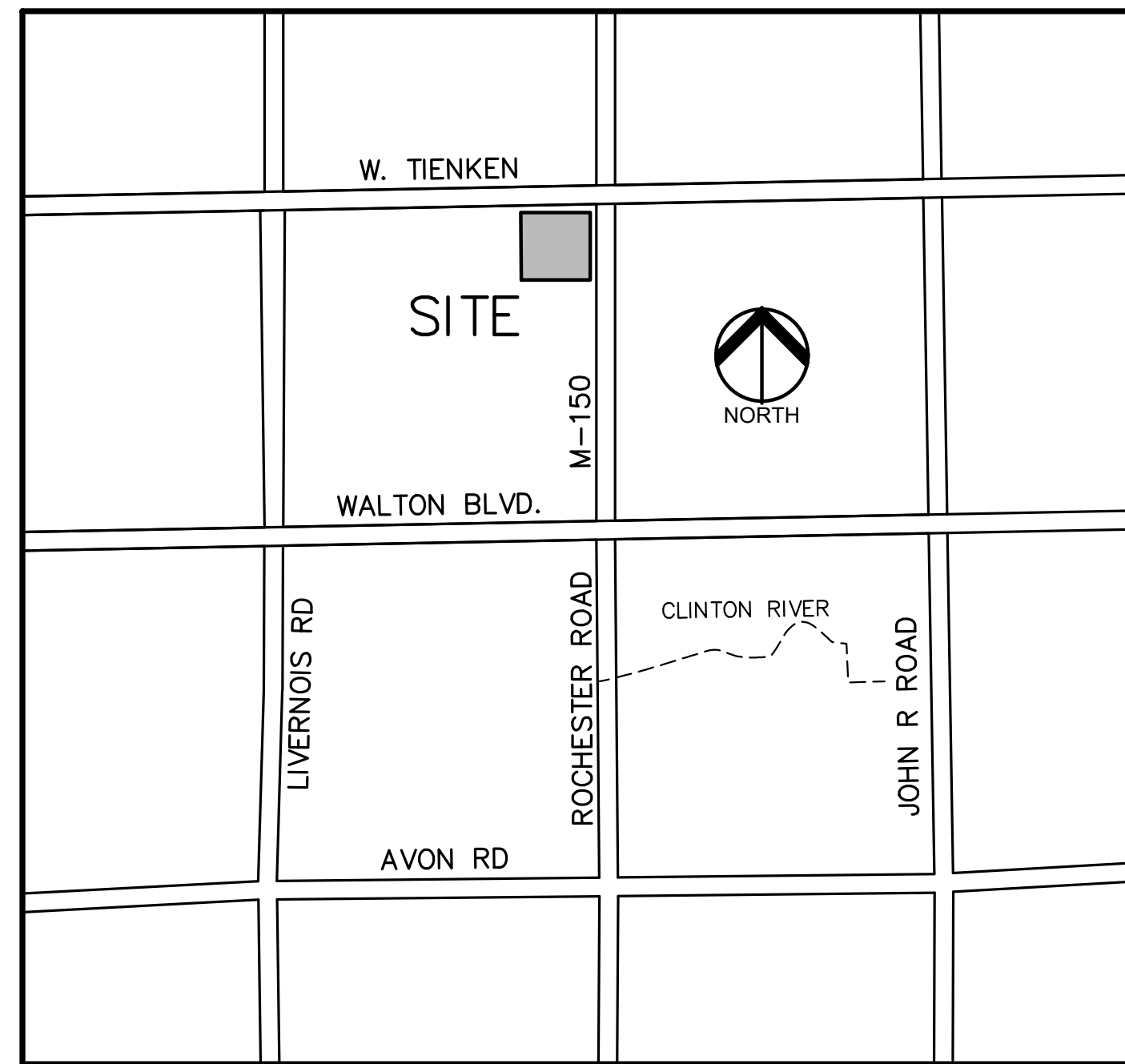


PRELIMINARY SITE PLAN

NORTH HILL SHOPPING CENTER

1467 N. ROCHESTER ROAD
CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

PERMIT / APPROVAL SUMMARY			
AGENCY	DATE SUBMITTED	DATE APPROVED	PERMIT NUMBER
 J2023-0071 PSP2023-0025 Revision #2 Received 1/8/2023		City of Rochester Hills Planning & Economic Development	SP



INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-3.0	OVERALL SITE PLAN
C-3.1	PRELIMINARY SITE PLAN
C-3.2	FIRE PROTECTION PLAN
C-4.0	PRELIMINARY GRADING PLAN
C-6.0	PRELIMINARY UTILITY PLAN
C-9.0	NOTES AND DETAILS
C-9.1	DETAILS
LANDSCAPE PLANS	
L-1.0	OVERALL LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS
T-1.0	TREE PRESERVATION PLAN
ARCHITECTURAL PLAN	
A-1	CONCEPTUAL FLOOR PLAN
A-2	CONCEPTUAL BLDG. ELEVATIONS
ELECTRICAL PLAN	
PH-1	PHOTOMETRIC PLAN
PH-2	LIGHT FIXTURE DETAILS

Site Plan Review
 Reviewed for compliance with City Ordinance, Building and Fire Codes
 Conditions and mark-ups noted throughout plan set must be addressed prior to final approval

Department	Reviewer	Approved
Assessing	Assessing	Yes
Building	Mark Artinian 248-841-2446 ArtinianM@RochesterHills.org	Yes
Engineering - Utilities	Jason Boughton 248-841-2490 BoughtonJ@RochesterHills.org	Yes
Engineering Legal	Jenny McGuckin 248-841-2494 mcguckinj@rochesterhills.org	YES <small>Date: 01/10/2024</small>
Fire	Lt. Jon Mills 248-841-2708 MillsJ@RochesterHills.org	Yes
Natural Resources	Matt Einheuser 248-841-2551 EinheuserM@RochesterHills.org	Yes
Planning	Chris McLeod 248-841-2572 mcleodc@RochesterHills.org	Yes
Traffic	Keith Depp 248-841-2503 DeppK@RochesterHills.org	Yes

- SP
- TRP
- BP
- LIP

Subject to notations on plans

Next Steps:
 Schedule Planning Commission Date:
 Tentative Date - February 20, 2024 - 7:00 p.m.

PC

APPLICANT/OWNER MARKUS MANAGEMENT GROUP 251 E. MERRILL - SUITE 205 BIRMINGHAM, MI 48009 CONTACT: DORAI MARKUS PHONE: 248.203.9090 EMAIL: DMARKUS@MARKUSLLC.COM	CIVIL ENGINEER PEA GROUP 1849 POND RUN AUBURN HILLS, MI 48326 CONTACT: JAMES P. BUTLER, PE PHONE: 844.813.2949 EMAIL: JBUTLER@PEAGROUP.COM
ARCHITECT ROGVOY ARCHITECTS 32500 TELEGRAPH ROAD BINGHAM FARMS, MI 48025 CONTACT: MARK DRANE PHONE: 248.540.7700 EMAIL: MDRANE@ROGVOY.COM	LANDSCAPE ARCHITECT PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS, PLA PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM



REVISIONS	
DESCRIPTION	DATE
PER CITY COMMENTS	12/8/2023
PER CITY COMMENTS	1/5/2024



BENCHMARKS:
(GPS DERIVED - NAVD83)

BM #300
ARROW ON A HYDRANT WIDENING LOCATED ON THE SOUTH SIDE OF W. TIENKEN ROAD AT THE WEST ENTRANCE TO THE TRUCK DOCK AREA OF HOLLYWOOD MARKET (1495 N. ROCHESTER RD) (NOT SHOWN ON SURVEY) ELEV. - 000.00

A revised benchmark elevation will be required on the construction plan.

BM #301
FOUND RAILROAD SPIKE IN THE EAST FACE OF A POWER POLE LOCATED ON THE EAST SIDE OF ROCHESTER ROAD NEAR THE SOUTHEAST BUILDING CORNER OF VERIZON (1467 N. ROCHESTER RD) ELEV. - 804.70

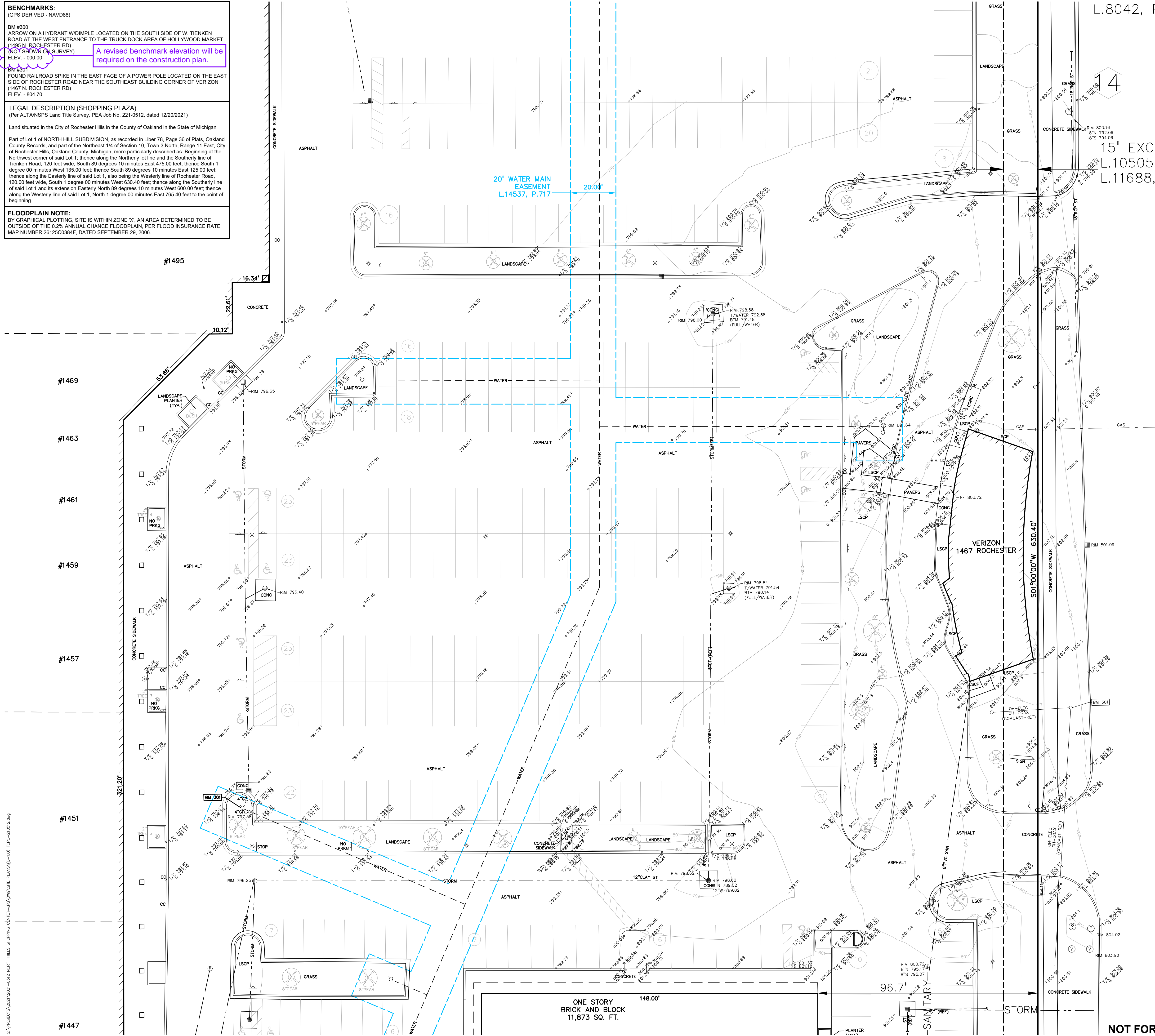
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FLOODPLAIN NOTE:
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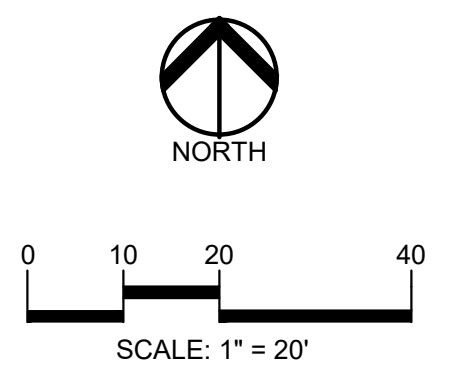
L.8042, P.211



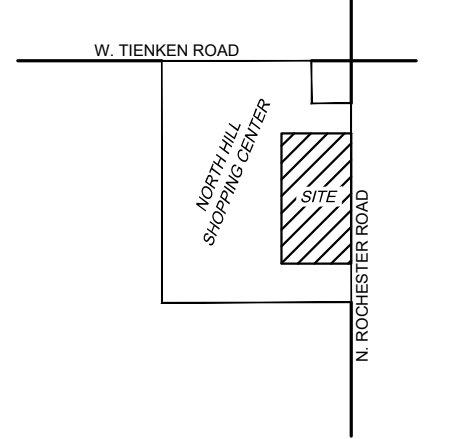
EAST LINE SECTION 10

ROCHESTER ROAD
120' WIDE - PUBLIC
(PROPOSED 150' WIDE)

NOTE:
A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE DEMOLITION OF THE EXISTING STRUCTURE AND RELATED SITE FEATURES



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CLIENT
MARKUS MANAGEMENT GROUP, LLC
251 EAST MERRILL STREET, SUITE: 205
BIRMINGHAM, MICHIGAN 48009

PROJECT TITLE
NORTH HILL SHOPPING CENTER
1467 N. ROCHESTER ROAD
ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

REVISIONS	
PER CITY COMMENTS	12.06.23
PER CITY COMMENTS	01.05.24

ORIGINAL ISSUE DATE:
SEPTEMBER 25, 2023

DRAWING TITLE
TOPOGRAPHIC SURVEY

PEA JOB NO.	2021-0512
P.M.	JPB
DN.	SWS
DES.	SWS
DRAWING NUMBER:	

C-1.0

NOT FOR CONSTRUCTION (CITY FILE #23-0071; SECTION 10)

ROCHESTER HILLS MICHIGAN

J2023-0071
PSP2023-0025
Revision #2

Received 1/8/2024
City of Rochester Hills
Planning & Economic Development

S:\PROJECTS\2021-0012 NORTH HILLS SHOPPING CENTER-PEA\DWG\SITE PLANS\C-1.0_TOP-21012.dwg

BENCHMARKS:
(GPS DERIVED - NAVD83)

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ELEV. = 000.00

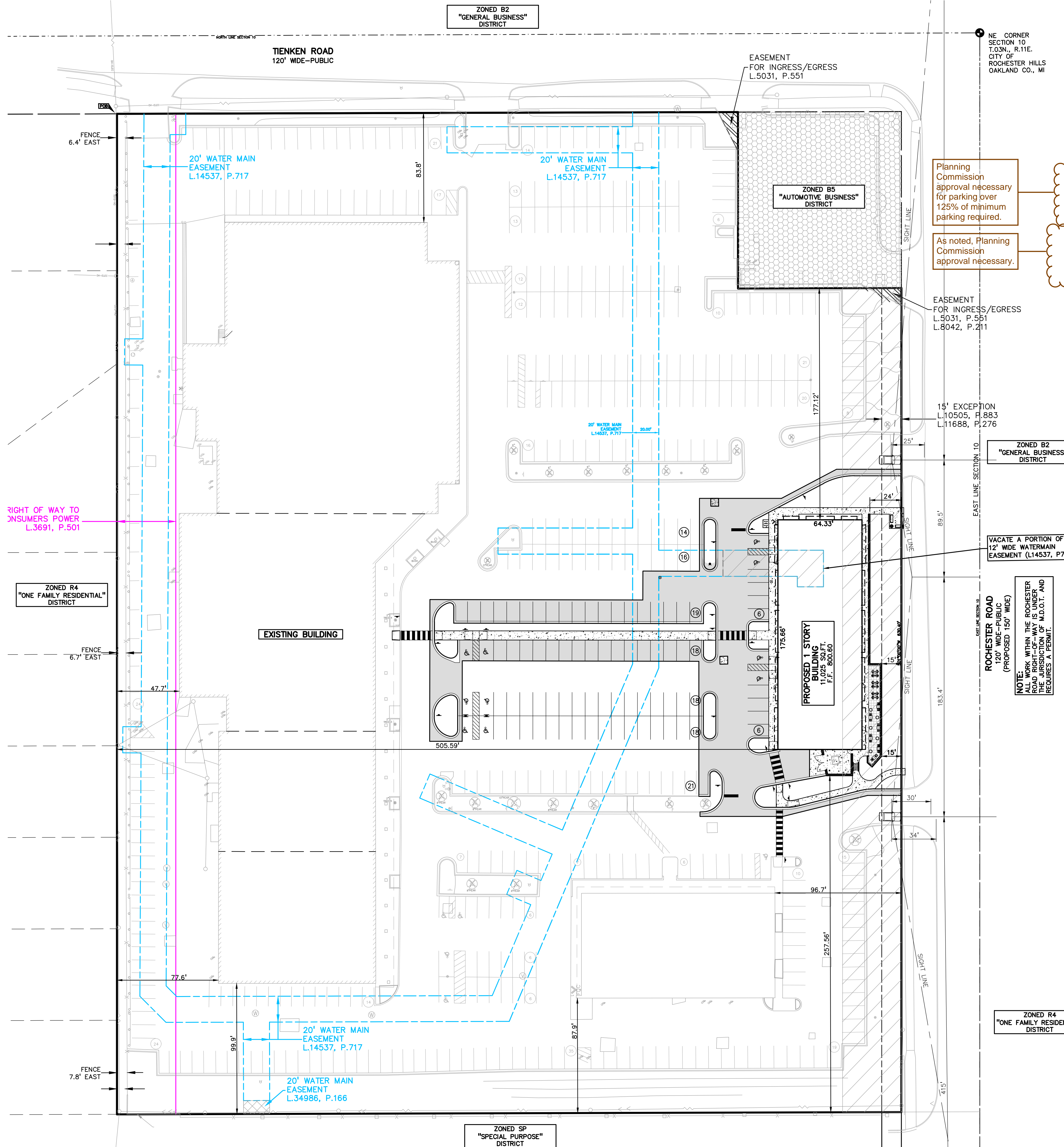
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ELEV. = 804.70

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SITE DATA TABLE:

SITE AREA: 10.16 ACRES (442,363 SQ.FT.) NET AND GROSS

ZONING: FB - FLEX BUSINESS

PROPOSED USE: RETAIL (11,025 SF)

BUILDING INFORMATION:
MAXIMUM ALLOWABLE BUILDING HEIGHT = 30 FEET (2 STORIES)
PROPOSED BUILDING HEIGHT = 25'-4" (1 STORY)

BUILDING FOOTPRINT AREA = (EX) 101,213 SQ.FT. + (PROP) 11,025 SQ.FT. = 112,238 SQ.FT.

BUILDING LOT COVERAGE = 25.38%

SETBACK REQUIREMENTS:	REQUIRED:	PROPOSED:
FRONT:	0'	15'
SIDE:	25'	177.12' / 257.56'
REAR:	50'	505.98'

PARKING CALCULATIONS:
RETAIL = 1 SPACE PER 400 S.F.
TOTAL RETAIL PARKING REQUIRED = 112,238/400 = 280.72 OR 281 SPACES

TOTAL REQUIRED PARKING = 281 SPACES (INC. 5 SPACES + 2% OF TOTAL 5 + 5.62 = 10.62 OR 11 ADA SPACES)

TOTAL PROPOSED PARKING SPACES = 498 SPACES INC. 19 ADA SPACES

LOADING CALCULATIONS:
LOADING REQUIRED = 1 SPACE PER 20,000 SQ.FT. PER BUILDING
LOADING PROVIDED = 1 SPACES AT SIDE OF BUILDING (REQUIRES PLANNING COMMISSION APPROVAL)

OPEN SPACE:
EXISTING PERVIOUS AREA REMOVED: 10,233 SQ.FT.
PROPOSED PERVIOUS AREA ADDED: 9,615 SQ.FT.

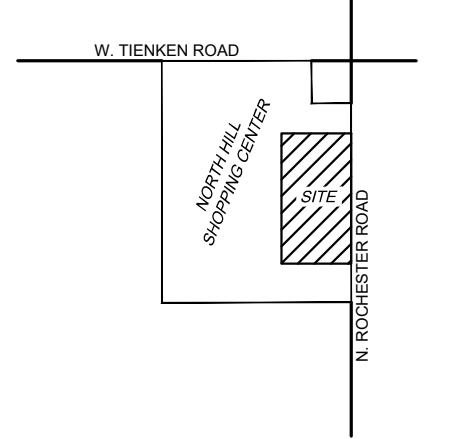
NO STORM WATER DETENTION HAS BEEN PROPOSED DUE TO THE MINOR DIFFERENCE BETWEEN EXISTING AND PROPOSED PERVIOUS AREAS. (10,233 - 9,615 = 618 SQ.FT.)

Planning Commission approval necessary for parking over 125% of minimum parking required.

As noted, Planning Commission approval necessary.



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1467 N. ROCHESTER ROAD
ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

REVISIONS

PER CITY COMMENTS	12.06.23
PER CITY COMMENTS	01.05.24

ORIGINAL ISSUE DATE:
SEPTEMBER 25, 2023

DRAWING TITLE
OVERALL SITE PLAN

PEA JOB NO.	2021-0512
P.M.	JPB
DN.	SWS
DES.	SWS
DRAWING NUMBER:	

ROCHESTER HILLS MICHIGAN

J2023-0071
PSP2023-0025
Revision #2

Received 1/8/2024
City of Rochester Hills
Planning & Economic Development

NOT FOR CONSTRUCTION (CITY FILE #23-0071; SECTION 10)

C-3.0

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BENCHMARKS:
(GPS DERIVED - NAVD83)

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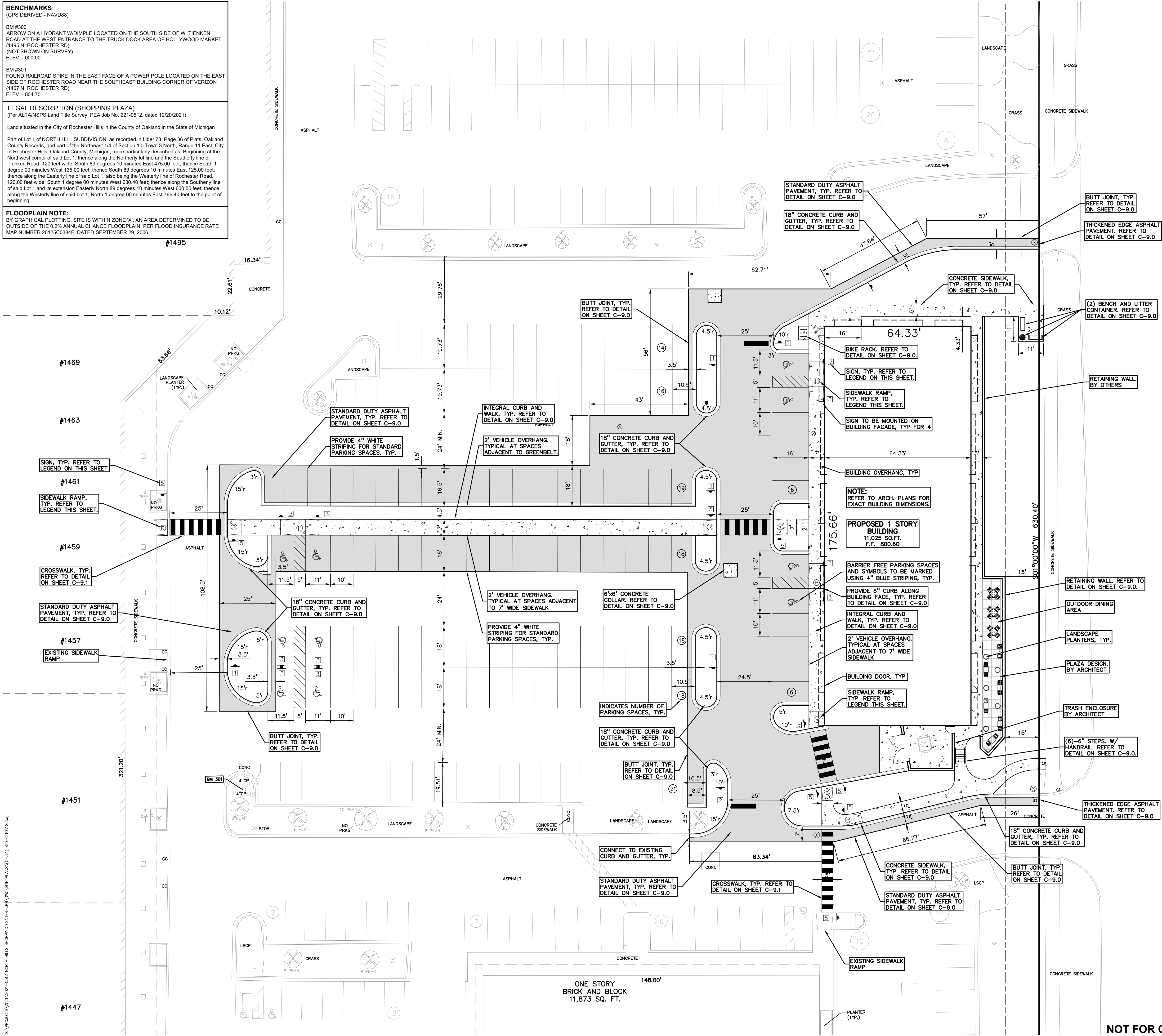
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LEGEND:

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- GRAVEL
- WETLAND
- CONCRETE CURB AND GUTTER
- REVERSE GUTTER PAN
- SETBACK LINE
- SIGN
- LIGHTPOLE
- FENCE
- GUARD RAIL

SIDEWALK RAMP LEGEND:

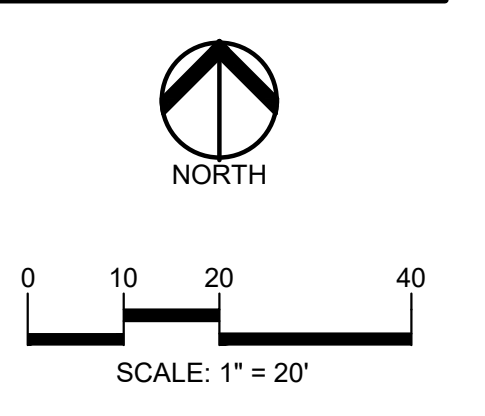
- SIDEWALK RAMP 'TYPE R'
- SIDEWALK RAMP 'TYPE P'
- CURB DROP ONLY

REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

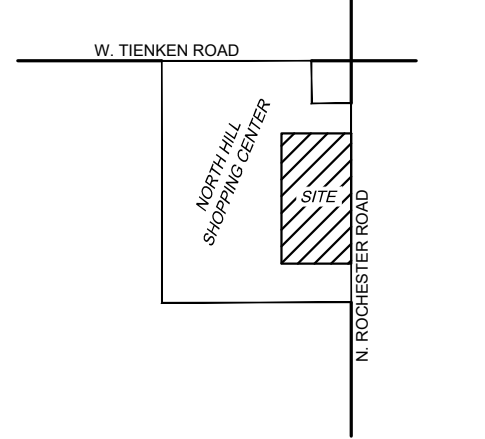
SIGN LEGEND:

- 'NO PARKING FIRE LANE' SIGN
- 'STOP' SIGN
- 'BARRIER FREE PARKING' SIGN
- 'CROSSWALK' SIGN
- 'NO PARKING LOADING ZONE' SIGN

REFER TO DETAIL SHEET FOR SIGN DETAILS



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PROJECT TITLE
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REVISIONS

PER CITY COMMENTS	12.06.23
PER CITY COMMENTS	01.05.24

ORIGINAL ISSUE DATE:
SEPTEMBER 25, 2023

DRAWING TITLE
SITE PLAN

ROCHESTER HILLS MICHIGAN

J2023-0071
PSP2023-0025
Revision #2

Received 1/8/2024
City of Rochester Hills
Planning & Economic Development

- GENERAL NOTES:**
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
 - 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
 - REFER TO DETAIL SHEET FOR ON-SITE PAVING DETAILS.

PEA JOB NO. 2021-0512

P.M.	JPB
DN.	SWS
DES.	SWS

DRAWING NUMBER:

C-3.1

NOT FOR CONSTRUCTION (CITY FILE #23-0071; SECTION 10)

BENCHMARKS:
(GPS DERIVED - NAVD83)

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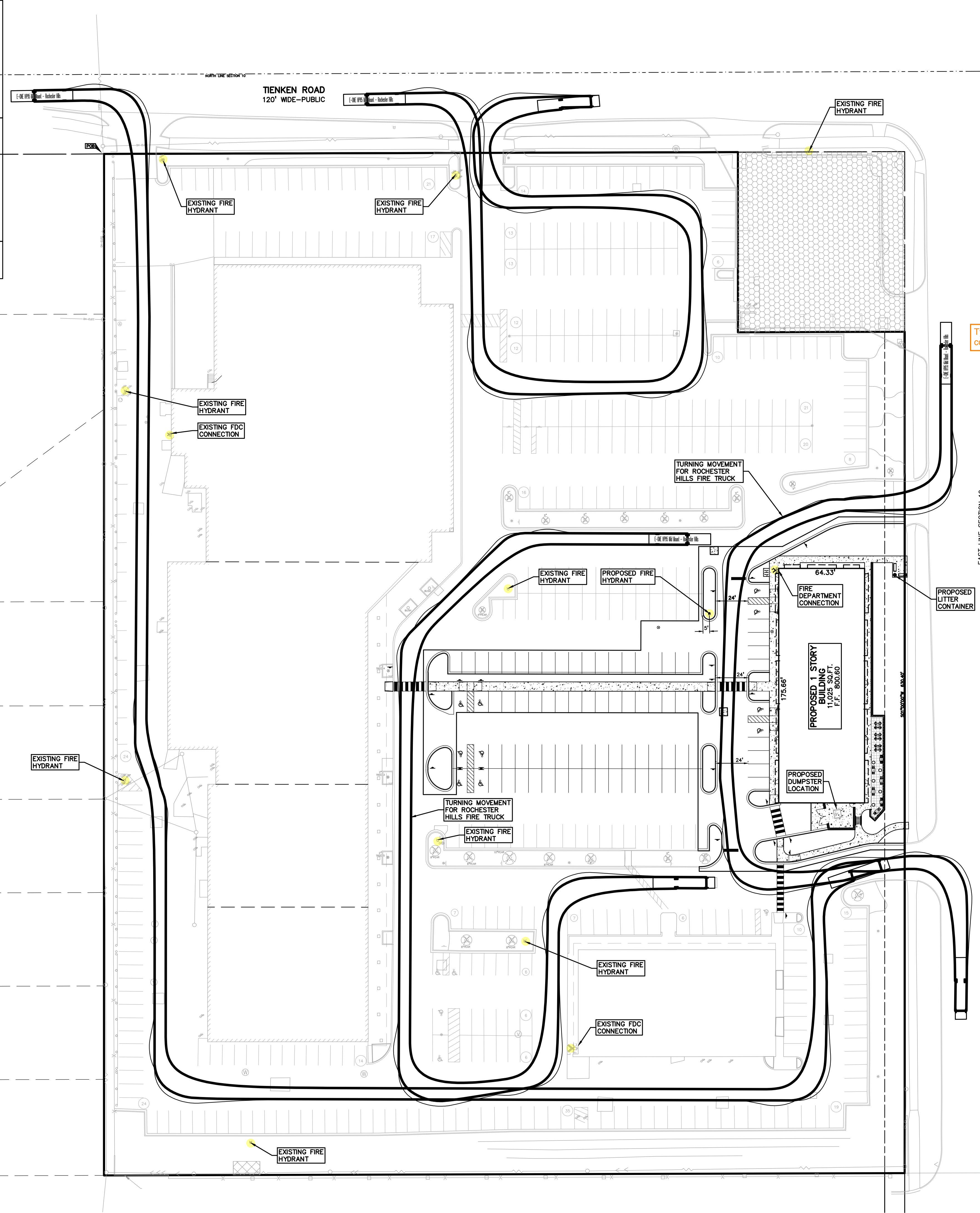
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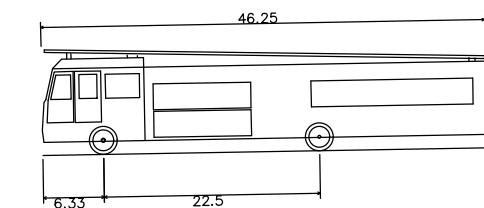
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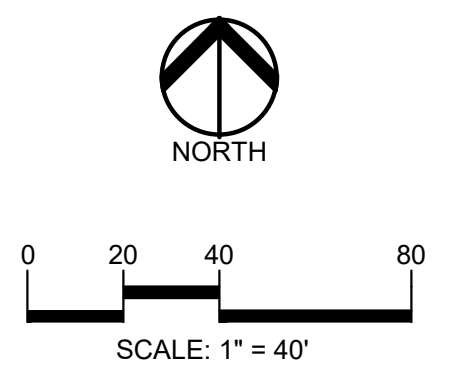
- ROCHESTER HILLS FIRE DEPARTMENT NOTES:**
1. A KNOX KEY SYSTEM SHALL BE INSTALLED, IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE FROM THE KNOX COMPANY AT www.knoxbox.com (3200 SERIES BOX).
 2. FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE", AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 3. CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE (IFC) 2006 CHAPTER 14.
 4. OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES.
 5. PROVIDE A "NO PARKING FIRE DEPARTMENT CONNECTION" SIGN OVER THE FIRE DEPARTMENT CONNECTION.
 6. FDC'S SHALL NOT BE OBSTRUCTED BY LANDSCAPING, PARKING OR ANY OTHER TEMPORARY OR PERMANENT MATERIALS OR DEVICES.
 7. IF THE FIRE DEPARTMENT CONNECTION IS NOT LOCATED ON THE STREET FRONT OF THE BUILDING, A WHITE/CLEAR STROBE LIGHT SHALL BE TIED INTO THE FIRE ALARM SYSTEM AND INSTALLED OVER THE FDC.
 8. A FIRE HYDRANT IS REQUIRED TO BE WITHIN 100 FEET OF A FIRE DEPARTMENT CONNECTION.

- GENERAL NOTES:**
1. PROPOSED BUILDING SQUARE FOOTAGE = 11,025 SF. CONSTRUCTION TYPE - NON-COMBUSTIBLE TYPE VB
 2. MINIMUM WIDTH OF PROPOSED DRIVES = 24 FEET FACE OF CURB TO FACE OF CURB.
 3. NO UNDERGROUND DETENTION IS EXISTING NOR PROPOSED ON-SITE.

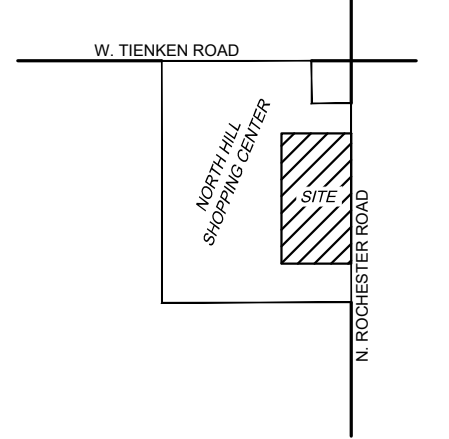
Type 'VB' is a combustible construction type.



E-ONE HP95 Mid Mount - Rochester Hills
Overall Length 46.20ft
Overall Width 8.33ft
Overall Body Height 11.00ft
Min Body Ground Clearance 4.33ft
Track Width 6.00ft
Lock-to-lock Time 38.17ft



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REVISIONS	
PER CITY COMMENTS	12.06.23
PER CITY COMMENTS	01.05.24

ORIGINAL ISSUE DATE:
SEPTEMBER 25, 2023

DRAWING TITLE
FIRE PROTECTION PLAN

PEA JOB NO.	2021-0512
P.M.	JPB
DN	SWS
DES.	SWS

DRAWING NUMBER:
C-3.2



J2023-0074
PSP2023-0025
Revision #2

Received 1/8/2024
City of Rochester Hills
Planning & Economic Development

NOT FOR CONSTRUCTION (CITY FILE #23-0071; SECTION 10)

S:\PROJECTS\2021\2021-0012 NORTH HILLS SHOPPING CENTER-PEA\DWG\STATE PLANS\C-3.2 FIRE-210116.dwg

BENCHMARKS:
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(Per ALTANSPS Land Title Survey, PEA Job No. 221-0512, dated 12/20/2021)

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Part of Lot 1 of NORTH HILL SUBDIVISION, as recorded in Liber 78, Page 36 of Plats, Oakland County Records, and part of the Northeast 1/4 of Section 10, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan, more particularly described as: Beginning at the Northwest corner of said Lot 1, thence along the Northerly lot line and the Southerly line of Tienken Road, 120 feet wide, South 89 degrees 10 minutes East 475.00 feet; thence South 1 degree 00 minutes West 135.00 feet; thence South 89 degrees 10 minutes East 125.00 feet; thence along the Easterly line of said Lot 1, also being the Westerly line of Rochester Road, 120.00 feet wide, South 1 degree 00 minutes West 630.40 feet; thence along the Southerly line of said Lot 1 and its extension Easterly North 89 degrees 10 minutes West 800.00 feet; thence along the Westerly line of said Lot 1, North 1 degree 00 minutes East 765.40 feet to the point of beginning.

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "X", AN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP NUMBER 26125C0384F, DATED SEPTEMBER 29, 2006.



GRADING LEGEND:

EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION, TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.

EXISTING CONTOUR
PROPOSED CONTOUR

PROPOSED REVERSE GUTTER PAN

PROPOSED RIDGE LINE

PROPOSED SWALE/DITCH

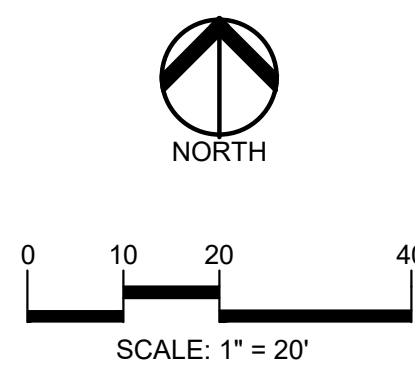
ABBREVIATIONS

T/C = TOP OF CURB G = GUTTER GRADE
T/P = TOP OF PAVEMENT FG = FINISH GRADE
T/S = TOP OF SIDEWALK RIM = RIM ELEVATION
T/W = TOP OF WALL BW = BOTTOM OF WALL

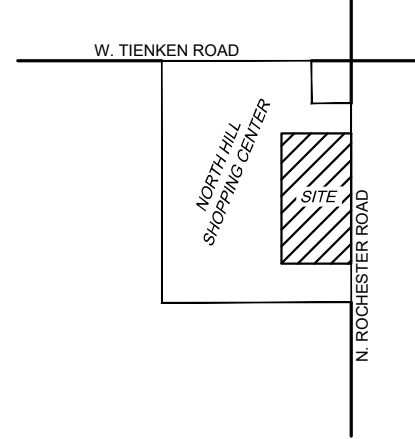
REFER TO GRADING NOTES ON SHEET C-9.0

RETAINING WALL NOTE:
TOP OF WALL (T/W) AND BOTTOM OF WALL (B/W) GRADES ARE THE FINISH GRADE AT THE TOP AND BOTTOM OF THE RETAINING WALL, NOT ACTUAL TOP AND BOTTOM OF THE WALL STRUCTURE.

EARTHWORK BALANCING NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.



CAUTION!!
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CLIENT
MARKUS MANAGEMENT GROUP, LLC
251 EAST MERRILL STREET, SUITE: 205
BIRMINGHAM, MICHIGAN 48009

PROJECT TITLE
NORTH HILL SHOPPING CENTER
1467 N. ROCHESTER ROAD
ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

REVISIONS

PER CITY COMMENTS	12.06.23
PER CITY COMMENTS	01.05.24

ORIGINAL ISSUE DATE:
SEPTEMBER 25, 2023

DRAWING TITLE
PRELIMINARY GRADING PLAN

PEA JOB NO.	2021-0512
P.M.	JPB
DN.	SWS
DES.	SWS
DRAWING NUMBER:	

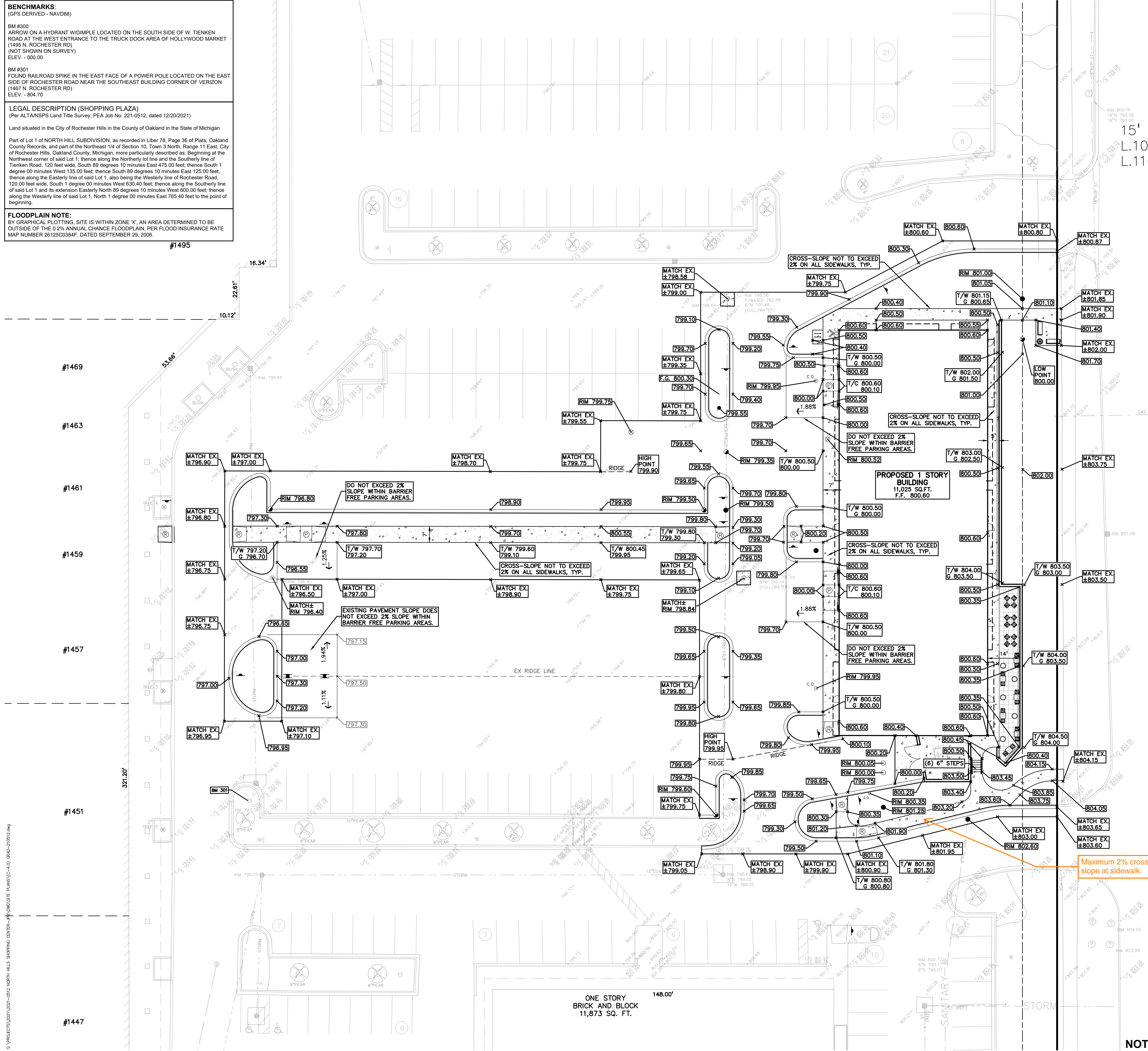
C-4.0

15' EXCEPTION
L.10505, P.883
L.11688, P.276

EAST LINE SECTION 10

ROCHESTER ROAD
120' WIDE-PUBLIC
(PROPOSED 150' WIDE)

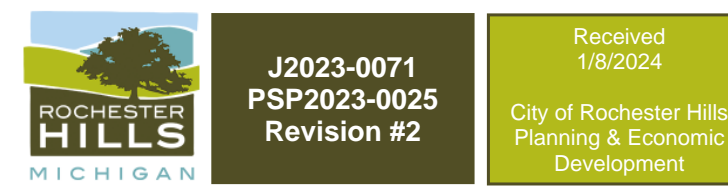
EAST LINE SECTION 10



Maximum 2% cross slope at sidewalk.

NOT FOR CONSTRUCTION (CITY FILE #23-0071; SECTION 10)

S:\PROJECTS\2021\2021-0512 NORTH HILL SHOPPING CENTER-PEA\DWG\STATE PLANS\C-4.0 GRAD-210512.dwg



BENCHMARKS:
(GPS DERIVED - NAVD83)

BM #300
ARROW ON A HYDRANT WINDMILE LOCATED ON THE SOUTH SIDE OF W. TIENKEN ROAD AT THE WEST ENTRANCE TO THE TRUCK DOCK AREA OF HOLLYWOOD MARKET (1495 N. ROCHESTER RD)
(NOT SHOWN ON SURVEY)
ELEV. - 800.00

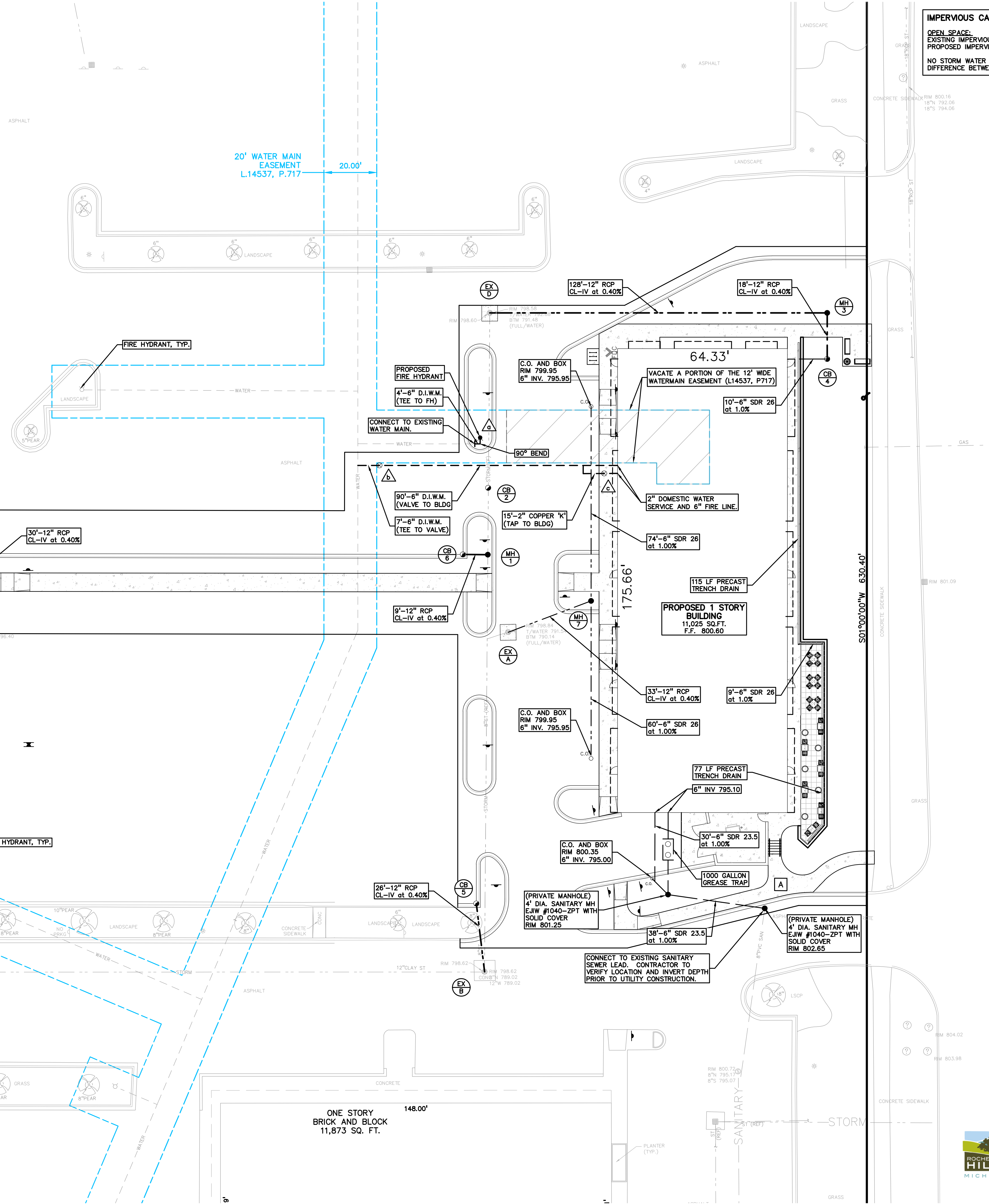
BM #301
FOUND RAILROAD SPIKE IN THE EAST FACE OF A POWER POLE LOCATED ON THE EAST SIDE OF ROCHESTER ROAD NEAR THE SOUTHEAST BUILDING CORNER OF VERIZON (1467 N. ROCHESTER RD)
ELEV. - 804.70

LEGAL DESCRIPTION (SHOPPING PLAZA)
(Per ALTANSPS Land Title Survey, PEA Job No. 221-0512, dated 12/20/2021)

Land situated in the City of Rochester Hills in the County of Oakland in the State of Michigan

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IMPERVIOUS CALCULATIONS:

OPEN SPACE:
EXISTING IMPERVIOUS AREA: 10,538 SQ.FT.
PROPOSED IMPERVIOUS AREA: 9,848 SQ.FT.

NO STORM WATER DETENTION HAS BEEN PROPOSED DUE TO THE MINIMAL DIFFERENCE BETWEEN EXISTING AND PROPOSED IMPERVIOUS AREAS.

- UTILITY LEGEND:**
- OH-ELEC-W-O EX. OH. ELEC. POLE & GUY WIRE
 - UG-CATV EX. U.G. CABLE TV & PEDESTAL
 - UG-COMM EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
 - UG-ELEC EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
 - EX GAS LINE
 - EX GAS VALVE & GAS LINE MARKER
 - EX TRANSFORMER & IRRIGATION VALVE
 - EX WATER MAIN
 - EX HYDRANT, GATE VALVE & POST INDICATOR VALVE
 - EX WATER VALVE BOX & SHUTOFF
 - EX SANITARY SEWER
 - EX SANITARY CLEANOUT & MANHOLE
 - EX COMBINED SEWER MANHOLE
 - EX STORM SEWER
 - EX CLEANOUT & MANHOLE
 - EX SQUARE, ROUND, & BEEHIVE CATCH BASIN
 - EX YARD DRAIN & ROOF DRAIN
 - EX UNIDENTIFIED STRUCTURE
 - PROPOSED WATER MAIN
 - PROPOSED HYDRANT AND GATE VALVE
 - PROPOSED TAPPING SLEEVE, VALVE & WELL
 - PROPOSED POST INDICATOR VALVE
 - PROPOSED SANITARY SEWER
 - PROPOSED SANITARY CLEANOUT & MANHOLE
 - PROPOSED STORM SEWER
 - PROPOSED STORM SEWER CLEANOUT & MANHOLE
 - PROPOSED CATCH BASIN, INLET & YARD DRAIN

NOTE:
CONTRACTOR SHALL VERIFY ALL QUANTITIES, ANY DEVIATIONS TO THE PLAN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF PEA GROUP FOR VERIFICATION, PRIOR TO BIDDING.

PREMIUM TRENCH BACKFILL NOTE:
ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF THE EDGE OF PAVEMENT (OR WITHIN THE 45' LINE OF INFLUENCE OF PAVEMENT) SHALL HAVE M.D.O.T. CLASS II GRANULAR BACKFILL COMPACTED TO 95% MAX. DRY DENSITY (ASTM D-1557).

PUBLIC UTILITY EASEMENTS:
ALL SANITARY SEWERS 8" AND LARGER IN DIAMETER ARE TO BE PUBLIC AND SHALL BE LOCATED IN A 20' WIDE EASEMENT. ALL WATER MAIN SHALL BE LOCATED IN A 12' WIDE EASEMENT.

REFER TO UTILITY NOTES ON SHEET C-9.0.

CITY OF ROCHESTER STORM SEWER FRAME AND COVER NOTES

CATCH BASIN - PAVEMENT
FRAME: EJ 5105
COVER: TYPE "M1"

CATCH BASIN - CURB
FRAME AND COVER: EJ 50024/5000M DI HINGED ASSEMBLY

CATCH BASIN - YARD
FRAME: EJ 1040
COVER: TYPE "N"

MANHOLE
FRAME: EJ 1040Z
COVER: TYPE "B"

WATER MAIN STRUCTURE TABLE:

HYDRANT ASSEMBLY F.G. 800.30
8" GATE VALVE AND WELL RIM 799.75
2" GATE VALVE AND BOX RIM 800.52

REFER TO CITY OF ROCHESTER HILLS STANDARD DETAIL SHEETS FOR ALL WATER MAIN STRUCTURES AND DETAILS.

SANITARY SEWER BASIS OF DESIGN:
(Unit Factors Based on Oakland County Unit Assignment Factors)

RETAIL	
Total Area	11,075 SF
Unit Factor	0.4 /1,000 SF
REU	4.4
Population (P) (2.44 PEOPLE/EDU)	10.8 People

TOTAL FLOW BASED ON OAKLAND COUNTY UNIT FACTORS

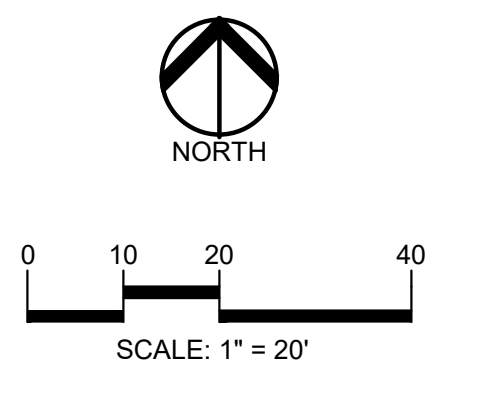
REU	4.4
Average Flow (100 GPCPD)	1,100 G.P.D.
	0.002 C.F.S.
P (1000s)	0.011
Peaking Factor (PF)	4.41
PF = (18+sqrt(P))/(4+sqrt(P))	
Peak Flow (G.P.D.)	4,852 G.P.D.
Peak Flow (C.F.S.)	0.008 C.F.S.
6" Pipe @ 1.00% Capacity Provided =	0.73 C.F.S.

WATER MAIN BASIS OF DESIGN:
(Unit Factors Based on Oakland County Unit Assignment Factors)

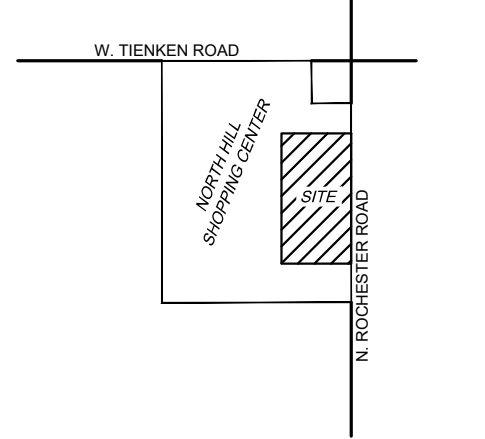
RETAIL	
Total Area	11,075 SF
Unit Factor	0.4 /1,000 SF
REU	4.4
Population (P) (2.44 PEOPLE/EDU)	10.8 People

TOTAL FLOW BASED ON OAKLAND COUNTY UNIT FACTORS

REU	4.4
Average Flow (150 GPCPD)	1,650 G.P.D.
	0.003 C.F.S.
	0.002 M.G.D.
Design Max. Flow = (2*avg)	3,300.00 G.P.D.
	0.005 C.F.S.
	0.003 M.G.D.
Building Type =	IB
Required Fire Flow =	1500 gpm for 2 hours



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CLIENT
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251 EAST MERRILL STREET, SUITE: 205
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PROJECT TITLE
NORTH HILL SHOPPING CENTER
1467 N. ROCHESTER ROAD
ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

REVISIONS

PER CITY COMMENTS	12.06.23
PER CITY COMMENTS	01.05.24

ORIGINAL ISSUE DATE:
SEPTEMBER 25, 2023

DRAWING TITLE
PRELIMINARY UTILITY PLAN

PEA JOB NO. 2021-0512

P.M. JPB
DN. SWS
DES. SWS

DRAWING NUMBER:
C-6.0



J2023-0071
PSP2023-0025
Revision #2

Received 1/8/2024
City of Rochester Hills
Planning & Economic Development

NOT FOR CONSTRUCTION (CITY FILE #23-0071; SECTION 10)

GENERAL NOTES:
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT OSHA, MDOT AND MUNICIPALITY STANDARDS AND REGULATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- THE CONTRACTOR MUST CONTACT THE ENGINEER SHOULD THEY ENCOUNTER ANY DESIGN ISSUES DURING CONSTRUCTION. IF THE CONTRACTOR MAKES DESIGN MODIFICATIONS WITHOUT THE WRITTEN DIRECTION OF THE DESIGN ENGINEER, THE CONTRACTOR DOES SO AT HIS OWN RISK.
- ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL CITY INSPECTION FEES.
- THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. IF NO NOTIFICATION IS GIVEN AND DAMAGE RESULTS, SAID DAMAGE WILL BE REPAIRED AT SOLE EXPENSE OF THE CONTRACTOR. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- CONTRACTOR TO VERIFY THAT THE PLANS AND SPECIFICATIONS ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHERMORE, VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING FINAL APPROVAL, HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE AT THE CONTRACTOR'S EXPENSE. SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND/OR SPECIFICATIONS, THEY SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
- ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
- ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, SIGNAGE, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY MAINTAIN TRAFFIC IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION). THE DESIGN ENGINEER, OWNER, CITY AND STATE SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES, MANHOLES, CATCH BASINS, INLETS, GATE WELLS, ETC.) WITHIN GRADED AND /OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

PAVING NOTES:

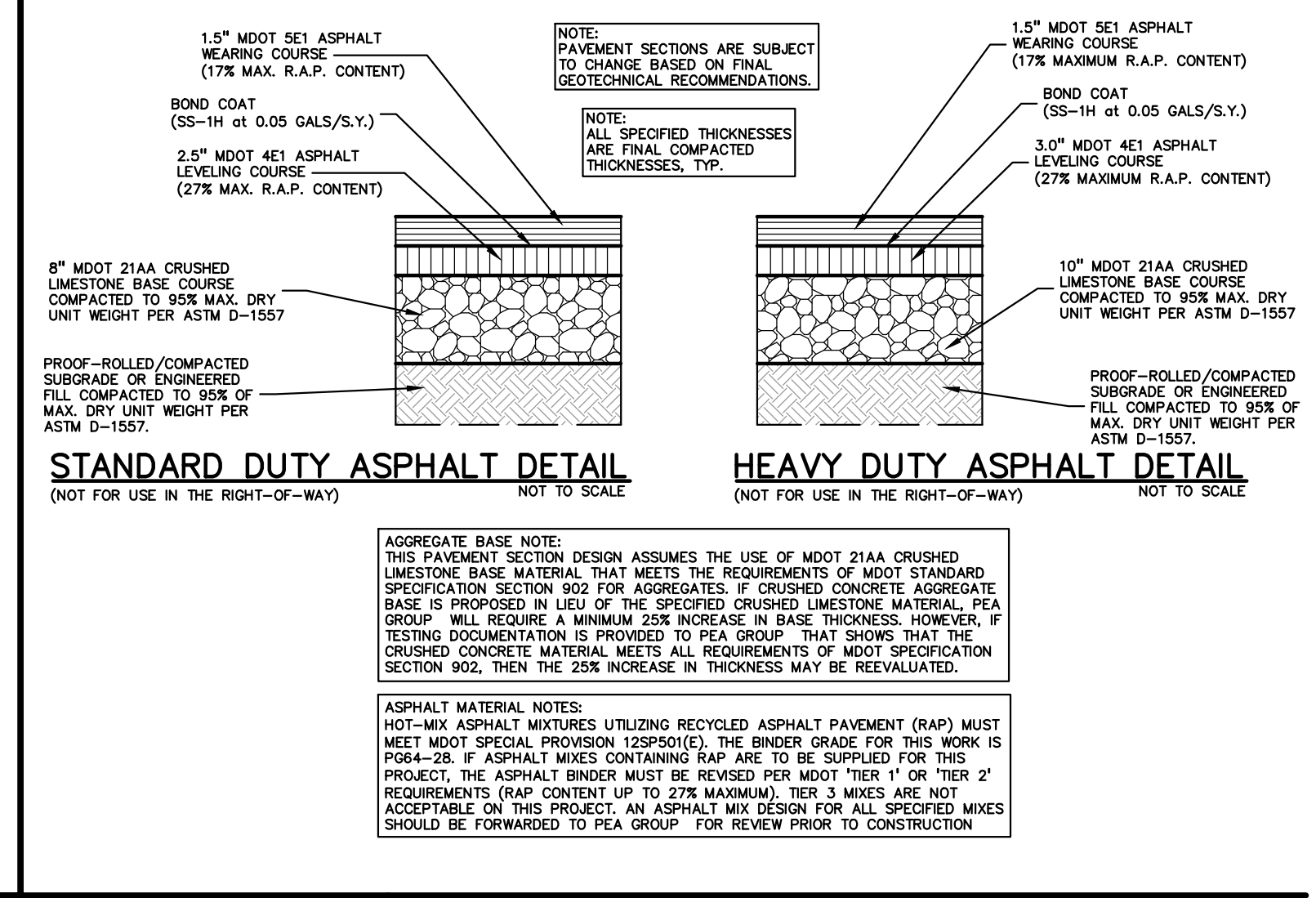
- IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO JOINT CONSTRUCTION.
- PROVIDE EXPANSION JOINTS AND JOINT SEALANT AT TWO "END-OF-RADIUS" LOCATIONS (OPPOSITE SIDES AT EACH LONG END) OF CONCRETE CURB ISLANDS.
- REFER TO ARCHITECTURAL PLANS FOR DETAILS OF FROST SLAB AT EXTERIOR BUILDING DOORS.
- CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT THICKNESS COULD BE INCREASED AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.
- CONCRETE PAVEMENT JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
 - WHERE PROPOSED CONCRETE ABUTS A STRUCTURE PROVIDE A MINIMUM 1/2" EXPANSION JOINT WITH SEALANT. THE JOINT FILLER BOARD MUST BE AT LEAST THE FULL DEPTH OF THE CONCRETE AND HELD DOWN A 1/4" INCH TO ALLOW FOR SEALING
 - WHERE PROPOSED CONCRETE ABUTS EXISTING CONCRETE OR IN BETWEEN POURS OF PROPOSED CONCRETE (CONSTRUCTION JOINTS) PROVIDE 5/8" DOWELS EVERY 30" CENTER TO CENTER HALF WAY ALONG THE THICKNESS OF THE PROPOSED PAVEMENT. ALTERNATE DOWEL SIZES AND SPACING MUST BE APPROVED BY THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
 - WHERE PROPOSED CONCRETE ABUTS EXISTING OR PROPOSED SIDEWALK PROVIDE A MINIMUM 1/2" EXPANSION JOINT WITH SEALANT
 - WHERE PROPOSED CONCRETE ABUTS EXISTING OR PROPOSED CURBING PROVIDE A MINIMUM 1/2" EXPANSION JOINT WITH SEALANT
 - CONTROL LONGITUDINAL AND/OR TRANSVERSE JOINTS SHALL BE PLACED TO PROVIDE PANELS WITHIN THE PAVEMENT AS SQUARE AS POSSIBLE WITH THE FOLLOWING MAXIMUM SPACING PARAMETERS:
 - 6-INCH THICK CONCRETE PAVEMENT: 12' X 12'
 - 8-INCH THICK CONCRETE PAVEMENT: 15' X 15'
 - IRREGULARLY SHAPED PANELS MAY REQUIRE THE USE OF REINFORCING MESH OR FIBER MESH AS DETERMINED BY THE ENGINEER. THE USE OF MESH MUST BE APPROVED BY THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
 - IF A JOINT PLAN IS NOT PROVIDED IN THE PLANS, THE CONTRACTOR SHALL SUBMIT ONE TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
- CONCRETE CURBING JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
 - WHERE PROPOSED CONCRETE CURBING ABUTS A STRUCTURE PROVIDE A MINIMUM 1/2" EXPANSION JOINT WITH SEALANT
 - WHERE PROPOSED CONCRETE ABUTS EXISTING OR PROPOSED SIDEWALK PROVIDE A MINIMUM 1/2" EXPANSION JOINT WITH SEALANT
 - WHERE PROPOSED CONCRETE ABUTS EXISTING CURBING PROVIDE A MINIMUM 1/2" EXPANSION JOINT WITH SEALANT
 - IN BETWEEN POURS OF PROPOSED CONCRETE CURBING (CONSTRUCTION JOINT)
 - CARRY THE REBAR CONTINUOUSLY BETWEEN POURS
 - IF THE REBAR IS NOT LONG ENOUGH TO CARRY CONTINUOUSLY THEN TIE TWO PIECES OF REBAR PER THE LATEST MDOT SPECIFICATIONS
 - CONTROL JOINTS SHALL BE PLACED A MAXIMUM 10' CENTER TO CENTER AND AT ALL RADIUS RETURNS

GENERAL GRADING AND EARTHWORK NOTES:
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT

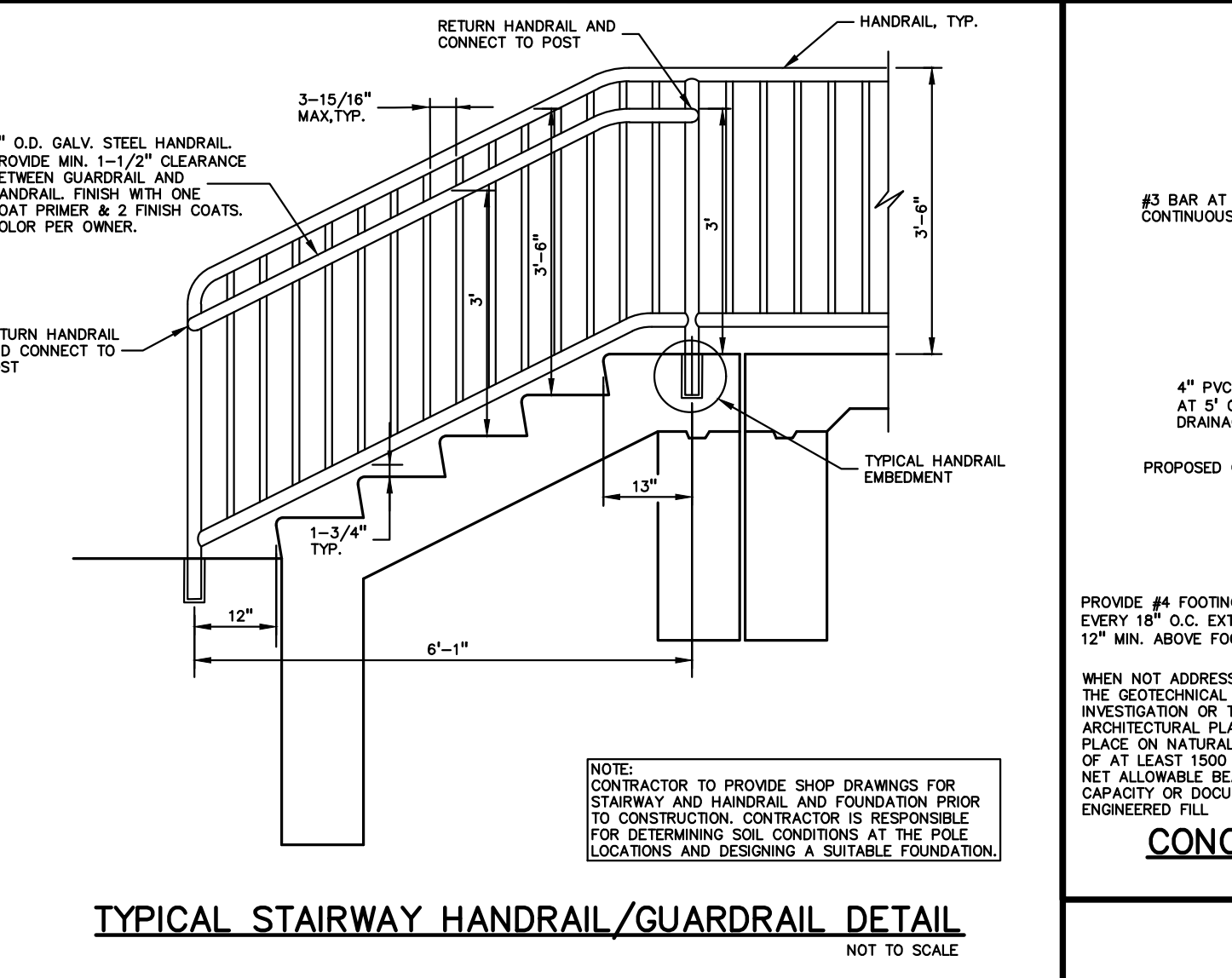
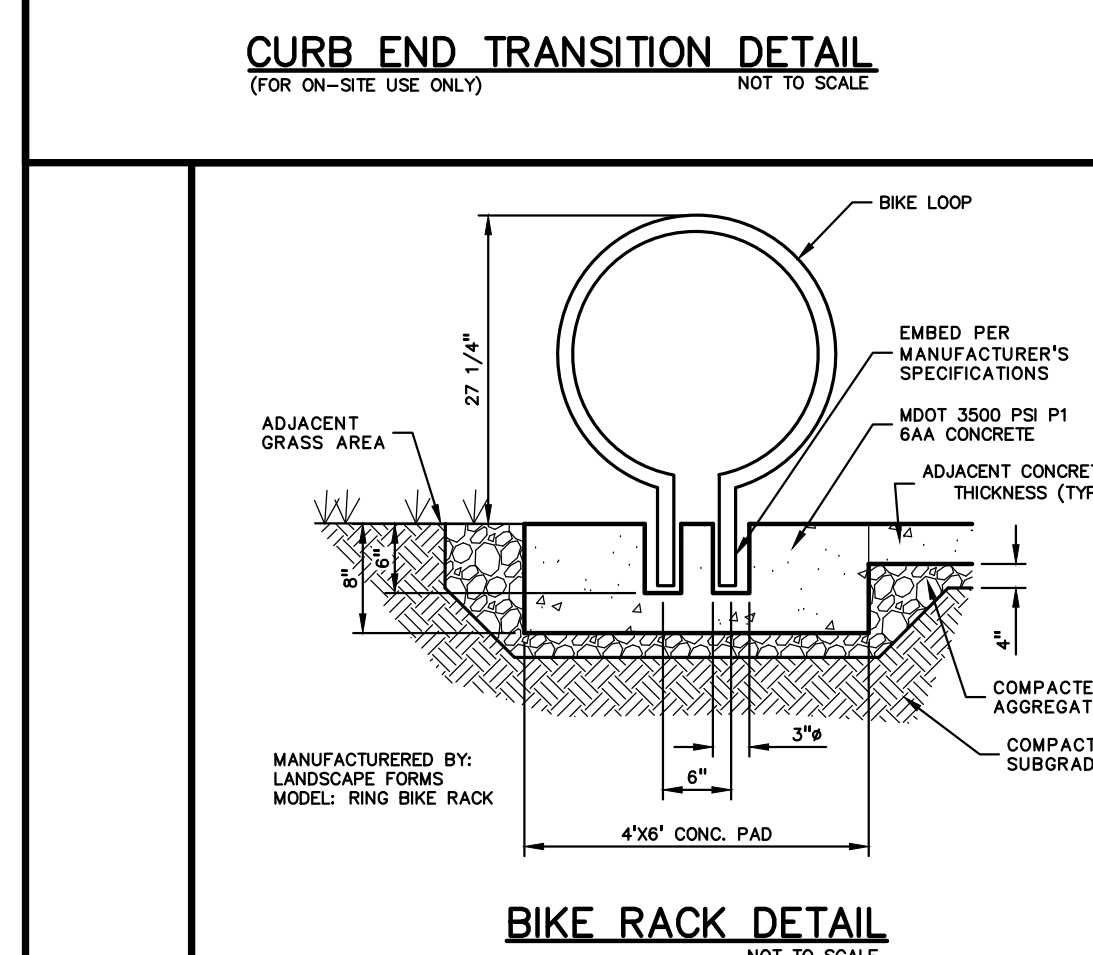
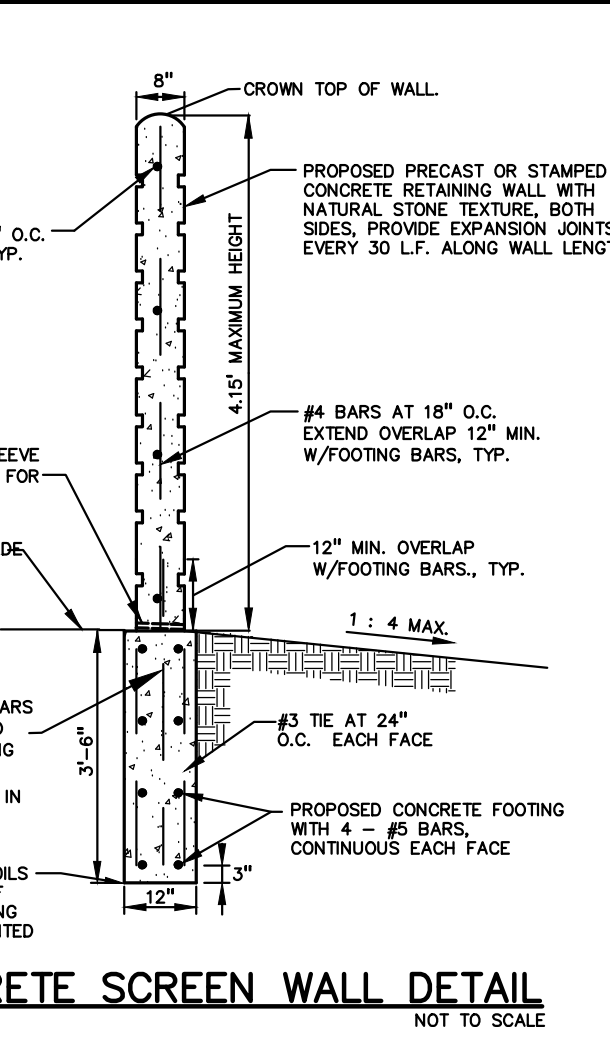
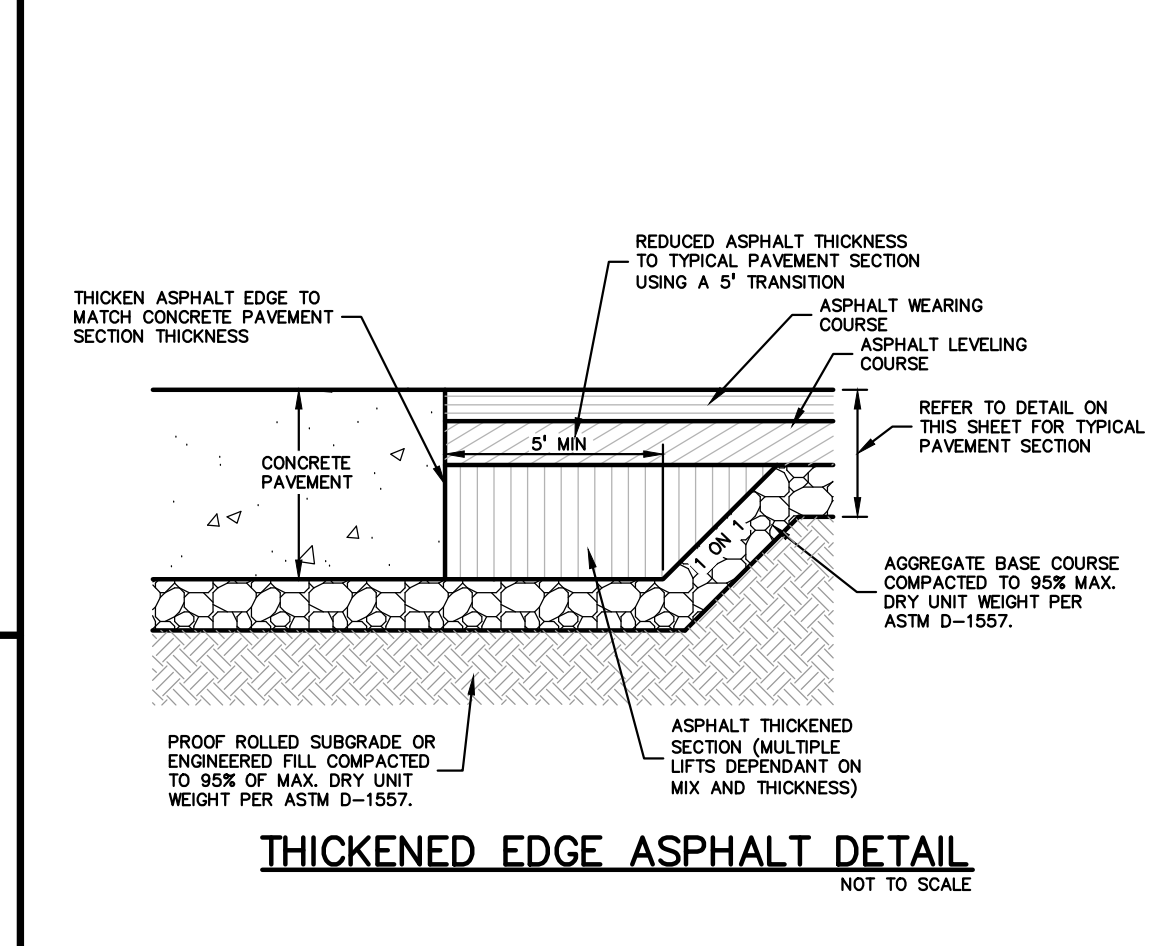
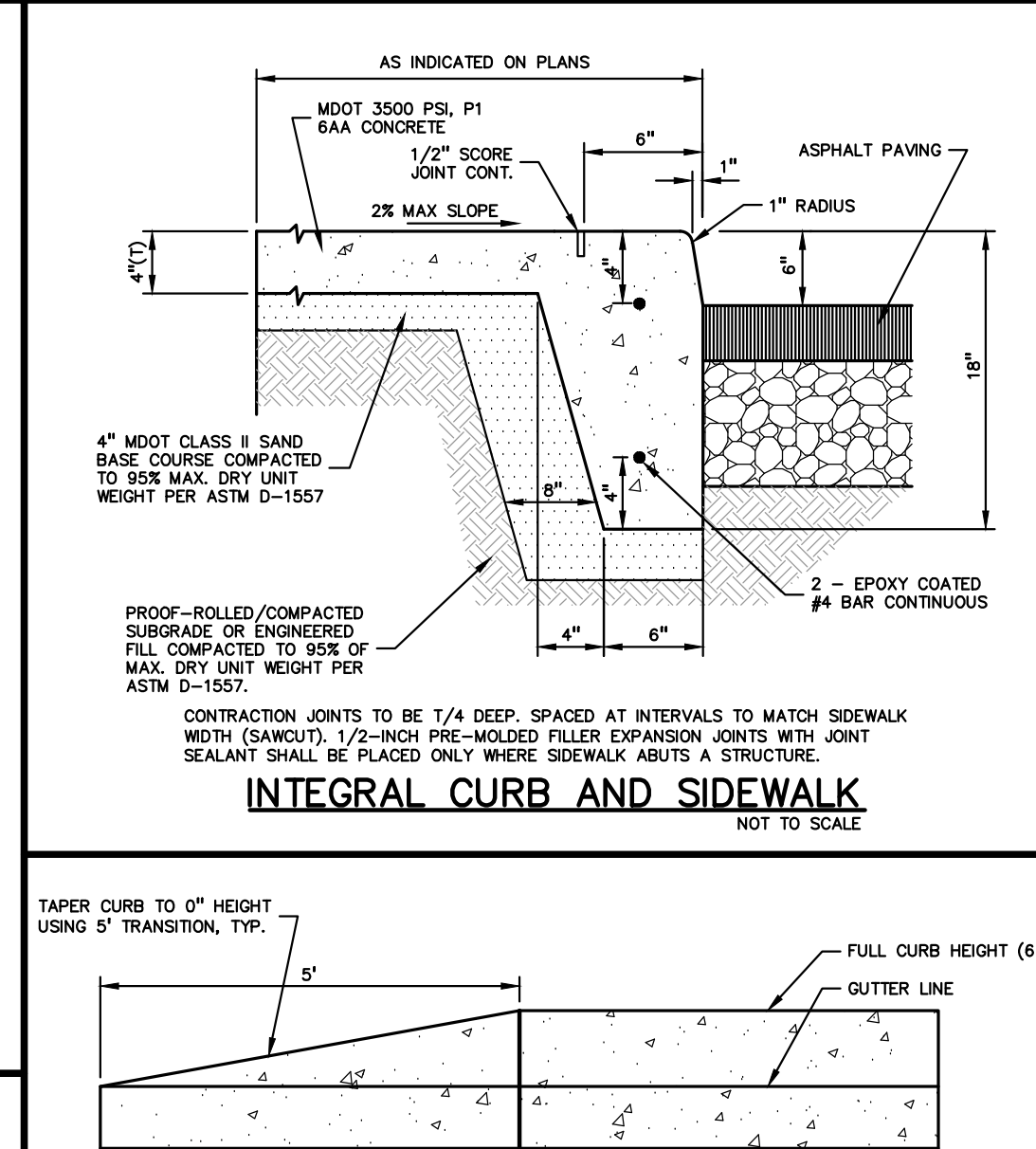
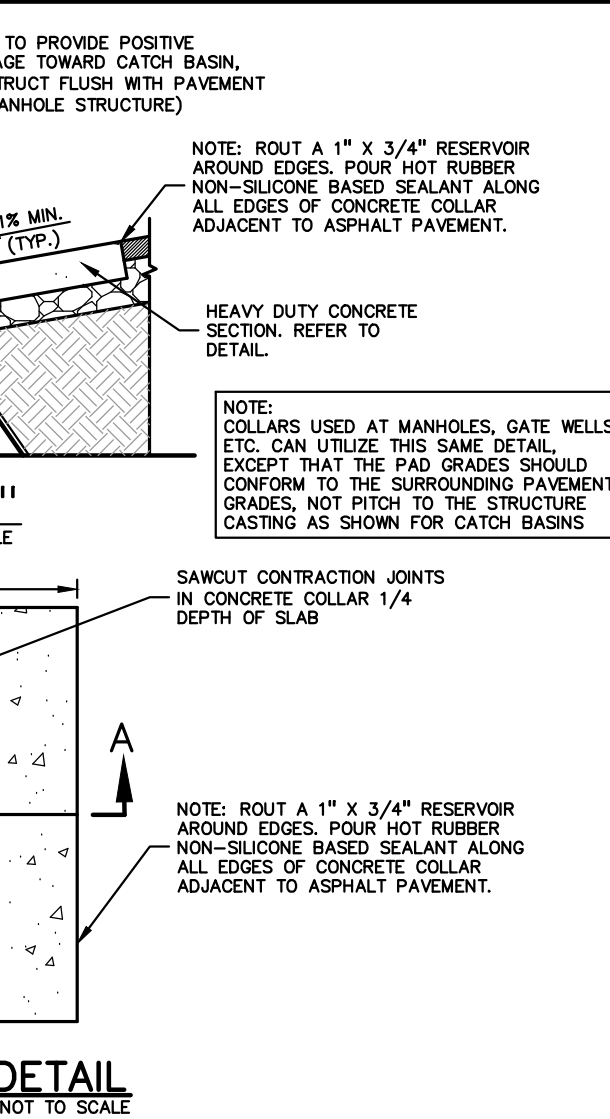
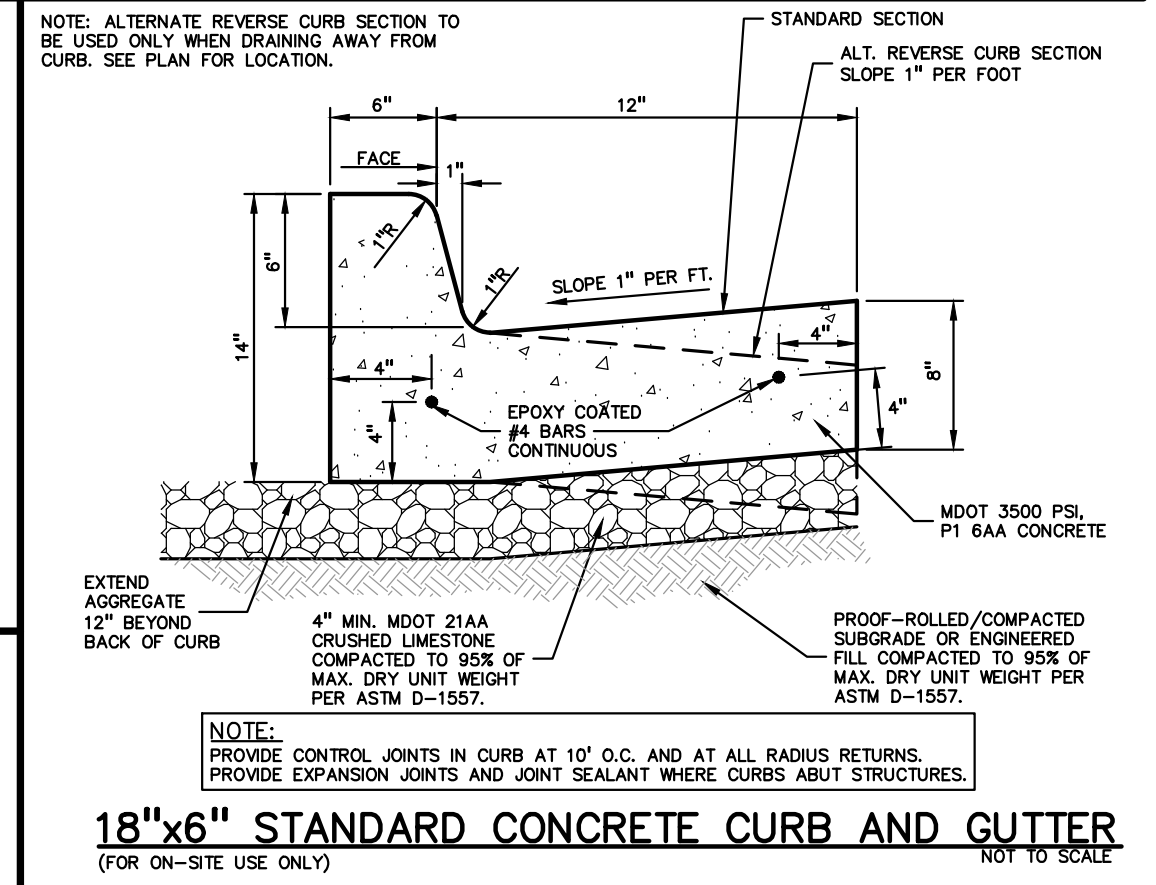
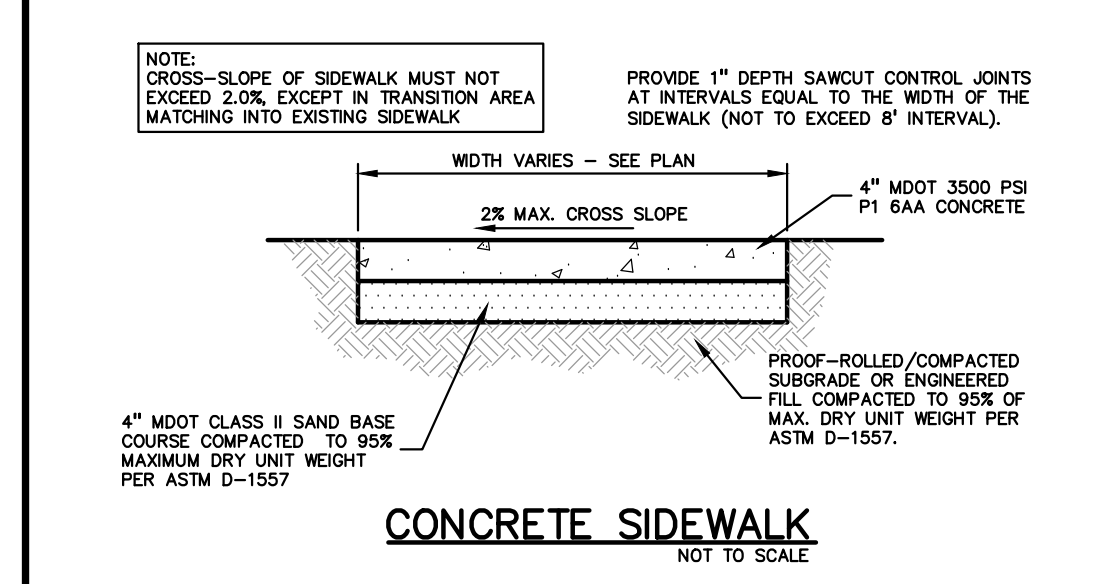
- CONTRACTOR TO FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
- ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE AUTHORIZED PUBLIC AGENCY OF JURISDICTION. AN EROSION CONTROL PERMIT MUST BE SECURED FROM OAKLAND COUNTY PRIOR TO CONSTRUCTION.
- ALL EARTHWORK AND GRADING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS INVESTIGATION AND REPORT AS PREPARED BY P.E.A. GROUP, DATED JUNE 3, 2021.
- REFER TO SOIL EROSION CONTROL PLAN FOR ADDITIONAL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND NOTES (WILL BE PART OF FINAL SITE PLAN/ENGINEERING PLANS).
- ALL SLOPES EXCEEDING 1:6 MUST BE STABILIZED BY SODDING OR BY PLACING A MULCH BLANKET PEGGED IN PLACE OVER SEED.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 4" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE THIRD PARTY TESTING COMPANY, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.
- ON-SITE FILL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
- THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROOFROLLED USING A FULLY LOADED TANDDEM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEOGRIDS OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
- SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL AREAS OR BELOW SUBGRADE IN CUT AREAS WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
- SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED AS RECOMMENDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR THE PROJECT.
- ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.

CONSTRUCTION MATERIAL SUBMITTALS
UNLESS REQUIRED OTHERWISE IN THE PROJECT SPECIFICATIONS, THE CONTRACTOR SHALL ONLY SUBMIT THE FOLLOWING CONSTRUCTION MATERIAL SUBMITTALS, AS APPLICABLE TO THE PLANS, FOR REVIEW BY THE ENGINEER. UNLESS APPROVED IN ADVANCE AND IN WRITING BY THE ENGINEER, ANY MATERIAL SUBMITTALS PROVIDED TO THE ENGINEER FOR REVIEW IN ADDITION TO THIS LIST SHALL BE RETURNED TO THE CONTRACTOR WITHOUT A REVIEW BEING PERFORMED.

- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES
- UTILITY TRENCH BACKFILL MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER
- RIP RAP MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER
- STORM AND SANITARY SEWER PIPING INCLUDING JOINTS
- STORM AND SANITARY SEWER STRUCTURES
- STORM AND SANITARY SEWER STRUCTURE FRAME AND COVERS INCLUDING CLEAN OUTS
- WATER DISTRIBUTION SYSTEM PIPING INCLUDING JOINTS
- WATER DISTRIBUTION SYSTEM STRUCTURES
- WATER DISTRIBUTION SYSTEM STRUCTURE FRAME AND COVERS
- WATER DISTRIBUTION SYSTEM SHUT OFF BOXES
- WATER DISTRIBUTION SYSTEM FIRE HYDRANTS
- WATER DISTRIBUTION SYSTEM GATE VALVES
- PAVEMENT AGGREGATE BASE MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER
- PAVEMENT UNDERDRAIN MATERIAL AND BACKFILL WITH ALL BACKFILL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER
- PAVEMENT MIX DESIGNS SUBMITTED FOR REVIEW BY THE ENGINEER MUST FOLLOW THE CURRENT MDOT REVIEW CHECKLISTS AS SUMMARIZED BELOW AND ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL UNLESS APPROVED OTHERWISE BY THE ENGINEER:
 - 8.1. CONCRETE MIX DESIGN REVIEW CHECKLIST (FORM 2000)
 - 8.2. SUPERPAVE MIX DESIGN CHECKLIST (FORM 1862)
 - 8.3. MARSHALL MIX DESIGN CHECKLIST (FORM 1849)
- SITE FENCING AND GATES INCLUDING FOOTINGS
- SITE RAILINGS INCLUDING FOOTING OR EMBEDMENTS
- ANY ITEMS SHOWN IN THE PLANS OR DETAIL SHEETS THAT SPECIFICALLY STATE FOR THE CONTRACTOR TO SUBMIT A SHOP DRAWING TO THE ENGINEER FOR REVIEW. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO:
 - RETAINING WALL MATERIAL AND STRUCTURAL CALCULATIONS
 - TRENCH DRAIN MATERIAL AND SHOP DRAWING DEPICTING THE LAYOUT OF THE SYSTEM
 - ANY SPECIALTY ITEMS SHOWN IN THE PLANS OR DETAIL SHEETS THAT SPECIFICALLY DO NOT STATE FOR THE CONTRACTOR TO SUBMIT A SHOP DRAWING TO THE ENGINEER FOR REVIEW BUT THE CONTRACTOR REQUESTS TO BE REVIEWED. THE CONTRACTOR'S REQUEST FOR REVIEW MUST BE IN WRITING AND APPROVED BY THE ENGINEER PRIOR TO SUBMITTING THE INFORMATION.



On site amenities, particularly those near the road right of way should be consistent with the City's adopted Gateway and Streetscape Master Plan.
https://www.rochesterhills.org/department/s/planning_economic_development/gatewaysstreetscapesmasterplan.php



811 Know what's below. Call before you dig.

CAUTION!!
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE OR WARRANTY IS MADE AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT
MARKUS MANAGEMENT GROUP, LLC
251 EAST MERRILL STREET, SUITE 205
BIRMINGHAM, MICHIGAN 48009

PROJECT TITLE
NORTH HILL SHOPPING CENTER
1467 N. ROCHESTER ROAD
ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

REVISIONS

PER CITY COMMENTS	12.06.23
PER CITY COMMENTS	01.05.24

ORIGINAL ISSUE DATE:
SEPTEMBER 25, 2023

DRAWING TITLE
NOTES AND DETAILS

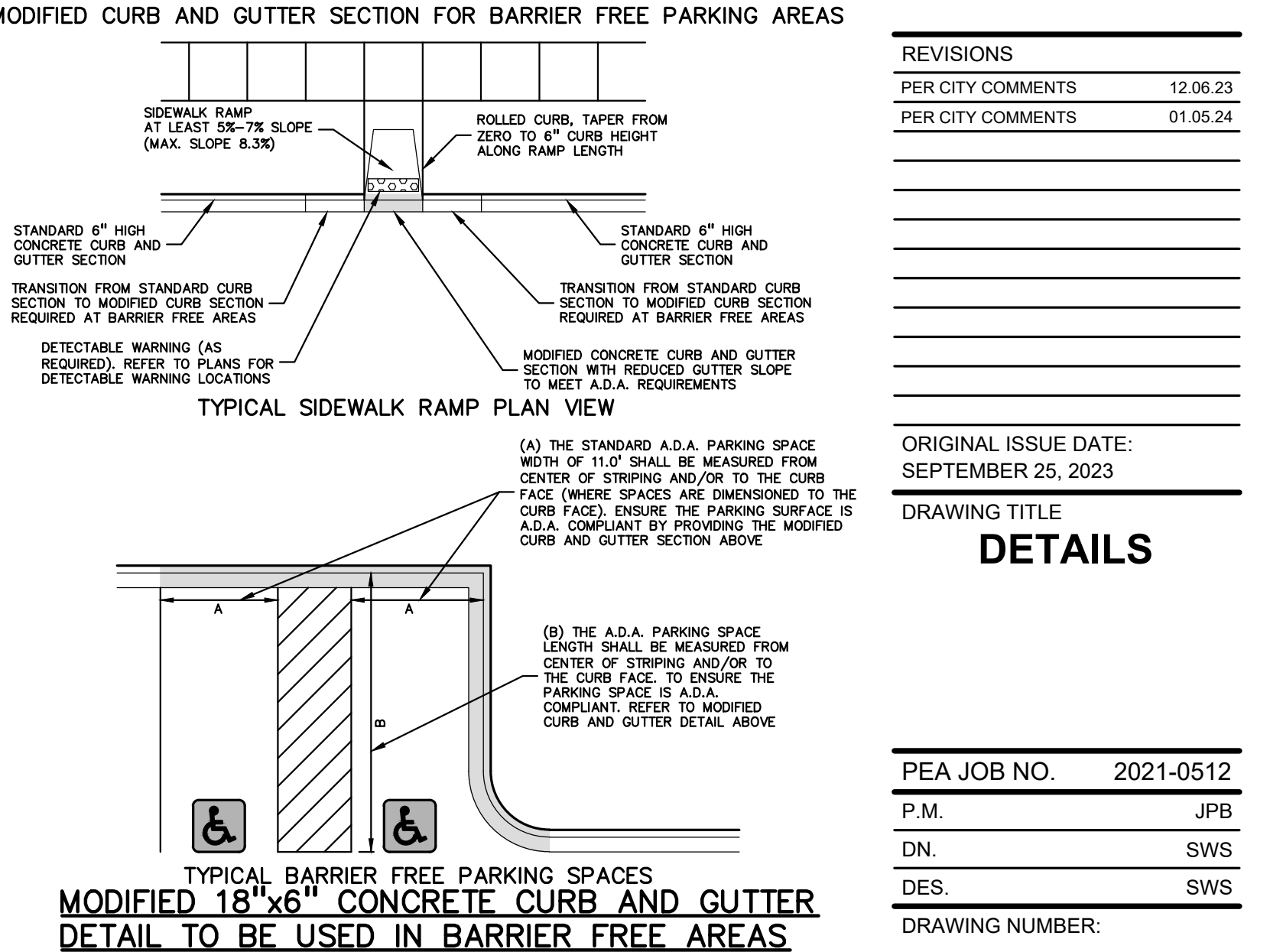
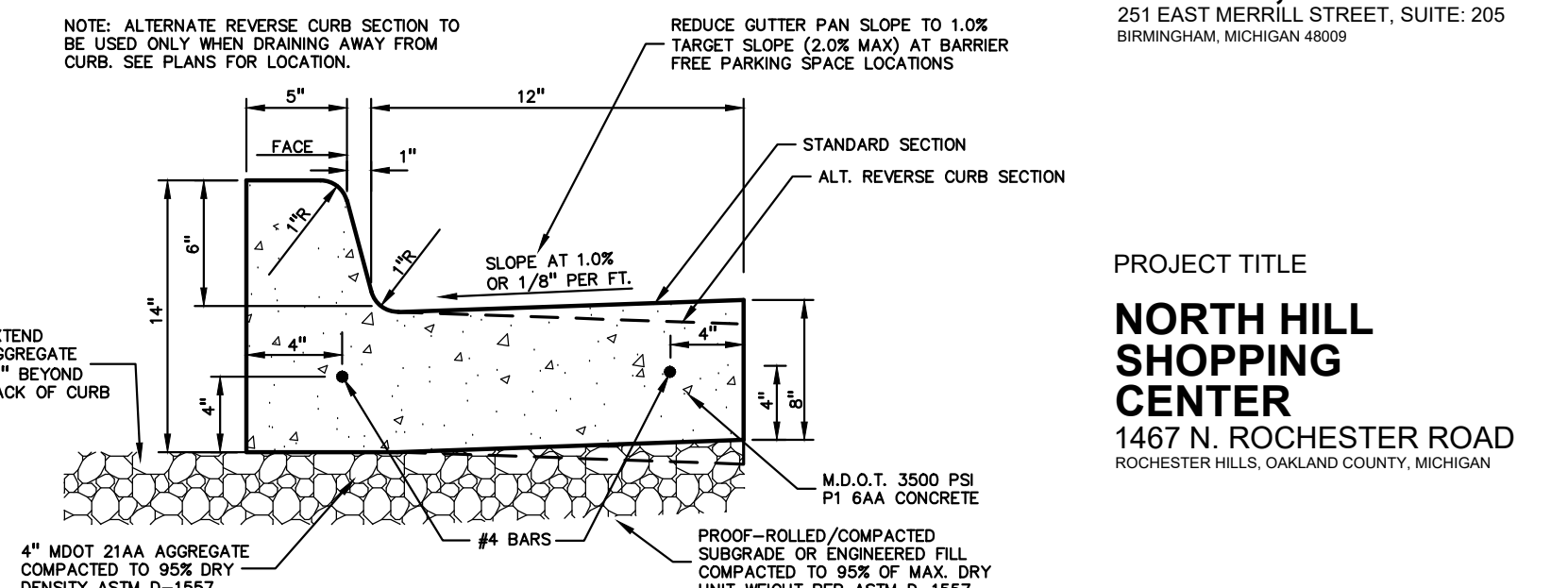
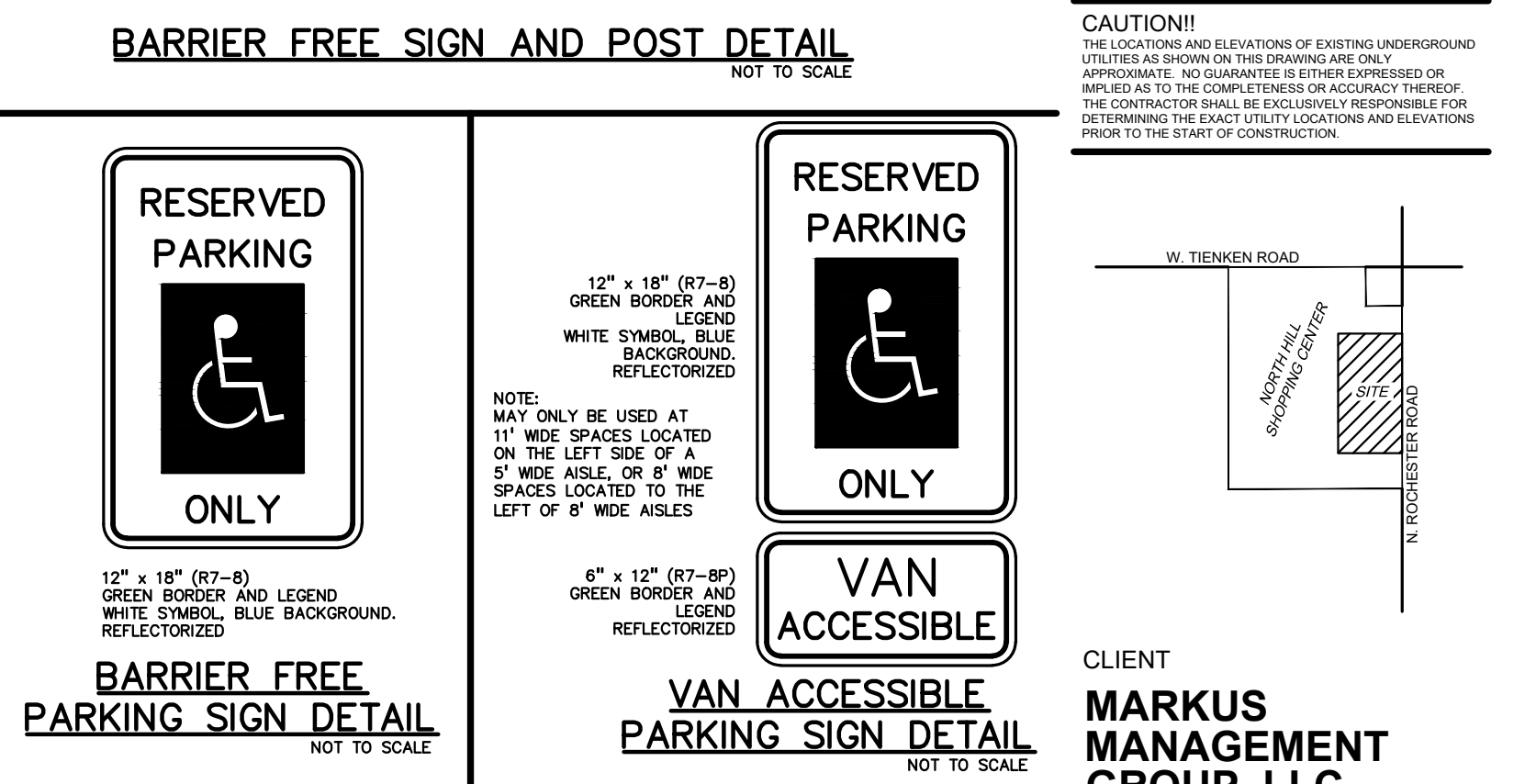
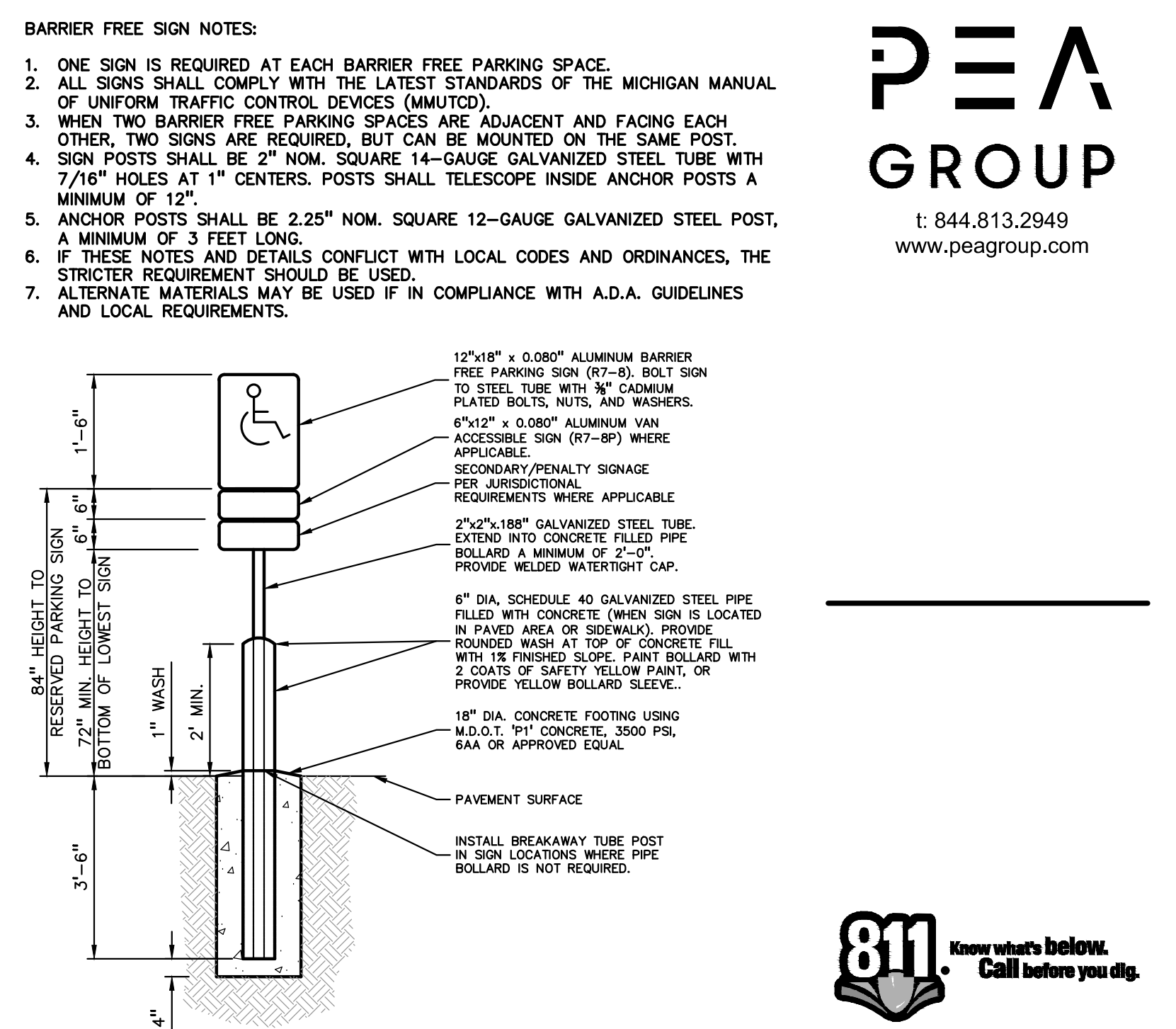
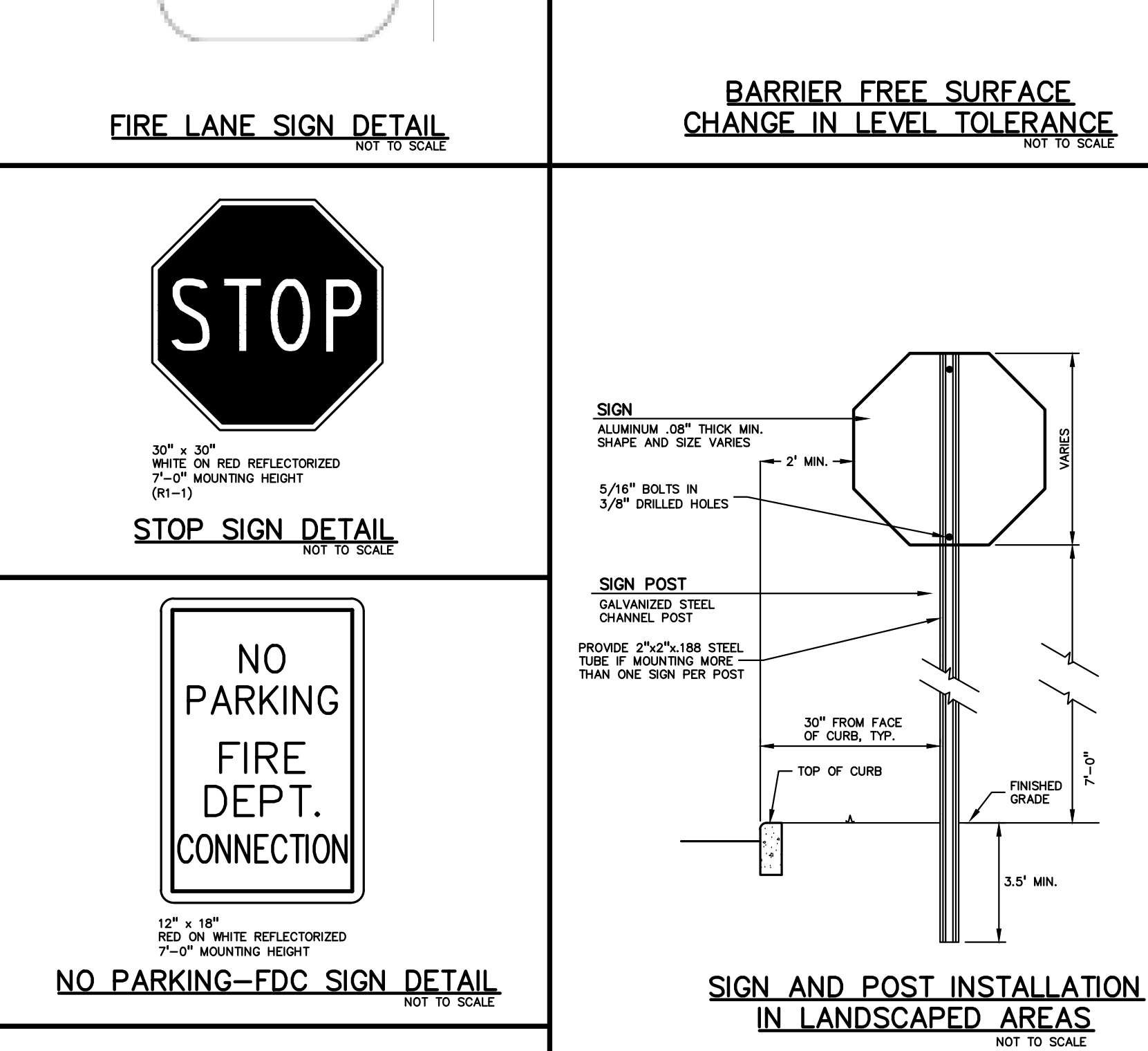
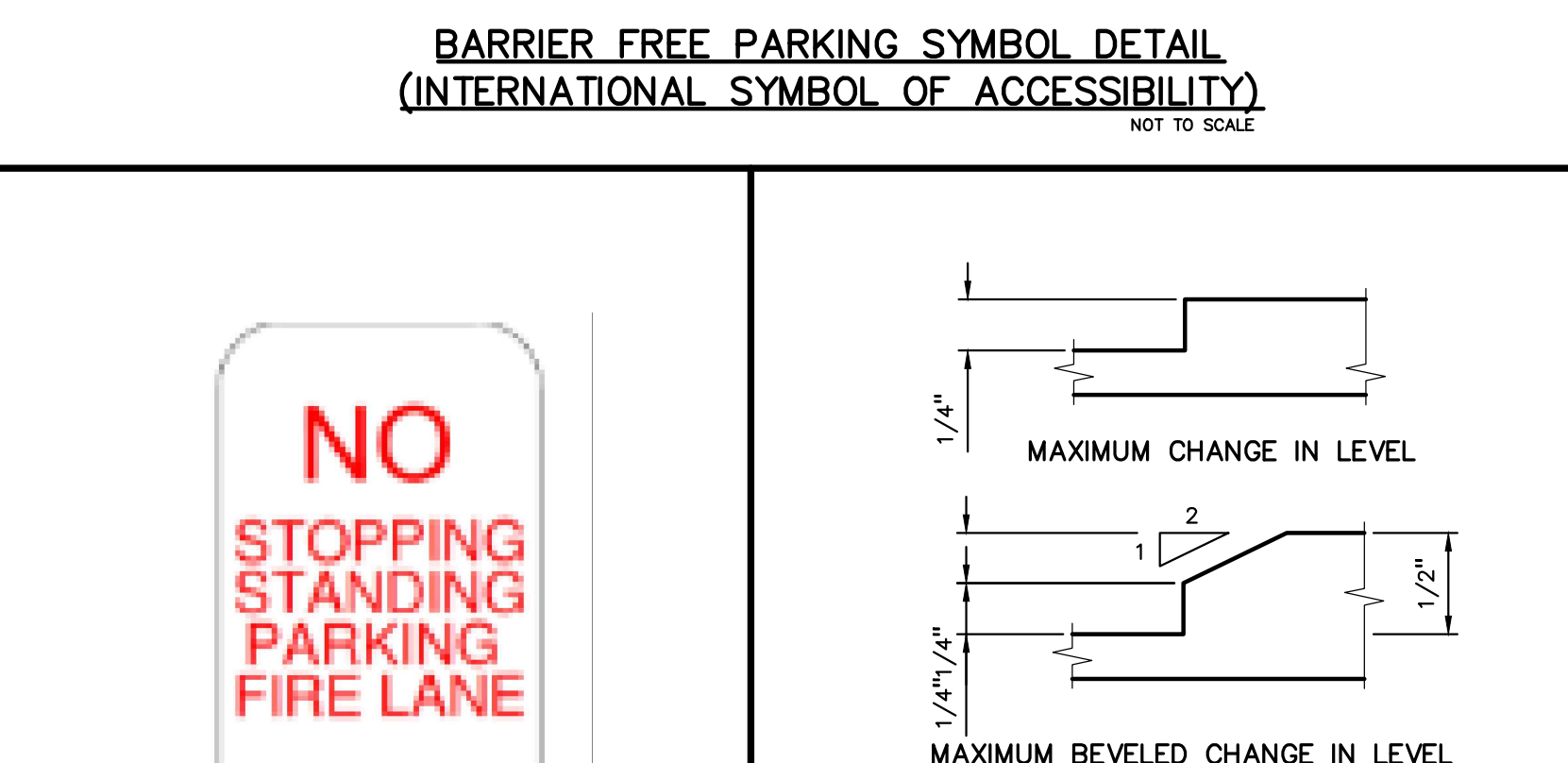
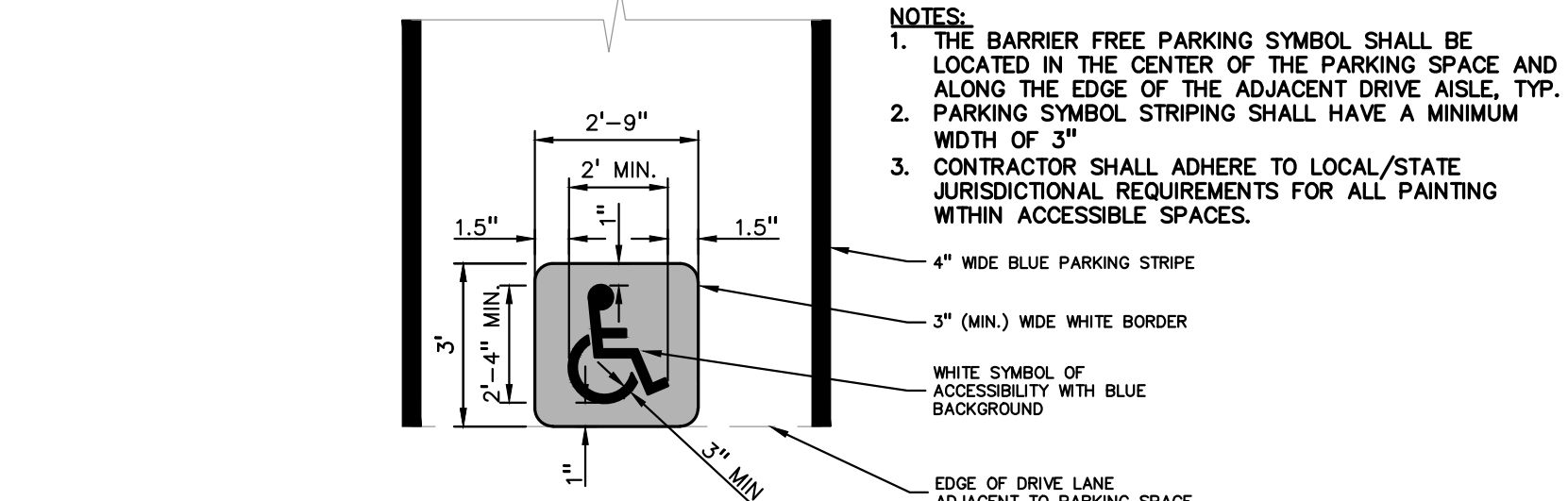
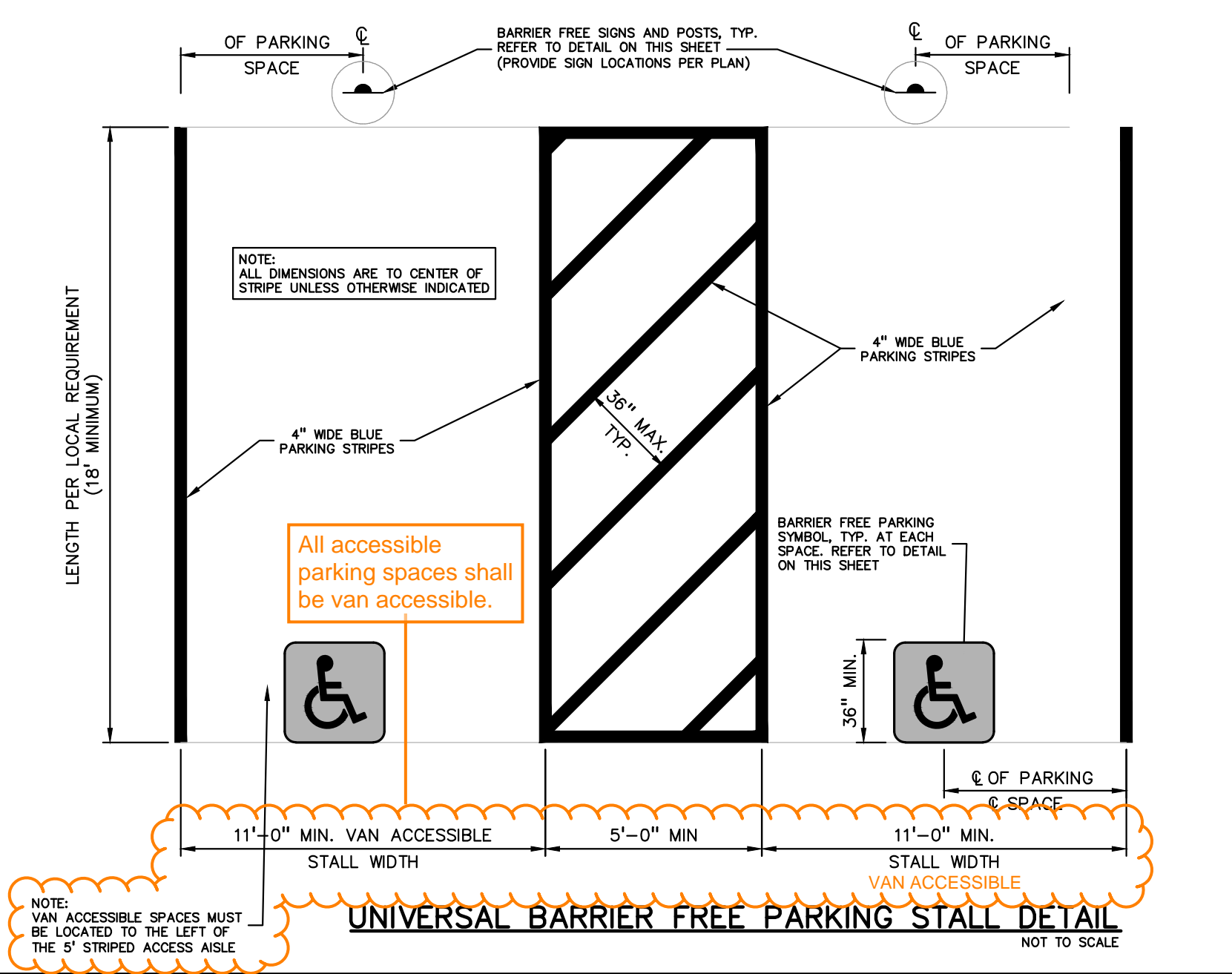
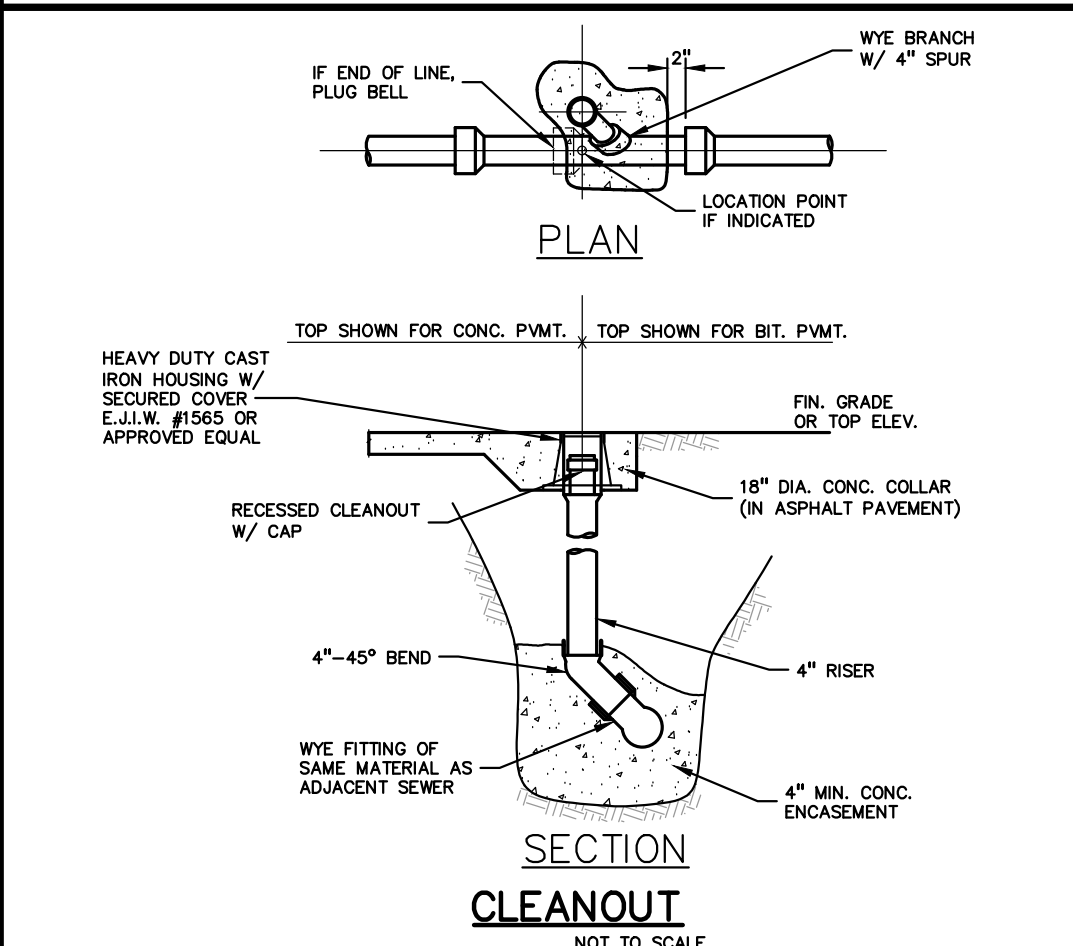
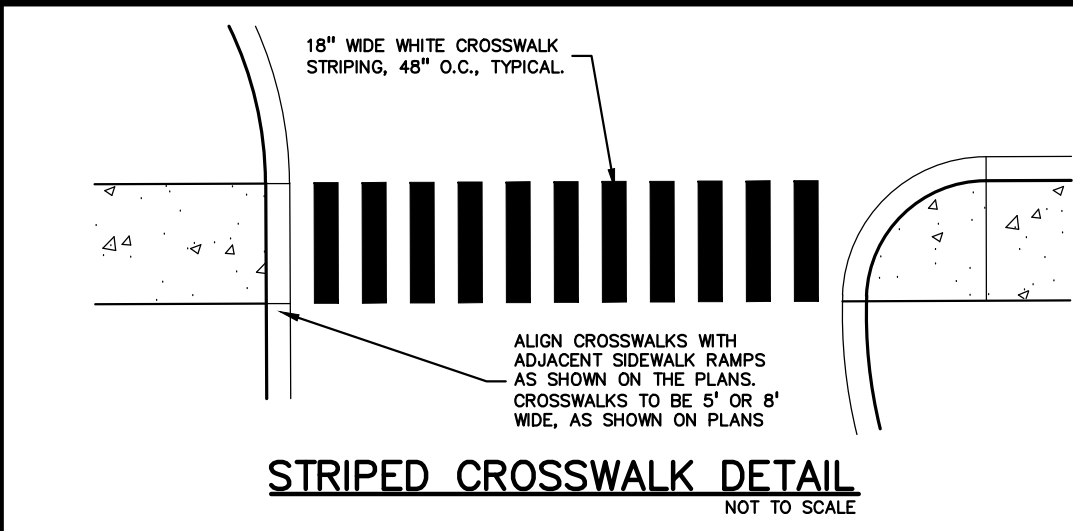
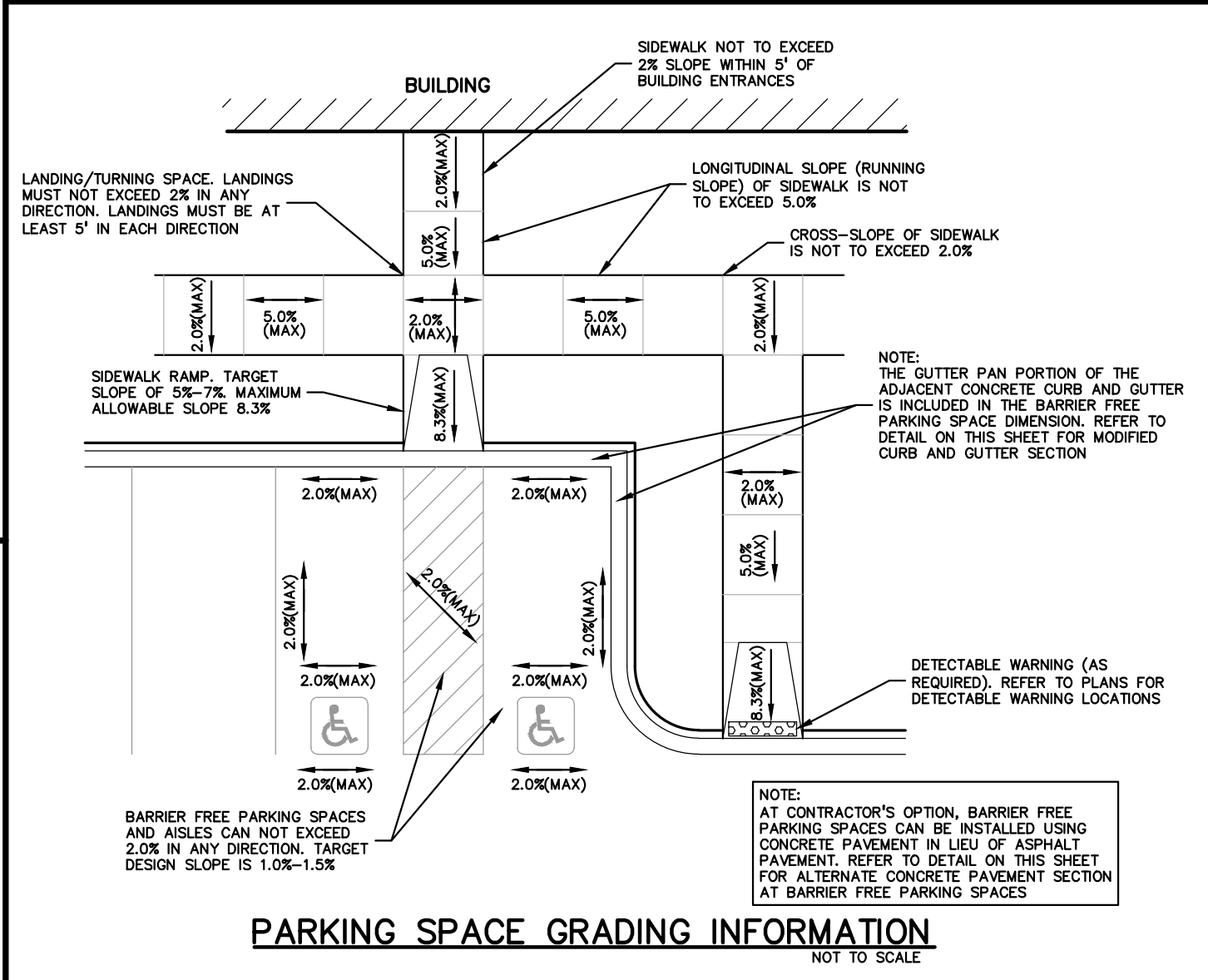
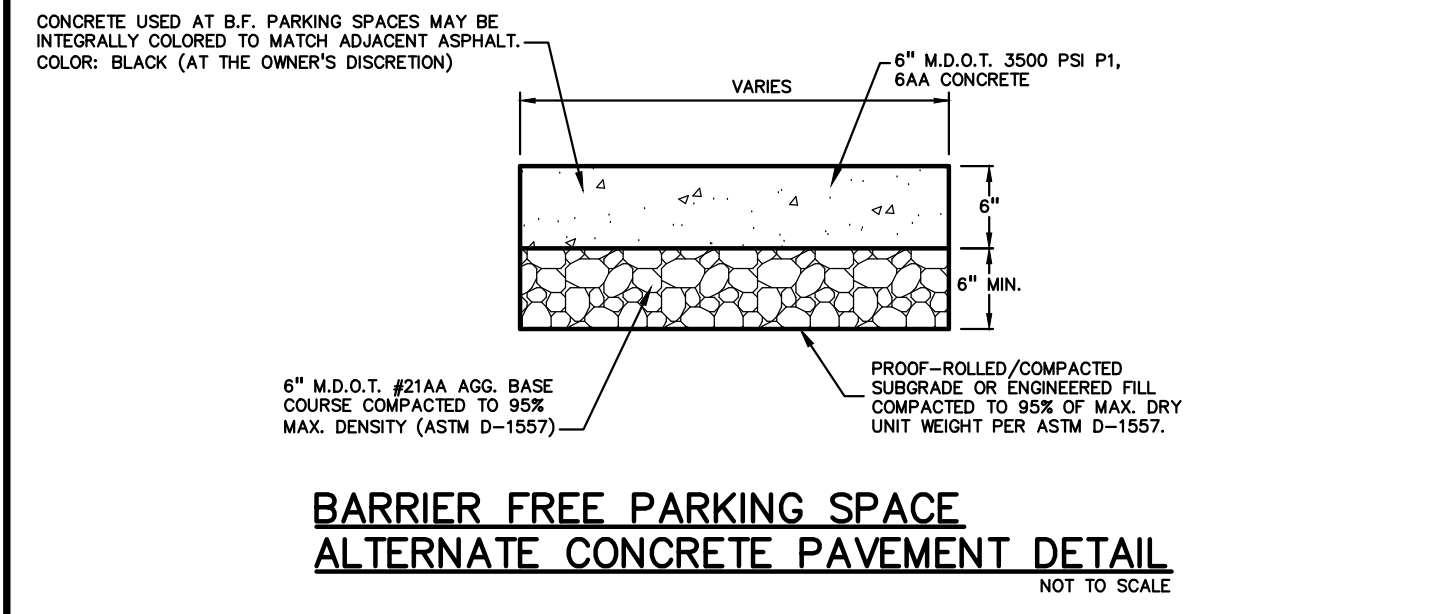
PEA JOB NO. 2021-0512
P.M. JPB
D.N. SWS
DES. SWS

DRAWING NUMBER:

C-9.0

GENERAL BARRIER FREE NOTES:

- THE FOLLOWING NOTES PROVIDE AN OUTLINE OF SOME OF THE REQUIREMENTS CONTAINED WITHIN THE "STANDARDS FOR ACCESSIBLE DESIGN - AMERICANS WITH DISABILITIES ACT 2010", AND "ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES", ICC/ANSI A117.1-2009. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE REQUIREMENTS PRESENTED WITHIN THESE DOCUMENTS, WHICH ARE AVAILABLE IN FULL UPON REQUEST.
1. AN ACCESSIBLE ROUTE CONSISTS OF WALK SURFACES, CURB RAMPS AND RAMPS, AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES, ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS AND SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE BUILDING OR FACILITY ENTRANCE THEY SERVE.
 2. THE RUNNING SLOPE OF ALL WALKING SURFACES SHALL NOT EXCEED 5% (1:20) AND THE CROSS-SLOPE SHALL NOT EXCEED 2% (1:48).
 3. WALKING SURFACES MUST BE LEVEL WITH PERMITTED VERTICAL CHANGES IN LEVEL NOT TO EXCEED 1/4", OR BEVELED CHANGES IN LEVEL NOT TO EXCEED 1/2". REFER TO DETAIL ON THIS SHEET. ANY CHANGE IN LEVEL GREATER THAN 1/2" MUST BE RAMPED.
 4. TURNING SPACES ALONG ACCESSIBLE ROUTES MUST BE AT LEAST 5 FEET WIDE IN ALL DIRECTIONS AND NOT EXCEED 2% SLOPE (1:48) IN ANY DIRECTION.
 5. ACCESSIBLE ROUTES WILL BE DESIGNED TO BE A MINIMUM OF 5 FEET WIDE, THE MINIMUM CLEAR WIDTH IS 3 FEET.
 6. RAMPS ALONG ACCESSIBLE ROUTES WILL HAVE A RUNNING SLOPE GREATER THAN 5% (1:20) AND LESS THAN 8.3% (1:12).
 7. THE CROSS-SLOPE OF RAMP RUNS SHALL NOT EXCEED 2% (1:48).
 8. THE MINIMUM CLEAR WIDTH OF ANY RAMP IS 36 INCHES.
 9. THE MAXIMUM RISE FOR ANY RAMP (NOT INCLUDING CURB RAMPS) SHALL NOT EXCEED 30 INCHES. LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF EACH RAMP. LANDINGS SHALL HAVE A CROSS-SLOPE NOT EXCEEDING 2% (1:48), SHALL BE 5 FEET LONG AND AT LEAST AS WIDE AS THE RAMP CLEAR WIDTH. IF THERE IS A CHANGE OF DIRECTION AT A LANDING, THEN THE LANDING MUST BE AT LEAST 5 FEET WIDE AND 5 FEET LONG.
 10. HANDRAILS ARE REQUIRED FOR ANY RAMP (NOT INCLUDING CURB RAMPS) WITH A RISE GREATER THAN 6 INCHES. ALL HANDRAILS ARE REQUIRED TO HAVE EDGE PROTECTION UNLESS ADJOINING ANOTHER ACCESS POINT OR IF THE VERTICAL DROP-OFF AT THE EDGE OF THE RAMP DOES NOT EXCEED 1/2" IN 10 FEET. EDGE PROTECTION CAN BE PROVIDED BY MEANS OF A 4" MIN. CURB OR BARRIER.
 11. CURB RAMPS ALONG ACCESSIBLE ROUTES SHALL NOT BE STEEPER THAN 8.3% (1:12). APPROACHING SLOPES TO THE RAMP CANNOT EXCEED 5%, WHICH INCLUDES SIDEWALKS, PAVEMENT, GUTTERS ETC.
 12. IF CURB RAMP SIDES ARE FLARED, THE FLARES SHALL NOT BE STEEPER THAN 10% (1:10).
 13. CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.
 14. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS.
 15. WHERE DETECTABLE WARNING IS REQUIRED AT CURB RAMPS, THE DETECTABLE WARNING SHALL BE 24" MINIMUM IN DEPTH AND SHALL EXTEND THE FULL WIDTH OF THE RAMP. THE DETECTABLE WARNING SHALL BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES MINIMUM AND 8 INCHES MAXIMUM FROM THE CURB LINE.
 16. FOR EVERY SIX OR FRACTION OF SIX ACCESSIBLE PARKING SPACES, ONE VAN ACCESSIBLE SPACE SHALL BE PROVIDED.
 17. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO A BUILDING ENTRANCE.
 18. BARRIER FREE CAR PARKING SPACES SHALL BE A MINIMUM OF 11 FEET WIDE WITH AN ACCESS AISLE 5 FEET WIDE MINIMUM.
 19. SURFACE SLOPES WITHIN THE PARKING SPACES AND AISLES SHALL NOT EXCEED 2% (1:48).
 20. ACCESSIBLE AREAS INCLUDING PARKING SPACES, AISLES AND PATHWAYS, REQUIRE A MINIMUM VERTICAL CLEARANCE OF 98 INCHES.
 21. ACCESSIBLE PARKING SPACES ARE REQUIRED TO BE IDENTIFIED BY SIGNS. THE SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. VAN PARKING SPACES ARE REQUIRED TO BE DESIGNATED AS "VAN ACCESSIBLE". REFER TO DETAILS ON THIS SHEET.

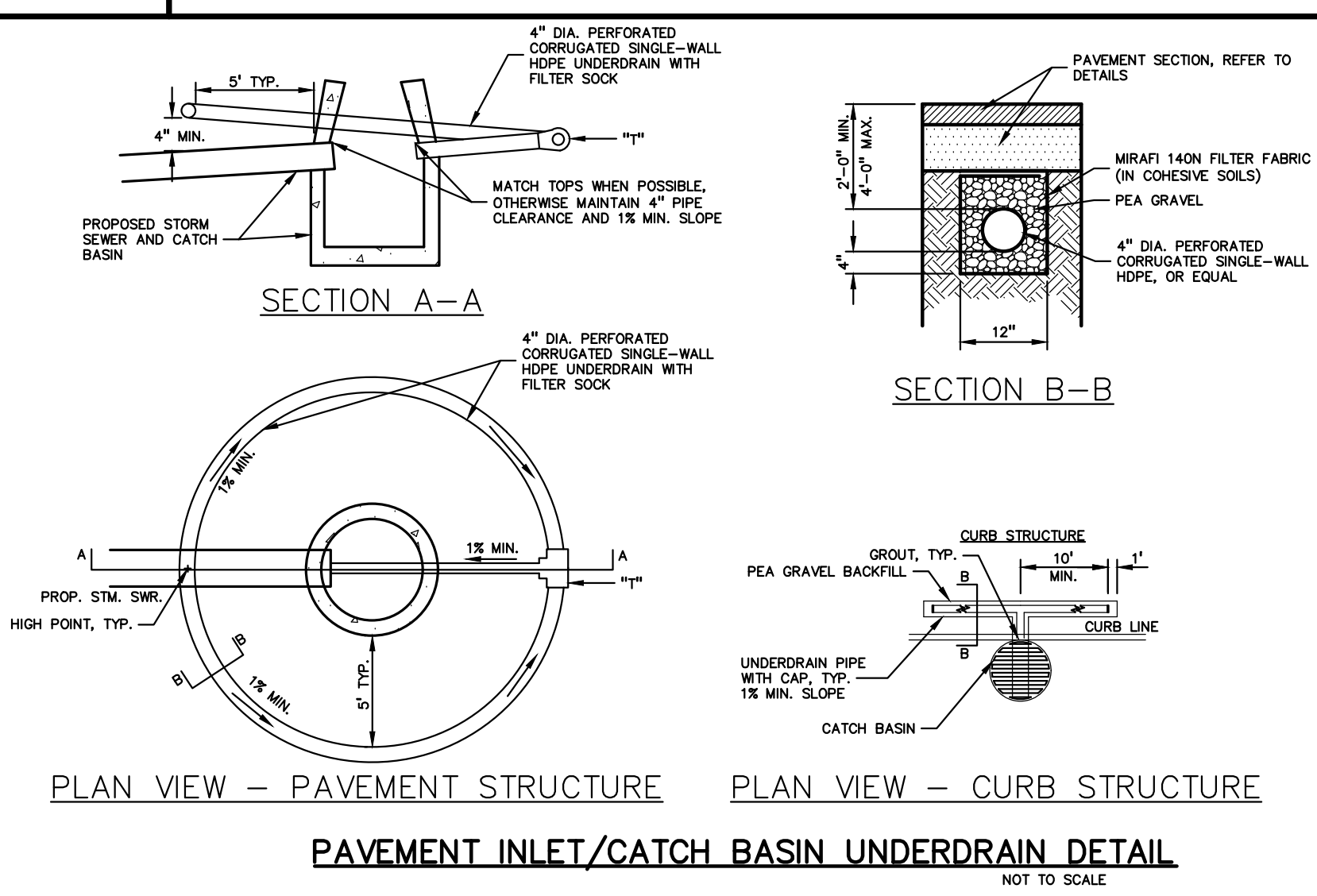
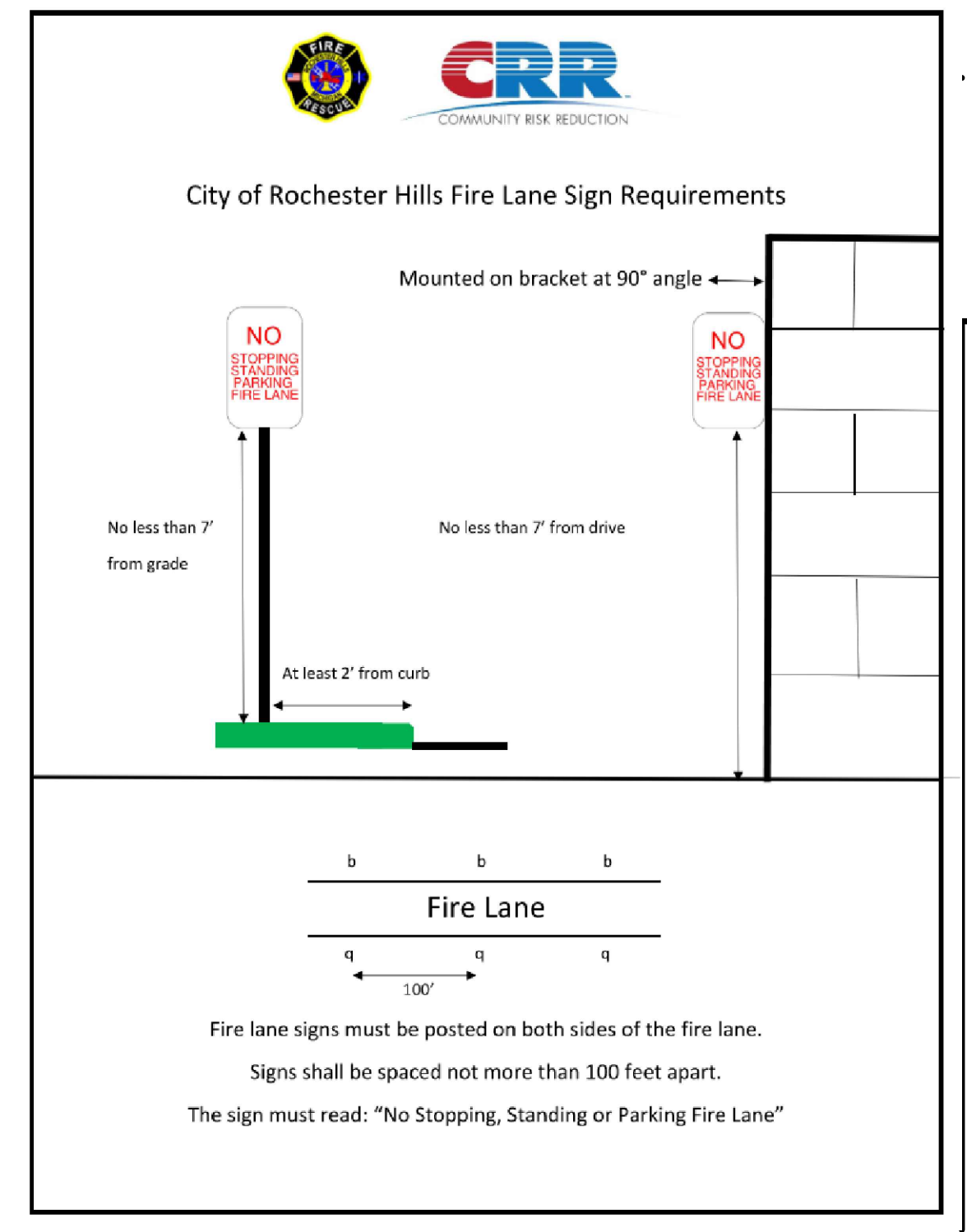


REVISIONS	
PER CITY COMMENTS	12.06.23
PER CITY COMMENTS	01.05.24

ORIGINAL ISSUE DATE:
SEPTEMBER 25, 2023
DRAWING TITLE
DETAILS

PEA JOB NO.	2021-0512
P.M.	JPB
D.N.	SWS
DES.	SWS
DRAWING NUMBER:	

S:\PROJECTS\2021-0012-NORTH HILLS SHOPPING CENTER-PEA\DWG\SITE PLANS\C-9.1.DWG NOTE-210124.dwg



CITY OF ROCHESTER HILLS NOTES:

TREE PLANTING RESTRICTIONS:
 PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB ON THE PUBLIC RIGHT-OF-WAY.
 ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC ROAD.
 SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY.
 EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY.
 NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY LINES AT A DISTANCE ALONG EACH LINE OF 25' FROM THEIR POINT OF INTERSECTION. NO TREES OR SHRUBS MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC WALKWAY AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION.
 TREES MUST BE 3' OFF ANY SIGHT LINE.
 ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE HYDRANT, SHADE AND EVERGREEN TREES MUST BE AT LEAST 15' AWAY FROM THE NEAREST OVERHEAD WIRE.
 TREES MUST BE PLANTED A MINIMUM OF 5' FROM AN UNDERGROUND UTILITY UNLESS THE CITY'S LANDSCAPE ARCHITECT REQUIRES A GREATER DISTANCE. THESE REQUIREMENTS ARE INCORPORATED INTO THE PLAN.
CLOSING COMMENT:
 PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF ROCHESTER HILLS FORESTRY DIVISION NEEDS TO INSPECT ALL TREES, EXISTING OR PLANTED, TO IDENTIFY ANY THAT POSE A HAZARD TO THE SAFE USE OF THE PUBLIC RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE AND POSSIBLY REPLACE ANY SUCH TREES.

LANDSCAPE CALCULATIONS:
 PER CITY OF ROCHESTER HILLS ZONING ORDINANCE, ZONED NB WITH FB FLEX BUSINESS DISTRICT OVERLAY

R.O.W. TREES (SEC. 138-12.304)
 REQUIRED: 1 DEC OR EVG/ 35LF AND 1 ORN TREE/ 60LF OF ROW
 ROCHESTER RD: 250/35 = 7 DEC. OR EVG. AND 250/60 = 4 ORN.
 PROVIDED: ROCHESTER RD: 7 DEC. TREES AND 4 ORN. TREES

INTERIOR PARKING LANDSCAPE (SEC. 138-12.301A)
 REQUIRED: MINIMUM 5% OF THE VEHICLE USE AREA TO BE LANDSCAPED AREA. 1 DEC. TREE FOR EVERY 150 SF OF REQUIRED INTERIOR LANDSCAPE.
 5% OF THE 21,077 SF VEHICLE USE AREA = 1,054 /150 = 7 DEC. TREES
 PROVIDED: 7 DEC. TREES; 2,422 SF LANDSCAPE AREA

TREE REPLACEMENT (SEC. 126-397)
 REQUIRED: REPLACE REGULATED TREES ON A ONE-FOR-ONE BASIS.
 REPLACEMENT TREES SHALL BE MIN. 2" CAL. DEC. OR 8' HT. EVG.
 5 REGULATED TREES REQUIRED TO BE REPLACED, SEE T-1.0 FOR DETAIL
 PROVIDED: 5 REPLACEMENT TREES

KEY:

- = R.O.W. TREES
- = INTERIOR PARKING LOT TREES
- = REPLACEMENT TREES
- = IRRIGATED SEED LAWN
- = EXISTING TREES TO REMAIN WITH TREE FENCE
- = VEHICULAR USE AREA

SEE L-1.1 FOR LANDSCAPE DETAILS

NOTE:
 ALL GROUND MOUNTED UTILITIES SHALL BE FULLY SCREENED FROM VIEW

IRRIGATION NOTES:
 ALL LANDSCAPE AREAS MUST BE IRRIGATED. WATERING WILL ONLY OCCUR BETWEEN THE HOURS OF 12AM-5AM.
 IRRIGATION OVERSPRAY SHALL NOT BROADCAST ONTO CITY PATHWAYS, TYP.

PLANT REQUIREMENTS:
 NO MORE THAN 20% OF A SINGLE PLANT SPECIES ON SITE. CANOPY DEC TREES SHOULD BE A MIN OF 2" CAL. EVG TREES A MIN OF 10' HT. OR 5' SPREAD. ALL SHRUBS SHOULD BE 30" MIN HEIGHT OR 24" IN SPREAD.

PEA GROUP
 t: 844.813.2949
 www.peagroup.com

0 20 40 80
 SCALE: 1" = 40'

811 Know what's below. Call before you dig.

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DECIDUOUS TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
5	GB3	Fastigate Ginkgo (columnar)	<i>Ginkgo biloba 'Fastigata'</i>	3" Cal.	B&B
2	MJ2	Marilee Crab	<i>Malus 'Jarmin' PP14337 (white, upright, fruitless)</i>	2" Cal.	B&B
2	MRS2	Royal Star Magnolia	<i>Magnolia stellata 'Royal Star'</i>	2" Cal.	B&B
5	QS3	Streetspire Oak	<i>Quercus alba 'JFS-KW1QX' (columnar)</i>	3" Cal.	B&B
1	SR3	Japanese Tree Lilac	<i>Syringa reticulata</i>	3" Cal.	B&B
3	TA3	Redmond Linden	<i>Tilia americana 'Redmond'</i>	3" Cal.	B&B
18	TOTAL DECIDUOUS TREES				

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
21	HB30	Bobo Hydrangea	<i>Hydrangea paniculata 'Bobo'</i>	30" Ht.	Cont.
45	RA24	Gro Low Sumac	<i>Rhus aromatica 'Gro-Low'</i>	24" Ht.	Cont.
14	SB30	Blooming Lilac	<i>Syringa x penda 'Blooming'</i>	30" Ht.	Cont.
64	SNF24	Neon Flash Spirea	<i>Spiraea japonica 'Neon Flash'</i>	24" Ht.	Cont.
10	TO6	Techny Arborvitae	<i>Thuja occidentalis 'Techny'</i>	6' Ht.	B&B
154	TOTAL SHRUBS				

PERENNIAL PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
23	PA	Dwarf Fountain Grass	<i>Pennisetum alopecuroides 'Little Bunny'</i>	1 Gal.	Cont.
23	TOTAL PERENNIALS				

REPLACEMENT TREE PLANT LIST

DECIDUOUS TREE:

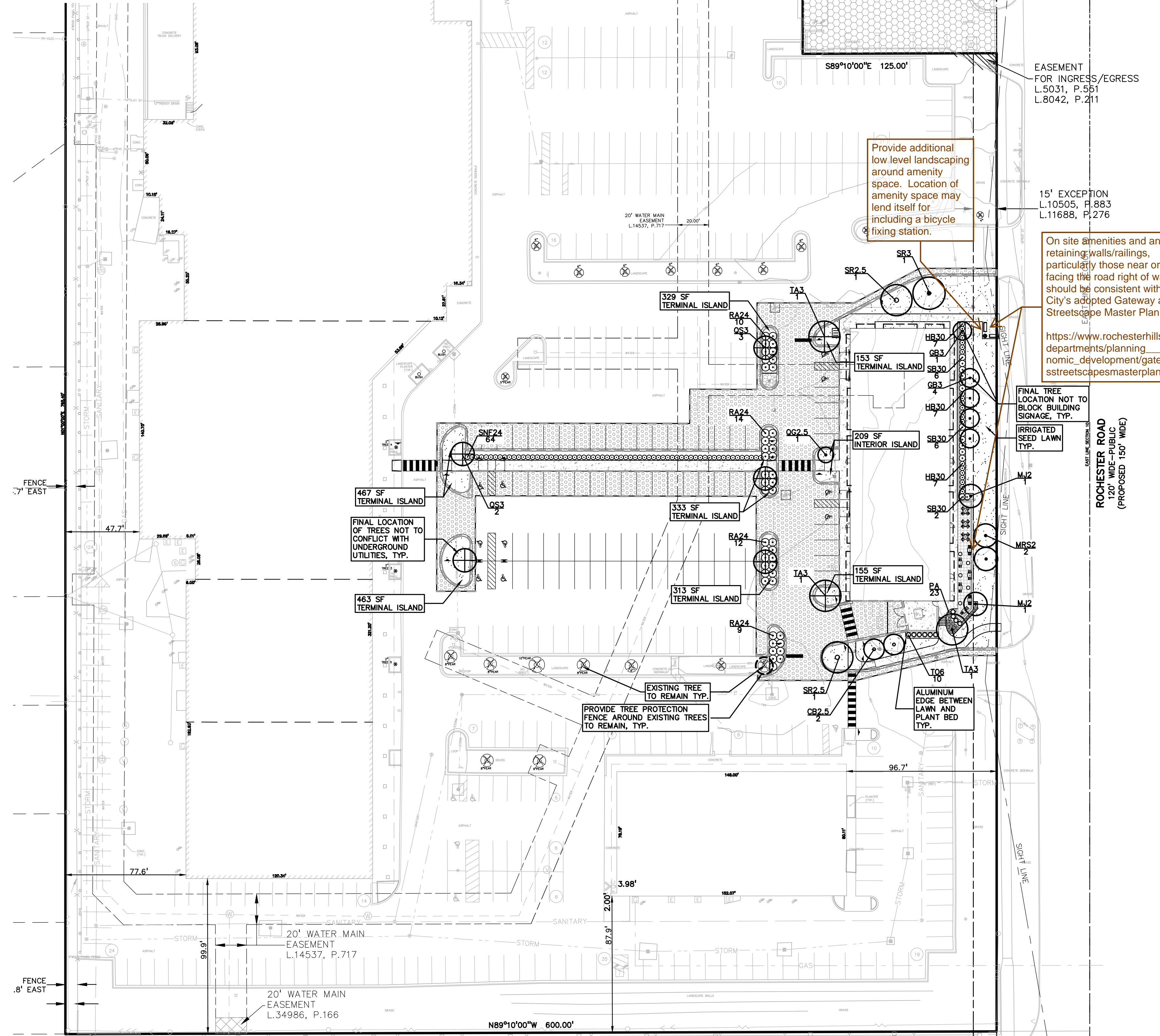
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
2	CB2.5	Frans Fontaine European Hornbeam	<i>Carpinus betulus 'Fran Fontaine'</i>	2.5" Cal.	B&B
1	QG2.5	Skinny Genes Oak	<i>Quercus alba 'JFS-KW2QX' P.A.F. (col./fastigiate)</i>	2.5" Cal.	B&B
2	SR2.5	Japanese Tree Lilac	<i>Syringa reticulata</i>	2.5" Cal.	B&B
5	TOTAL DECIDUOUS TREES				

GENERAL PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALLETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- FOR NON-LAWN SEED MIX AREAS, AS NOTED ON PLAN, BRUSH MOW ONCE SEASONALLY FOR INVASIVE SPECIES CONTROL.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.

LANDSCAPING

PLAN QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	ITEM PRICE
1,016	S.Y.	SEED LAWN	\$2.50	\$2,540.00
4	EA.	SUB CANOPY ORNAMENTAL TREES AT 2" CAL.	\$350.00	\$1,400.00
19	EA.	DECIDUOUS TREES AT 3" CAL.	\$550.00	\$10,450.00
0	EA.	EVERGREEN TREES AT 8' HT.	\$450.00	\$0.00
15	C.Y.	MULCH 3"	\$50.00	\$750.00
30	C.Y.	PLANT MIX FOR BEDS (6" DEPTH)	\$55.00	\$1,650.00
200	L.F.	ALUMINUM EDGING	\$5.00	\$1,000.00
0	C.Y.	RIVER ROCK	\$25.00	\$0.00
0	EA.	PERENNIALS	\$125.00	\$0.00
10	EA.	SHRUBS 6' HT ARBS	\$125.00	\$1,250.00
0	EA.	TREES TO BE PAID INTO THE TREE FUND	\$345.00	\$0.00
0	AC.	IRRIGATION (COMMERCIAL BUILDING)	\$21,000.00	\$6,300.00
0	S.Y.	SPECIALTY SEED MIXES	\$3.00	\$0.00
1	25%	CONTINGENCY	\$6,022.50	\$6,022.50
SITE AMENITIES/FURNITURE, PERENNIALS / SHRUBS NIC				
TOTAL LANDSCAPING				\$31,362.50
LAWN RESTORATION NIC				
TOTAL				\$ 31,363



CLIENT: MARKUS MANAGEMENT GROUP, LLC
 251 EAST MERRILL STREET, SUITE: 205
 BIRMINGHAM, MICHIGAN 48009

PROJECT TITLE: NORTH HILL SHOPPING CENTER
 1487 N. ROCHESTER ROAD
 ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

REVISIONS:

NO.	DESCRIPTION	DATE
1	PER CITY COMMENTS	12.06.23
2	PER CITY COMMENTS	01.05.24

ORIGINAL ISSUE DATE: SEPTEMBER 25, 2023

DRAWING TITLE: OVERALL LANDSCAPE PLAN

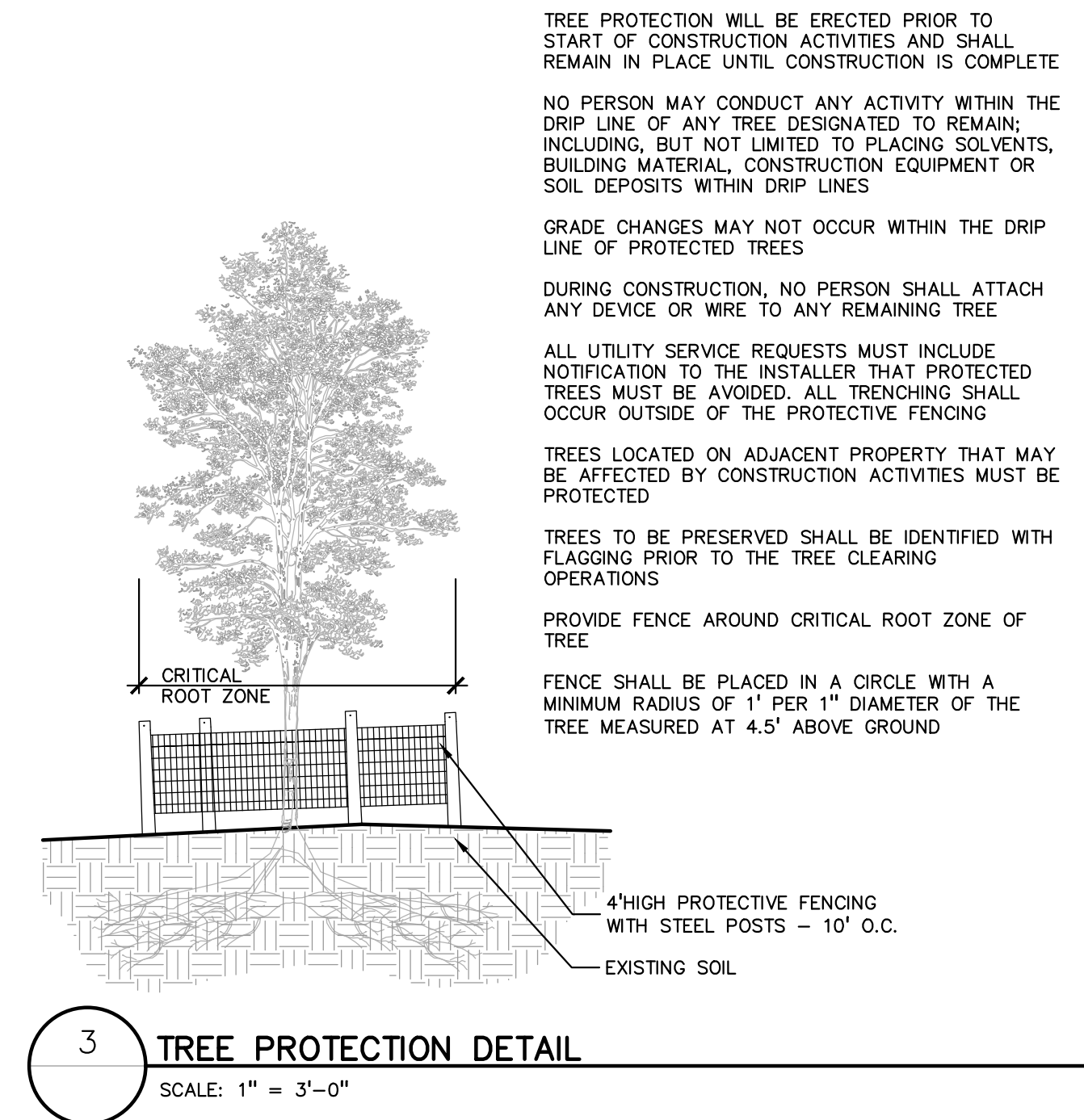
PEA JOB NO.: 2021-0512

P.M.: JPB
DN: BZ
DES.: JLE

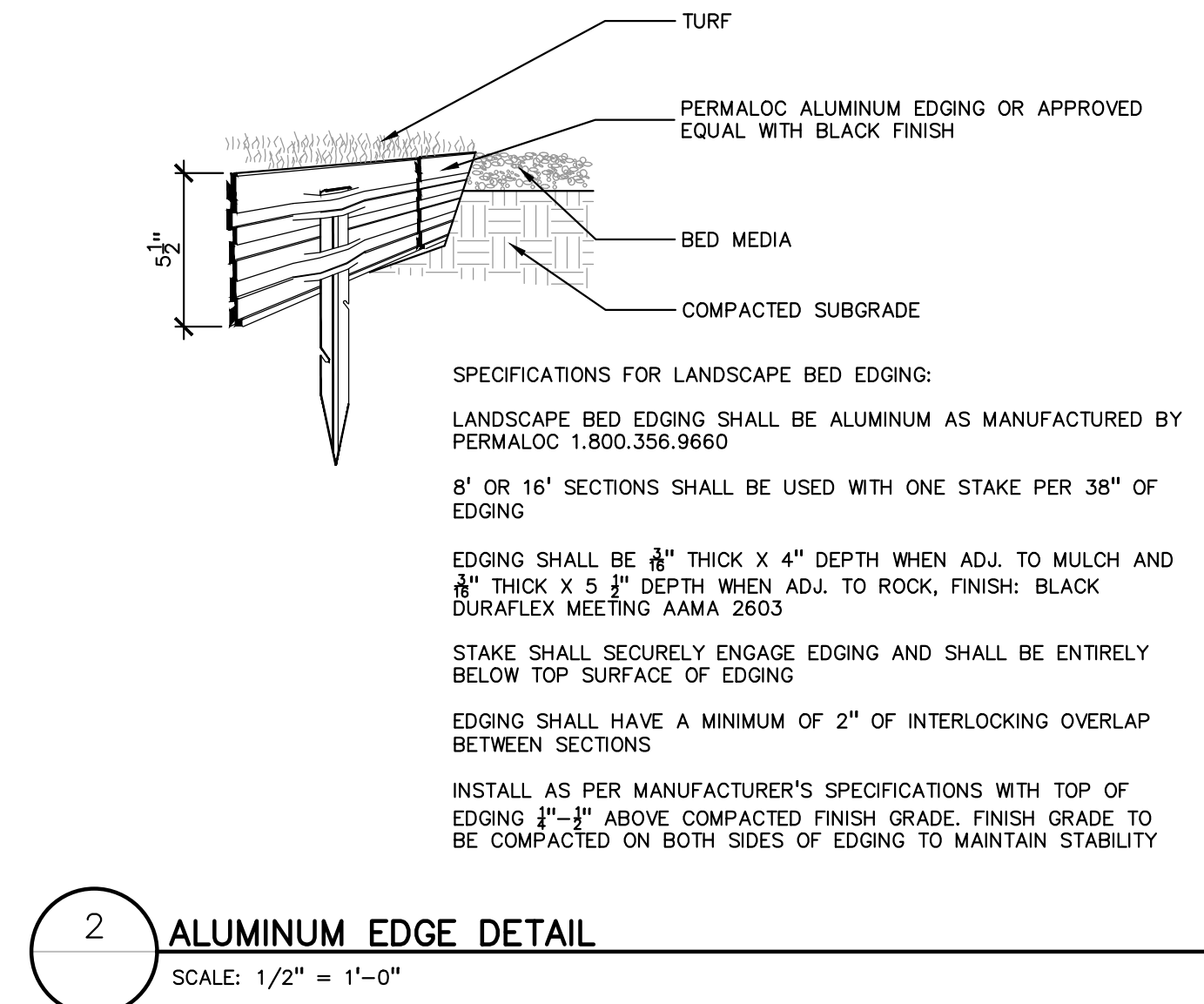
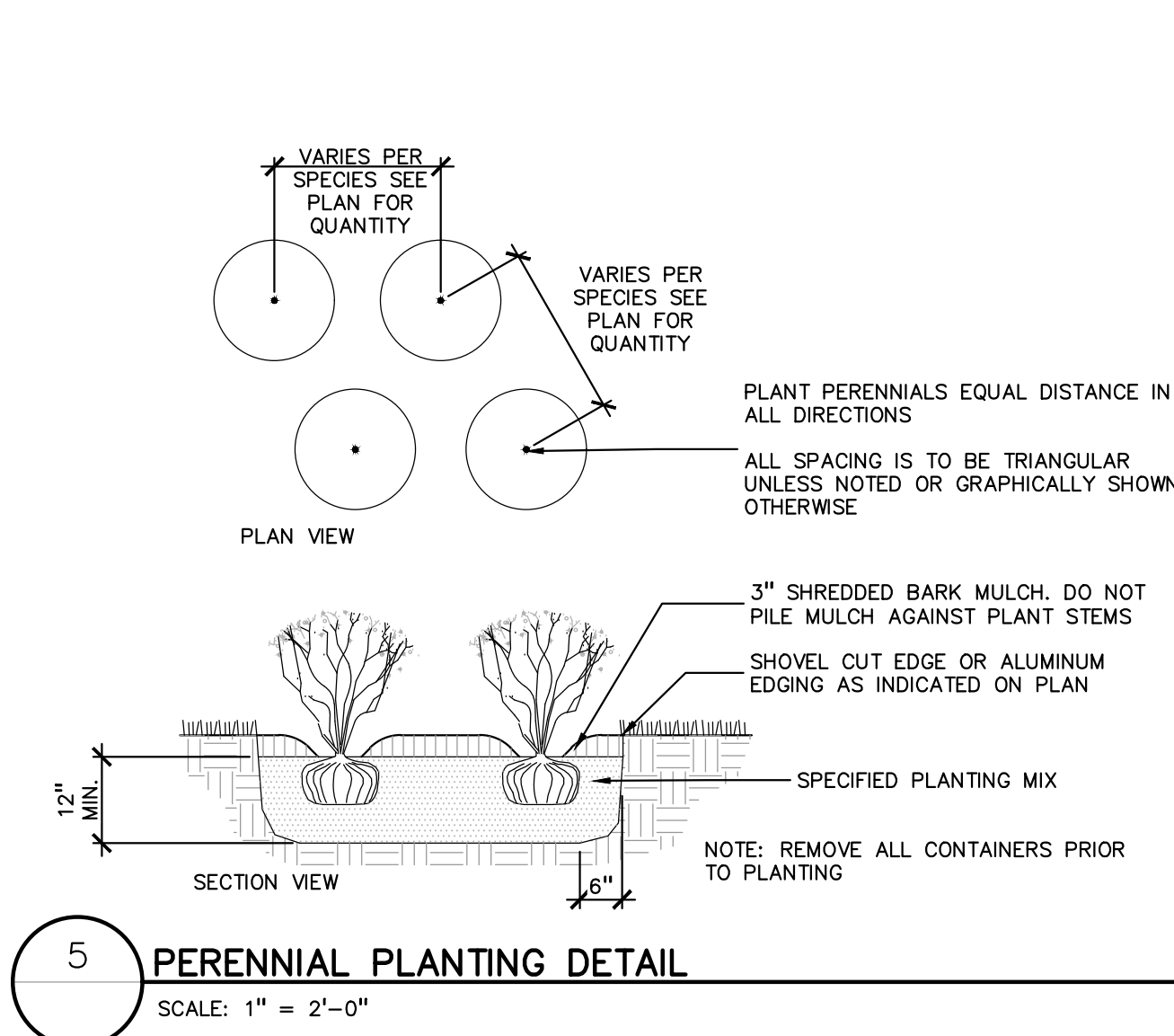
DRAWING NUMBER: L-1.0

Logos: PEAGROUP, ROCHESTER HILLS MICHIGAN, J2023-0071 PSP2023-0025 Revision #2, City of Rochester Hills Planning & Economic Development, Received 1/8/2024

NOT FOR CONSTRUCTION (CITY FILE #23-0071; SECTION 10)



CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
MARKUS MANAGEMENT GROUP, LLC
251 EAST MERRILL STREET, SUITE: 205
BIRMINGHAM, MICHIGAN 48009

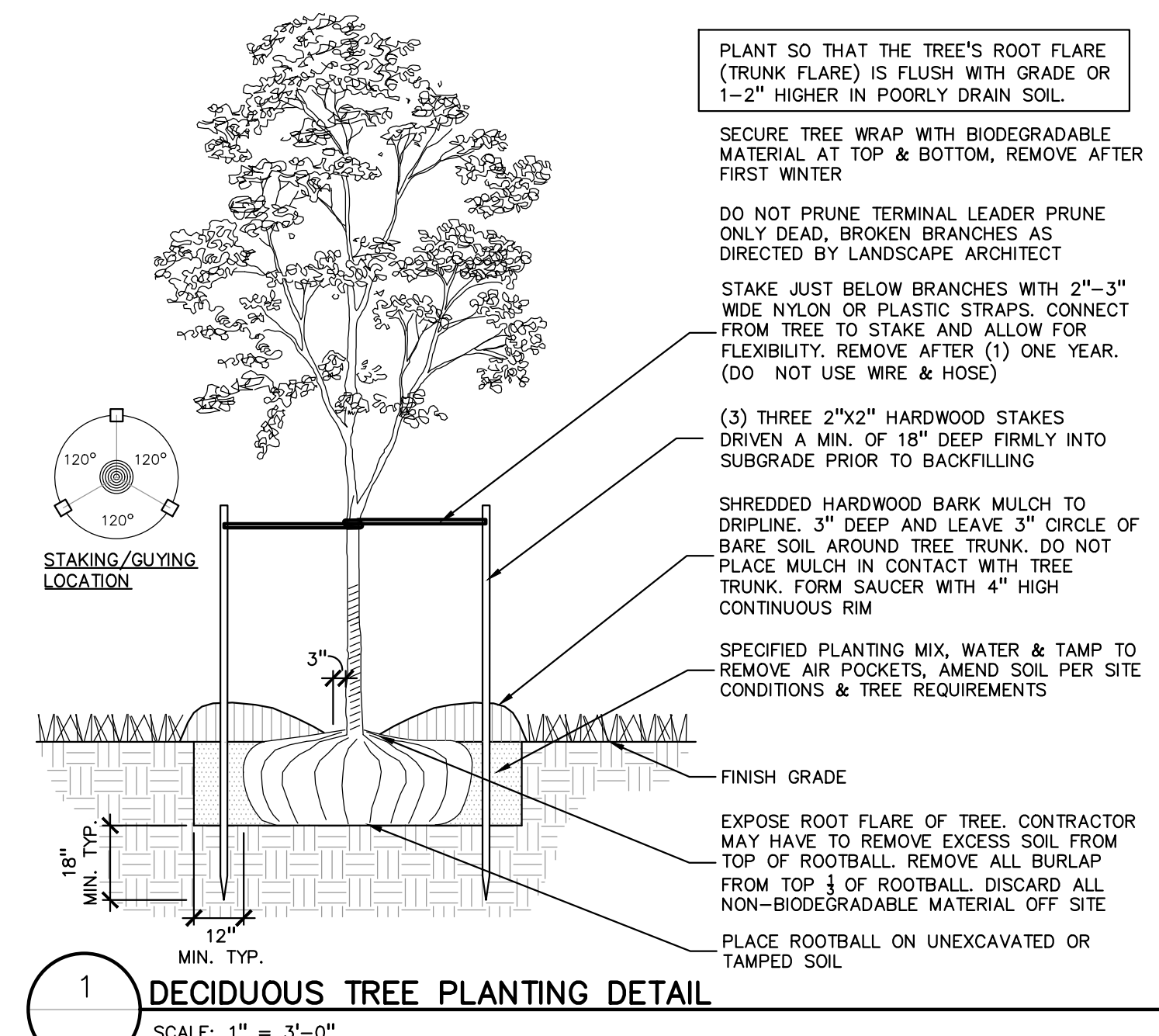
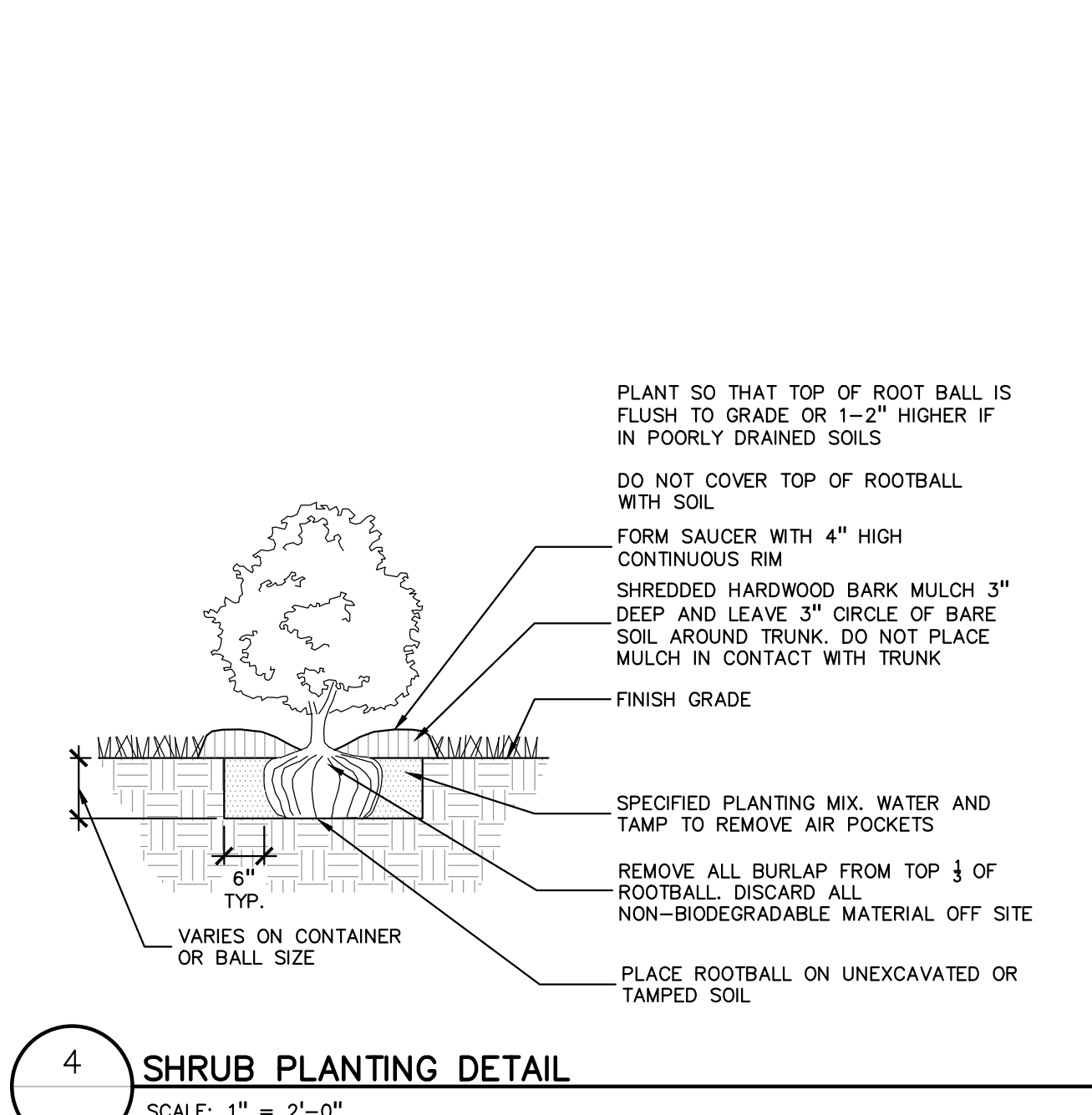
PROJECT TITLE
NORTH HILL SHOPPING CENTER
1467 N. ROCHESTER ROAD
ROCHESTER HILLS, OHIO COUNTY, MICHIGAN

REVISIONS	
PER CITY COMMENTS	12.06.23
PER CITY COMMENTS	01.05.24

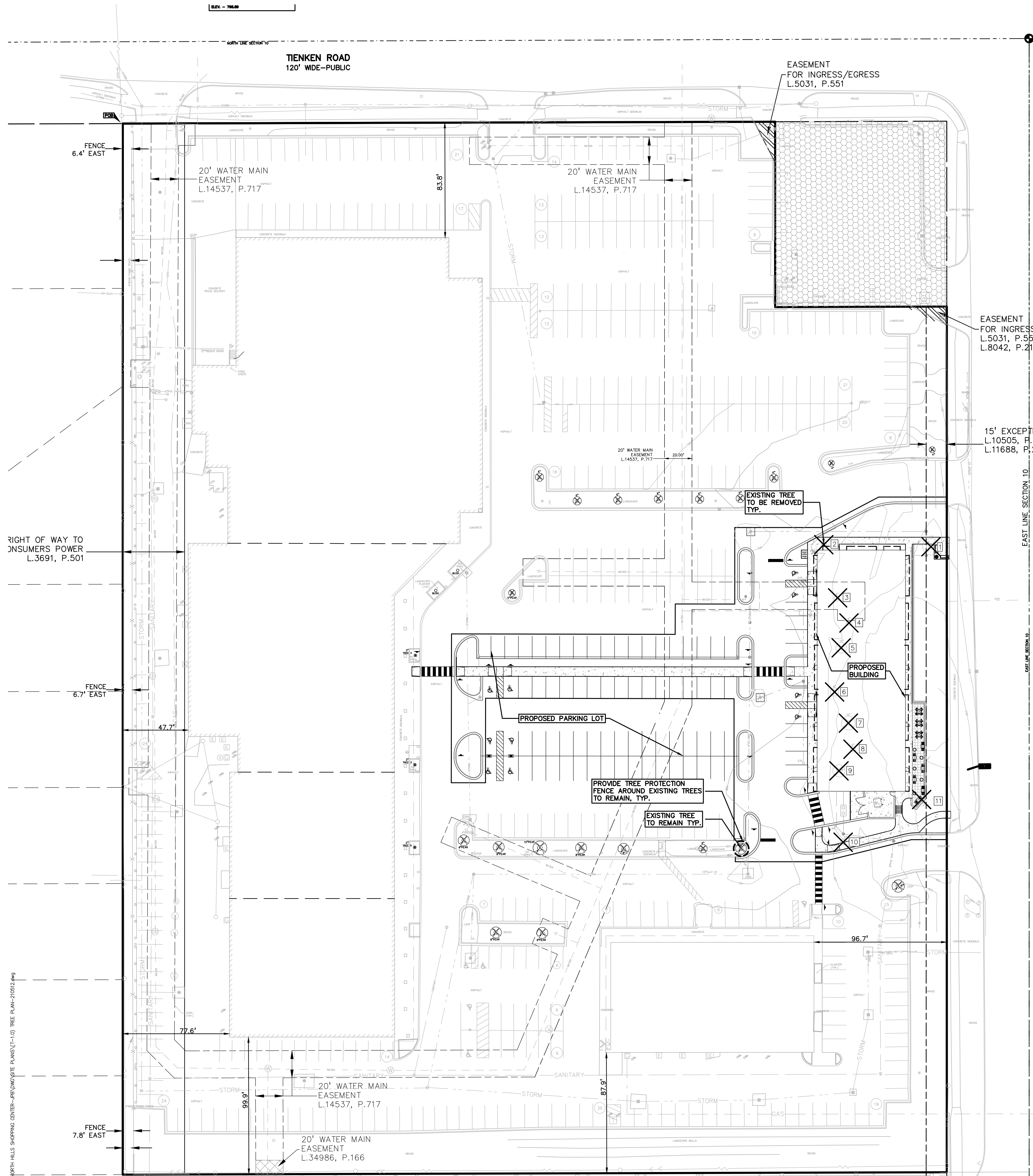
ORIGINAL ISSUE DATE:
SEPTEMBER 25, 2023

DRAWING TITLE
LANDSCAPE DETAILS

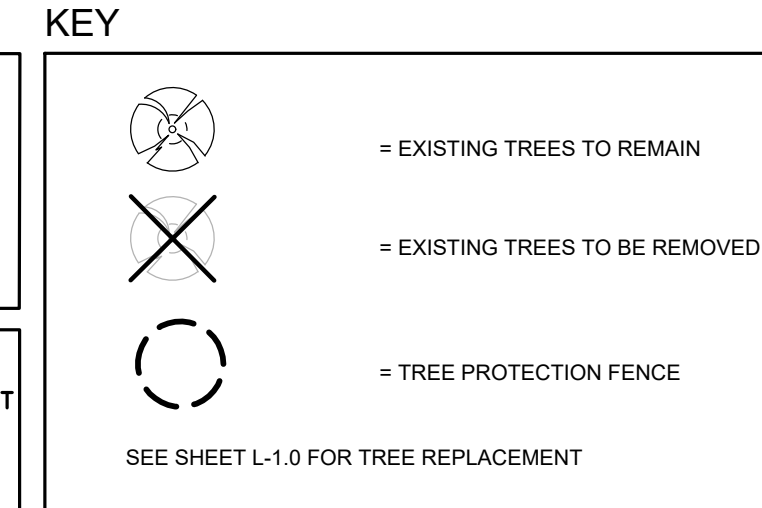
PEA JOB NO.	2021-0512
P.M.	JPB
DN.	BZ
DES.	JLE
DRAWING NUMBER:	



NOT FOR CONSTRUCTION (CITY FILE #23-0071; SECTION 10)



NATURAL FEATURES STATEMENT:
STEEP SLOPE:
 THE SITE DOES NOT CONTAIN REGULATED STEEP SLOPES.
WETLANDS:
 THE SITE DOES NOT CONTAIN REGULATED WETLANDS.
NATURAL FEATURES SETBACK:
 THE SITE DOES NOT CONTAIN REQUIRED NATURAL FEATURE SETBACKS.
TREE NOTE PER CITY OF ROCHESTER HILLS:
 ANY PLANT MATERIAL THAT IS DESIGNATED TO BE PRESERVED THAT DIES OR IS DAMAGED DURING OR AS A RESULT OF CONSTRUCTION SHALL BE REPLACED PURSUANT TO ORDINANCE REQUIREMENT

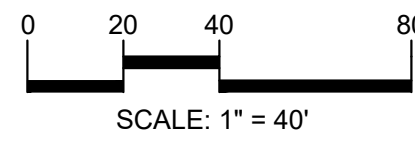


EXISTING TREE LIST:

NO.	CODE	DBH	COMMON NAME	LATIN NAME	CONDITION	NOTES	EXEMPT	SPECIMEN	SAVE / REMOVE
1	NM	12	Norway Maple	Acer platanoides	Good		Y		REMOVE
2	CA	4	Crab Apple	Malus coronaria	Good		Y		REMOVE
3	CA	4	Crab Apple	Malus coronaria	Good		Y		REMOVE
4	CA	4	Crab Apple	Malus coronaria	Good		Y		REMOVE
5	CA	10	Crab Apple	Malus coronaria	Good		Y		REMOVE
6	CA	6	Crab Apple	Malus coronaria	Good		Y		REMOVE
7	CA	10	Crab Apple	Malus coronaria	Good		Y		REMOVE
8	CA	4	Crab Apple	Malus coronaria	Good		Y		REMOVE
9	CA	9	Crab Apple	Malus coronaria	Good		Y		REMOVE
10	CA	5	Crab Apple	Malus coronaria	Good		Y		REMOVE
11	CA	4	Crab Apple	Malus coronaria	Good		Y		REMOVE

REGULATED ON SITE TREES
 REGULATED TREES REMOVED: 6
 SPECIMEN TREES REMOVED: 0
 DBH OF SPECIMEN TREES REMOVED: 0 INCHES = 0 REPLACEMENT INCHES
 2" SPECIMEN REPLACEMENT TREES: 0 TREES (2" DECIDUOUS OR 8" EVERGREEN)
 SPECIMEN TREES TO REMAIN ON-SITE: 0 TREES
 REPLACEMENT REQUIRED: 6+0-0=5 TREES (2" DECIDUOUS OR 8" EVERGREEN)

TOTAL TREES ON SITE: 22
 EXEMPT TREES IN BUILDING: 0
 TREES TO REMAIN ON SITE: 11
 (11) TREES ADJACENT TO CONSTRUCTION AREA TO REMAIN
 % TREES TO REMAIN: (11)(22-0) = 50%



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TREE PROTECTION WILL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE

NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN; INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE

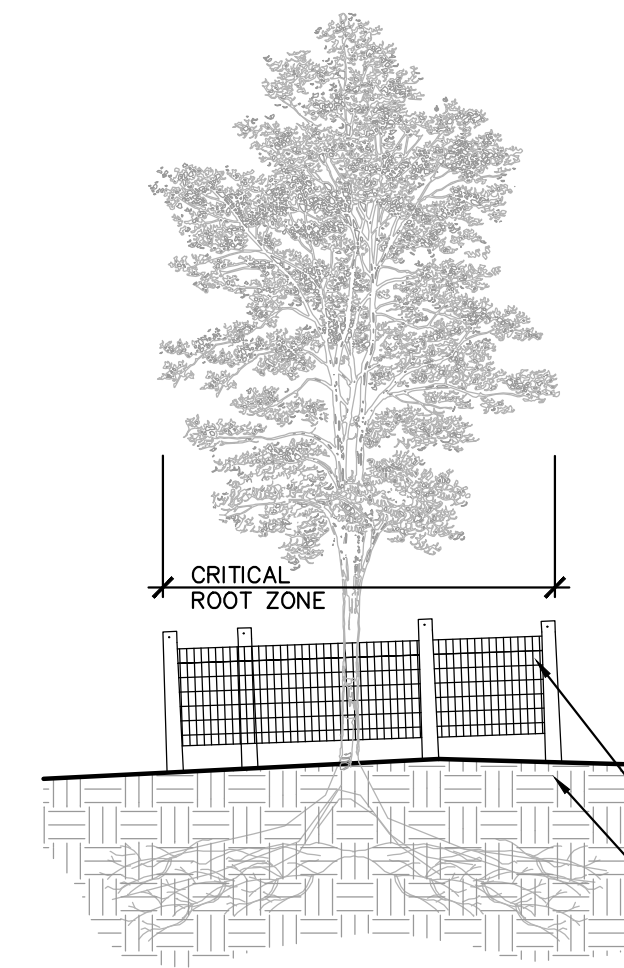
ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED

TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS

PROVIDE FENCE AROUND CRITICAL ROOT ZONE OF TREE

FENCE SHALL BE PLACED IN A CIRCLE WITH A MINIMUM RADIUS OF 1' PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND



1 TREE PROTECTION DETAIL
 SCALE: 1" = 3'-0"

CLIENT
MARKUS MANAGEMENT GROUP, LLC
 251 EAST MERRILL STREET, SUITE: 205
 BIRMINGHAM, MICHIGAN 48009

PROJECT TITLE
NORTH HILL SHOPPING CENTER
 1467 N. ROCHESTER ROAD
 ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

REVISIONS

PER CITY COMMENTS	12.06.23
PER CITY COMMENTS	01.05.24

ORIGINAL ISSUE DATE:
 SEPTEMBER 25, 2023
DRAWING TITLE
TREE PRESERVATION PLAN

PEA JOB NO. 2021-0512
P.M. JPB
DN. BZ
DES. JLE
DRAWING NUMBER:

CITY OF ROCHESTER HILLS NOTES:
IMPORTANT:
 ALL TREES ON ADJACENT PROPERTIES MUST BE PROTECTED. THE TREE PROTECTIVE FENCING MAY BE PLACED ALONG THE ACTUAL PROPERTY LINE IF THE BRANCHES OF THE TREES ON THE ADJACENT PROPERTIES DO NOT OVERHANG ONTO THE SITE BEING DEVELOPED. IF THE BRANCHES OVERHANG ONTO THE AREA OF THE SITE BEING DEVELOPED, THE TREE PROTECTIVE FENCING MUST BE PLACED AT THE ACTUAL DRIP LINE OF THESE TREES. IT SHOULD ALSO BE NOTED THAT THE SILT FENCING MUST BE PLACED ON THE DEVELOPMENT SIDE OF THE TREE PROTECTIVE FENCING. THE SILT FENCING MAY NOT BE PLACED BETWEEN THE TREE BEING PRESERVED AND THE TREE PROTECTIVE FENCING. IF ANY REGULATED TREES ARE MANAGED ON THE ADJACENT PROPERTIES, THE DAMAGED TREES WILL BE EITHER REPLACED ON THE OWNER'S PROPERTY OR AN INCH FOR INCH BASIS OR A FINE IN THE SUM OF \$122.00 PER CAL/PER INCH WILL BE ISSUED AGAINST THE DEVELOPER. THIS FINE WILL BE DUE PRIOR TO BUILDING PERMITS BEING ISSUED. IF YOU HAVE ANY QUESTIONS OR NEED ADDITIONAL INFORMATION, CALL THE CITY'S PLANNING DEPARTMENT AT 248-656-4660.

TREE PROTECTION NOTES:

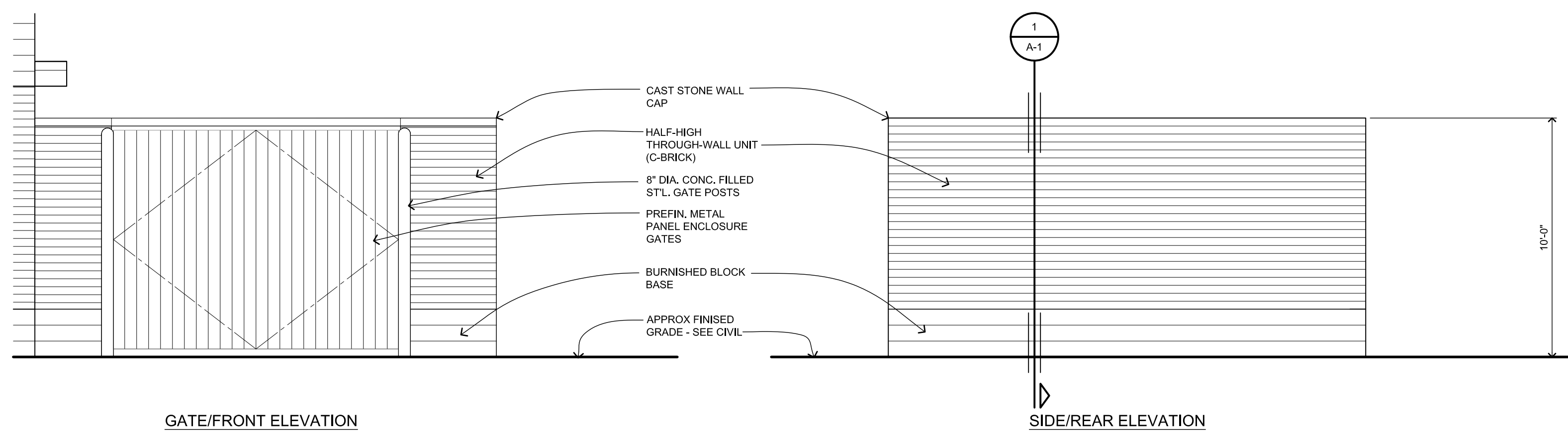
- The tree protection fencing (TPF) shall be erected per the plans approved by the City of Rochester Hills Planning Department. The TPF must be in place and be inspected by the City of Rochester Hills Planning Staff prior to the start of any earthwork or construction operations. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule a TPF inspection. The TPF shall remain in place throughout the entire construction process or until the City authorizes the removal or issues a final Certificate of Occupancy, whichever occurs first.
- Upon completion of grading and the installation of the infrastructure, a second inspection of the TPF and the trees designated for preservation is required by the City of Rochester Hills Forester prior to the start of any additional construction. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule this TPF inspection.
- A final inspection by the City of Rochester Hills Planning Staff is required at the end of the warranty and maintenance period. The Landscape Maintenance Bond will not be released until this inspection is complete and all related issues are resolved. It is the developer's responsibility to contact the City Planning Department at 248-656-4660 to schedule this inspection.
- The Tree Conservation Ordinance prohibits any construction or development activities within the drip line of any regulated trees not approved for removal, including, but not limited to, land clearing, grubbing, trenching, grading or filling; no person shall place any solvents, building material, construction equipment, soil deposits or harmful materials within the drip line limit of trees designated for preservation.
- Proposed grades are to match the existing elevations outside the limits of the TPF. No grading either cut or fill is permitted within the drip line of any tree designated for preservation.
- During the construction process no person shall attach any device or wire/cable/card/rope to an existing tree designated to be preserved.
- All utility service requests must include notification to the installer that protected trees must be avoided. All trenching shall occur outside the TPF.
- Swales shall be routed to avoid the area within the drip line of the only tree designated for preservation. Swales shall be constructed so as to not direct any additional flow into the drip line of a tree designated for preservation.
- If tree protection cannot be maintained for a tree throughout entire period required, the replacement of that tree will be required on an inch for inch basis prior to the issuance of any Certificate of Occupancy.
- Regulated trees located off-site on adjacent properties that may be affected by construction operations must be protected defined herein.
- The TPF shall consist of four-foot high orange snow fencing to be installed around the drip line of all trees designated to be saved. This fencing shall be supported by six-foot metal T-bar posts five-feet on center and driven a minimum of 24" into the ground. The TPF fencing shall remain upright and securely in place for the required time as specified above.
- Prior to the release of the Performance Bond, the City of Rochester Hills Forestry Division needs to inspect all trees existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developer to remove and possibly replace any such trees.

ROCHESTER HILLS MICHIGAN
 J2023-0071
 PSP2023-0025
 Revision #2
 Received 1/8/2024
 City of Rochester Hills
 Planning & Economic
 Development

NOT FOR CONSTRUCTION (CITY FILE #23-0071; SECTION 10)

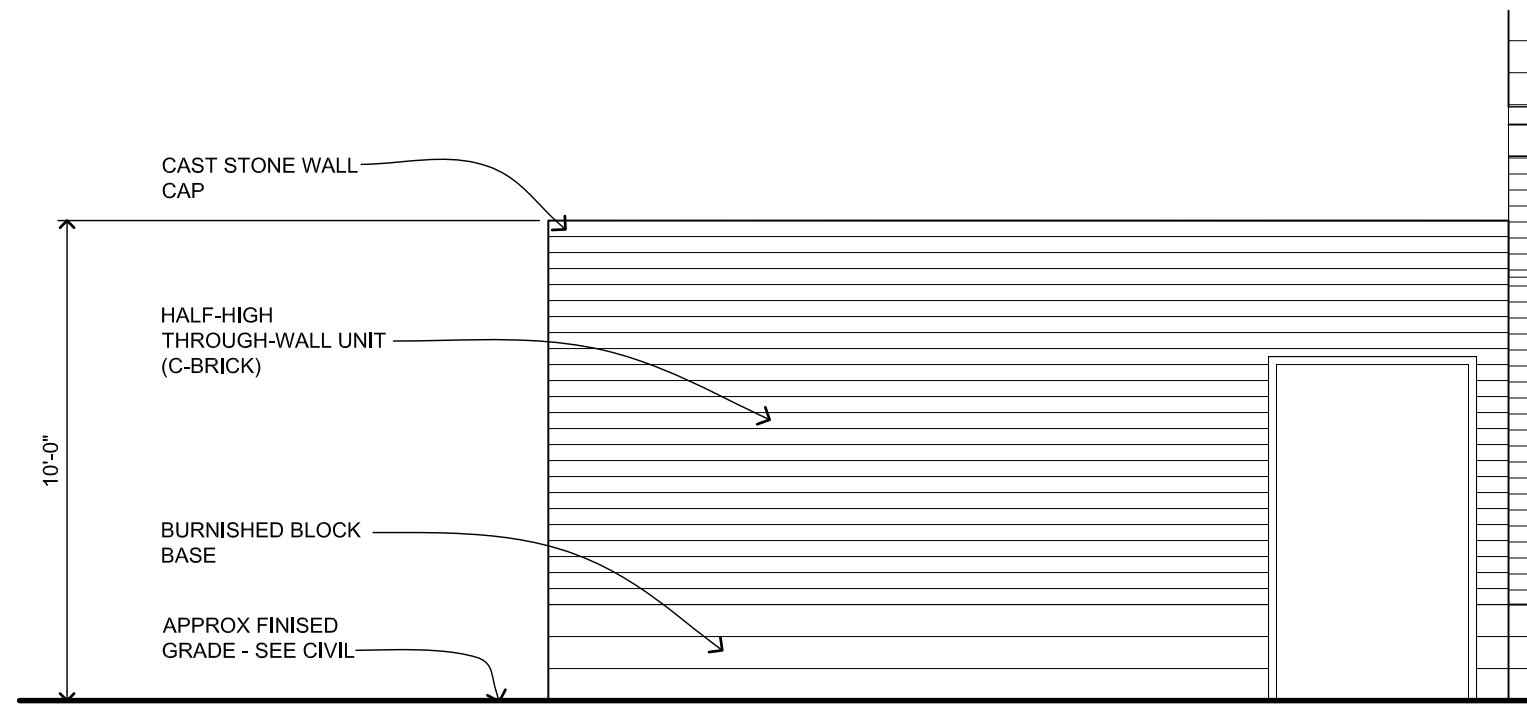
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S:\PROJECTS\2021-2025-002-NORTH HILLS SHOPPING CENTER-PEA\DWG\GATE PLANS\L-1.0 TREE PLAN-210912.dwg

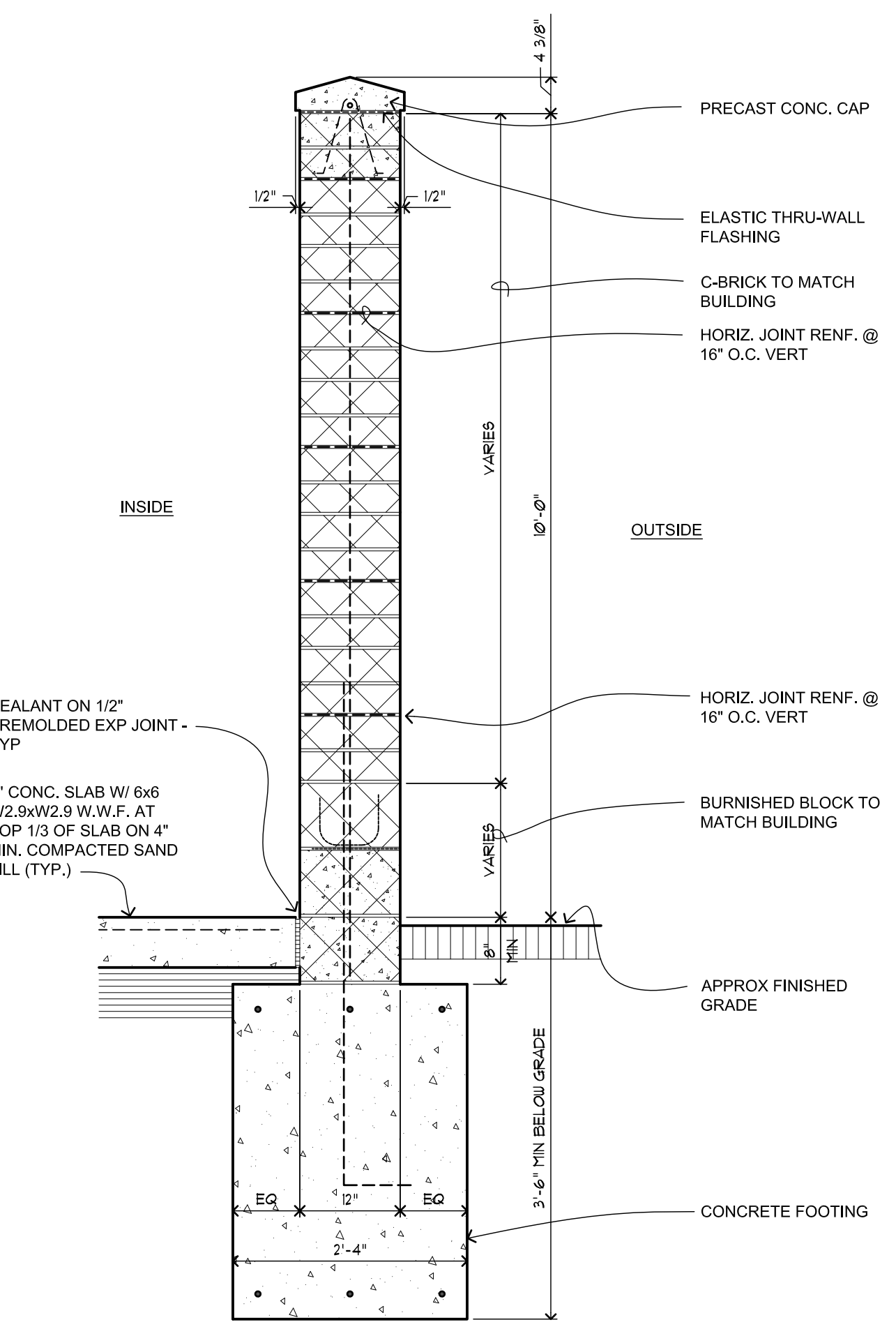


1 Dumpster Enclosure Elevations
1/4" = 1'-0"

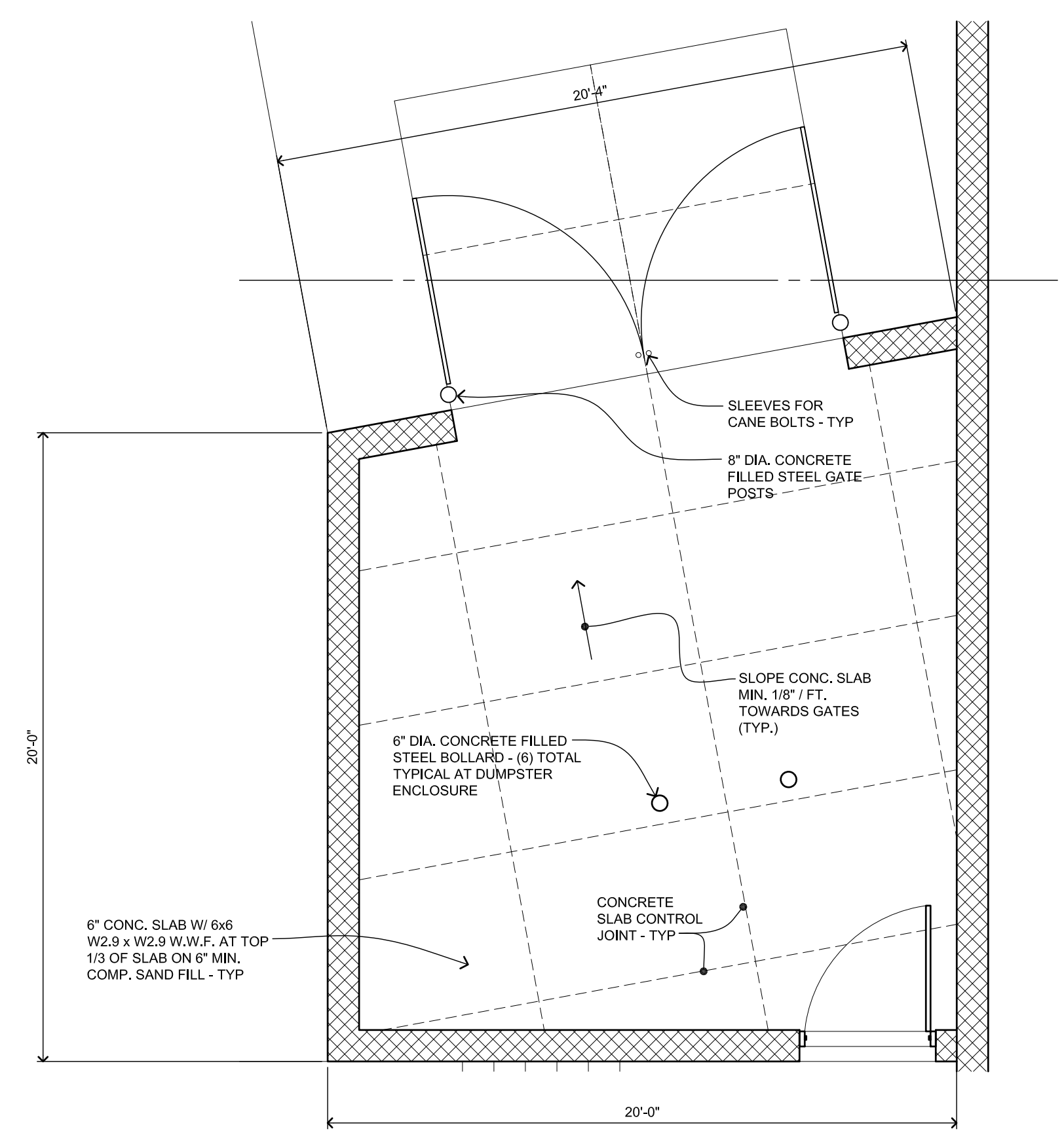
2 Dumpster Enclosure Elevations
1/4" = 1'-0"



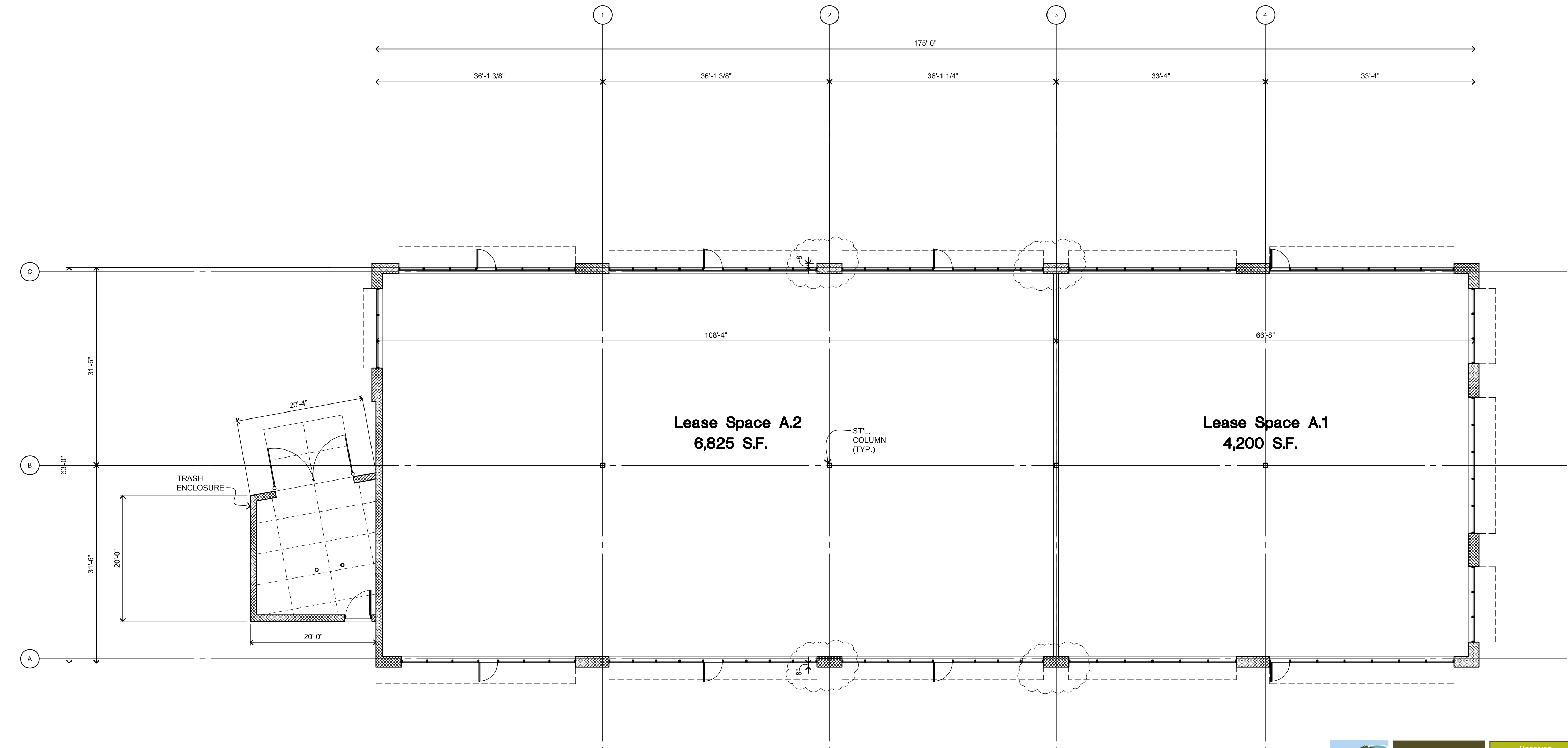
3 Dumpster Enclosure Elevations
1/4" = 1'-0"



1 Dumpster Enclosure Wall Section
3/4" = 1'-0"



Dumpster Enclosure Plan View
Scale: 1/4"=1'-0"



Floor Plan - Outparcel Bldg.
11,025 S.F. Scale: 3/32"=1'-0"

issued for:
OWNER REVIEW: 08 MAY 2023
OWNER REVIEW: 11 MAY 2023
OWNER REVIEW: 16 MAY 2023
REVISED: 07 JUL 2023
REVISED: 26 SEPT. 2023
REVISED: 16 NOV. 2023
REVISED: 21 DEC. 2023

project:
Proposed Outparcel Bldg.
North Hill Shopping Center
SWC Rochester Rd. & Tienken
Rochester Hills, Michigan

ROGVOY
ARCHITECTS
32500 TELEGRAPH ROAD
SUITE 250
BINGHAM FARMS, MICHIGAN
48025-2404
PH 248.540.7700 FX 248.540.2710
www.rogvoy.com



drawing:
Conceptual Floor Plan

DO NOT SCALE DRAWING

issue date:
drawn: KL
checked: MD
approved: MD

file number: 21036

sheet:

A-1

ROCHESTER HILLS
J2023-0071
PSP2023-0025
Revision #2
Received 1/8/2024
City of Rochester Hills
Planning & Economic
Development

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Building Code Compliance

BUILDING CODE - REFERENCES

MICHIGAN BUILDING CODE INCORPORATING THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE
 AMERICAN NATIONAL STANDARD - ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ANSI A117.1-2009)
 MICHIGAN MECHANICAL CODE INCORPORATING THE 2015 EDITION OF THE INTERNATIONAL MECHANICAL CODE
 MICHIGAN PLUMBING CODE INCORPORATING THE 2018 EDITION OF THE INTERNATIONAL PLUMBING CODE
 MICHIGAN ELECTRICAL CODE INCORPORATING THE 2017 EDITION OF THE NATIONAL ELECTRICAL CODE WITH PART 8 AMENDMENTS
 INTERNATIONAL FIRE CODE - 2015
 FIRE SUPPRESSION - NFPA 13 - 2013
 FIRE ALARM - NFPA 72 - 2013
 ENERGY CODE - MEC 2015 (MICHIGAN ENERGY CODE - CHAPTER 4, COMMERCIAL ENERGY EFFICIENCY COMPLYING WITH THE REQUIREMENTS OF ANSI/ASHRAE/IESNA 90.1-2013.
 INTERNATIONAL FUEL GAS CODE (IFGC) - 2015

PROPOSED BUILDING PROPERTIES

USE: MIXED USE AND OCCUPANCY (S 508)
 OCCUPANCIES: A-2, ASSEMBLY; B, BUSINESS; M, MERCANTILE
 CONSTRUCTION CLASSIFICATION: VB (S 602.5)
 STORIES: 1-STORY
 AREA: 11,925 SF
 HEIGHT: 26-FEET AT HIGH PARAPET
 SEPARATION: NON-SEPARATED OCCUPANCIES (S 508.3)
 SUPPRESSION SYSTEM: FULLY SPRINKLERED (S903)
 FIRE ALARM SYSTEM: FIRE ALARM (S907)
 FIRE ALARM SYSTEM TO BE PROVIDED THROUGHOUT BASED ON MOST RESTRICTIVE OCCUPANCY (ASSEMBLY) PER CHAPTER 9 OF THE BUILDING CODE
 FIRE ALARM SYSTEM IS A SEPARATE PERMIT SUBMITTED TO THE BUILDING DEPT. BY THE FIRE ALARM CONTRACTOR

BUILDING HEIGHT AND AREA (S503)
 TABULAR ALLOWABLE HEIGHT AND AREA BASED ON MOST RESTRICTIVE OCCUPANCY: 'A-2', ASSEMBLY (S 508.3.1)
 BUILDING AREA (S1, SPRINKLERED 1-STORY): 24,000 SF (T 506.2)
 HEIGHT AND AREA MODIFICATIONS (S504 AND S506)
 FRONTAGE INCREASE (S 506.3.3)
 BUILDING PERIMETER
 NORTH WALL: 64.33- FEET
 SOUTH WALL: 64.33- FEET
 EAST WALL: 175- FEET
 WEST WALL: 175- FEET
 OPEN SPACE WIDTH: 30- FEET
 OPEN SPACE WIDTH: 30- FEET
 OPEN SPACE WIDTH: 30- FEET
 OPEN SPACE WIDTH: 30- FEET
 (EQUATION 5-5) (S 506.3.3)
 If = (F / P - 0.25) W/30
 IF (AREA INCREASE DUE TO FRONTAGE)
 F (BUILDING PERIMETER WHICH FRONTS ON A PUBLIC WAY OR OPEN SPACE HAVING 20- FEET OPEN MINIMUM WIDTH)
 P (PERIMETER OF ENTIRE BUILDING (FEET))
 W (WIDTH OF PUBLIC WAY OR OPEN SPACE IN ACCORDANCE WITH SECTION 506.2.1 (FEET))
 F = 478.66 FT
 P = 478.66 FT
 W = 30 FT (WEIGHTED AVERAGE S506.3.2)
 If = 0.75
 (EQUATION 5-1 S506.2.1)
 Aa = At + (NS x If)
 Aa (ALLOWABLE AREA (SF))
 At (TABULAR ALLOWABLE AREA FACTOR (NS, S1, SM, OR S13R VALUE AS APPLICABLE) IN ACCORDANCE WITH TABLE 506.2)
 NS ((TABULAR ALLOWABLE AREA FACTOR IN ACCORDANCE WITH TABLE 506.2 FOR NON-SPRINKLERED BUILDING (REGARDLESS OF WHETHER THE BUILDING IS SPRINKLERED))
 If (AREA FACTOR INCREASE DUE TO FRONTAGE (PERCENT) AS CALCULATED IN ACCORDANCE WITH SECTION 506.3.3)

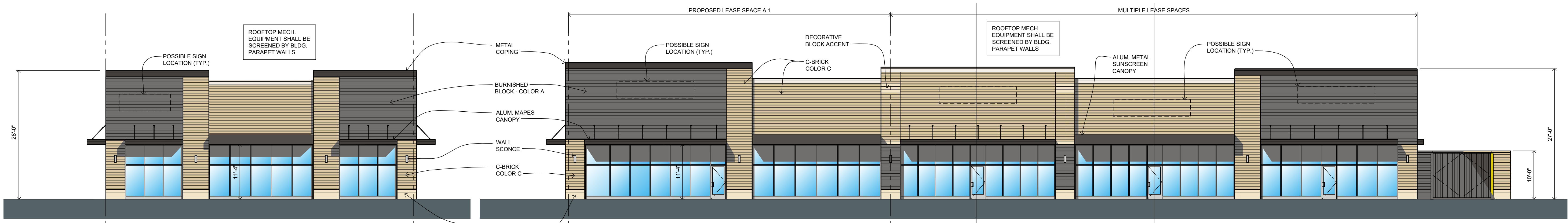
At = 24,000 SF (T 506.2)
 NS = 6,000 SF (T 506.2)
 If = 0.75 (PER EQUATION 5-5)
 Aa = 28,500 SF
CALCULATED ALLOWABLE BUILDING HEIGHT AND AREA
 ALLOWABLE AREA, 'Aa' (CALC): 28,500 SF (based on A-2, 1-story w/ sprinkler)
 ALLOWABLE HEIGHT (FEET): 80 FEET MAX ALLOWABLE (w/ sprinkler) (T 504.3)
 ALLOWABLE HEIGHT (ST): 2 STORIES MAX ALLOWABLE (T 504.4)
FIRE RESISTANCE RATING REQUIREMENTS (T601)
 CONSTRUCTION TYPE: VB
 STRUCTURAL FRAME = 0 HR
 BEARING WALLS
 EXTERIOR = 0 HR
 INTERIOR = 0 HR
 NON-BEARING WALLS & PARTITIONS
 EXTERIOR = 0 HR
 INTERIOR = 0 HR
 FLOOR CONSTRUCTION = 0 HR
 ROOF CONSTRUCTION = 0 HR

TENANT SEPARATION PARTITIONS TO BE PROVIDED AS A PART OF THE FUTURE TENANT INTERIOR IMPROVEMENT DOCUMENTS ISSUED UNDER SEPARATE COVER
 EXTERIOR WALL RATINGS AS REQUIRED PER TABLE 602, FIRE SEPARATION DISTANCE.

issued for:

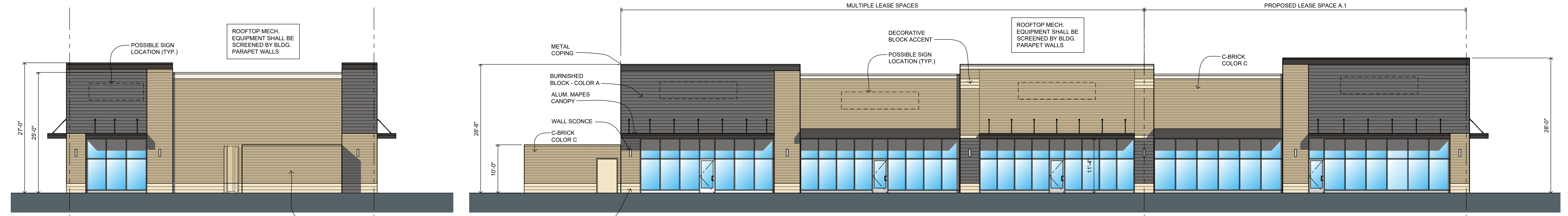
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REVISED	07 JUL 2023
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REVISED	21 DEC 2023

project:
 Proposed Outparcel Bldg.
North Hill Shopping Center
 SWC Rochester Rd. & Tienken
 Rochester Hills, Michigan



North Elevation
 Facade Transparency: 71%
 Scale: 3/32"=1'-0"

West Elevation
 Facade Transparency: 84.5%
 Scale: 3/32"=1'-0"



South Elevation
 Facade Transparency: 18.6%
 Scale: 3/32"=1'-0"

East Elevation
 Facade Transparency: 84.5%
 Scale: 3/32"=1'-0"

ROGVOY ARCHITECTS
 32500 TELEGRAPH ROAD
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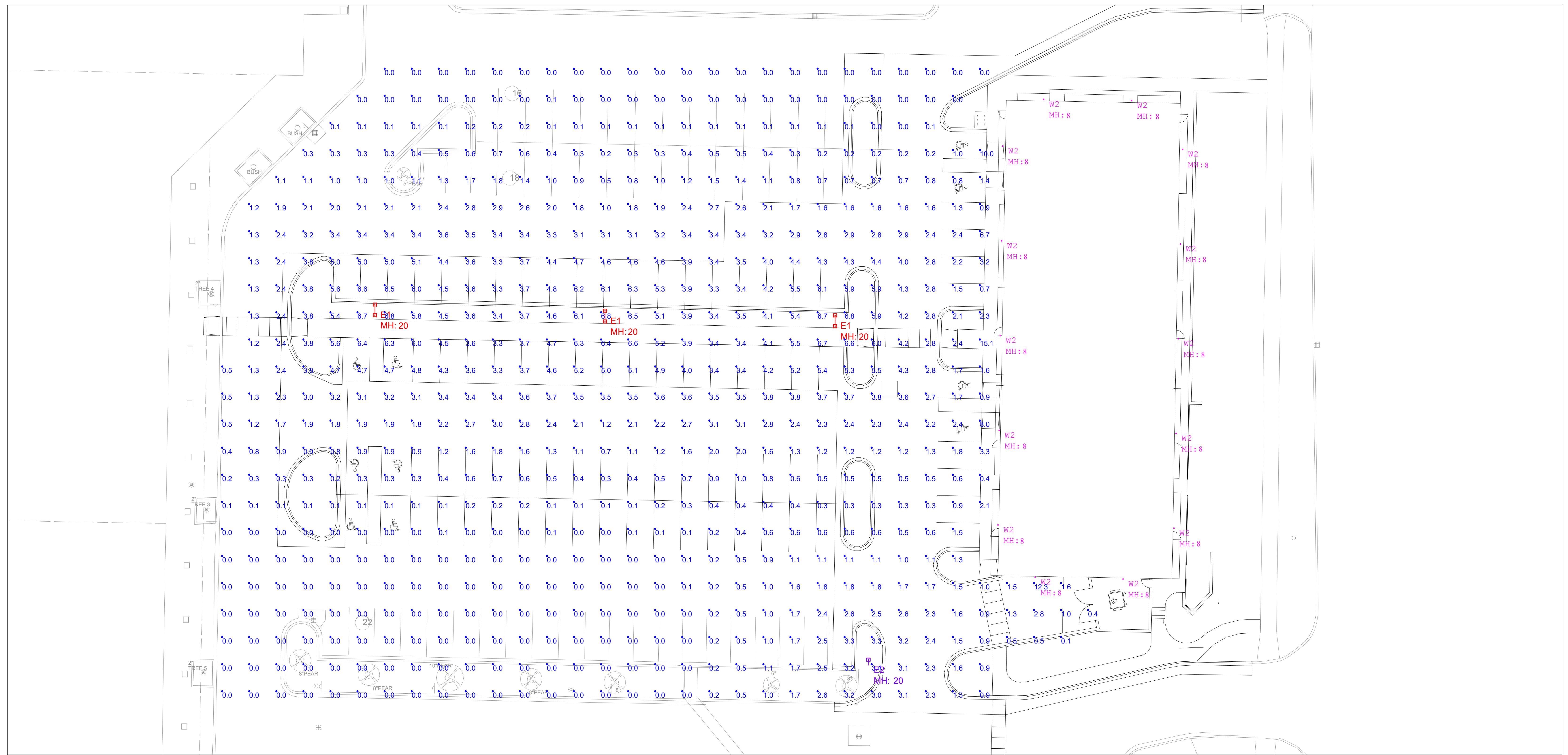


drawing:
Conceptual Bldg. Elevations

DO NOT SCALE DRAWING
 issue date:
 drawn: KL
 checked: MD
 approved: MD

file number: 21036
 sheet:

ROCHESTER HILLS MICHIGAN
 1/2023-0074
 PSP2023-0025
 Revision #2
 Received 1/10/2024
 City of Rochester Hills
 Planning & Economic Development



Ensure compliance with Min/Max lighting for each area of site pursuant to Zoning Ordinance requirements.

Site/Building Feature	Minimum Footcandles	Maximum Footcandles
Pedestrian areas/sidewalks	0.2	1.0
Building entrances	1.0	5.0
Driveway lighting	0.2	1.0
Parking areas	0.2	2.0
Parking areas or maneuvering lanes within 25 feet of the building	2.0	4.0
Under gas station canopies, outdoor sales areas, immediate vicinity of an ATM, loading docks	3.0	20

Label	Symbol	Qty	Manufacturer	Catalog Number	Light Loss Factor	Lumens Per Lamp	Watts	Mounting Height
W2	⊕	14	BEGA W2	24503_3000K	0.900	2023	26	8 feet
E1	⊕	3	LITHONIA E1 TWIN HEAD	DSX1 LED P5 3000K 70CRI T5LG	0.900	18462	138.16	20 feet
E2	⊕	1	LITHONIA E2 SINGLE HEAD	DSX1 LED P5 3000K 70CRI T5LG	0.900	18462	138.16	20 feet

NOTE:
ALL EXTERIOR LIGHTING IN NON-RESIDENTIAL DISTRICTS SHALL INCORPORATE AUTOMATIC TIMERS AND SHALL BE TURNED OFF BETWEEN THE HOURS OF MIDNIGHT AND SUNRISE, EXCEPT FOR LIGHTING NECESSARY FOR SECURITY PURPOSES OR ACCESSORY TO A USE THAT CONTINUES AFTER MIDNIGHT

Description	Avg fc	Max fc	Min fc	Avg/Min (:1)	Max/Min (:1)
PARKING LOT	1.72	15.1	0.0	N.A.	N.A.

PLAN VIEW: NOT TO SCALE

GENERAL NOTE
 1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0". FOOD SERVICE AREA AT: 2' - 6". TREES SHOWN AT BOTTOM OF LEAVES.
 3. ALTERNATE LIGHTING FIXTURES WILL NOT MEET CITY ORDINANCE COMPLIANCE DUE TO THE PRECISE OPTICAL AND OUTPUT PERFORMANCE SELECTED FOR THESE FIXTURES. ALTERNATE LIGHTING PROPOSALS MUST BE RECALCULATED AND RESUBMITTED TO THE CITY FOR APPROVAL. CONTACT LAYOUTS@GASSERBUSH.COM FOR ASSISTANCE WITH ALTERNATE OPTIONS IF NEEDED.

- THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS.
 THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

- THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY.
 THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

- UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

- FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

- THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

- MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

North Hills Shopping Center_V2 #23-20002.AGI

Gasser Bush Associates / Applications

www.gasserbush.com

Designer: JC3

Date:

Scale: NOT TO SCALE

PHOTOMETRIC PLAN



J2023-0071
PSP2023-0025
Revision #2

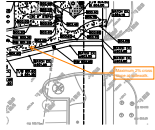
Received
1/8/2024
City of Rochester Hills
Planning & Economic
Development



PH-1

REVISED SITE PLAN.pdf Markup Summary

Building Department (7)



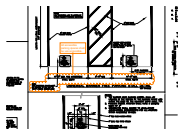
Subject: Building Department
Page Label: 6
Author: Mark Artinian
Date: 1/22/2024 12:30:01 PM
Status:
Color: ■
Layer:
Space:

Maximum 2% cross slope at sidewalk.



Subject: Building Department
Page Label: 9
Author: Mark Artinian
Date: 1/22/2024 12:37:27 PM
Status:
Color: ■
Layer:
Space:

VAN ACCESSIBLE



Subject: Building Department
Page Label: 9
Author: Mark Artinian
Date: 1/22/2024 12:39:00 PM
Status:
Color: ■
Layer:
Space:

All accessible parking spaces shall be van accessible.

Mark Artinian 248-841-2446
ArtinianM@RochesterHills.org

Subject: Building Department
Page Label: 1
Author: Mark Artinian
Date: 1/22/2024 12:47:00 PM
Status:
Color: ■
Layer:
Space:

Mark Artinian 248-841-2446
ArtinianM@RochesterHills.org

Yes

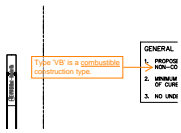
Subject: Building Department
Page Label: 1
Author: Mark Artinian
Date: 1/22/2024 12:47:33 PM
Status:
Color: ■
Layer:
Space:

Yes

GENERAL NOTES:

1. PROPOSED BUILDING SQ NON-COMBUSTIBLE TYP
2. MINIMUM WIDTH OF PRO OF CURB.
3. NO UNDERGROUND DETE

Subject: Building Department
Page Label: 5
Author: Mark Artinian
Date: 1/22/2024 1:07:45 PM
Status:
Color: ■
Layer:
Space:



Subject: Building Department
Page Label: 5
Author: Mark Artinian
Date: 1/22/2024 1:09:14 PM
Status:
Color: ■
Layer:
Space:

Type 'VB' is a combustible construction type.

Ellipse (1)



Subject: Ellipse
Page Label: 1
Author: C.McLeod
Date: 1/23/2024 1:12:03 PM
Status:
Color: ■
Layer:
Space:

Engineering Department (1)

Jason Boughton 248-841-2400
Boughton@RochesterHills.org Yes

Subject: Engineering Department
Page Label: 1
Author: Jason Boughton
Date: 1/8/2024 1:36:03 PM
Status:
Color: ■
Layer:
Space:

Fire Department (1)

LT Jon Mills 248-841-2708
MillsJ@RochesterHills.org Yes

Subject: Fire Department
Page Label: 1
Author: Jon Mills
Date: 1/22/2024 8:31:32 AM
Status:
Color: ■
Layer:
Space:

Group (20)



Subject: Group
Page Label: 1
Author: macdonaldj
Date: 1/8/2024 1:03:06 PM
Status:
Color:
Layer:
Space:

City of Rochester Hills Planning & Economic Development



Subject: Group
Page Label: 1
Author: C.McLeod
Date: 1/22/2024 8:59:15 AM
Status:
Color:
Layer:
Space:

SP



Subject: Group
 Page Label: 1
 Author: C.McLeod
 Date: 1/22/2024 8:59:19 AM
 Status:
 Color:
 Layer:
 Space:



Subject: Group
 Page Label: 1
 Author: C.McLeod
 Date: 1/22/2024 9:00:01 AM
 Status:
 Color:
 Layer:
 Space:



Subject: Group
 Page Label: 1
 Author: C.McLeod
 Date: 1/22/2024 9:01:54 AM
 Status:
 Color:
 Layer:
 Space:

LIP



Subject: Group
 Page Label: 2
 Author: C.McLeod
 Date: 1/23/2024 1:07:41 PM
 Status:
 Color:
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Received
 1/8/2024

City of Rochester Hills Planning & Economic
 Development



Subject: Group
 Page Label: 3
 Author: C.McLeod
 Date: 1/23/2024 1:07:51 PM
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Received
 1/8/2024

City of Rochester Hills Planning & Economic
 Development



Subject: Group
 Page Label: 16
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 Date: 1/23/2024 1:07:57 PM
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 Color:
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Received
 1/8/2024

City of Rochester Hills Planning & Economic
 Development



Subject: Group
Page Label: 15
Author: C.McLeod
Date: 1/23/2024 1:08:05 PM
Status:
Color:
Layer:
Space:

Received
 1/8/2024

City of Rochester Hills Planning & Economic
 Development



Subject: Group
Page Label: 14
Author: C.McLeod
Date: 1/23/2024 1:08:11 PM
Status:
Color:
Layer:
Space:

Received
 1/8/2024

City of Rochester Hills Planning & Economic
 Development



Subject: Group
Page Label: 13
Author: C.McLeod
Date: 1/23/2024 1:08:17 PM
Status:
Color:
Layer:
Space:

Received
 1/8/2024

City of Rochester Hills Planning & Economic
 Development



Subject: Group
Page Label: 12
Author: C.McLeod
Date: 1/23/2024 1:08:23 PM
Status:
Color:
Layer:
Space:

Received
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City of Rochester Hills Planning & Economic
 Development



Subject: Group
Page Label: 11
Author: C.McLeod
Date: 1/23/2024 1:08:28 PM
Status:
Color:
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Received
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City of Rochester Hills Planning & Economic
 Development



Subject: Group
Page Label: 10
Author: C.McLeod
Date: 1/23/2024 1:08:34 PM
Status:
Color:
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Space:

Received
 1/8/2024

City of Rochester Hills Planning & Economic
 Development



Subject: Group
Page Label: 9
Author: C.McLeod
Date: 1/23/2024 1:08:38 PM
Status:
Color:
Layer:
Space:

Received
 1/8/2024

City of Rochester Hills Planning & Economic
 Development



Subject: Group
Page Label: 8
Author: C.McLeod
Date: 1/23/2024 1:08:44 PM
Status:
Color:
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Received
 1/8/2024

City of Rochester Hills Planning & Economic
 Development



Subject: Group
Page Label: 7
Author: C.McLeod
Date: 1/23/2024 1:08:51 PM
Status:
Color:
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Received
 1/8/2024

City of Rochester Hills Planning & Economic
 Development



Subject: Group
Page Label: 6
Author: C.McLeod
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Received
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City of Rochester Hills Planning & Economic
 Development



Subject: Group
Page Label: 5
Author: C.McLeod
Date: 1/23/2024 1:09:02 PM
Status:
Color:
Layer:
Space:

Received
 1/8/2024

City of Rochester Hills Planning & Economic
 Development

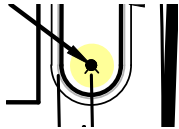



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Page Label: 4
Author: C.McLeod
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Status:
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Received
 1/8/2024


City of Rochester Hills Planning & Economic
 Development

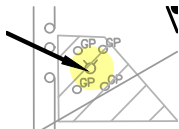
Highlight (13)




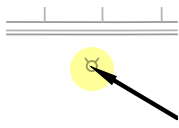
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Page Label: 5
Author: Jon Mills
Date: 1/11/2024 3:49:47 PM
Status:
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Layer:
Space:




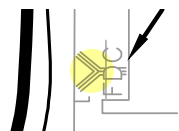
Subject: Highlight
Page Label: 5
Author: Jon Mills
Date: 1/11/2024 3:49:50 PM
Status:
Color: 
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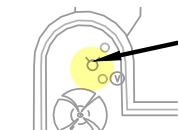
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Page Label: 5
Author: Jon Mills
Date: 1/11/2024 3:49:57 PM
Status:
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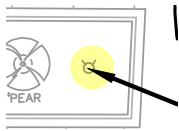
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Page Label: 5
Author: Jon Mills
Date: 1/11/2024 3:50:08 PM
Status:
Color: 
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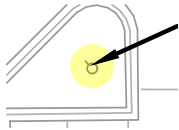
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Page Label: 5
Author: Jon Mills
Date: 1/11/2024 3:50:15 PM
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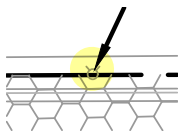
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Page Label: 5
Author: Jon Mills
Date: 1/11/2024 3:50:35 PM
Status:
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Space:



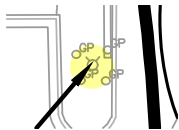
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Page Label: 5
Author: Jon Mills
Date: 1/11/2024 3:50:39 PM
Status:
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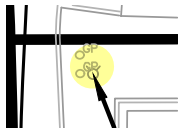
Subject: Highlight
Page Label: 5
Author: Jon Mills
Date: 1/11/2024 3:51:00 PM
Status:
Color:
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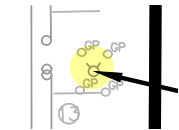
Subject: Highlight
Page Label: 5
Author: Jon Mills
Date: 1/11/2024 3:51:17 PM
Status:
Color:
Layer:
Space:



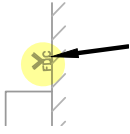
Subject: Highlight
Page Label: 5
Author: Jon Mills
Date: 1/11/2024 3:51:28 PM
Status:
Color:
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Space:



Subject: Highlight
Page Label: 5
Author: Jon Mills
Date: 1/11/2024 3:51:30 PM
Status:
Color:
Layer:
Space:



Subject: Highlight
Page Label: 5
Author: Jon Mills
Date: 1/11/2024 3:51:41 PM
Status:
Color:
Layer:
Space:



Subject: Highlight
Page Label: 5
Author: Jon Mills
Date: 1/11/2024 3:51:42 PM
Status:
Color: ■
Layer:
Space:

Image (1)



Subject: Image
Page Label: 15
Author: C.McLeod
Date: 1/22/2024 9:29:35 AM
Status:
Color: ■
Layer:
Space:

Jenny McGuckin - YES (1)



Subject: Jenny McGuckin - YES
Page Label: 1
Author: Jenny McGuckin
Date: 1/10/2024 9:25:55 AM
Status:
Color: ■
Layer:
Space:

Natural Resources (1)



Subject: Natural Resources
Page Label: 1
Author: Matt Einheuser
Date: 1/16/2024 11:20:17 AM
Status:
Color: ■
Layer:
Space:

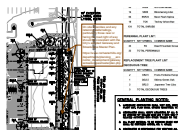
Planning Department (12)



Subject: Planning Department
Page Label: 8
Author: C.McLeod
Date: 1/22/2024 9:10:10 AM
Status:
Color: ■
Layer:
Space:

On site amenities, particularly those near the road right of way should be consistent with the City's adopted Gateway and Streetscape Master Plan.

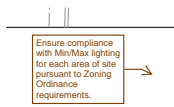
https://www.rochesterhills.org/departments/planning/economic_development/gatewaysstreetscapesmasterplan.php



Subject: Planning Department
Page Label: 10
Author: C.McLeod
Date: 1/22/2024 9:13:23 AM
Status:
Color: ■
Layer:
Space:

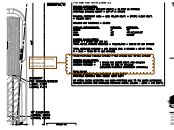
On site amenities and any retaining walls/railings, particularly those near or facing the road right of way should be consistent with the City's adopted Gateway and Streetscape Master Plan.

https://www.rochesterhills.org/departments/planning/economic_development/gatewaysstreetscapesmasterplan.php



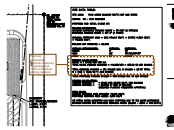
Subject: Planning Department
Page Label: 15
Author: C.McLeod
Date: 1/22/2024 9:18:48 AM
Status:
Color: ■
Layer:
Space:

Ensure compliance with Min/Max lighting for each area of site pursuant to Zoning Ordinance requirements.



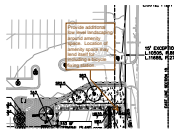
Subject: Planning Department
Page Label: 3
Author: C.McLeod
Date: 1/22/2024 9:25:24 AM
Status:
Color: ■
Layer:
Space:

As noted, Planning Commission approval necessary.



Subject: Planning Department
Page Label: 3
Author: C.McLeod
Date: 1/22/2024 9:26:12 AM
Status:
Color: ■
Layer:
Space:

Planning Commission approval necessary for parking over 125% of minimum parking required.



Subject: Planning Department
Page Label: 10
Author: C.McLeod
Date: 1/22/2024 9:27:57 AM
Status:
Color: ■
Layer:
Space:

Provide additional low level landscaping around amenity space. Location of amenity space may lend itself for including a bicycle fixing station.

Chris McLeod 248.644.2072
cmcleod@richmondva.org

DESIGN TEAM

Subject: Planning Department
Page Label: 1
Author: C.McLeod
Date: 1/22/2024 9:30:04 AM
Status:
Color: ■
Layer:
Space:



Subject: Planning Department
Page Label: 1
Author: C.McLeod
Date: 1/22/2024 9:30:48 AM
Status:
Color: ■
Layer:
Space:

Subject to notations on plans

Subject: Planning Department
Page Label: 1
Author: C.McLeod
Date: 1/23/2024 1:06:35 PM
Status:
Color: ■
Layer:
Space:

Assessing

Yes

Assessing Yes

Subject: Planning Department
Page Label: 1
Author: C.McLeod
Date: 1/23/2024 1:14:01 PM
Status:
Color: ■
Layer:
Space:

Next Steps:

Schedule Planning Commission Date:

Tentative Date - February 20, 2024 - 7:00 p.m.



Subject: Planning Department
Page Label: 1
Author: C.McLeod
Date: 1/23/2024 1:11:44 PM
Status:
Color: □
Layer:
Space:

PC

CI

Subject: Planning Department
Page Label: 1
Author: C.McLeod
Date: 1/23/2024 1:13:42 PM
Status:
Color: ■
Layer:
Space:



Survey/Legal (1)

Subject: Survey/Legal
Page Label: 2
Author: Jenny McGuckin
Date: 1/10/2024 9:24:11 AM
Status:
Color: ■
Layer:
Space:

A revised benchmark elevation will be required on the construction plan.



Traffic (1)

Subject: Traffic
Page Label: 1
Author: Keith
Date: 1/23/2024 7:19:40 AM
Status:
Color: ■
Layer:
Space:

