



J2023-0002  
PSP2023-0014  
Revision #4  
Received 9/20/2023

City of Rochester  
Hills Planning &  
Economic  
Development

For all conditional uses, a "Conditional Use  
Proposed Sign" shall be placed onsite no less than  
fifteen (15) days prior to the public hearing date.  
Such sign shall be compliant with Section  
138-1.203 of City Ordinances.

SP

CU

LIP

TRP

BP

**Site Plan Review**

Reviewed for compliance with City Ordinance, Building and Fire Codes  
Conditions and mark-ups noted throughout plan set must be addressed prior to final  
approval

Department	Reviewer	Approved
Assessing	Assessing	Yes
Building	Jason Rhoades 248-841-2435 RhoadesJ@RochesterHills.org	Yes
Engineering - Utilities	Jason Boughton 248-841-2490 BoughtonJ@RochesterHills.org	Yes
Engineering Legal	Jenny McGuckin 248-841-2494 mcguckinj@rochesterhills.org	YES Date: 09/29/2023
Fire	Lt. Jon Mills 248-841-2708 MillsJ@RochesterHills.org	Yes
Natural Resources	Matt Einheuser 248-841-2551 EinheuserM@RochesterHills.org	Yes
Planning	Chris McLeod 248-841-2572 mcleodc@RochesterHills.org	Yes
Traffic	Keith Depp 248-841-2503 DeppK@RochesterHills.org	Yes



EXTERIOR RENDERING

1575 E HAMLIN ROAD



GENERAL NOTES

A. DIMENSIONS ARE TO FINISHED SURFACE UNLESS OTHERWISE INDICATED

B. REFER TO STORAGE UNIT DOOR SCHEDULE FOR STORAGE DOOR SIZES (A)(B)(C)(D)

C. SECURITY CAMERA

D. KEY PAD SECURITY CAMERA

E. 360° SWIVEL SECURITY CAMERA

F. KEY PAD

G. INTERCOM

H. ALL DOOR JAMBS TO BE LOCATED 4" PERPENDICULAR TO ADJACENT WALL TYP. U.N.O.



UNIT MIX							
Unit Type	W (short)	L (long)	Area (sf)	Total # of Units	Total Area (sf)	Unit % of Total	Total Per Type
A	5	5	25	40	1000	7.2%	40
B	5	7.5	37.5	58	2175	10.5%	58
C	5	10	50	86	4300	15.6%	86
D	7.5	10	75	29	2175	5.2%	29
E	10	10	100	118	11800	21.3%	118
F	10	15	150	122	18300	22.1%	122
G	10	20	200	56	11200	10.1%	56
H	10	25	250	33	8250	6.0%	33
I	10	30	300	11	3300	2.0%	11
Total				553	62,500	100.0%	100.0%
Building Gross Sq Ft							87,573
Miscellaneous Storage Sq Ft							1,000
Actual Net Storage Sq Ft							63,500
Actual Rough Efficiency							72.51%
Actual Average Unit Size Sq Ft							114.8

Owner:  
**CDK DEVELOPMENT, LLC**  
 10570 SAVANNAH CT.  
 HUNTLEY IL, 60142

Structural:  
**SOLID STEEL STRUCTURES**  
 1257 BAUER ROAD  
 SOMERVILLE OH. 45064

Civil:  
**FENN & ASSOCIATES, INC.**  
 14933 COMMERCIAL DRIVE,  
 SHELBY TOWNSHIP MI. 48315



Architect:

NO.	DATE	ISSUE DESCRIPTION
1	08-15-22	ISSUE FOR PERMIT

Project Name:

**EAST HAMLIN ROAD STORAGE**

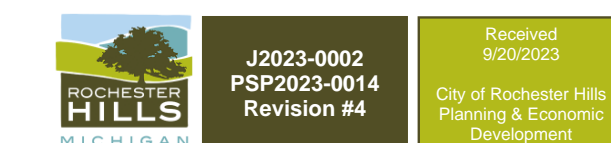
Project Location  
**1575 E. HAMLIN ROAD**  
 ROCHESTER HILLS, MICHIGAN 48307

Drawing Name  
**FIRST FLOOR PLAN**

Date: Seal

Drawing No.

**A1.1**

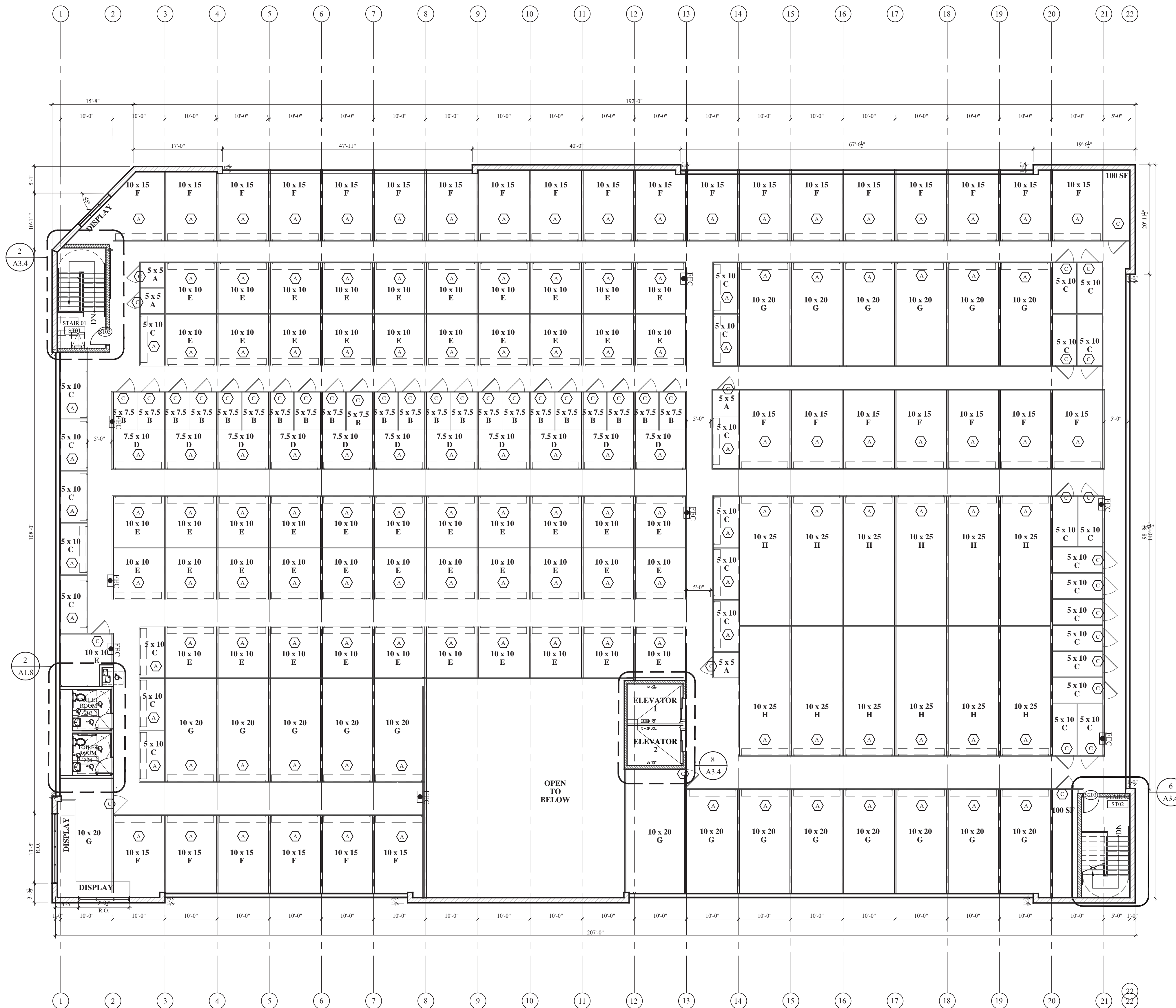


CITY FILE #23-0002  
 SECTION 24



**1** FIRST FLOOR PLAN  
 A1.1 SCALE: 3/32"=1'-0"





- GENERAL NOTES**
- A. DIMENSIONS ARE TO FINISHED SURFACE UNLESS OTHERWISE INDICATED
  - B. REFER TO STORAGE UNIT DOOR SCHEDULE FOR STORAGE DOOR SIZES (A) (B) (C) (D)
  - C. SECURITY CAMERA
  - D. KEY PAD SECURITY CAMERA
  - E. 360° SWIVEL SECURITY CAMERA
  - F. KEY PAD
  - G. INTERCOM
  - H. ALL DOOR JAMBS TO BE LOCATED 4" PERPENDICULAR TO ADJACENT WALL TYP. U.N.O.

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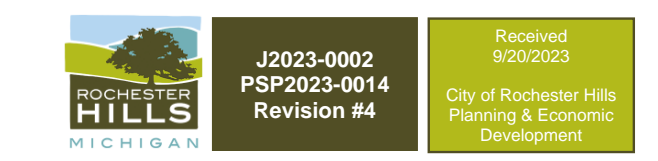
**EAST HAMLIN ROAD STORAGE**

Project Location  
**1575 E. HAMLIN ROAD**  
 ROCHESTER HILLS, MICHIGAN 48307

Drawing Name  
**SECOND FLOOR PLAN**

Date: \_\_\_\_\_ Seal: \_\_\_\_\_

Drawing No.  
**A1.2**

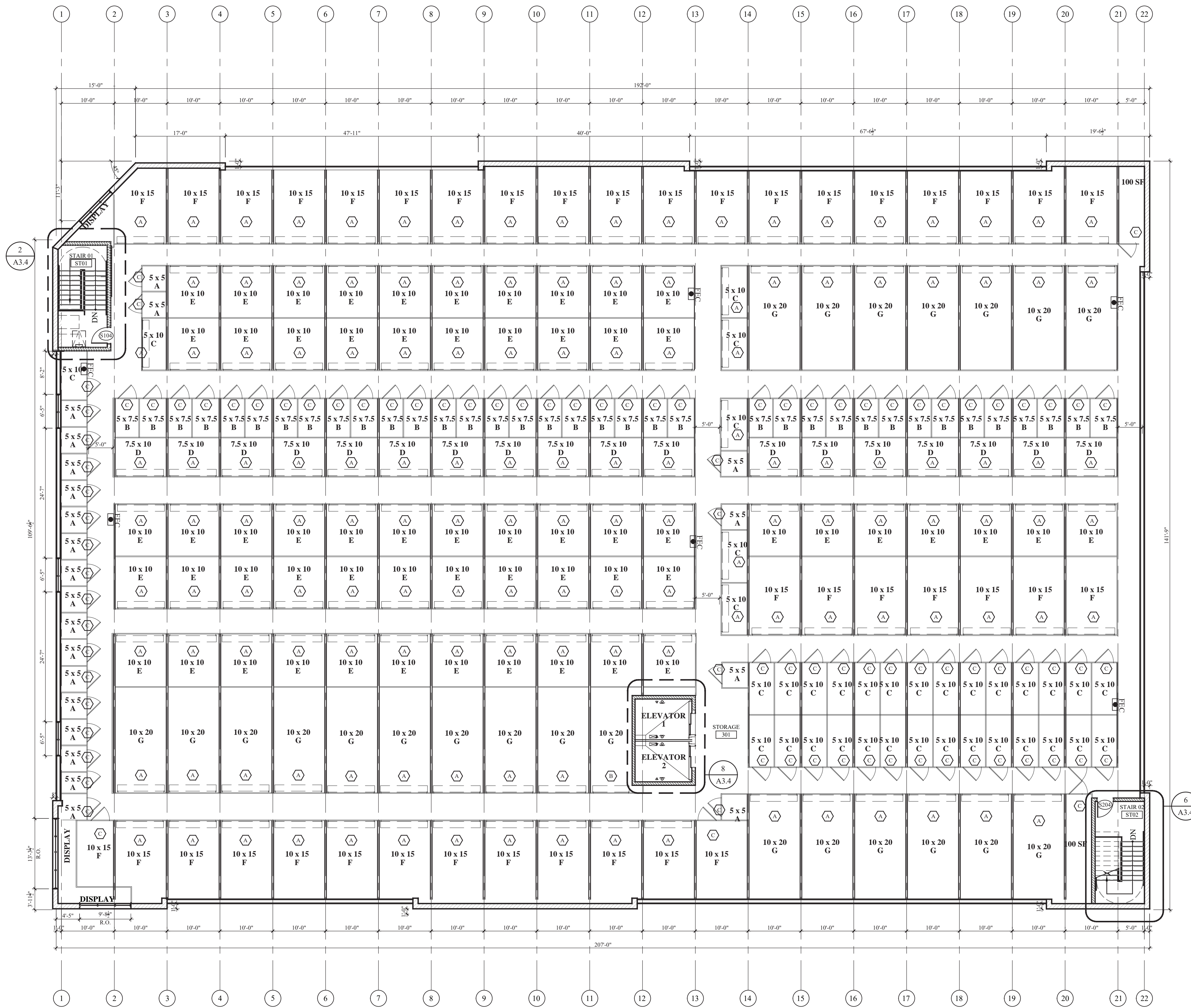


**CITY FILE #23-0002 SECTION 24**



**1 SECOND FLOOR PLAN**  
 A1.2 SCALE: 3/32"=1'-0"





**GENERAL NOTES**

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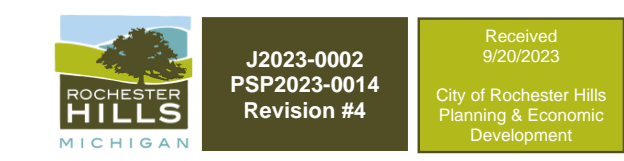
EAST HAMLIN  
ROAD  
STORAGE

Project Location  
**1575 E. HAMLIN ROAD**  
 ROCHESTER HILLS, MICHIGAN 48307

Drawing Name  
**THIRD FLOOR PLAN**

Date: \_\_\_\_\_ Seal: \_\_\_\_\_

Drawing No.  
A1.3

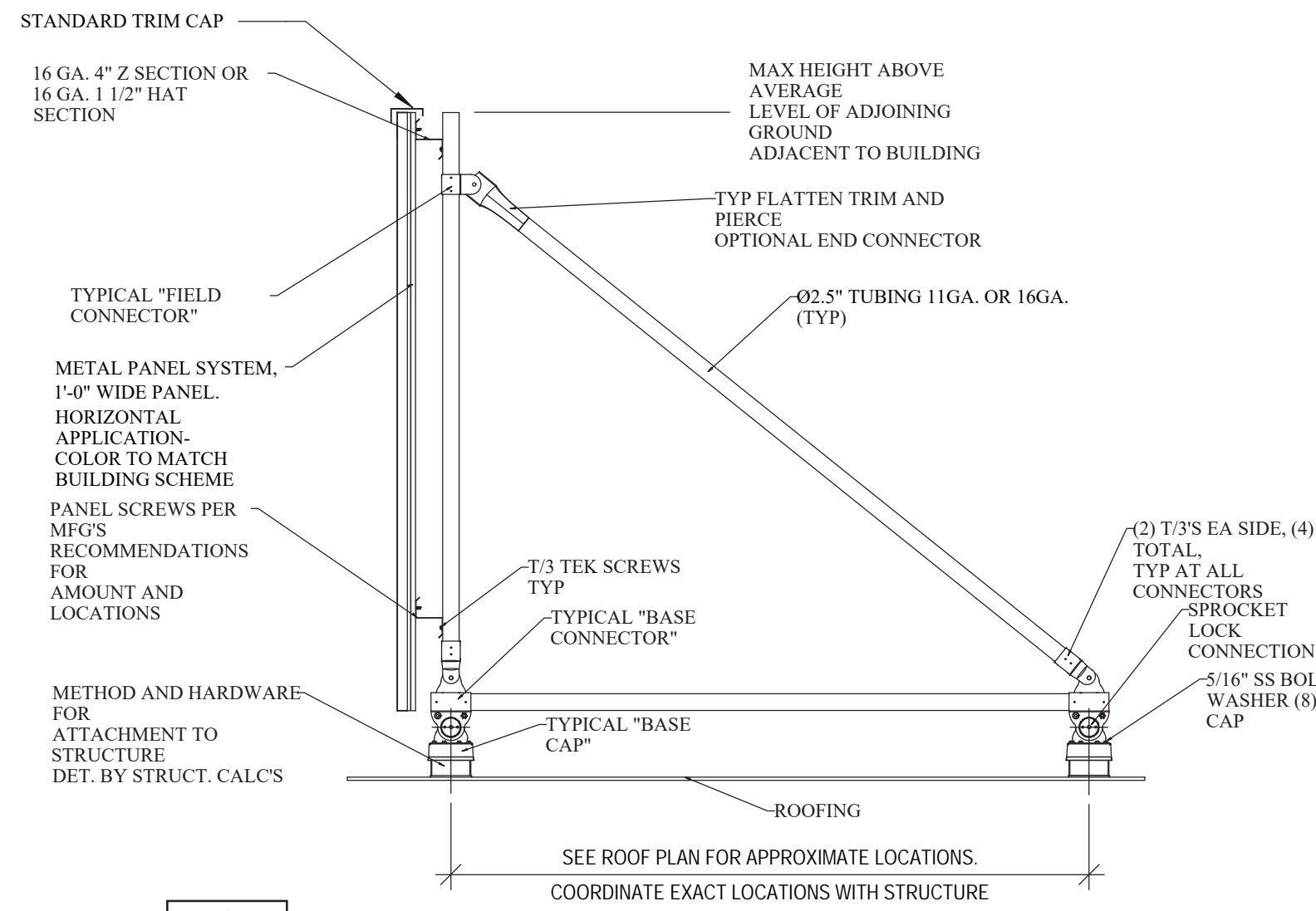


**CITY FILE #23-0002 SECTION 24**

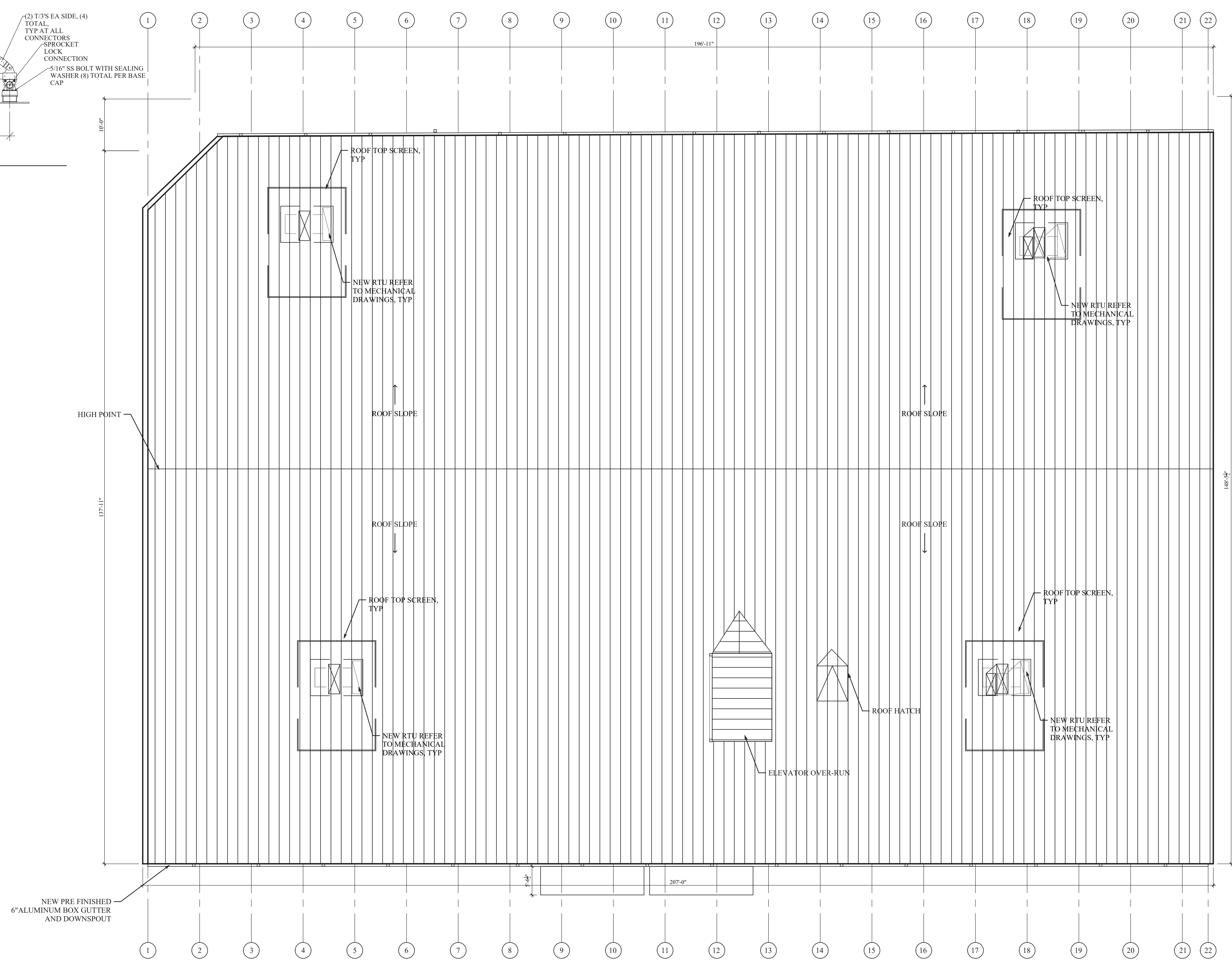


**1** THIRD FLOOR PLAN  
 A1.3 SCALE: 3/32"=1'-0"





**2** ROOF SCREEN  
A1.7 SCALE: 3/32"=1'-0"



NOTE: ALL ROOF SLOPES TO BE A MINIMUM OF 1/4" PER 1'-0", TYP.

NOTE: ALL NEW ROOF SURFACES APPLICATIONS TO BE CLASS 'B' OR BETTER

**1** ROOF PLAN  
A1.7 SCALE: 3/32"=1'-0"



ROCHESTER HILLS MICHIGAN  
J2023-0002  
PS#2023-0014  
Revision #4  
Received  
10/26/2023  
City of Rochester Hills  
Planning & Economic  
Development

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SECTION 24

Owner:  
**CDK DEVELOPMENT, LLC**  
10570 SAVANNAH CT.  
HUNTLEY IL, 60142

Structural:  
**SOLID STEEL STRUCTURES**  
1257 BAUER ROAD  
SOMERVILLE OH. 45064

Civil:  
**FENN & ASSOCIATES, INC.**  
14933 COMMERCIAL DRIVE,  
SHELBY TOWNSHIP MI. 48315

MEP:  
**NEVILLE**  
ENGINEERING & DESIGN, INC.  
121 W. LAKEVIEW COURT | HUNTSVILLE, AL 35895  
TEL: 256-410-2244

Architect:

NO.	DATE	ISSUE DESCRIPTION
1	08-15-22	ISSUE FOR PERMIT

Project Name:  
**EAST HAMLIN ROAD STORAGE**

Project Location:  
**1575 E. HAMLIN ROAD**  
ROCHESTER HILLS, MICHIGAN 48307

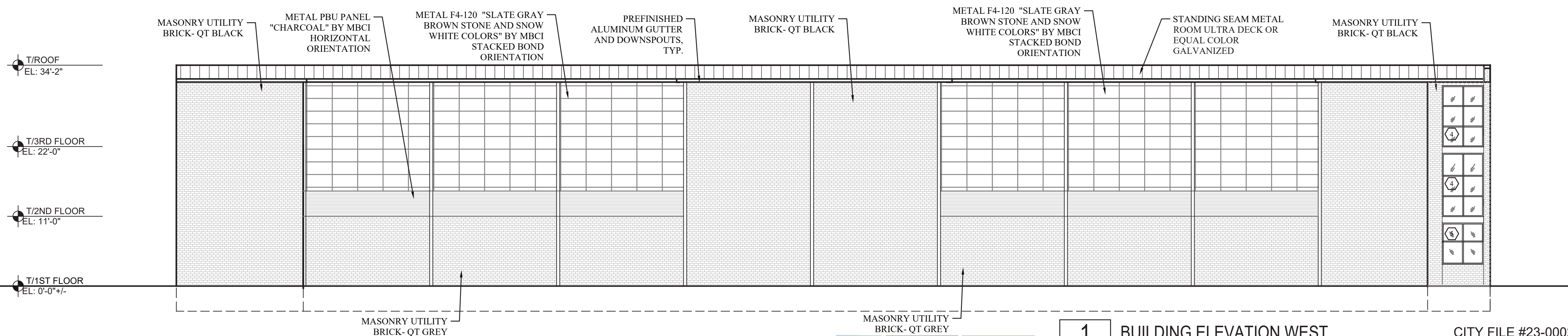
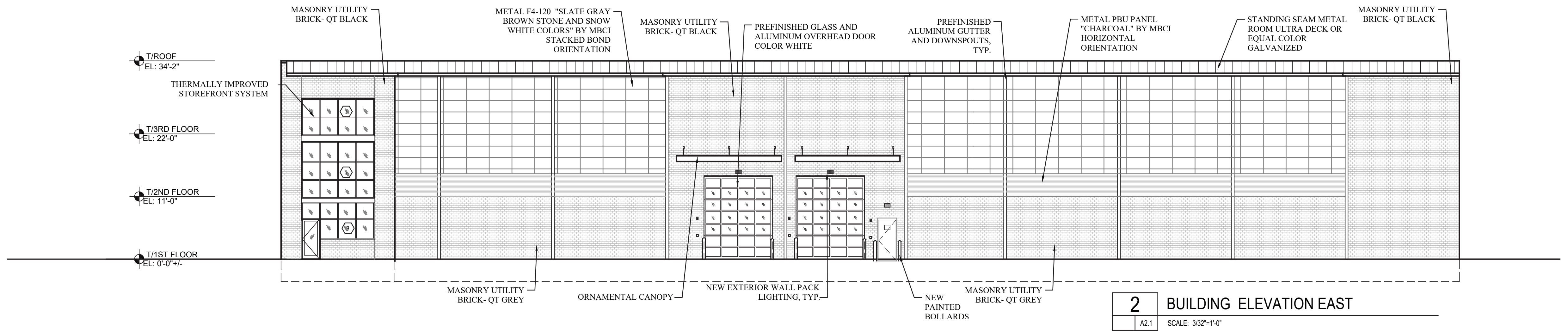
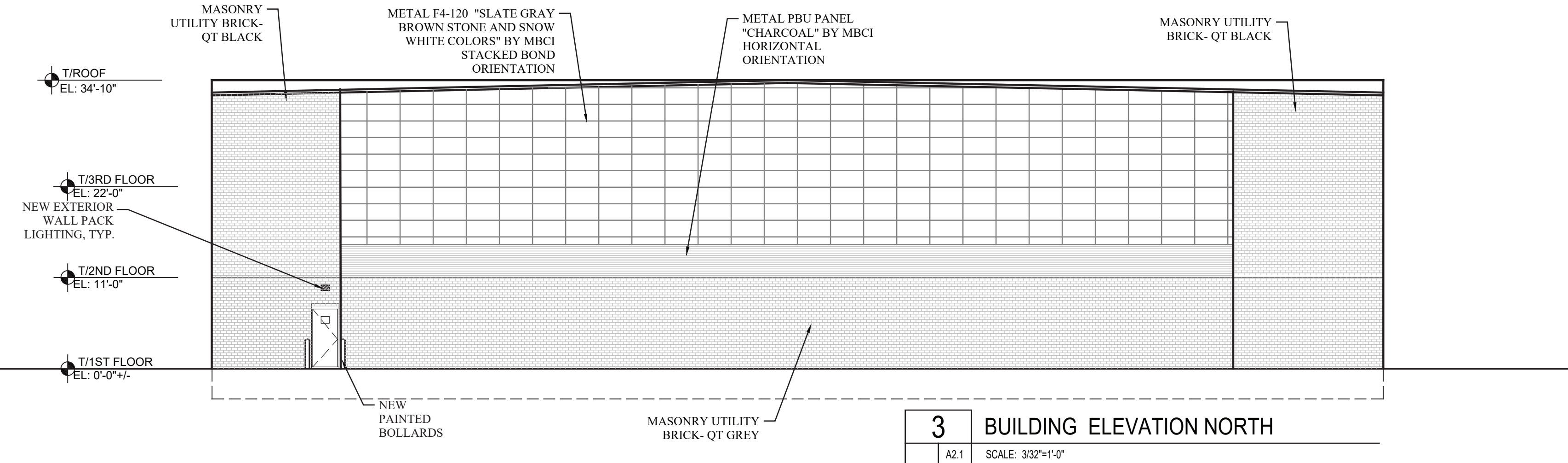
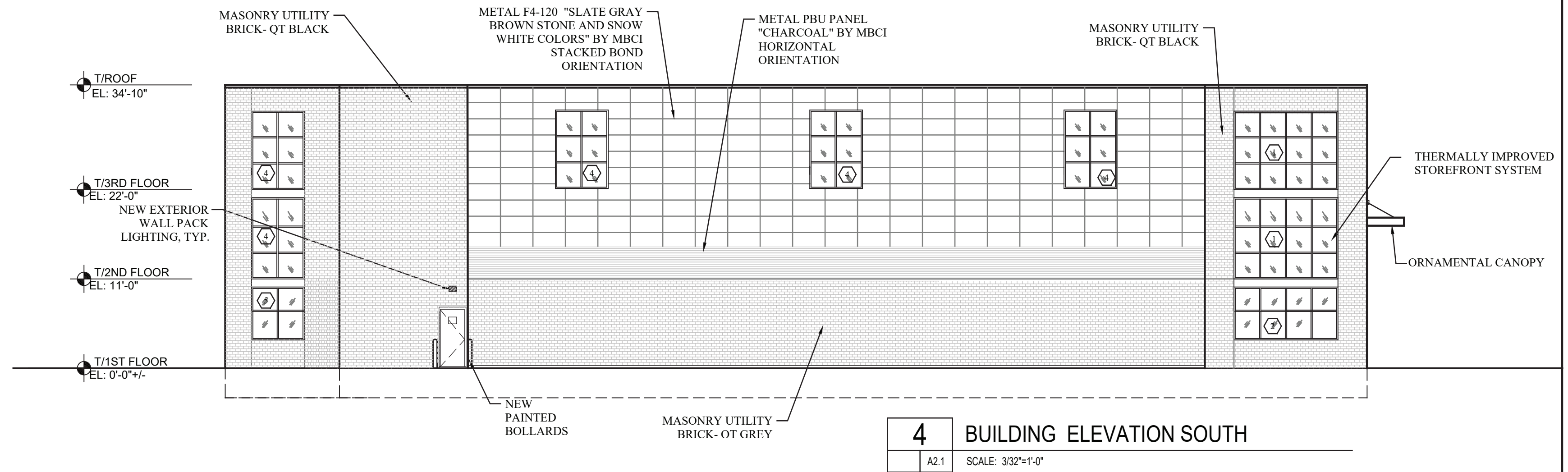
Drawing Name:  
**ROOF PLAN**

Date: \_\_\_\_\_ Seal: \_\_\_\_\_

Drawing No.: **A1.7**

All signs must meet the requirements of the City and be approved under separate permits issued by the Building Department.

Signs are a part of a separate review and permit process.



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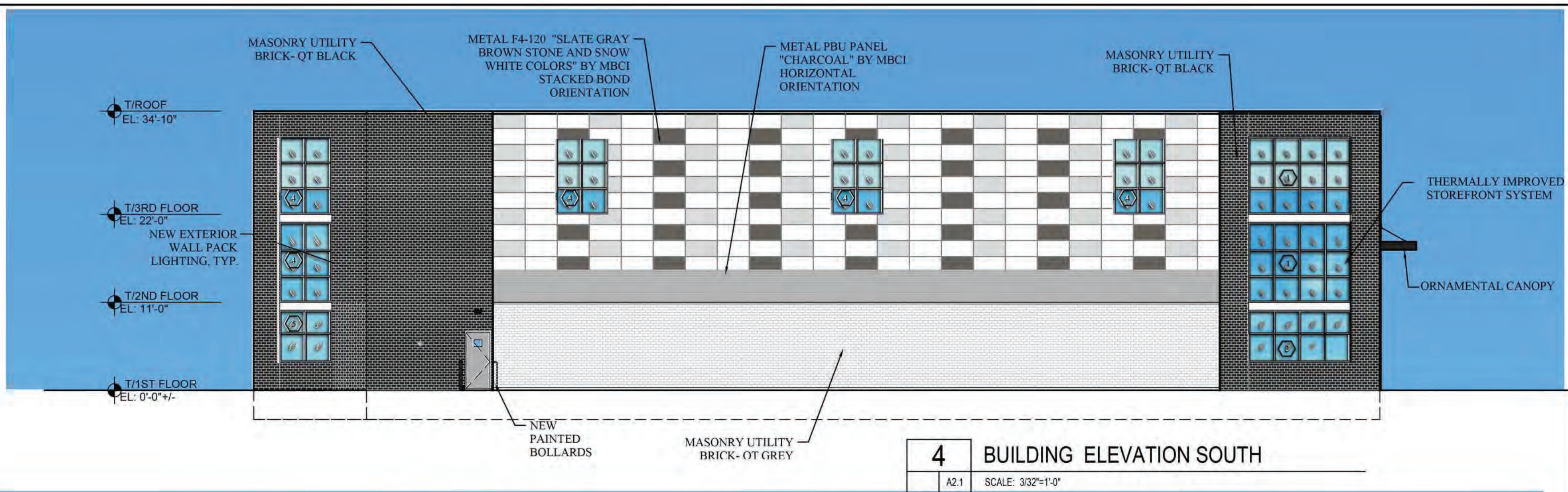
**EAST HAMLIN ROAD STORAGE**

Project Location  
**1575 E. HAMLIN ROAD**  
 ROCHESTER HILLS, MICHIGAN 48307

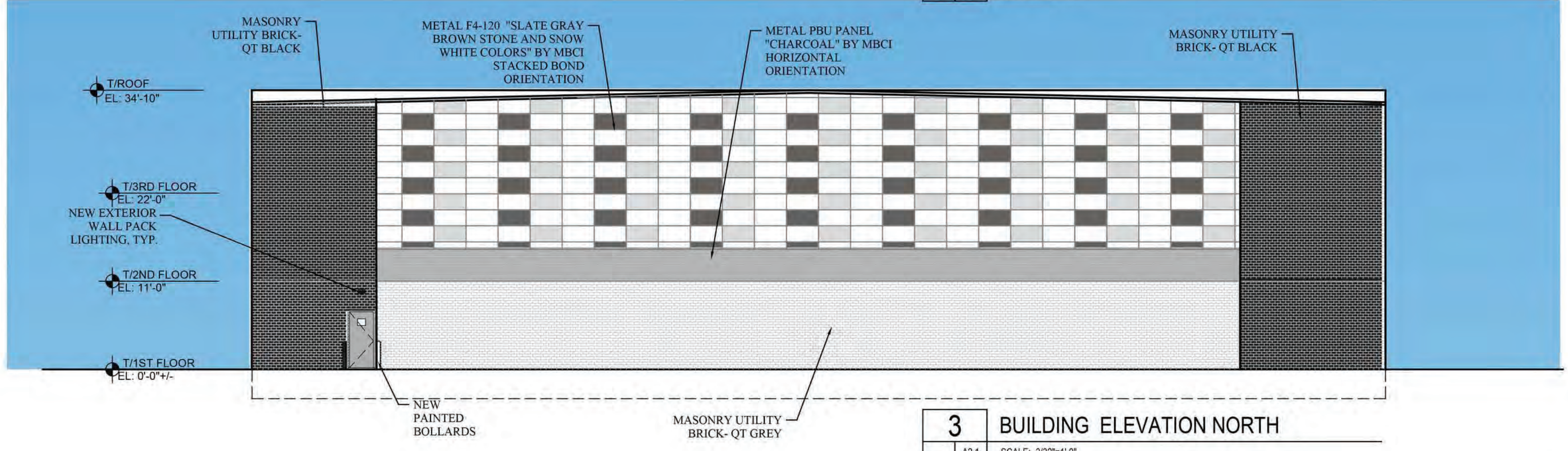
Drawing Name  
**BUILDING EXTERIOR ELEVATIONS**

Date: \_\_\_\_\_ Seal: \_\_\_\_\_

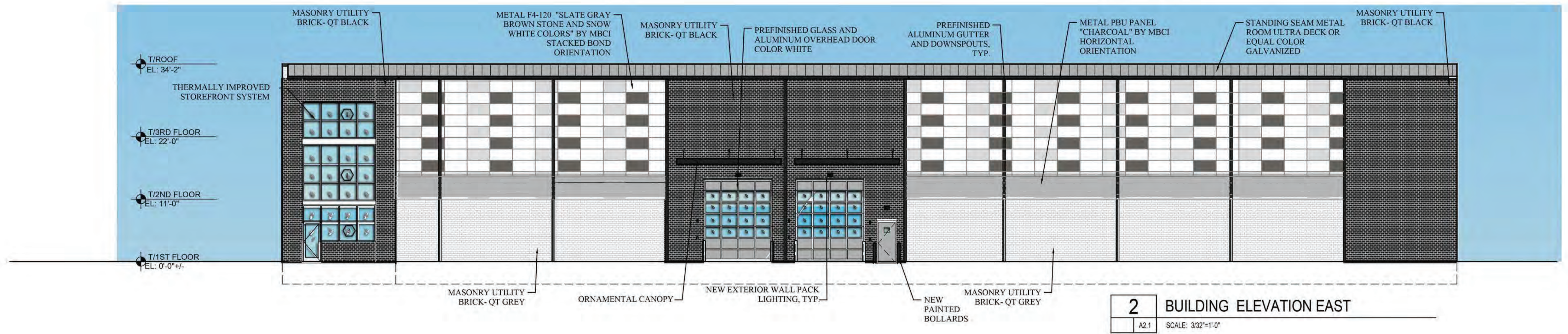
Drawing No.  
**A2.1**



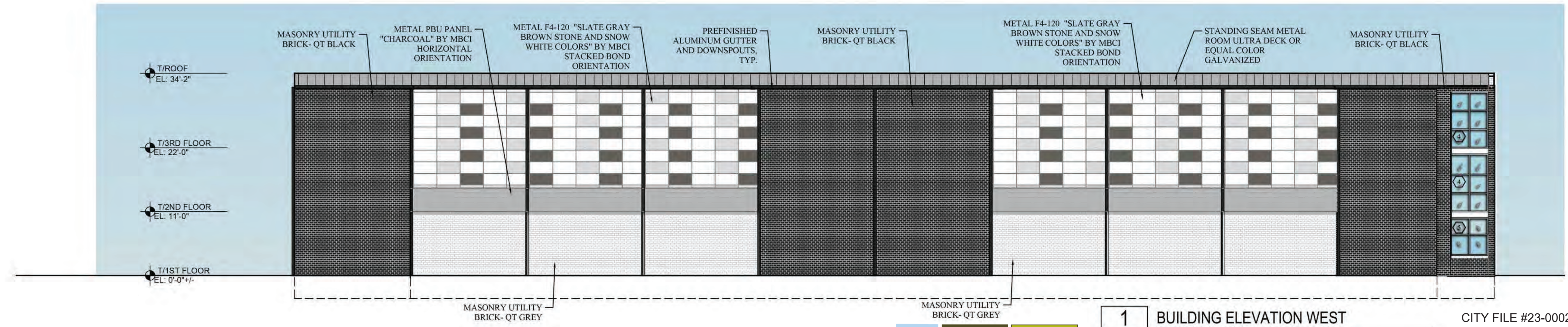
**4 BUILDING ELEVATION SOUTH**  
A2.1 SCALE: 3/32"=1'-0"



**3 BUILDING ELEVATION NORTH**  
A2.1 SCALE: 3/32"=1'-0"



**2 BUILDING ELEVATION EAST**  
A2.1 SCALE: 3/32"=1'-0"



**1 BUILDING ELEVATION WEST**  
A2.1 SCALE: 3/32"=1'-0"

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SECTION 24

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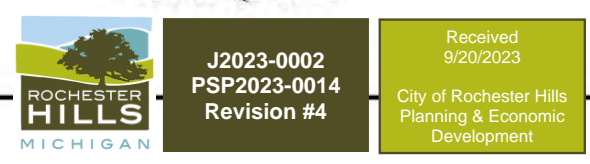
Project Name:  
**EAST HAMLIN ROAD STORAGE**

Project Location  
**1575 E. HAMLIN ROAD**  
ROCHESTER HILLS, MICHIGAN 48307

Drawing Name  
**BUILDING EXTERIOR ELEVATIONS**

Date: Seal:

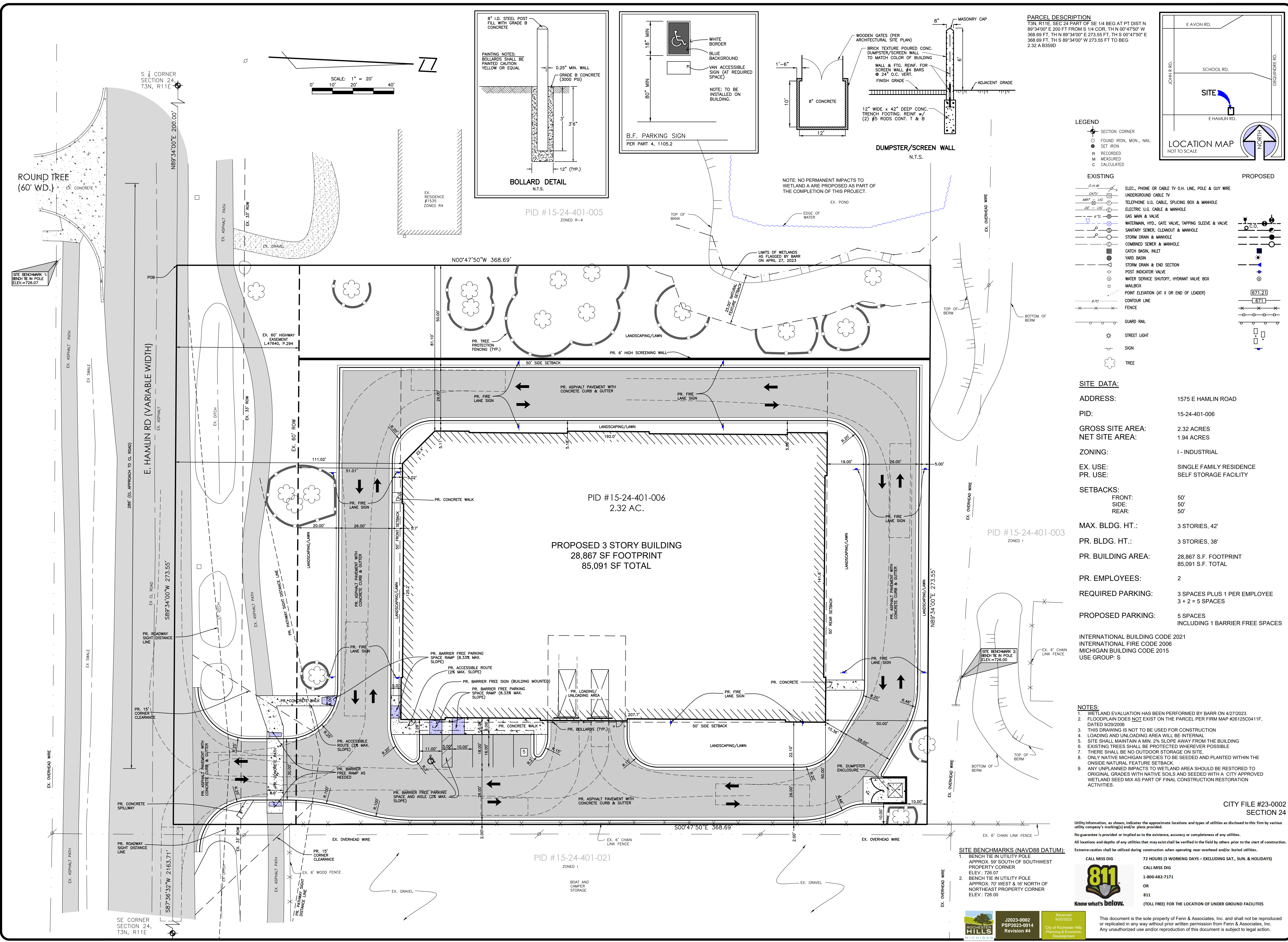
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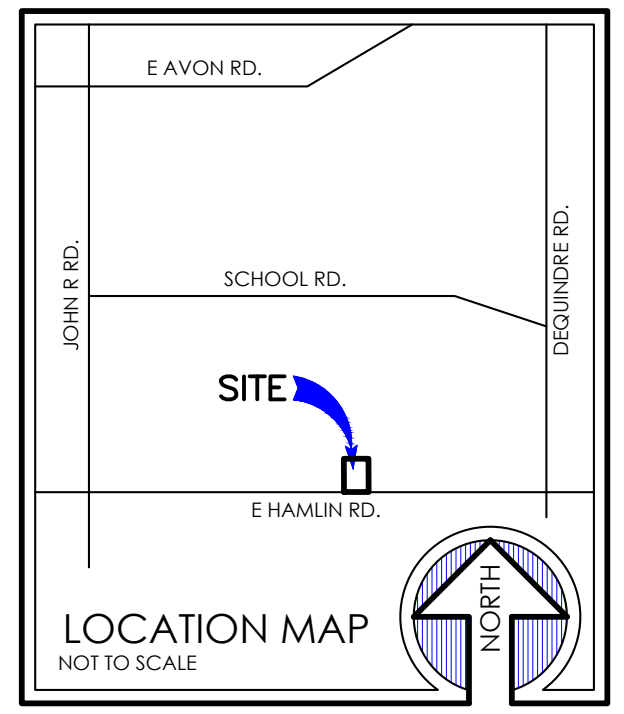
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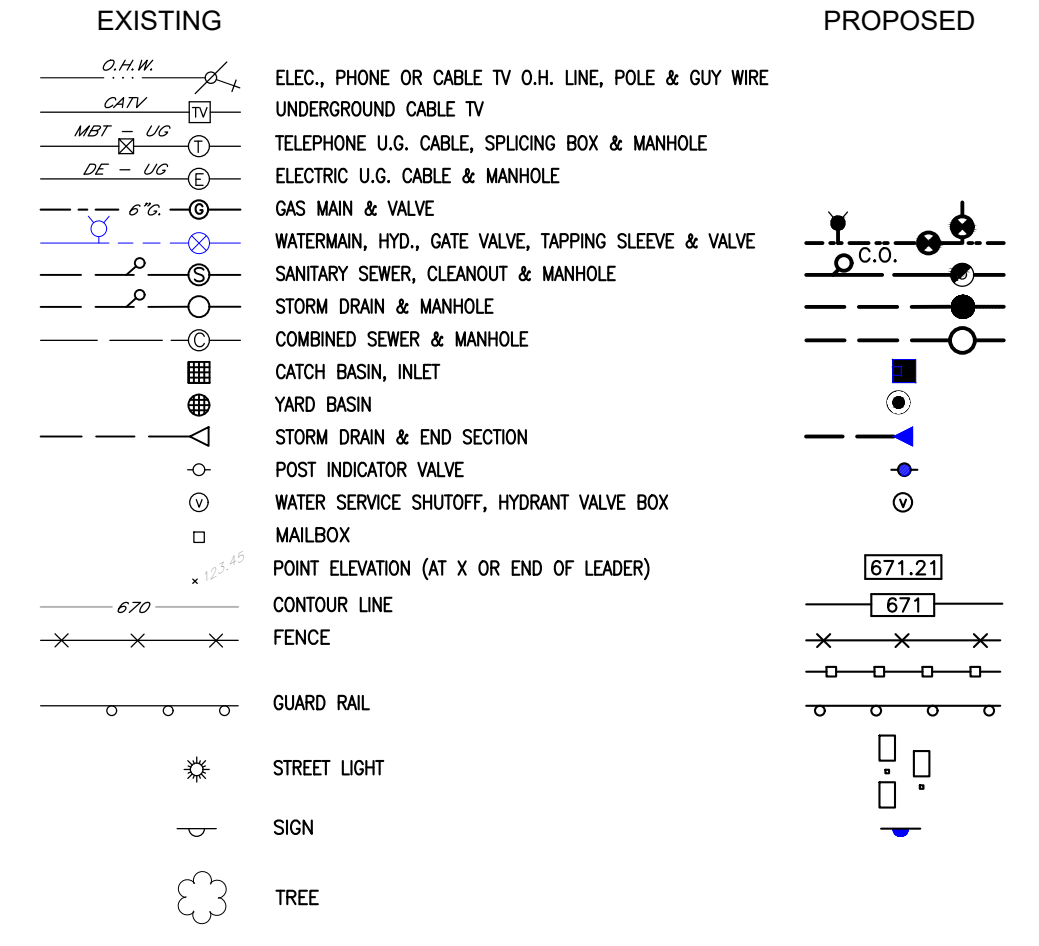




**PARCEL DESCRIPTION**  
 T3N, R11E, SEC 24 PART OF SE 1/4 BEG AT PT DIST N  
 89°34'00" E 200 FT FROM S 1/4 COR, TH N 00°47'50" W  
 368.69 FT, TH N 89°34'00" E 273.55 FT, TH S 00°47'50" E  
 368.69 FT, TH S 89°34'00" W 273.55 FT TO BEG  
 2.32 A B359D



**LEGEND**  
 SECTION CORNER  
 FOUND IRON, MON., NAIL  
 SET IRON  
 RECORDED  
 MEASURED  
 CALCULATED



**SITE DATA:**  
**ADDRESS:** 1575 E HAMLIN ROAD  
**PID:** 15-24-401-006  
**GROSS SITE AREA:** 2.32 ACRES  
**NET SITE AREA:** 1.94 ACRES  
**ZONING:** I - INDUSTRIAL  
**EX. USE:** SINGLE FAMILY RESIDENCE  
**PR. USE:** SELF STORAGE FACILITY

**SETBACKS:**  
 FRONT: 50'  
 SIDE: 50'  
 REAR: 50'

**MAX. BLDG. HT.:** 3 STORIES, 42'  
**PR. BLDG. HT.:** 3 STORIES, 38'

**PR. BUILDING AREA:** 28,867 S.F. FOOTPRINT  
 85,091 S.F. TOTAL

**PR. EMPLOYEES:** 2

**REQUIRED PARKING:** 3 SPACES PLUS 1 PER EMPLOYEE  
 3 + 2 = 5 SPACES

**PROPOSED PARKING:** 5 SPACES  
 INCLUDING 1 BARRIER FREE SPACES

**INTERNATIONAL BUILDING CODE 2021**  
**INTERNATIONAL FIRE CODE 2006**  
**MICHIGAN BUILDING CODE 2015**  
**USE GROUP:** S

- NOTES:**
- WETLAND EVALUATION HAS BEEN PERFORMED BY BARR ON 4/27/2023.
  - FLOODPLAIN DOES NOT EXIST ON THE PARCEL PER FIRM MAP #2612500411F, DATED 9/29/2006
  - THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION
  - LOADING AND UNLOADING AREA WILL BE INTERNAL
  - SITE SHALL MAINTAIN A MIN. 2% SLOPE AWAY FROM THE BUILDING
  - EXISTING TREES SHALL BE PROTECTED WHEREVER POSSIBLE
  - THERE SHALL BE NO OUTDOOR STORAGE ON SITE
  - ONLY NATIVE MICHIGAN SPECIES TO BE SEEDED AND PLANTED WITHIN THE ON-SITE NATURAL FEATURE SETBACK
  - ANY UNPLANNED IMPACTS TO WETLAND AREA SHOULD BE RESTORED TO ORIGINAL GRADES WITH NATIVE SOILS AND SEEDED WITH A CITY APPROVED WETLAND SEED MIX AS PART OF FINAL CONSTRUCTION RESTORATION ACTIVITIES.

**UTILITY INFORMATION:** As shown, indicates the approximate locations and types of utilities as disclosed to this firm by various utility company's markings and/or plans provided. No guarantee is provided or implied as to the existence, accuracy or completeness of any utilities. All locations and depths or implied as to the existence, accuracy or completeness of any utilities. Extreme caution shall be utilized during construction when operating near overhead and/or buried utilities.

**CALL MISS DIG 72 HOURS (3 WORKING DAYS - EXCLUDING SAT., SUN. & HOLIDAYS)**  
**811** CALL MISS DIG 1-800-482-7171 OR 811 (TOLL FREE) FOR THE LOCATION OF UNDER GROUND FACILITIES

- SITE BENCHMARKS (NAVD88 DATUM):**
- BENCH TIE IN UTILITY POLE APPROX. 59' SOUTH OF SOUTHWEST PROPERTY CORNER ELEV.: 726.07
  - BENCH TIE IN UTILITY POLE APPROX. 70' WEST & 16' NORTH OF NORTHEAST PROPERTY CORNER ELEV.: 726.00

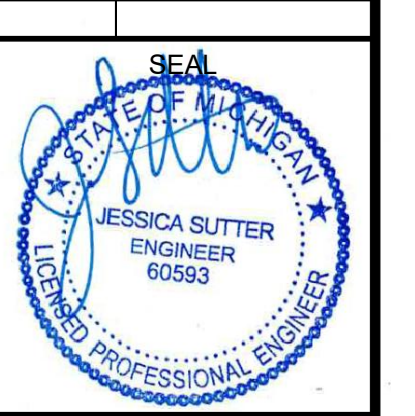
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**Fenn & Associates, Inc.**  
 Land Surveying and Civil Engineering  
 14933 Commercial Drive, Shelby Township, MI 48315  
 Phone: 586-254-9577  
 www.fennsurveying.com

**PRELIMINARY SITE PLAN**  
**1575 E HAMLIN RD**  
 PART OF THE SE 1/4 OF SECTION 24, T3N, R11E  
 ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DISTRIBUTION	
●	PRELIMINARY
○	APPROVAL
○	CONSTRUCTION
○	AS-BUILT

REVISIONS	
DATE	REMARKS
04/17/23	PER CITY
06/30/23	PER CITY
08/08/23	PER CITY
09/19/23	PER CITY



**CLIENT**  
 CDK DEVELOPMENT  
 10570 SAVANNAH CT.  
 HUNTLEY, IL 60142  
 CONTACT: STEVE OSBORNE  
 PHONE: 224-249-9477

**PROJECT NAME**  
 1575 E HAMLIN ROAD

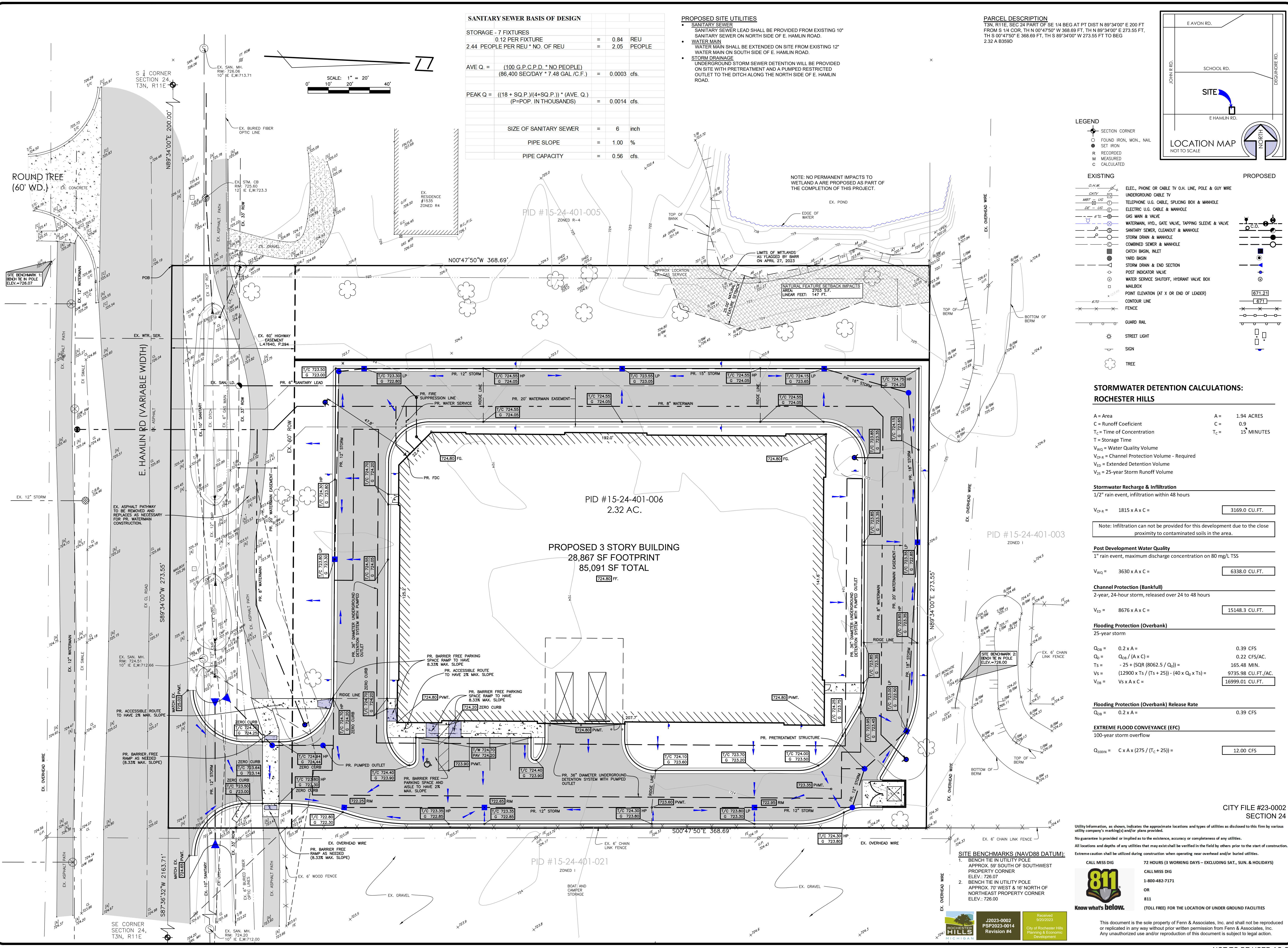
**PROJECT NUMBER**  
 C22-049.06X

**SHEET NAME**  
 PRELIMINARY SITE PLAN

**DRAWING SCALE:** 1" = 20'  
**SHEET SIZE:** 24X36  
**DATE:** 2/2/23  
**PROJECT MANAGER:** JJS, PE  
**DESIGNED BY:** JJS, PE  
**DRAWN BY:** JJS, PE  
**FIELD BY:** BHVA  
**CHECKED BY:** JSR, PE/JJS, PE

**SHEET NUMBER**  
 1 OF 6

NOT TO BE USED AS CONSTRUCTION DRAWINGS



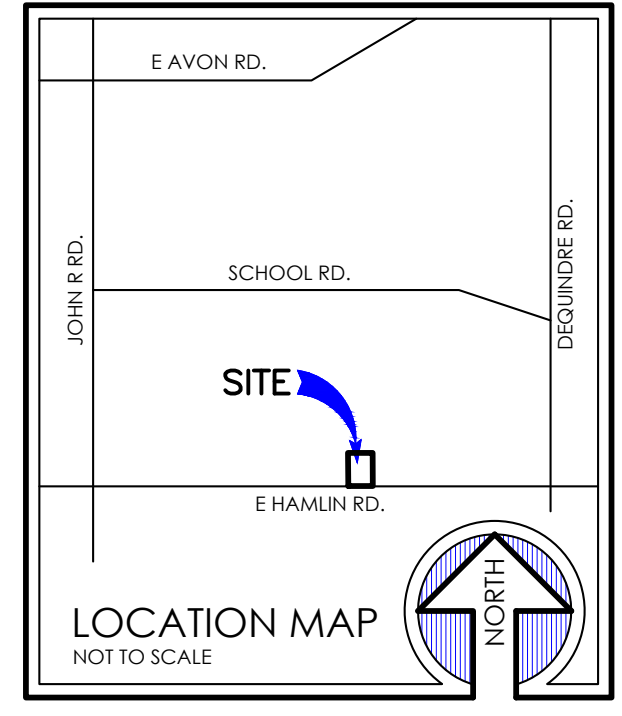
**SANITARY SEWER BASIS OF DESIGN**

STORAGE - 7 FIXTURES	
0.12 PER FIXTURE	= 0.84 REU
2.44 PEOPLE PER REU * NO. OF REU	= 2.05 PEOPLE
AVE Q. = $\frac{(100 \text{ G.P.C.P.D.} \cdot \text{NO. PEOPLE})}{(86,400 \text{ SEC/DAY} \cdot 7.48 \text{ GAL./C.F.})}$ = 0.0003 cfs.	
PEAK Q. = $\frac{((18 + \text{SQ.P.}) \cdot (4 + \text{SQ.P.})) \cdot (\text{AVE. Q.})}{(\text{P} = \text{POP. IN THOUSANDS})}$ = 0.0014 cfs.	
SIZE OF SANITARY SEWER	= 6 inch
PIPE SLOPE	= 1.00 %
PIPE CAPACITY	= 0.56 cfs.

**PROPOSED SITE UTILITIES**

- SANITARY SEWER**  
SANITARY SEWER LEAD SHALL BE PROVIDED FROM EXISTING 10" SANITARY SEWER ON NORTH SIDE OF E. HAMLIN ROAD.
- WATER MAIN**  
WATER MAIN SHALL BE EXTENDED ON SITE FROM EXISTING 12" WATER MAIN ON SOUTH SIDE OF E. HAMLIN ROAD.
- STORM DRAINAGE**  
UNDERGROUND STORM SEWER DETENTION WILL BE PROVIDED ON SITE WITH PRETREATMENT AND A PUMPED RESTRICTED OUTLET TO THE DITCH ALONG THE NORTH SIDE OF E. HAMLIN ROAD.

**PARCEL DESCRIPTION**  
T3N, R11E, SEC 24 PART OF SE 1/4 BEG AT PT DIST N 89°34'00" E 200 FT FROM S 1/4 COR. TH N 00°47'50" W 368.69 FT, TH N 89°34'00" E 273.55 FT, TH S 00°47'50" E 368.69 FT, TH S 89°34'00" W 273.55 FT TO BEG 2.32 A. 6559D



**LEGEND**

EXISTING	PROPOSED
SECTION CORNER	ELEC. PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
FOUND IRON, MON., NAIL	UNDERGROUND CABLE TV
SET IRON	TELEPHONE U.G. CABLE, SPLICING BOX & MANHOLE
RECORDED	ELECTRIC U.G. CABLE & MANHOLE
MEASURED	GAS MAIN & VALVE
CALCULATED	WATERMAN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE
	SANITARY SEWER, CLEANOUT & MANHOLE
	STORM DRAIN & MANHOLE
	COMBINED SEWER & MANHOLE
	CATCH BASIN, INLET
	YARD BASIN
	STORM DRAIN & END SECTION
	POST INDICATOR VALVE
	WATER SERVICE SHUTOFF, HYDRANT VALVE BOX
	MAILBOX
	POINT ELEVATION (AT X OR END OF LEADER)
	CONTOUR LINE
	FENCE
	GUARD RAIL
	STREET LIGHT
	SIGN
	TREE

**STORMWATER DETENTION CALCULATIONS: ROCHESTER HILLS**

A = Area = 1.94 ACRES  
 C = Runoff Coefficient = 0.9  
 T<sub>c</sub> = Time of Concentration = 15 MINUTES  
 T = Storage Time  
 V<sub>WD</sub> = Water Quality Volume  
 V<sub>DP</sub> = Channel Protection Volume - Required  
 V<sub>ED</sub> = Extended Detention Volume  
 V<sub>25</sub> = 25-year Storm Runoff Volume

**Stormwater Recharge & Infiltration**  
 1/2" rain event, infiltration within 48 hours

V<sub>DP</sub> = 1815 x A x C = 3169.0 CU.FT.

**Post Development Water Quality**  
 1" rain event, maximum discharge concentration on 80 mg/L TSS

V<sub>WD</sub> = 3630 x A x C = 6338.0 CU.FT.

**Channel Protection (Bankfull)**  
 2-year, 24-hour storm, released over 24 to 48 hours

V<sub>ED</sub> = 8676 x A x C = 15148.3 CU.FT.

**Flooding Protection (Overbank)**  
 25-year storm

Q<sub>08</sub> = 0.2 x A = 0.39 CFS  
 Q<sub>05</sub> = Q<sub>08</sub> / (A x C) = 0.22 CFS/AC.  
 T<sub>S</sub> = -25 + (SQR (8062.5 / Q<sub>05})) = 165.48 MIN.  
 V<sub>S</sub> = (12900 x T<sub>S</sub> / (T<sub>S</sub> + 25)) - (40 x Q<sub>05</sub> x T<sub>S</sub>) = 9735.98 CU.FT./AC.  
 V<sub>08</sub> = V<sub>S</sub> x A x C = 16999.01 CU.FT.</sub>

**Flooding Protection (Overbank) Release Rate**

Q<sub>08</sub> = 0.2 x A = 0.39 CFS

**EXTREME FLOOD CONVEYANCE (EFC)**  
 100-year storm overflow

Q<sub>100IN</sub> = C x A x (275 / (T<sub>c</sub> + 25)) = 12.00 CFS

**Fenn & Associates, Inc.**  
 Land Surveying and Civil Engineering  
 14933 Commercial Drive, Shelby Township, MI 48315  
 Phone: 586-254-9377 Fax: 586-254-9020  
 www.fennsurveying.com

**PRELIMINARY SITE PLAN**  
**1575 E HAMLIN RD**  
 PART OF THE SE 1/4 OF SECTION 24, T3N, R11E  
 ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

**DISTRIBUTION**

PRELIMINARY	
APPROVAL	
CONSTRUCTION	
AS-BUILT	

**REVISIONS**

DATE	REMARKS
04/17/23	PER CITY
06/30/23	PER CITY
08/08/23	PER CITY
09/19/23	PER CITY

**CLIENT**  
 CDK DEVELOPMENT  
 10570 SAVANNAH CT.  
 HUNTLEY, IL 60142  
 CONTACT: STEVE OSWALD  
 PHONE: 224-249-9777

**PROJECT NAME**  
 1575 E HAMLIN ROAD

**PROJECT NUMBER**  
 C22-049.06X

**SHEET NAME**  
 PRELIMINARY UTILITY & GRADING PLAN

**DRAWING SCALE:** 1" = 20'  
**SHEET SIZE:** 24X36  
**DATE:** 2/2/23  
**PROJECT MANAGER:** JJS, PE  
**DESIGNED BY:** JJS, PE  
**DRAWN BY:** JJS, PE  
**FIELD BY:** BHVA  
**CHECKED BY:** JSR, PE/JJS, PE

**SHEET NUMBER**  
 2 OF 6

Utility Information, as shown, indicates the approximate locations and types of utilities as disclosed to this firm by various utility company's marking(s) and/or plans provided.  
 No guarantee is provided or implied as to the existence, accuracy or completeness of any utilities.  
 All locations and depths of any utilities that may exist shall be verified in the field by others prior to the start of construction.  
 Extreme caution shall be utilized during construction when operating near overhead and/or buried utilities.

**CALL MISS DIG** 72 HOURS (3 WORKING DAYS - EXCLUDING SAT., SUN. & HOLIDAYS)  
**CALL MISS DIG** 1-800-482-7171  
 OR 811  
**Know what's below.** (TOLL FREE) FOR THE LOCATION OF UNDER GROUND FACILITIES

**SITE BENCHMARKS (NAVD88 DATUM):**

- BENCH TIE IN UTILITY POLE APPROX. 50' SOUTH OF SOUTHWEST PROPERTY CORNER ELEV.: 726.07
- BENCH TIE IN UTILITY POLE APPROX. 70' WEST & 16' NORTH OF NORTHEAST PROPERTY CORNER ELEV.: 726.00

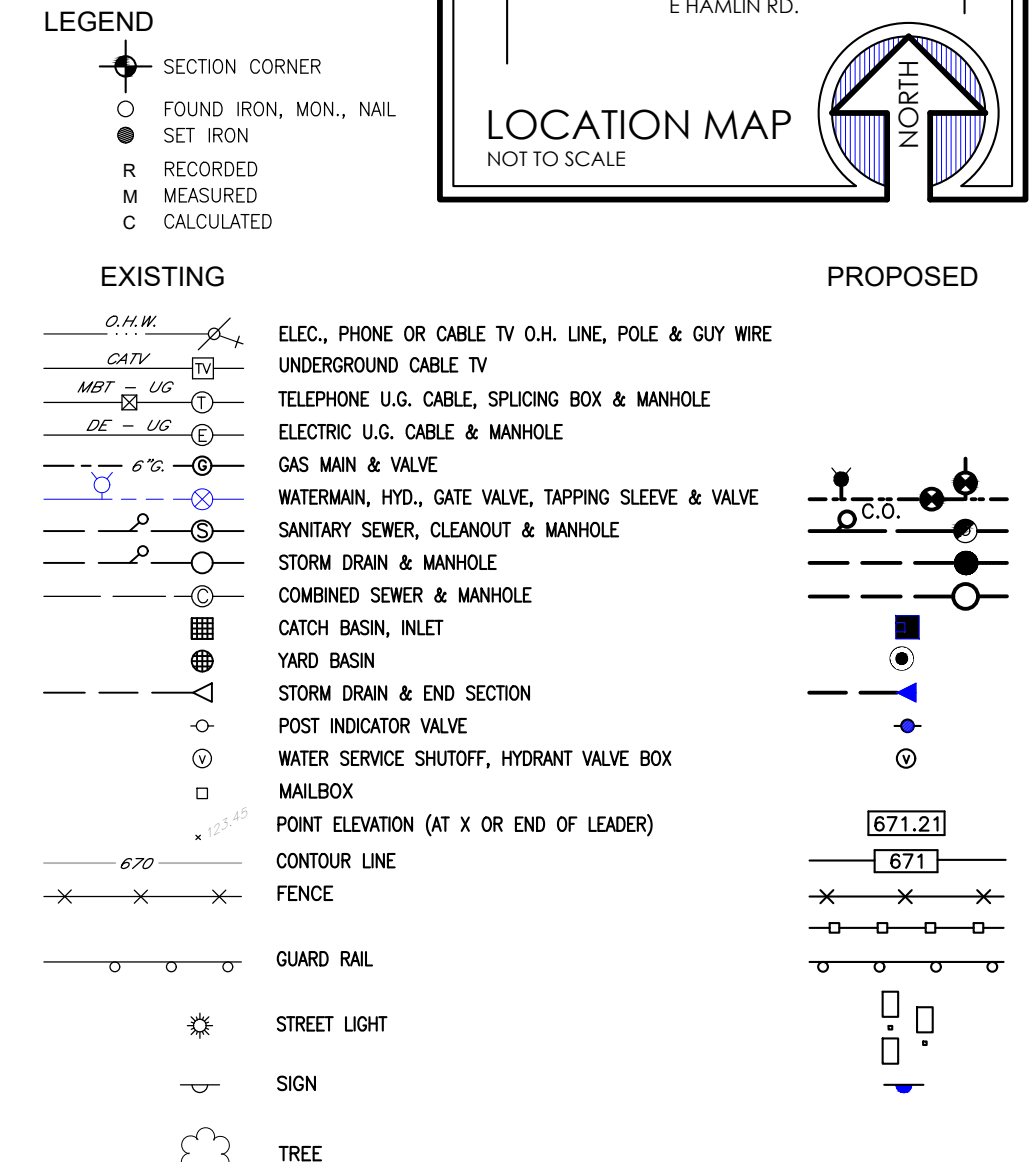
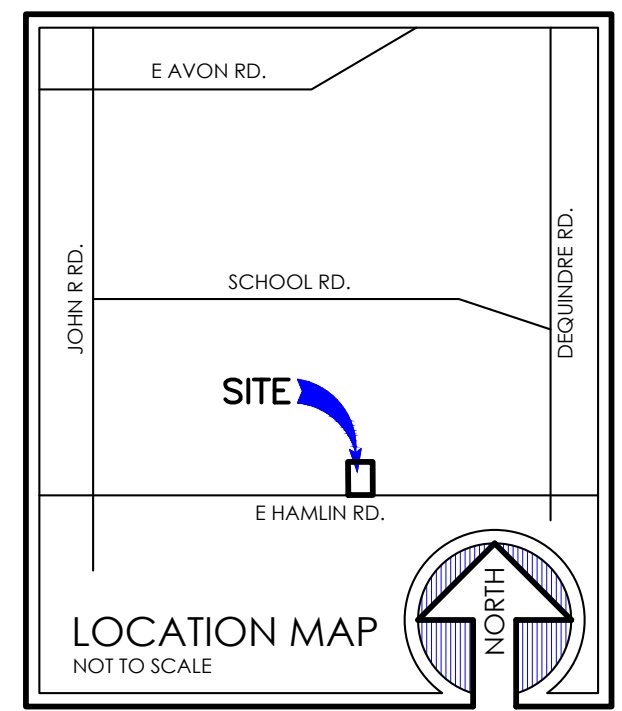
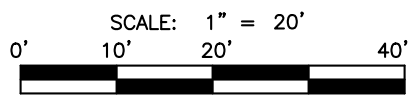
**ROCHESTER HILLS**  
 J2023-0002  
 PSP2023-0014  
 Revision #4

CITY FILE #23-0002  
 SECTION 24

**PARCEL DESCRIPTION**  
 T3N, R11E, SEC 24 PART OF SE 1/4 BEG AT PT DIST N 89°34'00" E 200 FT FROM S 1/4 COR, TH N 00°47'50" W 368.69 FT, TH N 89°34'00" E 273.55 FT, TH S 00°47'50" E 368.69 FT, TH S 89°34'00" W 273.55 FT TO BEG 2.32 A B359D

**FIRE DEPARTMENT NOTES:**

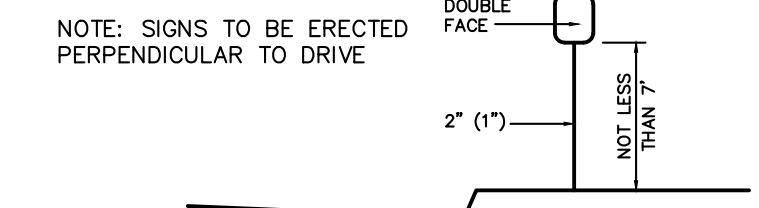
1. A KNOW BOX SYSTEM SHALL BE INSTALLED IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE THROUGH THE KNOX COMPANY AT WWW.KNOXBOX.COM (IFC 2006 SEC. 1028.2)
2. FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ: NO STOPPING, STANDING, PARKING, FIRE LANE AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 503)
3. CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2006 CHAPTER 14.
4. OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING. OPEN BURNING FOR WARMING OF SAND AND OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 307.6.2 & 307.6.2.3). MORTAR PERMIT CAN BE APPLIED FOR ONLINE AT WWW.ROCHESTERHILLS.ORG/FIRE IN THE "FOR YOUR BUSINESS" SECTION.
5. PROVIDE A "NO SIGN OVER THE FIRE DEPARTMENT CONNECTION"
6. FDC'S SHALL NOT BE OBSTRUCTED BY LANDSCAPING, PARKING, OR ANY OTHER PERMANENT OR TEMPORARY MATERIALS OR DEVICES.
7. IF THE FIRE DEPARTMENT CONNECTION IS NOT LOCATED ON THE STREET FRONT OF THE BUILDING, A WHILE/CLEAR STROBE LIGHT SHALL BE TIED INTO THE FIRE ALARM SYSTEM AND INSTALLED OVER THE FDC.
8. FIRE APPARATUS ACCESS ROADWAY SHOULD BE DESIGNED TO SUPPORT THE LOAD OF THE FIRE APPARATUS (75,000 POUNDS) AND BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES.
9. A FLOW TEST IS REQUIRED TO EVALUATE THE CAPABILITIES OF THE WATER SUPPLY. THIS CAN BE OBTAINED BY CONTACTING THE ROCHESTER HILLS ENGINEERING DEPARTMENT AT 248-656-4840.
10. BUILDINGS OVER 30' IN HEIGHT SHALL PROVIDE AERIAL FIRE APPARATUS ACCESS ROADS AT A MINIMUM WIDTH OF 26'.
11. OVERHEAD UTILITY AND POWER LINES SHALL NOT BE LOCATED WITHIN THE AERIAL FIRE APPARATUS ACCESS ROADWAY.
12. AT LEAST ONE OF THE REQUIRED ACCESS ROUTES SHALL BE LOCATED WITHIN A MINIMUM OF 15' AND A MAXIMUM OF 30' FROM THE BUILDING AND SHALL BE PARALLEL TO THE BUILDING.
13. EXIT DOORS SHALL REMAIN FREE OF OBSTRUCTIONS AT ALL TIMES. PROVIDE GUARD POSTS OR OTHER ACCEPTABLE MEANS OF PROTECTING EXIT DOORS OPENING INTO DRIVES AND PARKING AREAS.
14. ROCHESTER HILLS TOWER LADDER #4 FIRE TRUCK - PIERCE BID #1102 - USED FOR TURNING TEMPLATE AND VEHICLE PATH TRACKING AS SHOWN ON THIS PLAN.



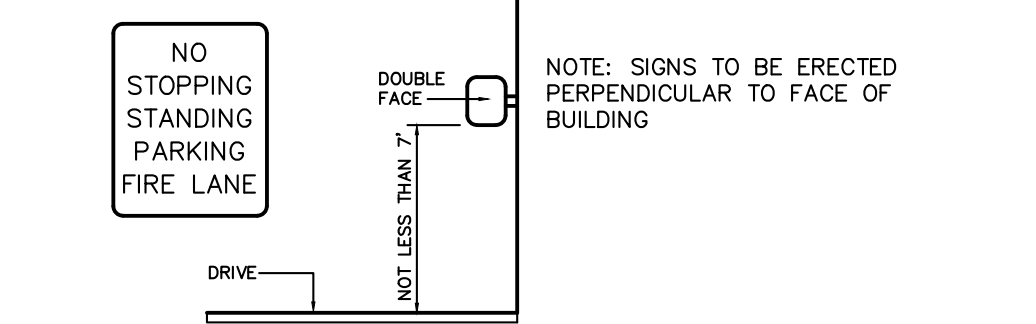
**ROCHESTER HILLS TOWER LADDER 4 AUTO TURN SPECIFICATIONS**

Vehicle	Trailer	Path	ROCHESTER HILLS FIRE TRUCK
Description			ROCHESTER HILLS FIRE TRUCK
Wheel Width			7.690
Wheel Length			22.500
Vehicle Width			9.140
Front Overhang			6.330
Rear Overhang			16.000
Tire Diameter			2.000
Rear Axle Count			1
Rear Axle Offset			4.200

**LATERAL CLEARANCE**  
 IN URBAN AREAS, A MINIMUM CLEARANCE OF TWO FEET BETWEEN CURB FACE AND SIGN INSTALLATION SHOULD BE MAINTAINED, BUT A CLEARANCE OF ONE FOOT FROM CURB FACE IS PERMISSIBLE WHERE SIDEWALK WIDTH IS LIMITED OR WHERE EXISTING POLES ARE CLOSE TO THE CURB.



**POSTS AND MOUNTING**  
 SIGN SUPPORTS SHOULD BE OF A BREAKAWAY OR YIELDING DESIGN. CONC. BASES FOR SIGN SUPPORTS SHOULD BE FLUSH WITH GROUND LEVEL.



**FIRE LANE SIGN PLACEMENT DETAIL**

CITY FILE #23-0002 SECTION 24

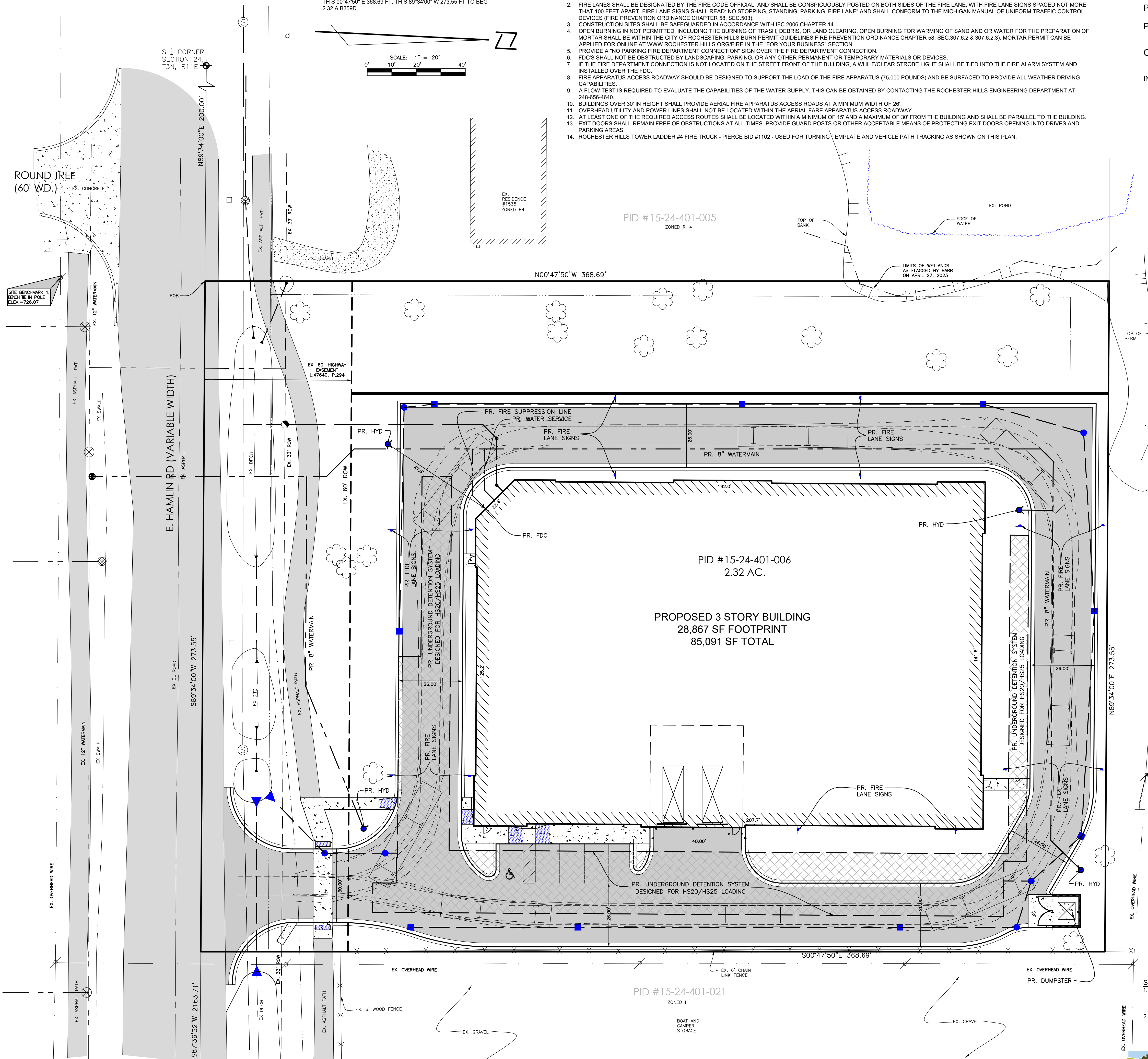
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**PRELIMINARY SITE PLAN**  
**1575 E HAMLIN RD**  
 PART OF THE SE 1/4 OF SECTION 24, T3N, R11E  
 ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

DISTRIBUTION	
●	PRELIMINARY
○	APPROVAL
○	CONSTRUCTION
○	AS-BUILT

REVISIONS	
DATE	REMARKS
04/17/23	PER CITY
06/30/23	PER CITY
08/08/23	PER CITY
09/19/23	PER CITY

**CLIENT**  
 CDK DEVELOPMENT  
 10570 SAVANNAH CT.  
 HUNTLEY, IL 60142  
 CONTACT: STEVE OSBORNE  
 PHONE: 224-249-9477

**PROJECT NAME**  
 1575 E HAMLIN ROAD

**PROJECT NUMBER**  
 C22-049.06X

**SHEET NAME**  
 FIRE PROTECTION PLAN

DRAWING SCALE: 1" = 20'  
 SHEET SIZE: 24X36  
 DATE: 2/2/23  
 PROJECT MANAGER: JJS, PE  
 DESIGNED BY: JJS, PE  
 DRAWN BY: JJS, PE  
 FIELD BY: BHVA  
 CHECKED BY: JSR/PE/JJS, PE

**SHEET NUMBER**  
 3 OF 6

\* MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.  
 \*\* MAXIMUM RAMP CROSS SLOPE IS 2.0%. RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.

**CURB RAMP TYPE R (ROLLED SIDES)**

**CURB RAMP TYPE F (FLARED SIDES, TWO RAMP SHOWN)**

MICHIGAN DEPARTMENT OF TRANSPORTATION  
 BUREAU OF DEVELOPMENT STANDARD PLAN FOR  
**CURB RAMP AND DETECTABLE WARNING DETAILS**  
 5-8-2020 PLAN DATE R-28-J SHEET 1 OF 7

\* MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.  
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**CURB RAMP TYPE RP (ROLLED / FLARED SIDES)**

**SECTION A-A**

CURB TYPE	MAXIMUM RISE (INCHES)
A	2
B1	1 1/2
B2	1 1/2
D1	1 1/2
D2	1 1/2
C1	1 1/2
C2	1 1/2
C3	1 1/2
C4	1 1/2
C5	1 1/2
F1	1 1/2
F2	1 1/2
F3	1 1/2
F4	1 1/2
F5	1 1/2
F6	1 1/2

MICHIGAN DEPARTMENT OF TRANSPORTATION  
 BUREAU OF DEVELOPMENT STANDARD PLAN FOR  
**CURB RAMP AND DETECTABLE WARNING DETAILS**  
 5-8-2020 PLAN DATE R-28-J SHEET 2 OF 7

\* MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.  
 \*\* MAXIMUM RAMP CROSS SLOPE IS 2.0%. RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.

**CURB RAMP TYPE P (PARALLEL RAMP)**

**CURB RAMP TYPE C (COMBINATION RAMP)**

**CURB RAMP TYPE M (MEDIAN ISLAND)**

MICHIGAN DEPARTMENT OF TRANSPORTATION  
 BUREAU OF DEVELOPMENT STANDARD PLAN FOR  
**CURB RAMP AND DETECTABLE WARNING DETAILS**  
 5-8-2020 PLAN DATE R-28-J SHEET 3 OF 7

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 \*\* MAXIMUM RAMP CROSS SLOPE IS 2.0%. RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.

**CURB RAMP TYPE D (DEPRESSED CURB)**

MICHIGAN DEPARTMENT OF TRANSPORTATION  
 BUREAU OF DEVELOPMENT STANDARD PLAN FOR  
**CURB RAMP AND DETECTABLE WARNING DETAILS**  
 5-8-2020 PLAN DATE R-28-J SHEET 4 OF 7

\* THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE RAIL CROSSING IS 6' MINIMUM AND 15' MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL. DO NOT PLACE DETECTABLE WARNING ON RAILROAD CROSSING MATERIAL.

**DETECTABLE WARNING AT RAILROAD CROSSING**

\* THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE SHOULDER IS 2' MINIMUM AND 15' MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL. DO NOT PLACE DETECTABLE WARNING ON RAILROAD CROSSING MATERIAL.

**DETECTABLE WARNING AT FLUSH SHOULDER OR ROADWAY**

MICHIGAN DEPARTMENT OF TRANSPORTATION  
 BUREAU OF DEVELOPMENT STANDARD PLAN FOR  
**CURB RAMP AND DETECTABLE WARNING DETAILS**  
 5-8-2020 PLAN DATE R-28-J SHEET 5 OF 7

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**CURB RAMP ORIENTATION**

MICHIGAN DEPARTMENT OF TRANSPORTATION  
 BUREAU OF DEVELOPMENT STANDARD PLAN FOR  
**CURB RAMP AND DETECTABLE WARNING DETAILS**  
 5-8-2020 PLAN DATE R-28-J SHEET 6 OF 7

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**DETECTABLE WARNING DETAILS**

MICHIGAN DEPARTMENT OF TRANSPORTATION  
 BUREAU OF DEVELOPMENT STANDARD PLAN FOR  
**CURB RAMP AND DETECTABLE WARNING DETAILS**  
 5-8-2020 PLAN DATE R-28-J SHEET 7 OF 7

\* MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.  
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**DETECTABLE WARNING AT FLUSH SHOULDER OR ROADWAY**

MICHIGAN DEPARTMENT OF TRANSPORTATION  
 BUREAU OF DEVELOPMENT STANDARD PLAN FOR  
**CURB RAMP AND DETECTABLE WARNING DETAILS**  
 5-8-2020 PLAN DATE R-28-J SHEET 8 OF 7

DISTRIBUTION	
●	PRELIMINARY
○	APPROVAL
◐	CONSTRUCTION
◑	AS-BUILT
REVISIONS	
DATE	REMARKS
04/17/23	PER CITY
06/30/23	PER CITY
08/08/23	PER CITY
09/19/23	PER CITY

SEAL

CLIENT  
 CDK DEVELOPMENT  
 10570 SAVANNAH CT.  
 HUNTLEY, IL 60142  
 CONTACT: STEVE OSBORNE  
 PHONE: 224-249-9477

PROJECT NAME  
**1575 E HAMLIN ROAD**

PROJECT NUMBER  
**C22-049.06X**

SHEET NAME  
**DETAILS**

DRAWING SCALE: N/A  
 SHEET SIZE: 24X36  
 DATE: 2/27/23  
 PROJECT MANAGER: JJS, PE  
 DESIGNED BY: JJS, PE  
 DRAWN BY: JJS, PE  
 FIELD BY: BHVA  
 CHECKED BY: BSR/PE/JJS, PE

SHEET NUMBER  
**4 OF 6**

DISTRIBUTION	
●	PRELIMINARY
○	APPROVAL
○	CONSTRUCTION
○	AS-BUILT

REVISIONS	
DATE	REMARKS
04/17/23	PER CITY
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SEAL

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PROJECT NAME  
**1575 E HAMLIN ROAD**

PROJECT NUMBER  
**C22-049.06X**

SHEET NAME  
**DETAILS**

DRAWING SCALE:	N/A
SHEET SIZE:	24X36
DATE:	2/2/23
PROJECT MANAGER:	JJS, PE
DESIGNED BY:	JJS, PE
DRAWN BY:	JJS, PE
FIELD BY:	BHVA
CHECKED BY:	JSR, PE/JJS, PE

SHEET NUMBER  
**5 OF 6**

**Standard Details:**

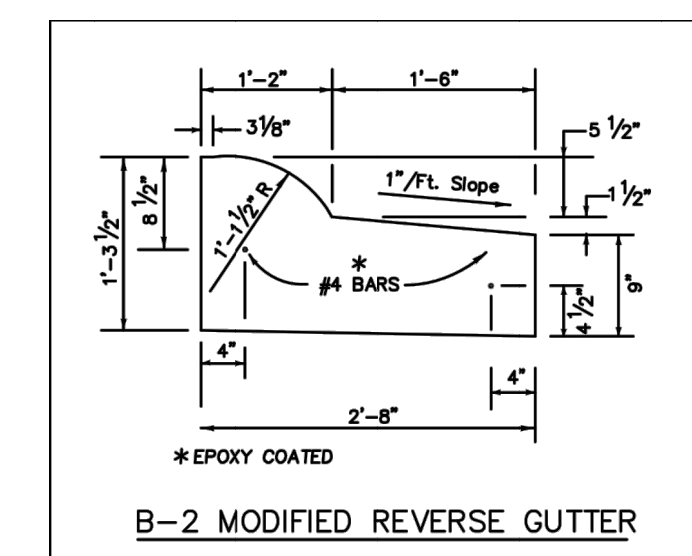
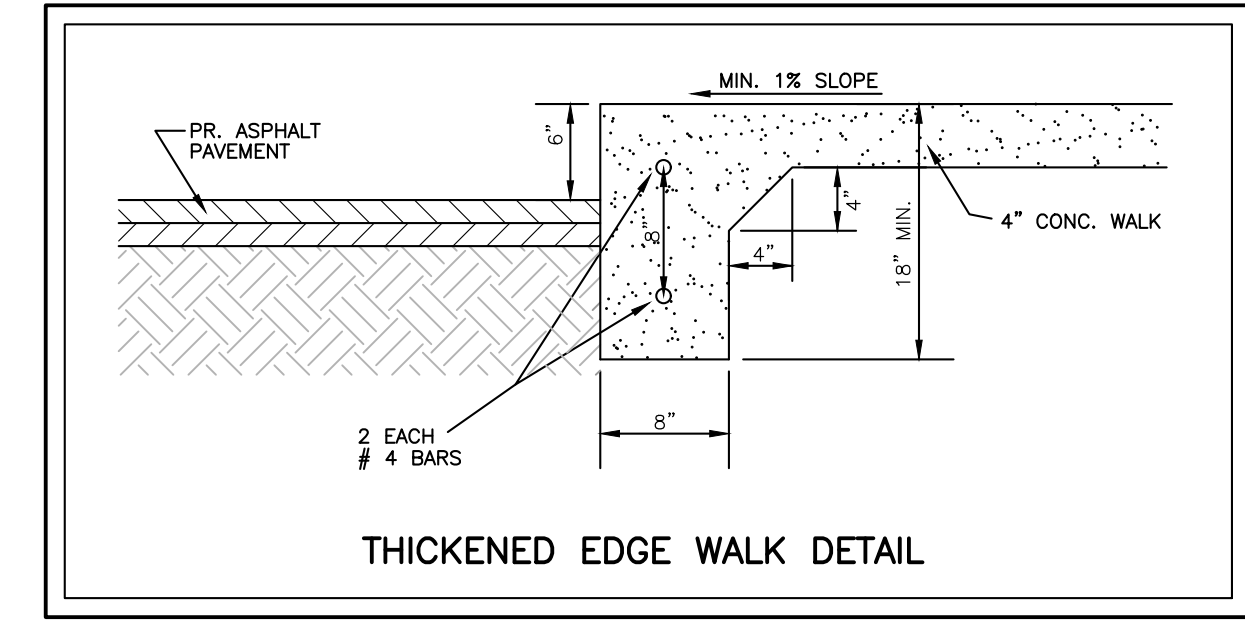
**Standard Notes:**

- Maximum grade of 8.33% along pathway (less than 5% is recommended).
- 1% cross slope (i.e. super elevation) for drainage off and away from pathway and graded shoulders (2% maximum cross-slope).
- 60' minimum center line radii for pathway horizontal alignment.
- Provide a minimum of 3' horizontal clearance and 10' vertical clearance from all fixed objects and the edge of pathway surface. Relocation of existing objects (i.e. mail boxes, signs, etc.) shall be considered incidental work items.
- Pathway ramps shall be constructed in accordance with MDT standard detail R-28 Series and shall have a minimum clear opening of 8' wide.
- A clean saw cut joint shall be provided wherever new pavement matches existing pavement (incidental work item).
- Utility structures shall be adjusted in accordance with the City of Rochester Hills standards and shall match the proposed grade of the pathway.
- Pathway shall be 6 inch thick HMA or concrete through residential drives and 9 inch thick HMA or 8 inch thick concrete through commercial drives.
- Pathway asphalt shall be paid for as "Shared Use Path, HMA" when part of public improvement project.
- Ramps and landings shall be 6 inch thick concrete.
- ADA detectable warning plates shall be performed and brick red in color. Acceptable products included ADA Solutions, Inc., Armor-Tile, E.I., or approved equal.
- Irrigation overspray shall not broadcast onto City pathway or sidewalk.

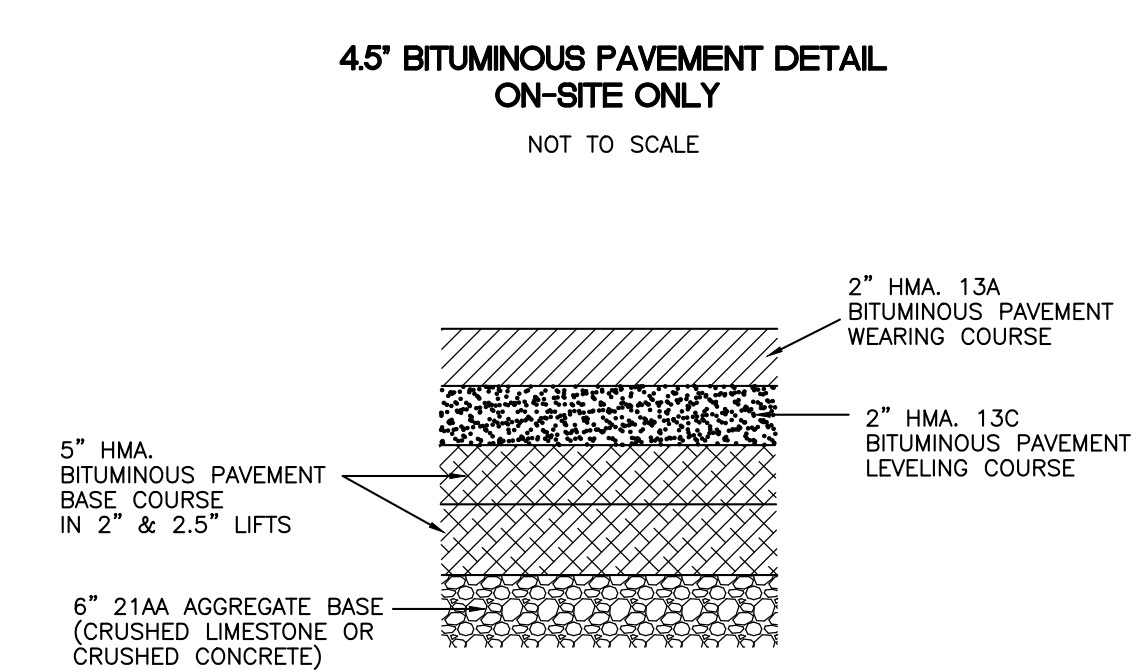
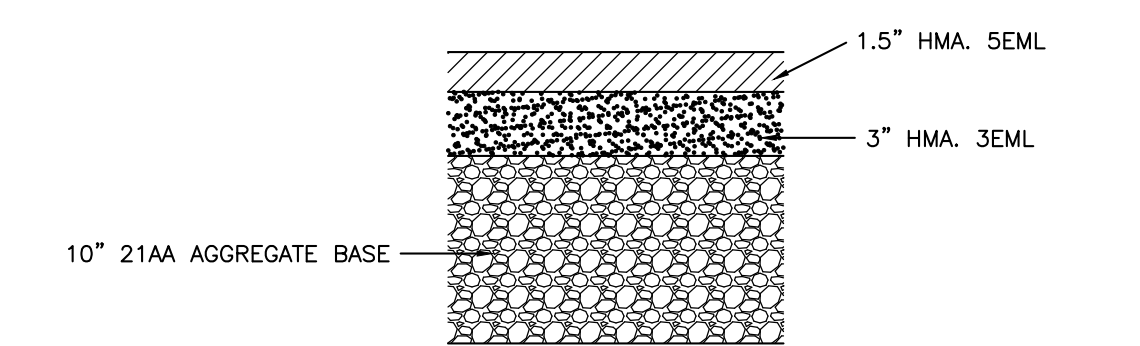
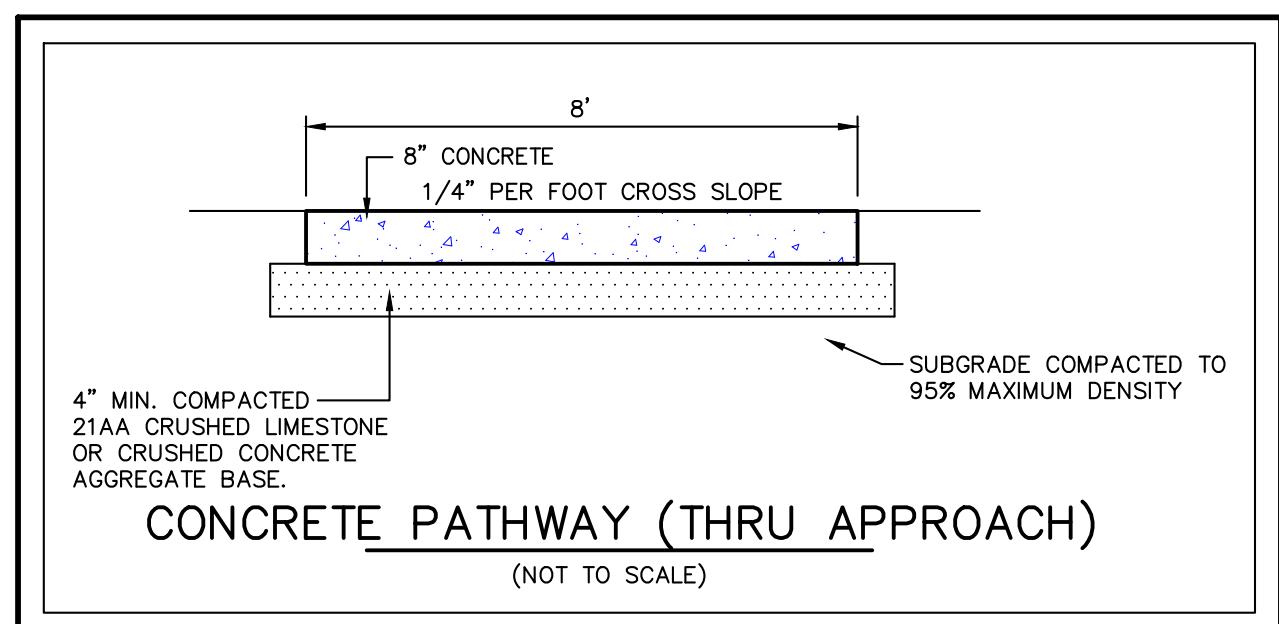
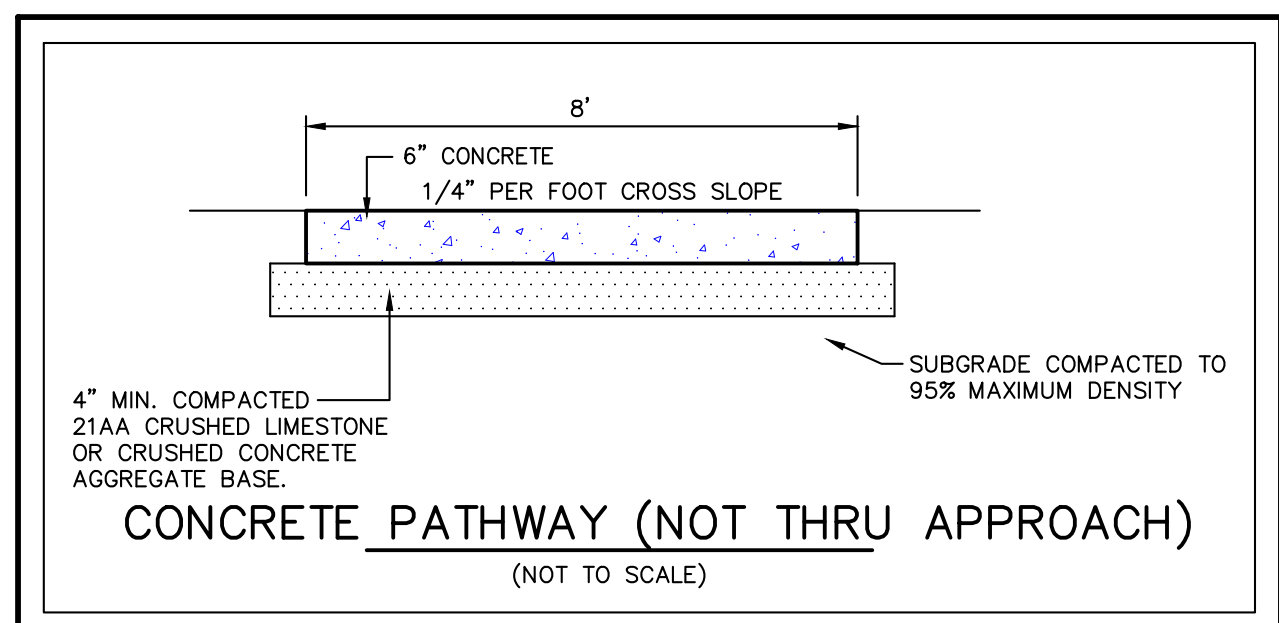
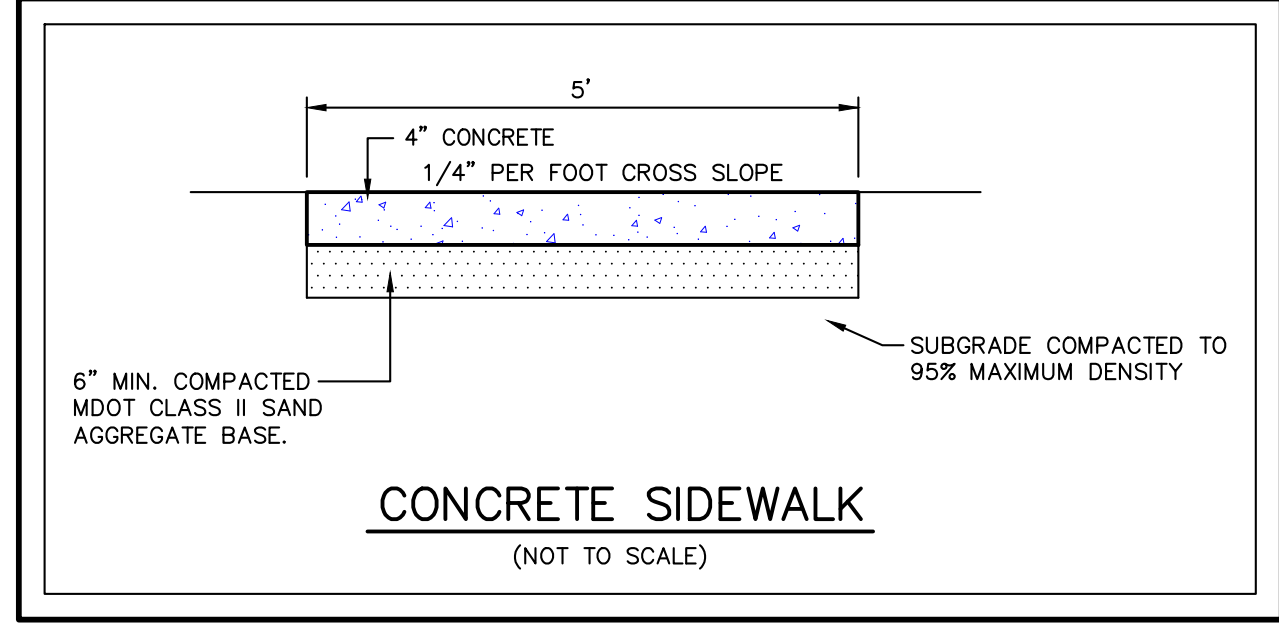
**Typical Pathway and Shoulder Drainage Profile**

**CITY OF ROCHESTER HILLS**  
 STANDARD DETAIL FOR:  
 Pathway Details:  
**Hot-Mixed Asphalt Pathway Construction, Extensions and Relocations**

DRAWN BY:	PLAN DATE:	REVISIONS:	2/8/2022	8/22/2018	01/12/2022
R. GEORGE	8/28/1996	4/12/2012	2/25/2016	11/12/2019	01/25/2022
APPROVED BY:	NOT TO SCALE				
PAUL SHUMKO, MBA, M.S., P.E., PTOE	SHEET 1 OF 1				
CITY TRANSPORTATION ENGINEERING MANAGER					



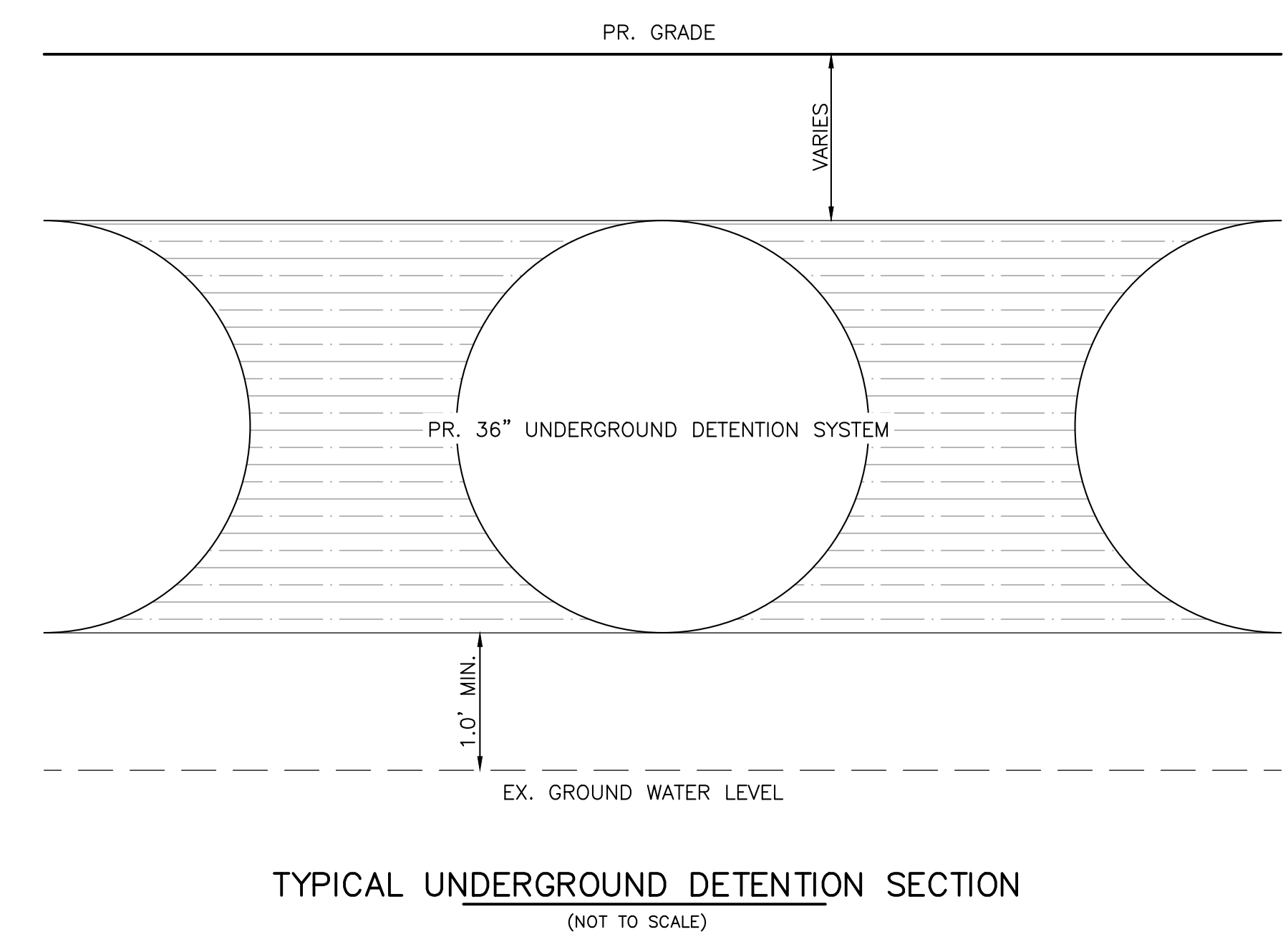
ROAD COMMISSION FOR OAKLAND COUNTY  
 SUBDIVISION STANDARD PLAN  
 FOR  
**CURB & GUTTER DETAILS**  
 revised: 06/29/19 **FIGURE 3-12**

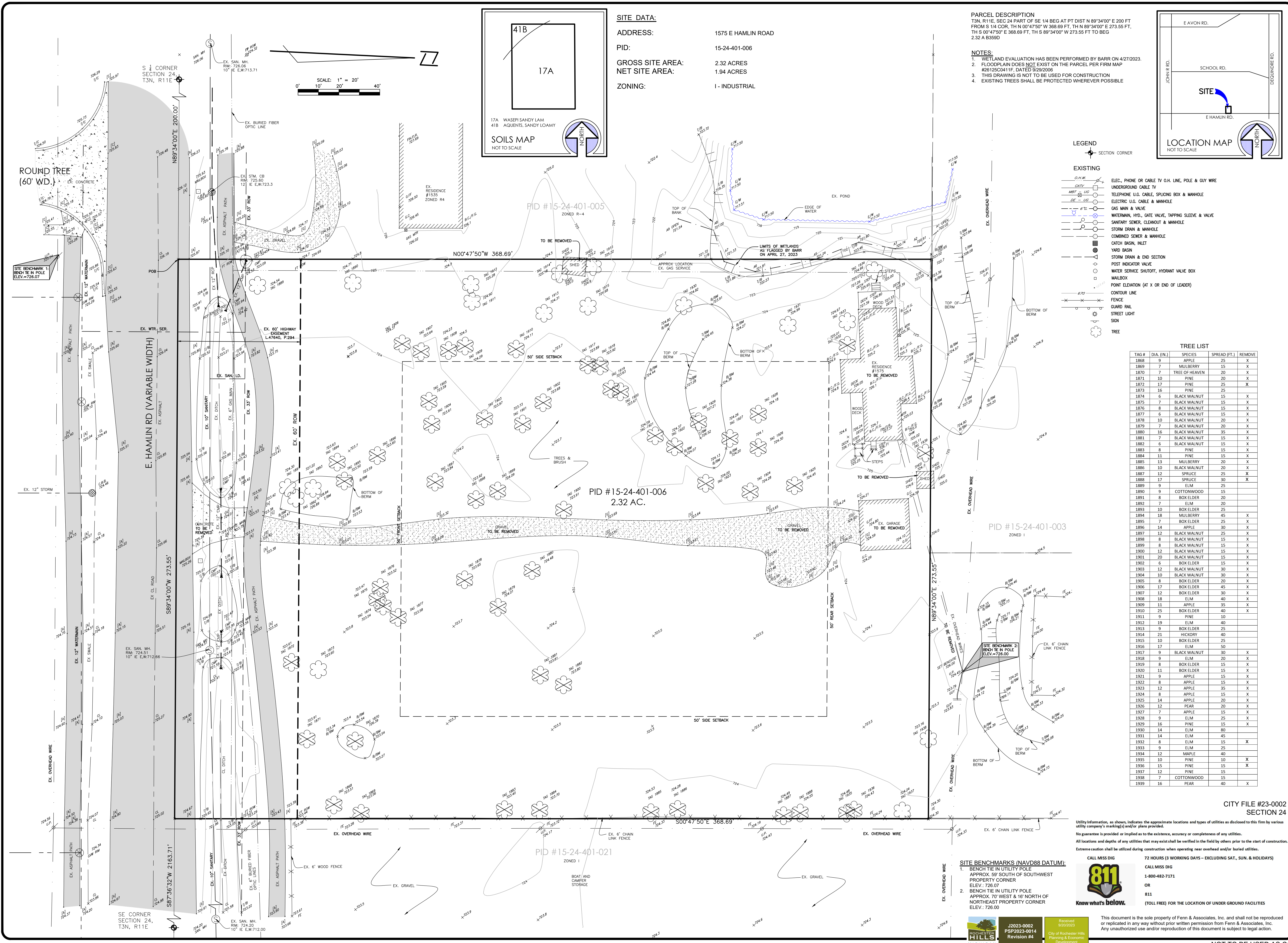


CITY FILE #23-0002  
 SECTION 24

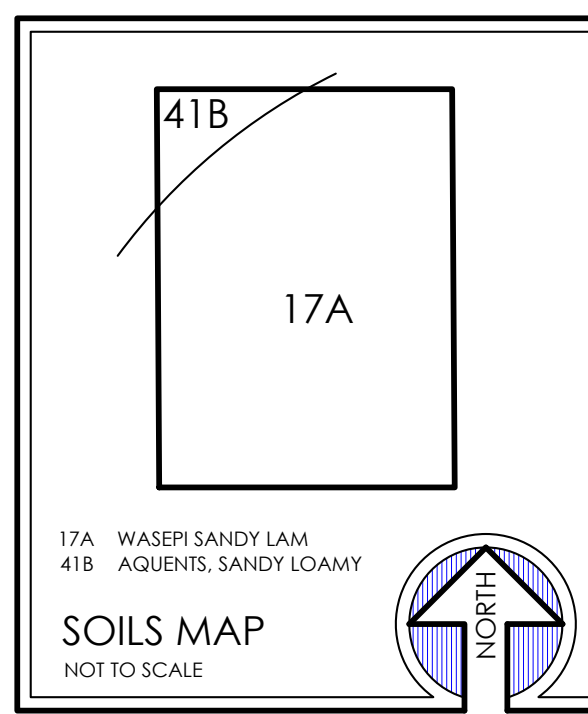
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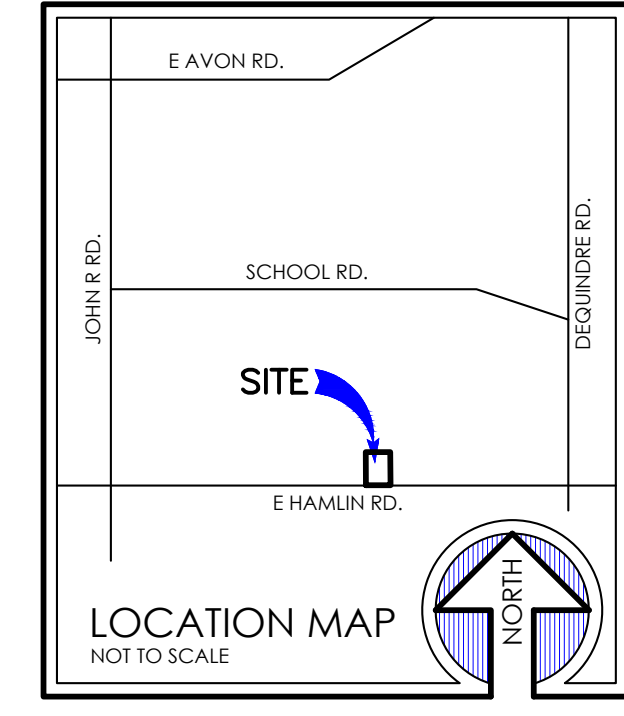


**SITE DATA:**  
**ADDRESS:** 1575 E HAMLIN ROAD  
**PID:** 15-24-401-006  
**GROSS SITE AREA:** 2.32 ACRES  
**NET SITE AREA:** 1.94 ACRES  
**ZONING:** I - INDUSTRIAL



**PARCEL DESCRIPTION**  
 T3N, R11E, SEC 24 PART OF SE 1/4 BEG AT PT DSN N 89°34'00" E 200 FT FROM S 1/4 COR, TH N 00°47'50" W 368.69 FT, TH N 89°34'00" E 273.55 FT, TH S 00°47'50" E 368.69 FT, TH S 89°34'00" W 273.55 FT TO BEG 2.32 A B3500

**NOTES:**  
 1. WETLAND EVALUATION HAS BEEN PERFORMED BY BARR ON 4/27/2023.  
 2. FLOODPLAIN DOES NOT EXIST ON THE PARCEL PER FIRM MAP #28125C0411F, DATED 9/29/2006  
 3. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION  
 4. EXISTING TREES SHALL BE PROTECTED WHEREVER POSSIBLE



- LEGEND**
- SECTION CORNER
  - EXISTING
    - O.H.W. - OVERHEAD WIRE
    - CATV - CABLE TV
    - MAY - GAS
    - EL - ELECTRIC
    - W.M. - WATER MAIN
    - S.S. - SANITARY SEWER
    - C.S. - COMBINED SEWER
    - C.B. - CATCH BASIN
    - W.D. - WARD BURN
    - S.D. - STORM DRAIN
    - P.I.V. - POST INDICATOR VALVE
    - W.S.S. - WATER SERVICE SHUTOFF
    - M.B. - MAILBOX
    - C.L. - CONTOUR LINE
    - F. - FENCE
    - G.R. - GUARD RAIL
    - S.L. - STREET LIGHT
    - T. - TREE
  - ELEC. - PHONE OR CABLE TV O.H. LINE, POLE & GUY WIRE
  - UNDERGROUND CABLE TV
  - TELEPHONE U.G. CABLE, SPLICING BOX & MANHOLE
  - ELECTRIC U.G. CABLE & MANHOLE
  - GAS MAIN & VALVE
  - WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE
  - SANITARY SEWER, CLEANOUT & MANHOLE
  - STORM DRAIN & MANHOLE
  - COMBINED SEWER & MANHOLE
  - CATCH BASIN, INLET
  - WARD BURN
  - STORM DRAIN & END SECTION
  - POST INDICATOR VALVE
  - WATER SERVICE SHUTOFF, HYDRANT VALVE BOX
  - MAILBOX
  - POINT ELEVATION (AT X OR END OF LEADER)
  - CONTOUR LINE
  - FENCE
  - GUARD RAIL
  - STREET LIGHT
  - SIGN
  - TREE

**TREE LIST**

TAG #	DIA. (IN.)	SPECIES	SPREAD (FT.)	REMOVE
1868	9	APPLE	25	X
1869	7	MULBERRY	15	X
1870	7	TREE OF HEAVEN	20	X
1871	10	PINE	20	X
1872	17	PINE	25	X
1873	16	PINE	25	X
1874	6	BLACK WALNUT	15	X
1875	7	BLACK WALNUT	15	X
1876	8	BLACK WALNUT	15	X
1877	6	BLACK WALNUT	15	X
1878	10	BLACK WALNUT	20	X
1879	7	BLACK WALNUT	20	X
1880	16	BLACK WALNUT	35	X
1881	7	BLACK WALNUT	15	X
1882	6	BLACK WALNUT	15	X
1883	8	PINE	15	X
1884	11	PINE	15	X
1885	13	MULBERRY	20	X
1886	10	BLACK WALNUT	20	X
1887	12	SPRUCE	25	X
1888	17	SPRUCE	30	X
1889	9	ELM	25	X
1890	9	COTTONWOOD	15	
1891	8	BOX ELDER	20	
1892	7	ELM	20	
1893	10	BOX ELDER	25	
1894	18	MULBERRY	45	X
1895	7	BOX ELDER	25	X
1896	14	APPLE	30	X
1897	12	BLACK WALNUT	25	X
1898	8	BLACK WALNUT	15	X
1899	8	BLACK WALNUT	15	X
1900	12	BLACK WALNUT	15	X
1901	20	BLACK WALNUT	15	X
1902	6	BOX ELDER	15	X
1903	12	BLACK WALNUT	30	X
1904	10	BLACK WALNUT	30	X
1905	8	BOX ELDER	20	X
1906	17	BOX ELDER	45	X
1907	12	BOX ELDER	30	X
1908	18	ELM	40	X
1909	11	APPLE	35	X
1910	25	BOX ELDER	40	X
1911	9	PINE	10	
1912	19	ELM	40	X
1913	9	BOX ELDER	25	
1914	21	HICKORY	40	
1915	10	BOX ELDER	25	
1916	17	ELM	50	
1917	9	BLACK WALNUT	30	X
1918	9	ELM	20	X
1919	8	BOX ELDER	15	X
1920	11	BOX ELDER	15	X
1921	9	APPLE	15	X
1922	8	APPLE	15	X
1923	12	APPLE	35	X
1924	8	APPLE	15	X
1925	14	APPLE	20	X
1926	12	PEAR	20	X
1927	7	APPLE	15	X
1928	9	ELM	25	X
1929	16	PINE	15	X
1930	14	ELM	80	X
1931	14	ELM	45	X
1932	8	ELM	15	X
1933	9	ELM	25	X
1934	12	MAPLE	40	X
1935	10	PINE	10	X
1936	15	PINE	15	X
1937	12	PINE	15	X
1938	7	COTTONWOOD	15	
1939	16	PEAR	40	X

**Fenn & Associates, Inc.**  
 Land Surveying and Civil Engineering  
 14933 Commercial Drive, Shelby Township, MI 48315  
 Phone: 586-254-9377 Fax: 586-254-9020  
 www.fennsurveying.com

**TOPOGRAPHIC MAPPING**  
**1575 E HAMLIN RD**  
 PART OF THE SE 1/4 OF SECTION 24, T3N, R11E  
 ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN

**DISTRIBUTION**

- PRELIMINARY
- APPROVAL
- CONSTRUCTION
- AS-BUILT

**REVISIONS**

DATE	REMARKS
04/17/23	PER CITY
06/30/23	PER CITY
08/08/23	PER CITY
09/19/23	PER CITY



**CLIENT**  
 CDK DEVELOPMENT  
 10570 SAVANNAH CT.  
 HUNTLEY, IL 60142  
 CONTACT: STEVE OSBORNE  
 PHONE: 224-249-9477

**PROJECT NAME**  
 1575 E HAMLIN ROAD

**PROJECT NUMBER**  
 C22-049.06X

**SHEET NAME**  
 TOPOGRAPHIC MAPPING

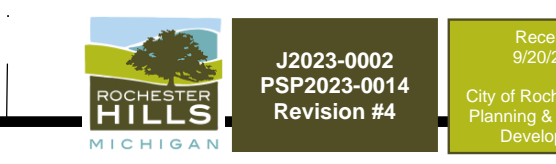
**DRAWING SCALE:** 1" = 20'  
**SHEET SIZE:** 24X36  
**DATE:** 2/2/23  
**PROJECT MANAGER:** JJS, PE  
**DESIGNED BY:** JJS, PE  
**DRAWN BY:** RP/JJS, PE  
**FIELD BY:** BHVA  
**CHECKED BY:** JSR/PE/JJS, PE

**SHEET NUMBER**  
 6 OF 6

Utility Information, as shown, indicates the approximate locations and types of utilities as disclosed to this firm by various utility company's marking(s) and/or plans provided.  
 No guarantee is provided or implied as to the existence, accuracy or completeness of any utilities.  
 All locations and depths of any utilities that may exist shall be verified in the field by others prior to the start of construction.  
 Extreme caution shall be utilized during construction when operating near overhead and/or buried utilities.

**CALL M555 DIG** 72 HOURS (3 WORKING DAYS - EXCLUDING SAT., SUN. & HOLIDAYS)  
**811** 1-800-482-7171  
 OR 811  
 Know what's below. (TOLL FREE) FOR THE LOCATION OF UNDER GROUND FACILITIES

**SITE BENCHMARKS (NAVD88 DATUM):**  
 1. BENCH TIE IN UTILITY POLE APPROX. 50' SOUTH OF SOUTHWEST PROPERTY CORNER ELEV. 726.07  
 2. BENCH TIE IN UTILITY POLE APPROX. 70' WEST & 16' NORTH OF NORTHEAST PROPERTY CORNER ELEV. 726.00



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NOT TO BE USED AS CONSTRUCTION DRAWINGS

**Schedule**

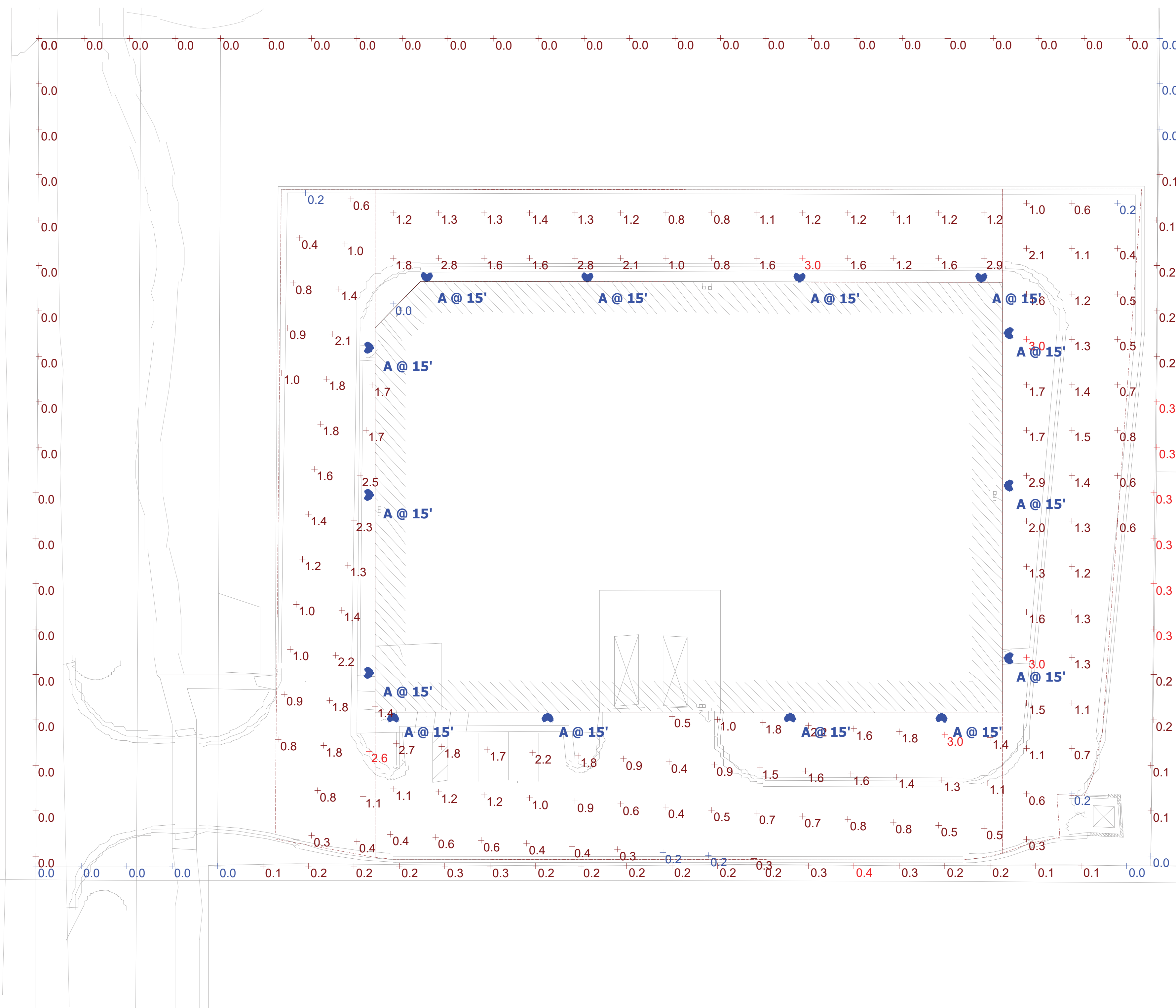
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
	A		14	Lithonia Lighting	DSXW2 LED 30C 350 30K TFTM MVOLT	DSXW2 LED WITH 3 LIGHT ENGINES, 30 LED's, 350mA DRIVER, 3000K LED, TYPE FORWARD THROW MEDIUM OPTIC	1	4115	1	36	

**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
East Boundary Line	+	0.2 fc	0.3 fc	0.0 fc	N/A	N/A
East Building Exterior	+	1.2 fc	3.0 fc	0.2 fc	15.0:1	6.0:1
North Boundary Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
North Building Exterior	+	1.5 fc	3.0 fc	0.0 fc	N/A	N/A
South Boundary Line	+	0.2 fc	0.4 fc	0.0 fc	N/A	N/A
South Building Exterior	+	1.1 fc	3.0 fc	0.2 fc	15.0:1	5.5:1
West Boundary Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
West Building Exterior	+	1.3 fc	2.6 fc	0.2 fc	13.0:1	6.5:1



Note: All exterior lighting shall incorporate automatic timers and shall be turned off between the hours of midnight and sunrise, except for lighting necessary for security purposes.



**Plan View**

1575 E HAMLIN RD PHOTOMETRIC

**Designer**  
RTT  
**Date**  
05/16/2023  
**Scale**  
Not to Scale  
**Drawing No.**

**Summary**

CITY FILE #23-0002  
SECTION 24

Any plant material that is designated to be maintained that dies or is damaged during or as a result of construction shall be replaced pursuant to City Ordinance.

sheet index

- LS-1 GENERAL LANDSCAPE PLAN
- LS-2 PLANT MATERIAL LIST NOTES & PLANT DETAILS

general landscape notes:

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK, CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.
- PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES: GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG (1-800-482-7171). ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING.
- NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN/DISCREPANCY WITH LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON-SITE IF NECESSARY.
- ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY CITY OF ROCHESTER HILLS AND LANDSCAPE ARCHITECT.
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAIL SHOWN ON PLAN.
- PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARDWOOD MULCH.
- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
- NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.
- REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 4" THICK BARK MULCH FOR SHRUBS AND 2" THICK BARK MULCH FOR PERENNIALS.
- PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- PROVIDE FEAT SOD FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE. NO FEAT SOD.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS.
  - a) SHADE TREES \_\_\_\_\_ 5 FT.
  - b) ORNAMENTAL AND EVERGREEN TREES (CRAB, PINE, SPRUCE, ETC.) \_\_\_\_\_ 10 FT.
  - c) SHRUBS THAT ARE LESS THAN 1 FOOT TALL AND WIDE AT MATURITY \_\_\_\_\_ 2 FT.
- NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.
- ALL LAWN AREAS AND LANDSCAPE BEDS TO BE FULLY IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEMS. IRRIGATION SYSTEM TO HAVE SEPARATE ZONES FOR LAWN AREAS, PARKING ISLANDS, AND SHRUB BEDS WITH DIFFERENT CONTROL MOISTURE LEVEL ADJUSTMENT PER ZONE AS REQUIRED.
- UNLESS NOTED OTHERWISE, LANDSCAPE BEDS ADJACENT TO LAWN TO RECEIVE EDGING. EDGING SHALL BE 4" X 1/8" METAL (FINISH BLACK OR GREEN) OR APPROVED EQUAL AND TO BE INSTALLED WITH HORIZONTAL METAL STAKES AT 32" O.C. OR PER MANUFACTURER'S SPECIFICATION.
- ALL NEW PARKING ISLANDS AND LANDSCAPE BEDS ADJACENT AND NEXT TO BUILDING SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS A MIN. OF 16" - 18" DEPTH. BACK FILL WITH GOOD, MEDIUM TEXTURED PLANTING SOILS. ADD A MIN. 4" OF TOPSOIL OVERFILL. TO FINISH GRADE. PROVIDE POSITIVE DRAINAGE.
- WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND MULCHING WITHIN 24 HOURS AFTER INSTALLATION.
- ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPRIATE DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANT MATERIALS AND IRRIGATION INSTALLATION FOR A PERIOD OF TWO YEAR BEGINNING AFTER THE COMPLETION OF LANDSCAPE INSTALLATION DATE APPROVED BY THE CITY OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLANT DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE TOWNSHIP OR LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.

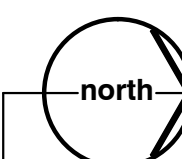
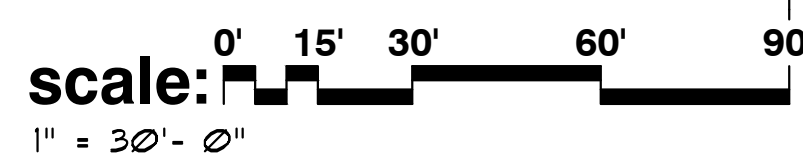
landscape plan for:

# 1575 E Hamlin Road

## City of Rochester Hills, Michigan

note:

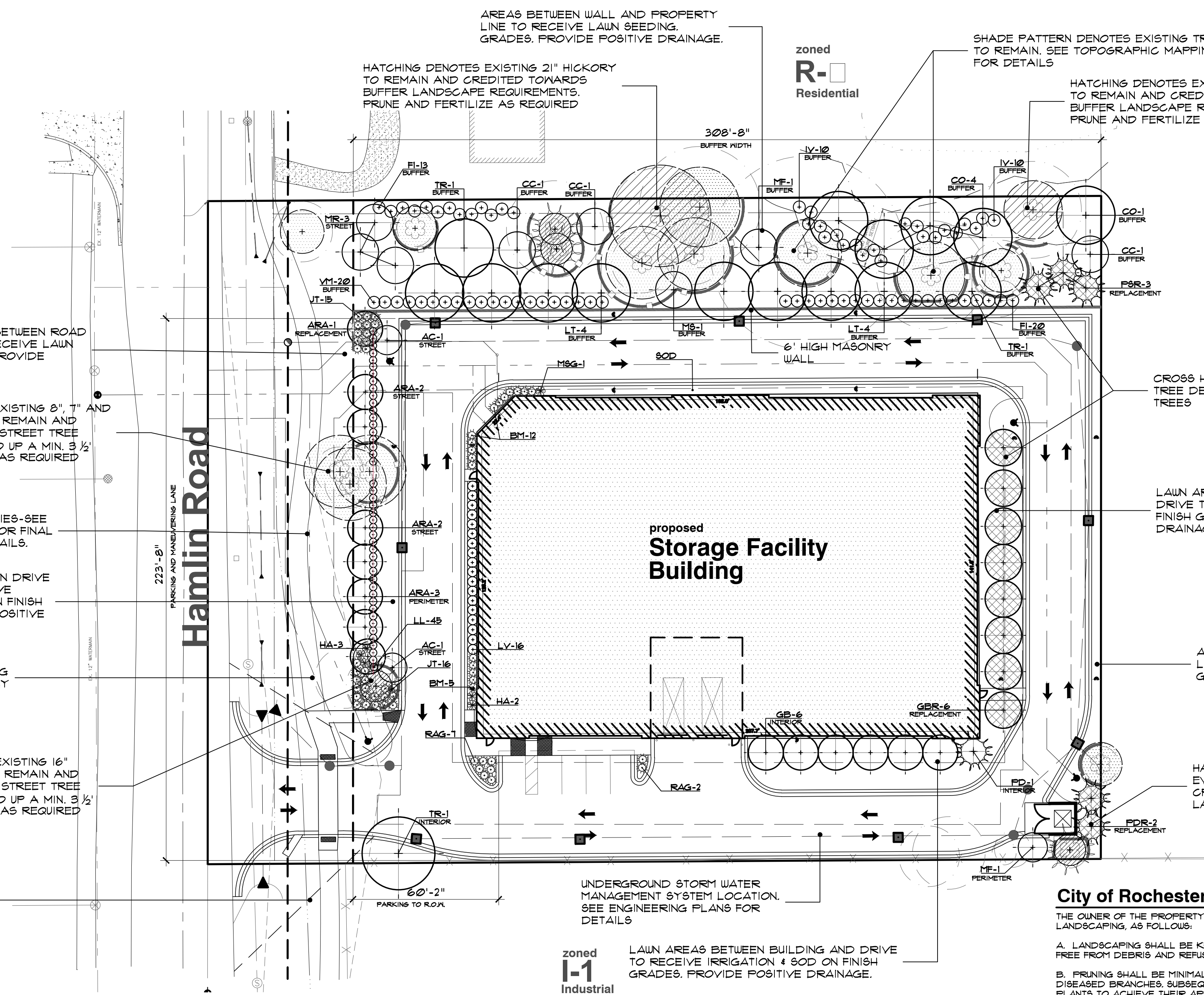
unless noted otherwise, numerical value on landscape quantities specified on plan take precedence over graphic representation.



landscape requirement summary

street tree Hamlin Road	REQUIRED	PROVIDED
TOTAL LINFT. OF HAMLIN ROAD FRONTAGE (213' HAMLIN ROAD FRONTAGE LESS 30' ACCESS DRIVE= 243')	213' ±	
ONE (1) CANOPY OR EVERGREEN TREE PER 35' (243' / 35' PER TREE = 6.9 TREES)	8	4-EXISTING + 4-NEW
ONE (1) ORNAMENTAL TREE PER 60' (243' / 60' PER TREE = 4.05 TREES)	5	5
buffer (west property line * residential R-4 * type-E with wall)	REQUIRED	PROVIDED
TOTAL LINFT. OF WEST PROPERTY LINE (308' / 100'±=3.08 X 2.5 TREES= 7.7 TREES)	308' ±	
TWO+HALF (2.5) CANOPY TREES PER 100' (308' / 100'±=3.08 X 2.5 TREES= 7.7 TREES)	8	2-EXISTING + 6-NEW
SIX (6) EVERGREEN TREES PER 100' (308' / 100'±=3.08 X 6=18.48 TREES)	19	"A"
ONE & HALF (1.5) ORNAMENTAL TREE PER 100' (308' / 100'±=3.08 X 1.5=4.62 TREES)	5	5
TEN (10) SHRUB PER 100' (308' / 100'±=3.08 X 10=SHRUBS= 30.8 SHRUBS)	31	34
"A" WHERE A MASONRY WALL IS PROPOSED, NO EVERGREEN TREES ARE REQUIRED. INSTEAD, ADDITIONAL DECIDUOUS TREES AND SHRUBS SHALL BE PROVIDED AT THE RATE OF 0.9 DECIDUOUS TREES AND 2 SHRUBS FOR EACH EVERGREEN TREE THAT WOULD OTHERWISE BE REQUIRED IN THE BUFFER YARD.		
NO. OF CANOPY TREES (0.5 TREE PER EVERGREEN TREE) (14 EVERGREENS LESS 2 EX. EVERGREENS=12 EVERGREENS X 0.5 = 6.5 TREES)	9	9
NO. OF SHRUBS (2 SHRUBS PER EVERGREEN TREE) (14 EVERGREENS- 2 EX. EVERGREENS = 12-EVERGREENS X 2 =24 SHRUBS)	34	34
parking lot landscape	REQUIRED	PROVIDED
TOTAL AREA OF VEHICULAR USE (PARKING AND CIRCULATION) INTERIOR LANDSCAPE AREA (5% VEHICULAR USE AREA= 26,471 SQ.FT. X .05 = 1,307 SQ.FT)	26,448± SQ.FT.	1,307 SQ.FT. 1,350+ SQ.FT.
ONE (1) TREE PER 150 SQ.FT. (INTERIOR LANDSCAPE AREA) (1,307 / 150 SQ.FT. PER TREE= 8.71 TREES)	9	1-EXISTING + 8-NEW

interior landscape	REQUIRED	PROVIDED
TOTAL LINFT. PARKING & MANEUVERING LANE WITHIN 100' OF R.O.W.	224'±	
ONE (1) CANOPY TREE PER 25' (224' / 25' PER TREE = 8.96 TREES)	9	4 ("A")
ONE (1) ORNAMENTAL TREE PER 35' (224' / 35' PER TREE = 6.4 TREES)	7	1 ("A")
ONE (1) SHRUBS PER 2.5' (224' / 2.5' PER SHRUB = 89.6 SHRUBS)	90	90
"(A)" WAIVER REQUESTED DUE TO LIMITED LANDSCAPE AREAS AND PUBLIC UTILITY EASEMENT RESTRICTIONS		
tree replacement	REQUIRED	PROVIDED
TOTAL NO. OF EXISTING 6" DBH TREES SURVEY ON SITE		72
NO. OF TREES LOCATED WITHIN BLDG. ENVELOP		27
NO. OF TREES LOCATED OUTSIDE BLDG. ENVELOP		45
NO. OF EXISTING TREE PRESERVATION REQUIRED (40% OF TREES OUTSIDE BLDG. ENVELOP = 45-TREES X 40 = 18-TREES)		18
NO. OF EXISTING TREES PRESERVATION PROVIDED (SAVED)		18 (40%)
TOTAL EXISTING TREES REMOVED		52
NO. OF REGULATED EXISTING TREES REMOVED		44
NO. OF SPECIMEN TREES REMOVED		5 (2-14" APPLE & 20" WALNUT)
NO. OF REGULATED TREE REPLACEMENT	44	
NO. OF SPECIMEN TREE REPLACEMENT (50% CALIPER INCHES REMOVED = 48" X 50 = 24" / 2" = 12-TREES)	12	12



City of Rochester Hills maintenance notes:

- THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE LANDSCAPING, AS FOLLOWS:
- LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.
  - PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
  - ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE PLANTS IT IS INTENDED TO REPLACE. THE CITY MAY NOTIFY PROPERTY OWNERS OF THE NEED TO REPLACE DEAD, DAMAGED, OR DISEASED MATERIAL.
  - THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL, UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE AFORESAID PROCEDURES. ANY REVISIONS TO OR REMOVAL OF PLANT MATERIALS, OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF THIS SECTION 138-12.09 WILL PLACE THE PARCEL IN NON-COMPLIANCE WITH THE APPROVED LANDSCAPE PLAN AND BE A VIOLATION OF THIS ORDINANCE.
  - IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.

City of Rochester Hills notes:

- PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB ON THE PUBLIC RIGHT-OF-WAY.
- ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC ROAD. (TREES MUST BE PLANTED AT LEAST 15' AWAY FROM CURB OR ROAD EDGE WHERE THE SPEED LIMIT IS MORE THAN 35 MPH.)
- SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5' FROM THE EDGE OF THE PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY.
- NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY LINES AT A DISTANCE ALONG EACH LINE OF 25' FROM THEIR POINT OF INTERSECTION.
- NO TREES OR SHRUBS MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC WALKWAY AT A DISTANCE ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION.
- ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE HYDRANT.
- SHADE AND EVERGREEN TREES MUST BE AT LEAST 15' AWAY FROM THE NEAREST OVERHEAD WIRE. TREES MUST BE PLANTED A MINIMUM OF 5' FROM AN UNDERGROUND UTILITY, UNLESS THE CITY'S LANDSCAPE ARCHITECT REQUIRES A GREATER DISTANCE, PRIOR TO THE RELEASE OF THE PERFORMANCE BOND.
- THE CITY OF ROCHESTER HILLS FORESTRY UNIT NEEDS TO INSPECT ALL TREES, EXISTING OR PLANTED, TO IDENTIFY ANY THAT POSE A HAZARD TO THE SAFE USE OF THE PUBLIC RIGHT-OF-WAY. FORESTRY MAY REQUIRE THE DEVELOPER TO REMOVE, AND POSSIBLY REPLACE, ANY SUCH TREES. THE ABOVE REQUIREMENTS ARE INCORPORATED INTO THE PLAN.
- IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.

**FP A**  
**FELINO A. PASCUAL**  
 and ASSOCIATES  
 Community Land Planner and registered Landscape Architect  
 24333 Orchard Lake Rd., Suite G Farmington Hills, Michigan 48336  
 phone: (248) 557-5588  
 seal:

project sponsor:  
**CDK DEVELOPMENT**  
 10570 Savannah Ct  
 Huntley, Illinois  
 Contact: Steve Osborne  
 Phone: 224-249-9447  
 project:

**1575 E Hamlin Road**  
 project location:  
 City of Rochester Hills, Michigan  
 1575 E. Hamlin Road

sheet title:  
**LANDSCAPE PLAN**

job no. / issue / revision date:  
 LS23.028.02 REVIEW 2-9-2023  
 LS23.028.02 SPA 2-9-2023  
 LS23.028.05 SPA 5-23-2023  
 LS23.028.06 SPA 6-29-2023  
 LS23.028.08 SPA 8-16-2023  
 LS23.028.09 SPA 9-18-2023

drawn by:  
**JP**  
 checked by:  
**FP**  
 date:  
**2-1-2023**

notice:  
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Do Not scale drawings. Use figured dimensions only.  
 The location and elevations of existing underground utilities as shown on this drawing are only approximate. No guarantee is either expressed or implied as to the completeness of accuracy. Contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction.

project no:  
**LS23.028.02**

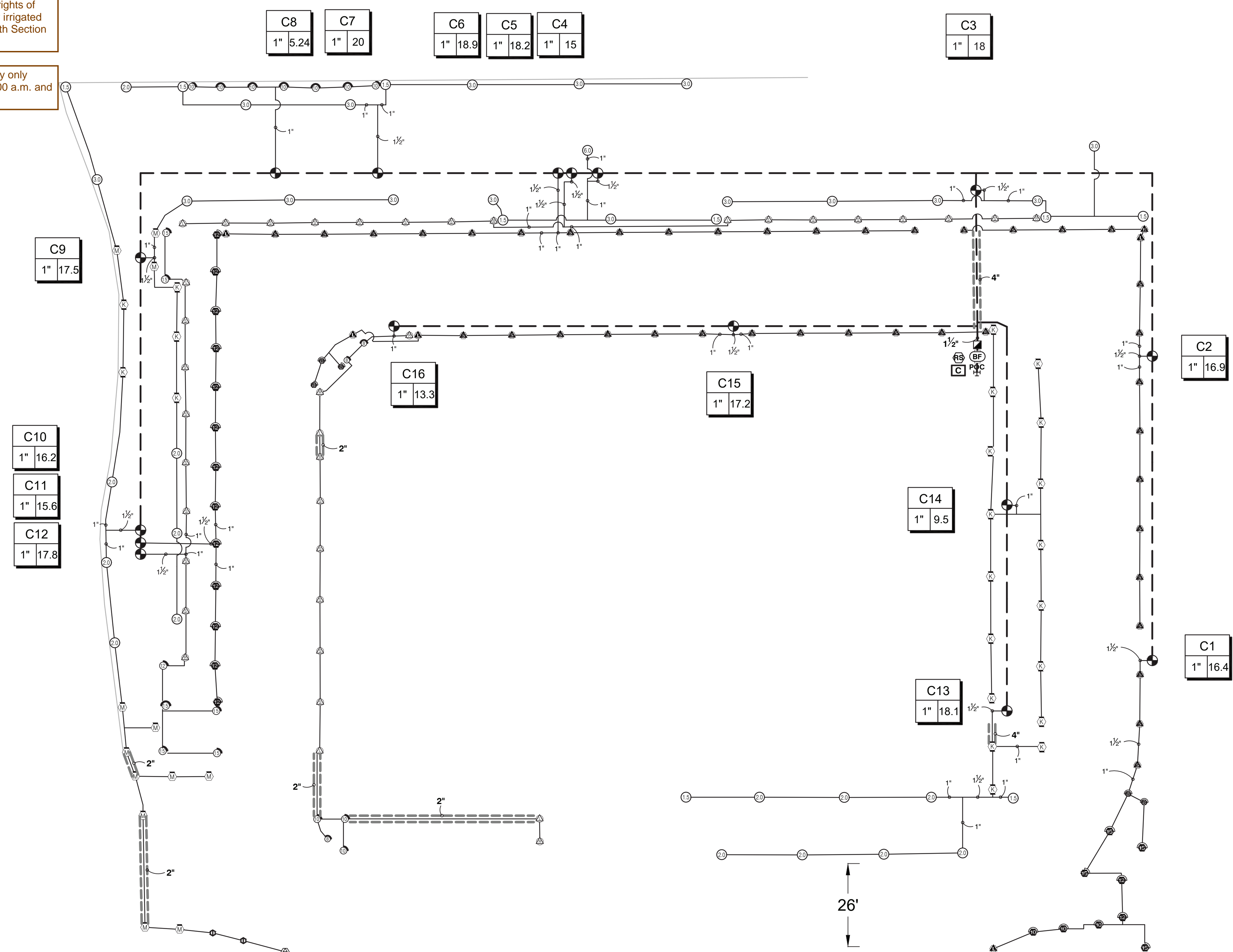
sheet no:  
**LS-1** of 2





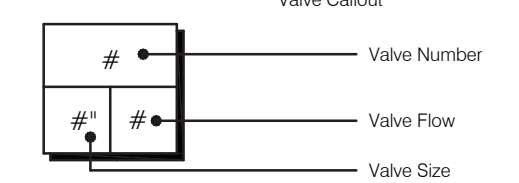
All landscape and grass areas, including rights of way shall be fully irrigated and compliant with Section 138-12.105.

Site irrigation may only occur during 12:00 a.m. and 5:00 a.m.



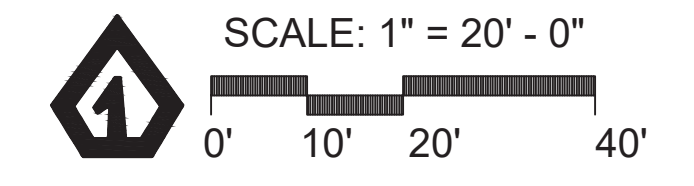
**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL	QTY
ES LCS RCS CS SS	Hunter PROS-04 5' strip spray	47
Q T H F	Hunter PROS-04 8' radius	5
Q T H F	Hunter PROS-04 10' radius	3
Q T H TT TO F	Hunter PROS-04 12' radius	15
Q T H TT TO F	Hunter PROS-04 15' radius	4
ES LCS RCS CS SS	Hunter PROS-12 5' strip spray	37
Q T H F	Hunter PROS-12 8' radius	3
Q T H F	Hunter PROS-12 10' radius	10
Q T H TT TO F	Hunter PROS-12 12' radius	1
Q T H TT TO F	Hunter PROS-12 15' radius	6
LST RST SST	Hunter MP Strip PROS-04-PRS40-CV	1
M L	Hunter MP1000 PROS-04-PRS40-CV	12
M L	Hunter MP2000 PROS-04-PRS40-CV	22
ADJ 360	Hunter MP800SR PROS-04-PRS40-CV	2
SYMBOL	MANUFACTURER/MODEL	QTY
1.5	Hunter PGP-04 1.5	9
2.0	Hunter PGP-04 2.0	14
3.0	Hunter PGP-04 3.0	16
6.0	Hunter PGP-04 6.0	1
SYMBOL	MANUFACTURER/MODEL	QTY
PGV-101G 1"	Hunter PGV-101G 1"	16
HQ-44RC 1"	Hunter HQ-44RC 1"	1
BF	Febco 765 1"	1
C	Hunter I2C-1600-PL	1
WR-CLIK	Hunter WR-CLIK	1
POC 1"	POC 1"	1
---	Irrigation Lateral Line: Polyethylene Pipe 100 PSI 1"	3,259 l.f.
---	Irrigation Lateral Line: Polyethylene Pipe 100 PSI 1 1/2"	209.7 l.f.
---	Irrigation Mainline: PVC Class 160 SDR 26 1 1/2"	961.8 l.f.
---	Pipe Sleeve: PVC Class 160 SDR 26 2"	123.8 l.f.
---	Pipe Sleeve: PVC Class 160 SDR 26 4"	36.2 l.f.



**IRRIGATION SPECIFICATIONS**

- IRRIGATION SYSTEM DESIGN BASED ON 20 GPM AT 57 PSI.
- IRRIGATION DESIGN IS FROM THE POINT OF CONNECTION(POC) ONLY. THE DESIGN IS BASED ON GALLONS PER MINUTE(GPM) AND POUNDS PER SQUARE INCH(PHI) FURNISHED BY OTHERS.
- IRRIGATION CONTRACTOR IS TO VERIFY POINT OF CONNECTION IN THE FIELD. INSTALLER IS TO CONFIRM THE MINIMUM DISCHARGE REQUIREMENTS OF THE POINT OF CONNECTION AS INDICATED ON THE LEGEND PRIOR TO INSTALLATION.
- THE PRESSURE REQUIREMENT AT THE POINT OF CONNECTION IS BASED ON NO MORE THAN 5 FEET OF ELEVATION CHANGE IN THE AREAS OF IRRIGATION.
- ALL PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ACCORDING TO LOCAL BUILDING, ELECTRICAL, AND PLUMBING CODES.
- IRRIGATION CONTRACTOR WILL ARRANGE INSPECTIONS REQUIRED BY LOCAL AGENCIES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION AS REQUIRED. ALL WIRING TO BE PER LOCAL CODE. BACKFLOW PREVENTION TO BE PER LOCAL CODE.
- LOCATION OF IRRIGATION COMPONENTS SHOWN ON DRAWING IS APPROXIMATE. ACTUAL PLACEMENT MAY VARY SLIGHTLY AS REQUIRED TO ACHIEVE FULL, EVEN COVERAGE.
- ALL SPRINKLER HEADS SHALL BE INSTALLED PERPENDICULAR TO FINISH GRADES. EXCEPT AS OTHERWISE INDICATED.
- INSTALL IRRIGATION MAINS WITH A MINIMUM 18" OF COVER BASED ON FINISH GRADES. INSTALL IRRIGATION LATERALS WITH MINIMUM 12" OF COVER BASED ON FINISH GRADES.
- PIPE LOCATIONS ARE DIAGRAMMATIC. VALVES AND MAINLINE SHOWN IN PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY.
- THE IRRIGATION CONTRACTOR SHALL COMPLY WITH PIPE SIZES AS INDICATED.
- ALL WIRE SPLICES OR CONNECTIONS SHALL BE MADE WITH APPROVED WATERPROOF WIRE CONNECTIONS AND BE IN A VALVE OR SPLICE BOX.
- ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 14 AWG, UL APPROVED DIRECT BURY.
- THE DESIGN IS BASED ON THE SITE INFORMATION AND/OR DRAWING SUPPLIED WITH THE DESIGN CRITERIA BEING SET (AREA TO BE IRRIGATED, EQUIPMENT MANUFACTURER AND MODEL TO BE USED, WATER SOURCE INFORMATION, ELECTRICAL POWER AVAILABILITY, ETC...). SITEONE LANDSCAPE SUPPLY BEARS NO RESPONSIBILITY OR LIABILITY FOR ANY ERRORS IN DESIGN OR INSTALLATION THAT ARISE DUE TO INACCURACIES IN THE ABOVE REFERENCED INFORMATION SUPPLIED TO SITEONE LANDSCAPE SUPPLY LANDSCAPES IN RELATION TO THIS PROJECT, UNLESS OTHERWISE NOTED.



1-800-347-4272  
http://www.projectservices.siteone.com

650 Stephenson Highway  
Troy, Michigan 48063  
Phone 248.588.2100  
Fax 248.588.3528  
www.Siteone.com  
800.347.4272

Project Name:  
**1575 E HAMLIN ROAD**  
ROCHESTER HILLS, MI, 48307

Customer Name:

Design Date: 08/14/23

Drawn By: DB

Checked By: C.BEST

**REVISIONS**

Description	Date
▲	08/24/23
▲	
▲	
▲	
▲	

Drawing Title:  
IRRIGATION DESIGN

Drawing Scale: 1" = 20'

Project Services Number: 333287

Sheet Number:

IR-1

# SITE PLAN.pdf Markup Summary

---

## Building Department (2)

---



**Subject:** Building Department  
**Author:** Bluebeam  
**Date:** 10/5/2023 11:53:58 AM  
**Status:**

Jason Rhoades 248-841-2435  
RhoadesJ@RochesterHills.org



**Subject:** Building Department  
**Author:** Bluebeam  
**Date:** 10/5/2023 11:54:16 AM  
**Status:**

Yes

---

## Engineering Department (1)

---

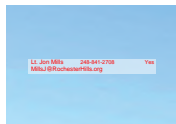


**Subject:** Engineering Department  
**Author:** Jason Boughton  
**Date:** 9/20/2023 3:38:04 PM  
**Status:**

---

## Fire Department (1)

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**Subject:** Fire Department  
**Author:** Jon Mills  
**Date:** 9/21/2023 9:00:56 AM  
**Status:**

---

## Group (21)

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**Subject:** Group  
**Author:** macdonaldj  
**Date:** 9/20/2023 9:50:31 AM  
**Status:**

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:04:03 PM  
**Status:**

Received  
9/20/2023

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:04:11 PM  
**Status:**

Received  
9/20/2023

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:04:18 PM  
**Status:**

Received  
9/20/2023

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:04:28 PM  
**Status:**

Received  
9/20/2023

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:04:34 PM  
**Status:**

Received  
 9/20/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:04:44 PM  
**Status:**

Received  
 9/20/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:12:18 PM  
**Status:**

Received  
 9/20/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:12:22 PM  
**Status:**

Received  
 9/20/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:12:26 PM  
**Status:**

Received  
 9/20/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:12:31 PM  
**Status:**

Received  
 9/20/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:12:36 PM  
**Status:**

Received  
 9/20/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:12:41 PM  
**Status:**

Received  
 9/20/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:12:46 PM  
**Status:**

Received  
 9/20/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:12:56 PM  
**Status:**

Received  
 9/20/2023

City of Rochester Hills Planning & Economic  
 Development

CI  
SE



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:13:01 PM  
**Status:**

Received  
9/20/2023

City of Rochester Hills Planning & Economic  
Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:17:31 PM  
**Status:**

SP



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:17:35 PM  
**Status:**



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:17:39 PM  
**Status:**

LIP



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:17:45 PM  
**Status:**



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:18:15 PM  
**Status:**

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Jenny McGuckin - YES (1)

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**Subject:** Jenny McGuckin - YES  
**Author:** Jenny McGuckin  
**Date:** 9/29/2023 8:13:10 AM  
**Status:**

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Natural Resources (1)

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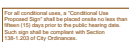


**Subject:** Natural Resources  
**Author:** Matt Einheuser  
**Date:** 9/27/2023 1:47:47 PM  
**Status:**

---

Planning Department (10)

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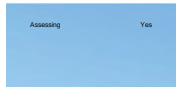
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:18:42 PM  
**Status:**

For all conditional uses, a "Conditional Use  
Proposed Sign" shall be placed onsite no less than  
fifteen (15) days prior to the public hearing date.  
Such sign shall be compliant with Section  
138-1.203 of City Ordinances.



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 10/2/2023 2:22:52 PM  
**Status:**

Planning Commission Determination.



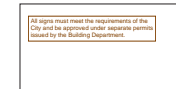
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 10/3/2023 12:25:26 PM  
**Status:**

Assessing

Yes

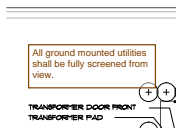


**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 10/3/2023 12:27:13 PM  
**Status:**



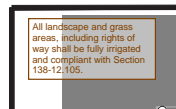
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 10/4/2023 8:44:49 AM  
**Status:**

All signs must meet the requirements of the City and be approved under separate permits issued by the Building Department.



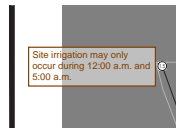
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 10/4/2023 8:41:10 AM  
**Status:**

All ground mounted utilities shall be fully screened from view.



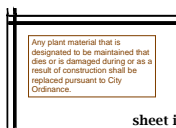
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 10/4/2023 8:41:58 AM  
**Status:**

All landscape and grass areas, including rights of way shall be fully irrigated and compliant with Section 138-12.105.



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 10/4/2023 8:42:21 AM  
**Status:**

Site irrigation may only occur during 12:00 a.m. and 5:00 a.m.



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 10/4/2023 8:43:52 AM  
**Status:**

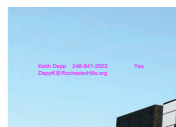
Any plant material that is designated to be maintained that dies or is damaged during or as a result of construction shall be replaced pursuant to City Ordinance.



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 10/4/2023 8:44:53 AM  
**Status:**

Signs are a part of a separate review and permit process.

Traffic (1)



**Subject:** Traffic  
**Author:** Keith  
**Date:** 9/29/2023 10:35:41 AM  
**Status:**