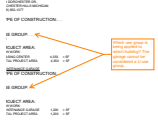
Reviewed Site Plan 11062024.pdf Markup Summary

Building Department (4)



Subject: Building Department
Author: J Rhoades
Date: 11/4/2024 7:33:25 AM
Status:

Accessible parking spaces must be 11' wide by 18' long.



Subject: Building Department
Author: J Rhoades
Date: 11/4/2024 7:47:20 AM
Status:

Which use group is being applied to which building? The garage cannot be considered a U use group.



Subject: Building Department
Author: J Rhoades
Date: 11/4/2024 8:58:56 AM
Status:

Jason Rhoades 248-841-2436
RhoadesJa@RochesterHills.org



Subject: Building Department
Author: J Rhoades
Date: 11/4/2024 8:58:52 AM
Status:

Yes with conditions

Engineering Department (3)



Subject: Engineering Department
Author: Jason Boughton
Date: 10/24/2024 7:20:32 AM
Status:



Subject: Engineering Department
Author: Jason Boughton
Date: 10/24/2024 7:20:52 AM
Status:

The applicant will need to submit a Land Improvement Permit (LIP) application with engineer's estimate, fee and construction plans to proceed with the construction plan review process.



Subject: Engineering Department
Author: Jason Boughton
Date: 10/24/2024 7:21:18 AM
Status:

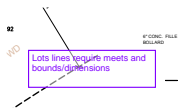
City File #24-0157 Section #26 in the lower right hand corner of each sheet

Engineering Legal Review (3)



Subject: Engineering Legal Review
Author: Seth Bucholz
Date: 10/29/2024 8:23:14 AM
Status:

For easements, please include the Liber & Page number of it.



Subject: Engineering Legal Review
Author: Seth Bucholz
Date: 10/29/2024 8:23:49 AM
Status:

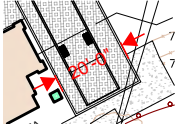
Lots lines require meets and bounds/dimensions



Subject: Engineering Legal Review
Author: Seth Bucholz
Date: 10/29/2024 3:05:38 PM
Status:

As long as additional comments are addressed.

Fire Department (2)



Subject: Fire Department
Author: Jon Mills
Date: 10/22/2024 4:03:41 PM
Status:

20'-0"



Subject: Fire Department
Author: Jon Mills
Date: 10/28/2024 9:30:52 AM
Status:

Group (20)



Subject: Group
Author: macdonaldj
Date: 10/22/2024 3:10:14 PM
Status:

City of Rochester Hills Planning & Economic Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:41:56 AM
Status:

Received
10/17/2024

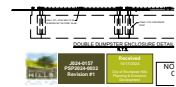
City of Rochester Hills Planning & Economic Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:42:07 AM
Status:

Received
10/17/2024

City of Rochester Hills Planning & Economic Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:42:20 AM
Status:

Received
10/17/2024

City of Rochester Hills Planning & Economic Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:42:38 AM
Status:

Received
10/17/2024

City of Rochester Hills Planning & Economic Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:42:48 AM
Status:

Received
10/17/2024

City of Rochester Hills Planning & Economic Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:42:59 AM
Status:

Received
10/17/2024

City of Rochester Hills Planning & Economic Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:43:07 AM
Status:

Received
10/17/2024

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:43:16 AM
Status:

Received
10/17/2024

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:43:23 AM
Status:

Received
10/17/2024

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:43:31 AM
Status:

Received
10/17/2024

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:43:39 AM
Status:

Received
10/17/2024

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:43:47 AM
Status:

Received
10/17/2024

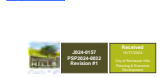
City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:43:57 AM
Status:

Received
10/17/2024

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:44:07 AM
Status:

Received
10/17/2024

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: C.McLeod
Date: 11/5/2024 10:44:20 AM
Status:

Received
10/17/2024

City of Rochester Hills Planning & Economic
Development



Subject: Group
Author: mcLeodc
Date: 11/5/2024 10:59:34 AM
Status:

SP



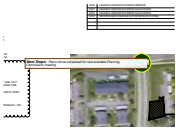
Subject: Group
Author: mcleodc
Date: 11/5/2024 10:59:43 AM
Status:

BP



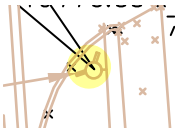
Subject: Group
Author: mcleodc
Date: 11/5/2024 10:59:51 AM
Status:

LIP



Subject: Group
Author: mcleodc
Date: 11/5/2024 11:00:07 AM
Status:

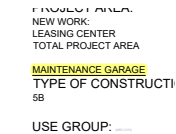
Highlight (5)



Subject: Highlight
Author: Jon Mills
Date: 10/22/2024 4:04:34 PM
Status:

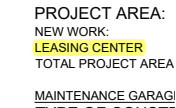


Subject: Highlight
Author: Jon Mills
Date: 10/22/2024 4:04:51 PM
Status:



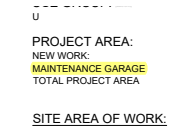
Subject: Highlight
Author: J Rhoades
Date: 11/4/2024 7:35:43 AM
Status:

MAINTENANCE GARAGE



Subject: Highlight
Author: J Rhoades
Date: 11/4/2024 7:35:58 AM
Status:

LEASING CENTER



Subject: Highlight
Author: J Rhoades
Date: 11/4/2024 7:36:12 AM
Status:

MAINTENANCE GARAGE

Jenny McGuckin - YES (1)



Subject: Jenny McGuckin - YES
Author: Seth Bucholz
Date: 10/29/2024 3:05:08 PM
Status:

Natural Resouces (1)



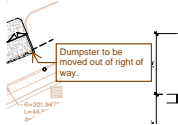
Subject: Natural Resouces
Author: Matt Einheuser
Date: 10/28/2024 11:45:29 AM
Status:

Planning Department (7)



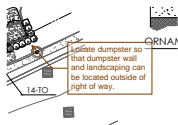
Subject: Planning Department
Author: C.McLeod
Date: 10/31/2024 1:22:13 PM
Status:

Maintenance. The owner, tenant, occupant or person responsible for any property which was the subject of an approved site plan shall maintain the property and the improvements thereon in accordance with the approved site plan or an approved amendment thereof. This responsibility shall include the duty to maintain in a condition substantially similar as approved, including the duty to replace, if necessary, all improvements such as, but not by way of limitation, all greenbelts, planting, walls, fences, paving, trash receptacles, handicapped parking areas, etc.



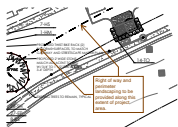
Subject: Planning Department
Author: C.McLeod
Date: 10/31/2024 1:24:14 PM
Status:

Dumpster to be moved out of right of way.



Subject: Planning Department
Author: C.McLeod
Date: 10/31/2024 1:25:18 PM
Status:

Locate dumpster so that dumpster wall and landscaping can be located outside of right of way.



Subject: Planning Department
Author: C.McLeod
Date: 10/31/2024 1:45:28 PM
Status:

Right of way and perimeter landscaping to be provided along this extent of project area.



Subject: Planning Department
Author: C.McLeod
Date: 11/5/2024 10:36:24 AM
Status:

Assessing Yes



Subject: Planning Department
Author: C.McLeod
Date: 11/5/2024 10:37:32 AM
Status:



Subject: Planning Department
Author: C.McLeod
Date: 11/5/2024 10:38:00 AM
Status:

With conditions of landscaping

Traffic (1)



Subject: Traffic
Author: Keith
Date: 10/28/2024 2:38:18 PM
Status:

Traffic, Pathways, Sidewalks (1)



Subject: Traffic, Pathways, Sidewalks
Author: Keith
Date: 10/28/2024 2:37:37 PM
Status:

Trees within the pathway sight lines shall be limbed up 10 foot from ground surface.

Underground Utilities (1)



Subject: Underground Utilities
Author: Jason Boughton
Date: 10/24/2024 7:23:33 AM
Status:

The WRC letter states that the construction plans will need to be submitted to their office for a drain review for a possible drain permit. The storm sewer design improvements will be determined by the WRC with that review.