



**MEIJER RHH**  
**1495 N. ROCHESTER RD.**  
**ROCHESTER HILLS, MICHIGAN 48307**  
 (APPROX. 3.92 ACRES) LOCATED IN THE CITY OF ROCHESTER HILLS, COUNTY OF OAKLAND, AND STATE OF MICHIGAN

LAND SITUATED IN THE CITY OF ROCHESTER HILLS, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

PART OF LOT 1 OF NORTH HILL SUBDIVISION, AS RECORDED IN LIBER 76 OF PLATS, PAGE 36, OAKLAND COUNTY RECORDS, AND PART OF THE NORTHEAST 1/4 OF SECTION 10, TOWN 3 NORTH, RANGE 11 EAST, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1, THENCE ALONG THE NORTHERLY LOT LINE AND THE SOUTHERLY LINE OF TIENKEN ROAD, 120 FEET WIDE, SOUTH 89 DEGREES 10 MINUTES EAST 475.00 FEET, THENCE SOUTH 10 DEGREES 00 MINUTES WEST 135.00 FEET, THENCE SOUTH 89 DEGREES 10 MINUTES EAST 125.00 FEET, THENCE ALONG THE EASTERLY LINE OF SAID LOT 1, ALSO BEING THE WESTERLY LINE OF ROCHESTER ROAD, 120 FEET WIDE, SOUTH 01 DEGREES 00 MINUTES WEST 630.40 FEET, THENCE ALONG THE SOUTHERLY LINE OF SAID LOT 1 AND ITS EXTENSION EASTERLY NORTH 89 DEGREES 10 MINUTES WEST 600.00 FEET, THENCE ALONG THE WESTERLY LINE OF SAID LOT 1, NORTH 01 DEGREES 00 MINUTES EAST 765.40 FEET TO THE POINT OF BEGINNING.

THE PARCEL DESCRIBED AND SHOWN HEREON IS THE SAME PARCEL AS DESCRIBED IN FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NUMBER GLT2300551, DATED SEPTEMBER 13, 2023.

Include a parcel ID with description.

**ROCHESTER HILLS MICHIGAN**  
**J2024-0177**  
**PSP2024-0026**  
 Original Submission  
 Received 8/2/2024  
**City of Rochester Hills Planning & Economic Development**

**Site Plan Review**  
 Reviewed for compliance with City Ordinance, Building and Fire Codes  
 Conditions and mark-ups noted throughout plan set must be addressed prior to final approval

Department	Reviewer	Approved
Assessing	Assessing	Yes
Building	Jason Rhoades 248-841-2435 RhoadesJa@RochesterHills.org	Yes
Engineering - Utilities	Jason Boughton 248-841-2490 BoughtonJ@RochesterHills.org	Yes
Engineering Legal	Seth Bucholz 248-841-2491 bucholz@rochesterhills.org	YES Date: 08/22/2024
Fire	Lt. Jon Mills 248-841-2708 MillsJ@RochesterHills.org	Yes
Natural Resources	Matt Einhauser 248-841-2551 EinhauserM@RochesterHills.org	Yes
Planning	Chris McLeod 248-841-2572 mcleodc@RochesterHills.org	Yes
Traffic	Keith Depp 248-841-2503 DeppK@RochesterHills.org	Yes

**GROCERY FORMAT**

SP

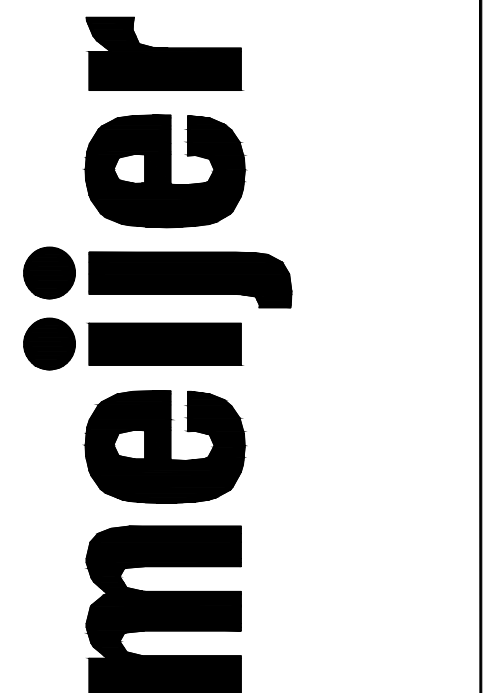
BP

SPCM

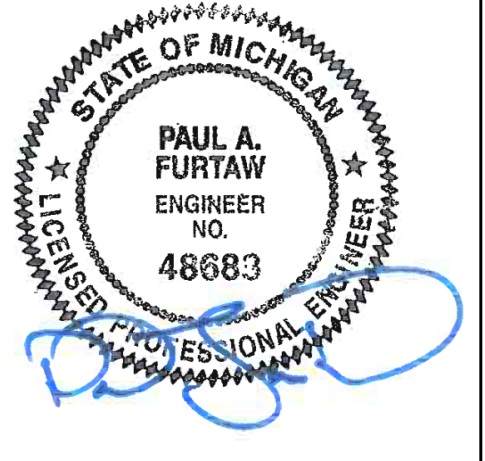
**USE DESCRIPTION: CONDITIONAL USE**  
**AND SITE PLAN REVIEW**  
**DATE: 08/02/2024**  
**PROJECT NUMBER: TBD**

Subject to height of building being modified as noted on plans

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 Engineering & Design  
 www.colliersengineering.com  
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REV	DATE	DESCRIPTION
-	08/02/24	SITE PLAN REVIEW



CIVIL		
DATE	Sheet Number	Sheet Title
08/02/2024	C-001	COVER SHEET
08/02/2024	SHEET 1 OF 2	ALTA - NSPS LAND TITLE SURVEY
08/02/2024	SHEET 2 OF 2	ALTA - NSPS LAND TITLE SURVEY
08/02/2024	C-200	OVERALL SITE PLAN
08/02/2024	C-201	SITE PLAN
08/02/2024	C-300	GRADING PLAN
08/02/2024	C-301	GRADING PLAN ENLARGEMENTS
08/02/2024	C-400	FIRE PROTECTION PLAN
08/02/2024	C-500	TRAFFIC CONTROL SIGNAGE STRIPING PLAN
08/02/2024	C-501	EXTERIOR SIGNAGE DETAILS
08/02/2024	C-600	LANDSCAPE PLAN
08/02/2024	C-601	LANDSCAPE PLAN
08/02/2024	C-700	DETAILS
08/02/2024	C-701	DETAILS
08/02/2024	C-702	DETAILS
08/02/2024	C-703	CONCRETE PAVING DETAILS
08/02/2024	C-800	PHOTOMETRIC PLAN

ARCHITECTURAL PLANS		
DATE	Sheet Number	Sheet Title
08/02/2024	G-102	CODE INFORMATION
08/02/2024	A-001	OVERALL FLOOR PLAN
08/02/2024	A-201	ELEVATION AND 3D VIEWS

**GENERAL NOTES**

- CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. STREETS AND ROADWAYS SHALL BE THOROUGHLY CLEANED AND/OR SWEEP ON A DAILY BASIS OR MORE FREQUENTLY AS REQUIRED BY THE GOVERNING AUTHORITY. RESTORE DAMAGED IMPROVEMENTS TO ORIGINAL CONDITION AS ACCEPTABLE TO PARTIES HAVING JURISDICTION.
- PRIOR TO SITE CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL INSTALL ALL SWPP MEASURES TO PROTECT EXISTING DRAINAGE FACILITIES. CONTRACTOR SHALL PREVENT SILTATION FROM LEAVING THE SITE AT ALL TIMES.
- ALL STREET SURFACES, DRIVEWAYS, CURBS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH SPECIFICATIONS.
- UNLESS SPECIFIED OTHERWISE, ALL MATERIAL AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH MEIJER STANDARD SPECIFICATIONS, THE STATE DEPARTMENT OF ENVIRONMENTAL QUALITY STANDARDS, DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND/OR THE APPROPRIATE LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES, AND LICENSE FEES, UNLESS NOTED OTHERWISE.
- RELOCATION OF ANY UTILITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROPRIATE UTILITY COMPANY AND/OR REGULATORY AGENCY. OBTAIN WRITTEN APPROVAL FROM THE ENGINEER BEFORE ANY UTILITY RELOCATION.
- ELECTRONIC FILES IN DWG FORMAT ARE AVAILABLE TO THE CONSTRUCTION MANAGER FOR LAYOUT AND GRADING.
- ELECTRONIC FILE USE TERMS AND CONDITIONS:
  - RECIPIENT ACKNOWLEDGES THAT ANY USE OF THE TRANSFERRED DATA IS FOR INFORMATION ONLY AND NOT GUARANTEED OR WARRANTED BY MEIJER OR ITS CONSULTANTS. USE OF TRANSFERRED DATA BY THE RECIPIENT SHALL BE AT RECIPIENT'S SOLE RISK. RECIPIENT ACKNOWLEDGES THAT THE AUTOMATED CONVERSION OF INFORMATION AND DATA FROM THE ORIGINAL FORMAT AND SYSTEM TO AN ALTERNATE FORMAT OR SYSTEM CAN NOT BE ACCOMPLISHED WITHOUT THE INTRODUCTION OF INACCURACIES, ANOMALIES, AND ERRORS. RECIPIENT FURTHER ACKNOWLEDGES THAT THE ELECTRONIC DATA MAY NOT BE FULLY COMPATIBLE WITH RECIPIENT'S COMPUTER SYSTEM AND NEITHER MEIJER NOR ITS CONSULTANTS MAKE NO REPRESENTATIONS REGARDING SUCH COMPATIBILITY.
  - ACCORDINGLY, WITH RESPECT TO THE CONVERSION AND USE OF SUCH ELECTRONIC DATA, RECIPIENT AGREES TO ASSUME ALL RISKS ASSOCIATED THEREWITH, AND TO THE FULLEST EXTENT PERMITTED BY LAW, TO HOLD HARMLESS AND INDEMNIFY MEIJER AND THEIR CONSULTANTS FROM AND AGAINST ALL CLAIMS, LIABILITIES, LOSSES, DAMAGES, AND COSTS, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES AND COSTS, WHETHER OR NOT SUIT HAS BEEN FILED, ARISING OUT OF, OR IN ANY WAY CONNECTED WITH THE USE, MODIFICATION, MISINTERPRETATION, MISUSE, OR REUSE BY RECIPIENT OR OTHERS OF THE ELECTRONIC DATA WHICH IS PROVIDED BY MEIJER OR ITS CONSULTANTS UNDER THESE TERMS AND CONDITIONS.
  - THESE TERMS AND CONDITIONS SHALL BE BINDING UPON THE SUCCESSORS AND ASSIGNS OF THE PARTIES.

UPON ACCEPTANCE OF THE ELECTRONIC DATA TRANSMISSION, RECIPIENT HEREBY AGREES TO THE FOREGOING TERMS AND CONDITIONS. IF RECIPIENT DOES NOT AGREE TO THE FOREGOING TERMS AND CONDITIONS, MEIJER AND ITS CONSULTANTS DO NOT AUTHORIZE THE USE OF THE TRANSMITTED DATA, AND RECIPIENT SHALL DESTROY THE TRANSMITTED DATA AND NOTIFY MEIJER OR ITS CONSULTANTS OF THE SAME BY PROVIDING WRITTEN NOTICE WITHIN ONE DAY OF TRANSMISSION. FAILURE TO PROVIDE SUCH NOTICE SHALL ACT AS WAIVER AND RECIPIENT SHALL BE BOUND TO THE FOREGOING TERMS AND CONDITIONS.

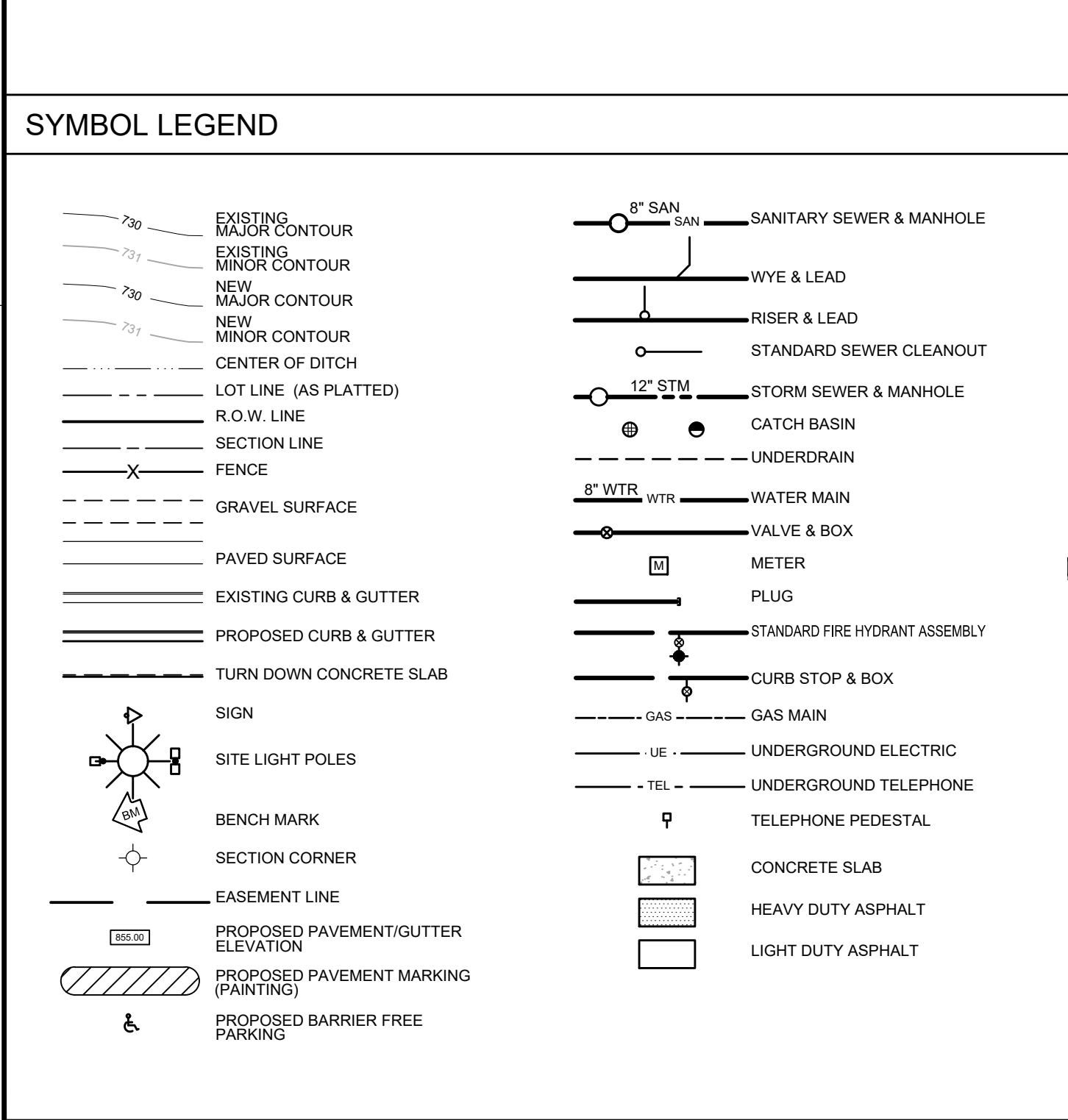
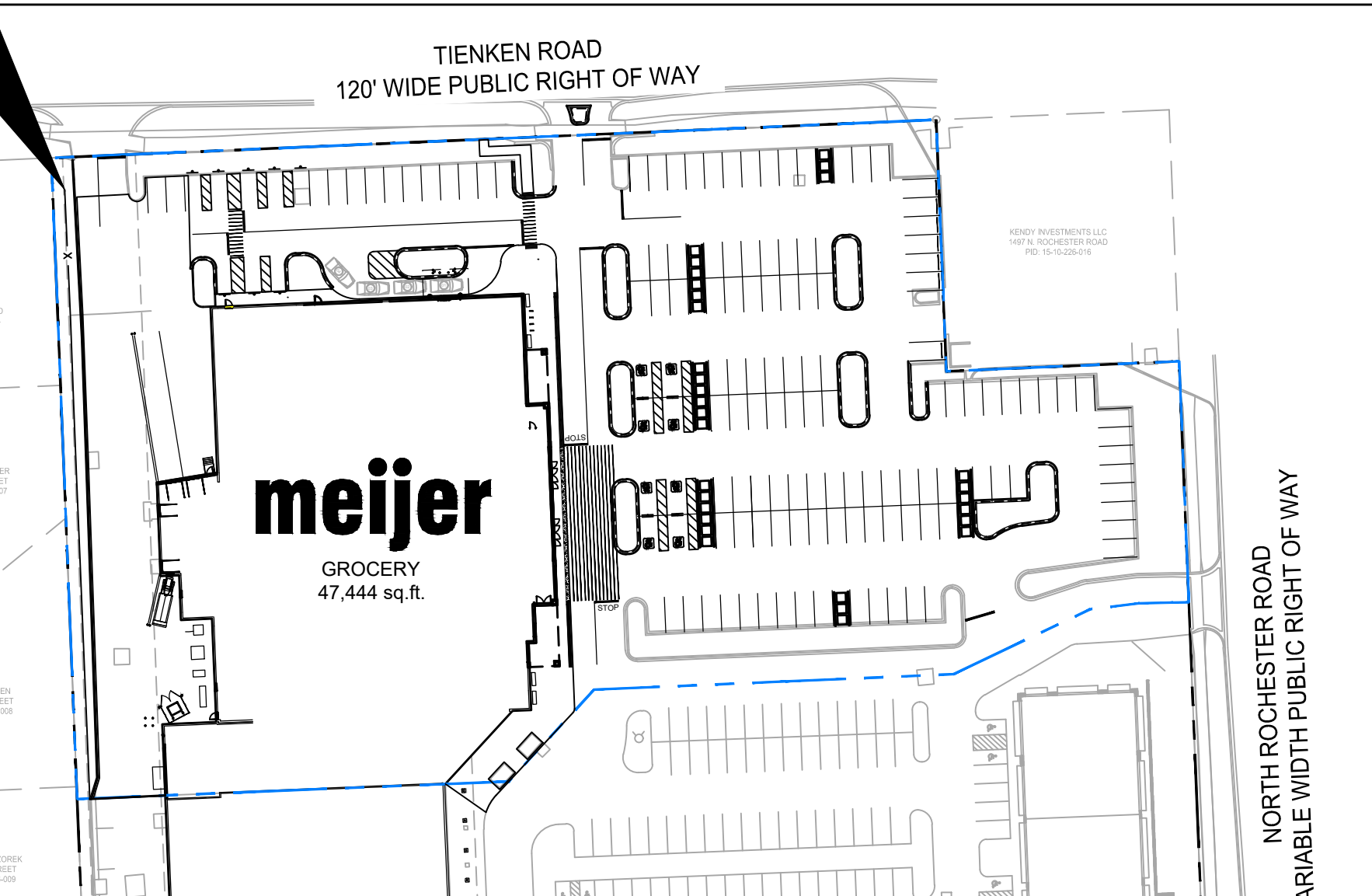
**LOCAL UTILITY LOCATING AGENCY**  
 ALL CONTRACTORS SHALL NOTIFY UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING OF THE INTENT TO EXCAVATE NO LESS THAN 72 HOURS PRIOR TO SUCH EXCAVATION (EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS) AND CALL LOCAL UTILITY LOCATING AGENCY AT 1-800-XXX-XXXX.  
 EXISTING UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ON THESE DRAWINGS ARE APPROXIMATE ONLY AND BASED ON ACTUAL FIELD LOCATIONS OF VISIBLE STRUCTURES AND PLAN COMPUTATIONS.

**SURVEY**  
 EXISTING TOPOGRAPHY IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY GEODETIC DESIGNS INC ON OCTOBER 17, 2023.

**GEOTECHNICAL**  
 REFER TO SOIL BORING LOGS PREPARED BY SME DATED FEBRUARY 26, 2024.

**SHEET KEYNOTE INSTRUCTIONS**  
 SHEET KEYNOTES ARE NOTED WITHIN THE GRAPHIC AREA OF THE DRAWING. THESE ARE REPRESENTED BY A NUMBER SURROUNDED BY A HEXAGON, WITH OR WITHOUT A LEADER. A LEGEND ON THE RIGHT SIDE OF THE PAGE LISTS THE NOTES IN NUMERICAL ORDER.  
 EXAMPLE:

- ALIGN NEW CONSTRUCTION WITH THE FACE OF EXISTING CONSTRUCTION.



**ABBREVIATIONS**

A	AREA	PC	POINT OF CURVATURE
ALT	ALTERNATE	PE	POLYETHYLENE
AMP	AMPERE	PH	PHASE
ARCH	ARCHITECTURAL	PSI	POUNDS PER SQUARE INCH
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	PT	POINT OF TANGENCY
B/C	BACK OF CURB	PVC	POLYVINYL CHLORIDE
BIT	BITUMINOUS PAVEMENT	PVM	PAVEMENT
BM	BENCH MARK	R	RADIUS
BP	BID PACKAGE	RC	REINFORCED CONCRETE PPE
C	CONDUIT	REF	REFERENCE
CAL	CALLER	REQD	REQUIRED
CB	CATCH BASIN	RI	RIGHT-OF-WAY
CPH	CUBIC FEET PER HOUR	RET	RETAINING WALL
CS	CURB ISLAND	S	SOUTH
CI	CIRCUT	SAN	SANITARY SEWER
CONC	CONCRETE	SB	SQUARE FEET
DA	DIAMETER	SF	SOFT
(E)	EAST	SP	SQUARE
EIF.S	EXTERIOR INSULATION FINISHING SYSTEM	STM	STORM SEWER
EL.ELEV	ELEVATION	STRUC	STRUCTURE
EQ	EQUIVALENT	TO	TOP OF CURB
ES	END SECTION	TEL	TELEPHONE
ETC	ETCETERA	TP	TOP OF PAVEMENT
FH	FIRE HYDRANT	TRNF	TRANSFORMER
FF	FISHED FLOOR	TS	TOP OF SLAB
FT	FOOT SQUARE	TW	TOP OF WALL
GD	GROUND	TY	TYPICAL
GPD	GALLONS PER DAY	UC	UTILITY CROSSING
GPM	GALLONS PER MINUTE	UD	UNDER DRAIN
GWBX	GATE VALVE AND BOX	W	WEST
HC	HIGH CAPACITY	W	WITH
HD	HEAVY DUTY	WC	WATER COLUMN
HT	HEIGHT	WTR	WATER
IE	INVERT ELEVATION	WWF	WELDED WIRE FABRIC
KVA	KILOVOLT AMPERE		
LES	LEADS		
LD	LIGHT DUTY		
LED	LIGHT EMITTING DIODE		
LF	LINEAR FEET		
LG	LARGE		
MANUF	MANUFACTURE		
MATL	MATERIAL		
MAX	MAXIMUM		
MECH	MECHANICAL		
MN	MINIMUM		
MH	MANHOLE		
(N)	NORTH		
OC	ON CENTER		
OSHA	OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION		

**AGENCIES**

**ZONING**  
 CITY OF ROCHESTER HILLS PLANNING AND ECONOMIC DEVELOPMENT  
 1000 ROCHESTER HILLS DR.  
 ROCHESTER HILLS, MI 48309  
 (248) 841-2417  
 TAYLORL@ROCHESTERHILLS.ORG

**ROADS**  
 CITY OF ROCHESTER HILLS DEPARTMENT OF PUBLIC SERVICES  
 1000 ROCHESTER HILLS DR.  
 ROCHESTER HILLS, MI 48309  
 KEITH DEPP  
 (248) 841-2503  
 DEPPK@ROCHESTERHILLS.ORG

**ROAD COMMISSION FOR OAKLAND COUNTY**  
 3100 LAHSER RD.  
 BEVERLY HILLS, MI 48025  
 (877) 858-4804  
 DCSMAIL@RCOC.ORG

**ASSESSING**  
 LAURIE TAYLOR  
 1000 ROCHESTER HILLS DR.  
 ROCHESTER HILLS, MI 48309  
 (248) 841-2417  
 TAYLORL@ROCHESTERHILLS.ORG

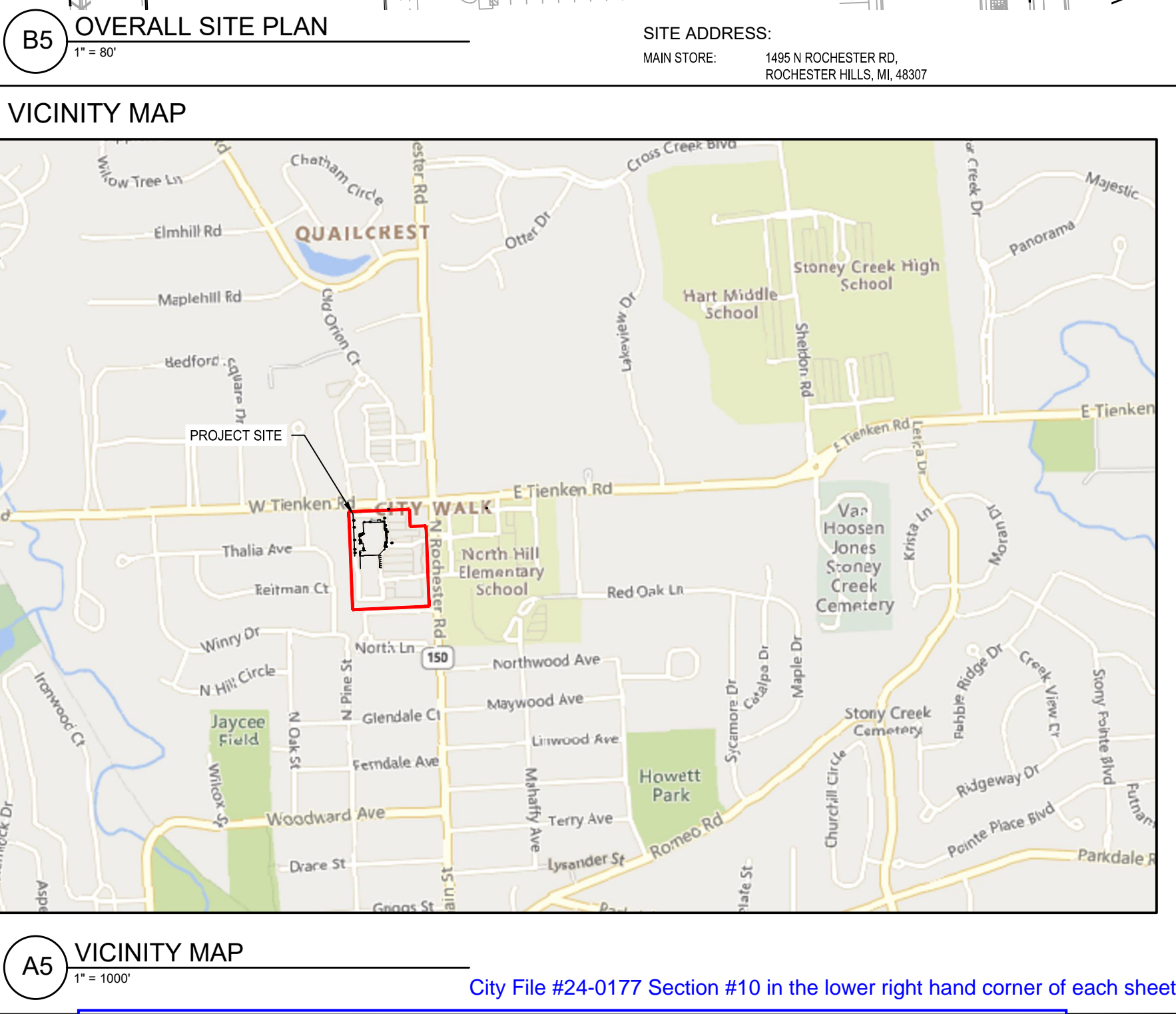
**FIRE**  
 CITY OF ROCHESTER FIRE DEPARTMENT  
 JOHN SNYDER  
 1111 HORIZON CT.  
 ROCHESTER HILLS, MI 48309  
 ANN ECHOLS  
 (248) 841-2701  
 ECHOLSA@ROCHESTERHILLS.ORG

**GAS**  
 CONSUMERS ENERGY  
 JOHN SNYDER  
 (734) 309-5807  
 JOHN.SNYDER@CMSENERGY.COM

**TELECOMMUNICATIONS**  
 EVERSTREAM  
 HALEY SHAW  
 HSHAW@EVERSTREAM.NET

**ELECTRIC**  
 DTE ENERGY  
 JENNIFER POUTTU  
 (313) 235-6421  
 JENNIFER.POUTTU@DTEENERGY.COM

**BUILDING DEPARTMENT**  
 CITY OF ROCHESTER HILLS BUILDING, ORDINANCE & FACILITIES  
 1000 ROCHESTER HILLS DR.  
 ROCHESTER HILLS, MI 48309  
 MARK ARTINIANN  
 (248) 841-2446  
 ARTINIANN@ROCHESTERHILLS.ORG



**MEIJER STORE**  
 1495 NORTH ROCHESTER ROAD  
 CITY OF ROCHESTER HILLS, MICHIGAN

**COVER SHEET**

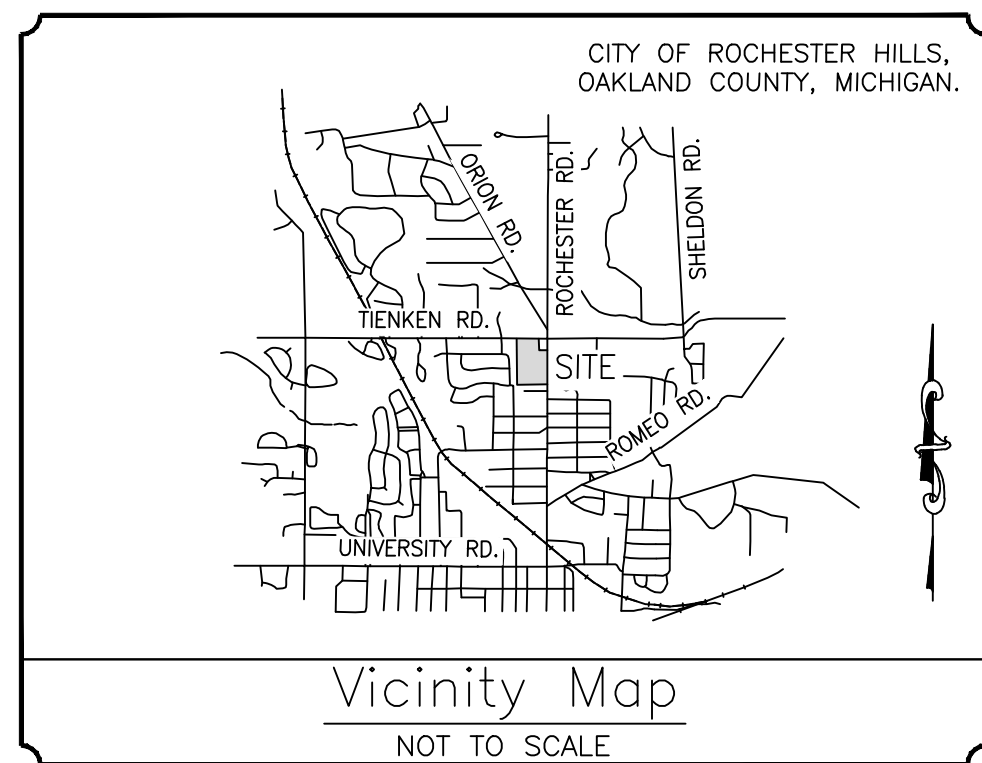
ISSUED FOR:  
 PERMIT  
 BID  
 CONSTRUCTION

PROJECT MANAGER	DESIGNER
P. FURTAW	A. NODARSE

JOB NO.  
 00-00-00000

**C-001**

City File #24-0177 Section #10 in the lower right hand corner of each sheet  
 The applicant will not need to submit for a Land Improvement Permit (LIP) application, unless other departments significantly change the scope of the work with their requirements.



**NOTES CORRESPONDING TO SCHEDULE B**

- 10 Right(s) of Way and/or Easement(s) and rights incidental thereto as delineated or as offered for dedication, on the map of said tract/plot. This item crosses or touches this parcel and is shown hereon.
  - 11 Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, marital status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document Recording No: Liber 1676, Page 173. This item crosses or touches this parcel and is shown hereon.
  - 12 Covenants, conditions, restrictions and easements but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, marital status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law, as set forth in the document Recording No: Liber 3360, Page 159. This item crosses or touches this parcel and is not shown hereon. This parcel is excluded from all restrictions per language contained therein.
  - 13 Right(s) of Way and/or Easement(s) and rights incidental thereto, as granted in a document: Granted to: Consumers Power Company (now known as Consumers Energy) Recording No: Liber 3691, Page 501. This item crosses or touches this parcel and is shown hereon.
  - 14 Easements, terms, covenants, and conditions of Warranty Deed(s) as set forth below: Recording No: Liber 5031, Page 551 Recording No: Liber 8042, Page 211. This item crosses or touches this parcel and is shown hereon.
  - 16 Terms, covenants, and conditions of Sanitary Sewer Service Agreement between the City of Rochester, the City of Rochester Hills and North Hill Center Company as set forth below: Recording No: Liber 11117, Page 896. This item includes this parcel, but is blanketed in nature and is not shown hereon.
  - 17 Terms, covenants, and conditions of Area Maintenance Meter Agreement as set forth below: Recording No: Liber 11497, Page 205. This item includes this parcel, but is blanketed in nature and is not shown hereon.
  - 18 Terms, covenants, and conditions of Watermain Easement as set forth below: Recording No: Liber 14537, Page 717. This item crosses or touches this parcel and is shown hereon.
  - 19 Terms, covenants, and conditions of Agreement for Maintenance of Storm Water Retention System as set forth below: Recording No: Liber 18028, Page 591. This item is illegible and is not shown hereon.
  - 20 Terms, covenants, and conditions of Non-Exclusive Watermain Easement Agreement as set forth below: Recording No: Liber 34177, Page 854. This item crosses or touches this parcel and is shown hereon. The easement description within this document contains an error. The location of the easement is shown hereon per the easement exhibit diagram.
  - 21 Right(s) of Way and/or Easement(s) and rights incidental thereto, as granted in a document: Granted to: City of Rochester Hills Recording No: Liber 34986, Page 166. This item crosses or touches this parcel and is shown hereon.
- ITEM 15 AND ITEMS 22-28 ARE LEASE DOCUMENTS WHICH INCLUDE THIS PARCEL, BUT ARE BLANKET IN NATURE AND DO NOT CONTAIN ANY SURVEY RELATED ITEMS.

**UNDERGROUND UTILITY NOTE**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND/OR EXISTING DRAWINGS AS PROVIDED BY THE FACILITY OWNER. THE UNDERGROUND UTILITIES SHOWN MAY NOT COMPRISE ALL SUCH UTILITIES ON OR NEAR THE SURVEYED PARCEL, EITHER IN SERVICE OR ABANDONED. THE LOCATION OF BURIED UTILITIES ARE SHOWN TO INDICATE THAT A UTILITY EXISTS, BUT MAY REQUIRE SUB-SURFACE INVESTIGATION TO DETERMINE THE EXACT LOCATION.

**LEGEND**

- Power Pole
- Power Pole w/Light
- Light Pole
- Telephone Pole
- Guy Wire
- Transformer
- Electric Manhole
- Telephone Manhole
- Telephone Pedestal
- Electric Meter
- Cable Box
- Air Conditioner Unit
- Easement Identifier
- Distance not to scale
- Flag Pole
- Sign (As Noted)
- Well Head
- Satellite Dish
- Tower
- Water Valve
- Fire Hydrant
- Water Manhole
- Water Meter Pit
- Water Meter
- Indicates Handicapped Parking
- Parking Count
- Storm Manhole
- Storm Catchbasin
- Deciduous Tree
- Coniferous Tree
- Sanitary Manhole
- Sanitary Clean Out
- Gas Valve
- Gas Manhole
- Gas Meter
- Gas Marker
- Section Corner
- Set 5/8" Bar & Cap
- Found Corner Monument
- Monitoring Well

**ABBREVIATIONS**

- R = RECORDED
- M = MEASURED
- C = CALCULATED
- N = NORTH
- E = EAST
- S = SOUTH
- W = WEST
- T-N = TOWN - NORTH
- R-E = RANGE - EAST
- SQ. FT. = SQUARE FEET
- NE = NORTHEAST
- SE = SOUTHEAST
- SW = SOUTHWEST
- NW = NORTHWEST
- AVE. = AVENUE
- BLVD. = BOULEVARD
- CT. = COURT
- RD. = ROAD
- ST. = STREET
- SW = SOUTHWEST
- PID = PARCEL AND OWNER IDENTIFICATION



**DESCRIPTION**

Land situated in the City of Rochester Hills, County of Oakland, State of Michigan, described as follows:  
 Part of Lot 1 of North Hill Subdivision, as recorded in Liber 78 of Plats, Page 36, Oakland County Records, and part of the Northeast 1/4 of Section 10, Town 3 North, Range 11 East, City of Rochester Hills, Oakland County, Michigan, more particularly described as: Beginning at the Northwest corner of said Lot 1, thence along the Northerly lot line and the Southerly line of Tenkin Road, 120 feet wide, South 89 degrees 10 minutes East 475.00 feet, thence South 01 degrees 00 minutes West 135.00 feet, thence South 89 degrees 10 minutes East 125.00 feet; thence along the Easterly line of said Lot 1, also being the Westerly line of Rochester Road, 120 feet wide, South 01 degrees 00 minutes West 830.40 feet; thence along the Southerly line of said Lot 1 and its extension Easterly North 89 degrees 10 minutes West 600.00 feet, thence along the Westerly line of said Lot 1, North 01 degrees 00 minutes East 765.40 feet to the point of beginning.

The parcel described and shown hereon is the same parcel as described in Fidelity National Title Insurance Company commitment number GLT2300551, dated September 13, 2023.

**GENERAL NOTES**

- 1) NO EVIDENCE OF EARTH MOVING OR BUILDING CONSTRUCTION/ADDITIONS WERE OBSERVED WHILE CONDUCTING THE FIELD WORK. (ITEM 16, TABLE A).
- 2) NO EVIDENCE OF PROPOSED STREET RIGHT OF WAY LINE CHANGES WERE PROVIDED BY THE CONTROLLING JURISDICTION. (ITEM 17, TABLE A).
- 3) THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. (ITEM 17, TABLE A).
- 4) THIS PARCEL HAS IMPROVED DIRECT/INDIRECT ACCESS TO TIENKIN ROAD AND NORTH ROCHESTER ROAD.
- 5) THIS SURVEY MAP CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY.
- 6) THERE ARE NO OBSERVED GAPS OR OVERLAPS BETWEEN THE BOUNDARY LINES OF THE PARCEL AS SHOWN ON THIS SURVEY MAP AND AS PROVIDED IN THE DESCRIPTION PRESENTED IN THE TITLE COMMITMENT.
- 7) THE BOUNDARY LINE DIMENSIONS AS SHOWN ON THIS SURVEY MAP FORM A MATHEMATICALLY CLOSED FIGURE WITHIN +/-0.1 FOOT.
- 8) THE BOUNDARY LINES OF THE PARCEL AS PROVIDED IN THE DESCRIPTION PRESENTED IN THE TITLE COMMITMENT ARE CONTIGUOUS WITH THE BOUNDARY LINES OF ALL ADJOINING STREETS, HIGHWAYS, RIGHTS OF WAY AND EASEMENTS, PUBLIC OR PRIVATE, AS DESCRIBED IN THEIR MOST RECENT RESPECTIVE DESCRIPTIONS OF RECORD.
- 9) EXCEPT AS OTHERWISE NOTED BELOW, IF THE OVERALL PARCELS CONSISTS OF TWO OR MORE DESCRIPTIONS, THERE ARE NO GAPS OR GORES BETWEEN SAID DESCRIPTIONS.
- 10) EASEMENTS AND EXCEPTIONS SHOWN HEREON WERE PROVIDED BY THE TITLE INSURANCE COMPANY. NO RESEARCH HAS BEEN CONDUCTED BY GEODETIC DESIGNS INC. TO IDENTIFY ANY ADDITIONAL EASEMENTS OR RECORD ENCUMBRANCES THAT MAY AFFECT THIS PARCEL.
- 11) ALL LINEAR DIMENSIONS SHOWN ARE IN INTERNATIONAL FEET AND DECIMALS THEREOF.
- 12) UTILITY LINES SHOWN WERE BASED ON PLANS PROVIDED UNDER A MISS DIG DEMAC TICKET NO. 2023092901230.

**SIGNIFICANT OBSERVATIONS**

THERE ARE NO OBSERVED SIGNIFICANT OBSERVATIONS TO REPORT ON THIS PARCEL.

**SURVEYOR'S CERTIFICATION**

TO: Meijer, Inc., a Michigan corporation and Fidelity National Title Insurance Company;  
 This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 7a, 7c, 8, 11(a), 16, and 17 of Table A thereof. The fieldwork was completed on October 17, 2023.



*Gilbert M. Barish*  
 GILBERT M. BARISH, P.S. #4001047942

This Survey is solely for the benefit of the parties set forth in the Surveyor's Certification. Geodetic Designs Incorporated disclaims any duty or obligation towards any party that is not identified in the Surveyor's Certification.  
 Geodetic Designs Incorporated will not include the providers of any third party reports in the Surveyor's Certification.  
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**"ALTA/NSPS LAND TITLE SURVEY"**

PREPARED BY:

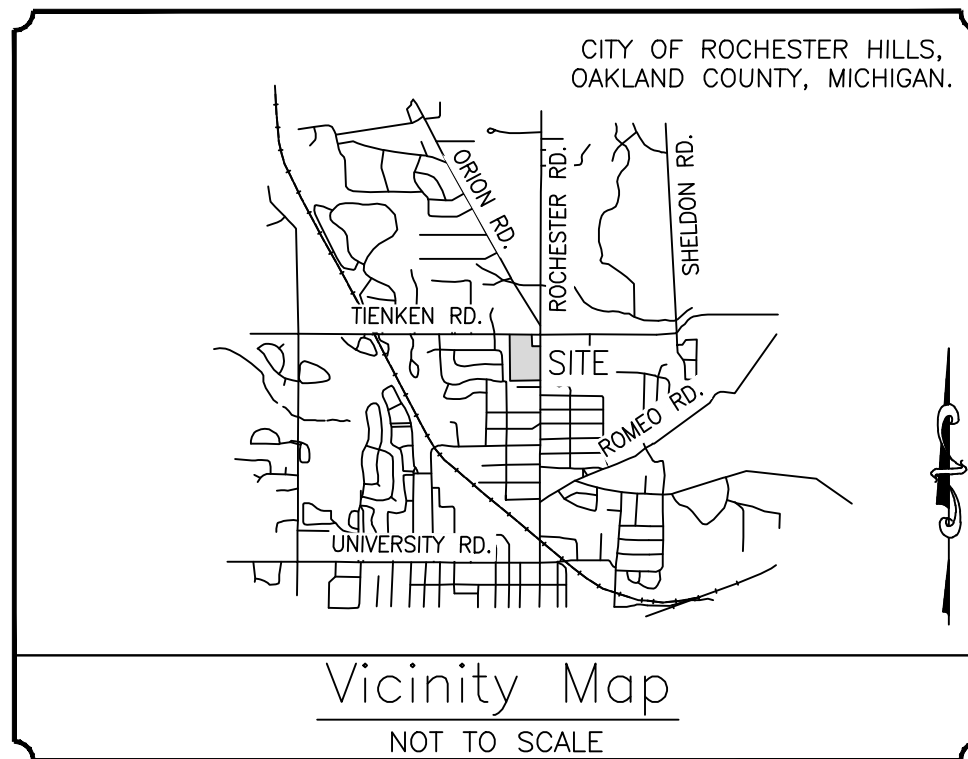
GEODETIC DESIGNS, INC.  
 2300 N. GRAND RIVER AVE.  
 LANSING, MI 48906  
 PHONE: (517) 908-0008  
 FAX: (517) 908-0009  
 WWW.GEODETICDESIGNS.COM

DATE	ADDED LEASED AREA PER OWNER	QMB
20DEC2023		
DATE	REVISION	BY

**Colliers Engineering and Design**

1459 N. Rochester Road  
 Rochester Hills, MI 48307  
 PID: 15-10-226-041

DATE:	SCALE:
17-OCTOBER-2023	1" = 40'
FIELD BY:	JOB NUMBER:
GB JC	S130-2023
DRAWN BY:	CHECKED BY:
JC	GB
SHEET 1 OF 2	



### COORDINATE METADATA

The basis of coordinates for this survey is the Michigan Coordinate System (NAD 83) Michigan South Zone (zone number 2113) as determined locally by GPS observations on 17-October-2023. The nearest CORS reference station is: AJ5557 AUBURN HILLS CORS ARP

The combined scale factor for the project area is: 0.9998795034  
 The Adjustment and Epoch date of the primary control is: NAD 83 (2011) 2010.00  
 The reference ellipsoid is GRS80/Geoid18  
 The coordinates as shown for this project are displayed in the Grid system. To determine the ground distances (local grid) and/or coordinates for this project, multiply the coordinates or displayed grid distances by the inverse of the combined scale factor for the project.

The ground (local grid) scale factor for the project area is: 1.0001205111  
 The Local control point for this project is C.P. #86753 and has the following standard deviation:

Northing - 0.02 ft  
 Easting - 0.02 ft  
 Elevation - 0.03 ft

The vertical datum is NAVD88 as derived from GPS observations referencing (GRS80/Geoid18).

### BENCHMARKS

ELEVATIONS ARE DERIVED FROM GPS OBSERVATIONS REFERENCING GRS80/GEOID18 TO DETERMINE ELEVATIONS IN THE NAVD88 VERTICAL DATUM.

BENCHMARK NO. 500  
 NORTHWEST BOLT ON LIGHT POLE BASE LOCATED 195 FEET WEST OF THE CENTERLINE OF ROCHESTER ROAD AND 455 FEET SOUTH OF THE CENTERLINE OF TIENKEN ROAD  
 ELEVATION: 801.43 (NAVD88 DATUM).

BENCHMARK NO. 3258  
 SOUTHWEST BOLT ON LIGHT POLE BASE LOCATED 230 FEET WEST OF THE CENTERLINE OF ROCHESTER ROAD AND 200 FEET SOUTH OF THE CENTERLINE OF TIENKEN ROAD.  
 ELEVATION: 800.44 (NAVD88 DATUM).

### CONTROL POINTS

CONTROL POINT NO. 302  
 1/2" STEEL BAR WITH PEA TRAVERSE CAP LOCATED IN A CURB ISLAND ON THE SOUTH SIDE OF THE NORTHERLY PARKING LOT.  
 NORTHING: 437813.69, EASTING: 13454374.63  
 ELEVATION: 800.88 (NAVD88 DATUM).

CONTROL POINT NO. 303  
 1/2" STEEL BAR WITH PEA TRAVERSE CAP LOCATED IN A CURB ISLAND LOCATED 248 FEET WEST OF THE CENTERLINE OF ROCHESTER ROAD AND 592 FEET SOUTH OF THE CENTERLINE OF TIENKEN ROAD.  
 NORTHING: 437559.83, EASTING: 13454386.20  
 ELEVATION: 800.41 (NAVD88 DATUM).

CONTROL POINT NO. 86753  
 1/2" STEEL BAR WITH GDI TRAVERSE CAP LOCATED IN A CURB ISLAND LOCATED 140 FEET WEST OF THE CENTERLINE OF ROCHESTER ROAD AND 365 FEET SOUTH OF THE CENTERLINE OF TIENKEN ROAD.  
 NORTHING: 437775.29, EASTING: 13454490.72  
 ELEVATION: 801.01 (NAVD88 DATUM).

### BEARING BASIS

BEARINGS ARE BASED ON THE NORTH LINE OF LOT 1 RECORDED AS BEARING SOUTH 89°10'00" EAST.

### FEMA 100 YEAR FLOODPLAIN NOTE

BY GRAPHIC PLOTTING ONLY, THIS PARCEL IS LOCATED IN ZONE X OF THE FLOOD INSURANCE RATE MAP NUMBER 26125C0384F WHICH BEARS AN EFFECTIVE DATE OF 9/29/2006.

### UTILITY PROVIDERS

Station Code	Authority Name	Phone	Status
ATTD	AT&T TELEPHONE	6168812268	Notification Sent
COMV1CTV	COMCAST CABLE TV	8559628525	Notification Sent
CEGD15	CONSUMERS ENERGY GAS	8007789140	Notification Sent
DE0012	DTE ENERGY (ELECTRIC) ELECTRIC	3134075364	Notification Sent
MCI	MCI/VERIZON BUSINESS FIBER OPTICS	8006249675	Notification Sent
OKRCRTRF	OAKLAND COUNTY ROAD COMMISSION TRAFFIC	2486584870	Notification Sent
ROCHESWTR	ROCHESTER CITY POTABLE WATER	2486515165	Notification Sent
ROCHESANI	ROCHESTER CITY SANITARY SEWER	2486515165	Notification Sent
ROCHESSTRM	ROCHESTER CITY STORM SEWER	2486515165	Notification Sent
ROCHLSWTR	ROCHESTER HILLS CITY POTABLE WATER	2486564685	Notification Sent
ROCHLSANI	ROCHESTER HILLS CITY SANITARY SEWER	2486564685	Notification Sent
ROCHLSSTRM	ROCHESTER HILLS CITY STORM SEWER	2486564685	Notification Sent
WOW1CTV	WIDE OPEN WEST CABLE TV	5864533335	Notification Sent
WOW1FBR	WIDE OPEN WEST FIBER OPTICS	5864533335	Notification Sent

### "ALTA/NSPS LAND TITLE SURVEY"

PREPARED BY:



GEODETIC DESIGNS, INC.  
 2300 N. GRAND RIVER AVE.  
 LANSING, MI 48906  
 PHONE: (517) 908-0008  
 FAX: (517) 908-0009  
 WWW.GEODETICDESIGNS.COM

DATE	ADDED LEASED AREA PER OWNER	QMB
20DEC2023		
	REVISION	BY

Colliers Engineering and Design

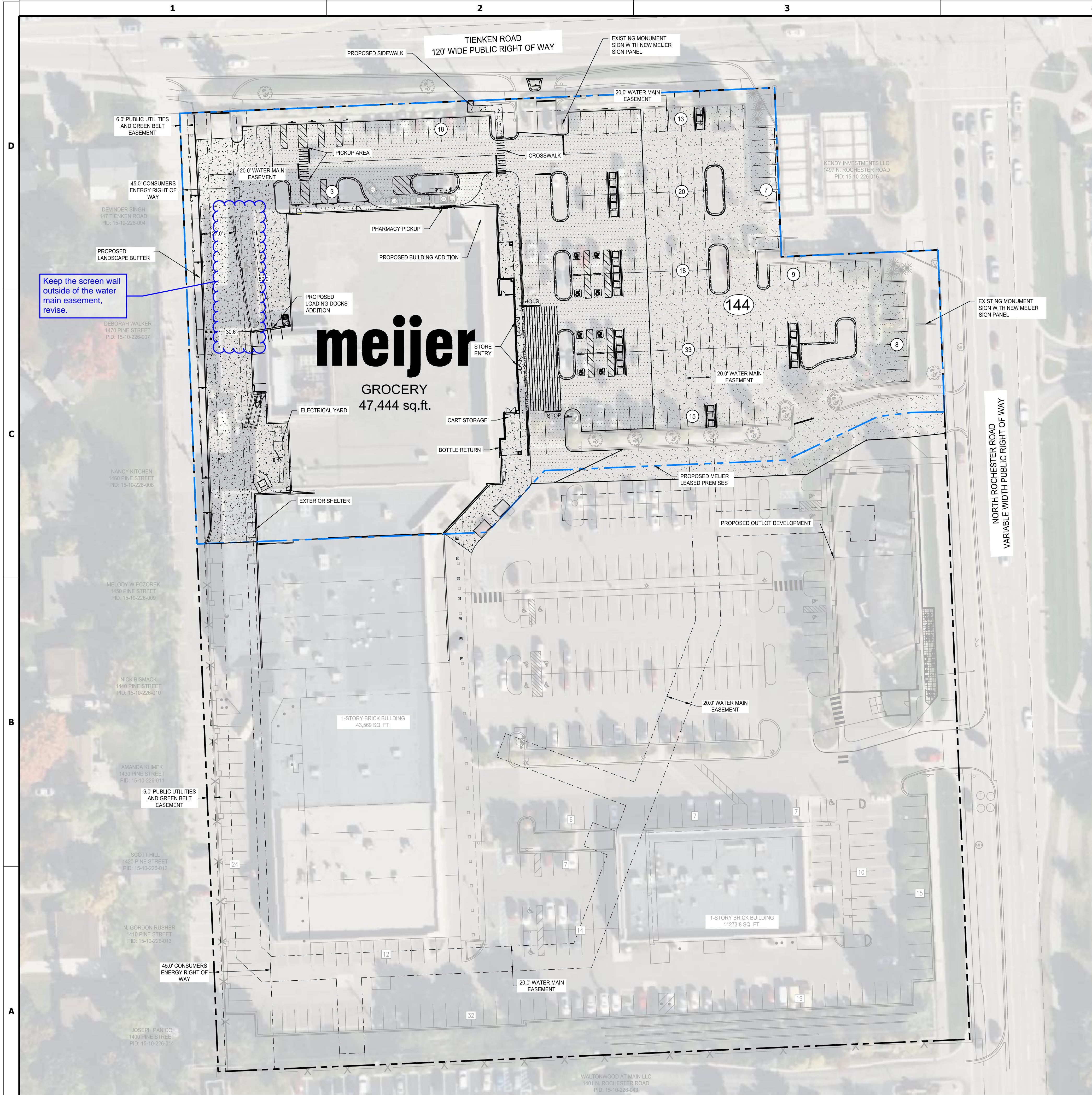
1459 N. Rochester Road  
 Rochester Hills, MI 48307  
 PID: 15-10-226-041

DATE: 17-OCTOBER-2023	SCALE: 1" = 40'
FIELD BY: GB JC	JOB NUMBER: S130-2023
DRAWN BY: JC	
CHECKED BY: GB	SHEET 2 OF 2

This Survey is solely for the benefit of the parties set forth in the Surveyor's Certification. Geodetic Designs Incorporated disclaims any duty or obligation towards any party that is not identified in the Surveyor's Certification.

Geodetic Designs Incorporated will not include the providers of any third party reports in the Surveyor's Certification.

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**SITE DATA:**

<b>ZONING:</b>	SITE - NEIGHBORHOOD BUSINESS/FLEX BUSINESS OVERLAP DISTRICT, NDBFB
	NORTH - NEIGHBORHOOD BUSINESS, NB
	EAST - NEIGHBORHOOD BUSINESS, NB
	WEST - RESIDENTIAL, R-4
	SOUTH - SPECIAL PURPOSE/MIXED RESIDENTIAL, SPIMR
<b>LAND USE:</b>	EXISTING: GROCERY
	PROPOSED: GROCERY
<b>BUILDING:</b>	HEIGHT: 37'
	NUMBER OF STORIES: 1 STORY
	GROSS FLOOR AREA: 47,444 SQ. FT.
	USABLE FLOOR AREA: 37,955 SQ. FT.
<b>SETBACKS:</b>	FRONT: 50' BUILDING; 10' PARKING
	REAR: 50' BUILDING; 50' TOTAL
<b>PARKING:</b>	REQUIRED: 1 SPACE PER 300 SQ. FT. OF FLOOR AREA
	PROVIDED: 128 REGULAR SPACES
	9 ADA SPACES
	8 PICK UP SPACES
	144 TOTAL PARKING SPACES

- GENERAL NOTES**
- NO DIMENSION MAY BE SCALED. REFER UNCLER ITEMS TO THE ENGINEER FOR INTERPRETATION.
  - DIMENSIONS AND/OR COORDINATES ARE TO BACK OF CURB, FACE OF BUILDING (FACE OF PRECAST), EDGE OF PAVEMENT OR CENTER OF STRUCTURE OR SIGN. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
  - BUILDING SLABS, UNDERBED THICKNESS AND LOCATIONS ARE SHOWN FOR REFERENCE. VERIFY WITH STRUCTURAL DRAWINGS.
  - REFER TO SHEET C500 AND C501 FOR STRIPING/SIGNAGE, AND PARKING COUNT.
  - PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
  - NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED IN THE RIGHT-OF-WAY.
  - WORK SHALL CONFORM TO THE REQUIREMENTS OF MEIJER STANDARD SPECIFICATIONS, AND GOVERNING AGENCIES HAVING JURISDICTION. GRADING, PAVING AND MATERIALS SHALL COMPLY WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
  - EXTERIOR CONCRETE SLABS ADJACENT TO BUILDING SHALL BE PLACED ON 4" STRUCTURAL BASE, UNLESS NOTED OTHERWISE. DESIGNER SHALL VERIFY THICKNESS OF CRUSHED STONE FILL IS ADEQUATE BELOW PAVEMENT SECTIONS BASED ON THE GEOTECHNICAL REPORT FOR THE SPECIFIC SITE.

Keep the screen wall outside of the water main easement, revise.

Ordinance requires parking calculations based on gross floor area.

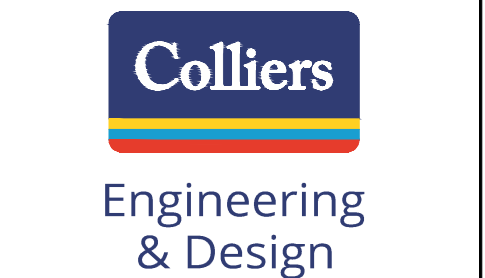
**SECTION 138-11.202 - Modification of Parking Requirements**  
 The Planning Commission may modify the numerical requirements for off-street parking based on evidence submitted by the applicant that another standard would be more reasonable because of the level of current or future employment or customer traffic.  
 The Planning Commission may attach conditions to the approval of a modification of the requirements of Section 138-11.204 that bind such approval to the specific use in question.

**PARKING SUMMARY**

STANDARD:	128
VAN ACCESSIBLE:	8
GROCERY PICKUP:	8
<b>TOTAL PROVIDED PARKING:</b>	<b>144</b>

**PAVEMENT LEGEND**

	PROPOSED CONCRETE
	PROPOSED FULL DEPTH PAVEMENT REPLACEMENT
	PROPOSED MILL AND OVERLAY



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REV	DATE	DESCRIPTION
	08/02/24	SITE PLAN REVIEW

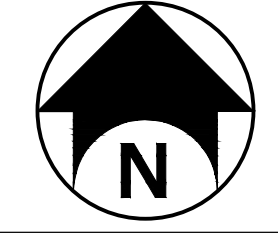
**MEIJER STORE**  
 1495 NORTH ROCHESTER ROAD  
 CITY OF ROCHESTER HILLS, MICHIGAN  
**OVERALL SITE PLAN**

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
PROJECT MANAGER	DESIGNER
P. FURTAW	A. NODARSE

JOB NO.  
00-00-00000

**C-200**

A1 SITE LAYOUT / PAVEMENT PLAN  
1" = 40'



**GENERAL NOTES**

- NO DIMENSION MAY BE SCALED. REFER UNCLER ITEMS TO THE ENGINEER FOR INTERPRETATION.
- DIMENSIONS AND/OR COORDINATES ARE TO BACK OF CURB, CENTERLINE OF BUILDING COLUMN LINE (INSIDE FACE OF PRECAST), EDGE OF PAVEMENT OR CENTER OF STRUCTURE OR SIGN. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
- BUILDING SLABS, UNDERBED THICKNESS AND LOCATIONS ARE SHOWN FOR REFERENCE. VERIFY WITH STRUCTURAL DRAWINGS.
- REFER TO SHEET C200 AND C201 FOR STRIPING, SIGNAGE, AND PARKING COUNT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND PERFORM REQUIRED COMPACTION OPERATIONS.
- PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
- NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED IN THE RIGHT-OF-WAY.
- WORK SHALL CONFORM TO THE REQUIREMENTS OF MEIJER STANDARD SPECIFICATIONS, GOVERNING AGENCIES HAVING JURISDICTION, GRADING, PAVING AND MATERIALS SHALL COMPLY WITH THE STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
- EXTERIOR CONCRETE SLABS ADJACENT TO BUILDING SHALL BE PLACED ON 4" STRUCTURAL CUSHION, UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS.
- AGGREGATE TO EXTEND 12" BEYOND BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE DETAIL C5 AND D1 ON SHEET C701.

**SITE NOTES:**

- THE UNDERGROUND STRUCTURES AND UTILITIES SHOWN ON THESE PLANS HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORD MAPS. THEY ARE NOT CERTIFIED TO THE ACCURACY OF THEIR LOCATION AND/OR COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND EXTENT OF ALL UNDERGROUND STRUCTURES AND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION ACTIVITIES IN THEIR VICINITY.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH TITLE 29 OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (OSHA).
- ALL ROADS AND PRIVATE DRIVES SHALL BE KEPT CLEAN OF MUO, DEBRIS ETC. AT ALL TIMES.
- REFER TO ARCHITECTURAL DRAWINGS FOR PRECISE BUILDING DIMENSIONS.
- THE CONTRACTOR SHALL CONSULT THE CONSTRUCTION MANAGER BEFORE DEVIATING FROM THESE PLANS.
- IN ALL TRENCH EXCAVATIONS, CONTRACTOR MUST LAY THE TRENCH SIDE SLOPES BACK TO A SAFE SLOPE. USE A TRENCH SHIELD OR PROVIDE SHEETING AND BRACING.
- ALL EXISTING SURFACE APPURTENANCES (I.E. WATER VALVES, CATCH BASIN FRAMES AND GRATES, MANHOLE COVERS) WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO FINISHED GRADE.
- AREAS DISTURBED OR DAMAGED AS PART OF THIS PROJECT'S CONSTRUCTION THAT ARE OUTSIDE OF THE PRIMARY WORK AREA SHALL BE RESTORED, AT THE CONTRACTOR'S EXPENSE, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL CALL "MISS DIG" AT LEAST 3 WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES, DESIGN STANDARDS AND STANDARD SPECIFICATIONS OF THE AGENCIES WHICH HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS INCLUDED IN THESE PLANS.
- UNLESS SPECIFICALLY STATED, THE CONTRACTOR SHALL APPLY FOR AND OBTAIN ALL NECESSARY PERMITS AS REQUIRED FOR CONSTRUCTION OF THIS PROJECT PRIOR TO THE BEGINNING OF WORK FROM THE PREVIOUSLY MENTIONED AGENCIES.
- THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANY AND COORDINATE THE WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR FOR ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION DUE TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
- THE CONTRACTOR IS TO VERIFY THAT THE PLANS AND SPECIFICATIONS THAT HE/SHE IS BUILDING FROM ARE THE VERY LATEST PLANS AND SPECIFICATIONS THAT HAVE BEEN APPROVED BY ALL APPLICABLE PERMIT-ISSUING AGENCIES AND THE OWNER. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING THE FINAL APPROVAL AND PERMITS HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- SHOULD THE CONTRACTOR ENCOUNTER CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, HE/SHE SHALL SEEK CLARIFICATION IN WRITING FROM THE CONSTRUCTION MANAGER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL FURNISH AS-BUILT DRAWINGS INDICATING ALL CHANGES AND DEVIATIONS FROM APPROVED DRAWINGS.
- ALL SIGNS AND TRAFFIC CONTROL MEASURES DURING CONSTRUCTION AND MAINTENANCE ACTIVITIES SHALL BE CONSTRUCTED AND INSTALLED PER THE LATEST EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.M.U.T.C.D.).
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL CONFORM TO THE STANDARDS OF THE ROAD COMMISSION FOR OAKLAND COUNTY.

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**meijer**

REV	DATE	DESCRIPTION
	08/02/24	SITE PLAN REVIEW

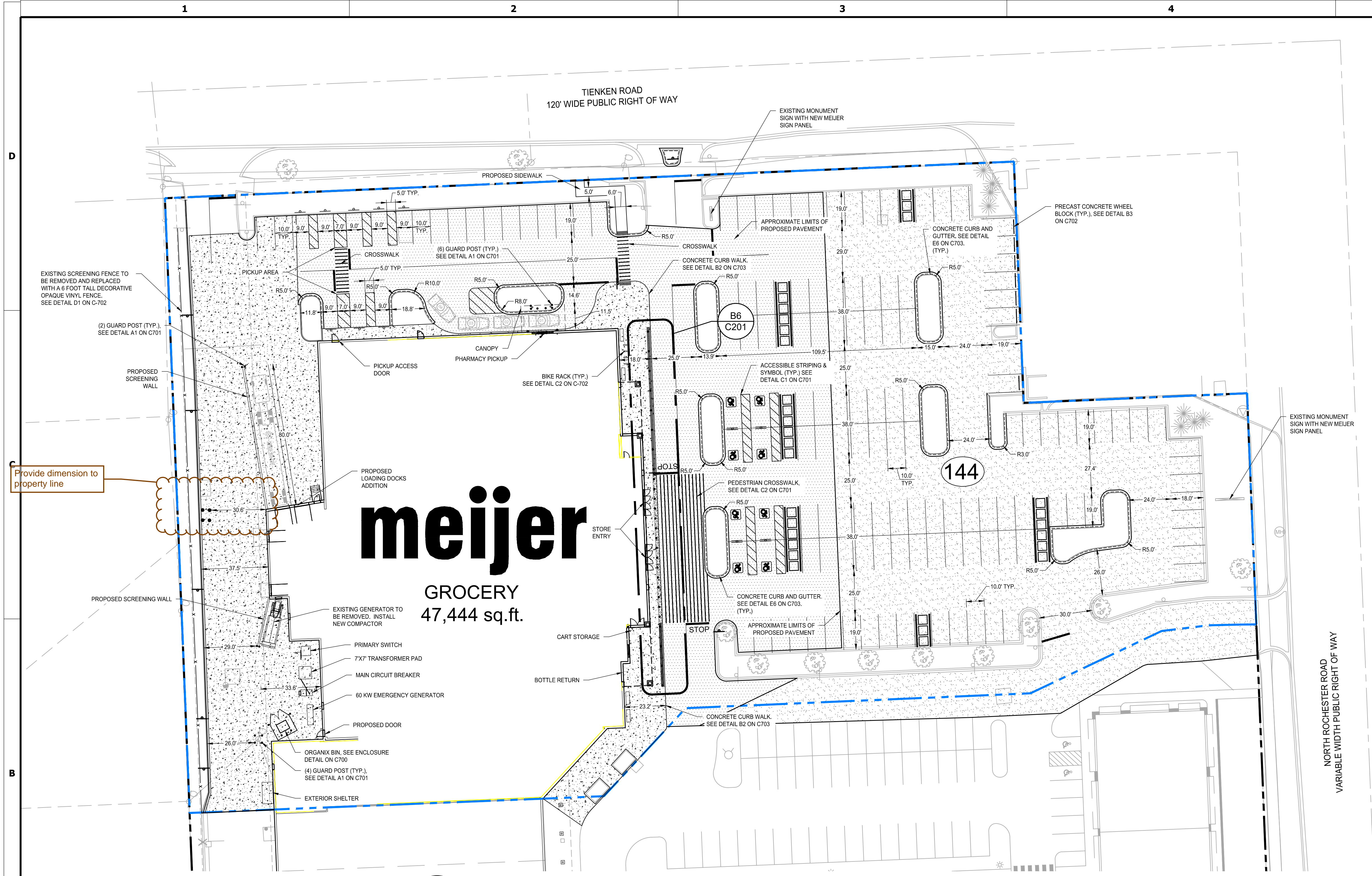
**MEIJER STORE**  
1495 NORTH ROCHESTER ROAD  
CITY OF ROCHESTER HILLS, MICHIGAN

**SITE PLAN**

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
PROJECT MANAGER	DESIGNER
P. FURTAW	A. NODARSE

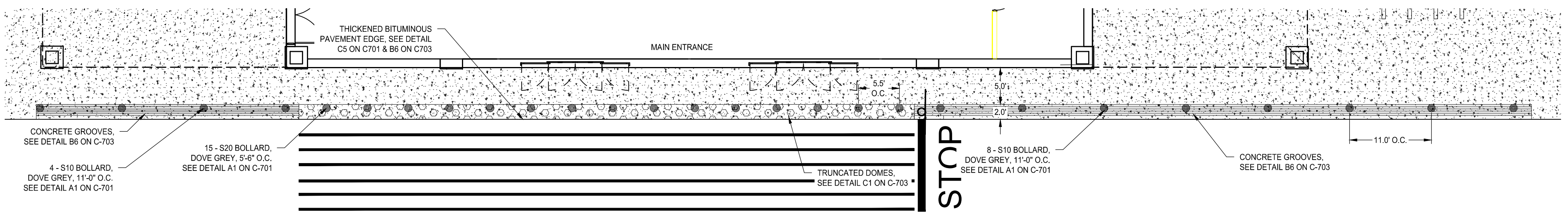
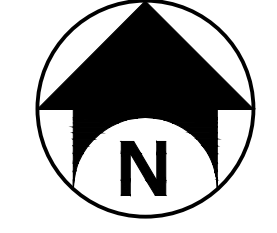
JOB NO.  
00-00-00000

**C-201**



**meijer**  
GROCERY  
47,444 sq.ft.

**A1 MEIJER SITE LAYOUT / PAVEMENT PLAN**  
1" = 30'



**B6 ENTRY DETAIL**  
1" = 10'

**PAVEMENT LEGEND**

	PROPOSED CONCRETE
	PROPOSED FULL DEPTH PAVEMENT REPLACEMENT
	PROPOSED MILL AND OVERLAY

Provide dimension to property line

1

2

3

4

5

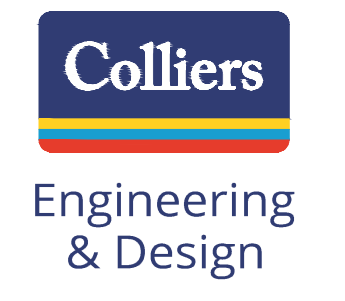
TIENKEN ROAD  
120' WIDE PUBLIC RIGHT OF WAY

B2  
C301

B1  
C301

### GRADING NOTES

- ALL SPOT ELEVATIONS ARE TO:  
TOP OF PAVEMENT - (TP)  
TOP OF SLAB - (TS)  
TOP OF CURB/CONCRETE - (TC)  
TOP OF WALL - (TW)  
TOP OF GRADE AT WALL - (TGW)  
BOTTOM OF GRADE AT WALL - (BGW)  
GUTTER PAN - (GP)  
TOP OF GRATE - (TG)
- UNLESS NOTED OTHERWISE.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
- FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.
- SEE "TYPICAL PAVEMENT AT MH AND CP" DETAIL ON C701 FOR SPECIAL GRADING REQUIREMENTS AROUND STRUCTURES.
- RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
- CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
- FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
- ENTRY LANDINGS PART OF AN ACCESSIBLE ROUTE SHALL MAINTAIN A MAXIMUM SLOPE OF 1:50 IN ALL DIRECTIONS. THIS IS INTENDED TO ALLOW FOR CONSTRUCTION TOLERANCES. SLOPES STEEPER THAN 1:50 SHALL NOT BE PERMITTED THUS MEETING THE REQUIREMENTS OF THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.



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# meijer

REV	DATE	DESCRIPTION
	08/02/24	SITE PLAN REVIEW

# meijer

## GROCERY 47,444 sq.ft.

TRENCH DRAIN

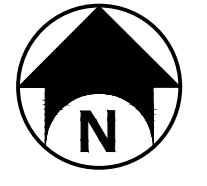
APPROXIMATE LOCATION OF EXISTING SAN. CONNECTION TO THE BUILDING

APPROXIMATE LOCATION OF EXISTING 2" WATER SERVICE TO THE BUILDING

### LEGEND

- RIPRAP
- RIDGE LINE
- CATCH BASIN
- CATCH BASIN CURB INLET
- STORM MANHOLE
- SANITARY SEWER MANHOLE
- PROPOSED SLOPE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

A1 GRADING PLAN  
1" = 20'



MEIJER STORE  
1485 NORTH ROCHESTER ROAD  
CITY OF ROCHESTER HILLS, MICHIGAN

GRADING PLAN

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
PROJECT MANAGER	DESIGNER
P. FURTAW	A. NODARSE

JOB NO.  
00-00-00000

# C-300

1

2

3

4

5

### GRADING NOTES

- ALL SPOT ELEVATIONS ARE TO:  
TOP OF PAVEMENT - (TP)  
TOP OF SLAB - (TS)  
TOP OF CURB/CONCRETE - (TC)  
TOP OF GRADE AT WALL - (TGW)  
BOTTOM OF GRADE AT WALL - (BGW)  
GUTTER PAN - (GP)  
TOP OF GRADE - (TG)  
UNLESS NOTED OTHERWISE.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
- FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB.
- SEE "TYPICAL PAVEMENT AT MH AND CB" DETAIL ON C701 FOR SPECIAL GRADING REQUIREMENTS AROUND STRUCTURES.
- RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
- CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
- FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
- ENTRY LANDINGS PART OF AN ACCESSIBLE ROUTE SHALL MAINTAIN A MAXIMUM SLOPE OF 1.5% IN ALL DIRECTIONS. THIS IS INTENDED TO ALLOW FOR CONSTRUCTION TOLERANCES. SLOPES STEEPER 1:48 SHALL NOT BE PERMITTED THIS MEETING THE REQUIREMENTS OF THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.



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# meijer

REV	DATE	DESCRIPTION
-	08/02/24	SITE PLAN REVIEW

MEIJER STORE  
1485 NORTH ROCHESTER ROAD  
CITY OF ROCHESTER HILLS, MICHIGAN

GRADING PLAN  
ENLARGEMENTS

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
PROJECT MANAGER	DESIGNER
P. FURTAW	A. NODARSE

JOB NO.  
00-00-00000

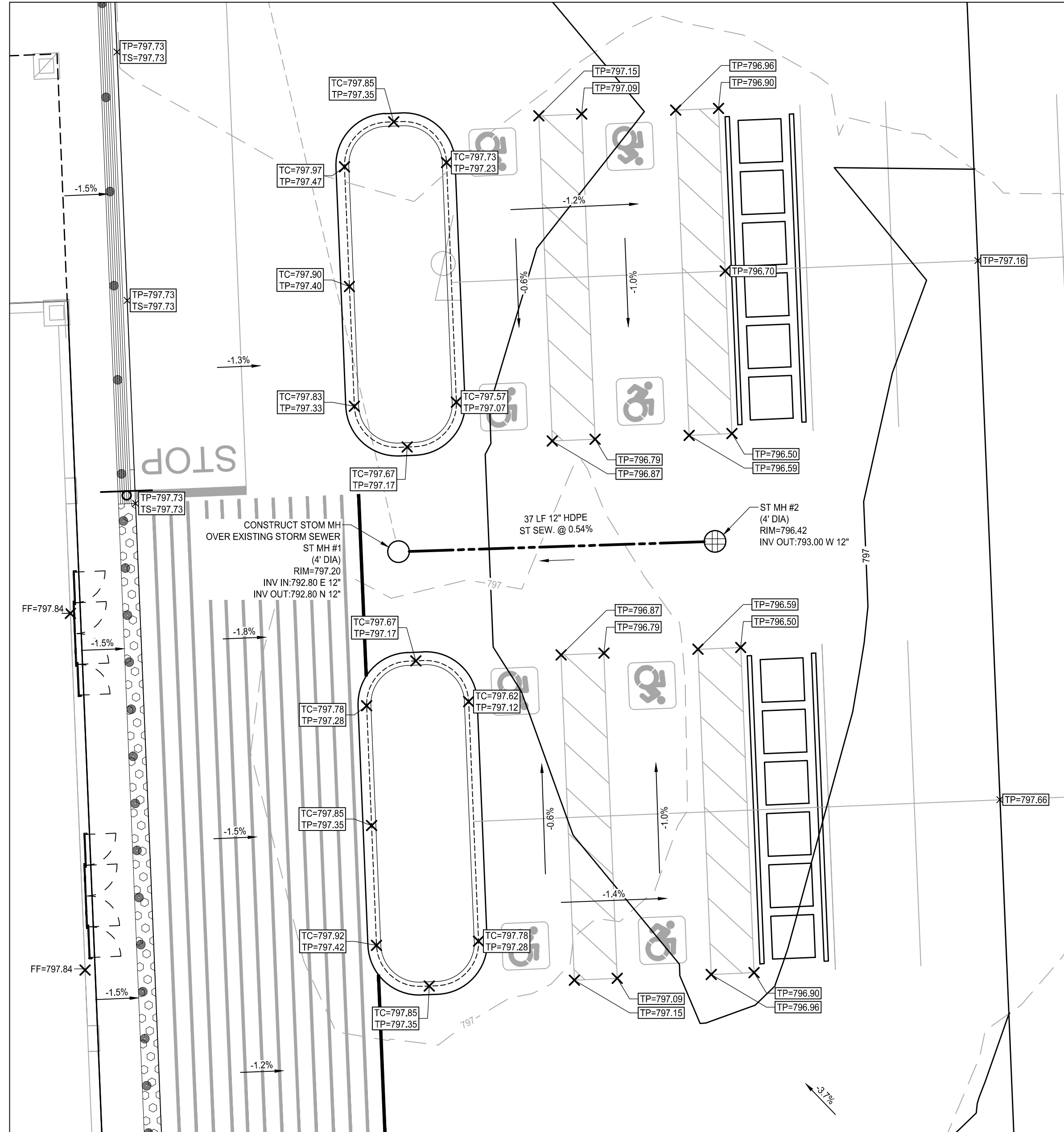
## C-301

D

C

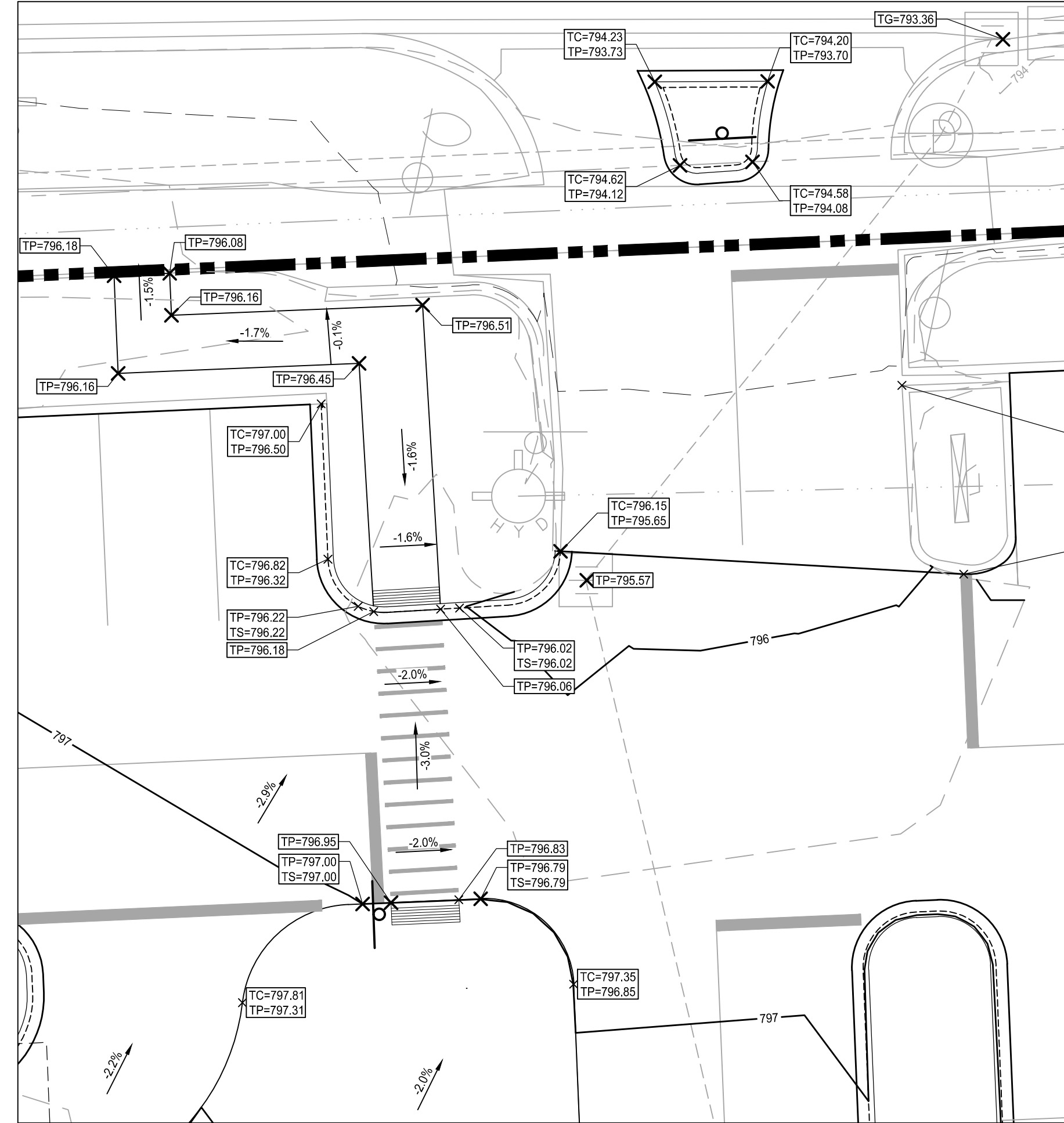
B

A



### B1 ENLARGEMENT GRADING PLAN

1" = 10'

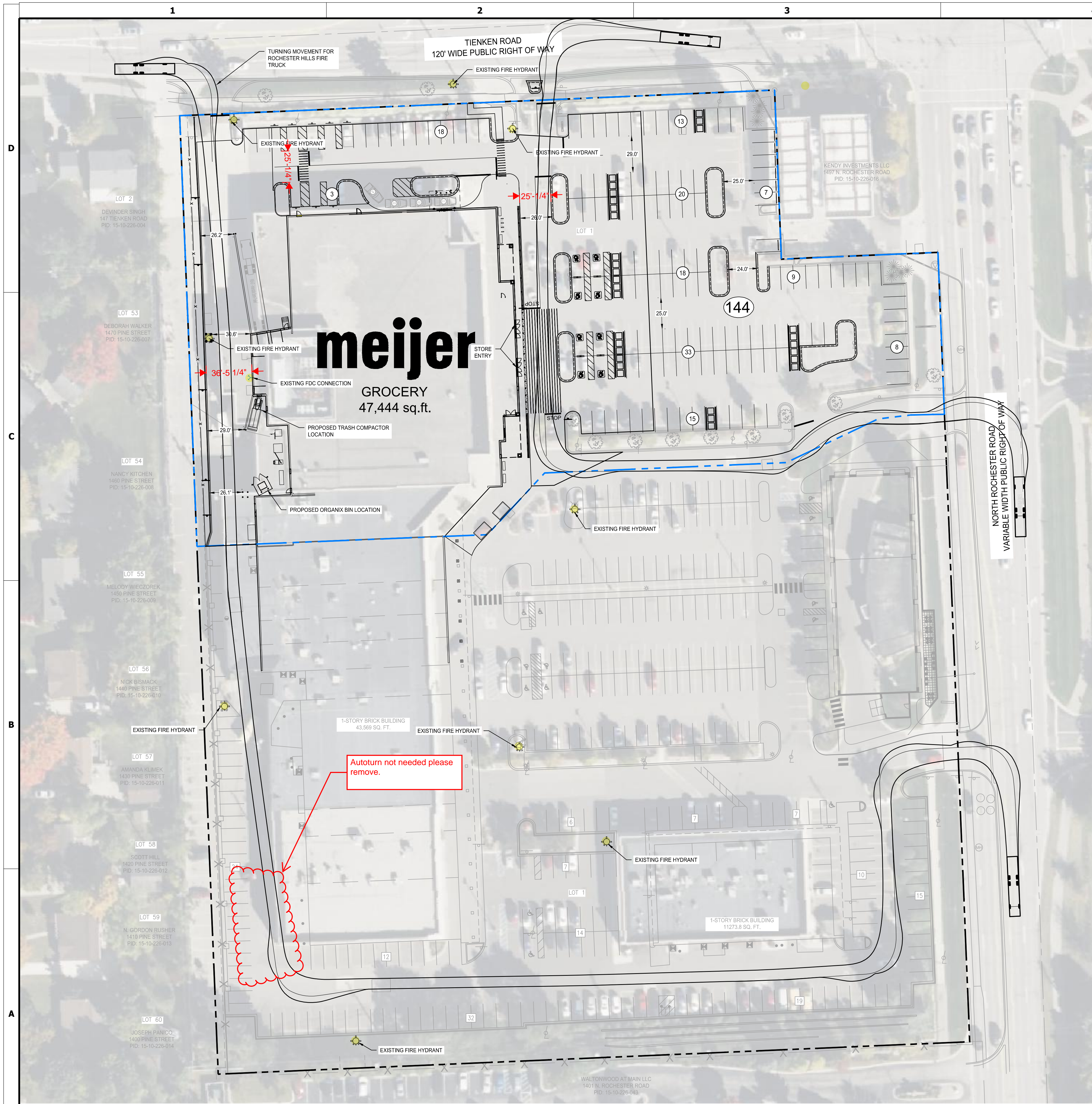


### B3 ENLARGEMENT GRADING PLAN

1" = 10'

### LEGEND

- RIPRAP
- RIDGELINE
- CATCH BASIN
- CATCH BASIN CURB INLET
- STORM MANHOLE
- SANITARY SEWER MANHOLE
- PROPOSED SLOPE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR



**FIRE DEPARTMENT NOTES**

1. A KNOX KEY SYSTEM SHALL BE INSTALLED IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. ORDERING INFORMATION IS AVAILABLE THROUGH THE KNOX COMPANY AT WWW.KNOXBOX.COM (IFC 2021 SEC. 506)
2. FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ 'NO STOPPING, STANDING, PARKING, FIRE LANE' AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (FIRE PREVENTION ORDINANCE CHAPTER 58, SEC 503)
3. CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC 2021 CHAPTER 33.
4. OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING. OPEN BURNING FOR WARMING OF SAND AND / OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES FIRE PREVENTION ORDINANCE CHAPTER 58, SEC 307.6.2 & 307.6.2.3) MORTAR PERMIT CAN BE APPLIED FOR ONLINE AT WWW.ROCHESTERHILLS.ORG/FIRE IN THE "FOR YOUR BUSINESS" SECTION.
5. PROVIDE A 'NO PARKING FIRE DEPARTMENT CONNECTION' SIGN OVER THE FIRE DEPARTMENT CONNECTION.
6. FDC'S SHALL NOT BE OBSTRUCTED BY LANDSCAPING, PARKING, OR ANY OTHER PERMANENT OR TEMPORARY MATERIALS OR DEVICES.
7. IF THE FIRE DEPARTMENT CONNECTION IS NOT LOCATED ON THE STREET FRONT OF THE BUILDING, A WHITE / CLEAR STROBE LIGHT SHALL BE TIED INTO THE FIRE ALARM SYSTEM AND INSTALLED OVER THE FDC.
8. THIS PROJECT MAY BE REQUIRED TO PERFORM EMERGENCY RADIO SIGNAL STRENGTH TESTING. TESTING FAILURE WILL REQUIRE INSTALLATION OF AN IN-BUILDING TWO-WAY EMERGENCY RESPONDER COMMUNICATION SYSTEM. CONTACT RHFD FOR MORE INFORMATION REGARDING THIS REQUIREMENT.

**GENERAL NOTES**

1. PROPOSED BUILDING SQUARE FOOTAGE = 47,444 SF. CONSTRUCTION TYPE - NON-COMBUSTIBLE TYPE VB
2. MINIMUM WIDTH OF PROPOSED DRIVES = 24 FEET FACE OF CURB TO FACE OF CURB.
3. NO UNDERGROUND DETENTION IS EXISTING NOR PROPOSED ON-SITE.

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**meijer**

REV	DATE	DESCRIPTION
-	08/02/24	SITE PLAN REVIEW

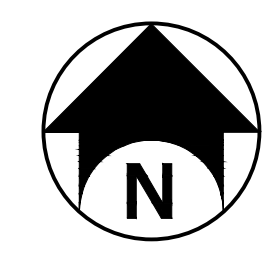
**MEIJER STORE**  
1495 NORTH ROCHESTER ROAD  
CITY OF ROCHESTER HILLS, MICHIGAN  
**FIRE PROTECTION PLAN**

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
PROJECT MANAGER	DESIGNER
P. FURTAW	A. NODARSE

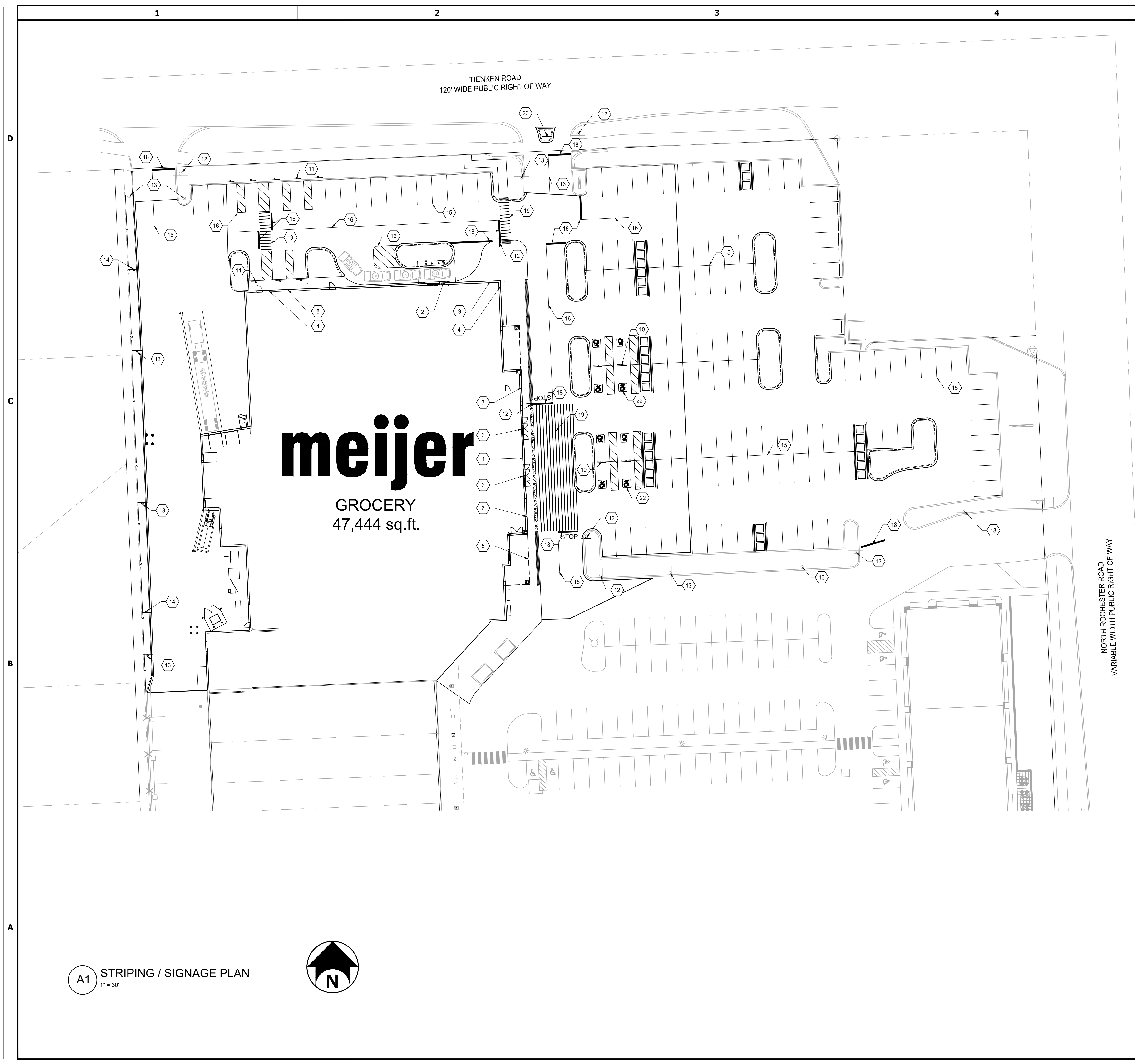
JOB NO.  
00-00-00000

**C-400**

A1 FIRE PROTECTION PLAN  
1" = 40'







**PAVEMENT STRIPING NOTES**

1. ALL DIMENSIONS MEASURED FROM FACE OF BUILDING
2. REFER TO SHEET C-701 FOR SIGNAGE/STRIPING DETAILS
3. CROSSWALK STRIPING TO BE CENTERED ON THE BUILDING AND GARDEN CENTER ENTRANCES.

**BUILDING AND SITE SIGNAGE NOTES**

1. LOCATE FIRE LANE SIGNS AT FRONT OF BUILDING AT THE EDGE OF CONCRETE SIDEWALK (3 SIGNS)
2. STOP SIGNS AND FIRE LANE SIGNS ALONG FRONT OF THE STORE TO BE ON MOVABLE CONCRETE BASES
3. LOCATE FIRE LANE SIGNS ALONG BACK OF BUILDING AND THE TRUCK DOCK AREAS AT 2 FT. BEHIND PAVEMENT IN THE GRASS AREA (6 SIGNS)
4. INSTALL CART CORRALS PROVIDED BY OWNER.

**PARKING SUMMARY**

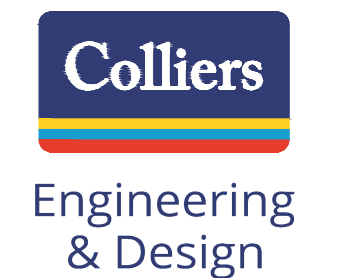
STANDARD:	128
VAN ACCESSIBLE:	8
GROCERY PICKUP:	8
<b>TOTAL PROVIDED PARKING:</b>	<b>144</b>

**SIGNAGE STRIPING KEYNOTES**

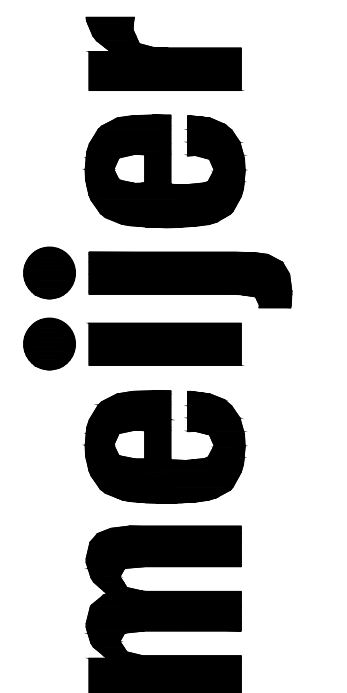
- ① "MEIJER GROCERY" SIGN, SEE DETAIL D1 ON C-501
- ② "PHARMACY DRIVE UP" SIGN, SEE DETAIL E3 ON C-501
- ③ "WELCOME" SIGN, SEE DETAIL D3 ON C-501
- ④ "PICKUP" SIGN, SEE DETAIL C1 ON C-501
- ⑤ "BOTTLE RETURN" SIGN, SEE DETAIL C2 ON C-501
- ⑥ "FRESH" SIGN, SEE DETAIL A3 ON C-501
- ⑦ "LOCAL" SIGN, SEE DETAIL A4 ON C-501
- ⑧ "PICKUP" BLADE SIGN, SEE DETAIL B1 ON C-501
- ⑨ "RX" BLADE SIGN, SEE DETAIL A1 ON C-501
- ⑩ "VAN ACCESSIBLE" SIGN, SEE DETAIL B1 ON C-701
- ⑪ "PICKUP" SIGN WITH PARKING SPACE NUMBERS, NUMBERS ASSIGNED BY MEIJER
- ⑫ "STOP" SIGN, SEE DETAIL B1 ON C-701
- ⑬ "NO PARKING - FIRE LANE" SIGN
- ⑭ "TRUCK ROUTE WITH STRAIGHT ARROW" SIGN, SEE DETAIL B1 ON C-701
- ⑮ 4" SINGLE SOLID LINE, WHITE
- ⑯ 4" SINGLE SOLID LINE, YELLOW
- ⑰ NOT USED
- ⑱ 12" STOP LINE, WHITE
- ⑲ CROSSWALK, SEE DETAIL C2 ON C-701
- ⑳ NOT USED
- ㉑ NOT USED
- ㉒ ACCESSIBLE SYMBOL AND STRIPING SEE DETAIL C1 ON C-701
- ㉓ "NO LEFT TURN" SIGN, SEE DETAIL D6 ON C-701

**STRIPING LEGEND**

- NO PARKING AREAS
- 4" YELLOW STRIPE @ 2' O.C. AT 45° TO PARKING SPACE



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REV	DATE	DESCRIPTION
-	08/02/24	SITE PLAN REVIEW

**MEIJER STORE**  
 1495 NORTH ROCHESTER ROAD  
 CITY OF ROCHESTER HILLS, MICHIGAN

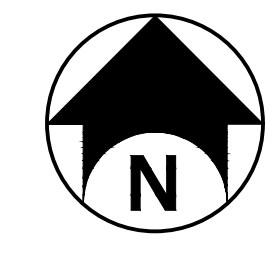
**TRAFFIC CONTROL  
 SIGNAGE STRIPING PLAN**

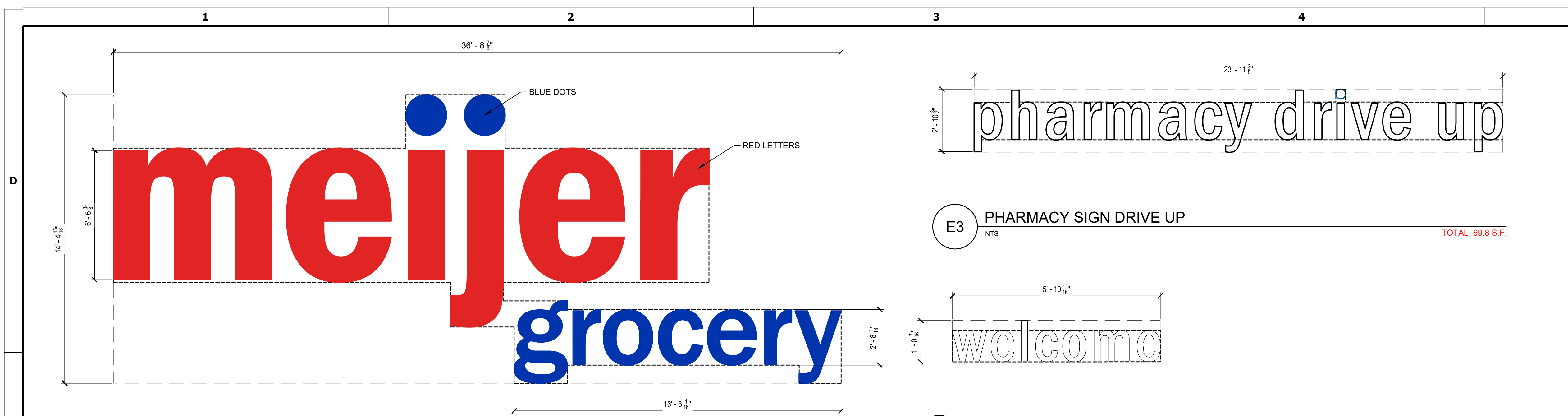
ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
PROJECT MANAGER	DESIGNER
P. FURTAW	A. NODARSE

JOB NO.  
00-00-00000

**C-500**

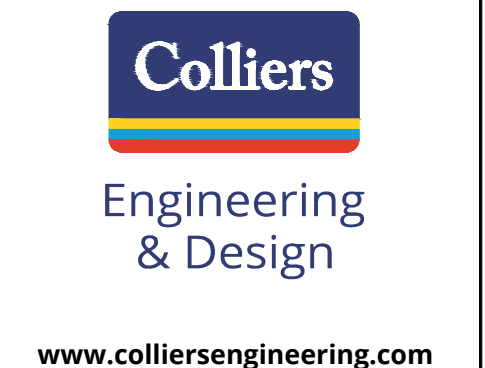
**A1 STRIPING / SIGNAGE PLAN**  
1" = 30'





**GENERAL NOTES**

- SIGNAGE DETAILS ARE NOT TO SCALE. SIGNAGE VENDOR SHALL FABRICATE ALL SIGNAGE ACCORDING TO THE DIMENSIONS AND SQUARE FOOTAGE VALUES PROVIDED ON SHEETS C501 AND C502 FOR THE RESPECTIVE SIGNS.
- ALL WIRING FOR EXTERIOR SIGNAGE SHALL BE INSTALLED WITHIN CONDUIT PER SPECIFICATIONS.
- FOR BUILDING SIGNAGE INSTALLATION INFORMATION, REFER TO ARCHITECTURAL PLANS.



**BUILDING-MOUNTED WALL SIGNAGE**

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
D1	1	MEIJER GROCERY	530.3
A3	1	FRESH SINCE 1934	39.9
A4	1	LOCAL SINCE 1934	37.2
SUBTOTAL			607.4

**BUILDING-MOUNTED WAYFINDING SIGNAGE**

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
C1	2	PICKUP	41.0
E3	1	PHARMACY DRIVE UP	69.8
C2	1	BOTTLE RETURN	11.9
SUBTOTAL			122.7

**WINDOW SIGNAGE**

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
D3	2	WELCOME	12.2
SUBTOTAL			12.2

**PROJECTING/BLADE SIGNAGE**

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
B1	1	PICKUP BLADE	16.0
A1	1	RX BLADE	16.0
SUBTOTAL			32.0

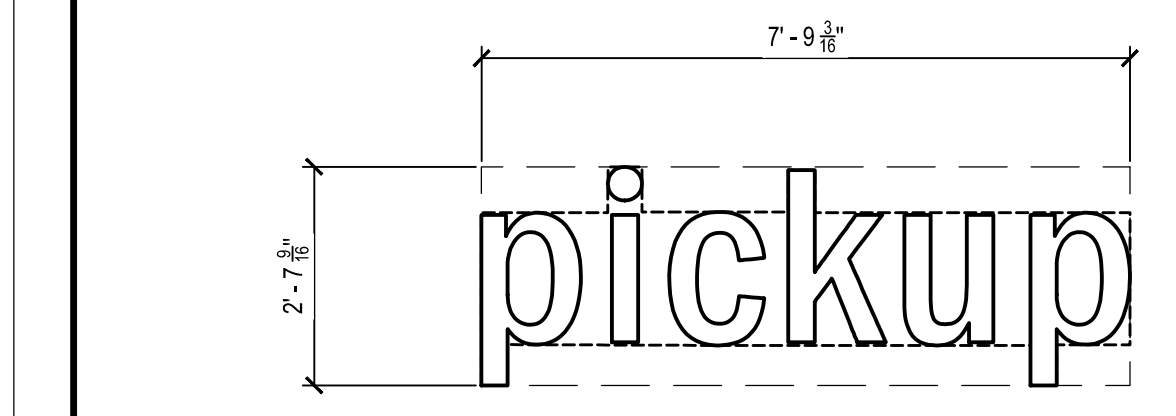
**PARKING LOT SIGNAGE**

DETAIL	QTY.	DESCRIPTION	SQUARE FEET
A2	8	PICKUP SIGN PARKING SPACE NUMBERS	24.0
B3	1	PICKUP SIGN: MONUMENT SIGN	42.1
SUBTOTAL			66.1

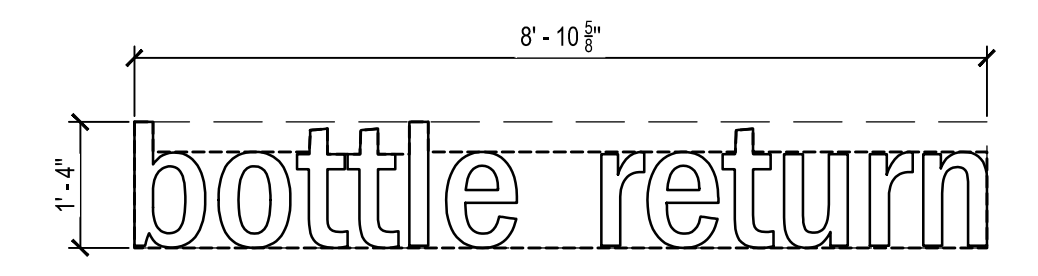
TOTAL SIGNAGE AREA: 855.4

Include a note on the plan stating that 'All signs must meet the requirements of the City and be approved under separate permits issued by the Building Department.'

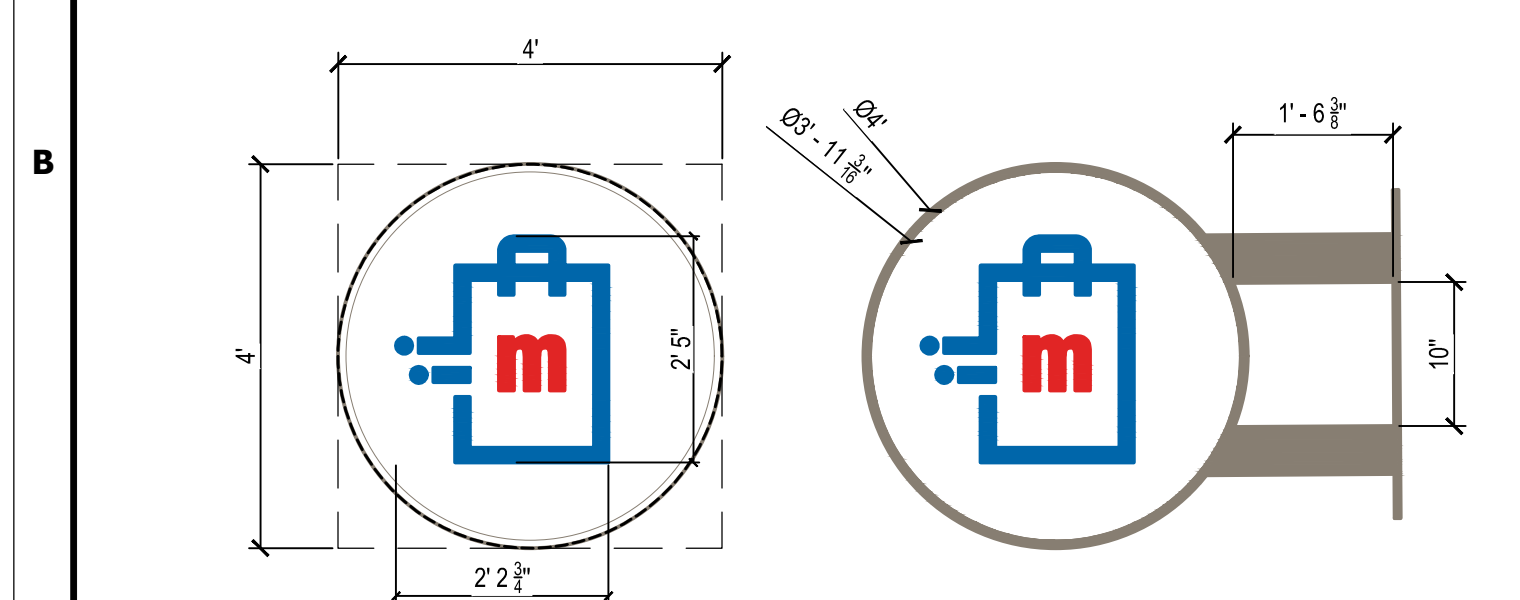
**D1 MEIJER GROCERY**  
NTS TOTAL 530.3 S.F.



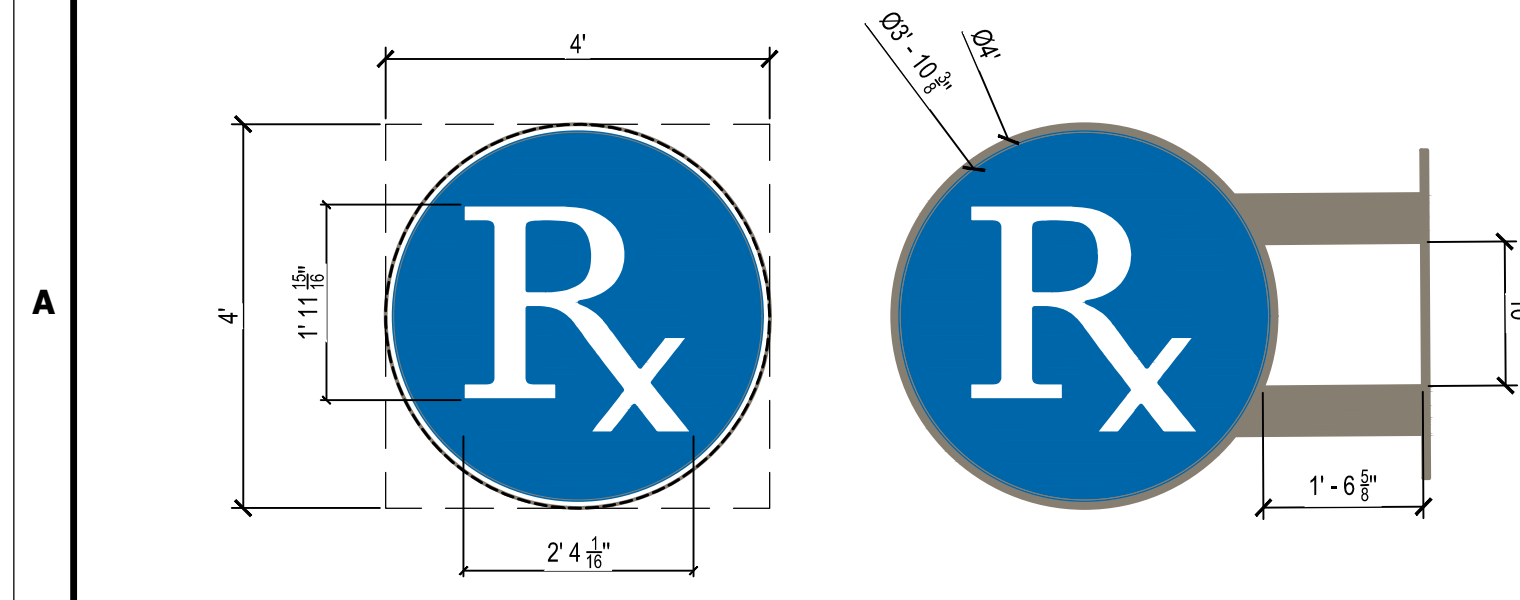
**C1 PICKUP SIGN**  
NTS TOTAL 20.5 S.F.



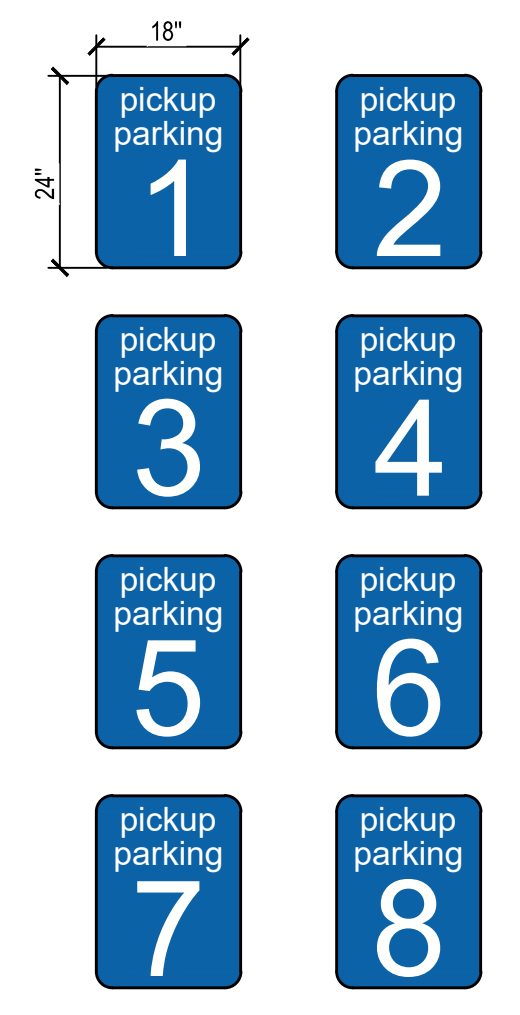
**C2 BOTTLE RETURN SIGN**  
NTS TOTAL 11.9 S.F.



**B1 PICKUP BLADE SIGN**  
NTS TOTAL 16.0 S.F.

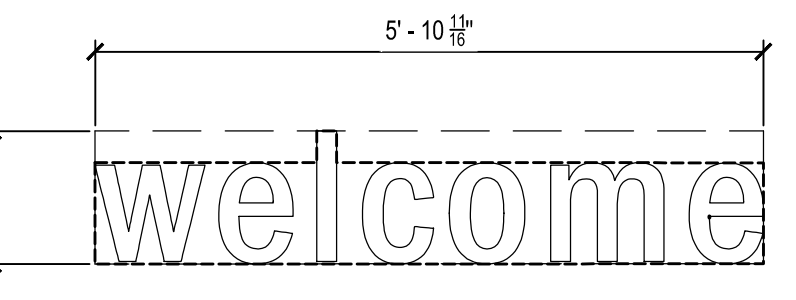


**A1 Rx BLADE SIGN**  
NTS TOTAL 16.0 S.F.

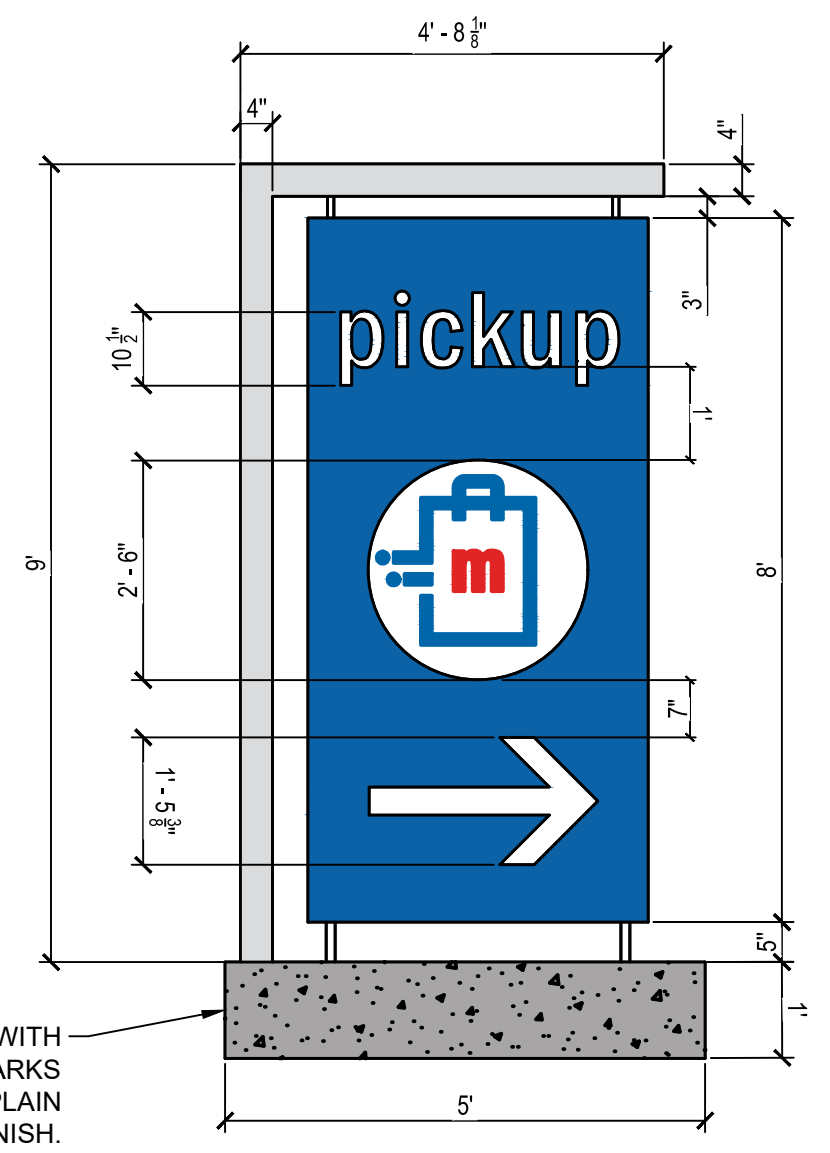


**A2 PICKUP SIGN PARKING SPACE NUMBERS**  
NTS TOTAL 3.0 S.F.

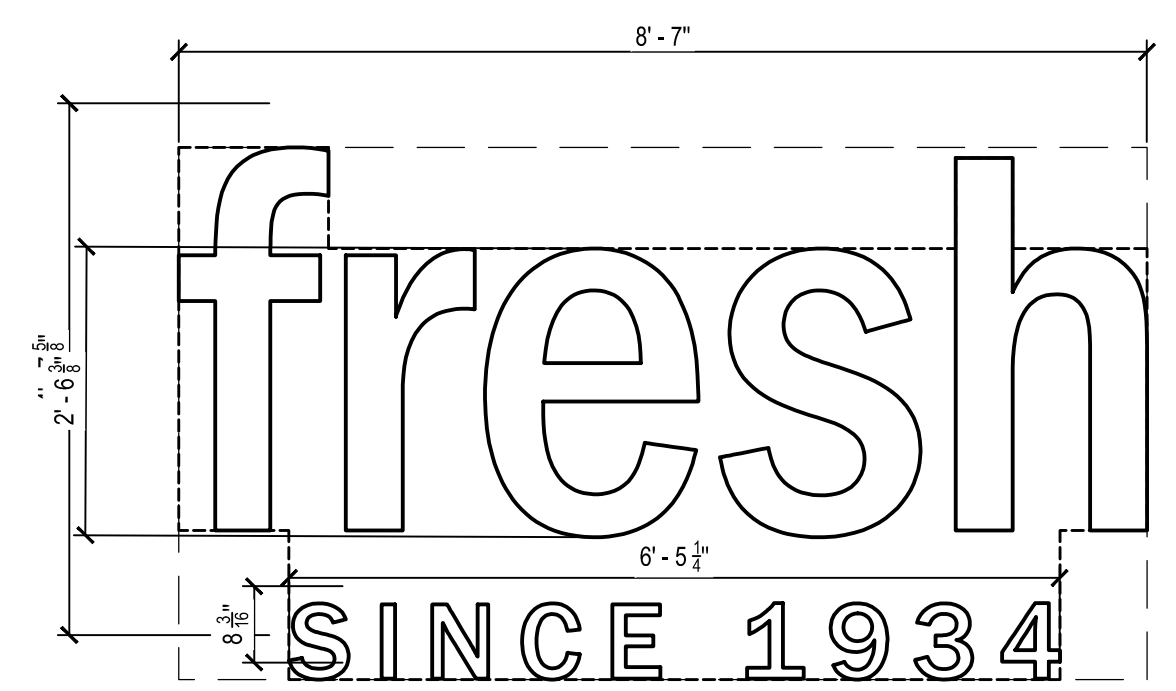
**E3 PHARMACY SIGN DRIVE UP**  
NTS TOTAL 69.8 S.F.



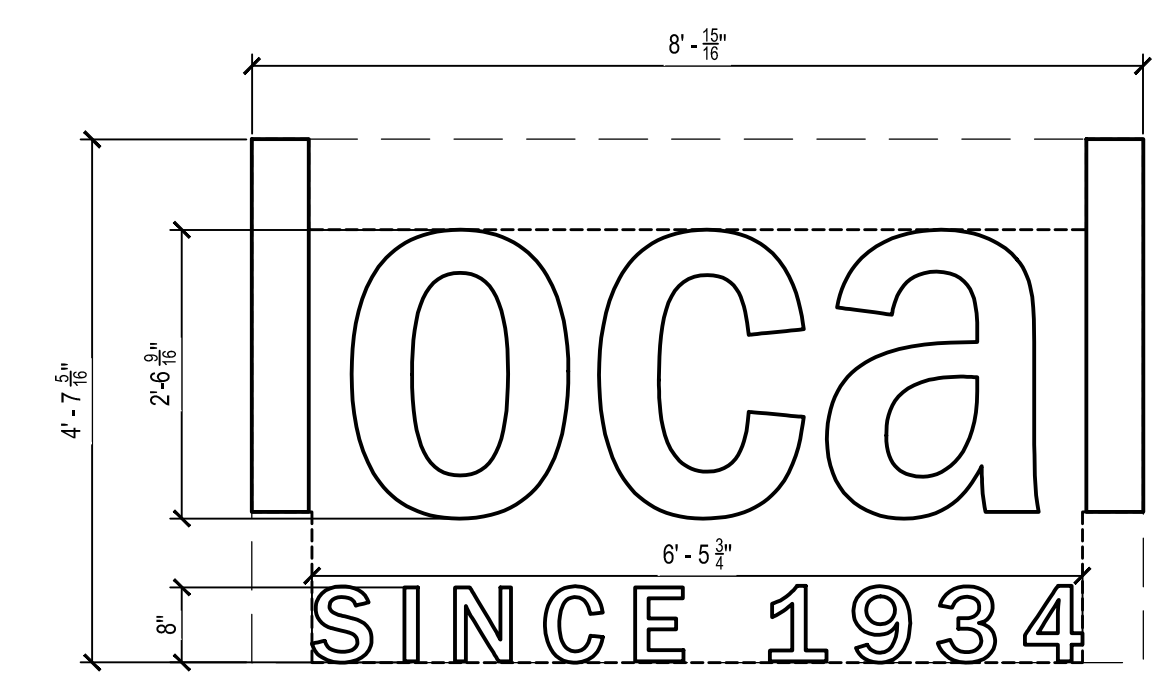
**D3 WELCOME SIGN**  
NTS TOTAL 6.1 S.F.



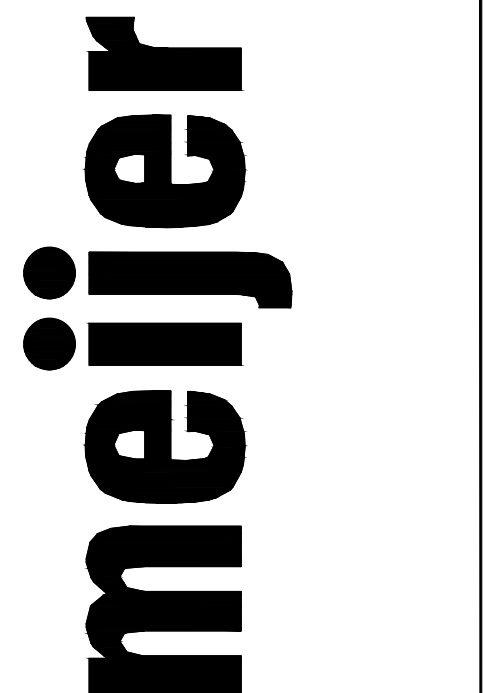
**B3 PICKUP SIGN: MONUMENT SIGN**  
NTS TOTAL 42.1 S.F.



**A3 FRESH SINCE 1934**  
NTS TOTAL 39.9 S.F.



**A4 LOCAL SINCE 1934**  
NTS TOTAL 37.2 S.F.



REV	DATE	DESCRIPTION
-	08/02/24	SITE PLAN REVIEW

MEIJER STORE  
1495 NORTH ROCHESTER ROAD  
CITY OF ROCHESTER HILLS, MICHIGAN  
EXTERIOR SIGNAGE  
DETAILS

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
PROJECT MANAGER	DESIGNER
P. FURTAW	A. NODARSE

JOB NO.  
00-00-00000

**C-501**

NOTE: THE APPLICANT IS REQUESTING THAT ORNAMENTAL TREES BE ALLOWED TO MAINTAIN VISIBILITY.



Add note that vegetation will be maintained along sidewalk to maintain required clearance from sidewalk.

EXISTING ORNAMENTAL GRASS TO REMAIN. SEE IMAGES 2 AND 2.1 ON SHEET C601.

**LANDSCAPE NOTES**

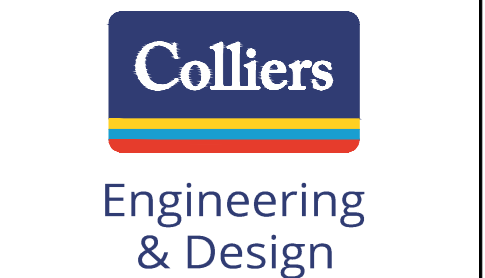
- COORDINATE PLACEMENT OF PLANTS WITH UTILITY LOCATIONS AND SIGHT LINES TO BUILDING. MAKE ADJUSTMENTS AS REQUIRED TO AVOID PLANTING OVER THE UTILITIES AND/OR WITHIN SIGHTLINES TO ALL MEIJER BUILDING SIGNAGE.
- THE CENTER OF LARGE ISLANDS IS TO BE SIX INCHES HIGHER THAN TOP OF CURB. ENSURE ALL ISLANDS ARE SLOPED FOR POSITIVE DRAINAGE.
- ALL AREAS THAT REQUIRE SEEDING SHALL RECEIVE 4" MINIMUM TOPSOIL, UNLESS NOTED OTHERWISE.
- SEED/SOD ALL AREAS INDICATED ON THE LANDSCAPE PLAN. THE SOIL EROSION CONTROL PLAN AND ALL DISTURBED AREA. REVIEW AREAS OF SEEDING WITH CONSTRUCTION MANAGER PRIOR TO ANY SEEDING. ANY AREAS DISTURBED BY THE CONTRACTOR WHICH ARE BEYOND THE LIMITS OF GRADING AND EARTHWORK SHALL BE SEEDED AT NO ADDITIONAL COST TO THE OWNER.
- TOPSOIL SHALL BE TESTED AND AMENDED AS NECESSARY DURING FINAL GRADING AND PREPARATION FOR SEEDING.
- APPLY STARTER FERTILIZER (16-32-4) AT 250 POUNDS/ACRE TO SEEDED AREAS.

**LANDSCAPE REQUIREMENTS:**

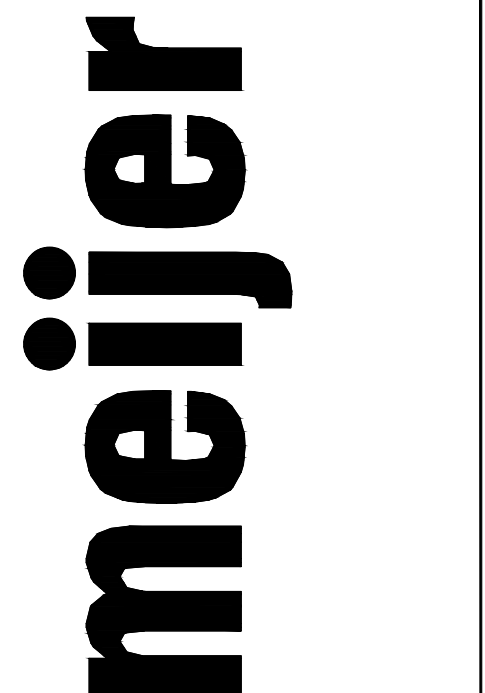
- PERIMETER LANDSCAPING:**  
 ONE (1) DECIDUOUS SHADE TREE PER EACH 25 LF OR FRACTION THEREOF AND ONE (1) ORNAMENTAL TREE PER EACH 35 LF OR FRACTION THEREOF.
- TIENKEN RD:**  
 19 DECIDUOUS TREES REQUIRED  
 2 EXISTING  
 0 PROPOSED  
 14 ORNAMENTAL TREES REQUIRED  
 6 EXISTING  
 13 PROPOSED  
 19 TOTAL
- ROCHESTER RD:**  
 5 DECIDUOUS TREES REQUIRED  
 1 EXISTING  
 0 PROPOSED  
 4 ORNAMENTAL TREES REQUIRED  
 4 EXISTING  
 3 PROPOSED  
 7 TOTAL
- PARKING LOT INTERIOR LANDSCAPING:**  
 ONE (1) DECIDUOUS SHADE TREE FOR EACH 150 SQUARE FEET OF REQUIRED INTERIOR LANDSCAPE AREA.  
 4,000 SF LANDSCAPE AREA REQUIRED  
 7,000 SF PROPOSED  
 27 TREES REQUIRED  
 11 EXISTING  
 18 PROPOSED  
 29 PROPOSED
- (\*) THE APPLICANT IS REQUESTING A DEVIATION FROM THE REQUIRED TOTAL AMOUNT OF TREES ALONG THE PERIMETER DUE TO THE SPACE AVAILABILITY AND THE EXISTING OVERHEAD UTILITIES ALONG TIENKEN ROAD.

**LANDSCAPING LEGEND**

- INTERIOR PARKING LOT TREES
- ORNAMENTAL TREE
- SHRUB HEDGE



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REV	DATE	DESCRIPTION
	08/02/24	SITE PLAN REVIEW

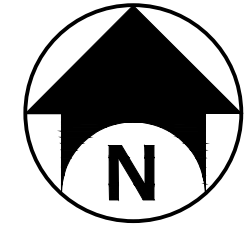
MEIJER STORE  
 1495 NORTH ROCHESTER ROAD  
 CITY OF ROCHESTER HILLS, MICHIGAN  
 LANDSCAPE PLAN

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
PROJECT MANAGER	DESIGNER
P. FURTAW	A. NODARSE

JOB NO.  
00-00-00000

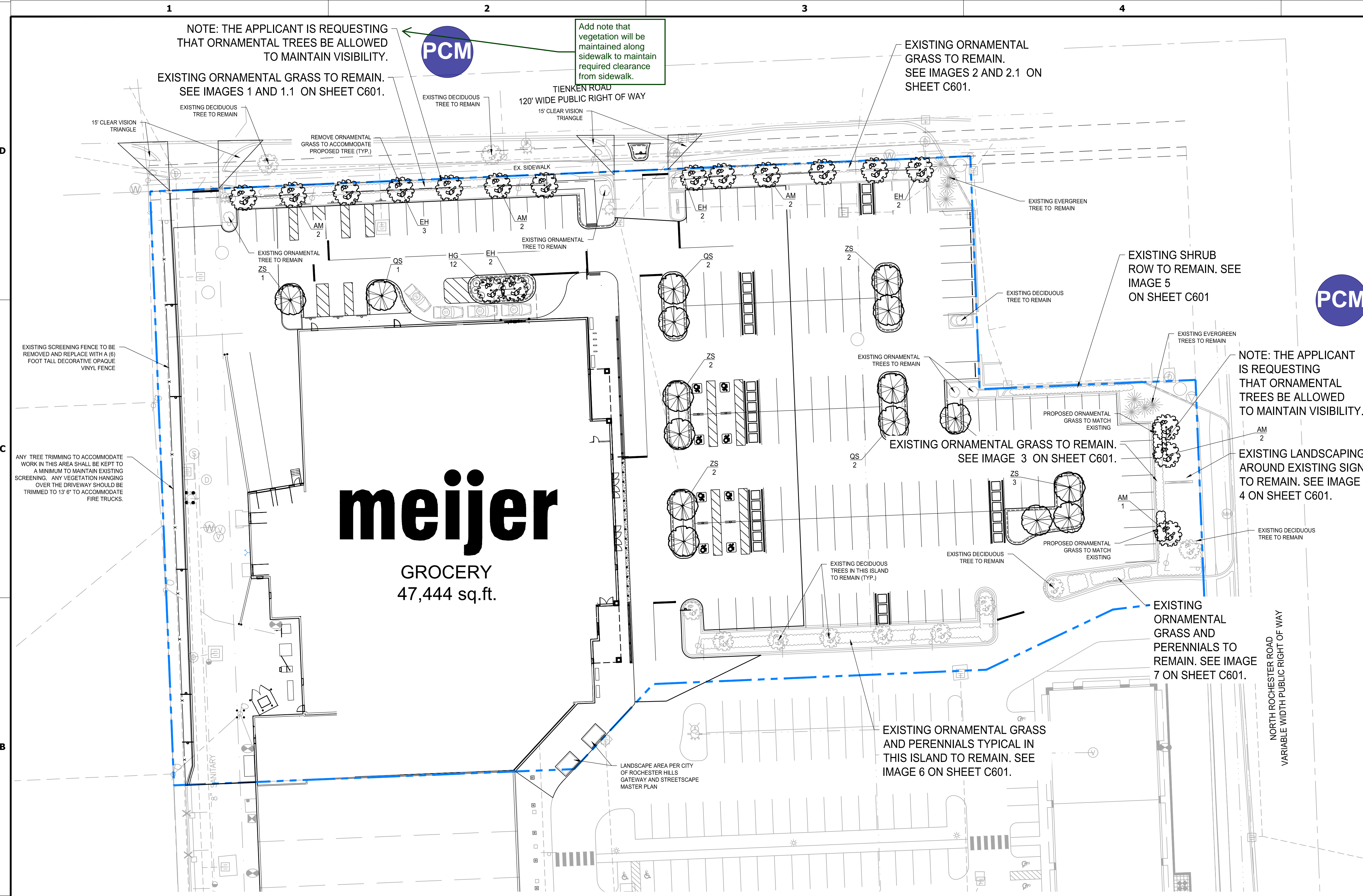
C-600

A1 LANDSCAPE PLAN  
1" = 30'



Provide landscaping cost estimate including irrigation

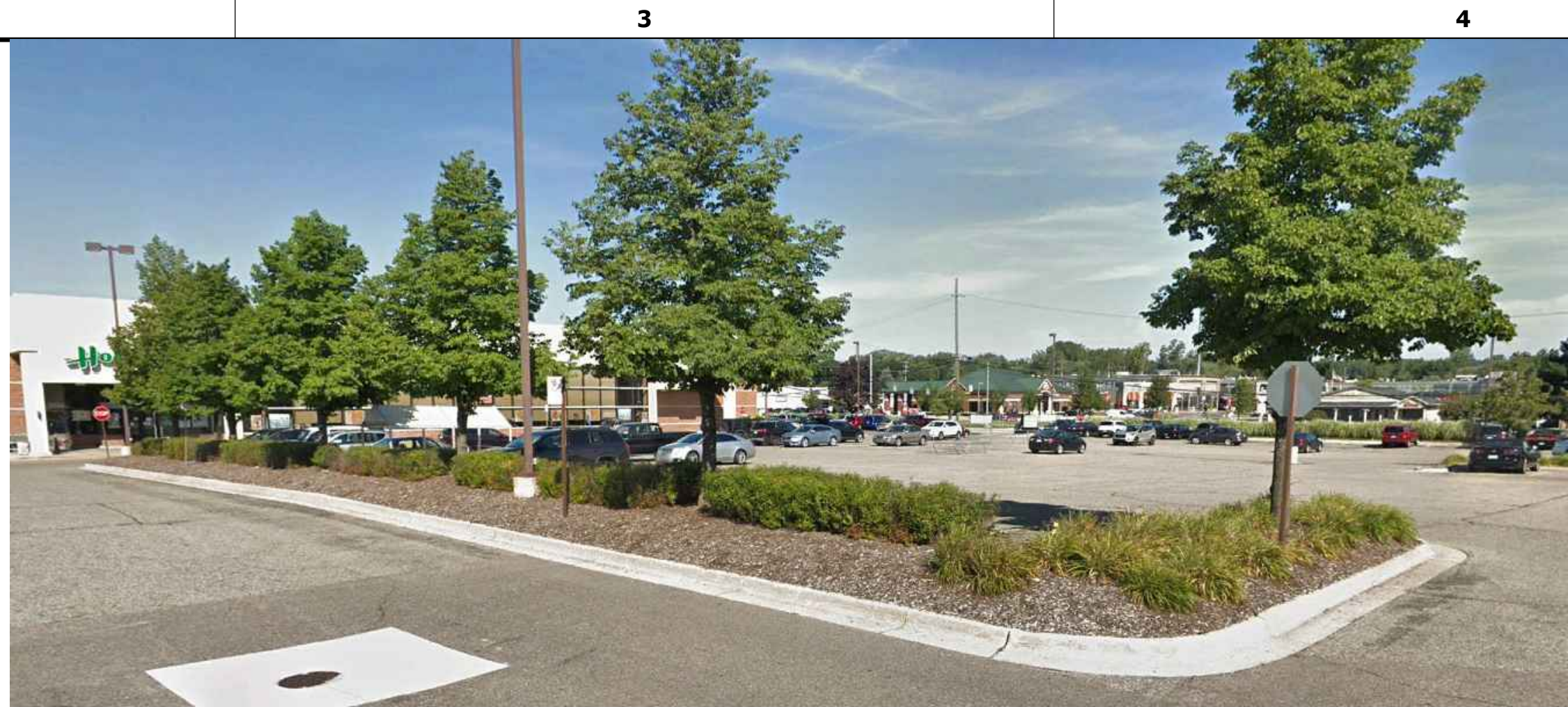
Key	Qty.	Botanical Name	Common Name	Installed Size
<b>Shade Trees</b>				
QS	8	Quercus robur 'Skinny Genes'	Skinny Genes Oak	3" Cal.
ZS	8	Zelkova serrata 'Musashino'	Musashino Columnar Zelko	3" Cal.
<b>Ornamental Trees</b>				
AM	9	Maackia amurensis	Amur Maackia	3" Cal.
EH	9	Carpinus betulus	European Hornbeam	3" Cal.
<b>Perennials / Groundcovers</b>				
HG	16	Hosta fortunei 'Gold Standard'	Gold Standard Hosta	No. 2



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 GROCERY  
 47,444 sq.ft.



7 IMAGE 7



6 IMAGE 6



5 IMAGE 5



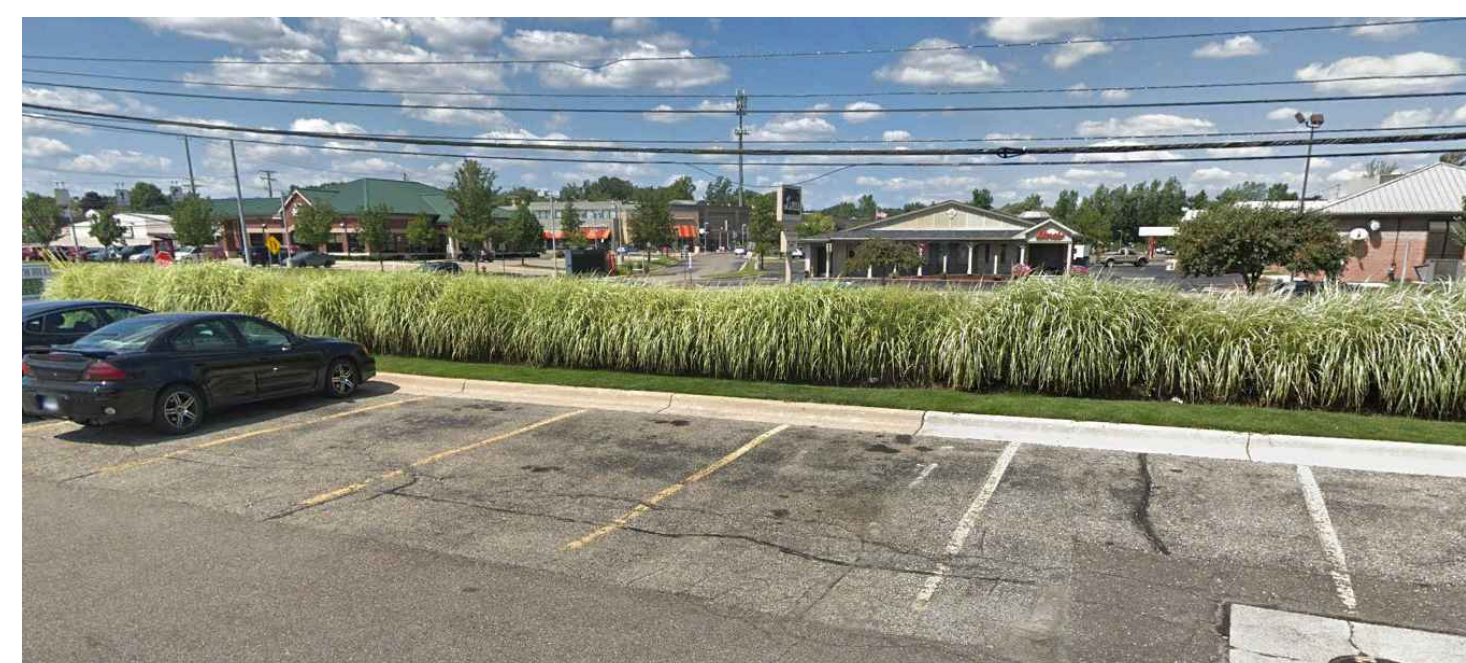
4 IMAGE 4



3 IMAGE 3



1.1 IMAGE 1.1



2.1 IMAGE 2.1



2 IMAGE 2



1 IMAGE 1



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REV	DATE	DESCRIPTION
-	08/02/24	SITE PLAN REVIEW

MEIJER STORE  
1495 NORTH ROCHESTER ROAD  
CITY OF ROCHESTER HILLS, MICHIGAN

LANDSCAPE PLAN

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
PROJECT MANAGER	DESIGNER
P. FURTAW	A. NODARSE

JOB NO.  
00-00-00000

C-601

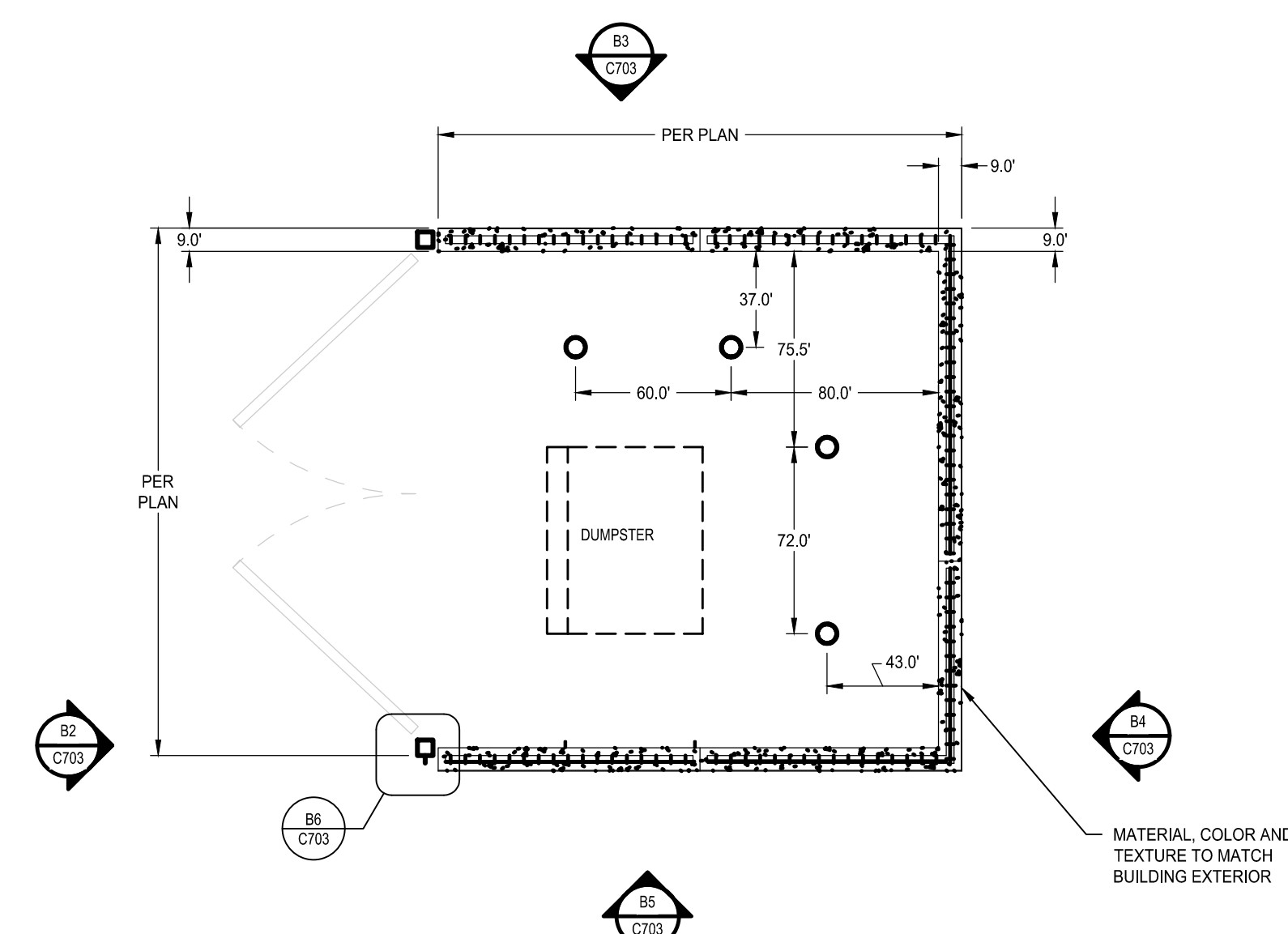
1

2

3

4

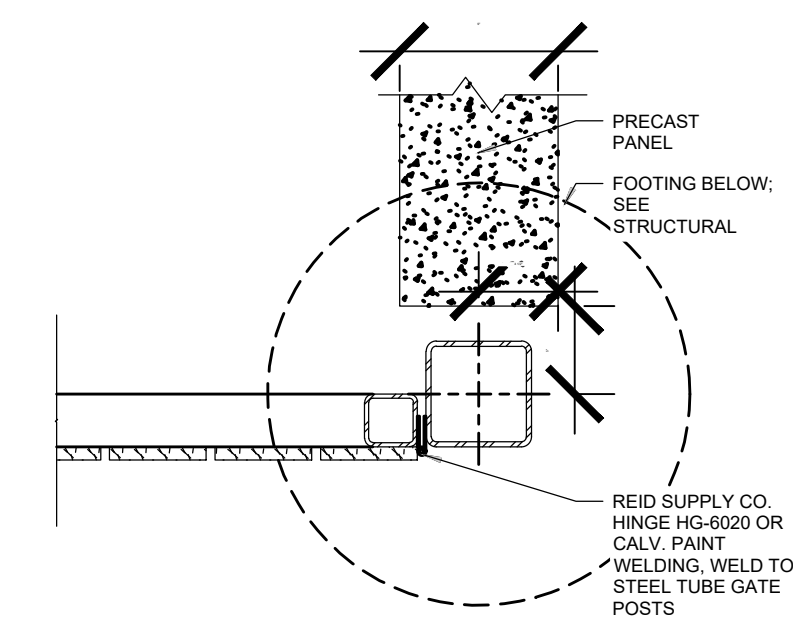
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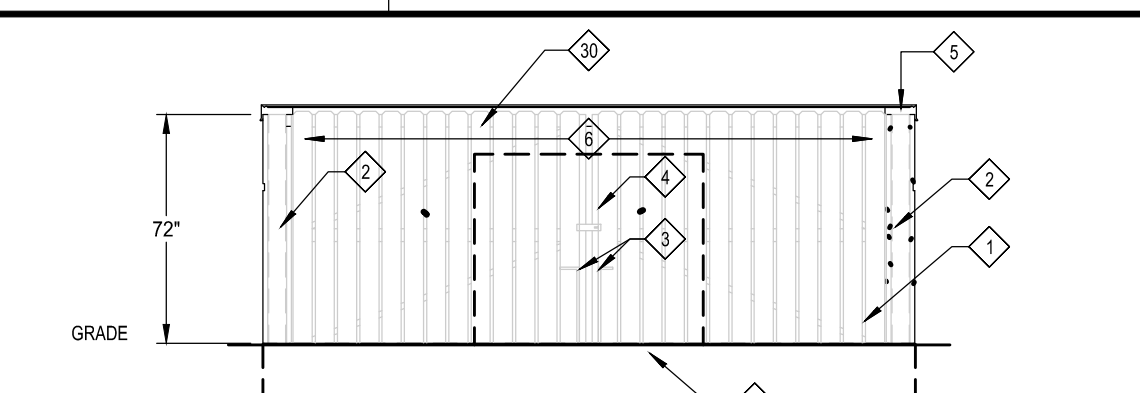
**B1 TRASH ENCLOSURE PLAN**  
NTS

**KEY NOTES:**

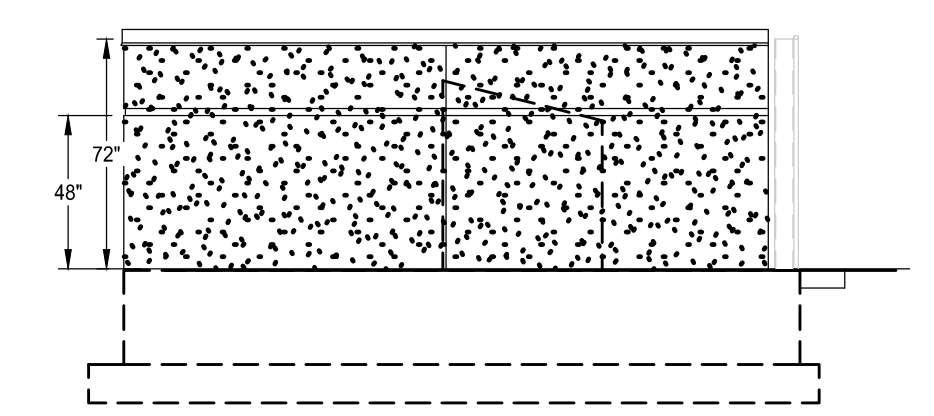
- 1 TUBE STEEL FRAME, SEE DETAIL D1/A-601
- 2 HSS 6X6X5/16" GALV. TUBE STEEL POST.
- 3 (2) EMBASSY HEAVY DUTY DROP RODS, ONE EACH GATE, MODERN FENCE TECHNOLOGIES KMS-HDEMBORG
- 4 LOCKABLE GATE LATCH, "EMBASSY" 1" HEAVY DUTY SLIDE BOLT LATCH (BY MODERN FENCE TECHNOLOGIES) PART NUMBER KMS-HDEMBSL-B, FINISH: BLACK
- 5 PREFINISHED METAL COPING.
- 6 1X6 WOOD GATE SLATS, STAINED CLEAR, ATTACHED TO GALVANIZED TUBE STEEL FRAME, HINGES WELDED TO TUBE STEEL GATE POST EMBEDDED IN CONCRETE FLOORING. SEE DETAIL B7/C703.
- 7 BOLLARD PIPE FOUNDATION AT TRASH ENCLOSURE.



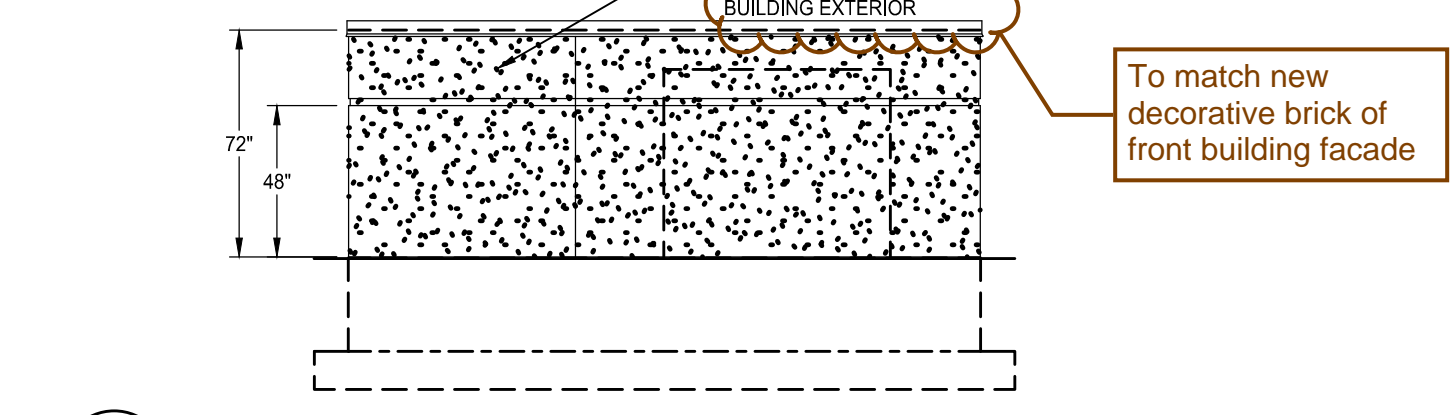
**B6 GATE HINCHE DETAIL**  
NTS



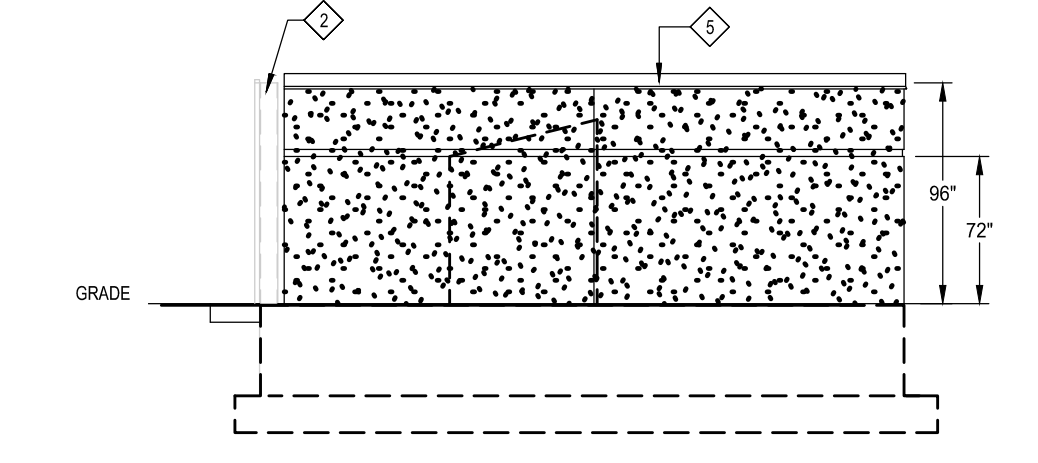
**B2 TRASH ENCLOSURE - FRONT ELEVATION**  
NTS



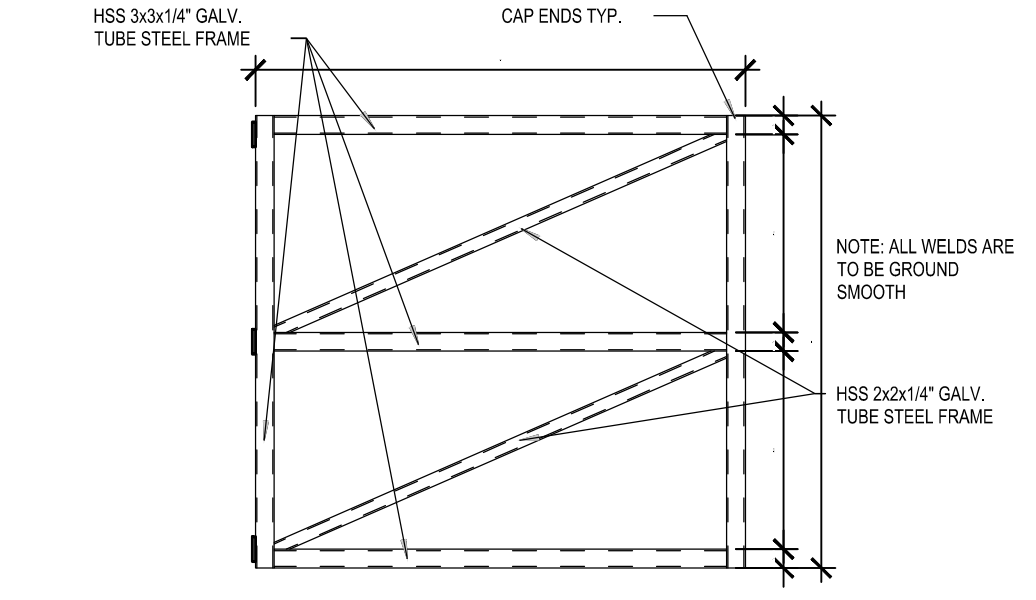
**B3 TRASH ENCLOSURE - LEFT SIDE ELEVATION**  
NTS



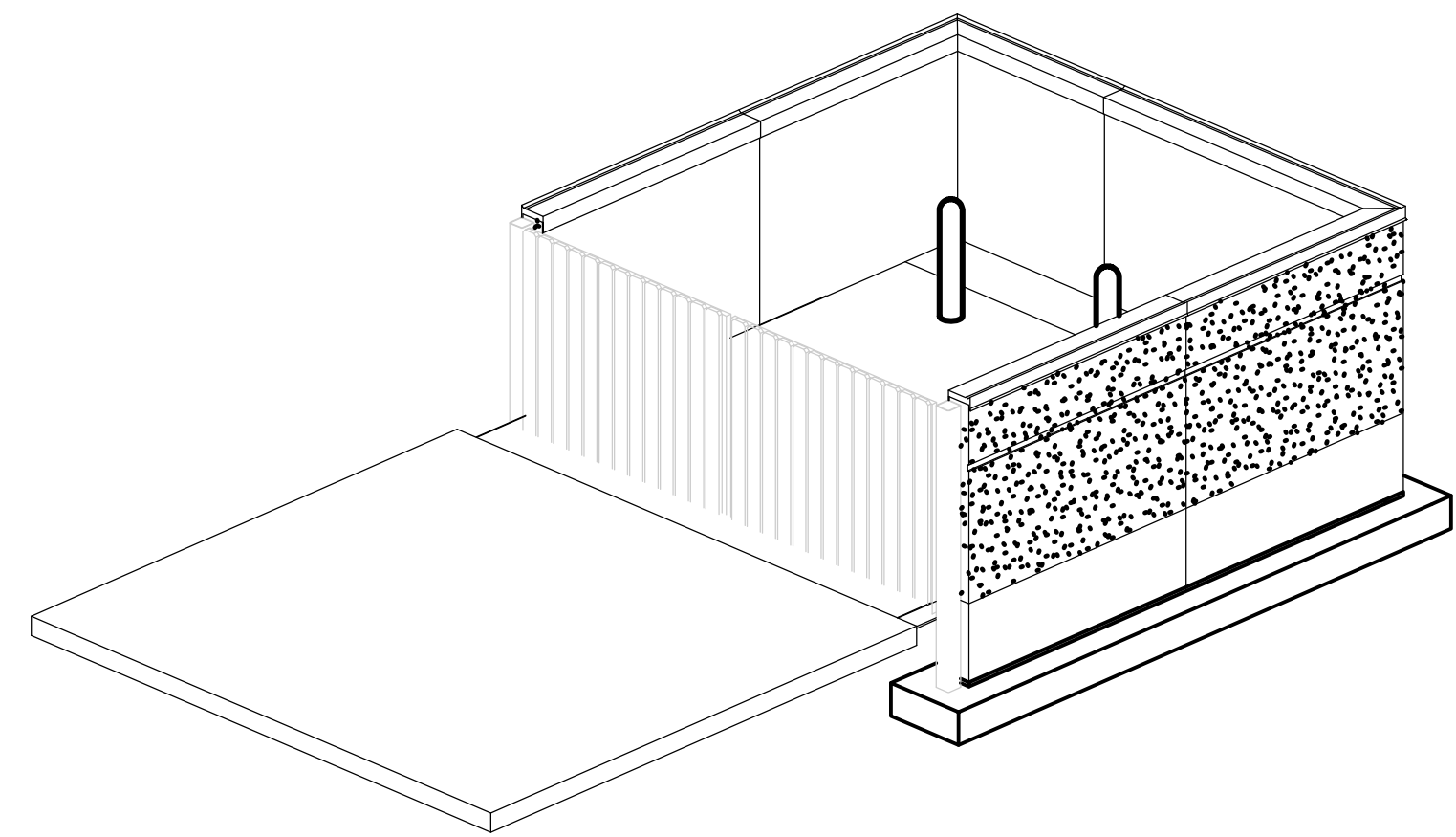
**B4 TRASH ENCLOSURE - BACK ELEVATION**  
NTS



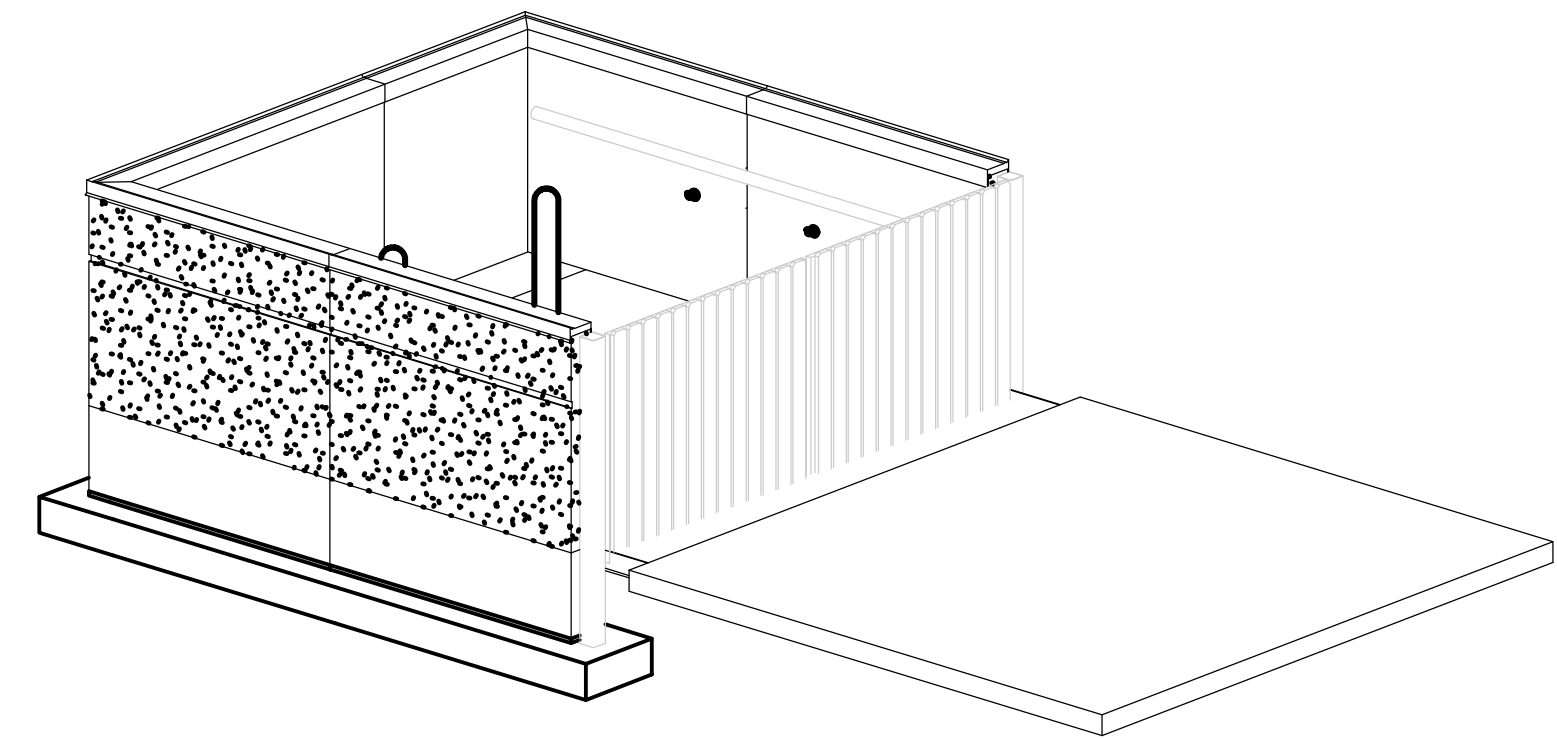
**B5 TRASH ENCLOSURE - RIGHT SIDE ELEVATION**  
NTS



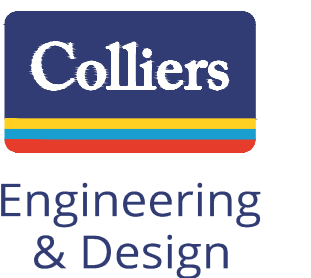
**B7 GATE FRAME DETAIL**  
NTS



**B8 TRASH ENCLOSURE ISOMETRIC**  
NTS



**B8 TRASH ENCLOSURE ISOMETRIC**  
NTS



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**meijer**

REV	DATE	DESCRIPTION
-	08/02/24	SITE PLAN REVIEW

I, PAUL FURTAW, CERTIFY THAT THE PLANS SUBMITTED FOR REVIEW WERE PREPARED BY ME OR BY PERSONS UNDER MY EMPLOY OR SUPERVISION. I AM THE RESPONSIBLE LICENSEE IN CHARGE OF THE PROJECT FOR THE FIRM PRODUCING THE DOCUMENTS. MY LICENSE IS IN GOOD STANDING WITH THE MICHIGAN LICENSING DEPARTMENT AND IS CURRENTLY ACTIVE.

MEIJER STORE  
1485 NORTH ROCHESTER ROAD  
CITY OF ROCHESTER HILLS, MICHIGAN

DETAILS

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
PROJECT MANAGER	DESIGNER
P. FURTAW	A. NODARSE

JOB NO.  
00-00-00000

C-700

REV	DATE	DESCRIPTION
-	08/02/24	SITE PLAN REVIEW

I, PAUL FURTAW, CERTIFY THAT THE PLANS SUBMITTED FOR REVIEW WERE PREPARED BY ME OR BY PERSONS UNDER MY EMPLOY OR SUPERVISION. I AM THE RESPONSIBLE LICENSEE IN CHARGE OF THE PROJECT FOR THE FIRM PRODUCING THE DOCUMENTS. MY LICENSE IS IN GOOD STANDING WITH THE MICHIGAN LICENSING DEPARTMENT AND IS CURRENTLY ACTIVE.

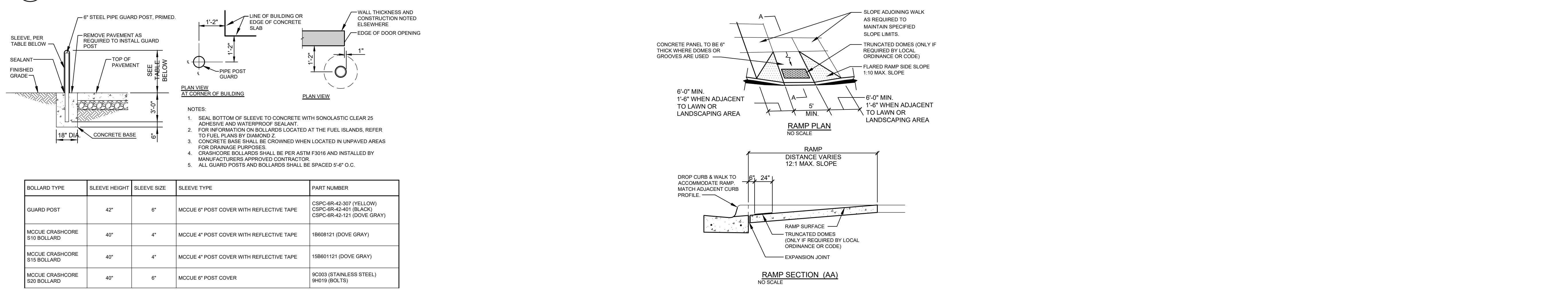
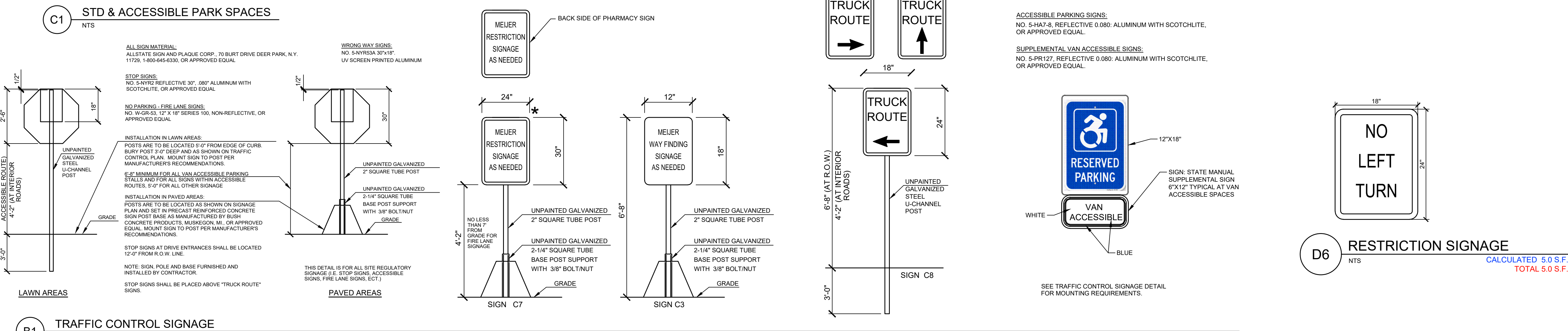
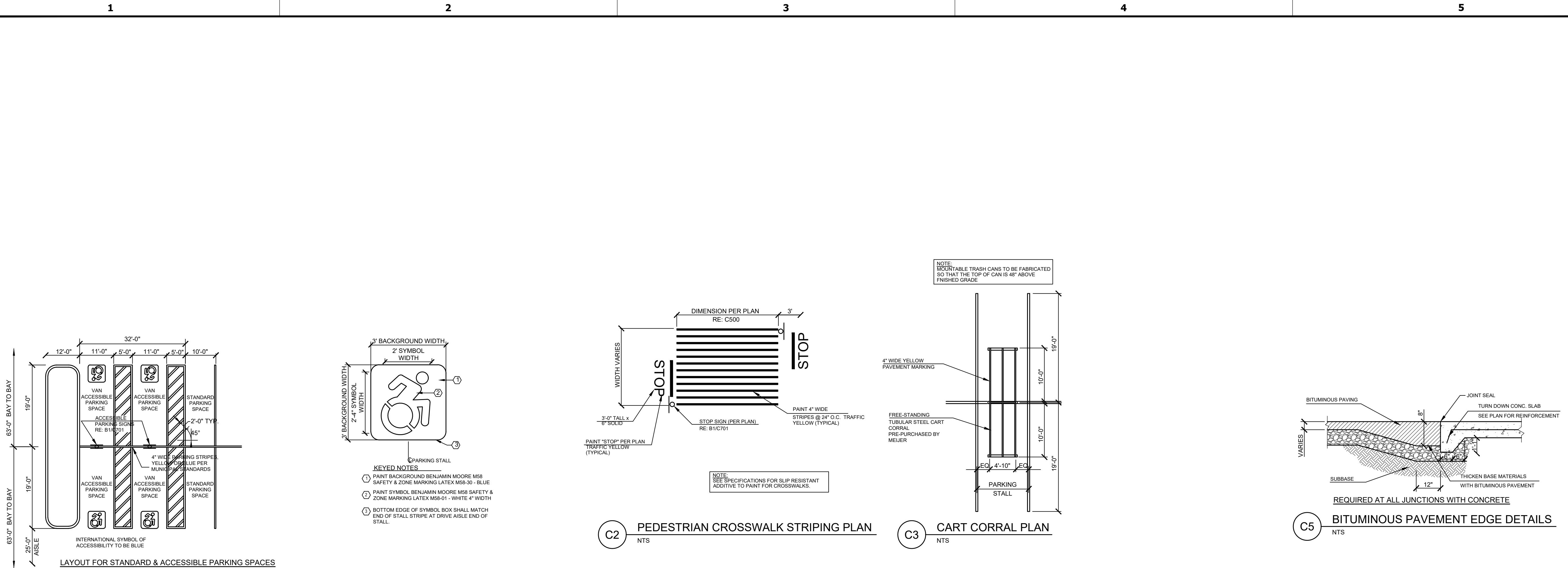
MEIJER STORE  
1495 NORTH ROCHESTER ROAD  
CITY OF ROCHESTER HILLS, MICHIGAN

DETAILS

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
PROJECT MANAGER	DESIGNER
P. FURTAW	A. NODARSE

JOB NO.  
00-00-00000

C-701



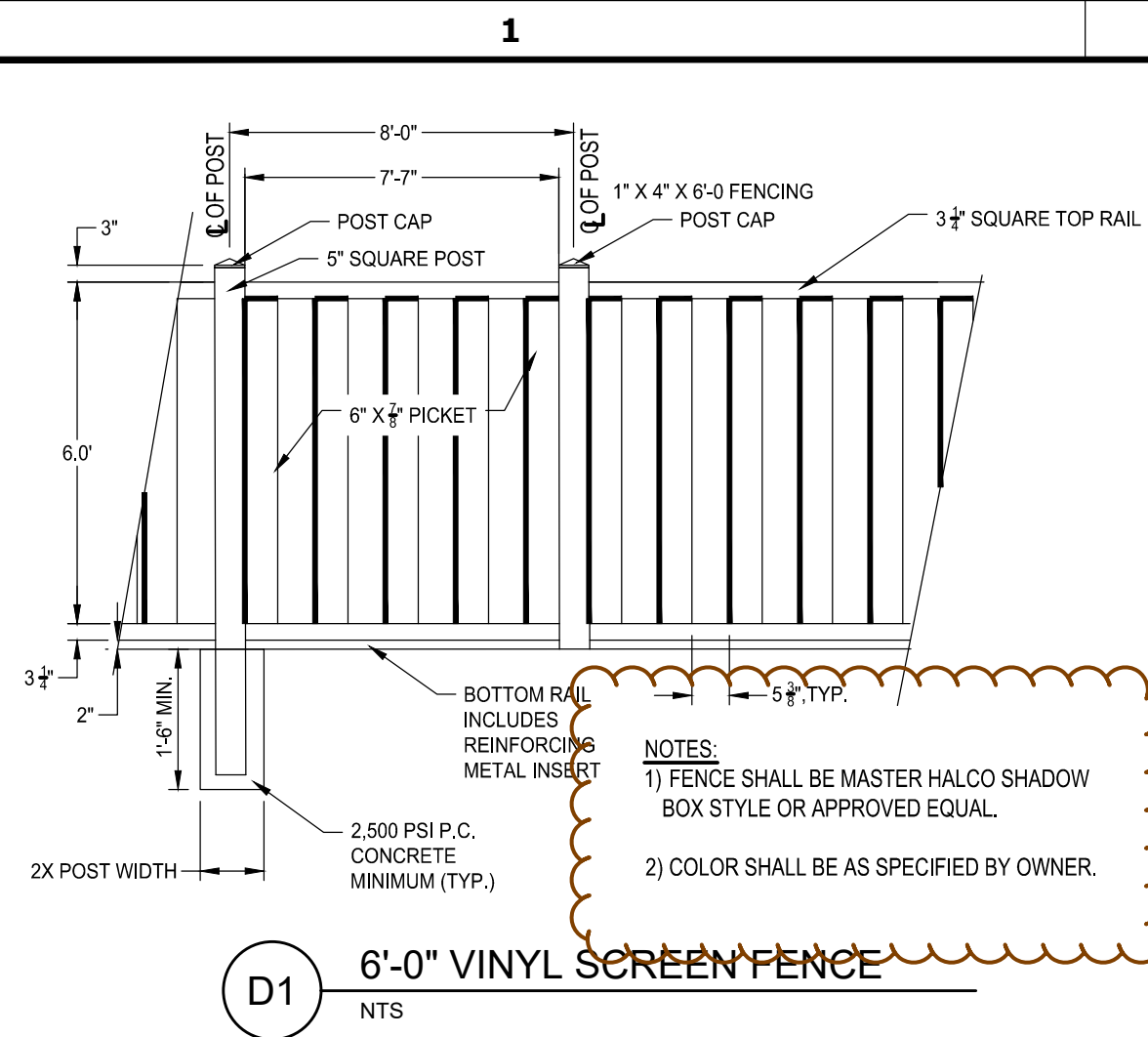
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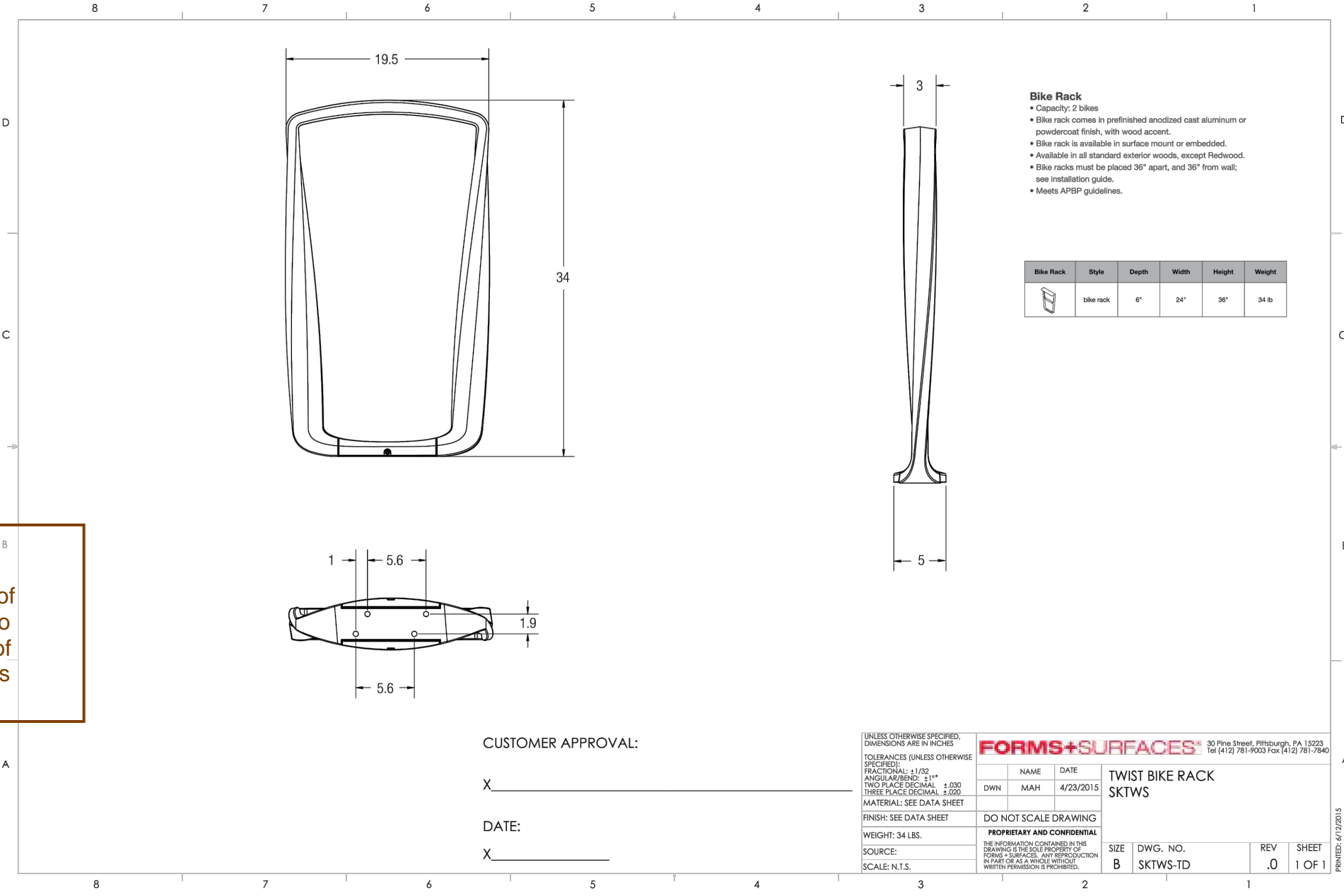
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Bicycle Parking | Design Family: Innovative

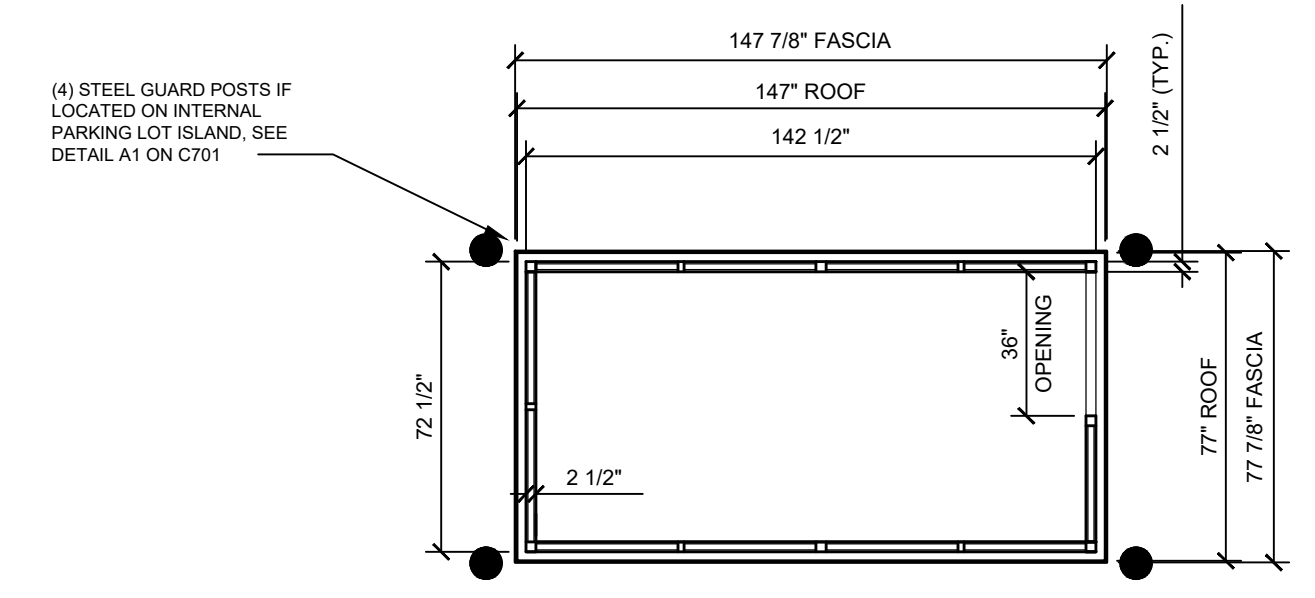
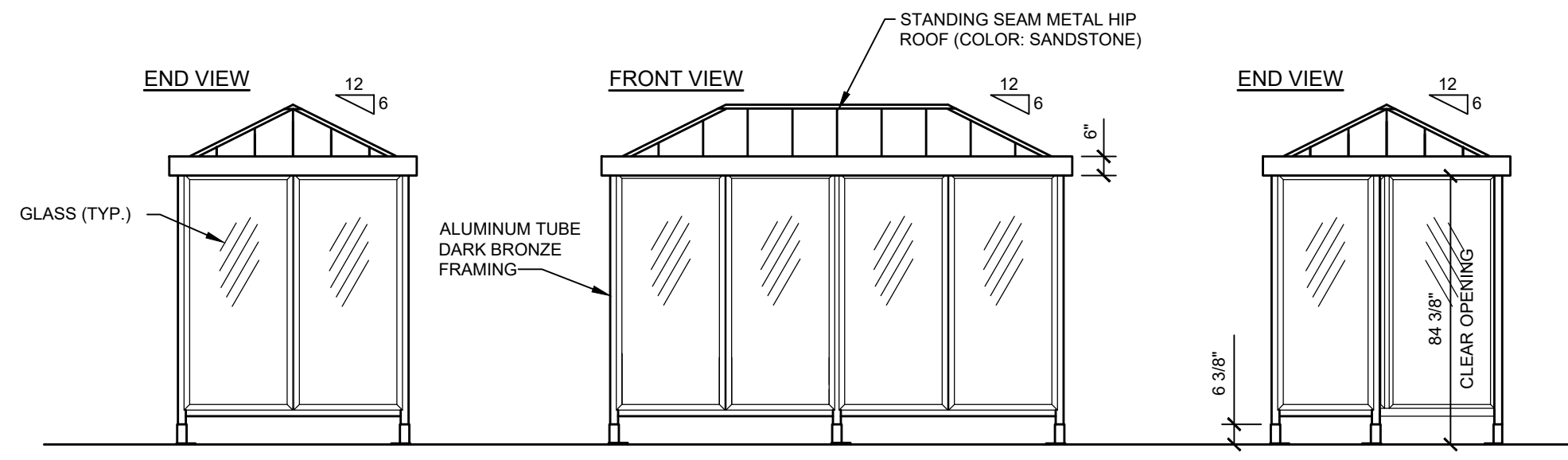


D1 6'-0" VINYL SCREEN FENCE  
NTS

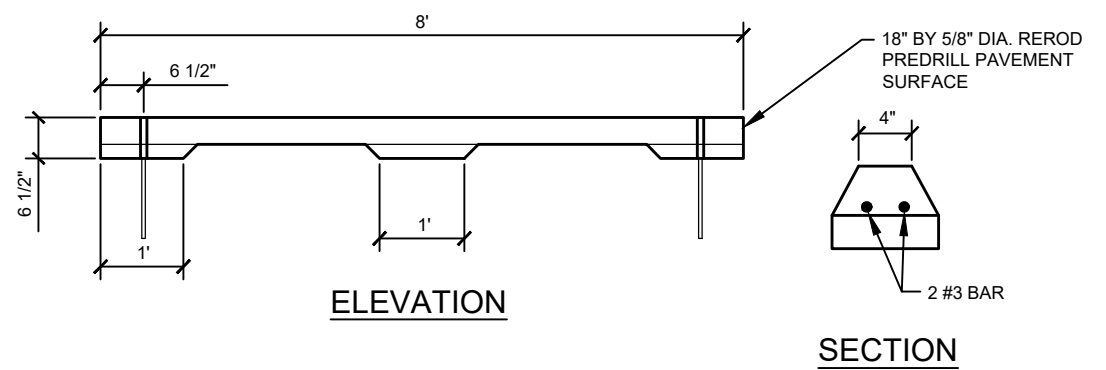
Provide color  
Modifications of fence may also require City of Rochester Hills approval.



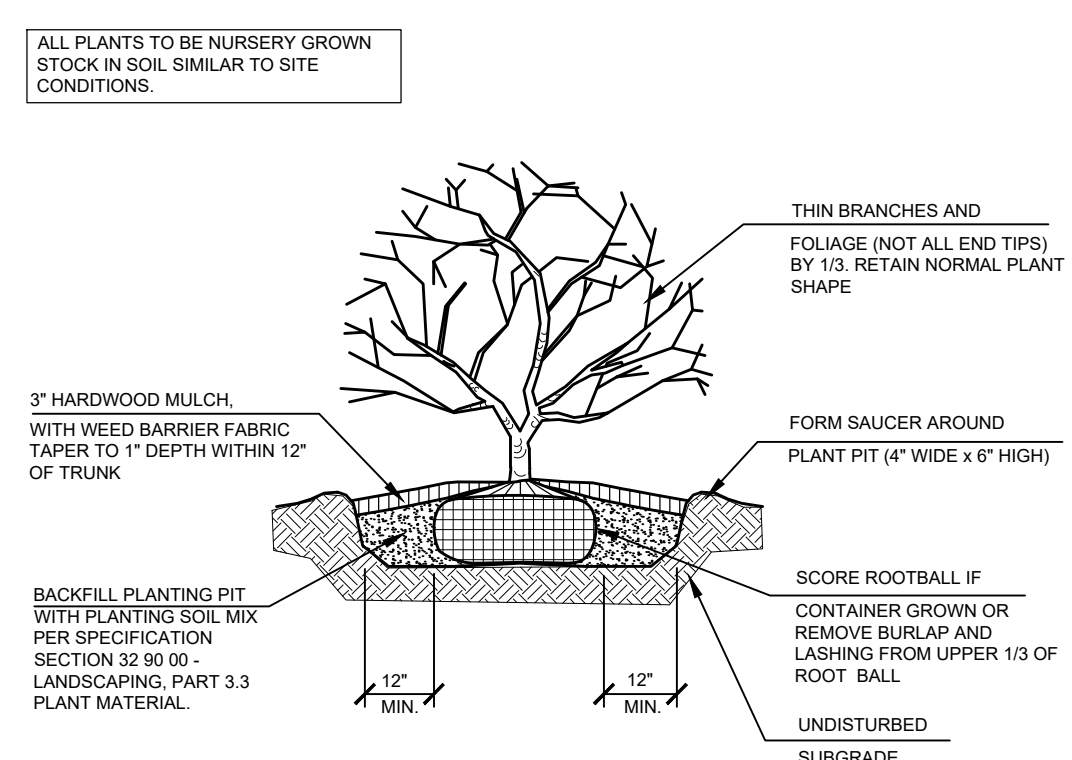
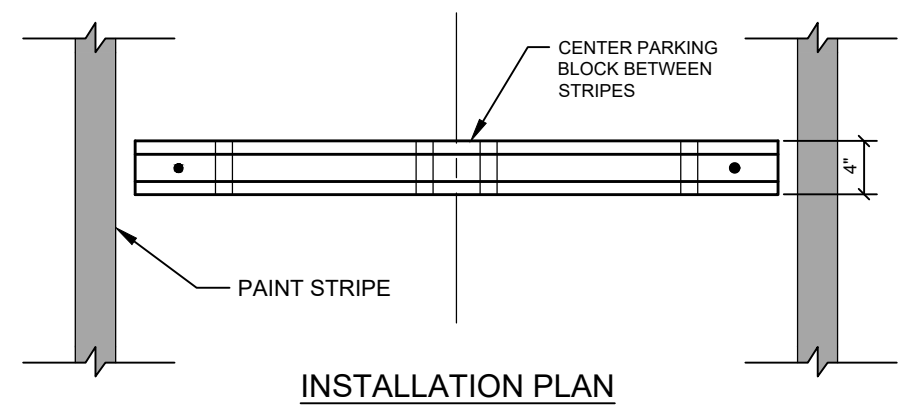
C2 BIKE RACK  
NTS



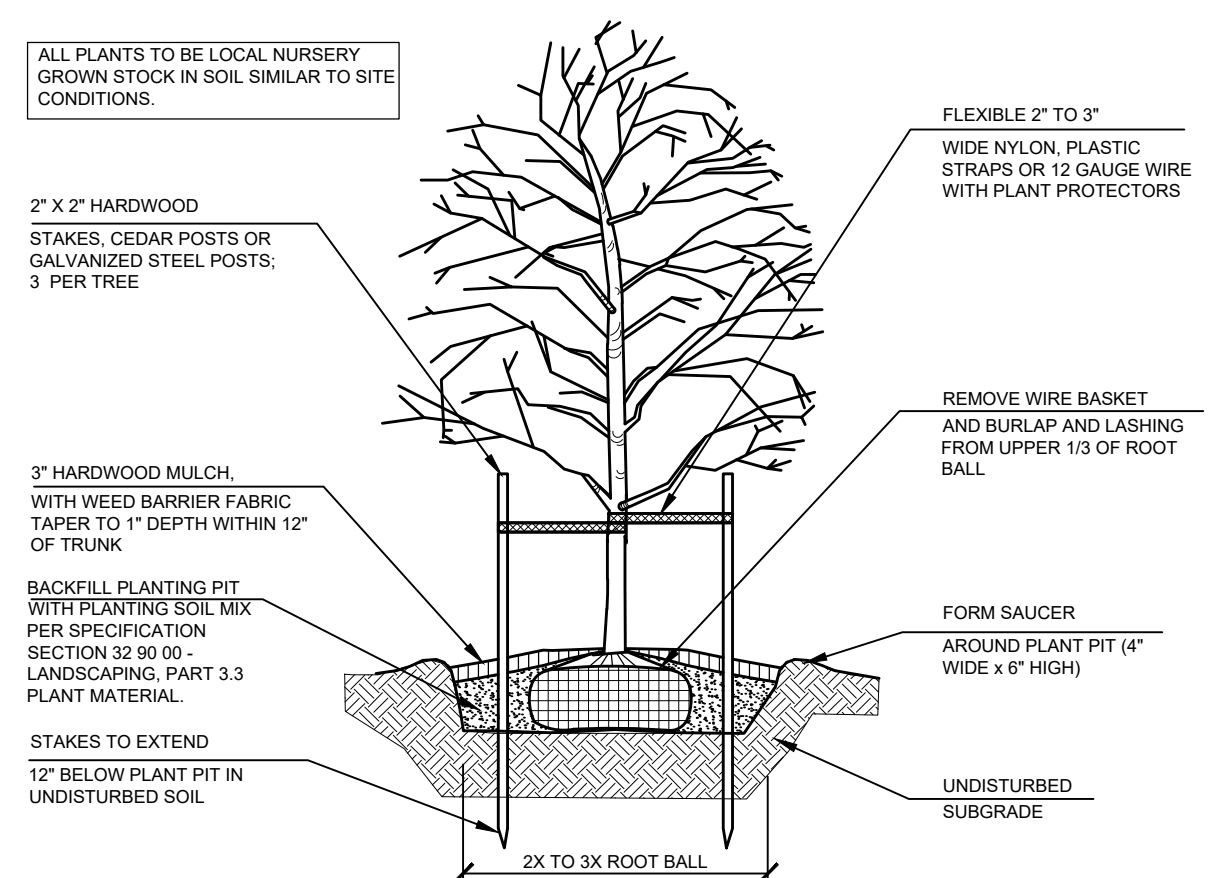
C4 EXTERIOR SHELTER  
NTS



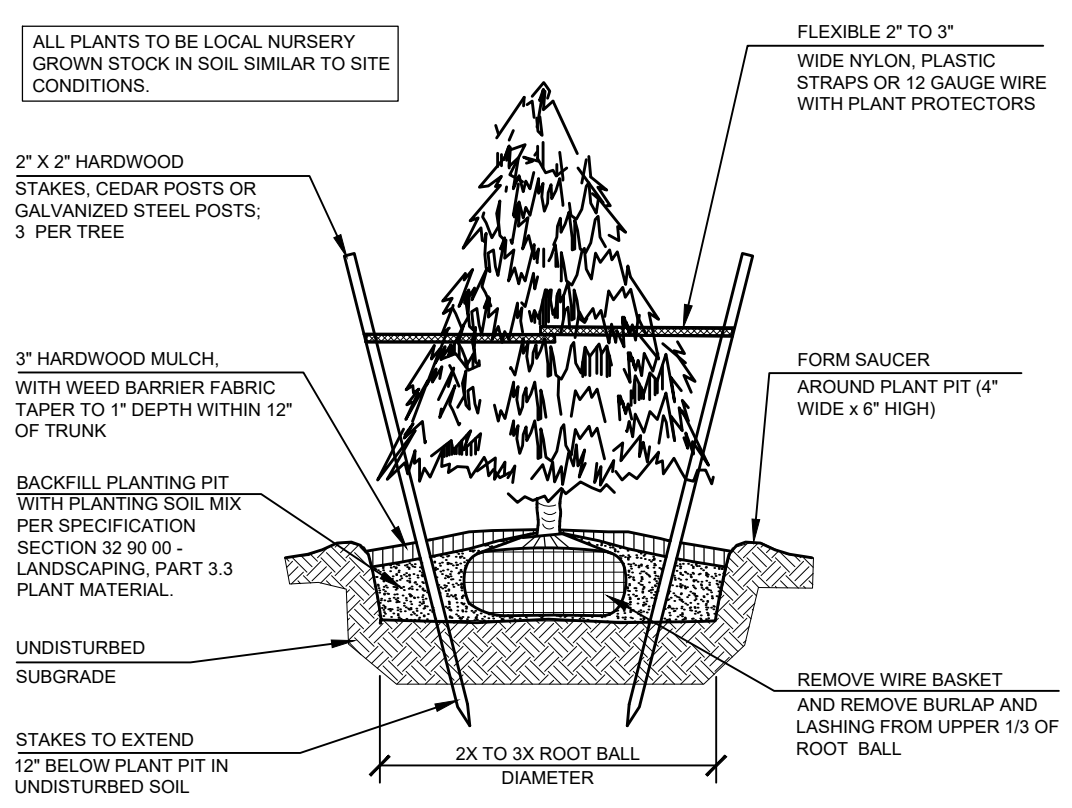
B3 PRECAST CONCRETE PARKING BLOCK  
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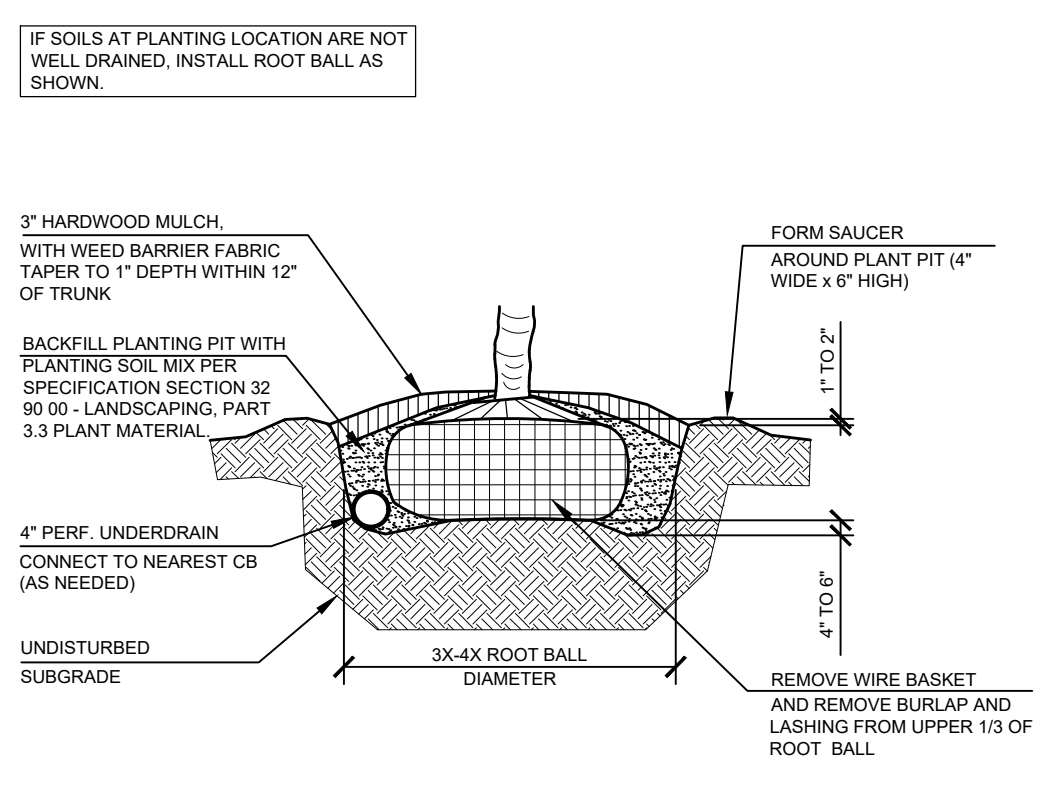
A1 SHRUB PLANTING  
NTS



A2 DECIDUOUS TREE PLANTING  
NTS



A3 EVERGREEN TREE PLANTING  
NTS



A4 POORLY DRAINED SOILS PLANTING  
NTS

REV	DATE	DESCRIPTION
-	08/02/24	SITE PLAN REVIEW

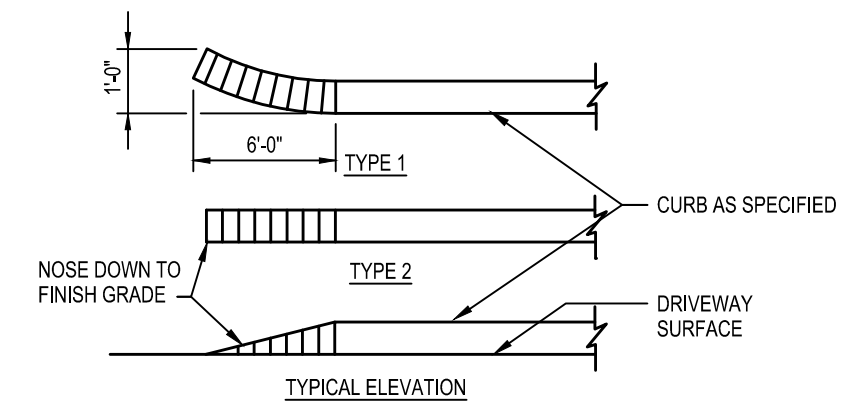
I, PAUL FURTAW, CERTIFY THAT THE PLANS SUBMITTED FOR REVIEW WERE PREPARED BY ME OR BY PERSONS UNDER MY EMPLOY OR SUPERVISION. I AM THE RESPONSIBLE LICENSEE IN CHARGE OF THE PROJECT FOR THE FIRM PRODUCING THE DOCUMENTS. MY LICENSE IS IN GOOD STANDING WITH THE MICHIGAN LICENSING DEPARTMENT AND IS CURRENTLY ACTIVE.

MEIJER STORE  
1495 NORTH ROCHESTER ROAD  
CITY OF ROCHESTER HILLS, MICHIGAN

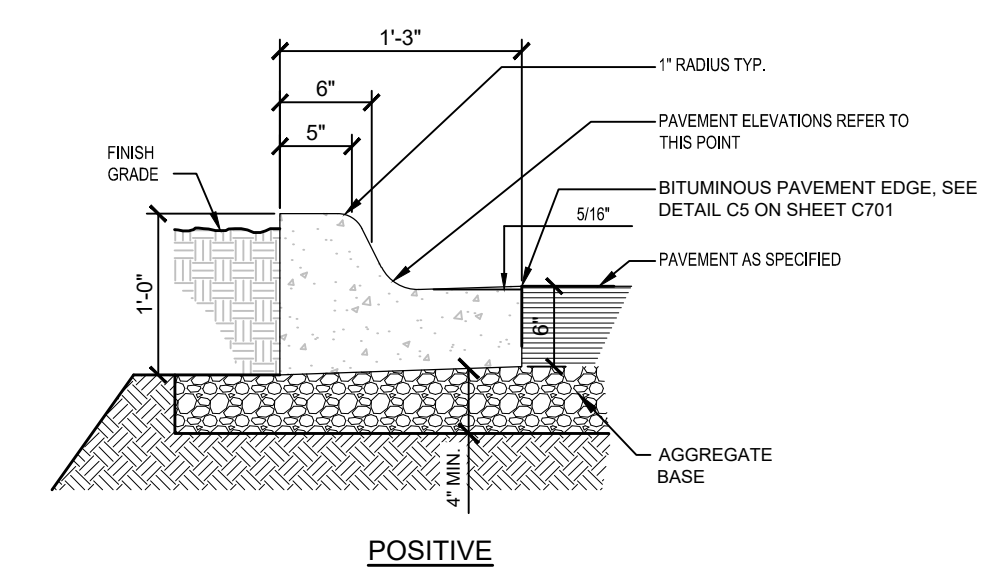
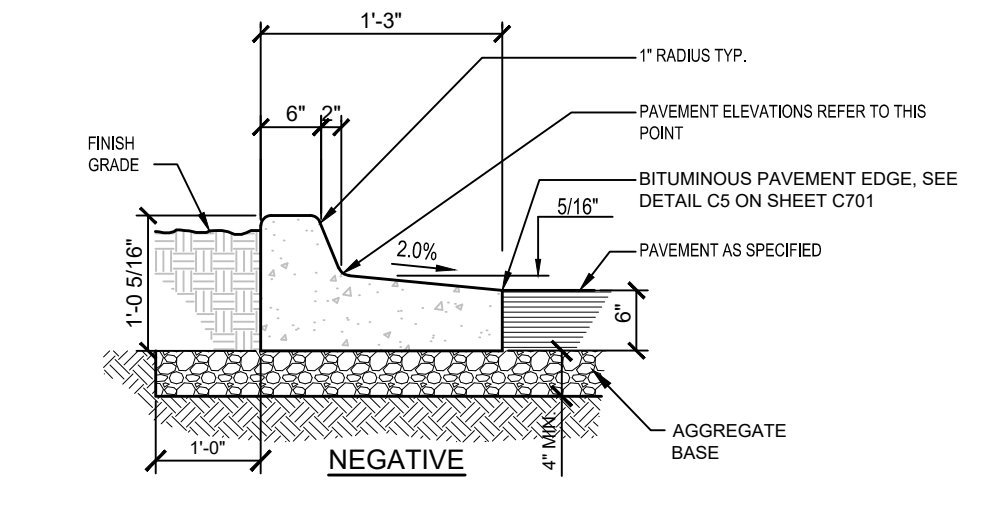
ISSUED FOR:	
PERMIT	
BID	
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PROJECT MANAGER	DESIGNER
P. FURTAW	A. NODARSE

JOB NO.  
00-00-00000

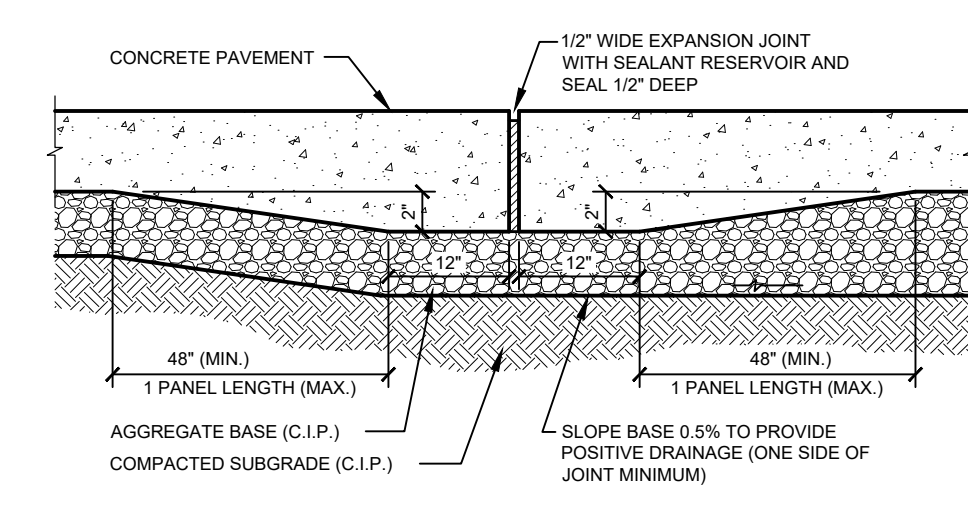
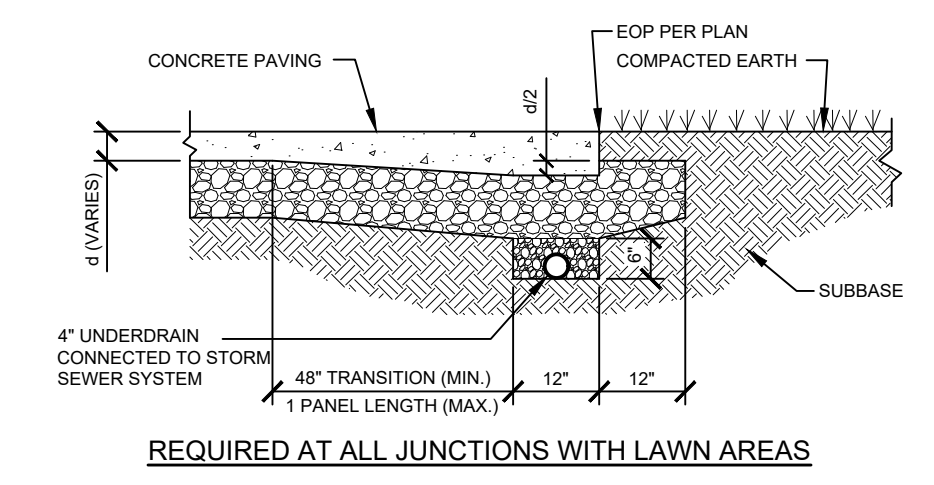
C-702



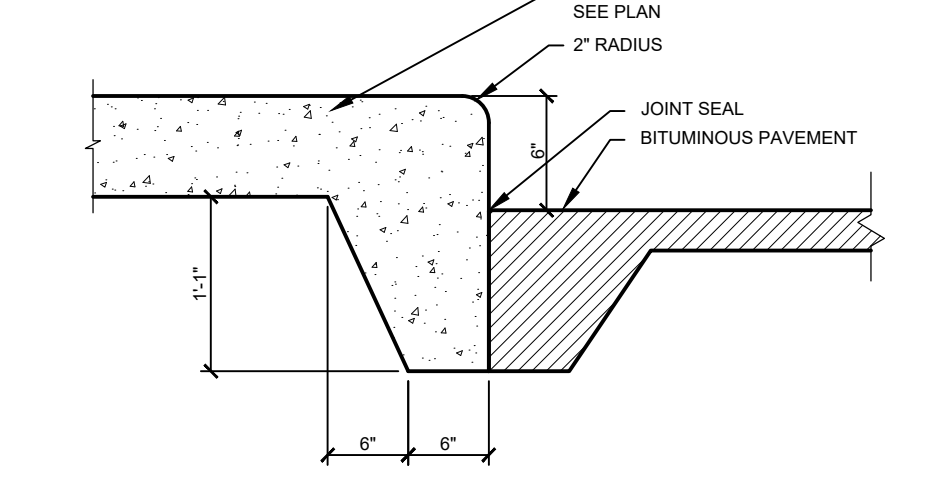
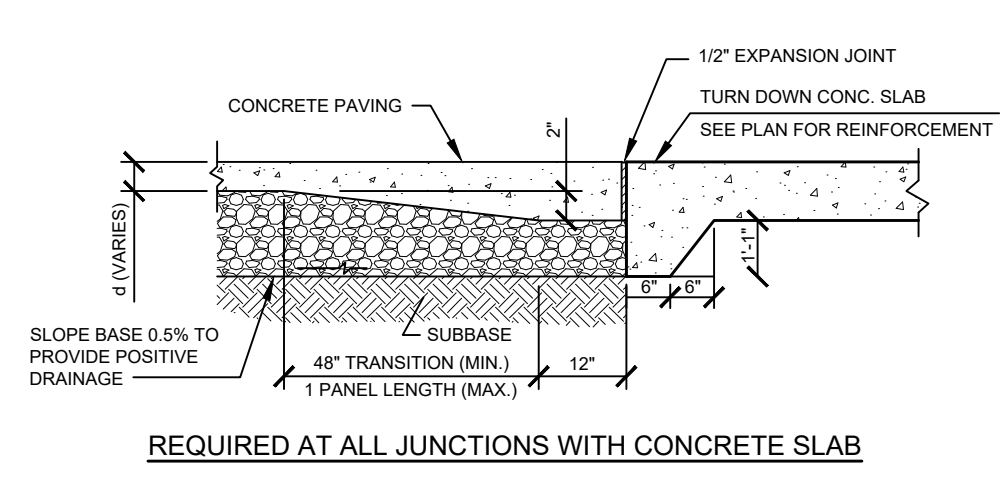
E4 CURB TAPER  
NTS



E6 STRAIGHT CURB AND GUTTER  
NTS

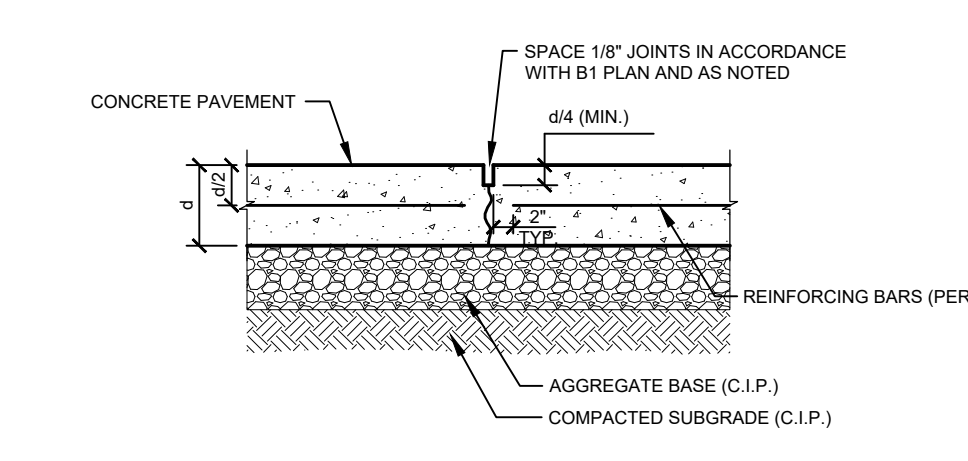


C4 EXPANSION JOINT  
NTS



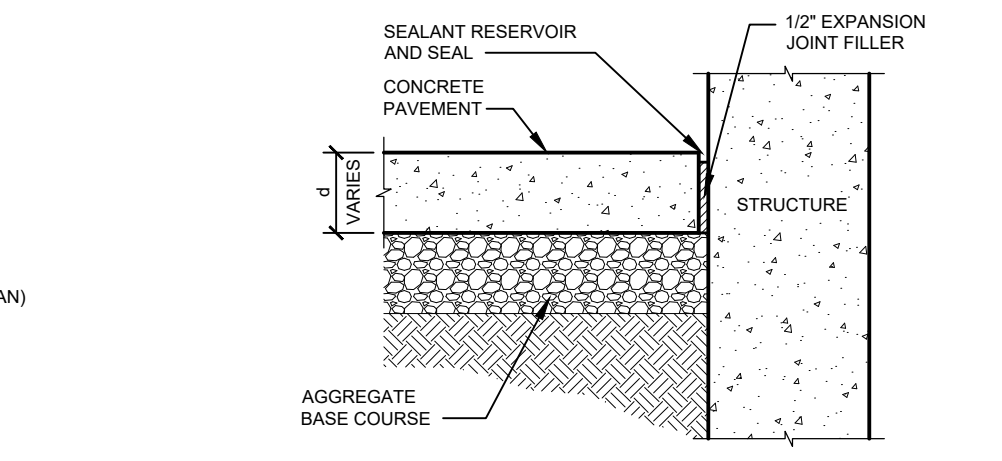
C5 CONCRETE PAVEMENT EDGE DETAIL  
NTS

C6 EXTERIOR SHELTER SLAB DETAIL  
NTS

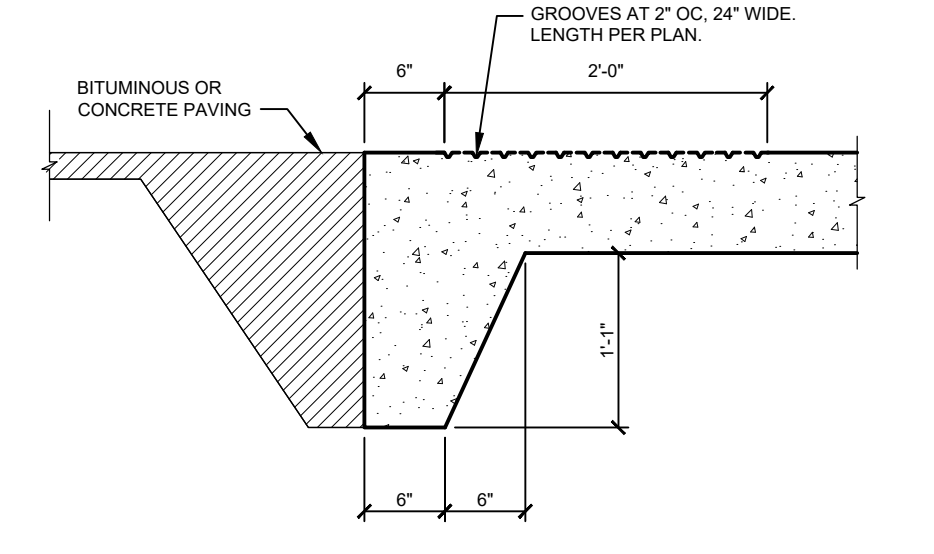


NOTES:  
1) MAXIMUM SPACING FOR CONTRACTION JOINTS SHALL BE 10' FOR CURB AND 20' FOR SLABS OR AS OTHERWISE NOTED IN THE PLANS.

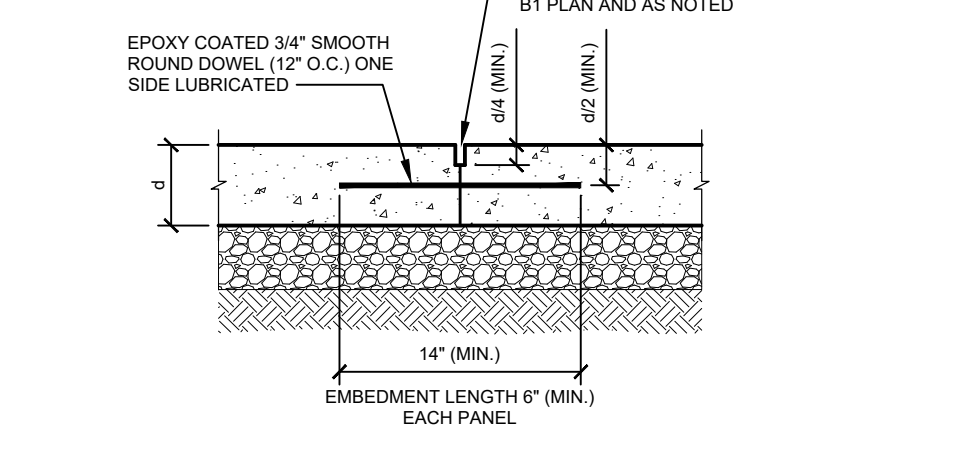
B4 CONTRACTION JOINT (UNDOWELED)  
NTS



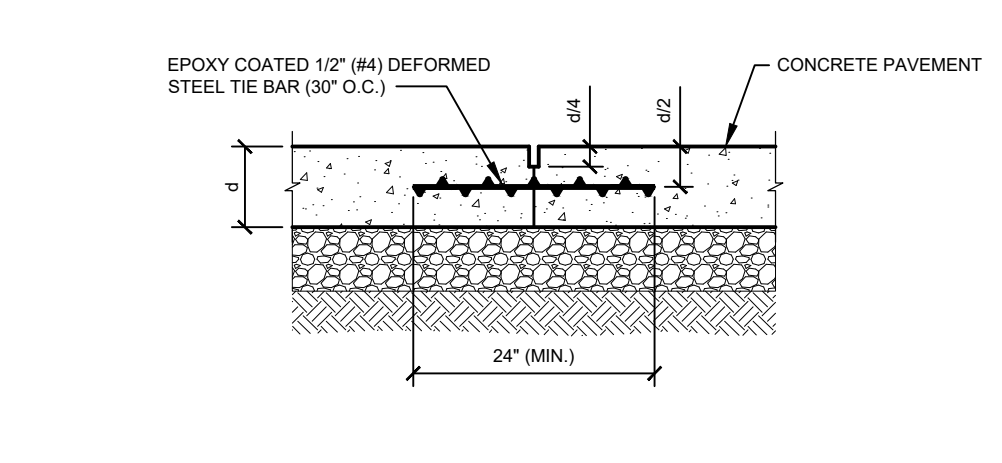
B5 CONCRETE PAVEMENT EDGE  
NTS



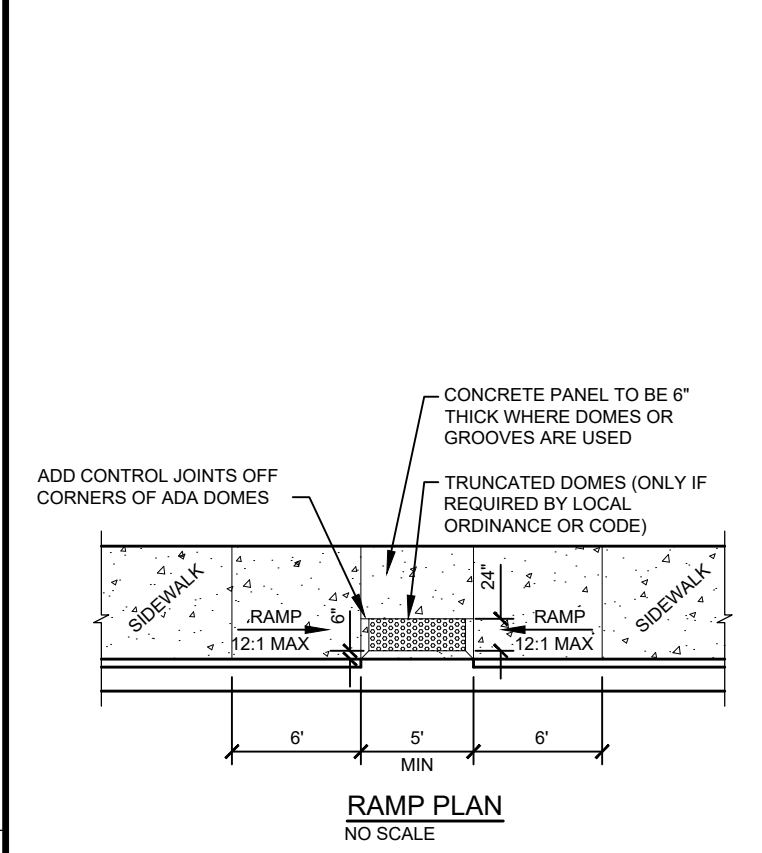
B6 CONCRETE GROOVE DETAIL  
NTS



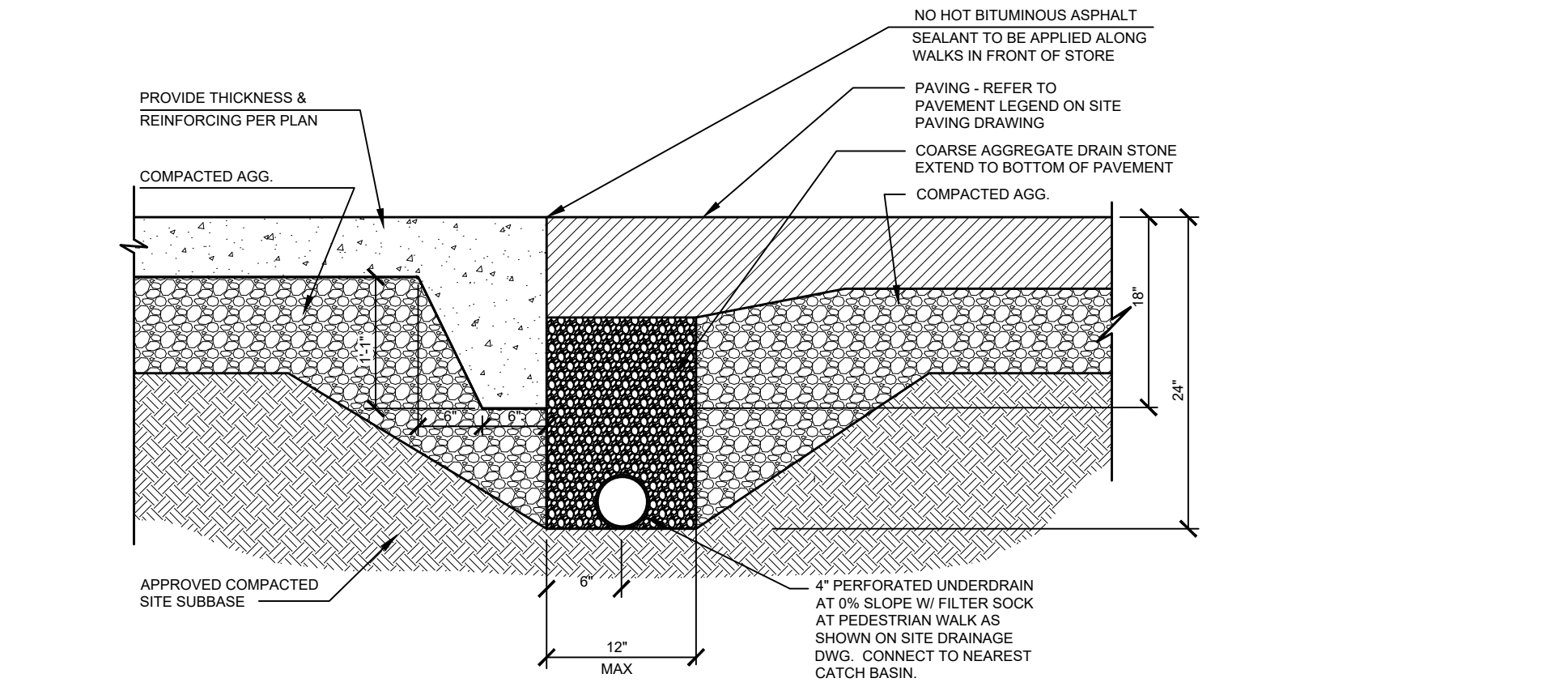
A4 DOWELED BUTT JOINT  
NTS



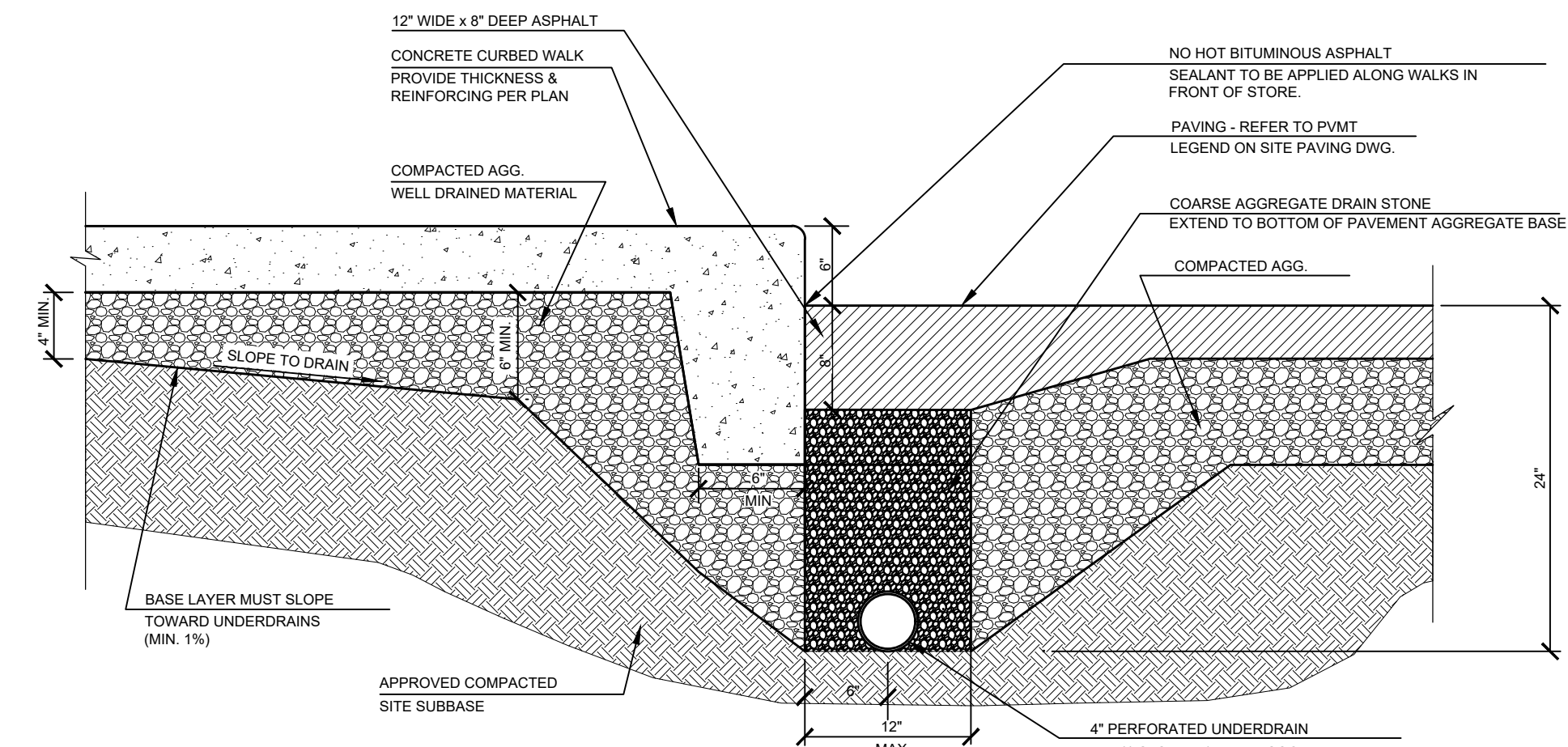
A5 TIED BUTT JOINT  
NTS



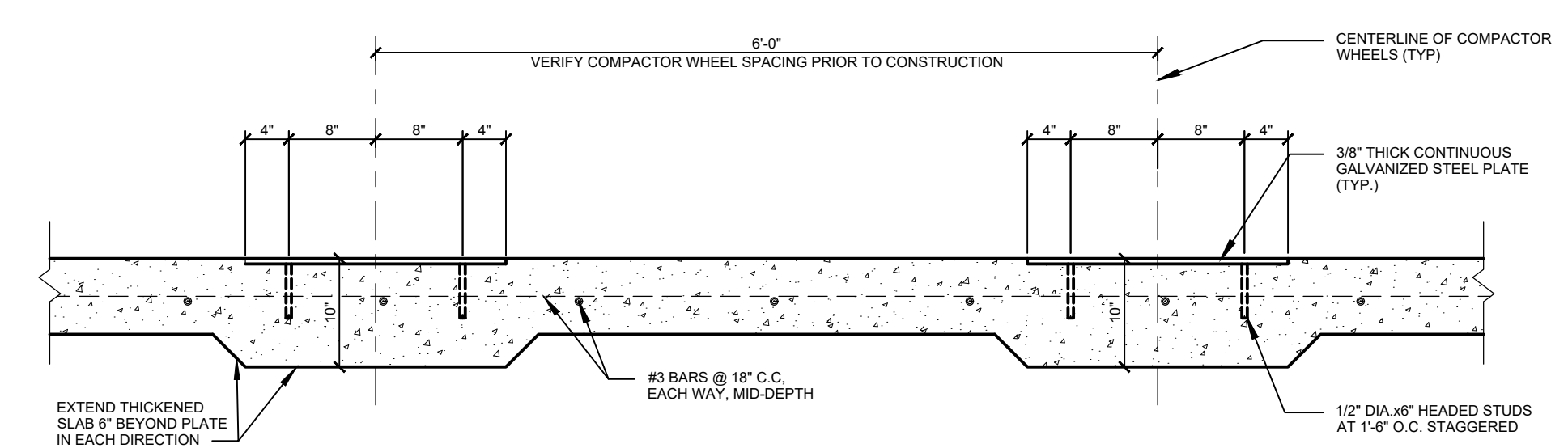
C1 TRUNCATED DOME DETAIL  
NTS



C2 UNDERDRAIN AT CONCRETE EDGE  
NTS



B2 CONCRETE CURBED WALK  
NTS



A2 COMPACTOR SLAB DETAIL  
NTS

REV	DATE	DESCRIPTION
-	08/02/24	SITE PLAN REVIEW

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MEIJER STORE  
1495 NORTH ROCHESTER ROAD  
CITY OF ROCHESTER HILLS, MICHIGAN  
CONCRETE PAVING  
DETAILS

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
PROJECT MANAGER	DESIGNER
P. FURTAW	A. NODARSE

JOB NO.  
00-00-00000

C-703





THE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE FOLLOWING CODES. NOTIFY THE ARCHITECT OF ANY CONFLICTS:

- CODES:**
- BUILDING CODE: 2015 MICHIGAN BUILDING CODE
  - MECHANICAL CODE: 2021 MICHIGAN MECHANICAL CODE
  - PLUMBING CODE: 2021 MICHIGAN PLUMBING CODE
  - ELECTRIC CODE: 2021 MICHIGAN ELECTRICAL CODE — 2023 NEC
  - BARRIER FREE CODE: 2015 MICHIGAN BUILDING CODE
  - ENERGY CODE: 2015 MICHIGAN ENERGY CODE
  - HEALTH DEPT REG: 2009 MICHIGAN MODIFIED FOOD CODE
  - FIRE CODE: 2015 INTERNATIONAL FIRE CODE
  - FIRE ALARM STANDARD: NATIONAL FIRE ALARM STD. CODE (NFPA 72-2013)
  - ACCESSIBILITY CODE: 2009 ANSICC A117.1
  - ENERGY STANDARD: ASHRAE 90.1 2013

VICINITY MAP



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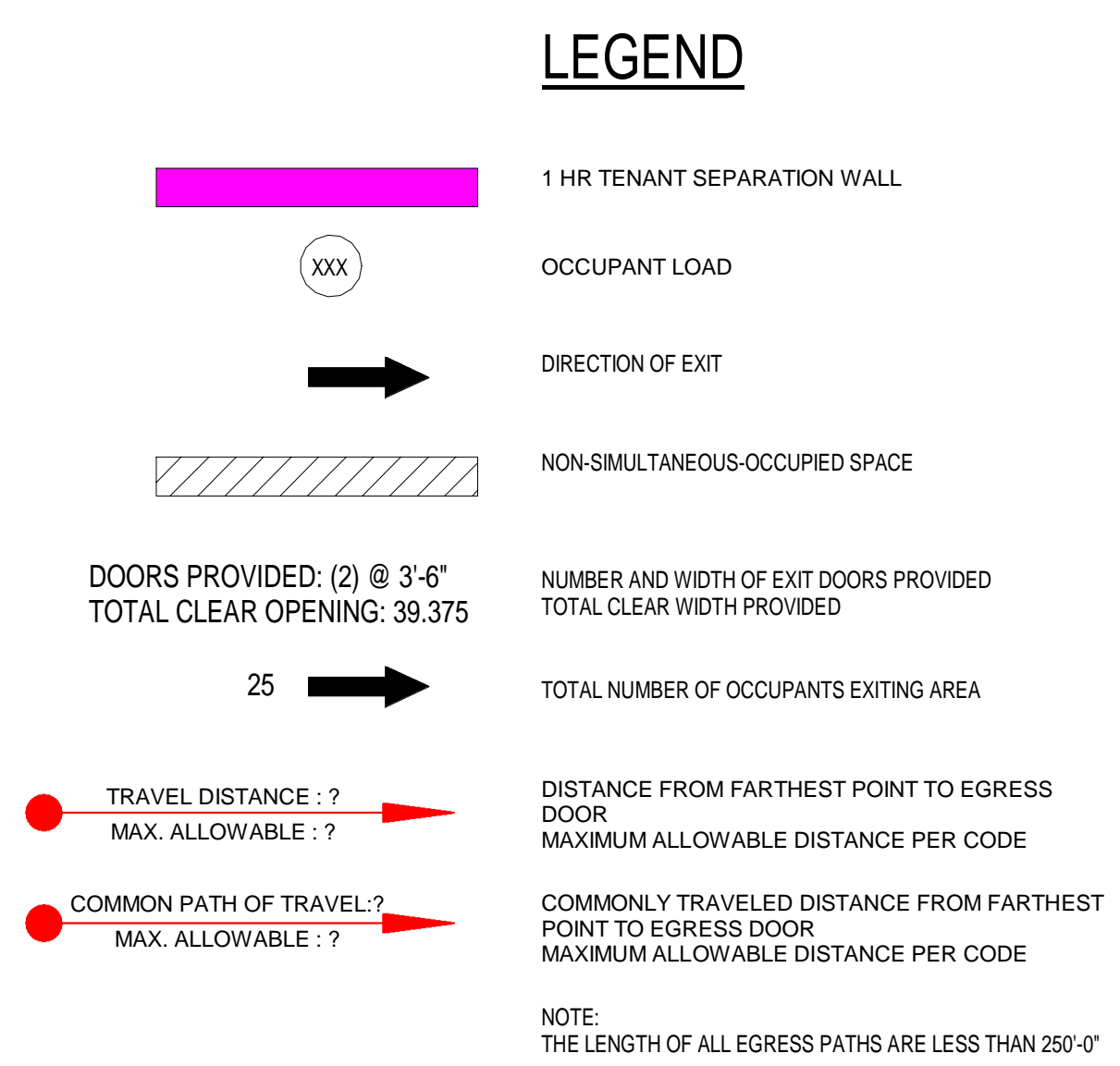
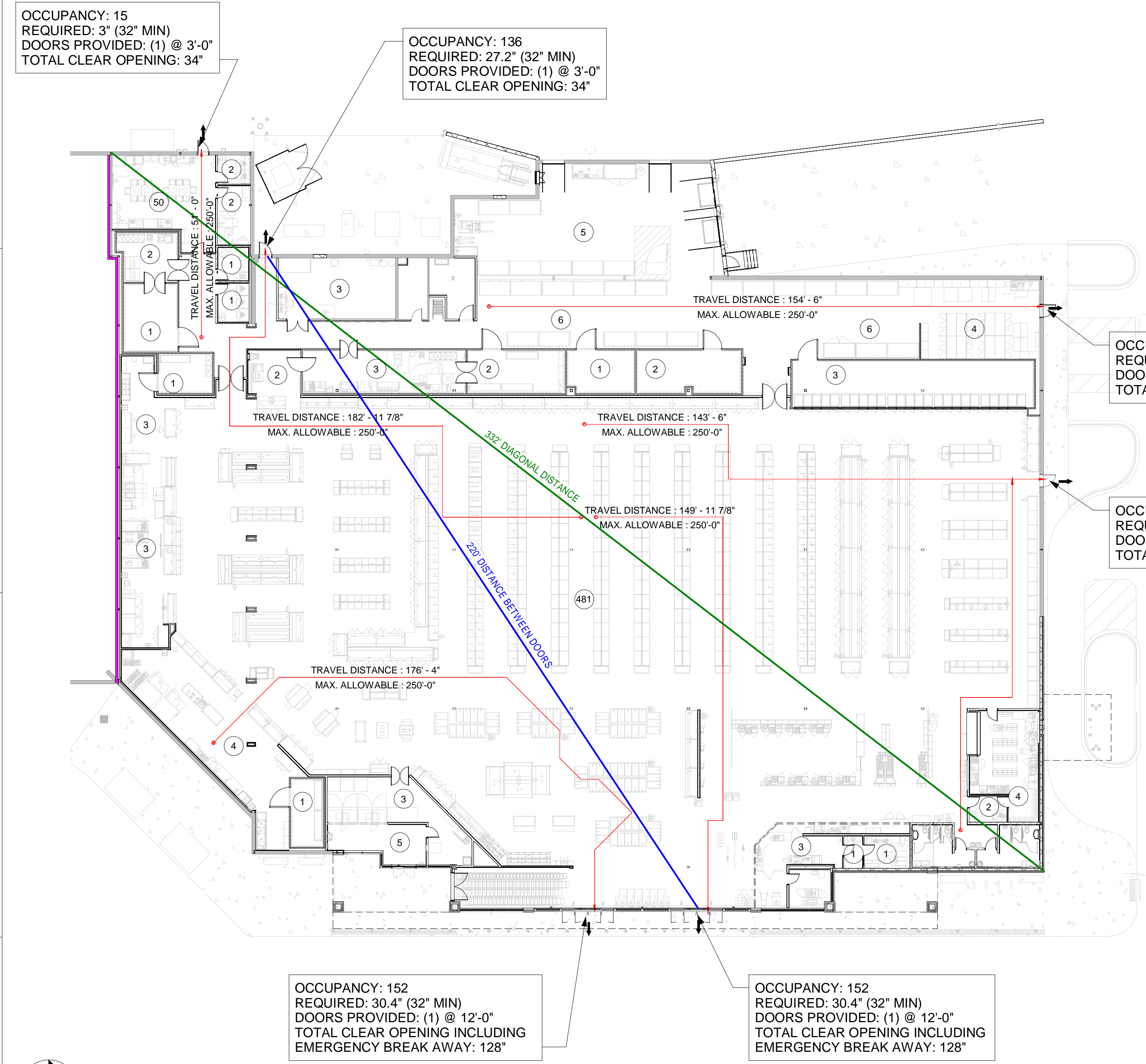
Engineering & Design

www.colliersengineering.com  
7050 W. Saginaw Highway Suite 200  
Lansing, MI 48917  
p: 517.272.9835  
f: 517.272.9836

meijer

BUILDING CODE INFORMATION

<b>Fire Protection:</b>	NFPA 13 AUTOMATIC SPRINKLER SYSTEM THROUGHOUT, (Section 903.3.1.1)
<b>Use Group(s):</b>	Non-Separated Mixed Use and Occupancies (Section 508.3) Mercantile (M) (Section 303.1) Moderate-Hazard Storage (S-1) (Section 311.2)
<b>Accessory Use:</b>	(Section 508.2) Business (B) (Section 304.1) Assembly (A2) (Section 303.1) Assembly (A3) (Section 303.1)
<b>Construction Type:</b>	Type IIB (Section 602.2)
<b>Allowable Area:</b>	Actual Existing Area: 47,058 SF (Section 506.2 - Using S1) Addition: 505 SF Total Proposed: 47,563 SF
<b>Allowable Height:</b>	Tabular Area: 50,000 SF (Section 506.2.1) Area Increase: 50,000 + (12,500/61) 57,625
<b>Allowable Height:</b>	75 ft (Table 503 w/ Section 504 Sprinkler increase) (Actual Height: 37'-0" Top of Atrium) Type IIB Construction
<b>Allowable Stories:</b>	3 Stories (Table 503 w/ Section 504 Sprinkler increase) (Actual Stories 1) Type IIB Construction M & S-1 Occupancy
<b>Special Use &amp; Occupancy:</b>	High Piled Combustible Storage (Section 413 referencing Chapter 23 of the IFC) Based on 1,000 sf rack area, stock area is required to be sprinklered to the level required by the most hazardous commodity stored. Alternatively, engineering analysis will be required in conjunction with sprinkler design to ID layout of specific commodity items to determine the sprinkler head density in various areas. Per Table 2306.2 of the 2012 IFC, fire detection systems, special fire-department access smoke and heat removal and draft curtains are not required.
<b>Fire-Resistive Construction:</b>	IIB Construction (Table 601) 0 hr. Structural Frame (Table 601) 0 hr. Bearing Walls (Table 601) 0 hr. Exterior 0 hr. Interior 0 hr. Floor Construction (Table 601) 0 hr. Roof Construction (Table 601) 0 hr.
<b>Fire Extinguishers:</b>	Fire - resistant rating of exterior walls based on fire separation distance greater than 60 ft. 0 hr. required (Section 507.3) Provide in accordance with the International Fire Code (Section 906)
<b>Occupant Load:</b>	(Table 1004.1.1) ASSEMBLY (15 SF) 745 SF 50 BUSINESS (100 SF) 1,631 SF 17 MERCANTILE (60 SF) 28,857 SF 481 STORAGE (300 SF) 11,343 SF 38 UNOCCUPIED (0 SF) 674 SF 0 WORK/PREP (200 SF) 4,313 SF 22 TOTAL 47,563 SF 608
<b>Number of Exits Required:</b>	3 (Between 501 and 1000 occupants) (Actual Exits Provided = 9) (Table 1021.1)
<b>Egress Width:</b>	608 Occupants x 0.20 in. per occupant = 122 in. clear exit width (Section 1005.1) (Actual exit clear width provided: 400" Total)
<b>Max. Travel Distance:</b>	250 ft. (Mercantile and storage occupancy, sprinklered building) (Table 1016.1)
<b>Max. Common Path of Travel:</b>	75 ft. Mercantile and Assembly Occupancies (sprinklered buildings) 100 ft. Storage and Business Occupancies (sprinklered buildings) (Section 1014.3)
<b>Plumbing Fixture Requirements:</b>	(IPC Table 403.1)
<b>Fixtures:</b>	Men 304 Women 304
<b>Water Closets:</b>	1 req'd (2 provided) 1 req'd (3 provided)
<b>Urinals:</b>	0 req'd (1 provided) (N.A.)
<b>Lavatories:</b>	1 req'd (2 provided) 1 req'd (2 provided)
<b>Drinking Fountains:</b>	1 total req'd (2 provided)
<b>Service Sinks:</b>	1 total req'd (1 provided)
1. Plumbing facilities must be provided for the public and employees within 500 ft. travel distance. (2015 MPC Section 403.3.2)	

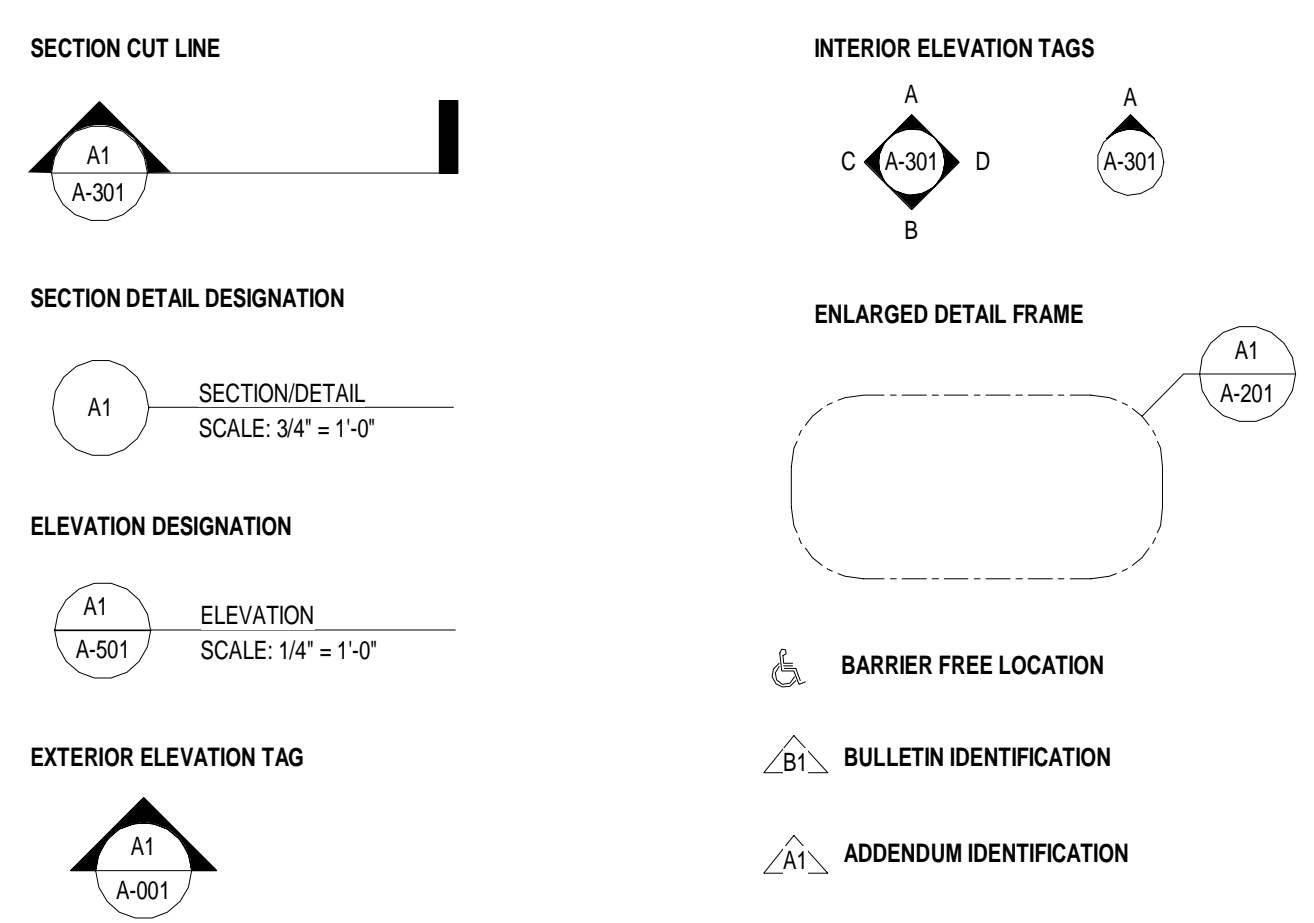


**B1 EXITING PLAN**  
SCALE: 3/8" = 1'-0"

ABBREVIATIONS

AFF ABOVE FINISHED FLOOR	EIFS EXTERIOR INSULATION AND FINISH SYSTEM	LLV LONG LEG VERTICAL	STRUCT STRUCTURAL
ACP ACOUSTICAL CEILING PANEL	EF EXHAUST FAN	LP LOW POINT	TPD TOILET PAPER DISPENSER
AWP ACOUSTICAL WALL PANEL	EJ EXPANSION JOINT	MACH MACHINE	TYP TYPICAL
ADJ ADJUSTABLE	FE FIRE EXTINGUISHER	MFR MANUFACTURER	UL UNDERWRITER'S LABORATORY
AHU AIR HANDLING UNIT	FRP FIBERGLASS REINFORCED PANEL	MAX MAXIMUM	VERT VERTICAL
ALUM ALUMINUM	FT FEET	MECH MECHANICAL	VCT VINYL COMPOSITE TILE
AUX AUXILIARY	FR FIRE RETARDANT TREATED	MIN MINIMUM	VMJ VERTICAL MOVEMENT JOINT
BF BARRIER FREE	FL FLOOR	N/A NOT APPLICABLE	WC WATER CLOSET
CPT CARPET	FD FLOOR DRAIN	NIC NOT IN CONTRACT	WH WATER HEATER
CIP CAST IN PLACE	FIN FL FINISH FLOOR	NO NUMBER	W/ WITH
CLG CEILING	GA GAUGE	OC ON CENTER	WD WOOD
CT CERAMIC TILE	GALV GALVANIZED	OPP OPPOSITE	
COL COLUMN	GC GENERAL CONTRACTOR	OH OVER HEAD	
CONC CONCRETE	GFRG GLASS FIBER REINFORCED CONCRETE	ORD OVERFLOW ROOF DRAIN	
CMU CONCRETE MASONRY UNIT	GFRG GLASS FIBER REINFORCED GYPSUM	PT PAINT	
CONST CONSTRUCTION	GYP BD GYPSUM BOARD	PLAM PLASTIC LAMINATE	
CJ CONTROL JOINT	HDPE HIGH DENSITY POLYETHYLENE	PVC POLYVINYL CHLORIDE	
DIA DIAMETER	HP HIGH POINT	PROJ PROJECTION	
DR DOOR	HM HOLLOW METAL	RISER RISER	
DN DOWN	HORIZ HORIZONTAL	RO ROUGH OPENING	
DF DRINKING FOUNTAIN	HB HOSE BIBB	SIM SIMILAR	
ELECT ELECTRICAL	INSUL INSULATION	SD SOAP DISPENSER	
EL ELEVATION	JC JANITOR'S CLOSET	SQ FT SQUARE FEET	
EQ EQUAL	LED LIGHT EMITTING DIODE	STD STANDARD	
EQUIP EQUIPMENT	LLH LONG LEG HORIZONTAL	STOR STORAGE	

GRAPHIC SYMBOLS



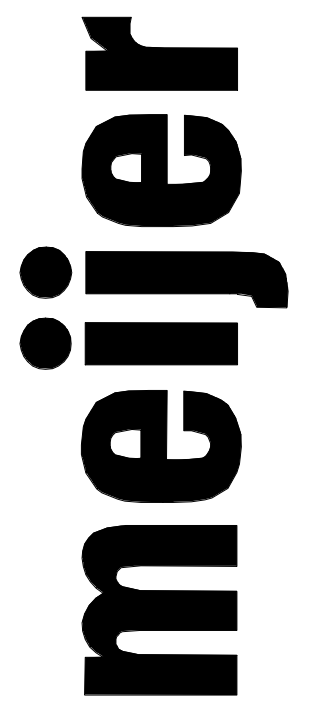
ROCHESTER HILLS, MICHIGAN  
1445 N ROCHESTER RD.  
ROCHESTER HILLS, MI 48307

CODE INFORMATION

ISSUED FOR:	
REVIEW	-
PERMIT	-
CONSTRUCTION	-
PROJECT MANAGER	TRR
DESIGNER	MMC

JOB NO.  
24002767A

G-102



REV.	DATE	DESCRIPTION
-	08/02/2024	SITE PLAN REVIEW

ROCHESTER HILLS, MICHIGAN  
1495 N ROCHESTER RD.  
ROCHESTER HILLS, MI 48307

OVERALL FLOOR PLAN

ISSUED FOR:	
REVIEW	-
PERMIT	-
CONSTRUCTION	-

PROJECT MANAGER	DESIGNER
TRR	MMC

JOB NO.  
24002767A

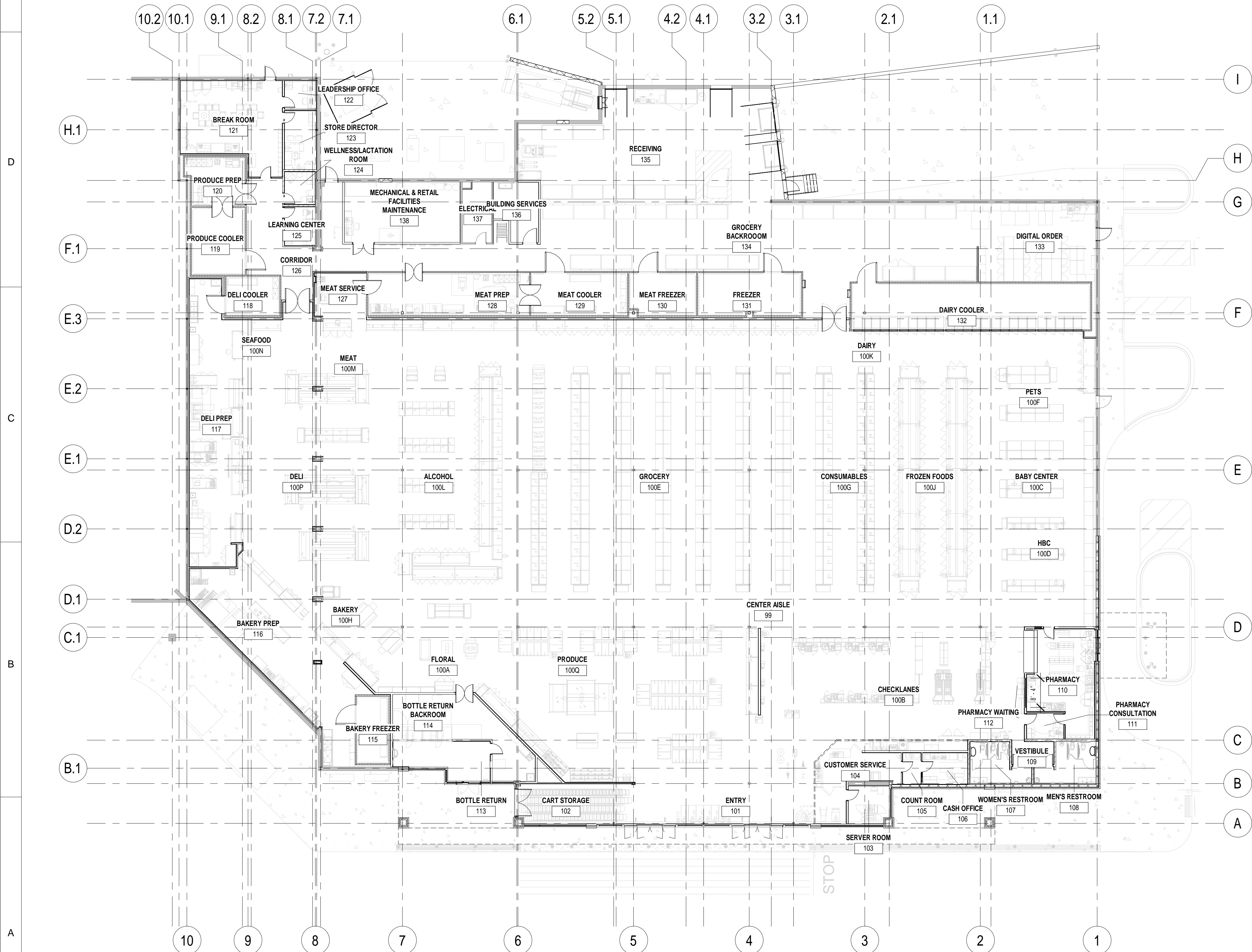
A-001

GENERAL NOTES

- A. ALL DRAWINGS AND SPECIFICATIONS IN THE CONSTRUCTION DOCUMENTS ARE INTENDED TO BE COMPLIMENTARY AND ARE NOT TO BE USED INDEPENDENTLY. GC AND ALL SUB CONTRACTORS ARE TO REVIEW ALL DRAWINGS FOR COMPLETE SCOPE OF WORK.
- B. LAYOUT TO BE VERIFIED AND COORDINATED WITH ALL TRADES AND ALL FF&E PRIOR TO CONSTRUCTION.
- C. ALL DIMENSIONS ON FLOOR PLANS ARE SHOWN TO FACE OF METAL STUDS OR NOMINAL FACE OF PRECAST CONCRETE WALL PANEL UNLESS OTHERWISE NOTED.
- D. ALL CONCRETE WALL PANELS ARE 9" THICK UNLESS OTHERWISE NOTED.
- E. MAIN FLOOR ELEVATION: 100'-0" = CIVIL 'X'-X"
- F. ALL FLOOR DRAIN ELEVATIONS TO BE AT ELEVATION 100'-0" UNLESS OTHERWISE NOTED.
- G. OUTSIDE CORNER OF WALLS TO RECEIVE TILE FINISHES ARE TO HAVE STAINLESS STEEL CORNER GUARDS PER DETAIL.
- H. ALL OUTSIDE CORNERS AT PLASTIC LAMINATE WAINSCOT SHALL RECEIVE CORNER GUARDS PER A-501 DETAILS.
- I. REFER TO OTHER FLOOR PLANS FOR ADDITIONAL DIMENSIONS.
- J. REFER TO STRUCTURAL FOR ALL STEEL SHAPES AND SIZES.
- K. REFER TO MEIJER Q-SHEETS AND MILLWORK SHEETS FOR FIXTURES, FURNISHINGS & EQUIPMENT.

SYMBOL LEGEND

- KEYNOTE
- METAL STUD WALL
- METAL STUD WALL W/ INSULATION
- REFRIGERATED WALL PANEL
- PRECAST CONCRETE PANEL
- FIRE EXTINGUISHER



A1 OVERALL FLOOR PLAN  
A-001 SCALE: 1/16" = 1'-0"



All signs must meet the requirements of the City and be approved under separate permits issued by the Building Department.

Overall building height of 37 feet to be revised to 30 feet with no more than 4 foot parapet pursuant to conversations with applicant

Overall building height of 37 feet to be revised to 30 feet with no more than 4 foot parapet pursuant to conversations with applicant

### RENDERING FINISH LEGEND

MARK	ITEM	COLOR / FINISH	MANUFACTURER / NOTES
EF-5A	ENTRANCE AND STOREFRONT FRAMES - 1" INSULATED GUARDIAN GLASS - CRYSTAL GRAY SN88	-	-
EF-5B	1" INSULATED SPANDREL PANEL WITH GRAY SN68 AND WARM GRAY SPANDREL PANEL	-	BLACK
EF-8	SECTIONAL OVERHEAD DOOR	-	-
EF-10	FIELD PAINTED STEEL - STEEL FRAMING AND COLUMNS, HANGER ASSEMBLIES AND METAL DECK	-	-
EF-19A	NEW BRICK FACADE	-	-
EF-19B	NEW SPLITFACE CMU	-	-
EF-20	NEW BRICK FACADE WITH WHITE RELIEFS	-	-
EF-21	ENTRANCE AND STOREFRONT FRAMES	TUBELITE STOREFRONT	BERRIDGE
EF-22	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT PARAPET	-	-
EF-31	FIELD PAINTED STEEL - HOLLOW METAL DOORS AND FRAMES	-	SHERWIN WILLIAMS
EF-32	FIELD PAINTED STEEL - HOLLOW METAL DOORS AND FRAMES	COLOR TO MATCH SURROUNDING BRICK COLOR	SHERWIN WILLIAMS
EF-33	EIFS	COLOR TO MATCH SURROUNDING BRICK COLOR	-
EF-40	SHEET METAL FLASHING AND TRIM *EDGE FLASHING AND COUNTER FLASHING AT CANOPIES *COPING AND EDGE FLASHING AT ROOF AND PARAPET *PAINTED UTILITIES	DARK BRONZE ANODIZED ALUMINUM	-
EF-41	METAL PANELS	DARK BRONZE ANODIZED ALUMINUM	FIRESTONE UC-500 FLUSH PANEL
EF-54	BOLLARD	GREY	-
EF-55	BOLLARD	YELLOW	-
EF-74	12" SCORED BLOCK TO MATCH EXISTING	-	-
EF-75	EXISTING BRICK WALL WITH WHITE RELIEFS	-	-
EF-76A	EXISTING SPLITFACED CMU WALL	STAINED	-
EF-76B	EXISTING SQUARE BRICK WALL	STAINED	-

**D1 EAST ELEVATION**  
SCALE: 1/16" = 1'-0"

**C1 WEST ELEVATION**  
SCALE: 1/16" = 1'-0"

**B1 NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"

**A1 TRUCK DOCK ELEVATION**  
SCALE: 1/16" = 1'-0"

**A2 TRUCK DOCK PLAN**  
SCALE: 1/32" = 1'-0"

**A4 SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"

Colliers

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7050 W. Saginaw Highway Suite 200  
Lansing, MI 48917  
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meijer

REV. DATE DESCRIPTION

REV.	DATE	DESCRIPTION
-	08/02/2024	SITE PLAN REVIEW

ROCHESTER HILLS, MICHIGAN  
1445 N ROCHESTER RD.  
ROCHESTER HILLS, MI 48307

ELEVATIONS AND 3D VIEWS

ISSUED FOR:  
REVIEW  
PERMIT  
CONSTRUCTION

PROJECT MANAGER DESIGNER  
TRR MMC

JOB NO.  
24002767A

A-201

# SITE PLAN.pdf Markup Summary

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## Building Review (4)

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PROVIDE PLUMBING WITH THE FOLLOWING LIST OF CODES:

2015 MICHIGAN BUILDING CODE  
2021 MICHIGAN MECHANICAL CODE  
2021 MICHIGAN PLUMBING CODE  
2021 MICHIGAN ELECTRICAL CODE  
2015 MICHIGAN BUILDING CODE  
2015 MICHIGAN ENERGY CODE  
2009 MICHIGAN MODIFIED FOOD CODE  
2015 INTERNATIONAL FIRE CODE  
2015 INTERNATIONAL FIRE CODE  
NATIONAL FIRE ALARM STD. CODE (NFPA 72)  
2009 ANSI ICC A117.1

**Subject:** Building Review  
**Author:** J Rhoades  
**Date:** 8/14/2024 8:24:55 AM  
**Status:**

2023 NEC

**Subject:** Building Review  
**Author:** J Rhoades  
**Date:** 8/14/2024 8:25:17 AM  
**Status:**

2023 NEC

Jason Rhoades 248-841-2435  
RhoadesJa@RochesterHills.org

**Subject:** Building Review  
**Author:** J Rhoades  
**Date:** 8/14/2024 8:26:31 AM  
**Status:**

Jason Rhoades 248-841-2435  
RhoadesJa@RochesterHills.org

Yes

**Subject:** Building Review  
**Author:** J Rhoades  
**Date:** 8/14/2024 8:28:23 AM  
**Status:**

Yes

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## Engineering Department (3)

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**Subject:** Engineering Department  
**Author:** Jason Boughton  
**Date:** 8/5/2024 9:03:58 AM  
**Status:**

The applicant will not need to submit for a Land Improvement Permit (LIP) application, unless other departments significantly change the scope of the work with their requirements.



**Subject:** Engineering Department  
**Author:** Jason Boughton  
**Date:** 8/5/2024 9:04:37 AM  
**Status:**

City File #24-0177 Section #10 in the lower right hand corner of each sheet

Jason Boughton 248-841-2490  
BoughtonJB@RochesterHills.org

**Subject:** Engineering Department  
**Author:** Jason Boughton  
**Date:** 8/5/2024 9:05:00 AM  
**Status:**

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## Engineering Legal Review (1)

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Include a parcel ID with description.

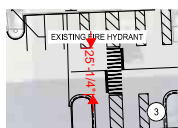
**Subject:** Engineering Legal Review  
**Author:** Seth Bucholz  
**Date:** 8/22/2024 7:45:53 AM  
**Status:**

Include a parcel ID with description.

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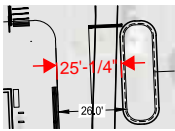
## Fire Department (7)

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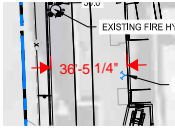
**Subject:** Fire Department  
**Author:** Jon Mills  
**Date:** 8/6/2024 3:21:43 PM  
**Status:**

25'-1/4"



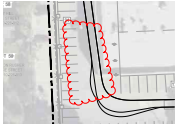
**Subject:** Fire Department  
**Author:** Jon Mills  
**Date:** 8/6/2024 3:22:03 PM  
**Status:**

25'-1/4"

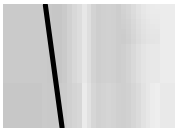


**Subject:** Fire Department  
**Author:** Jon Mills  
**Date:** 8/6/2024 3:22:30 PM  
**Status:**

36'-5 1/4"



**Subject:** Fire Department  
**Author:** Jon Mills  
**Date:** 8/6/2024 3:23:27 PM  
**Status:**



**Subject:** Fire Department  
**Author:** Jon Mills  
**Date:** 8/6/2024 3:23:48 PM  
**Status:**



**Subject:** Fire Department  
**Author:** Jon Mills  
**Date:** 8/7/2024 4:31:52 PM  
**Status:**

Autoturn not needed please remove.



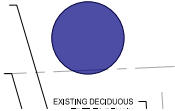
**Subject:** Fire Department  
**Author:** Jon Mills  
**Date:** 8/7/2024 4:33:50 PM  
**Status:**

**Group (6)**



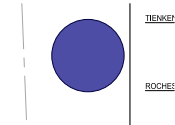
**Subject:** Group  
**Author:** macdonaldj  
**Date:** 8/2/2024 2:25:38 PM  
**Status:**

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 8/13/2024 3:30:49 PM  
**Status:**

PCM



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 8/13/2024 3:43:45 PM  
**Status:**

PCM



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 8/16/2024 2:41:05 PM  
**Status:**

SP



Subject: Group  
 Author: C.McLeod  
 Date: 8/16/2024 2:41:09 PM  
 Status:

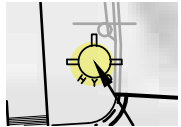
BP



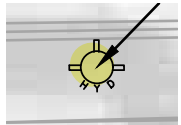
Subject: Group  
 Author: C.McLeod  
 Date: 8/16/2024 2:41:21 PM  
 Status:

PCM

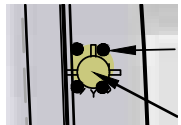
Highlight (11)



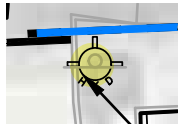
Subject: Highlight  
 Author: Jon Mills  
 Date: 8/6/2024 3:14:27 PM  
 Status:



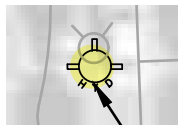
Subject: Highlight  
 Author: Jon Mills  
 Date: 8/6/2024 3:14:30 PM  
 Status:



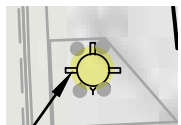
Subject: Highlight  
 Author: Jon Mills  
 Date: 8/6/2024 3:14:35 PM  
 Status:



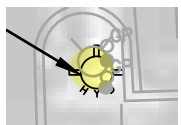
Subject: Highlight  
 Author: Jon Mills  
 Date: 8/6/2024 3:14:37 PM  
 Status:



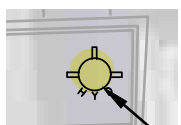
Subject: Highlight  
 Author: Jon Mills  
 Date: 8/6/2024 3:14:53 PM  
 Status:



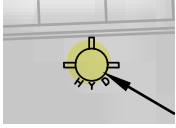
Subject: Highlight  
 Author: Jon Mills  
 Date: 8/6/2024 3:14:56 PM  
 Status:



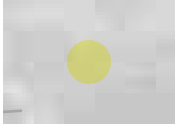
Subject: Highlight  
 Author: Jon Mills  
 Date: 8/6/2024 3:15:07 PM  
 Status:



Subject: Highlight  
 Author: Jon Mills  
 Date: 8/6/2024 3:15:10 PM  
 Status:



**Subject:** Highlight  
**Author:** Jon Mills  
**Date:** 8/6/2024 3:15:13 PM  
**Status:**



**Subject:** Highlight  
**Author:** Jon Mills  
**Date:** 8/6/2024 3:16:40 PM  
**Status:**



**Subject:** Highlight  
**Author:** Jon Mills  
**Date:** 8/6/2024 3:20:48 PM  
**Status:**

Image (1)



**Subject:** Image  
**Author:** C.McLeod  
**Date:** 8/16/2024 2:51:10 PM  
**Status:**

Jenny McGuckin - YES (1)



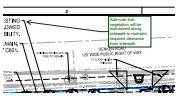
**Subject:** Jenny McGuckin - YES  
**Author:** Seth Bucholz  
**Date:** 8/22/2024 7:47:19 AM  
**Status:**

Natural Resources (1)



**Subject:** Natural Resources  
**Author:** Matt Einheuser  
**Date:** 8/21/2024 11:04:14 AM  
**Status:**

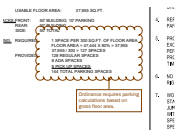
Natural Resources (1)



**Subject:** Natural Resources  
**Author:** Matt Einheuser  
**Date:** 8/21/2024 11:03:56 AM  
**Status:**

Add note that vegetation will be maintained along sidewalk to maintain required clearance from sidewalk.

Planning Department (17)



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/13/2024 3:25:06 PM  
**Status:**

Ordinance requires parking calculations based on gross floor area.



SECTION 138-11.202 Modification of Parking Requirements  
The Planning Commission may modify the numerical requirements for off-street parking based on evidence submitted by the applicant that another standard would be more reasonable because of the level of current or future employment or customer traffic.  
The Planning Commission may attach conditions to the approval of a modification of the requirements of Section 138-11.202 that bind such approval to the specific use in question.

**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/13/2024 3:24:43 PM  
**Status:**

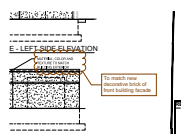
SECTION 138-11.202 - Modification of Parking Requirements  
The Planning Commission may modify the numerical requirements for off-street parking based on evidence submitted by the applicant that another standard would be more reasonable because of the level of current or future employment or customer traffic.

The Planning Commission may attach conditions to the approval of a modification of the requirements of Section 138-11.204 that bind such approval to the specific use in question.

TOTAL STORAGE AREA  
Include a note on the plan stating that all signs must meet the requirements of the City and be approved under separate permits issued by the Building Department.

**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/13/2024 3:30:02 PM  
**Status:**

Include a note on the plan stating that 'All signs must meet the requirements of the City and be approved under separate permits issued by the Building Department.'



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/13/2024 3:36:48 PM  
**Status:**

To match new decorative brick of front building facade



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/13/2024 3:39:35 PM  
**Status:**

Provide dimension to property line

Assessing Yes

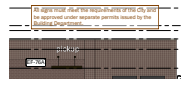
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/16/2024 2:40:46 PM  
**Status:**

Assessing Yes



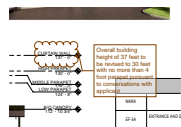
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/16/2024 2:42:14 PM  
**Status:**

All signs must meet the requirements of the City and be approved under separate permits issued by the Building Department.



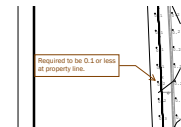
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/16/2024 2:43:03 PM  
**Status:**

All signs must meet the requirements of the City and be approved under separate permits issued by the Building Department.



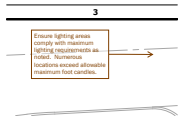
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/29/2024 10:25:48 AM  
**Status:**

Overall building height of 37 feet to be revised to 30 feet with no more than 4 foot parapet pursuant to conversations with applicant



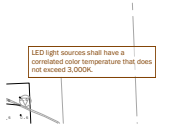
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/16/2024 2:48:54 PM  
**Status:**

Required to be 0.1 or less at property line.



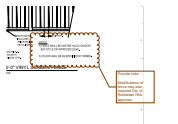
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/16/2024 2:53:01 PM  
**Status:**

Ensure lighting areas comply with maximum lighting requirements as noted. Numerous locations exceed allowable maximum foot candles.



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/16/2024 2:55:30 PM  
**Status:**

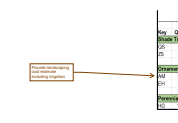
LED light sources shall have a correlated color temperature that does not exceed 3,000K.



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/16/2024 2:56:53 PM  
**Status:**

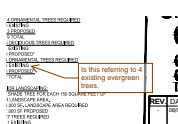
Provide color

Modifications of fence may also required City of Rochester Hills approval.



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/16/2024 3:05:17 PM  
**Status:**

Provide landscaping cost estimate including irrigation



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/16/2024 3:09:35 PM  
**Status:**

Is this referring to 4 existing evergreen trees.



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 8/29/2024 10:25:59 AM  
**Status:**

Subject to height of building being modified as noted on plans

**Traffic (1)**



**Subject:** Traffic  
**Author:** Keith  
**Date:** 8/5/2024 8:03:12 AM  
**Status:**

Keep the screen wall outside of the water main easement, revise.

**Underground Utilities (1)**



**Subject:** Underground Utilities  
**Author:** Jason Boughton  
**Date:** 8/5/2024 9:02:56 AM  
**Status:**