

SITE AND BUILDING IMPROVEMENTS FOR: CITY OF ROCHESTER HILLS FIRE STATION #2

1251 E. AUBURN ROAD, ROCHESTER HILLS, MICHIGAN 48309

OWNER

CITY OF ROCHESTER HILLS
1000 ROCHESTER HILLS DRIVE
ROCHESTER HILLS, MICHIGAN 48309

ARCHITECT

CHMP, INC.
5198 TERRITORIAL ROAD
GRAND BLANC, MICHIGAN 48439
(810) 695-5910

STRUCTURAL

SNYDER & STALEY ENGINEERING, P.L.C.
3085 BAY ROAD SUITE 6
SAGINAW, MI 48603
(989) 797-1710
(989) 797-1715 (FAX.)

MECHANICAL / ELECTRICAL ENGINEER

DICLEMENTE SIEGEL DESIGN
1075 EAST BRISTOL ROAD
BURTON, MICHIGAN 48529
(810) 238-10245
(810) 238-7114 (FAX.)

SHEET INDEX

SHEET No. TITLE

TS TITLE SHEET

CIVIL

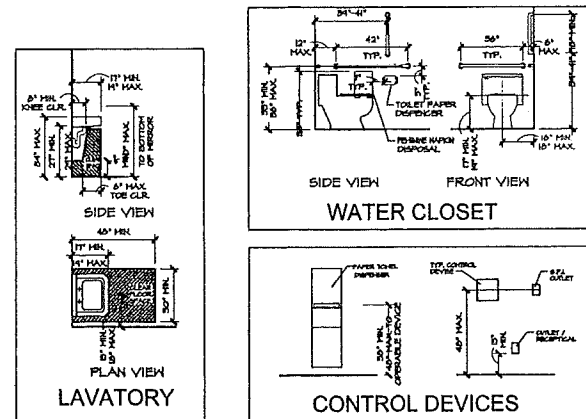
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C-1 DEMOLITION PLAN
C-2 SITE AND UTILITY PLAN
C-3 GRADING AND BESC PLAN
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ARCHITECTURAL

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ELECTRICAL

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DRAWING SYMBOLS

- ▲ SECTION CUT
- DETAIL NUMBER
- SHEET REFERENCE NUMBER
- DOOR NUMBER
- WINDOW REFERENCE
- FINISH ELEVATION
- INTERIOR ELEVATION
- COLUMN CENTERLINE
- △ REVISION NUMBER

ABBREVIATIONS

⊙	AT ANGLE	INT. JAN.	INTERIOR JANITOR
AB.	ANCHOR BOLT	J.B./J. BOX	JUNCTION BOX
AC.	AIR CONDITIONING	LAM.	LAMINATE
ACOUST.	ACOUSTICAL	LAV.	LAVATORY
ADJ.	ADJUSTABLE	L.L.	LANDLORD
A.F.F.	ABOVE FINISH FLOOR	MAS.	MASONRY
ALT.	ALTERNATE	MATL.	MATERIAL
ALUM.	ALUMINUM	MAX.	MAXIMUM
ARCH.	ARCHITECTURAL	MECH.	MECHANICAL
BLKG.	BLOCKING	MET.	METAL
B.M.	BENCH MARK	MISC.	MISCELLANEOUS
BOT.	BOTTOM	MIN.	MINIMUM
BRG.	BEARING	M.O.	MASONRY OPENING
B.U.R.	BUILT UP ROOF	N.I.C.	NOT IN CONTRACT
CHNL.	CHANNEL	N.T.S.	NOT TO SCALE
C.T.	CERAMIC TILE	O.C.	ON CENTER
C.L./ C.	CONTROL JOINT	O.D.	OUTSIDE DIAMETER
C.L./ CLG.	CENTERLINE	OPNG.	OPENING
C.L.G.	CEILING	OPP.	OPPOSITE
C.O.	CLEAN OUT	PLLAM.	PLASTIC LAMINATE
COL.	COLUMN	PL/ R.	PLATE
CONC.	CONCRETE	PLYWD.	PLYWOOD
CONST. JT.	CONSTRUCTION JOINT	PR.	PAIR
CONT.	CONTINUOUS	R.A.	RETURN AIR
DBL.	DOUBLE	R.	RADIUS
DET.	DETAIL	R.D.	ROOF DRAIN
DIA./Ø	DIAMETER	REF.	REFRIGERATOR
DIV.	DIVISION	REINF.	REINFORCING
DN.	DOWN	REQ.	REQUIRED
DW.	DISHWASHER	S.A.	SUPPLY AIR
D.S.	DOWN SPOUT	SFS	SURFACE FOUR SIDES
DWG.	DRAWING	S.C.	SOLID CORE
EA.	EACH	SHT.	SHEET
E.J.	EXPANSION JOINT	SPEC.	SPECIFICATION
ELEC.	ELECTRICAL	S.S.	SERVICE SINK
ELEV.	ELEVATION	STL.	STAINLESS STEEL
EQ.	EQUAL	STR.	STEEL
EST.	ESTIMATE	STR.	STRUCTURAL
EW.	EACH WAY	STR.	STRUCTURAL
E.W.C.	ELECTRICAL WATER COOLER	T.	THERMOSTAT
EXP.	EXPANSION	T.C.	TOP OF CURB
EXT.	EXTERIOR	TEN.	TENANT
FIN. FLR./F.F.	FINISH FLOOR	T.G.C.	TENANT'S GENERAL CONTRACTOR
FIN.	FINISH	T.P.	TOP OF PAVING
FLR.	FLOOR	TYP.	TYPICAL
F.S.	FLOOR SINK	U.N.O.	UNLESS NOTED OTHERWISE
F.B.O.	FURNISHED BY OWNER	V.I.F.	VERIFY IN FIELD
F.D.	FLOOR DRAIN	V.T.R.	VENT THROUGH ROOF
FDN.	FOUNDATION	W.H.	WATER HEATER
GA.	Gauge	W.L.	WROUGHT IRON
GALV.	GALVANIZED	W.P.	WORK POINT
G.C.	GENERAL CONTRACTOR	W.R.	WATER RESISTANT
G.I.	GALVANIZED IRON	WT.	WEIGHT
H.B.	HOSE BIBB	W	WITH
H.C.	HOLLOW CORE	W/O	WITHOUT
HDWE.	HARDWARE		
H.M.	HOLLOW METAL		
I.D.	INSIDE DIAMETER		
INSUL.	INSULATION		

BUILDING CODE INFORMATION

CODE REVIEW INFORMATION - FIRE STATION #2

APPLICABLE CODES
ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR INVOLVED. APPLICABLE CODE INCLUDE, BUT NOT LIMITED TO THE FOLLOWING

1. BUILDING AND STRUCTURAL	MICHIGAN BUILDING CODE	(2012)
2. PLUMBING	MICHIGAN BUILDING CODE	(2012)
3. MECHANICAL	MICHIGAN BUILDING CODE	(2012)
4. ELECTRICAL	NATIONAL ELECTRICAL CODE	(2011)
5. BARRIER FREE ACCESS	MICHIGAN BUILDING CODE (CHAPTER 11)	(2009)

CODE REVIEW

BUILDING USE GROUP (307.1)	MIXED USE SEPARATED (2 HR. FIRE BARRIER WALL)	
B - BUSINESS (CIVIC ADMINISTRATION)		2,600 GSF
R-2 RESIDENTIAL (DORMITORIES)		667 GSF
S-2 STORAGE (VEHICLE STORAGE)		3,486 GSF
TOTAL AREA		6,753 GSF

TYPE OF CONSTRUCTION	II B NON-COMBUSTIBLE	
B - BUSINESS		R-2 - RESIDENTIAL
ALLOWABLE AREA:		ALLOWABLE AREA:
3 STORIES / 23,000 S.F.		4 STORIES / 16,000 S.F.
ACTUAL AREA:		ACTUAL AREA:
1 STORY / 2,600 G.S.F.		1 STORY / 667 G.S.F.
S-2 - STORAGE		
ALLOWABLE AREA:		
3 STORIES / 28,000 S.F.		
ACTUAL AREA:		
1 STORY / 3,486 G.S.F.		

ALLOWABLE HEIGHT/ AREA (TABLE 503)	ACTUAL AREA:	
	1 STORY / 6,753 G.S.F.	

FIRE PROTECTION (806.3)	MIXED USE SEPARATED (2 HR. FIRE BARRIER WALL)	
R-2 RESIDENTIAL (DORMITORY)	SPRINKLED
B - BUSINESS ADMINISTRATION	SPRINKLED
S-2 STORAGE (VEHICLE STORAGE)	SPRINKLED

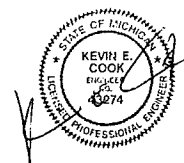
OCCUPANT LOAD (TABLE 1004.1.1)	B - BUSINESS - ADMINISTRATION	2,600 G.S.F./100 =	28 OCCUPANTS
	R-2 - RESIDENTIAL - DORMITORIES	667 G.S.F./50 =	14 OCCUPANTS
	S-2 - STORAGE - VEHICLE STORAGE	3,486 G.S.F./300 =	12 OCCUPANTS
	TOTAL:		32 OCCUPANTS

EXITS REQUIRED (TABLE 1021.1)	FOR 1-600 OCCUPANTS	2 EXITS
	EXITS PROVIDED	3 EXITS



LOCATION MAP
NOT TO SCALE

TITLE SHEET
PROJECT No. 14003900
DECEMBER 11, 2014
ISSUED FOR: SITE PLAN APPROVAL
CITY FILE #14-017



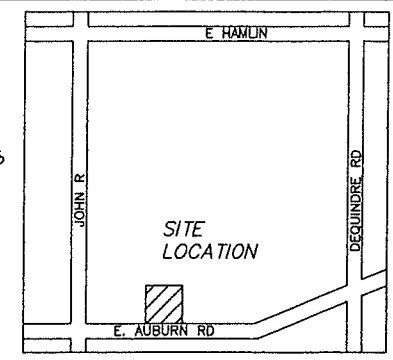
CHMP INC.
5198 TERRITORIAL ROAD
GRAND BLANC, MI 48439
TELEPHONE 810/695-5910



ARCHITECTURE
ENGINEERING
LANDSCAPE ARCHITECTURE
SURVEYING

LEGEND (EXISTING)

- METAL OR CONC POST
- WALKWAY
- SOB
- WATER FOUNTAIN
- PARKING METER
- BILBOARD OR LARGE SIGN
- BASKETBALL HOOP
- BOULDER
- STATUE OR SCULPTURE
- BENCH
- INV. INVERT ELEVATION
- CMP CORRUGATED METAL PIPE
- STAMP
- CONTOUR TREE
- DECIDUOUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- CONCRETE
- ASPHALT
- GRAVEL
- GAS
- SANITARY SEWER (S/W)
- STORM SEWER (S/W)
- WATERMAIN (W/M)
- OVERHEAD WIRE (OHW)
- UNDERGROUND ELECTRIC (UES)
- UNDERGROUND PHONE (UHP)
- UNDERGROUND CABLE (UC)
- CHAM LINK FENCE (CL)
- WOOD FENCE
- WOMEN WIRE FENCE (WW)
- QUARD RAIL
- CENTERLINE OF DITCH OR SWALE
- DITCH BANK/TOP OF SLOPE
- SWAMP
- PROPERTY LINES
- EXCERPTS
- RAILROAD
- MANHOLE
- CATCH BASIN
- SEWER CLEAN OUT
- GAS METER
- GAS SHUT OFF VALVE
- VALVE BOX
- SECTION CORNER
- TRAVELER POINT
- STRUCTURE NUMBER
- POINT No.
- SPOT ELEVATION
- U.G.
- F.O.
- UNDERGROUND
- FIBER OPTIC
- CONC.
- ASPH.
- FOUND IRON
- SET IRON
- FOUND MONUMENT
- GATE VALVE & WELL
- WATER SHUT OFF VALVE
- FIRE HYDRANT
- SPRINKLER VALVE BOX
- LAWN SPRINKLER HEAD
- HAND HOLE
- ELECTRIC RISER OR METER
- TELEPHONE RISER
- CABLE TV RISER
- AIR CONDITION UNIT
- UTILITY POLE
- UTILITY POLE WITH TRANSFORMER
- LIGHT POLE



LOCATION MAP
NOT TO SCALE

HURON CONSULTANTS
ENGINEERS & SCIENTISTS

8811 24th Ave, Suite A
Fort Gratiot, MI 48060
TEL: (810) 908-0880
FAX: (810) 908-0881
www.huronconsultants.com

CLIENT NAME:
CHMP INC
8198 TERRITORIAL RD
GRAND BLANC, MI 48439
T (810) 895-5910

3 WORKING DAYS
800-482-7171

Know what's below.
Call before you dig.

PRIOR TO CONSTRUCTION, ALL EXISTING UTILITIES LOCATIONS AND DEPTHS WITHIN THE PROJECT AREA SHALL BE FIELD VERIFIED. CALL MISS DIG SYSTEM 3 WORKING DAYS PRIOR TO CONSTRUCTION.

UTILITY INFORMATION SHOWN ON THIS DRAWING IS APPROXIMATE AND MAY BE ACCORDING TO AVAILABLE RECORDS OR DISCLOSED INFORMATION BY VARIOUS UTILITY COMPANIES, PUBLIC AGENCIES, OR OTHER SOURCES AND THIS MAY NOT NECESSARILY REFLECT ACTUAL FIELD LOCATIONS AND NO GUARANTEE IS GIVEN TO COMPLETENESS OR ACCURACY.

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PROJECT NAME:
ROCHESTER HILLS FIRE STATION 2

(1081 E. AUBURN RD)

TOPOGRAPHICAL SURVEY

PROJECT LOCATION:
SEC 25, T3N, R11E
CITY OF ROCHESTER HILLS
OAKLAND COUNTY

Drawn By: S.GENNA
Checked By: SS
Approved By: SS

REVISIONS:

- 05/22/14 ISSUED TO CHMP
- 10/13/14 FINAL
- 12/09/14 CITY REV 1

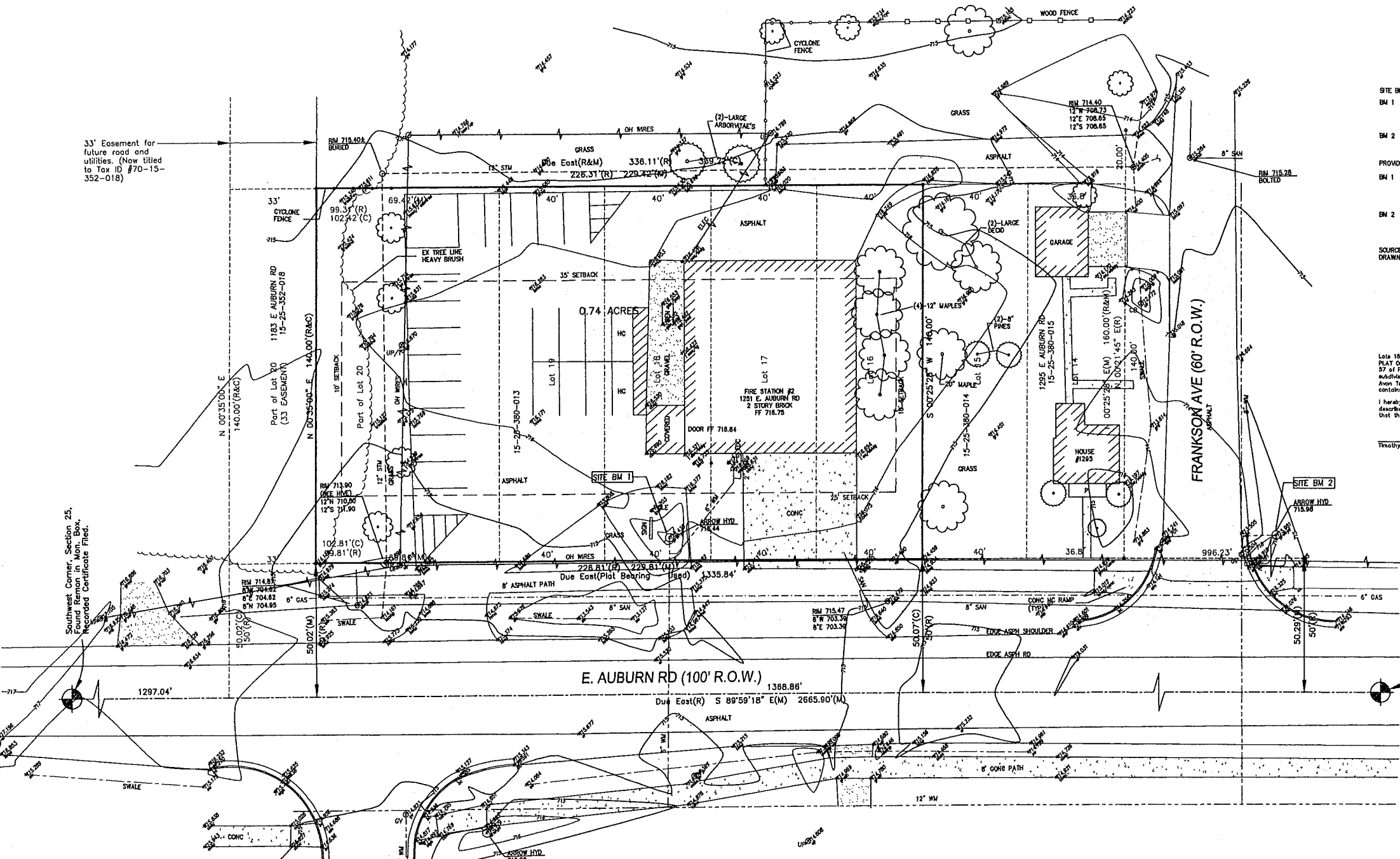
SCALE VERIFICATION:
1" = 20'
BAR IS ONE-INCH
ADJUST SCALES ACCORDINGLY IF NOT

SCALE:
1" = 20'

HC PROJECT NO:
14-11242

HC DRAWING NO:
14-11242TPFS2

1 OF 1



BENCHMARKS

- SITE BENCHMARKS**
- BM 1 ARROW ON HYD N SIDE OF E. AUBURN RD IN FRONT OF ROCHESTER HILLS FIRE DEPT ADDRESS 1251 E. AUBURN ELEVATION 718.44 NAVD88
 - BM 2 ARROW ON HYDRANT NE CORNER OF E. AUBURN RD AND FRANKSON AVE ELEVATION 697.38 NAVD88
- PROVIDED TWP BENCHMARKS**
- BM 1 ARROW ON HYDRANT WEST SIDE OF BROOKLAND ELEM SCHOOL LOCATED 60' SOUTH OF THE NW CORNER OF SCHOOL ELEVATION 719.41
 - BM 2 ARROW ON HYDRANT WEST SIDE OF BROOKLAND ELEM SCHOOL LOCATED 200' NORTH OF THE NW CORNER OF SCHOOL ELEVATION 721.27

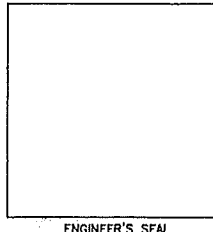
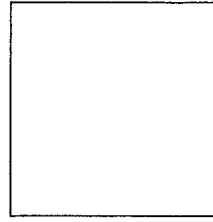
SOURCE: MCS ASSOCIATES ENGINEERING PLAN DRAWING P-92-498.DWG, DATED 4-1-92

LEGAL DESCRIPTION

Lots 16, 17, 18, and 19 and Lot 20 except the West 33 feet thereof, "SUPERVISOR'S" PLAT OF BROOKLANDS PARK No. 5, according to the Plat thereof as recorded in Liber 57 of Plots, Page 18, Oakland County Register of Deeds Office. Said Plat being a subdivision of part of the East 1/2 of the Southwest 1/4 of Section 25, T3N, R11E, Area Township (Here the City of Rochester Hills), Oakland County, Michigan. Said parcel contains 0.74 acres, more or less.

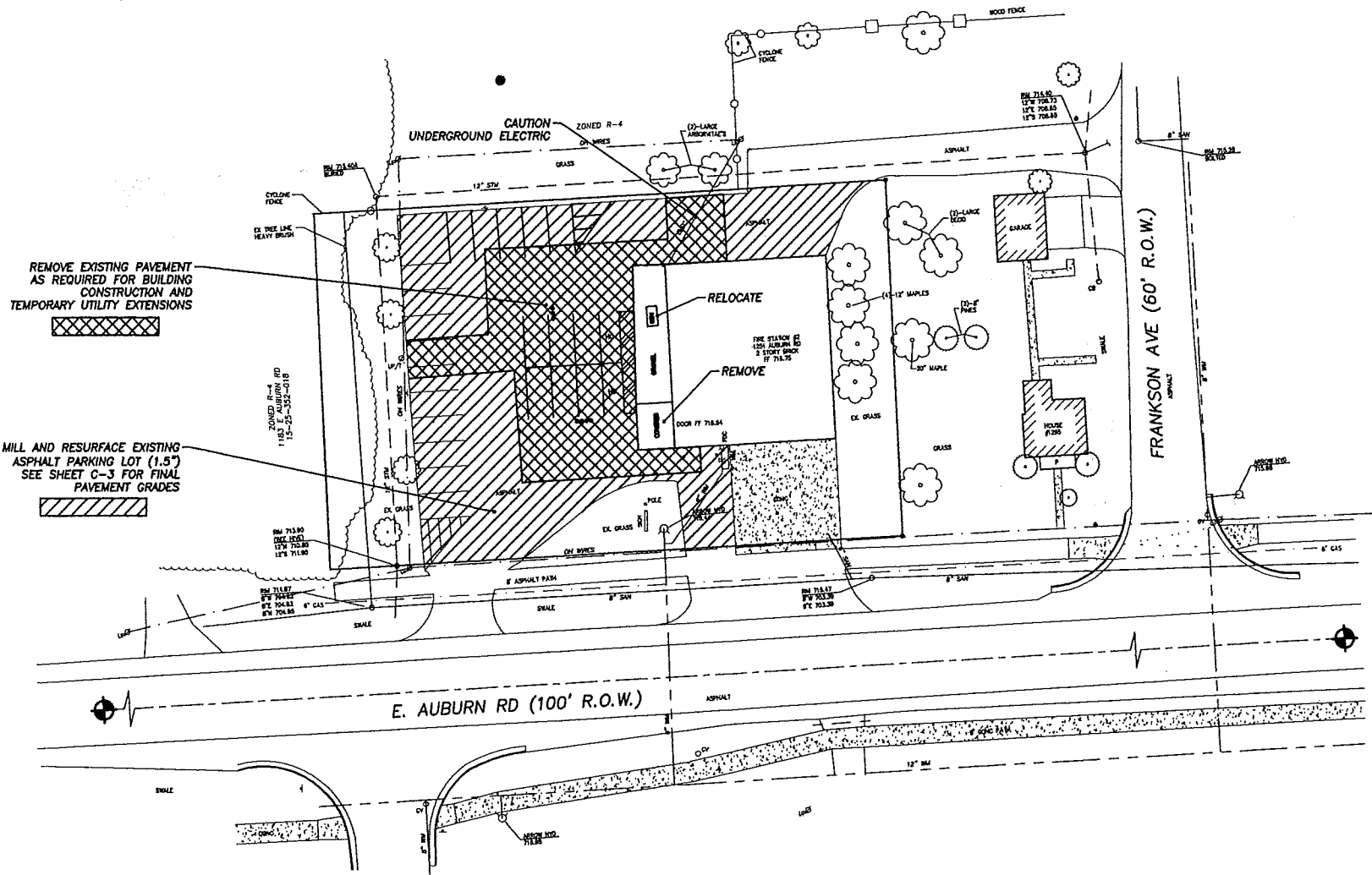
I hereby certify that I have boundary surveyed and mapped the above or attached described parcel(s) of land that the error of closure is no greater than 1 in 5000 and that the survey is in full compliance with Section No. 3 Act 135 P.A. 1976

Timothy L. Edle, P.E. #53498



TOPOGRAPHICAL SURVEY
1" = 20'

CAUTION!!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING EXACT LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.



REMOVE EXISTING PAVEMENT AS REQUIRED FOR BUILDING CONSTRUCTION AND TEMPORARY UTILITY EXTENSIONS

MILL AND RESURFACE EXISTING ASPHALT PARKING LOT (1.5") SEE SHEET C-3 FOR FINAL PAVEMENT GRADES

REVISION INDEX	

SITE DEMOLITION

- THREE (3) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL TELEPHONE MISS DIG (800-482-7171) FOR THE LOCATION OF UNDERGROUND GAS AND CABLE FACILITIES AND SHALL NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES THAT AFFECT THIS JOB.
- THE WORK COMPRISES ALL DEMOLITION, REQUIRED PROTECTIVES, AND DEBRIS REMOVAL AS ENUMERATED ON THE DRAWINGS AND RELATED WORK NOT SPECIFICALLY MENTIONED, BUT REQUIRED FOR A COMPLETE JOB.
- THE CONTRACTOR SHALL PROCURE ALL PERMITS NECESSARY TO EXECUTE THE CONTRACT WORK.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL SECURE CERTIFICATES OF COMPLETION FOR APPLICABLE GOVERNING AUTHORITIES AND FORWARD ONE (1) COPY OF EACH TO THE OWNER.
- THE DEMOLITION CONTRACTOR SHALL BE LICENSED BY THE STATE OF MICHIGAN AND BY LOCAL GOVERNING AUTHORITIES AS MAY BE REQUIRED.
- ALL WORK SHALL BE EXECUTED IN A SAFE MANNER AND CARE EXERCISED TO ASSURE NO DAMAGE TO PROPERTY AND ROADWAYS.
- THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF COMPLETELY WITH THE EXISTING CONDITIONS AND THE EXTENT OF DEMOLITION WORK REQUIRED UNDER THIS CONTRACT.
- IF TOXIC MATERIALS OR ASBESTOS ARE ENCOUNTERED, CEASE OPERATIONS AND NOTIFY OWNER IMMEDIATELY SO THAT PROPER DISPOSAL CAN BE ACCOMPLISHED.
- DISCONNECT, REMOVE AND CAP ALL DESIGNATED UTILITY LINES AND CONDUIT WITHIN THE DEMOLISHED AREA AND AS SPECIFICALLY NOTED OUTSIDE THE DEMOLITION AREA.
- PROVIDE SUCH TEMPORARY SHORING, BRACING OR OTHER RESTRAINTS AS MAY BE REQUIRED FACILITATE COMPLETION OF THE DEMOLITION WORK IN A SAFE AND PROPER MANNER, AND TO ASSURE THE INTEGRITY OF THE STRUCTURE THAT IS TO REMAIN.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, BLINKER LIGHTS, SIGNS, ETC. AS MAY BE REQUIRED TO CONTAIN DEMOLITION OPERATIONS AND DEBRIS AND TO PROTECT ALL PEDESTRIAN AND VEHICULAR TRAFFIC DURING THE DEMOLITION WORK. ALL BARRICADES SHALL BE OF THE TYPE REQUIRED BY AND CONSTRUCTED TO THE STANDARDS OF THE AGENCY OR MUNICIPALITY WITHIN WHOSE JURISDICTION THE WORK WILL BE COMPLETED.
- CEASE OPERATIONS AND NOTIFY MUNICIPALITY IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE ENDANGERED. DO NOT RESUME OPERATIONS UNTIL CORRECTIVE MEASURES HAVE BEEN TAKEN.
- DO NOT BURN OR BURY MATERIALS ON SITE.
- ALL DEMOLISHED MATERIAL SHALL BE REMOVED FROM THE SITE UNLESS SPECIFICALLY DIRECTED TO THE CONTRARY AND SHALL BE DISPOSED OF IN A PROPER AND LEGAL MANNER. THE SELECTION OF THE DUMP SITE IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ADJACENT STREETS AND DRIVES SHALL BE KEPT FREE OF WASTE MATERIAL RESULTING FROM TRUCKING. TRUCK BEDS SHALL BE TIGHT AND TRIMMED TO INSURE MINIMUM SPILLAGE. STREETS AND DRIVES SHALL BE CLEANED AS REQUIRED WHEN DIRECTED TO ELIMINATE ANY DEBRIS DEPOSITED.



LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE. ALL LOCATIONS MUST BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

GRAPHIC SCALE
 0 10 20
 (IN FEET)
 1" = 30' HORIZONTAL

LEGEND

- STORM SEWER & MANHOLE
- SANITARY SEWER & MANHOLE
- WATERMAIN, HYDRANT, & VALVE
- GAS MAIN & VALVE
- BURIED TELEPHONE & MANHOLE
- UNDER GROUND ELECTRIC & MANHOLE
- OVERHEAD ELECTRIC, POLE, & CUY WIRE
- CATCH BASIN (SQUARE & ROUND)
- SLURRY MANHOLE
- CONTOUR LINE
- FENCE
- GUARD RAIL
- LIGHT POLE
- SIGN
- STREET SIGN
- MARKER
- MONITOR WELL
- EXISTING TREE
- R-REMOVE

DEMOLITION PLAN

CHMP INC.
 5100 TERRITORIAL ROAD
 GRAND BLANC, MI 48408
 TELEPHONE 810/688-8810



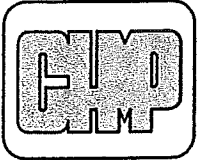
ARCHITECTURE
 ENGINEERING
 LANDSCAPE ARCHITECTURE
 SURVEYING

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SITE AND BUILDING IMPROVEMENTS FOR:
CITY OF ROCHESTER HILLS
FIRE STATION #2
 1251 E. AUBURN ROAD, ROCHESTER HILLS, MICHIGAN 48309

PROJECT NO.	14003900
DATE DRAWN	11-17-14
DATE REVIEWED	12-10-14
DRAWN BY	KEC
CHECKED BY	GNH
SCALE	AS NOTED
ISSUED FOR:	DATE
SITE PLAN REVIEW	11-17-14
SITE PLAN APPROVAL	12-11-14

SHEET NO.
C-1
 OF
 CITY FILE #14-017



ARCHITECTURE
 ENGINEERING
 LANDSCAPE ARCHITECTURE
 SURVEYING

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DATE DRAWN	11-17-14
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DRAWN BY	KEC
CHECKED BY	GN4
SCALE	AS NOTED
ISSUED FOR:	DATE
SITE PLAN REVIEW	11-17-14
SITE PLAN APPROVAL	12-11-14
SHEET NO.	C-2
CITY FILE #	14-017

GENERAL NOTES

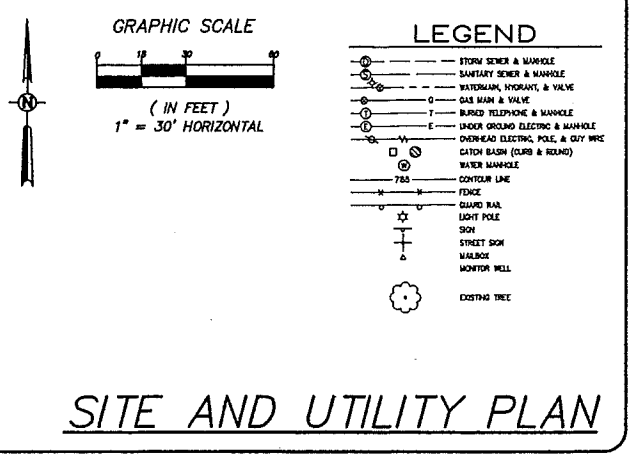
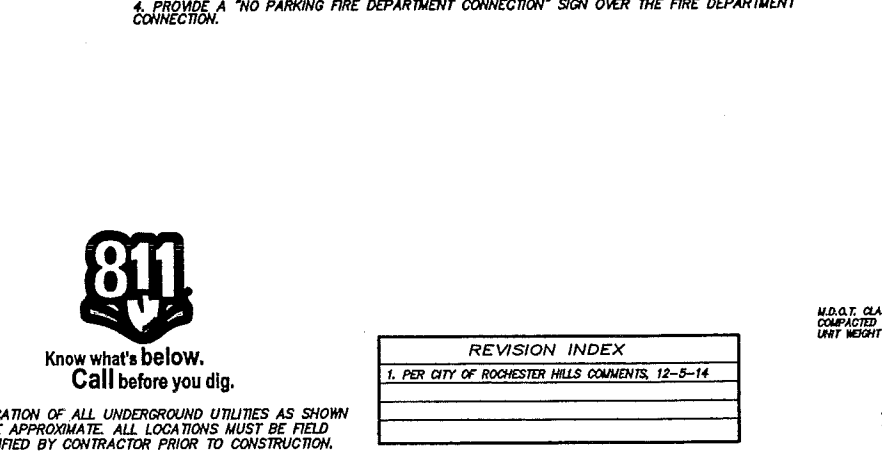
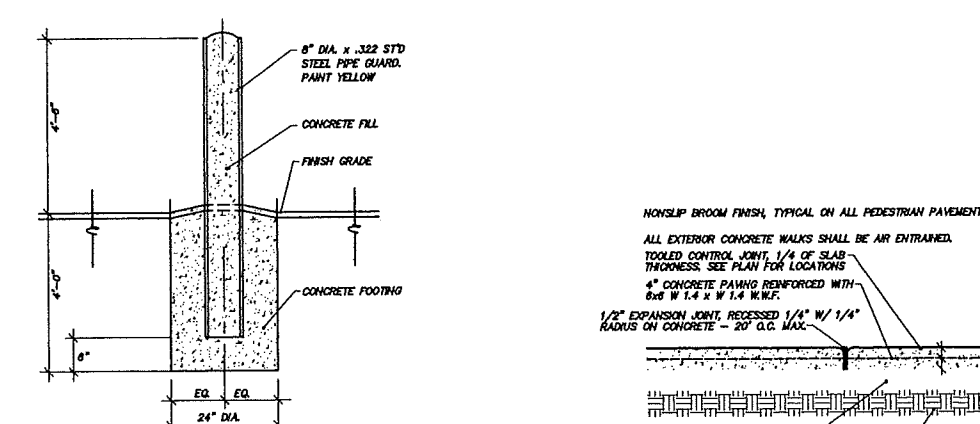
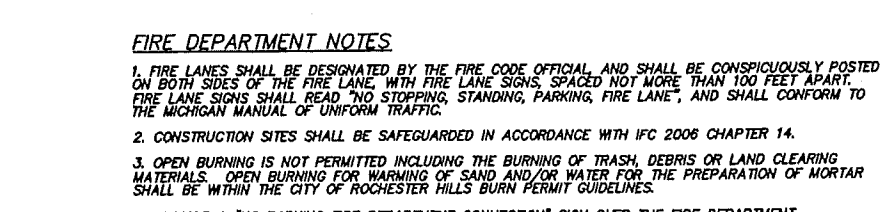
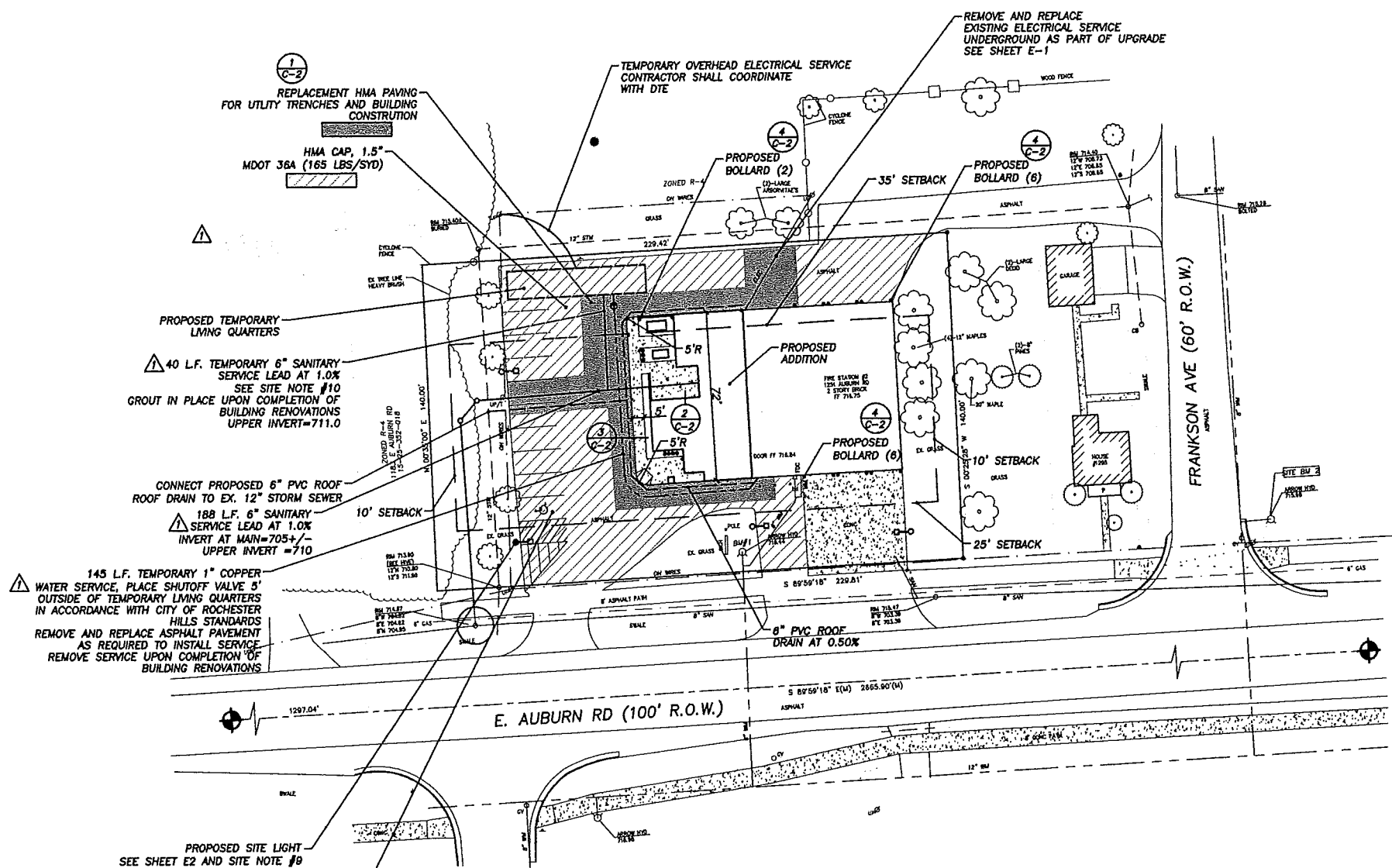
- THREE (3) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL TELEPHONE MISS DIG (800-482-7171) FOR THE LOCATION OF UNDERGROUND GAS AND CABLE FACILITIES AND SHALL NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES THAT AFFECT THIS JOB.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE CITY OF ROCHESTER HILLS, OAKLAND COUNTY DRAIN COMMISSION, OAKLAND COUNTY ROAD COMMISSION, MICHIGAN DEPARTMENT OF TRANSPORTATION, AND THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY (MDEQ) WHERE APPLICABLE. REFER TO CITY OF ROCHESTER HILLS FOR ALL NOTES AND DETAILS RELATED TO PAVING, SANITARY SEWER, STORM SEWER AND WATERMAIN CONSTRUCTION.
- CHMP, INC SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR THE SAFETY ON THE JOB SITE, NOR SHALL CHMP, INC. BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THESE DOCUMENTS.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER, ENGINEER, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, AND THE STATE OF MICHIGAN FROM ALL LIABILITIES FOR INJURY TO PERSONS, OR DAMAGE TO OR LOSS OF PROPERTY, OR ANY OTHER LOSS, COST OR EXPENSE, AS A RESULT OF THE ACTIONS OF THE CONTRACTOR, HIS EMPLOYEES, AGENTS, OR SUBCONTRACTORS.
- THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. FURTHER, THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- PRIOR TO CONSTRUCTION, ALL EXISTING UTILITIES AT PROPOSED CONNECTIONS AND CROSSINGS SHALL BE FIELD EXCAVATED TO VERIFY LOCATION AND ELEVATION. FIELD INFORMATION SHALL BE SUPPLIED TO THE ENGINEER SO THAT THE ENGINEER MAY CONFIRM, ADJUST OR REVISE DESIGN ELEVATIONS OF PROPOSED UTILITIES.
- THE CONTRACTOR SHALL OBTAIN AND PAY (FEES, INSURANCE, ECT.) ALL PERMITS REQUIRED BY FEDERAL, STATE, LOCAL, OR PRIVATE AGENCIES. CONTRACTOR SHALL PAY ALL CHARGES FOR INSPECTION AND TESTING.
- THE CONTRACTOR SHALL ARRANGE FOR A PRE-CONSTRUCTION MEETING TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION TO BE ATTENDED BY REPRESENTATIVES OF ALL PERMIT ISSUING AGENCIES TO COORDINATE THE WORK, INSPECTIONS AND TIMING OF ALL PARTIES.
- THE CONTRACTOR SHALL NOTIFY THE PERMIT ISSUING AGENCIES THREE (3) DAYS PRIOR TO CONSTRUCTION FOR REQUIRED INSPECTIONS. THE CONTRACTOR SHALL PAY FOR ALL NECESSARY PERMITS, BONDS, AND INSURANCE.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, COUNTY, STATE, AND LOCAL REGULATIONS FOR ALL WORK THAT TAKES PLACE ON THE SITE.

SITE NOTES

- SEE ARCHITECTURAL DRAWINGS FOR COMPLETE BUILDING DIMENSIONS.
- REFER TO CITY OF ROCHESTER HILLS STANDARD DETAILS FOR ALL NOTES AND DETAILS RELATED TO PAVING, SANITARY SEWER, STORM SEWER AND WATERMAIN CONSTRUCTION.
- WORKMANSHIP AND MATERIALS FOR ALL BITUMINOUS PAVING SHALL BE IN ACCORDANCE WITH MDOT STANDARD SPECIFICATIONS, 2012 EDITION.
- CONCRETE PAVING SHALL BE REINFORCED IN ACCORDANCE WITH DETAIL 2 ON SHEET C-2-29-G AND DETAIL 2 ON SHEET C-2. COORDINATE SIDEWALK CONTROL JOINT LOCATIONS WITH CONCRETE PORCH FOOTINGS.
- STRIPES PARKING SPACES AS INDICATED IN ACCORDANCE WITH MDOT SPECIFICATION, SECTION 811. LINE PAINT FOR PARKING SPACE STRIPING SHALL BE YELLOW, 4" WIDE. BARRIER FREE STRIPING, AISLES AND SYMBOLS SHALL BE BLUE.
- BARRIER FREE PARKING SPACE AND ACCESS AISLE SHALL HAVE A MAXIMUM SLOPE OF 1:50 (2%). PROVIDE SIGN AND PAINT STRIPING TO MEET AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS. MOUNT SIGN ON POST. 5'-0" ABOVE GROUND. ONE SIGN SHALL BE DESIGNATED AS "VAN ACCESSIBLE".
- ALL PEDESTRIAN FACILITIES WHERE NOTED SHALL COMPLY WITH ADA REQUIREMENTS. MAXIMUM RAMP SLOPE SHALL BE 1:12 (8.3%) MAXIMUM SLOPE ON SIDE FLARES SHALL BE 1:10 (10%). REFER TO MDOT STANDARD DETAIL R-28-G.
- CONTRACTOR SHALL COORDINATE UTILITY SERVICES (GAS, ELECTRIC, TELEPHONE, CABLE, ETC.) WITH LOCAL AGENCIES.
- CONTRACTOR SHALL REMOVE AND REPLACE EXISTING CONCRETE AND/OR ASPHALT PAVEMENT IN KIND AS REQUIRED TO INSTALL CONDUITS FOR SITE LIGHTING FIXTURES.
- THE CONTRACTOR SHALL VERIFY THE SANITARY SEWER DEPTH AND LOCATION AND BE RESPONSIBLE FOR PROVIDING ADEQUATE SLOPE OF SEWER TOWARD THE MAINLINE SEWER IN STRICT ACCORDANCE WITH CITY OF ROCHESTER HILLS STANDARD DETAILS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE PREMISES, AND UPON COMPLETION OF THE PROJECT, LEAVE THE SITE IN AN ACCEPTABLE CONDITION AS DETERMINED BY THE LOCAL MUNICIPALITY.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORD DRAWINGS. THE ENGINEER MAKES NO GUARANTEES THAT THE UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THE ENGINEER DOES CERTIFY THAT THE UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.



FIRE DEPARTMENT NOTES

- FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC.
- CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14.
- OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES.
- PROVIDE A "NO PARKING FIRE DEPARTMENT CONNECTION" SIGN OVER THE FIRE DEPARTMENT CONNECTION.

REVISION INDEX	
1.	PER CITY OF ROCHESTER HILLS COMMENTS, 12-5-14



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SITE AND BUILDING IMPROVEMENTS FOR:
CITY OF ROCHESTER HILLS
FIRE STATION #2
 1251 E. AUBURN ROAD, ROCHESTER HILLS, MICHIGAN 48309

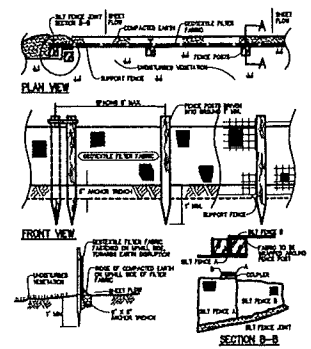
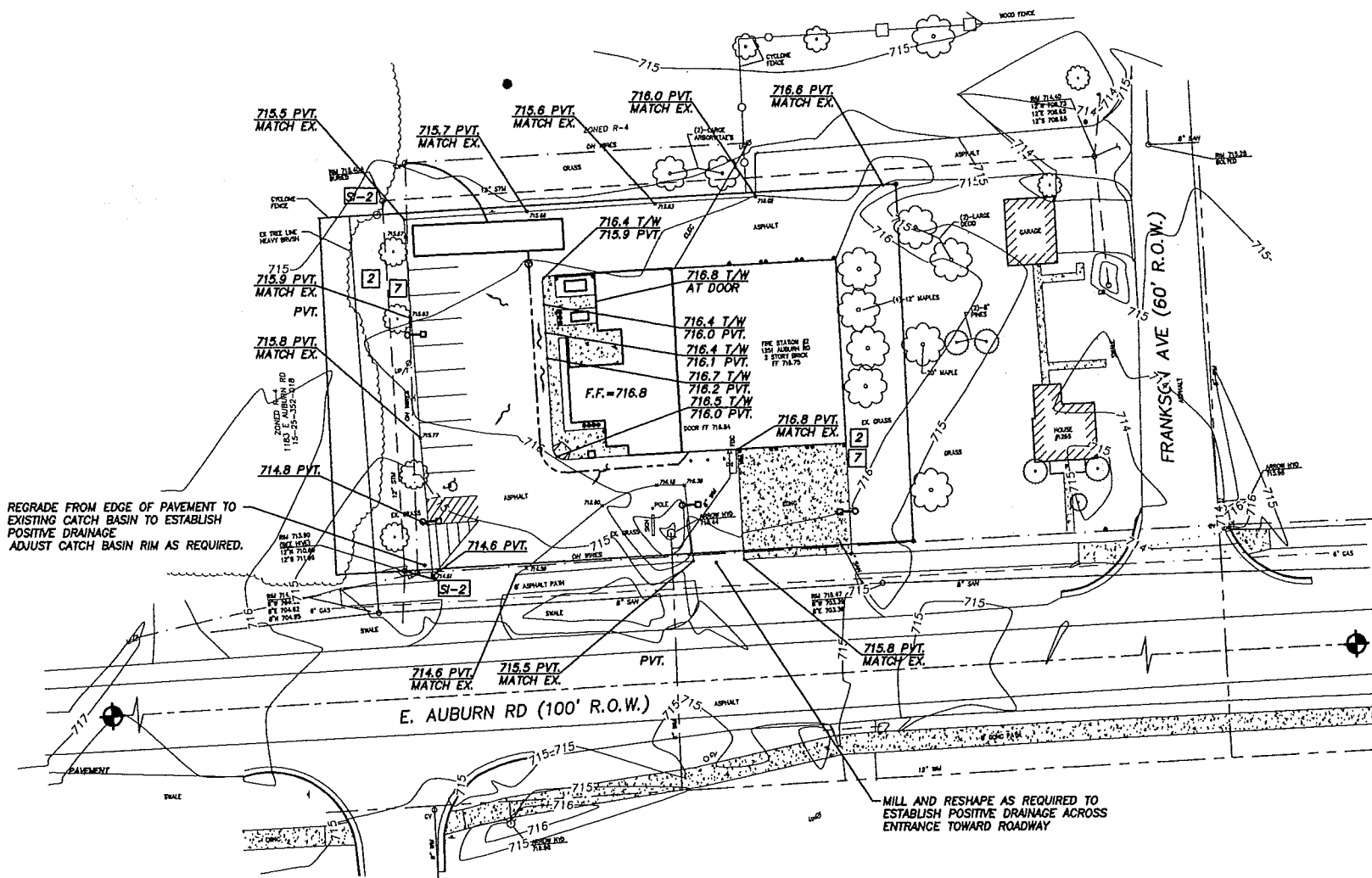
PROJECT NO. 14003400
 DATE DRAWN: 11-17-14
 DATE REVISED: 12-10-14
 DRAWN BY: KEC
 CHECKED BY: GNM
 SCALE: AS NOTED
 ISSUED FOR: DATE
 SITE PLAN REVIEW: 11-17-14
 SITE PLAN APPROVAL: 12-11-14
 SHEET NO. C-3
 CITY FILE #14-017

GRADING NOTES

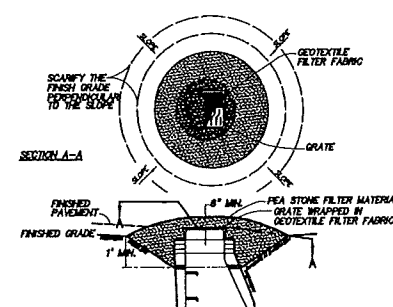
- REFER TO GEOTECHNICAL REPORT PREPARED BY CONSTRUCTION TESTING SERVICES, DATED OCTOBER 8, 2014.
- SLOPE ALL PAVED SURFACES TO DRAIN TO STORM STRUCTURES. MINIMUM SLOPE ON NEW PAVED AREAS SHALL BE 1.0%, MAXIMUM SHALL BE 3.0%.
- CHECK LOCATION OF ALL UTILITY LINES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES AND/OR THE OWNER'S PROPERTY AND SHALL REPAIR, REPLACE, OR RESTORE SAME AT THE CONTRACTOR'S EXPENSE. CALL MISS DIG (3) WORKING DAYS BEFORE DIGGING AT 1-800-482-7171.
- SLOPE ALL SITE WORK UNIFORMLY BETWEEN NEW GRADES OR BETWEEN NEW GRADES AND EXISTING GRADES. THIS INCLUDES SLOPING ALL SITE WORK BETWEEN NEW GRADES AND RIM ELEVATION GRADES AT CATCH BASINS. TRANSITIONS BETWEEN CHANGE IN GRADES SHALL BE CONSTRUCTED WITH A MINIMUM 25 FOOT VERTICAL CURVE. PLAN GRADES INDICATE POINT OF INTERSECTION ELEVATIONS. AVOID ABRUPT GRADE CHANGES AT CATCH BASINS AND HIGH POINTS.
- AREA OF BUILDINGS, WALKS, AND PAVING SHALL BE STRIPPED OF TOPSOIL. TOPSOIL SHALL BE STORED ON THIS CONSTRUCTION SITE FOR RE-USE. EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THIS CONSTRUCTION SITE.
- ALL FILL NECESSARY TO PROVIDE SUBGRADES FOR INTERIOR CONCRETE FLOOR SLABS AND CONCRETE APRONS SHALL BE MICHIGAN DEPARTMENT OF TRANSPORTATION, CLASS II.
- THE OWNER SHALL SUBMIT A DETAILED EROSION CONTROL PLAN IN ACCORDANCE WITH PART 91 OF ACT 451 SOIL EROSION AND SEDIMENT CONTROL FOR APPROVAL. THE CONTRACTOR SHALL OBTAIN SOIL EROSION CONTROL PERMIT FROM APPROVED PLAN, INCLUDING THE PAYMENT OF FEES AND THE PROVIDING OF NECESSARY BONDS. NO EARTH CHANGES OR EXCAVATION SHALL BE STARTED PRIOR TO THE ISSUANCE OF THIS PERMIT.
- CONTRACTOR SHALL PROVIDE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE CITY OF ROCHESTER HILLS AND/OR OAKLAND COUNTY REQUIREMENTS. THE CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED STORM SEWER FACILITIES ON AND ADJACENT TO THE SITE DURING EXCAVATION AND CONSTRUCTION. ALL SEDIMENT SHALL BE CONTAINED ON-SITE. ANY SILT IN COUNTY DRAINS, AS A RESULT OF THIS PROJECT SHALL BE REMOVED BY THE CONTRACTOR.

SOIL EROSION/SEDIMENT CONTROL NOTES

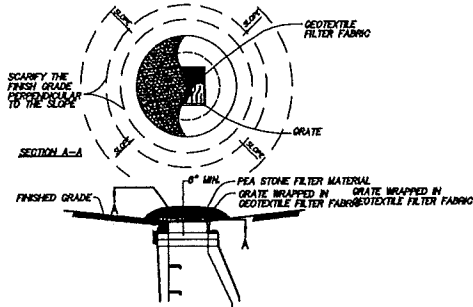
- CONSTRUCTION OPERATION SHALL BE SCHEDULED AND PERFORMED SO THAT PREVENTATIVE SOIL EROSION CONTROL MEASURES ARE IN PLACE PRIOR TO EXCAVATION IN CRITICAL AREAS AND TEMPORARY STABILIZATION MEASURES ARE IN PLACE IMMEDIATELY FOLLOWING BACKFILLING OPERATIONS.
- SPECIAL PRECAUTIONS SHALL BE TAKEN IN THE USE OF CONSTRUCTION EQUIPMENT TO PREVENT SITUATIONS THAT PROMOTE EROSION.
- CLEANUP SHALL BE DONE IN A MANNER TO ENSURE THAT EROSION CONTROL MEASURES ARE NOT DISTURBED.
- THE PROJECT SHALL CONTINUALLY BE INSPECTED FOR SOIL EROSION AND SEDIMENT CONTROL COMPLIANCE. DEFICIENCIES SHALL BE CORRECTED BY THE CONTRACTOR WITHIN 24 HOURS.
- PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN 5 DAYS OF FINAL GRADE. IF PERMANENT STABILIZATION CANNOT BE COMPLETED WITHIN 5 DAYS, TEMPORARY SOIL EROSION CONTROL MEASURES MUST REMAIN IN PLACE AND BE MAINTAINED UNTIL PERMANENT STABILIZATION IS ACHIEVED.
- THE CONTRACTOR SHALL CONFORM TO PART 91 OF ACT 451 OF THE PUBLIC ACTS OF 1994 OF THE MICHIGAN COMPILED LAWS ENTITLED "THE SOIL EROSION AND SEDIMENT CONTROL ACT" DURING CONSTRUCTION AND CURRENT LOCAL ORDINANCES FOR EROSION AND SEDIMENTATION CONTROL.
- THE CONTRACTOR SHALL PAY A FEE AND A BOND IS REQUIRED PRIOR TO ISSUANCE OF THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT. THE BOND RELEASE CONDITIONS FOR VEGETATIVE STABILIZATION ARE 97% COVER AND ONE INCH IN GROWTH. THE BOND SHALL NOT BE RELEASED UNTIL THE SITE IS PERMANENTLY STABILIZED.
- ALL PROPOSED AND EXISTING CATCH BASINS SHALL BE PROTECTED.
- CONTRACTOR SHALL INSPECT THE SOIL EROSION/SEDIMENT CONTROL DEVICES ONCE EACH WEEK AND/OR WITHIN 24 HOURS OF A PRECIPITATION EVENT WHICH RESULTS IN A STORM DISCHARGE FROM THE SITE. THE FOLLOWING STEPS SHALL BE IMPLEMENTED IF ANY DAMAGE HAS RESULTED FROM CONSTRUCTION OR WEAR.
- SEEDING SHALL BE PREPARED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR/INSPECTOR SHALL INSPECT THE AREA AFTER SEEDING IS COMPLETED. AREAS THAT ARE BARE OR NOT MULCHED PROPERLY SHALL BE SPOT SEEDING AND/OR RE-MULCHED.
- SILT FENCE SHALL BE TRENCHED IN, BACK-FILLED, AND STAPLED OR STAKED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. MAINTENANCE INCLUDES THE REMOVING OF BUILT-UP SEDIMENT WHEN THE SEDIMENT ACCUMULATES TO 1/3 THE HEIGHT OF THE FENCE. CONTRACTOR SHALL REMOVE, REPLACE, RETRENCH, OR RE-BACKFILL THE FENCE IF IT FAILS. CONTRACTOR SHALL RE-INSTALL IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.
- ACCESS ROADS SHALL BE MAINTAINED AS NECESSARY. TO KEEP THEM EFFECTIVE, NEW LAYERS OF STONE SHALL BE ADDED AS OLD LAYERS BECOME COMPACTED. STEPS SHALL BE TAKEN TO REPAIR IF RUTS OR POOLING WATER APPEAR.
- INLET FILTERS SHALL BE INSPECTED FOR BUILD-UP OF SILT AND OTHER DEBRIS. THIS IS EVIDENT IF GEOTEXTILE/STONE STRUCTURE IS CAUSING FLOODING. MAINTENANCE SHALL CONSIST OF REMOVING OF SEDIMENTS WITH A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTER IS BEYOND THIS LEVEL OF REPAIR, CONTRACTOR SHALL REPLACE BOTH THE STONE AND GEOTEXTILE FILTER.
- ANY TRACKING OF MUD OR DIRT ONTO PUBLIC OR PRIVATE ROADS SHALL BE REMOVED PROMPTLY.
- IF DUST BECOMES A PROBLEM, SPECIAL WATERING TECHNIQUES SHALL BE USED TO CONTROL DUST.



SILT FENCE (SP-2)
 NOT TO SCALE



PARKING LOT INLET FILTER (SI-1)
 NOT TO SCALE



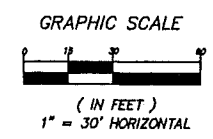
LOW POINT INLET FILTER (SI-2)
 NOT TO SCALE

SOIL EROSION AND SEDIMENTATION CONTROL

MICHIGAN UNIFIED KEYING SYSTEM

* INDICATES APPLICABILITY OF A SPECIFIC CONTROL MEASURE TO ONE OR MORE OF THE SEVEN PROBLEM AREAS

KEY	DETAIL	CHARACTERISTICS	A	B	C	D	E	F	G
1	STORM SEWER & MANHOLE	STORM SEWER & MANHOLE	*					*	*
2	WATER MAIN & VALVE	WATER MAIN & VALVE	*					*	*
7	EXISTING CONTOURS	EXISTING CONTOURS						*	*



LEGEND

- STORM SEWER & MANHOLE
- WATER MAIN & VALVE
- GAS MAIN & VALVE
- BURIED TELEPHONE & MANHOLE
- UNDER GROUND ELECTRIC & MANHOLE
- OVERHEAD ELECTRIC, POLE & GUY WIRE
- CATCH BASIN (CURB & POLE)
- WATER MANHOLE
- CONTROL LINE
- FENCE
- GUARD RAIL
- LIGHT POLE
- IRON
- STREET SIGN
- WALKWAY
- MONITOR WELL
- EXISTING TREE
- EXISTING CONTOURS
- PROPOSED CONTOURS



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REVISION INDEX

NO.	DATE	DESCRIPTION

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GRADING AND SESC PLAN



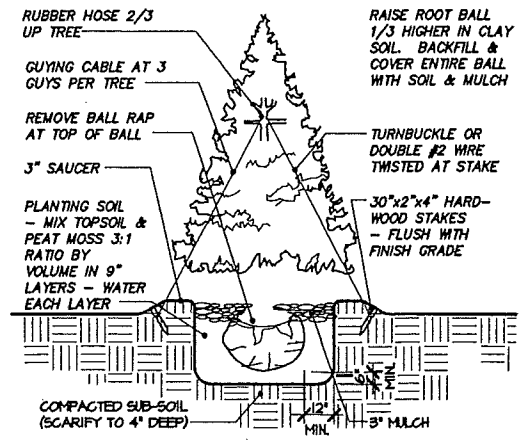
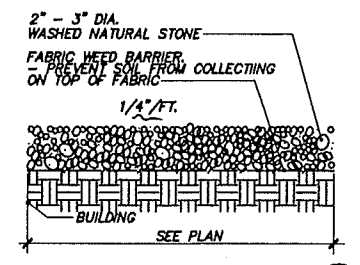
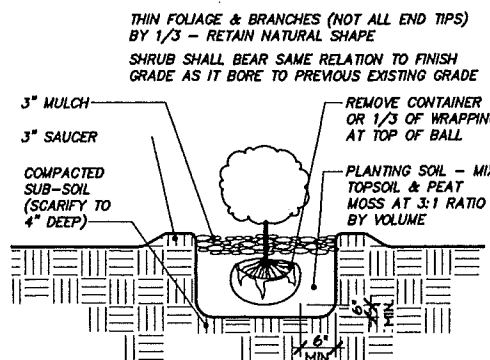
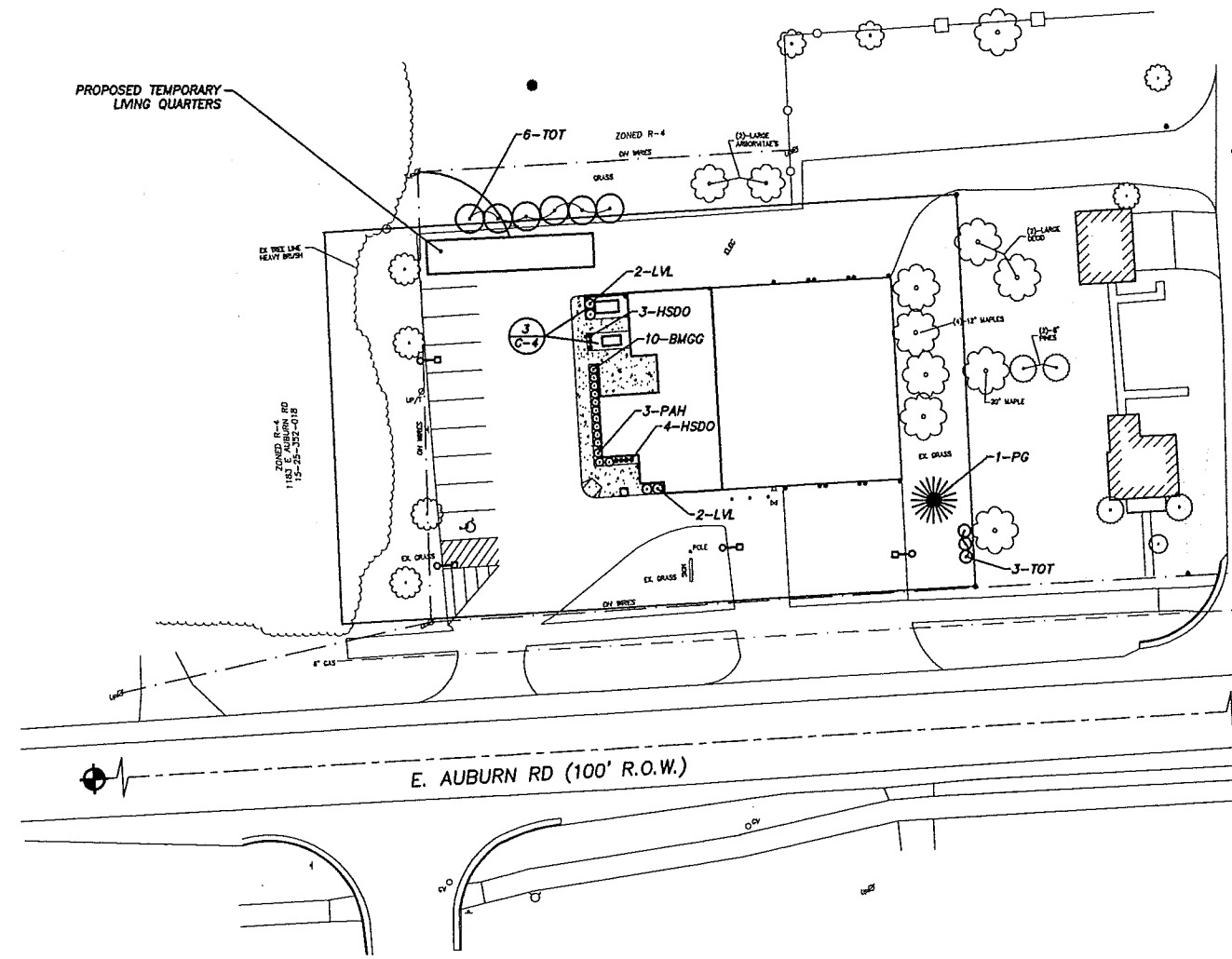
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SITE AND BUILDING IMPROVEMENTS FOR:
CITY OF ROCHESTER HILLS
FIRE STATION #2
 1251 E. AUBURN ROAD, ROCHESTER HILLS, MICHIGAN 48309

LANDSCAPE NOTES

- INSTALLATION OF PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS, LATEST EDITION.
- PLACE 4" OF SHREDDED CEDAR OR HARDWOOD BARK MULCH AROUND ALL NEW PLANT MATERIAL WHERE NOTED. PLACE 3" THICK BY 5" DIAMETER MULCHED RING AT THE BASE OF ALL TREES IN LAWN AREAS. CUT SOD OR SEED IN A SMOOTH UNIFORM CIRCULAR LINE.
- ALL EXISTING LANDSCAPED AND LAWN AREAS WHICH ARE DAMAGED AS A RESULT OF THIS CONSTRUCTION ACTIVITY, WITHIN AND ADJACENT TO THE SITE SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR. SOD SHALL BE USED FOR REPAIRING EXISTING SOODED AREAS.
- ALL PLANTS AND LAWN AREAS SHALL BE WATERED, FERTILIZED, TRIMMED, MOWED AND GENERALLY MAINTAINED BY THE CONTRACTOR IN A HEALTHY GROWING CONDITION FOR A PERIOD OF 30 DAYS AFTER FINAL COMPLETION. ALL PLANTS AND TURF AREAS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE FINAL COMPLETION DATE. SUBMIT GUARANTEE LETTER WITH DATES, TO THE OWNER. THE OWNER IS RESPONSIBLE FOR MAINTAINING PLANTS AND LAWN AREAS BEGINNING 30 DAYS AFTER FINAL APPROVAL. LAWN/SEED AREAS SHALL BE MOWED AT 2 1/2"-3" HT.
- LAYOUT OF LANDSCAPE MATERIAL MAY BE ADJUSTED IN THE FIELD AT THE DISCRETION OF THE CONTRACTOR TO PROVIDE PROPER SPACING BETWEEN NEW AND EXISTING PLANTS AND TO ALLOW FOR MATURE HEIGHT AND SPREAD OF PLANTS. AVOID CONFLICTS WITH OVERHEAD WIRES.
- IRRIGATION SYSTEM SHALL NOT BE CONSTRUCTED WITHIN A PUBLIC ROAD RIGHT OF WAY.
- ALL UNDERBRUSH AND DEAD TREES TO BE REMOVED FROM ENTIRE PARCEL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING RUBBISH ON SITE.
- PROVIDE 100% IRRIGATION COVERAGE TO ALL TURF AREAS, SHRUBS AND GROUND COVER BEDS. WATER SOURCE ORIGIN SHALL BEGAIN AT CURB THROUGH EXTERIOR WALL BY OTHERS. SIZE OF STUB SHALL BE DETERMINED BY IRRIGATION DESIGNER AND PROVIDED TO ARCHITECT AND GENERAL CONTRACTOR WITH SHOP DRAWING OF PROPOSED LAYOUT. STANDARD 110 V. ELECTRICAL OUTLET TO BE PROVIDED NEAR CONTROLLER LOCATION INSIDE BUILDING BY OTHERS. IRRIGATION ZONES FOR SHRUB AND GROUND COVER BEDS SHALL BE SEPARATE FROM TURF AREAS. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL REQUIRED COMPONENTS INCLUDING BUT NOT LIMITED TO A BACKFLOW PREVENTER, FITTINGS, VALVES AND CONTROLLER. PLACE P.V.C. SCH. 40 PIPE SLEEVES UNDER PAVING. PIPE SIZES SHALL BE LARGE ENOUGH TO ACCOMMODATE PROPOSED SPRINKLER LINES AND WIRING. ADJUST SYSTEM FOR PROPER COVERAGE AND PERFORM FIRST WINTERIZATION SERVICE. ALL MATERIALS SHALL BE RAINBIRD OR APPROVED EQUIVALENT. ALL LATERAL PIPING SHALL BE 80# M.S.F. CRESTLINE POLYETHYLENE PIPE. THE USE OF OTHER PRODUCTS OF EQUAL TYPE AND QUALITY MAY BE USED PROVIDED THEY HAVE BEEN APPROVED IN WRITING BY THE OWNER OR HIS REPRESENTATIVE. 3/4" HOSE CONNECTION SHALL BE PROVIDED FOR AIR HOSE CONNECTION FOR COMPLETE SYSTEM WINTERIZATION "BLOW OUT". PROVIDE AS-BUILT DRAWING OF COMPLETED DESIGN, EQUIPMENT MANUALS AND OPERATION INSTRUCTIONS.
- ALL SHRUB AND GROUND COVER PLANTING BEDS SHALL HAVE A MINIMUM OF 12" DEEP PLANTING SOIL.
- EXCAVATION FOR ALL TREES SHALL PROVIDE A MINIMUM DIAMETER HOLE THAT IS TWO (2) TIMES THE ROOT BALL DIAMETER, BACKFILLED WITH PLANTING SOIL.
- APPLY PREEN GARDEN WEED CONTROL PREVENTER TO ALL TREE, SHRUB AND GROUND COVER PLANTING BEDS AFTER SPREADING MULCH AT THE RATE OF 1 OZ. PER 10 SQUARE FEET. REFER TO PRODUCT LABEL FOR COMPLETE APPLICATION INSTRUCTIONS AND PRECAUTIONS.
- PROTECT EXISTING TREES TO REMAIN. DO NOT ALTER GRADE WITHIN DRIP LINE.
- ALL LANDSCAPED AREAS SHALL BE IRRIGATED (SEE IRRIGATION PLAN). WATERING SHALL ONLY OCCUR BETWEEN THE HOURS OF 12 AM AND 5 AM.
- PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB ON THE PUBLIC RIGHT-OF-WAY. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC ROAD. SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY. NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY LINES AT A DISTANCE ALONG EACH LINE OF 25' FROM THEIR POINT OF INTERSECTION. NO TREES OR SHRUBS MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC WALKWAY AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE HYDRANT. SHADE AND EVERGREEN TREES MUST BE AT LEAST 15' AWAY FROM THE NEAREST OVERHEAD WIRE. TREES MUST BE PLANTED A MINIMUM OF 5' FROM AN UNDERGROUND UTILITY, UNLESS THE CITY'S LANDSCAPE ARCHITECT REQUIRES A GREATER DISTANCE.
- PRIOR TO THE RELEASE OF THE PERFORMANCE BONDS, THE CITY OF ROCHESTER HILL FORESTRY DIVISION NEEDS TO INSPECT ALL TREES, EXISTING OR PLANTED, TO IDENTIFY ANY THAT POSE A HAZARD TO THE SAFE USE OF THE PUBLIC RIGHT OF WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE, AND POSSIBLY REPLACE, ANY SUCH TREES.



LANDSCAPE NOTES

- SOUTH PROPERTY LINE - FRONTAGE/RIGHT OF WAY TREES. 227 L.F. REQUIRED**
 1 DECIDUOUS TREE PER 35 L.F.
 1 ORNAMENTAL TREE PER 35 L.F.
 REQUIRED = 9 DECIDUOUS AND 9 ORNAMENTAL
 PROPOSED = 1 EXISTING (DECIDUOUS)
 BALANCE TO BE PAID INTO TREE FUND
- NORTH PROPERTY LINE - TYPE A BUFFER 170 L.F. REQUIRED**
 1.5 DECIDUOUS TREE PER 100 L.F. = 3
 1 EVERGREEN TREE PER 100 L.F. = 2
 4 SHRUBS PER 100 L.F. = 7
 PROPOSED
 EVERGREENS = 2 EXISTING, 6 PROPOSED (3 TREES, 3 SHRUBS)
 BALANCE TO BE PAID INTO TREE FUND
- EAST PROPERTY LINE - TYPE A BUFFER 140 L.F. REQUIRED**
 1.5 DECIDUOUS TREE PER 100 L.F. = 2
 1 EVERGREEN TREE PER 100 L.F. = 1
 4 SHRUBS PER 100 L.F. = 6
 PROPOSED
 DECIDUOUS = 4 (EXISTING MAPLES)
 EVERGREENS = 4 PROPOSED (1 TREE, 3 SHRUBS)
 BALANCE TO BE PAID INTO TREE FUND
- PARKING LOT TREES**
 PARKING AND DRIVE AREA = 7,020 SF
 5% OF PARKING AREA = 351 SF
 REQUIRED TREES
 1 DECIDUOUS TREE PER 150 SF = 2
 PERIMETER TREES - NOT APPLICABLE
 PROPOSED TREES = 3 (EXISTING)

PLANT LIST

KEY SYMBOL	QTY.	COST	BOTANICAL / COMMON NAME	PLANT SIZE	MATURE HGT. & SPREAD
BMGG	10	\$25	BUXUS MICT. GREEN GEM GREEN GEM BOXWOOD	NO. 2 CONT.	2' x 2'
HSDO	7	\$8	HEMEROCALLIS STELLA D'ORO DAYLILLY	NO. 2 CONT.	18" x 18"
LVL	4	\$30	LIGUSTRUM VULGARE LODENSE LODENSE PRIVET	NO. 3 CONT.	4' x 4'
PAH	3	\$25	PENNISETUM A. HAMELN DWARF FOUNTAIN GRASS	NO. 2 CONT.	3' x 2'
PG	1	\$305	PICEA GLAUCA WHITE SPRUCE	8' HT.	60' x 20'
TOT	9	\$50	THUJA OCC. TECHNY TECHNY ARBORVITAE	4' HT.	8' x 5'

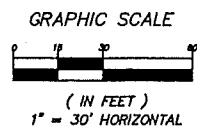
REVISION INDEX

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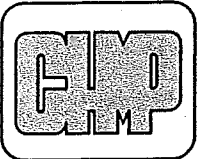


LEGEND

○	STONE SINKER & WASHOLE
○	SAWTOOTH SINKER & WASHOLE
○	WATERMARK, HYDRANT, & VALVE
○	GAS MARK & VALVE
○	BURIED TELEPHONE & WASHOLE
○	UNDER GROUND ELECTRIC & WASHOLE
○	OVERHEAD ELECTRIC, POLE & GUY WIRE
○	CATCH BASIN (SQUARE & ROUND)
○	WATER MANHOLE
○	CONTOUR LINE
○	QUARD RAIL
○	LIGHT POLE
○	90#
○	STREET SIGN
○	WALKBOX
○	MONITOR WELL
○	EXISTING TREE

LANDSCAPE PLAN

PROJECT NO. 14005400
DATE DRAWN 11-17-14
DATE REVISED 12-10-14
DRAWN BY KEG
CHECKED BY GNM
SCALE AS NOTED
ISSUED FOR: DATE 11-17-14
 SITE PLAN REVIEW 11-17-14
 SITE PLAN APPROVAL 12-11-14
SHEET NO. C-4
 OF CITY FILE #14-017



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NEW WORK LEGEND

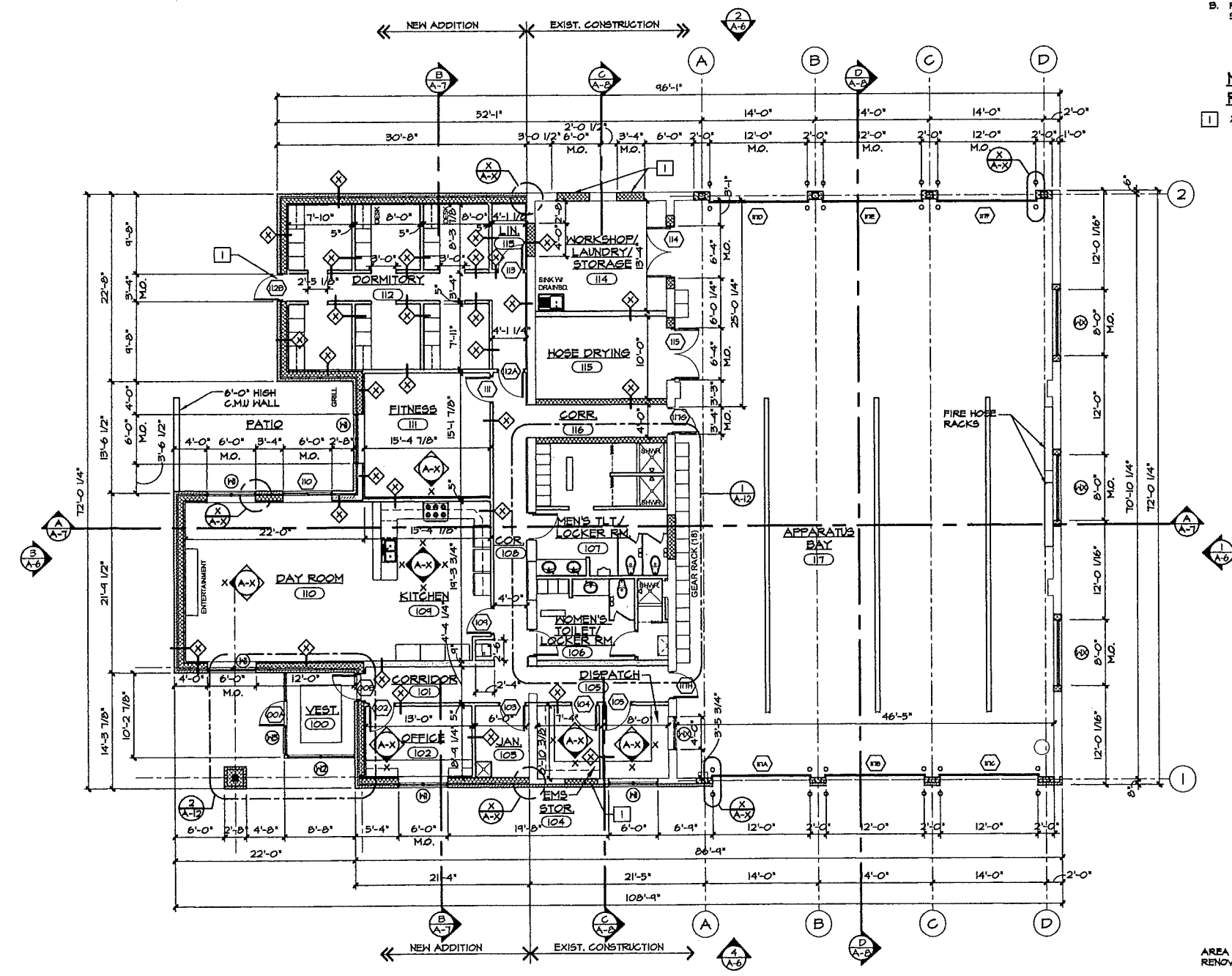
- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- PARTITION TYPE - REFER TO WALL TYPES LEGEND - SHEET A-2

NEW WORK GENERAL NOTES

- A. PATCH AND/OR REPAIR ALL EXISTING FLOOR, WALL AND/OR CEILING FINISHES AS REQUIRED TO MATCH EXISTING OR TO ACCEPT NEW FINISHES AS SCHEDULED AT ALL AREAS AFFECTED BY THE DEMOLITION WORK. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- B. REFER TO DRAWING A-3 FOR ROOM FINISH SCHEDULE

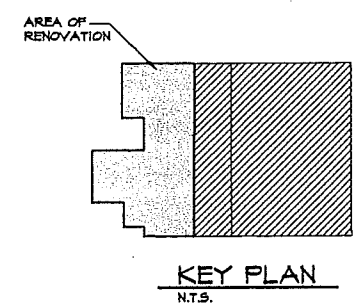
NEW WORK REFERENCED NOTES:

1 X



FLOOR PLAN #2 (BROOKLANDS)
 SCALE: 1/8"=1'-0"

BUILDING DATA
 EXISTING BUILDING.....4,711 SQ. FT.
 PROPOSED ADDITION.....2,321 SQ. FT.
 TOTAL.....7,032 SQ. FT.



SITE AND BUILDING IMPROVEMENTS FOR:
CITY OF ROCHESTER HILLS
FIRE STATION #2
 1251 E. AUBURN ROAD, ROCHESTER HILLS, MICHIGAN 48309

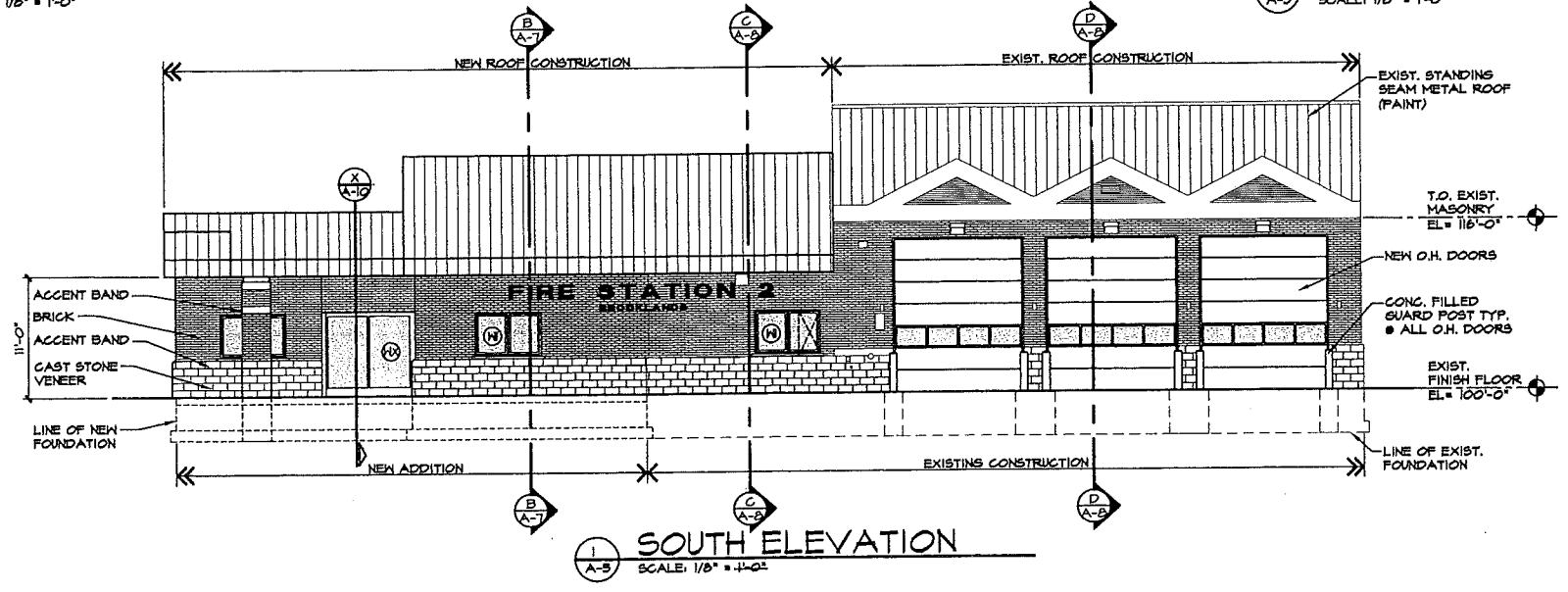
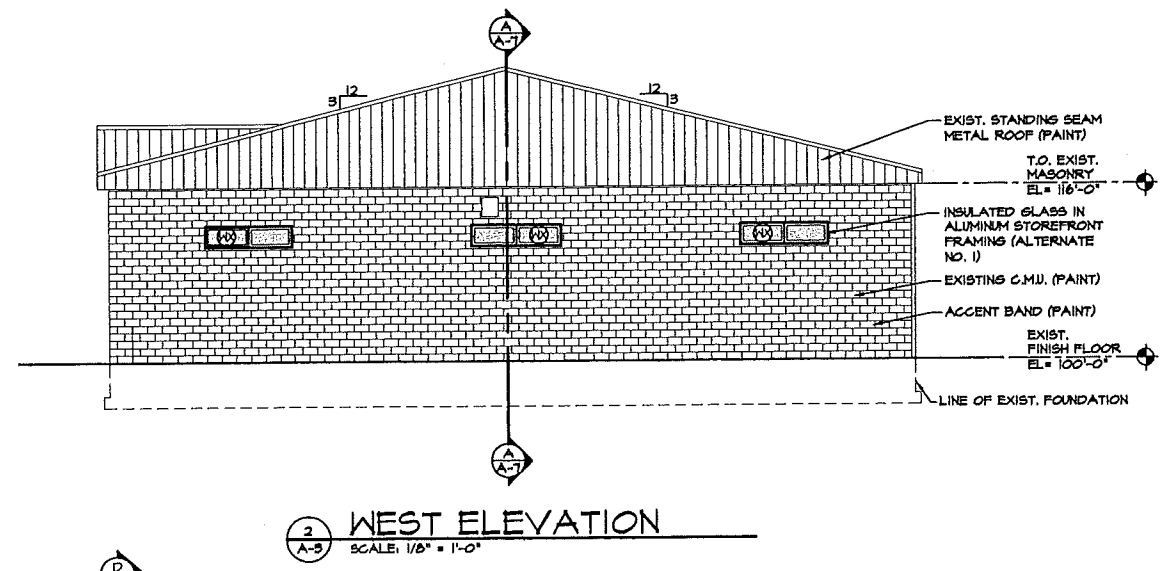
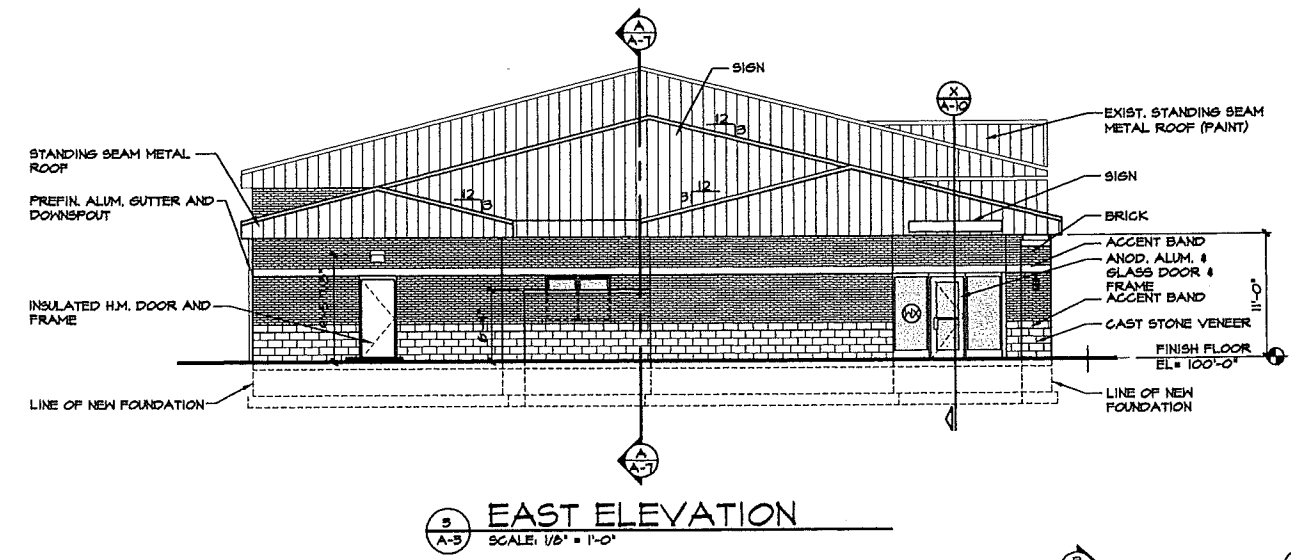
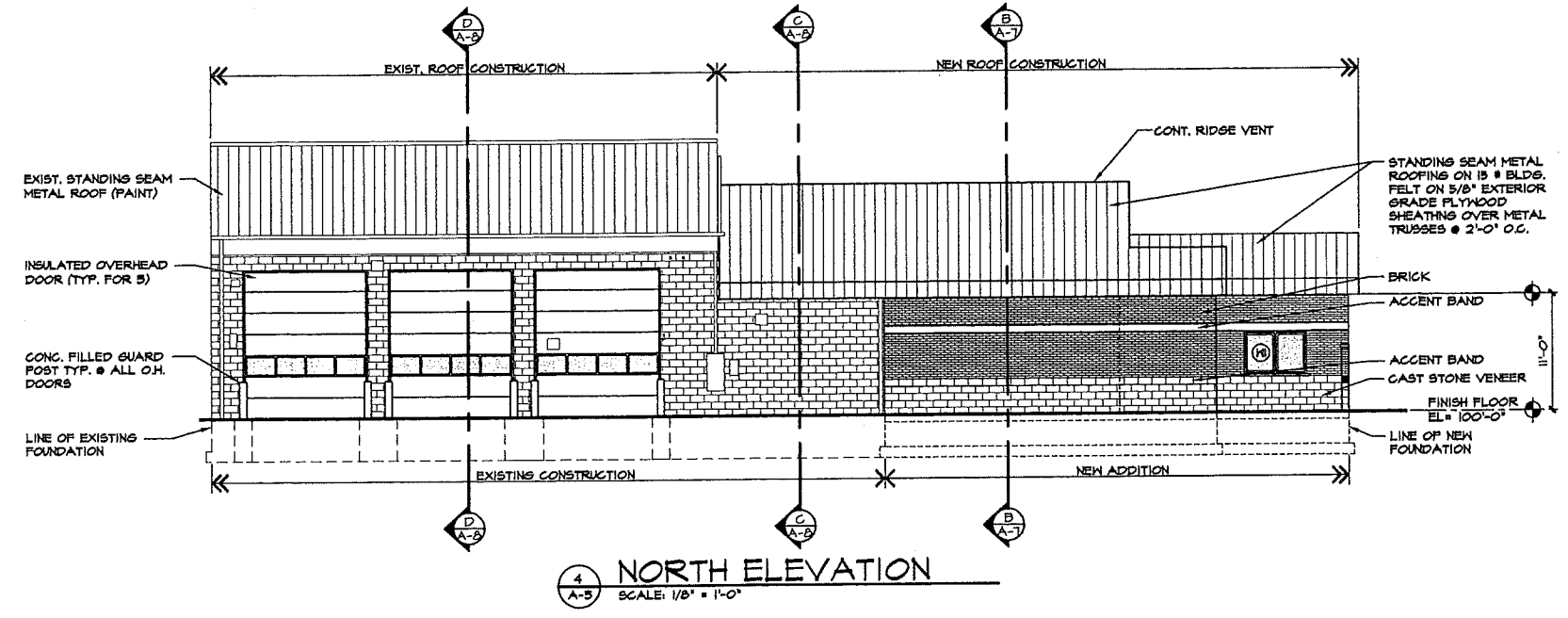
PROJECT NO.	14009100
DATE	SEPT 8, 2014
AS BUILT DATE	
DRAWN BY	JTS
CHECKED BY	SHM
SCALE	AS NOTED
ISSUED FOR:	DATE
SITE PLAN REVIEW	NOV 17, 2014
SITE PLAN APPROVAL	DEC. 11, 2014



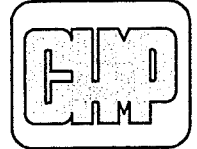
ARCHITECTURE
 ENGINEERING
 LANDSCAPE ARCHITECTURE
 SURVEYING

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SITE AND BUILDING IMPROVEMENTS FOR:
CITY OF ROCHESTER HILLS
FIRE STATION #2
 1251 E. AUBURN ROAD, ROCHESTER HILLS, MICHIGAN 48309



PROJECT NO.	14009400
DATE	SEPT 8, 2014
AS BUILT DATE	
DRAWN BY	JTS
CHECKED BY	SHM
SCALE	AS NOTED
ISSUED FOR:	DATE
SITE PLAN REVIEW	NOV 17, 2014
SITE PLAN APPROVAL	DEC. 11, 2014



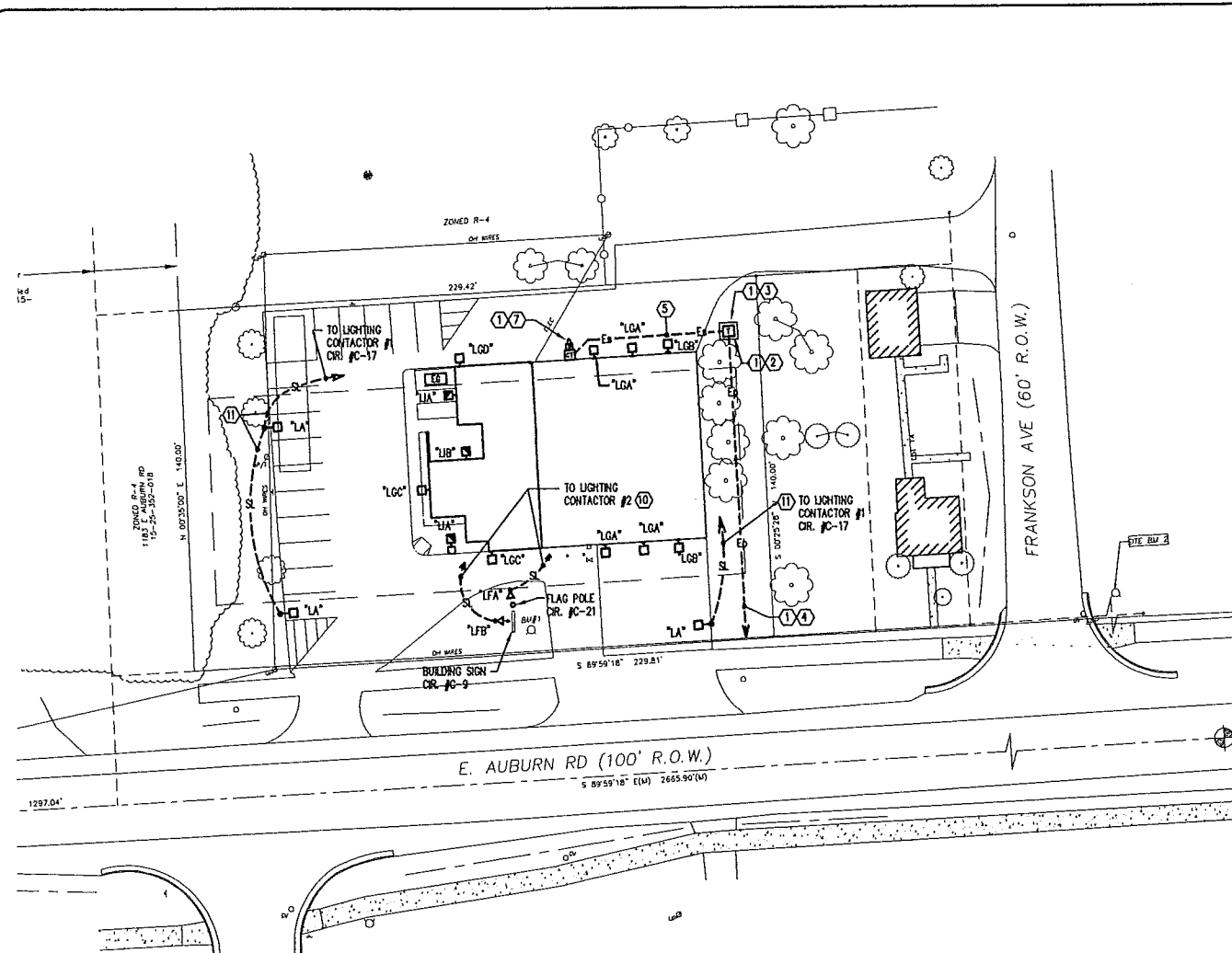
ARCHITECTURE
 ENGINEERING
 LANDSCAPE ARCHITECTURE
 SURVEYING

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SITE AND BUILDING IMPROVEMENTS FOR:
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 FIRE STATION #2**
 1251 E. AUBURN ROAD, ROCHESTER HILLS, MICHIGAN 48309

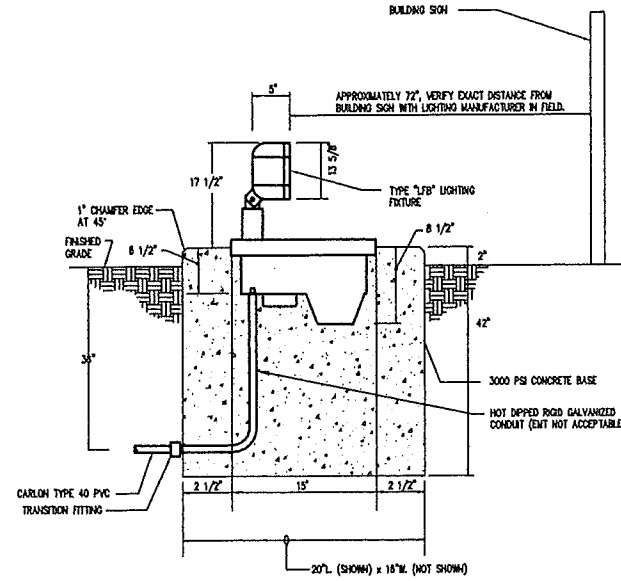
PROJECT NO. 14009400
 DATE SEPT 8, 2014
 AS BUILT DATE
 DRAWN BY DDA
 CHECKED BY DL
 SCALE AS NOTED
 ISSUED FOR: DATE
 SITE PLAN APPROVAL NOV 17, 2014
 DESIGN DEVELOPMENT DEC 11, 2014

SHEET NO.
E-2
 OF 9

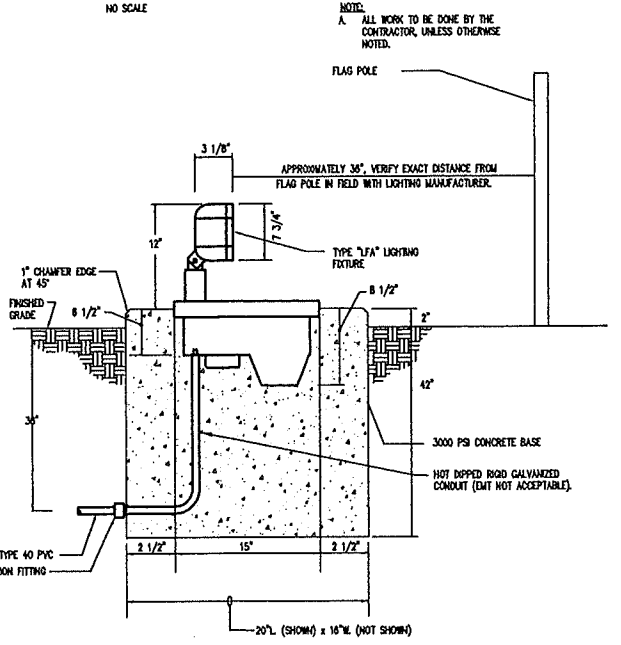


**NOT FOR
 CONSTRUCTION
 12/09/14**

ELECTRICAL SITE PLAN
 SCALE: 1" = 30'-0"
 0 15 30 60 120



TYPE "LFB" LIGHTING FIXTURE BASE DETAIL
 NO SCALE



TYPE "LFA" LIGHTING FIXTURE BASE DETAIL
 NO SCALE

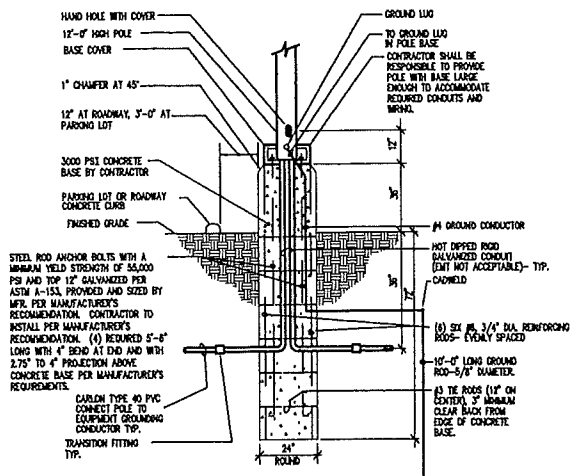


**4 WORKING DAYS
 BEFORE YOU DIG
 CALL MISS DIG
 1-800-482-7171**

NOTE: UTILITY INFORMATION ON THIS DRAWING MAY BE FROM INFORMATION DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANIES. NO GUARANTEE IS GIVEN AS TO THE COMPLETENESS OR ACCURACY THEREOF.
 PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES (IN CONFLICT WITH PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. CALL M-I-S-D-4-3
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KEY NOTES

- 1 ALL UTILITY COMPANY COSTS SHALL BE PAID FOR BY THE OWNER.
- 2 NEW 120/208V-3Ø-4W SECONDARY, PAD MOUNTED TRANSFORMER, PROVIDED AND INSTALLED BY DTE CO. PROVIDE 10'-0" CLEARANCE ON FRONT SIDE AND 4'-0" CLEARANCE ON THE OTHER THREE SIDES.
- 3 NEW CONCRETE PAD AND FOOTINGS, PROVIDED AND INSTALLED BY CONTRACTOR PER DTE CO. STANDARDS/SPECIFICATIONS.
- 4 (2) NEW 4" DIAMETER UNDERGROUND CONDUITS STUBBED OUT TO POWER POLE AND CAPPED BY CONTRACTOR FOR DTE CO. PRIMARY ELECTRICAL SERVICE ENTRANCE CABLES, WHICH SHALL BE PROVIDED AND INSTALLED BY DTE CO. VERIFY EXACT LOCATION, ROUTING, POLE AND TERMINATION POINT WITH DTE CO. IN FIELD.
- 5 NEW UNDERGROUND 3 1/2" SECONDARY ELECTRICAL SERVICE CONDUIT WITH (4) 500 KCMIL, BY CONTRACTOR.
- 6 8"Ø X 8"Ø X 3/4" D. CLASS A FIRE RATED MAIN TELEPHONE SERVICE PLYWOOD BACKBOARD BY CONTRACTOR.
- 7 NEW 120/208V-3Ø-4W ELECTRIC SERVICE METER INCLUDING BASE AND C/T CABINET, PROVIDED BY DTE CO. AND INSTALLED ON SIDE OF BUILDING BY CONTRACTOR.
- 8 NEW 4" DIAMETER UNDERGROUND CONDUIT STUBBED OUT TO POWER POLE AND CAPPED BY CONTRACTOR FOR COMCAST CABLE TELEVISION CO. (COMCAST CITY CO.) SERVICE ENTRANCE CABLES, WHICH SHALL BE PROVIDED AND INSTALLED BY COMCAST CITY CO. VERIFY EXACT ROUTING, TERMINATION POINT, POLE AND LOCATION WITH COMCAST CITY CO. IN FIELD.
- 9 NEW 4" DIAMETER UNDERGROUND CONDUIT STUBBED OUT TO POWER POLE AND CAPPED FOR ROCHESTER HILLS TOWNSHIP FIBER OPTIC SERVICE ENTRANCE CABLES, WHICH SHALL BE PROVIDED AND INSTALLED BY CONTRACTOR. VERIFY EXACT CABLE MODEL NUMBER, ROUTING, TERMINATION POINT, POLE AND LOCATION WITH ROCHESTER HILLS TOWNSHIP IN FIELD.
- 10 NEW UNDERGROUND 1"Ø-2/12 AND 1/12 GROUND - TIP, THIS CIRCUIT.
- 11 NEW UNDERGROUND 1"Ø-2/10 AND 1/10 GROUND.
- 12 NEW 4" DIAMETER UNDERGROUND CONDUIT STUBBED OUT TO POWER POLE AND CAPPED BY CONTRACTOR FOR COMCAST TELEPHONE CO. SERVICE ENTRANCE CABLES WHICH SHALL BE PROVIDED AND INSTALLED BY COMCAST CO. VERIFY EXACT TERMINATION POINT, POLE, ROUTING, AND LOCATION WITH COMCAST CO. IN FIELD.
- 13 800 AND 1/2" RADIO ANTENNAS TO BE INSTALLED BY CONTRACTOR TO RELOCATED SIREN TOWER. ANTENNAS TO BE PROVIDED BY OTHERS.
- 14 (2) 4" UNDERGROUND CONDUITS TO 800 AND 1/2" RADIO EQUIPMENT IN RADIO/DISPATCH #157 BY CONTRACTOR, MARKING PROVIDED BY OTHERS, INSTALLED BY CONTRACTOR.



**TYPICAL TYPE "LAA", "LAB" AND "LAC"
 LIGHTING FIXTURE POLE BASE DETAIL**
 NO SCALE

NOTE: ALL WORK TO BE DONE BY THE CONTRACTOR, UNLESS OTHERWISE NOTED.
 These documents are two dimensional, traditional plan and specification documents that are not intended to be used by the contractor as shop drawings. Final dimensions, equipment access, routing, miscellaneous fittings, final installation and coordination is the contractor's responsibility.

D DiClemente Segel Design Inc.
 1075 E. Walnut Road, Burton, Michigan 48028
 810.238.1024 Fax 810.238.7114
 Engineering and Architecture

Project No. 14-6921
 ACAD# 14-6921.02 E2