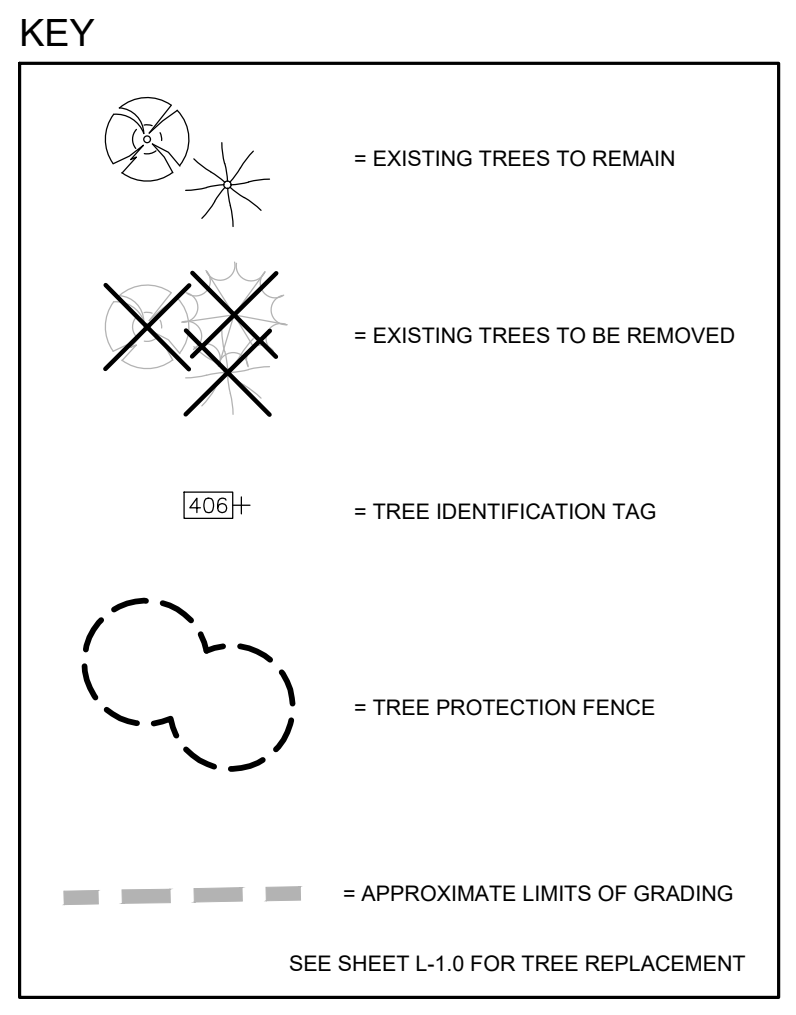


1421 ROCHESTER ROAD
 (±3.59 OVERALL ACRES)
 PARCEL NO. 15-23-301-018

EDDINGTON BLVD.
 (70' WIDE)

NATURAL FEATURES STATEMENT:
 STEEP SLOPE:
 THE SITE DOES NOT CONTAIN REGULATED STEEP SLOPES.
 WETLANDS:
 THE SITE DOES NOT CONTAIN REGULATED WETLANDS.
 NATURAL FEATURES SETBACK:
 THE SITE DOES NOT CONTAIN REQUIRED NATURAL FEATURE SETBACKS.

TREE NOTE PER CITY OF ROCHESTER HILLS:
 ANY PLANT MATERIAL THAT IS DESIGNATED TO BE PRESERVED THAT DIES OR IS DAMAGED DURING OR AS A RESULT OF CONSTRUCTION SHALL BE REPLACED PURSUANT TO ORDINANCE REQUIREMENT



EXISTING TREE LIST: TREE TO BE REMOVED DENOTED WITH STRIKE OUT THROUGH TREE NUMBER

TAG NO.	CODE	DBH	COMMON NAME	LATIN NAME	CONDITION	NOTES	EXEMPT?	SPECIMEN	SAVE / REMOVE	IN BUILDING
401	WS	13	White Spruce	Picea glauca	Fair			N	R	N
402	NS	21	Norway Spruce	Picea Abies	Good			Y	R	Y
403	NS	23	Norway Spruce	Picea Abies	Good			Y	R	Y
404	NS	19	Norway Spruce	Picea Abies	Good			Y	R	Y
405	NS	12	Norway Spruce	Picea Abies	Fair			N	R	Y
406	CA	8	Crab Apple	Malus caronaria	Fair	x1		N	S	N
407	CA	8	Crab Apple	Malus caronaria	Fair	x1		N	S	N
408	CA	9	Crab Apple	Malus caronaria	Fair	x1		N	R	N
409	CA	6	Crab Apple	Malus caronaria	Fair			N	R	N
410	CA	11	Crab Apple	Malus caronaria	Good			N	S	N
411	CA	12	Crab Apple	Malus caronaria	Fair			Y	R	Y
412	CA	14	Crab Apple	Malus caronaria	Good			N	R	Y
413	NS	9	Norway Spruce	Picea Abies	Fair			N	R	Y
414	NS	12	Norway Spruce	Picea Abies	Fair			N	R	Y
415	NS	13	Norway Spruce	Picea Abies	Fair			N	R	Y
416	CA	12	Crab Apple	Malus caronaria	Good	x1		Y	R	N
417	CA	10	Crab Apple	Malus caronaria	Fair			N	R	N
418	CA	8	Crab Apple	Malus caronaria	Good			N	R	N
419	CA	8	Crab Apple	Malus caronaria	Good			N	S	N
420	NS	13	Norway Spruce	Picea Abies	Good			N	R	Y
421	WS	11	White Spruce	Picea glauca	Fair			N	R	N
422	WS	9	White Spruce	Picea glauca	Fair			N	S	N
423	MW	16	White Mulberry	Morus alba	Fair			N	S	N
424	MW	13	White Mulberry	Morus alba	Fair			N	R	N
434	BX	24	Box elder	Acer negundo	Fair	x4		N	R	N

REGULATED ON SITE TREES
 REGULATED TREES REMOVED: 14
 SPECIMEN TREES REMOVED: 5
 2" SPECIMEN REPLACEMENT TREES: 22
 SPECIMEN TREES TO REMAIN ON-SITE: 0
 REPLACEMENT REQUIRED: 14+22=36

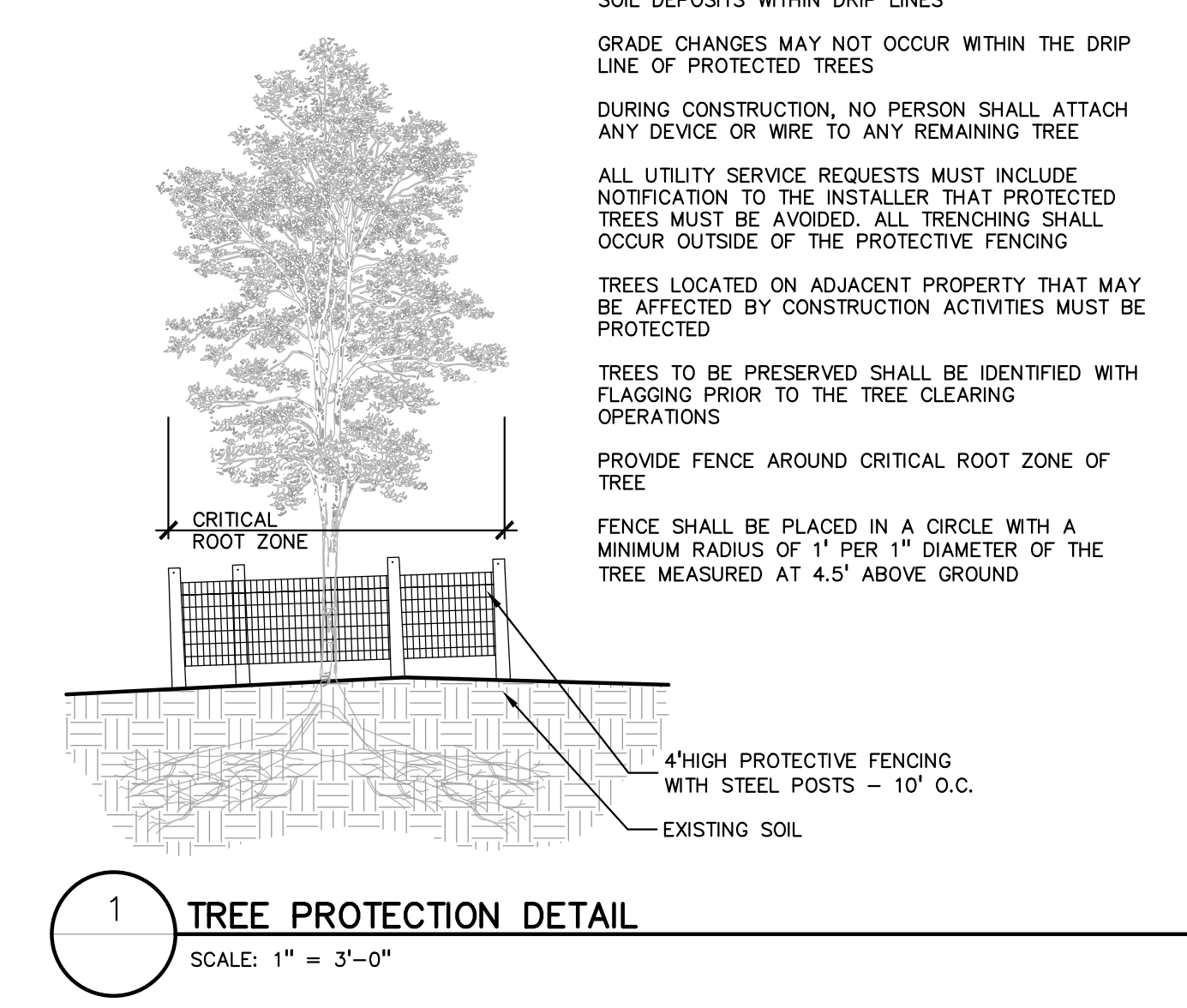
TOTAL TREES ON SITE: 25
 EXEMPT TREES IN BUILDING: 10
 TREES TO REMAIN ON SITE: 6
 % TREES TO REMAIN: (6)/(25-10) = 40.0%

CITY OF ROCHESTER HILLS NOTES:

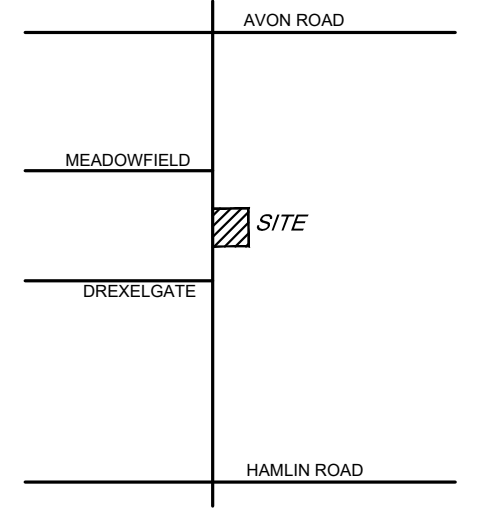
IMPORTANT:
 ALL TREES ON ADJACENT PROPERTIES MUST BE PROTECTED. THE TREE PROTECTIVE FENCING MAY BE PLACED ALONG THE ACTUAL PROPERTY LINE IF THE BRANCHES OF THE TREES ON THE ADJACENT PROPERTIES DO NOT OVERHANG ONTO THE SITE BEING DEVELOPED. IF THE BRANCHES OVERHANG ONTO THE AREA OF THE SITE BEING DEVELOPED, THE TREE PROTECTIVE FENCING MUST BE PLACED AT THE ACTUAL DRIP LINE OF THESE TREES. IT SHOULD ALSO BE NOTED THAT THE SILT FENCING MUST BE PLACED ON THE DEVELOPMENT SIDE OF THE TREE PROTECTIVE FENCING. THE SILT FENCING MAY NOT BE PLACED BETWEEN THE TREE BEING PRESERVED AND THE TREE PROTECTIVE FENCING. IF ANY REGULATED TREES ARE MANAGED ON THE ADJACENT PROPERTIES, THE DAMAGED TREES WILL BE EITHER REPLACED ON THE OWNER'S PROPERTY ON AN INCH FOR INCH BASIS OR A FINE IN THE SUM OF \$122.00 PER CALIPER INCH WILL BE ISSUED AGAINST THE DEVELOPMENT. THIS FINE WILL BE DUE PRIOR TO BUILDING PERMITS BEING ISSUED. IF YOU HAVE ANY QUESTIONS OR NEED ADDITIONAL INFORMATION, CALL THE CITY'S PLANNING DEPARTMENT AT 248-656-4660.

TREE PROTECTION NOTES:

- The tree protection fencing (TPF) shall be erected per the plans approved by the City of Rochester Hills Planning Department. The TPF must be in place and be inspected by the City of Rochester Hills' Planning Staff prior to the start of any earthwork or construction operations. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule a TPF inspection. The TPF shall remain in place throughout the entire construction process or until the City authorizes the removal or issues a final Certificate of Occupancy, whichever occurs first.
- Upon completion of grading and the installation of the infrastructure, a second inspection of the TPF and the trees designated for preservation is required by the City of Rochester Hills' Forestry prior to the start of any additional construction. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule this TPF inspection.
- A final inspection by the City of Rochester Hills Planning Staff is required at the end of the warranty and maintenance period. The Landscape Maintenance Bond will not be released until this inspection is complete and all related issues are resolved. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule this inspection.
- The Tree Conservation Ordinance prohibits any construction or development activities within the drip line of any regulated trees not approved for removal, including, but not limited to, land clearing, grubbing, trenching, grading or filling; no person shall place any solvents, building material, construction equipment, soil deposits or harmful materials within the drip line limit of trees designated for preservation.
- Proposed grades are to match the existing elevations outside the limits of the TPF. No grading either cut or fill is permitted within the drip line of any tree designated for preservation.
- During the construction process no person shall attach any device or wire/cable/card/rope to an existing tree designated to be preserved.
- All utility service requests must include notification to the installer that protected trees must be avoided. All trenching shall occur outside the TPF.
- Swales shall be routed to avoid the area within the drip line of the only tree designated for preservation. Swales shall be constructed so as to not direct any additional flow into the drip line of a tree designated for preservation.
- If tree protection cannot be maintained for a tree throughout entire period required, the replacement of that tree will be required on an inch for inch basis prior to the issuance of any Certificate of Occupancy.
- Regulated trees located off-site on adjacent properties that may be affected by construction operations must be protected defined herein.
- The TPF shall consist of four-foot high orange snow fencing to be installed around the drip line of all trees designated to be saved. This fencing shall be supported by six-foot metal T-bar posts five-feet on center and driven a minimum of 24" into the ground. The PTF fencing shall remain upright and securely in place for the required time as specified above.
- Prior to the release of the Performance Bond, the City of Rochester Hills Forestry Division needs to inspect existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forests require the developer to remove and possibly replace any such trees.



CAUTION!!
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
EIG14T
 3221 W. BIG BEAVER ROAD, SUITE 111
 TROY, MICHIGAN 48068

PROJECT TITLE
PRIMROSE SCHOOL
 VACANT LOT - ROCHESTER ROAD
 ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

REVISIONS

DATE	DESCRIPTION
04-19-23	SITE PLAN APPROVAL RESUBMITTAL
05-25-23	SITE PLAN APPROVAL RESUBMITTAL
06-23-23	SITE PLAN APPROVAL RESUBMITTAL
07-25-23	SITE PLAN APPROVAL RESUBMITTAL

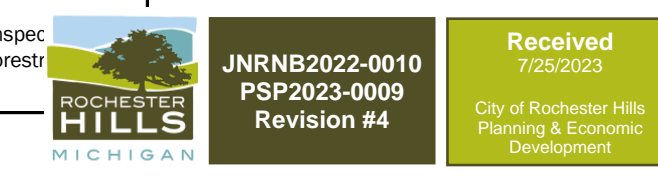
ORIGINAL ISSUE DATE:
 FEBRUARY 10, 2023

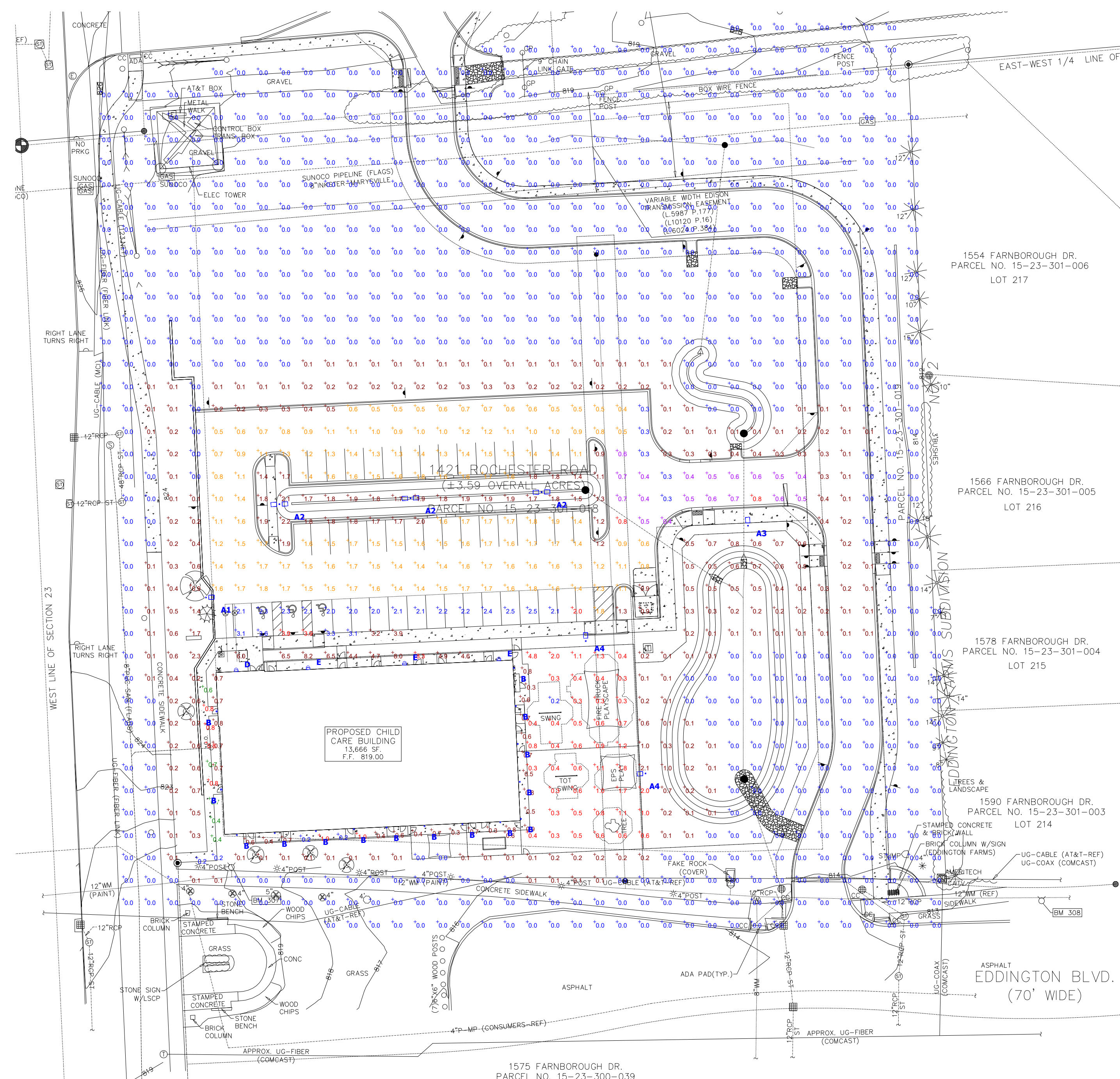
DRAWING TITLE
TREE PRESERVATION PLAN

PEA JOB NO. 2022-1301
P.M. BK
D.N. BLA
DES. BLA
DRAWING NUMBER:

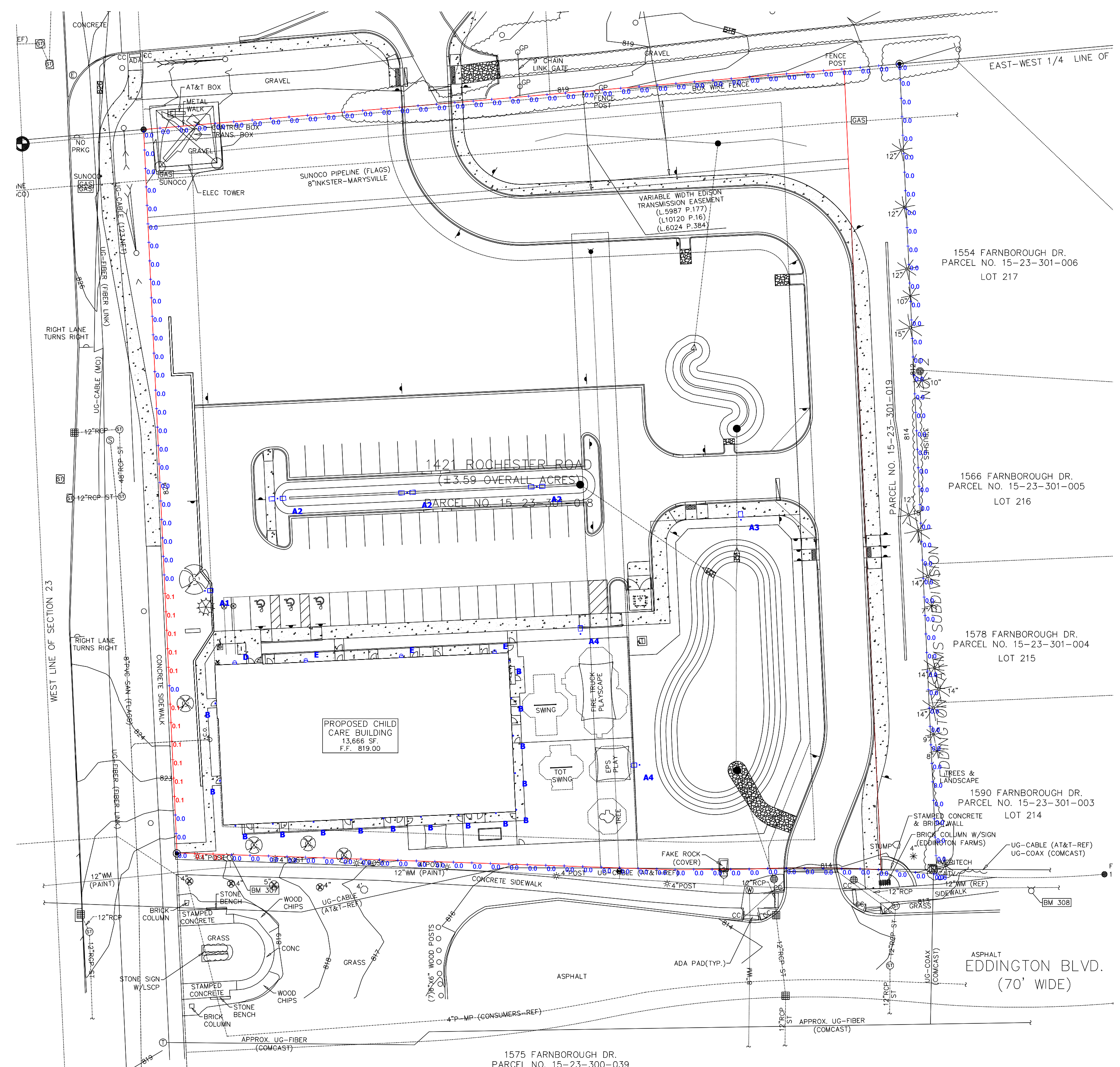
T-1.0

NOT FOR CONSTRUCTION
CITY FILE NO. 22-041 SECTION 23





Plan View
Scale - 1" = 40ft



Plan View - PROPERTY LINE
Scale - 1" = 40ft

General Note

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- PARKING LOT CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
- PROPERTY LINE CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 5' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

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Ordering Note

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Alternates Note

THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Drawing Note

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO SKY SIDE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Fixture Note

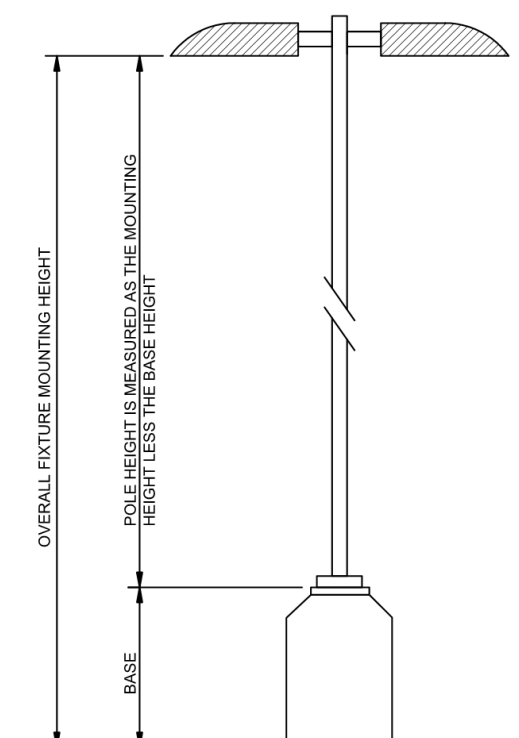
ALL FIXTURES SHALL COMPLY WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA.

Controls Note

ALL EXTERIOR LIGHTING IN NON-RESIDENTIAL DISTRICTS SHALL INCORPORATE AUTOMATIC TIMERS AND SHALL BE TURNED OFF BETWEEN THE HOURS OF MIDNIGHT AND SUNRISE, EXCEPT FOR LIGHTING NECESSARY FOR SECURITY PURPOSES OR ACCESSORY TO A USE THAT CONTINUES AFTER MIDNIGHT. SECURITY LIGHTING SHALL, TO THE EXTENT PRACTICAL, USE SENSORS AND DIM OR TURN OFF WHEN THERE IS NO ACTIVITY ON SITE.

Symbol	Label	QTY	Manufacturer	Description	Lamp	Mounting Height
	A1	1	Lithonia Lighting	D-Series Size 0 Area Luminaire 3000K	LED	15'-0"
	A2	3	Lithonia Lighting	D-Series Size 0 Area Luminaire 3000K	LED	15'-0"
	A3	1	Lithonia Lighting	D-Series Size 0 Area Luminaire 3000K	LED	15'-0"
	A4	2	Lithonia Lighting	D-Series Size 0 Area Luminaire 3000K	LED	15'-0"
	B	13	Gotham Architectural Lighting	EVO 4IN ROUND CYLINDER, WALL MOUNT, 3000K	LED	9'-0"
	C	2	Lithonia Lighting	WDGE2 LED WALLPACK 3000K	LED	15'-0"
	D	1	Lithonia Lighting	WDGE3 LED WALLPACK 3000K	LED	15'-0"
	E	3	Lithonia Lighting	WDGE3 LED WALLPACK 3000K	LED	15'-0"

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
DRIVEWAY	+	0.5 fc	0.8 fc	0.3 fc	2.7:1	1.7:1	0.6:1
OVERALL	+	0.4 fc	8.3 fc	0.0 fc	N/A	N/A	0.0:1
PARKING LOT	+	1.3 fc	2.0 fc	0.3 fc	6.7:1	4.3:1	0.7:1
PARKING LOT (WITHIN 25' OF BUILDING)	+	2.6 fc	3.9 fc	2.0 fc	2.0:1	1.3:1	0.7:1
PEDESTRIAN AREA (ACCESSIBLE ROUTE)	+	0.6 fc	0.8 fc	0.2 fc	4.0:1	3.0:1	0.8:1
PEDESTRIAN AREA (CHILD CARE BUILDING: EAST AND SOUTH SIDEWALK)	+	0.6 fc	1.0 fc	0.2 fc	5.0:1	3.0:1	0.6:1
PLAYGROUND	+	0.8 fc	4.8 fc	0.2 fc	24.0:1	4.0:1	0.2:1
PROPERTY LINE	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A	0.0:1



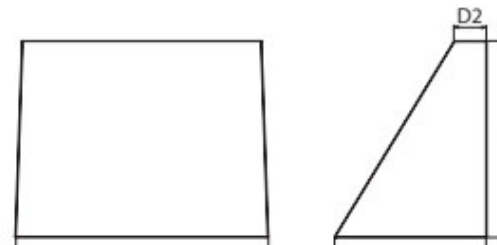


WDGE2 LED Architectural Wall Sconce Precision Refractive Optic



Specifications

Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs (without options)



Form for Catalog Number, Name, Type

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight™ AIR wireless controls, the WDGE family provides additional energy savings and code compliance. WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

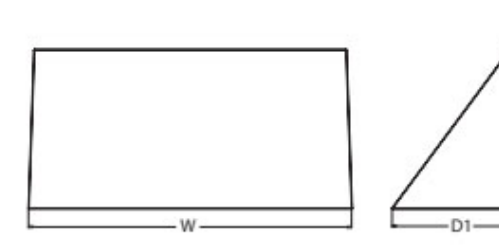


WDGE3 LED Architectural Wall Sconce



Specifications

Depth (D1): 8"
Depth (D2): 1.5"
Height: 9"
Width: 18"
Weight: 19.5 lbs (without options)



Form for Catalog Number, Name, Type

Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight™ AIR wireless controls, the WDGE family provides additional energy savings and code compliance. WDGE3 has been designed to deliver up to 12,000 lumens through a precision refractive lens with wide distribution, perfect for augmenting the lighting from pole mounted luminaires.

WDGE LED Family Overview table with columns for Luminaire, Optics, Standard EM, Cold EM, Sensor, and Approximate Lumens.

WDGE LED Family Overview table with columns for Luminaire, Standard EM, Cold EM, Sensor, and Approximate Lumens.

Ordering Information table for WDGE2 LED with columns for Series, Package, Color Temperature, CRI, Distribution, Voltage, Mounting, and Shipped In/Seperately.

Ordering Information table for WDGE3 LED with columns for Series, Package, Color Temperature, CRI, Distribution, Voltage, Mounting, and Shipped In/Seperately.

Options table for WDGE LED with columns for Options, Standalone Sensors/Controls, and Networked Sensors/Controls.

Options table for WDGE LED with columns for Options, Standalone Sensors/Controls, and Networked Sensors/Controls.

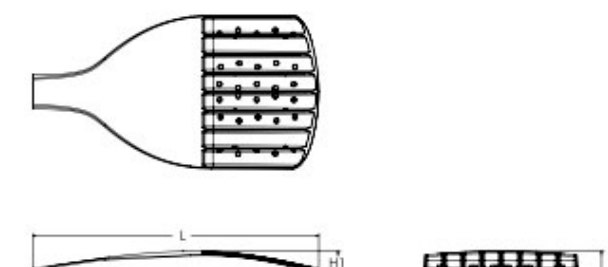


D-Series Size 0 LED Area Luminaire



Specifications

EPA: 0.44 ft² (0.041 m²)
Length: 26.18" (66.60 cm)
Width: 14.06" (35.70 cm)
Height H1: 2.26" (57.61 mm)
Height H2: 7.46" (189.91 mm)
Weight: 23 lbs (10.4 kg)



Form for Catalog Number, Name, Type

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The photometric performance results in spaces with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information table for D-Series LED with columns for Series, LEDs, Color Temperature, Color Rendering Index, Distribution, Voltage, and Mounting.

Control Options table for D-Series LED with columns for Control Options, Other Options, and Finish Invariant.



General Illumination Wall Mount Cylinder 4"

Feature Set

- Bathing distribution with feathered edges
Provides even illumination on horizontal and vertical surfaces
20 standard colors in textured and gloss finish; custom or RAL colors also available
Field configurable surface junction box conduit covers available
ENERGY STAR® Certified product
UGR of zero for fixtures aimed at nadir with a cut-off equal to or less than 60deg per CIE 117-1:1995 Discomfort Glare in Interior Lighting; UGR F40 (UGR F40)



Superior Performance

Table showing Superior Performance metrics for different luminaire sizes.

Coordinated Apertures | Multiple Layers of Light. Includes photos of various luminaire applications and a diagram showing aperture options: Core, Healthcare, Special Applications.

Schedule table with columns: Symbol, Label, QTY, Manufacturer, Description, Lamp, Mounting Height. Lists various luminaire items.

General Note
1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. PARKING LOT CALCULATIONS ARE SHOWN IN FOOT CANDLES AT: 0' - 0"
3. PROPERTY LINE CALCULATIONS ARE SHOWN IN FOOT CANDLES AT: 5' - 0"

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PRIMROSE SCHOOL
PHOTOMETRIC SITE PLAN
GASSER BUSH ASSOCIATES
PREPARED FOR: PEA GROUP
WWW.GASSERBUSH.COM

Designer
DB/KB
Date
3/01/2023
rev. 3/10/2023
rev. 4/19/2023
rev. 5/23/2023
Scale
Not to Scale
Drawing No.
#23-12467-V4

JNRNB2022-0010
PSP2023-0009
Revision #4
City of Rochester Hills
Planning & Economic Development
Received
7/25/2023

OCCUPANCY GROUP CLASSIFICATION

E (DAYCARE)
ACCESSORY USE S-1 (STORAGE)
ACCESSORY USE B (BUSINESS)

CONSTRUCTION CLASSIFICATION

TYPE V-B, UNPROTECTED
SPRINKLERED

BUILDING AREA (PER TABLE 506.2):

ALLOWABLE AREA: 38,000 SF
PROPOSED AREA: 13,586 SF

BUILDING HEIGHT:

MAXIMUM ALLOWABLE BUILDING HEIGHT (PER TABLE 504.3): 60'-0"
ALLOWABLE NUMBER OF STORIES: 2

PROPOSED BUILDING HEIGHT: 34'-7"
PROPOSED NUMBER OF STORIES: 1

SPRINKLER SYSTEM:

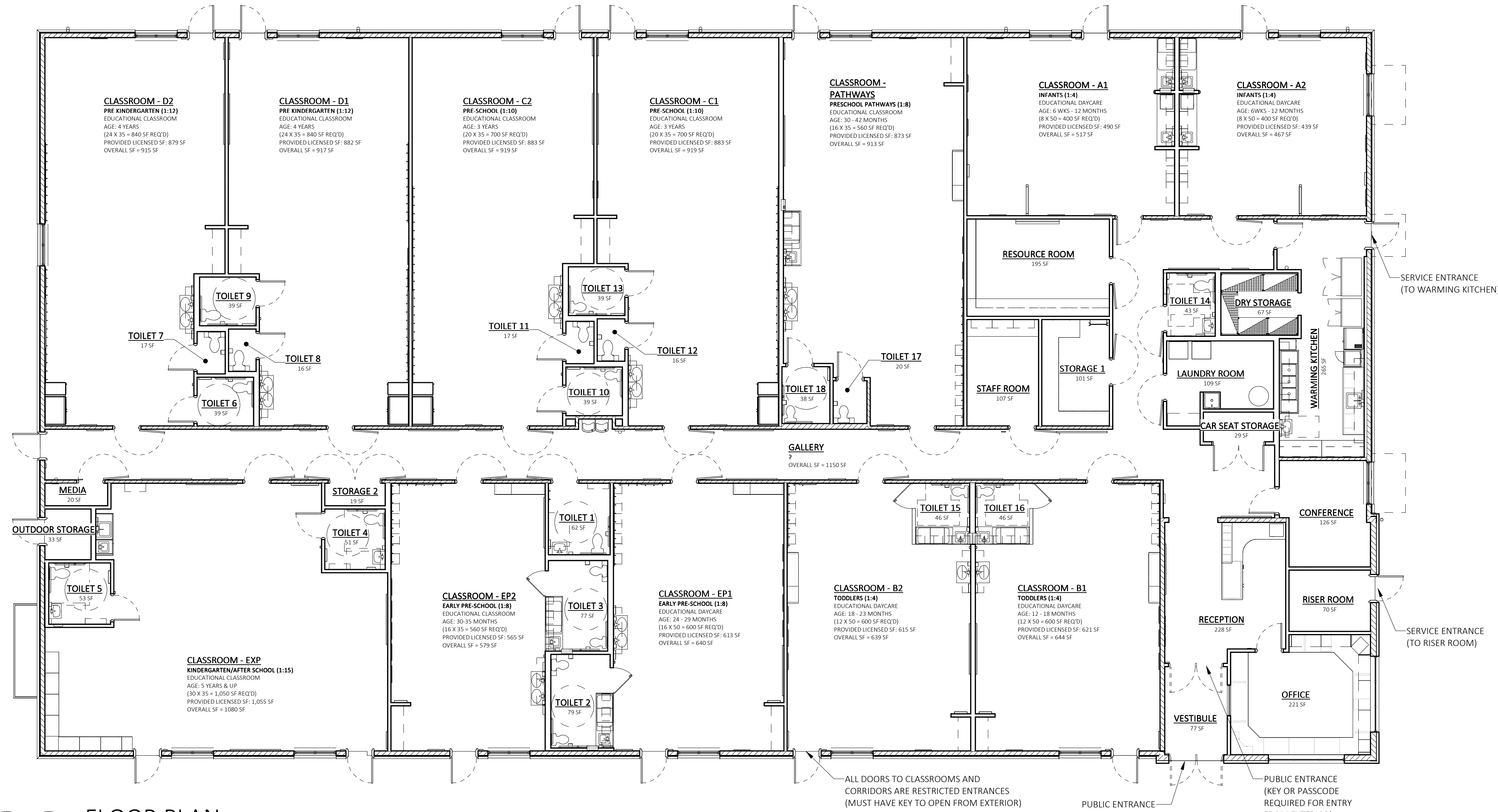
BUILDING AND ATTIC WILL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM.

BUILDING PROGRAM - MI

Primrose School - ROCHESTER HILLS, MI 04/10/2023

Name	Ages	Primrose S.F. Per Child	Michigan State Ratio	Michigan Max. Group Size	PSFC Staff Ratio	PSFC Max Group Size	Proposed Room Capacity	Staff Required	Required Area S.F.
A1 - Infants	6 Wks - 12 Months	50	1:4	12	1:4	8	8	2	400
A2 - Infants	6 Wks - 12 Months	50	1:4	12	1:4	8	8	2	400
B1 - Toddlers	12 - 18 Months	50	1:4	12	1:6	12	12	3	600
B2 - Toddlers	18 - 23 Months	50	1:4	12	1:6	12	12	3	600
EP1 - Early Preschool	24 - 29 Months	50	1:4	12	1:8	16	12	3	600
EP2 - Early Preschool	30 - 35 Months	35	1:8	16	1:8	16	16	2	560
Pathways	30 - 42 Months	35	1:8	16	1:8	16	16	2	560
C1 - Preschool	3 Years	35	1:10	30	1:12	24	20	2	700
C2 - Preschool	3 Years	35	1:10	30	1:12	24	20	2	700
D1 - Pre - Kindergarten	4 Years	35	1:12	36	1:12	24	24	2	840
D2 - Pre - Kindergarten	4 Years	35	1:12	36	1:12	24	24	2	840
EXP - Kindergarten / After School	5 Years +	35	1:18	36	1:15	30	30	2	1050
							202	27	7850

NOTE: S.F. VALUES LISTED ON CHART ARE FOR LICENSED CAPACITY ALLOWED BY THE STATE OF MICHIGAN. OCCUPANT LOAD S.F. AND VALUES WILL COMPLY WITH THE BUILDING CODE.



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"
NORTH

PRIMROSE SCHOOL
1421 SOUTH ROCHESTER ROAD
ROCHESTER HILLS, MI

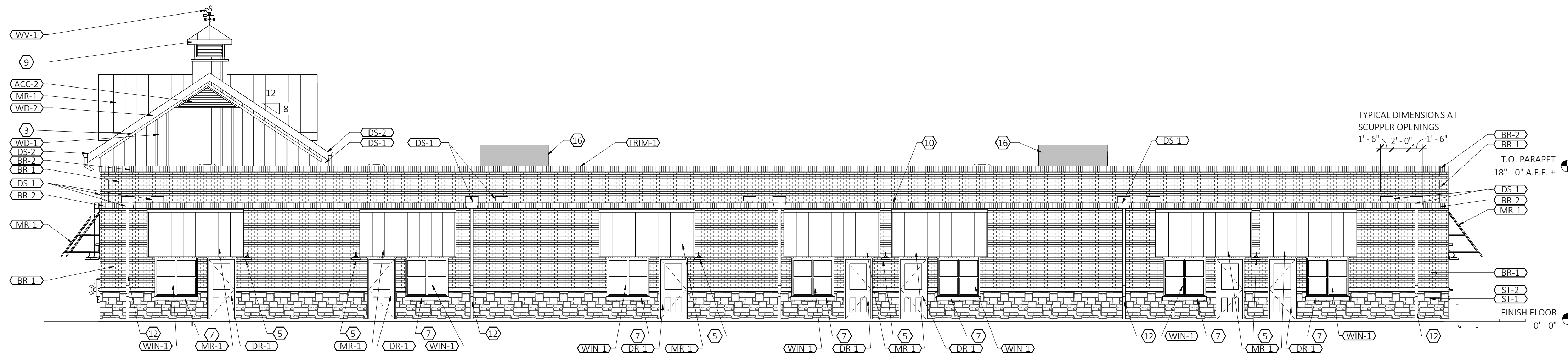


PRIMROSE SCHOOL FRANCHISING COMPANY
3200 WINDY HILL ROAD, SUITE 1200 E
ATLANTA, GEORGIA 30339-5640
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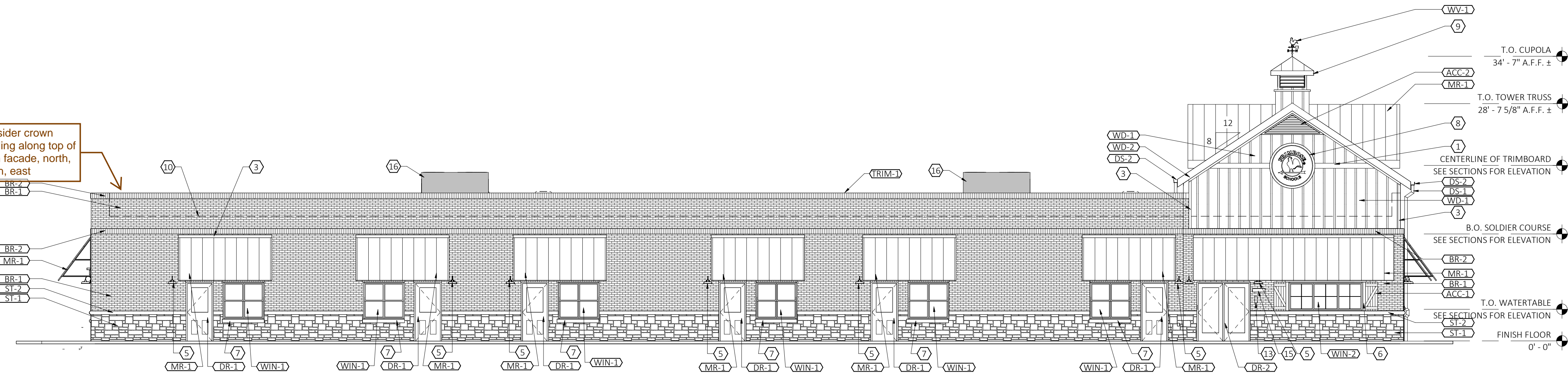
Date	Description
	CONSTR. DOC. & REVISIONS
	NOT FOR CONSTRUCTION
	Professional of Record: ARCH POR NAME LICENSE NO: EXP. DATE:
	Drawn/Checked DSC / AKB Project Number 2302925 Bid Date --/--/-- Permit Date --/--/-- For Construction --/--/--

FLOOR PLAN

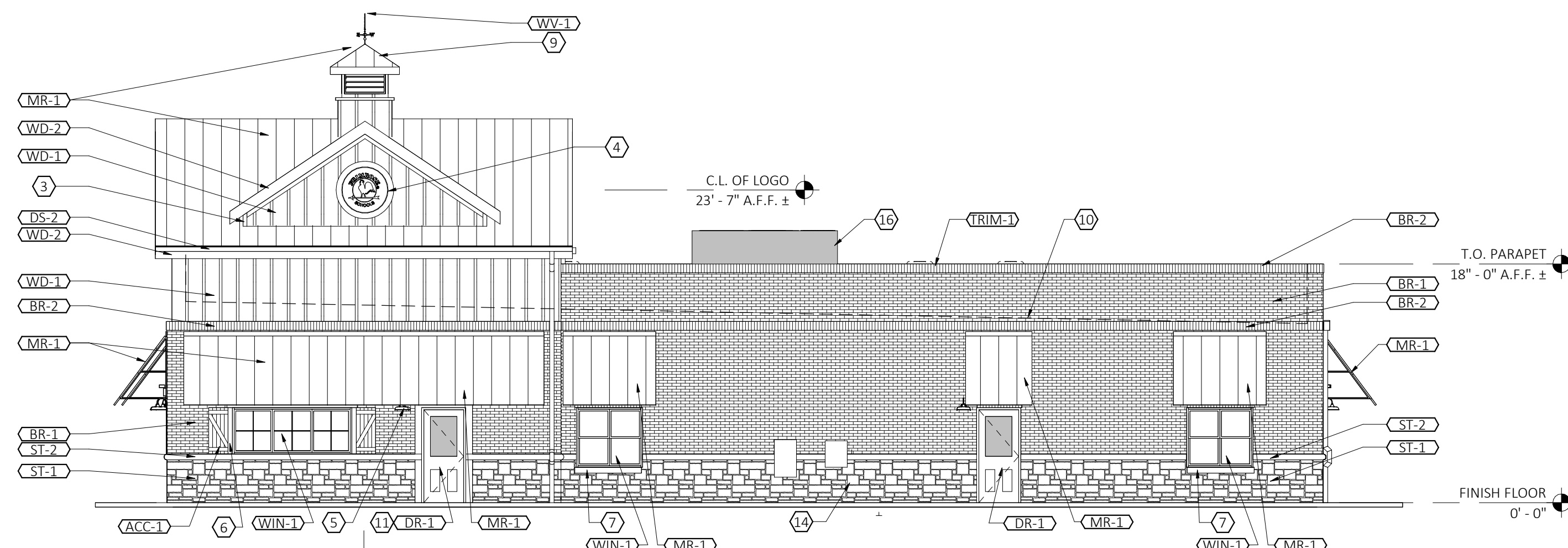
A1.0



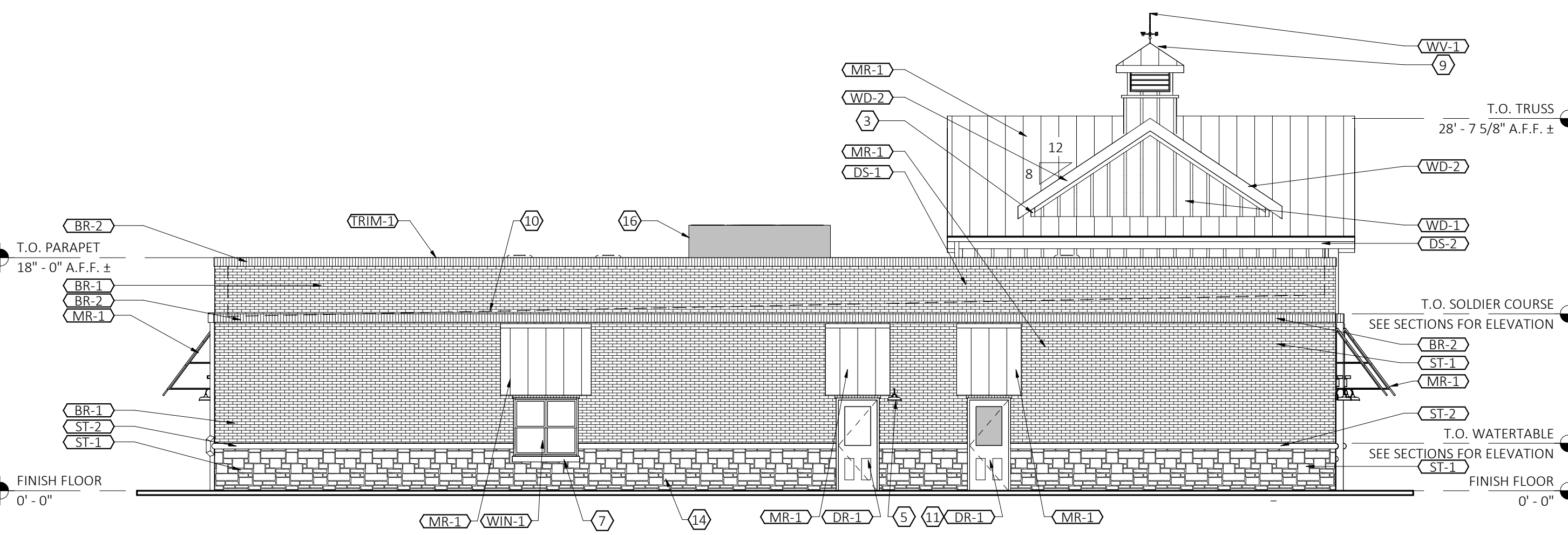
1 SOUTH ELEVATION
A4.0 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
A4.0 SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
A4.0 SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
A4.0 SCALE: 1/8" = 1'-0"

ELEVATION KEYED NOTES

- 1 5/4 x 8 TRIMBOARD, PAINT TO MATCH WD - 1
- 2 NOT USED
- 3 5/4 x 4 TRIMBOARD, WD - 2
- 4 42" ROUND LED LIGHTED SIGN (INTERNALLY LIT). SEE 6/A2.4 FOR MOUNTING DETAIL.
- 5 LIGHTING, REFER TO ELECTRICAL DRAWINGS.
- 6 VERTICAL TRIMBOARD AT OFFICE WINDOW TO BE 5/4 x 4, WD-1
- 7 BULLNOSE STONE WINDOW SILL
- 8 60" ROUND LED LIGHTED SIGN (INTERNALLY LIT). SEE 6/A2.4 FOR MOUNTING DETAIL
- 9 CUPOLA WITH WEATHERVANE. PAINT ALL SURFACES TO MATCH "COBBLESTONE", ROOF TO BE MR - 1 REFER TO 1A/A6.3 FOR CONSTRUCTION.
- 10 ROOF LINE BEHIND PARAPET WALL.
- 11 GLAZING TO RECEIVE WINDOW FILM, TINT - 1. SEE FINISH SCHEDULE SHEET A2.2
- 12 DOWNSPOUTS TIED INTO UNDERGROUND STORM SEWER BELOW GRADE.
- 13 KNOX BOX OR APPROVED EQUAL. COORDINATE LOCATION WITH LOCAL FIRE OFFICIAL
- 14 4' - 0" HIGH SOLID VINYL FENCE WITH 3' - 0" W GATE(S). COLOR: TAN
- 15 BEIGE ALUMINUM PLAQUE W/6" REFLECTIVE BLACK VINYL NUMBERS. PROVIDED BY 1 HOUR SIGN. COORDINATE LOCATION WITH LOCAL FIRE OFFICIAL.
- 16 RTU SCREEN. SEE NOTE BELOW***

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION	SPECIFICATION
MR-1	METAL ROOF	BERRIDGE CEE-LOCK SYSTEM. COLOR: DARK BRONZE.
ST-1	STONE WAINSCOT	LONESTAR STONE - LIBERTY CLASSIC - AUTUMN. GROUT: LIGHT BUFF COLOR.
ST-2	STONE CAP & WINDOW SILL	PRECAST BULLNOSE STONE SILL. COLOR: COBBLESTONE
TRIM	MISC METAL TRIM & FLASHING	ANY MISC METAL TRIM & FLASHING NOT NOTED AS TRIM-1 OR TRIM-2 SHOULD MATCH COLOR OF ADJACENT SURFACE. CONTACT ARCHITECT FOR DIRECTION AS REQ'D.
TRIM-1	MTL COPING @ PARAPET WALLS	COLOR TO MATCH JAMES HARDIE "COBBLESTONE"
TRIM-2	MTL TRIM @ METAL ROOF	COLOR: TO MATCH "MR-1"
WD-1	BOARD & BATTEN SIDING	HARDIE PANEL (4' X 10') & HARDIE TRIM BATTEN BOARDS (2 1/2" WIDE @ 2' - 0" O.C.) FINISH: SMOOTH. COLOR: COBBLESTONE
WD-2	FASCIA TRIM @ METAL ROOF	COLOR: TO MATCH MR-1
ACC-1	SHUTTERS	EKENA MILLWORK: TWO BATTEN W/Z-BAR BOARD & BATTEN COMPOSITE SHUTTERS. 3' - 6" T x 1' - 6" W. SHUTTERS TO BE ORDERED PRIMED, PAINT TO MATCH "COBBLESTONE"
ACC-2	LOUVERS	AMERICAN LOUVER & VENT COMPANY, TG81260 OR APPROVED EQUAL. COLOR: TO MATCH "COBBLESTONE"
WV-1	WEATHER VANE	LARGE COPPER ROOSTER WEATHERVANE. SEE 1A/A6.3 FOR ADDITIONAL INFORMATION.
DS-1	SCUPPERS, DOWNSPOUTS @ GABLED ROOF	COLOR: TO MATCH "COBBLESTONE". 6" GUTTERS AND DOWN SPOUTS U.N.O.
DS-2	GUTTERS ALONG METAL ROOF	COLOR: TO MATCH "MR - 1"
DR-1	HALF LITE DOORS	EXTERIOR INSULATED METAL HALF LITE DOOR; COLOR (INTERIOR & EXTERIOR): WHITE. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
DR-2	FULL LITE DOOR	EXTERIOR INSULATED METAL FULL LITE DOOR; COLOR (INTERIOR & EXTERIOR): WHITE. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
WIN - 1	VINYL WINDOWS	ANDERSEN: SILVERLINE 2200 SERIES. COLOR: WHITE. SEE WINDOW SCHEDULE.
WIN - 2	VINYL WINDOWS (@ OFFICE)	ANDERSEN: 100 SERIES. COLOR: WHITE. SEE WINDOW SCHEDULE.
BR-1	BRICK	COLUMBUS BRICK; COLOR: VIRGINIAN MODULAR
BR-2	BRICK SOLDIER COURSE	COLUMBUS BRICK; COLOR: VIRGINIAN MODULAR

*** ALL SIGNS MUST MEET THE REQUIREMENTS OF THE CITY AND BE APPROVED UNDER SEPARATE PERMITS ISSUED BY THE BUILDING DEPARTMENT ***

*** ALL ROOFTOP MECHANICAL EQUIPMENT WILL BE SCREENED UTILIZING RTU SCREENS. SCREENS WILL BE AT A MINIMUM AS TALL AS THE TALLEST PIECE OF MECHANICAL EQUIPMENT. SCREENS TO BE PAINTED TO MATCH SIDING COLOR ON BUILDING.***

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ROCHESTER HILLS, MI



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Date
Description
CONSTR. DOC. & REVISIONS
No.

NOT FOR CONSTRUCTION

Professional of Record:

Drawn/Checked DSC / AKB
Project Number 2302925
Bid Date --/--/--
Permit Date --/--/--
For Construction --/--/--

EXTERIOR ELEVATIONS

A4.0
7/25/23