

J2023-0002 PSP2023-0014 Revision #4 Received 9/20/2023 City of Rochester Hills Planning & Economic Development



For all conditional uses, a "Conditional Use Proposed Sign" shall be placed onsite no less than fifteen (15) days prior to the public hearing date. Such sign shall be compliant with Section 138-1.203 of City Ordinances.

Site Plan Review

Reviewed for compliance with City Ordinance, Building and Fire Codes
ditions and mark-ups noted throughout plan set must be addressed prior to final



Conditions and ma	ark-ups noted throughout plan set m approval	nust be addressed prior to final			
Department	Reviewer	Approved	LIP		
Assessing	Assessing	Yes			
Building	Jason Rhoades 248-841-2435 RhoadesJ@RochesterHills.org				
	Jason Boughton 248-841-2490 BoughtonJ@RochesterHills.org	Yes	TRP		
	Jenny McGuckin 248-841-2494 mcguckinj@rochesterhills.org	YES Date:09/29/2023			
	Lt. Jon Mills 248-841-2708 MillsJ@RochesterHills.org	Yes	BP		
Natural Resources	EinheuserM@RochesterHills.org	Yes			
Planning	Chris McLeod 248-841-2572 mcleodc@RochesterHills.org Keith Depp 248-841-2503 DeppK@RochesterHills.org	Yes			
Traffic	DeppK@RochesterHills.org				

EXTERIOR RENDERING

1575 E HAMLIN ROAD

CITY FILE #23-0002 SECTION 24

901	SECTION FIRE PROTECTION SYSTEMS	ISSUE		CODE REQUIREMENT			
903	GROUP B - SPRINKLER REQUIREMENTS	OCCUPANCY GRO	UP B - NO REQUIREMENTS	NOT REQUIRED FOR 'B' OCCUPANCY			AUTOMATIC SPRINKLER SYSTEM
3.2.9	GROUP S-1 - SPRINKLER REQUIREMENTS		NKLER SYSTEM REQUIRED THROUGHOUT WITH	REQUIRED FOR 'S-1' OCCUPANCY		PROVIDED THROUGHOU	JT ENTIRE DEVELOPMENT
			WHEN ONE OF THE FOLLOWING CONDITIONS EXIST: EXCEEDS 12,000 S.F.				
		* FIRE AREA	IS LOCATED MORE THAN THREE (3) STORIES ABOVE THE 3 PLANE.				
		* THE COMB	INED AREA OF ALL GROUP S-1 FIRE AREAS ON ALL S, INCLUDING ANY MEZZANINES, EXCEEDS 24,000 S.F.				
905	STANDPIPE SYSTEM	STANDPIPE SYSTE	MS CLASS I, II, OR III REQUIREMENTS	CLASS I: REQUIRED IN EVERY REQUIRED STAIRW HOSE CONNECTIONS AT EVERY INTERMEDIATE I	WAY WITH	NOT REQUIRED	
				LANDING; SPECIFIC GROUP 'A' OCCUPANCIES; CO BUILDINGS; UNDERGROUND BUILDINGS			
				CLASS II: REQUIRED IN GROUPS A-1 & A-2 WITH CLOADS OVER 1,000			
				CLASS III: REQUIRED BASED ON BUILDING HEIGH FLOOR LEVEL OF HIGHEST STORY IS > 30' FROM	THE LOWEST		
				LEVEL OF FIRE DEPT VEHICLE ACCESS, WHERE T STORY IS LOCATED < 30' FROM THE HIGHEST LEV DEPT VEHICLE ACCESS.			
906	PORTABLE FIRE EXTINGUISHERS	REQUIRED LOCAT	TIONS	PORTABLE FIRE EXTINGUISHERS REQUIRED IN A		APPROVED FIRE EXTING	GUISHERS PROVIDED AT ALL REQUIRE
				OCCUPANCY B (OFFICE) & OCCUPANCY S (STORAREFER TO MICHIGAN BUILDING CODE	AGE) AREAS.	AREAS	
907.2	FIRE ALARM SYSTEM	MANUAL, AUTOM CONSTRUCTION	ATIC (OR BOTH) REQUIREMENTS FOR NEW	GROUP 'B': MANUAL SYSTEM REQUIRED FOR OCCUPANCIES	S OF 500 OR	GROUP 'B':	PED THROUGHOUT WITH AUTOMATIC
		CONSTRUCTION		MORE OR 100 PERSONS ABOVE OR BELOW THE LI			STALLED IN ACCORDANCE WITH
				MANUAL SYSTEM NOT REQUIRED IF EQUIPPED T		GROUP 'S-1':	
				WITH AUTOMATIC SPRINKLER SYSTEM INSTALL ACCORDANCE WITH SECTION 903.3.1.1 AND THE	OCCUPANT	NO REQUIREMENTS	
				NOTIFICATION APPLIANCES WILL ACTIVATE THE THE NOTIFICATION ZONES UPON SPRINKLER OVER THE NOTIFICATION ZONES UPON SPRINKLER OVER THE NOTIFICATION ZONES UPON SPRINKLER OVER THE NOTIFICATION APPLIANCES WILL ACTIVATE THE NOTIFICATION APPLIANCES UPON SPRINKLER OVER THE NOTIFICATION APPLIANCES WILL ACTIVATE WILL			
				GROUP 'S-1': NO REQUIREMENTS			
07.4.2	MANUAL FIRE ALARMS	LOCATION AND N	MOUNTING REQUIREMENTS	'RED' MANUAL PULL ALARMS ARE REQUIRED WI	ITHIN 5' OF ALL	NOT REQUIRED - BUILD	ING 1 EQUIPPED THROUGHOUT WITH
				ENTRANCES/EXITS, SPACED A MAXIMUM OF 200' MOUNTED 42"-48" MEASURED VERTICALLY, FRO LEVEL TO THE ACTIVATING HANDLE OR LEVER 0	M THE FLOOR	AUTOMATIC SPRINKLER WITH SECTION 903.3.1.1.	R SYSTEM INSTALLED IN ACCORDANC
7.5.2.3.1	VISIBLE ALARMS	REQUIRED IN ALL	PUBLIC & COMMON AREAS	REQUIRED IN OFFICE & THROUGH OUT STORAGE		PROVIDED - SEE ELECT	RICAL DRAWINGS
910	SMOKE AND HEAT VENTS	REQUIRED LOCAT	TIONS	OCCUPANCY GROUP B: NO REQUIREMENTS OCCUPANCY GROUP S-1: REQUIRED WHEN UNDIV	VIDED OVED	GROUP B: NOT REQU	
				50,000 S.F.	VIDED OVER	GROUP S-1: AREA DOE	S NOT EXCEED 50,000SF
003.1	MEANS OF EGRESS	4000 4 CENT DIG II				COMPLIES	
003.2	CEILING HEIGHT	1003.2 - CEILING H	EIGHT	THE MEANS OF EGRESS SHALL HAVE A CEILING LESS THAN 7'-6"	HEIGHT OF NOT	COMPLIES	
ABLE 04.1.1	OCCUPANT LOAD	MAXIMUM FLOOR	AREA ALLOWANCES PER OCCUPANT	BUSINESS - 100 SF/ OCCUPANT		795 / 100 = 8 PEOF	
				STORAGE (WAREHOUSES) - 500 SF/ OCCUPANT NOTE: GROSS AREA CALCULATIONS ARE FOR OC	CCUPIABLE	87,573 / 500 = 1 TOTAL OCCUPANCY = 1	176 PEOPLE 184 PEOPLE
				AREA		_	NS FOR ADDITIONAL INFORMATION
1005.1	EGRESS WIDTH	SECTION 1005.1 - O OCCUPANT	THER EGRESS COMPONENTS - 0.2 INCHES PER	OTHER EGRESS COMPONENTS = 0.2 x 184 =	36.8"	REQUIREMENT MET - SI	EE EGRESS PLANS
1007	ACCESSIBLE MEAN OF EGRESS	EGRESS FROM ACC	CESSIBLE SPACES	ACCESSIBLE SPACES SHALL BE PROVIDED WITH THAN ONE ACCESSIBLE MEANS OF EGRESS. WHE		ACCESSIBLE MEANS OF	EGRESS ARE PROVIDED
				ONE MEANS OF EGRESS ARE REQUIRED BY SECT 1021.1 FROM ANY ACCESSIBLE SPACE, EACH ACC	ΓΙΟΝ 1015.1 OR		
				PORTION OF THE SPACE SHALL BE SERVED BY N TWO ACCESSIBLE MEANS OF EGRESS.			
1007.3	ACCESSIBLE STAIRWAYS	MINIMUM ACCESS	SIBLE EGRESS STAIRWAY WIDTH	PROVIDE A CLEAR WIDTH OF 48" MINIMUM BETV HANDRAILS AND SHALL EITHER INCORPORATE A		NOT REQUIRED, BUT MI HANDRAILS AND AREA	NIMUM 48" CLEAR BETWEEN OF REFUGE PROVIDED.
				REFUGE WITHIN AN ENLARGED FLOOR-LEVEL L.	ANDING.	SEE EGRESS PLANS FOR	R MORE INFORMATION.
				EXCEPTIONS: 1. THE CLEAR WIDTH OF 48 INCH REQUIRED IN BUILDINGS EQUIPPED THROUGHOU AUTOMATIC SPRINKLER SYSTEM.			
007.6.1	AREAS OF REFUGE	AREA OF REFUGE	SIZE	EACH AREA OF REFUGE SHALL BE SIZED TO ACCO	OMMODATE	30" x 48" AREA OF REFUC	GE NOT REQUIRED
				ONE WHEELCHAIR SPACE OF 30" BY 48" FOR EACH OR PORTION THEREOF, BASED ON THE OCCUPAN	T LOAD OF THE		
007.6.3	AREAS OF REFUGE	TWO-WAY COMMU	UNICATION	AREA OF REFUGE AND AREAS SERVED BY THE AF AREAS OF REFUGE SHALL BE PROVIDED WITH A		TWO-WAY COMMUNICA	ATION SYSTEM PROVIDED AT
				COMMUNICATION SYSTEM COMPLYING WITH SE AND 1007.8.2	ECTION 1007.8.1	ELEVATOR	
008.1.1	MEANS OF EGRESS DOORS	MINIMUM CLEAR	WIDTH FOR EGRESS DOORS	MINIMUM: 32" WIDE		36" NOMINAL WIDE PRO	VIDED
008.1.2	SWING OF DOORS	SWING OF DOORS		DOORS SHALL SWING IN THE DIRECTION OF EGR WHERE SERVING A ROOM OR AREA CONTAINING		ALL EGRESS DOORS SW	ING IN DIRECTION OF TRAVEL
				LOAD OF 50 OR MORE PERSONS OR A GROUP HO			
014.3	COMMON PATH OF EGRESS TRAVEL	EXCEPTION #1 - MA	AX DISTANCE FOR S-1 OCCUPANCY	MAX. 100 FEET, WITH SPRINKLER SYSTEM		COMPLIES	
1015	EXIT & EXIT ACCESS DOORWAYS	TABLE 1015.1 - SPA	ACES WITH ONE MEANS OF EGRESS	1 EXIT ALLOWED IF OCCUPANT LOAD IS < (B = 49)); S-1 = 29)	OCCUPANCY S-1: TWO COCCUPANCY B: ONE EX	DR MORE EXITS PROVIDED
			TS OR EXIT ACCESS DOORWAYS ARRANGEMENT JILDING EQUIPPED W/ AUTOMATIC SPRINKLER SYSTEM)	1/3 OF MAX. BUILDING DIAGONAL (W/ SPRINKLER	R)	COMPLIES (SEE EGRESS	
		1015.2.2 - THREE O	R MORE EXITS OR EXIT ACCESS DOORWAYS	AT LEAST TWO EXITS DOORS OR EXIT ACCESS DO		COMPLIES (SEE EGRESS	PLANS)
		ARRANGEMENT		SHALL BE ARRANGE IN ACCORDANCE WITH THE SECTION 1015.2.1	PROVISION OF		
1016	EXIT ACCESS TRAVEL DISTANCE	TABLE 1016.1 - EXI SYSTEM	T ACCESS TRAVEL DISTANCE WITH SPRINKLER	B = 300 FT. S-1 = 250FT.		COMPLIES (SEE EGRESS	PLANS)
1018	CORRIDORS	1018.2 - CORRIDOR	WIDTH	44" MIN. 36" MIN. W/ REQ'D OCCUPANT		COMPLIES (SEE EGRESS	PLANS)
				CAPACITY OF LESS THAN 50		(O) (E) (== :	PL (NO)
		1018.4 - MAXIMUM	DEAD END CORRIDOR LENGTH	50'-0" MAX. (W/ SPRINKLER)		COMPLIES (SEE EGRESS	
ABLE 021.1	MINIMUM NUMBER OF EXITS	OCCUPANT LOAD		FIRST FLOOR (1-500) = 2 MIN SECOND FLOOR (1-500) = 2 MIN		COMPLIES (SEE EGRESS	PLANS)
ABLE	MIN. ROOF COVERING CLASS	CLASS A DOD CD	OOF ASSEMBLIES PER CONSTRUCTION TYPE	THIRD FLOOR (1-500) = 2 MIN CONSTRUCTION TYPE II-B - CLASS B (MODERATE	F FIDE TECT	CLASS A WILL BE PROV	VIDED
505.1		CLASS A, B OK C R	COL MODERADELO I ER CONSTRUCTION LIFE	EXPOSURE) REQUIRED	LINE-IESI	1" SLOPE PROVIDED ON	
507.4 I I I N	ROOF SLOPE RING FIVTIDE CALCII	ALTIONS		MIN. 1/4" PER 12" (2%)		4 SLUFE PKUVIDED ON	A ALL NEW DUILDINGS
LUIV	IBING FIXTURE CALCU	ALHUNS	CELE CTOPA CE OCCUPANCY	DEVIIDED EMDI OVEE EIVTIDEG	ррошьев	TYTUDES FOR MEM	
			SELF-STORAGE OCCUPANCY: SELF-STORAGE (USE S-1) BUILDINGS 176 OCCUPA	REQUIRED EMPLOYEE FIXTURES: 1 PER 100 MALE AND FEMALE 1 - LINISEY TOU ET ROOM	SELF-STORA	FIXTURES FOR NEW GE	
			SELF-STORAGE (USE S-1) BUILDINGS 176 OCCUPA FRONT OFFICE (USE B) - 795 GSF / 100 8 OCCUPA TOTAL 184 OCCUPA	NTS (1 WC AND 1 LAVATORY)		OILET ROOMS	
			ACTUAL EMPLOYEE COUNT 4 MAX	1 PER 1,000 PERSONS 1 - DRINKING FOUNTAIN (ADA	,	D 1 LAVATORY EACH) G FOUNTAINS -	
			ACTUAL EMPLOYEE COUNT 4 MAX 5 EMPLOYEES			G FOUNTAINS - DA COMPLIANT)	
				1 - SERVICE SINK	1 - SERVICE S	SINK	
				· · · · · · · · · · · · · · · · · · ·			

BUILDING CODE DATA - MICHIGAN BUILDING CODE - 1575 E HAMLIN ROAD ROCHESTER HILLS

APPLICABLE CODES -BUILDING: MICHIGAN BUILDING CODE 2015 - EFFECTIVE APRIL 20, 2017REHAB: MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS 2015 - EFFECTIVE DECEMBER 13, 2016

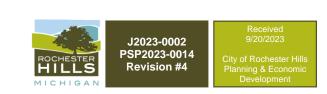
ACCESSIBILITY: ICC ANSI A117.1 - 2009MECHANICAL: MICHIGAN MECHANICAL CODE 2015 - EFFECTIVE APRIL 12, 2017ELECTRICAL: NEC 2017 STATE OF MICHIGAN ELECTRICAL CODE

2017 NATIONAL ELECTRICAL CODE WITH PART 8 AMENDMENTS - EFFECTIVE JANUARY 4, 2019PLUMBING: MICHIGAN PLUMBING CODE 2018 - EFFECTIVE SEPTEMBER 15, 2021ENERGY: MICHIGAN BUILDING

CODE 2015 - CHAPTER 13 & MICHIGAN ENERGY CODE 2015 - CHAPTERS 1 THROUGH 6 & MICHIGAN ENERGY CODE, PART 10A. RULES - ANSI/ASHRAE/IES STANDARD 90.1-2013

EFFECTIVE SEPTEMBER 20, 2017FUEL GAS: INTERNATIONAL FUEL GAS CODE 2015 - EFFECTIVE APRIL 20, 2015FIRE: INTERNATIONAL FIRE CODE 2015, AS REFERENCED IN THE 2015 MICHIGAN BUILDING FIRE

		. IIVIERIVITIOIVIET GEE GIG COD	ALARM: NFPA	A 72 - 2013			
	SECTION USE AND OCCUPANCY CLASSIFICATION	ISSUE		CODE REQUIREMENT GROUP B, BUSINESS (OFFICE) - A	ACCESSORY USE	ACTUAL PROVIDED GROUP B, BUSINESS (OFFICE) - A	ACCESSORY USE
				GROUP S-1, MODERATE HAZARI		GROUP S-1, MODERATE HAZÁR	
503 ΓABLE 503	GENERAL BUILDING HEIGHTS AND AREAS ALLOWABLE HEIGHT	HEIGHT & STORY LIMITATIONS BASED O	N CONSTRUCTION TYPE IL-R (SEE	MAX. STORIES - 3		NEW THREE STORY - 32-0" TOP	OF BOOF
		SECTION 503) AND THE MORE RESTRICTI HAZARD STORAGE - SEE CHAPTER 9)	VE OCCUPANCY (S-1 MODERÂTE	75' FOR FULLY SPRINKLER 55' FOR NON SPRINKLER			
FABLE 503	ALLOWABLE BUILDING AREAS	AREA LIMITATIONS BASED ON CONSTRUAND THE MORE RESTRICTIVE OCCUPAN STORAGE - SEE CHAPTER 9)		MAX. AREA (PER FLOOR) - 52,50) S.F.	*UTILIZE AREA MODIFICATION	- SEE BELOW
	BUILDING HEIGHT - AUTOMATIC SPRINKLER SYSTEM INCREASE	WHERE A BUILDING IS EQUIPPED THROU AUTOMATIC SPRINKLER SYSTEMTHE MINCREASED BY ONE		3 STORIES PERMITTED		THREE STORY BUILDINGS * HEIGHT MODIFICATION BY S NOT USED	PRINKLER NOT NECESSARY/
	BUILDING AREA - AUTOMATIC SPRINKLER SYSTEM INCREASE	AUTOMATIC SPRINKLER SYSTEM INCRE	ASE (ls)	100% <1 STORY BLDGS.			
506.2.2	TABULAR BUILDING AREA	TABULAR BUILDING AREA BY OCCUPAN SPRINKLER	CY, CONSTRUCTION TYPE AND	S1- OCCUPANCY FULLY SPRINK B-OCCUPANCY FULLY SPRINKL		BUILDING AREAS ARE UNDER T REQUIRE FRONTAGE BONUS-AI TABULAR AREAS AS FOLLOWS	REAS COMPLY WITH LISTED
						BUILDING (B) - 795 SF BUILDING 2 (S-1) - 29,191 SF	
508.2	ACCESSORY OCCUPANCIES	ACCESSORY OCCUPANCIES ARE THOSE (ANCILLARY TO THE MAIN OCCUPANCY THEREOF. ACCESSORY OCCUPANCIES SI PROVISIONS OF SECTIONS 508.2.1 THROU	OF THE BUILDING OR PORTION IALL COMPLY WITH THE			MAIN OCCUPANCY: GROUP S-1, ACCESSORY OCCUPANCY: GRO	
508.2.1	ACCESSORY OCCUPANCIES AREA LIMITATIONS	AGGREGATE ACCESSORY OCCUPANCIES THAN 10 PERCENT OF THE BUILDING AR THEY ARE LOCATED AND SHALL NOT EX IN TABLE 503, WITHOUT BUILDING AREA WITH SECTION 506 FOR SUCH ACCESSOR	EA OF THE STORY IN WHICH CCEED THE TABULAR VALUES INCREASES IN ACCORDANCE	MAXIMUM AREA (PER FLOOR) NOT REQUIRED	FOR GROUP B OCCUPANCY:	NOT PROVIDED	
508.2.2	OCCUPANCY CLASSIFICATION	OCCUPANCY CLASSIFICATION OF ACCES	SSORY OCCUPANCIES	ACCESSORY OCCUPANCIES SHA IN ACCORDANCE WITH SECTION THIS CODE SHALL APPLY TO EAR BASED ON THE OCCUPANCY CLA	I 302.1. THE REQUIREMENTS OF CH PORTION OF THE BUILDING	COMPLIES	
508.2.3	ALLOWABLE BUILDING AREA AND HEIGHT	ALLOWABLE BUILDING AREA AND HEIGHT FOR ACCESSORY OCCUPANCIES		THE ALLOWABLE BUILDING AREA AND HEIGHT OF THE BUILDING SHALL BE BASED ON THE ALLOWABLE BUILDING AREA AND HEIGHT FOR THE MAIN OCCUPANCY IN ACCORDANCE WITH SECTION 503.1.		COMPLIES	
508.2.4	SEPARATION OF OCCUPANCIES	SEPARATION OF MAIN AND ACCESSORY	OCCUPANCIES	NO SEPARATION IS REQUIRED E OCCUPANCIES AND THE MAIN (COMPLIES	
002.2	CONSTRUCTION CLASSIFICATION REQ'D. FIRE-RESISTANCE RATINGS	CONSTRUCTION TYPE		TYPE II-B		TYPE II-B - NEW	
CABLE 601	FOR BUILDING ELEMENTS	STRUCTURAL FRAME		0 HOUR		0 HOUR	
		BEARING WALLS		VIIOUK		UHOUK	
		EXTERIOR		0 HOUR		0 HOUR	
		INTERIOR NON-BEARING WALLS		0 HOUR		0 HOUR	
		EXTERIOR (PER TABLE	602)	SEE TABLE 602 BELOW		SEE TABLE 602 BELOW	
		INTERIOR FLOOR CONSTRUCTION		0 HOUR 0 HOUR		0 HOUR 0 HOUR	
		ROOF CONSTRUCTION		0 HOUR		0 HOUR	
	FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE	TABLE 602 FIRE SEP. DIST < 5 FT = 2 HRS FIRE SEP. DIST > 5 / < 10 FT 1 HR FIRE SEP. DIST > 10 / < 30 FT 1 HRS FIRE SEP. DIST > 30 FT 0 HRS		N/A N/A APPLIES APPLIES		NORTH WALL > 10 / < 30 FT	= 0 HRS (Type IIIB Const.) = 0 HRS (Type IIIB Const.) = 0 HRS (Type IIB Const.) = 0 HRS (Type IIB Const.) = 0 HRS
ABLE 705.8	MAX. AREA OF EXTERIOR WALL OPENINGS	FIRE SEPARATION DISTANCE				EAST WALL > 30 FT	= 0 HRS
	VALUES GIVEN ARE % OF THE AREA OF	0-3 FT >3-5 FT >5-10 FT >10-15 FT >1	5-20 FT >20-25 FT >25-30 FT >30 FT			NORTH WALL= UNLIMITED	
	THE EXTERIOR WALL PER STORY UNPROTECTED PROTECTED		25% 45% 70% NO LIMIT 75% NO LIMIT NO LIMIT NO LIMIT	4	CTED - NO LIMIT	SOUTH WALL= UNLIMITED WEST WALL= UNLIMITED EAST WALL= UNLIMITED	
705.11	PARAPETS	PARAPET NOT REQUIRED WHERE THE W DISTANCE, IS NOT REQUIRED TO BE FIRI UNPROTECTED OPENINGS OF AT LEAST	E RESISTIVE OR IS PERMITTED	PARAPET NOT REQUIRED @ NO WALLS	RTH, SOUTH, EAST & WEST	PARAPET PROVIDED ON NORTH	I, EAST AND WEST FACADES
706	FIRE WALLS	706.4 - FIRE RESISTANCE RATING		3 HRS MIN.		NOT REQUIRED/ NOT PROVIDED	<u> </u>
	SHAFT ENCLOSURES	708.4 - FIRE-RESISTANCE RATING		1 HR REQUIRED FOR ELEVATORS	S & SHAFTS	1 HOUR RATED WALLS PROVIDE	
708.14.1	SHAFT ENCLOSURES	NEW ELEVATOR LOBBY		ELEVATOR LOBBY REQUIRED A INTO A FIRE RESISTANCE RATE BUILDINGS LESS THAN 4 FLOOR THROUGHOUT W/ AUTOMATIC S	S THAT ARE PROTECTED	NOT REQUIRED	
713.4.2.1	PENETRATIONS	PENETRATIONS OF NONFIRE-RESISTANT ASSEMBLIES	-RATED HORIZONTAL	NON-COMBUSTIBLE PENETRAT MORE THAN THREE (3) STORIES ANNULAR SPACE IS FILLED TO F FLAME AND THE PRODUCTS OF	ARE PERMITTED, PROVIDED THE RESIST THE FREE PASSAGE OF	ANNULAR SPACE AROUND PEN WITH APPROVED NON-COMBUS	
	PENETRATIONS	NEW DUCTS AND AIR TRANSFER OPENIN		PENETRATIONS IN HORIZONTAL AIR TRANSFER OPENINGS SHALL	L COMPLY WITH SECTION 716	ANNULAR SPACE AROUND DUC APPROVED NON-COMBUSTIBLE	
	OPENING PROTECTIVE OPENING PROTECTIVE	NEW FIRE DOOR RATING IN HORIZONTA NEW FIRE DOOR GLAZING VISION PANEL		1 HR BARRIERS / SHAFT EXIT ENDOOR/SHUTTER REQ'D MAX 100 SQUARE INCHES, MAX.		COMPLIES	
803	INTERIOR WALL AND CEILING						
	INTERIOR WALL AND CEILING FINISH REQUIREMENTS - SPRINKLERED	EXITS ENCLOSURES AND EXIT PASSAGE GROUP 'S-1'	WAYS:	CLASS 'C'		CLASSIC! DROWIDED	
	ennion requirements - <u>Sprinklered</u>	GROUP 'B'		CLASS 'C' CLASS 'B'		CLASS 'C' - PROVIDED CLASS 'B' - PROVIDED	
	INDEXES- CLASS A: FLAME SPREAD 0-25;	CORRIDORS: GROUP 'S-1'		CLASS 'C'		CLASS 'C' - PROVIDED	
	SMOKE-DEVELOPED 0-450	GROUP 'B' ROOMS & ENCLOSED SPACES:		CLASS 'C'		CLASS 'C' - PROVIDED	
	CLASS B: FLAME SPREAD 26-75; SMOKE-DEVELOPED 0-450 CLASS C: FLAME SPREAD 76-200; SMOKE-DEVELOPED 0-450	GROUP 'S-1' GROUP 'B'		CLASS 'C' CLASS 'C'		CLASS 'C' - PROVIDED CLASS 'C' - PROVIDED	
804	INTERIOR FLOOR FINISH REQUIREMENTS	VERTICAL EXITS, EXIT PASSAGEWAYS A	ND EXIT ACCESS CORRIDORS	CLASS II		CLASS II - PROVIDED	
	(TESTED & APPROVED BY AGENCY IN	ALL OTHER AREAS (OR WHEN BUILDING	IS SPRINKLERED)	CLASS II		CLASS II - PROVIDED	
	ACCORD. W/ NFPA 253) (TEST: DOC FF-1 "PILL TEST" (CPSC 16 CFR PART 1630) OR WITH ASTM D 2859)						



CITY FILE #23-0002 SECTION 24 CDK
DEVELOPMENT, LLC
10570 SAVANNAH CT.

HUNTLEY IL, 60142

SOLID STEEL STRUCTURES

1257 BAUER ROAD SOMERVILLE OH. 45064

FENN & ASSOCIATES
, INC.
14933 COMMERCIAL DRIVE,

SHELBY TOWNSHIP MI. 48315

MEP:



chitect:

DATE	ISSUE DESCRIPTION

1 08-15-22 ISSUE FOR PERMIT

Project N

EAST HAMLIN ROAD STORAGE

roject Location

1575 E. HAMILIN ROAD

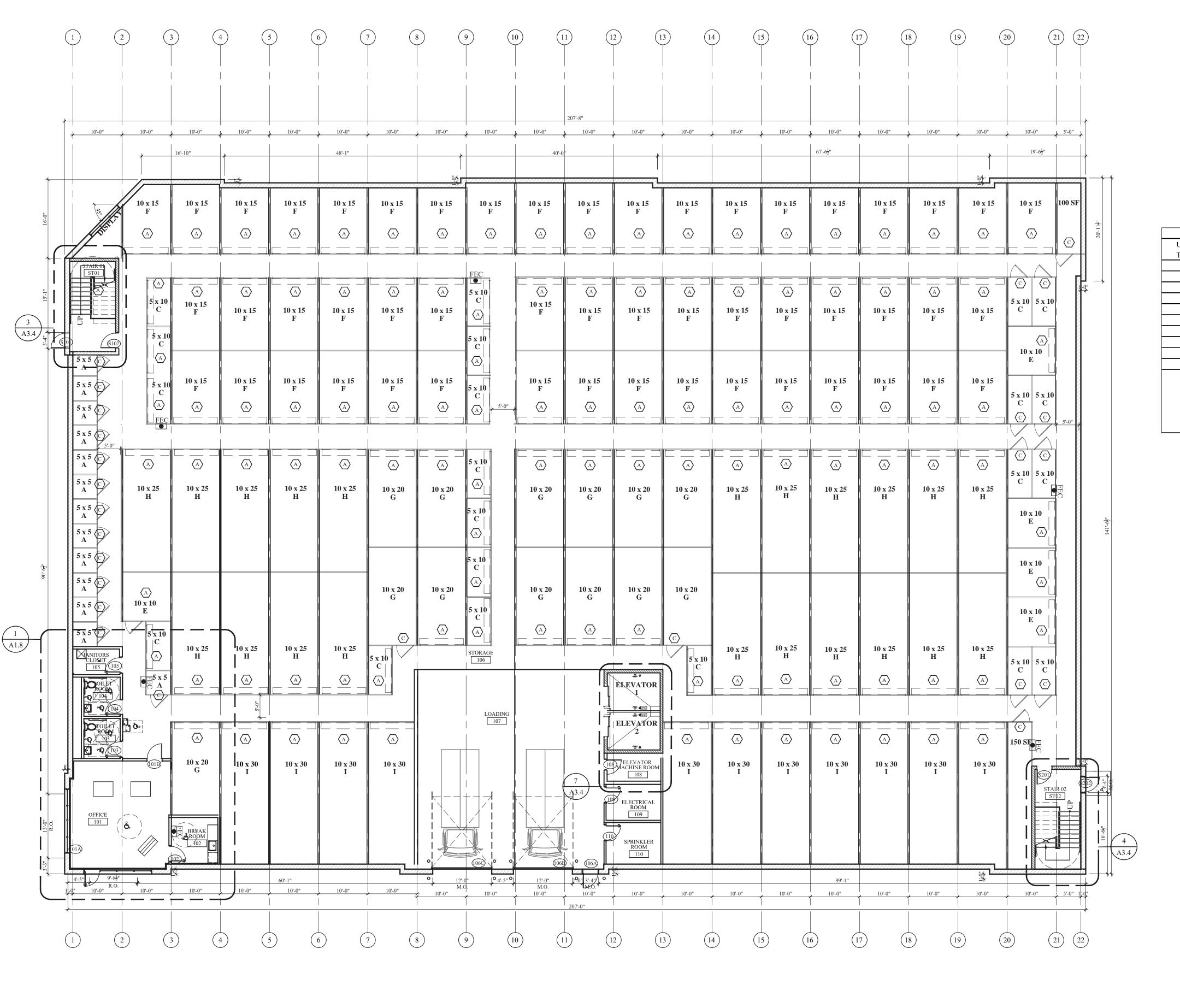
ROCHESTER HILLS, MICHIGAN 48307

CODE MATRIX

Date: Seal

Date: Seal

A0.0



GENERAL NOTES

A. DIMENSIONS ARE TO FINISHED SURFACE UNLESS OTHERWISE **INDICATED**

B. REFER TO STORAGE UNIT DOOR SCHEDULE FOR STORAGE DOOR

SIZES $\langle A \rangle \langle B \rangle \langle C \rangle \langle D \rangle$ C. SECURITY CAMERA

D. KEY PAD SECURITY CAMERA $\qquad \qquad \longrightarrow$

E. 360° SWIVEL SECURITY CAMERA

F. KEY PAD

HKP G. INTERCOM

H. ALL DOOR JAMBS TO BE LOCATED 4" PERPENDICULAR TO ADJACENT WALL TYP. U.N.O.

				UNIT MIX				
Unit		Unit Size		Total	Total	Unit	Total	Total %
Type	W (short)	L (long)	Area (sf)	# of Units	Area (sf)	% of Total	Per Type	Per Type
A	5	5	25	40	1000	7.2%	40	7.2%
В	5	7.5	37.5	58	2175	10.5%	58	10.5%
С	5	10	50	86	4300	15.6%	86	15.6%
D	7.5	10	75	29	2175	5.2%	29	5.2%
Е	10	10	100	118	11800	21.3%	118	21.3%
F	10	15	150	122	18300	22.1%	122	22.1%
G	10	20	200	56	11200	10.1%	56	10.1%
Н	10	25	250	33	8250	6.0%	33	6.0%
I	10	30	300	11	3300	2.0%	11	2.0%
		Total		553	62,500	100.0%		100.0%

87,573 Building Gross Sq Ft Miscellaneous Storage Sq Ft 1,000 Actual Net Storage Sq Ft 63,500

72.51% Actual Rough Efficiency 114.8 Actual Average Unit Size Sq Ft

CITY FILE #23-0002

SECTION 24

CDK

|DEVELOPMENT, LLC| 10570 SAVANNAH CT.

HUNTLEY IL, 60142

Structural:

SOLID STEEL

STRUCTURES 1257 BAUER ROAD

SOMERVILLE OH. 45064

|FENN & ASSOCIATES| , INC.

14933 COMMERCIAL DRIVE, SHELBY TOWNSHIP MI. 48315

> NEVILLE ENGINEERING SERVICE, INC. 1221 W. LAKEVIEW COURT | ROMEOVILLE, IL 60446 630-410-2344 IL DESIGN #184.006531

NO. DATE ISSUE DESCRIPTION

1 08-15-22 ISSUE FOR PERMIT

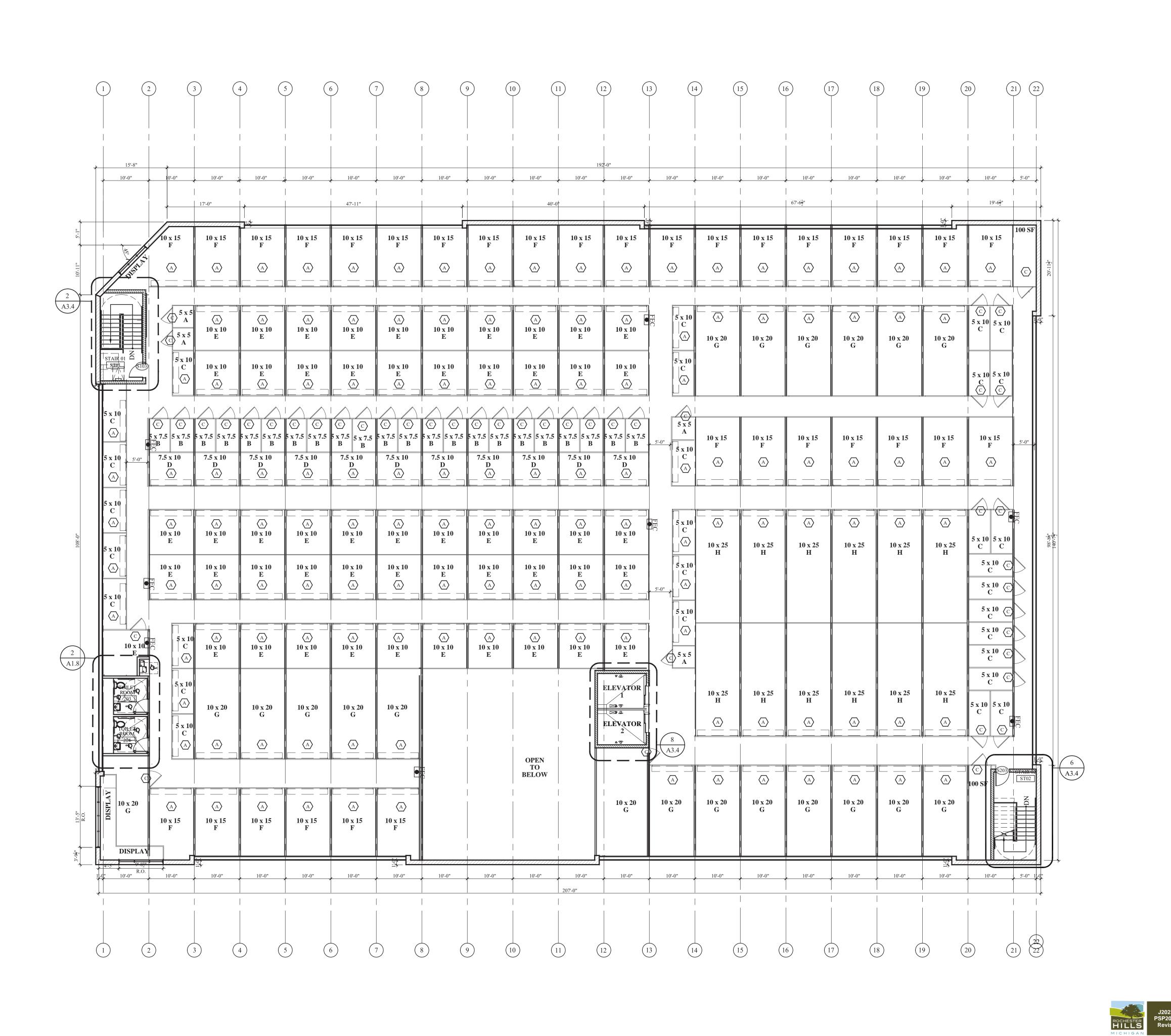
1575 E. HAMILIN **ROAD**

ROCHESTER HILLS, MICHIGAN 48307

FIRST FLOOR PLAN

FIRST FLOOR PLAN





GENERAL NOTES

A. DIMENSIONS ARE TO FINISHED SURFACE UNLESS OTHERWISE

B. REFER TO STORAGE UNIT DOOR SCHEDULE FOR STORAGE DOOR

SIZES $\langle A \rangle \langle B \rangle \langle C \rangle \langle D \rangle$ C. SECURITY CAMERA

D. KEY PAD SECURITY CAMERA E. 360° SWIVEL SECURITY CAMERA

F. KEY PAD HKP G. INTERCOM

H. ALL DOOR JAMBS TO BE LOCATED 4" PERPENDICULAR TO ADJACENT WALL TYP. U.N.O.

CDK DEVELOPMENT, LLC

10570 SAVANNAH CT.

HUNTLEY IL, 60142

Structural:

SOLID STEEL **STRUCTURES**

1257 BAUER ROAD SOMERVILLE OH. 45064

|FENN & ASSOCIATES| , INC.

14933 COMMERCIAL DRIVE, SHELBY TOWNSHIP MI. 48315



NO. DATE ISSUE DESCRIPTION

1 08-15-22 ISSUE FOR PERMIT

1575 E. HAMILIN **ROAD**

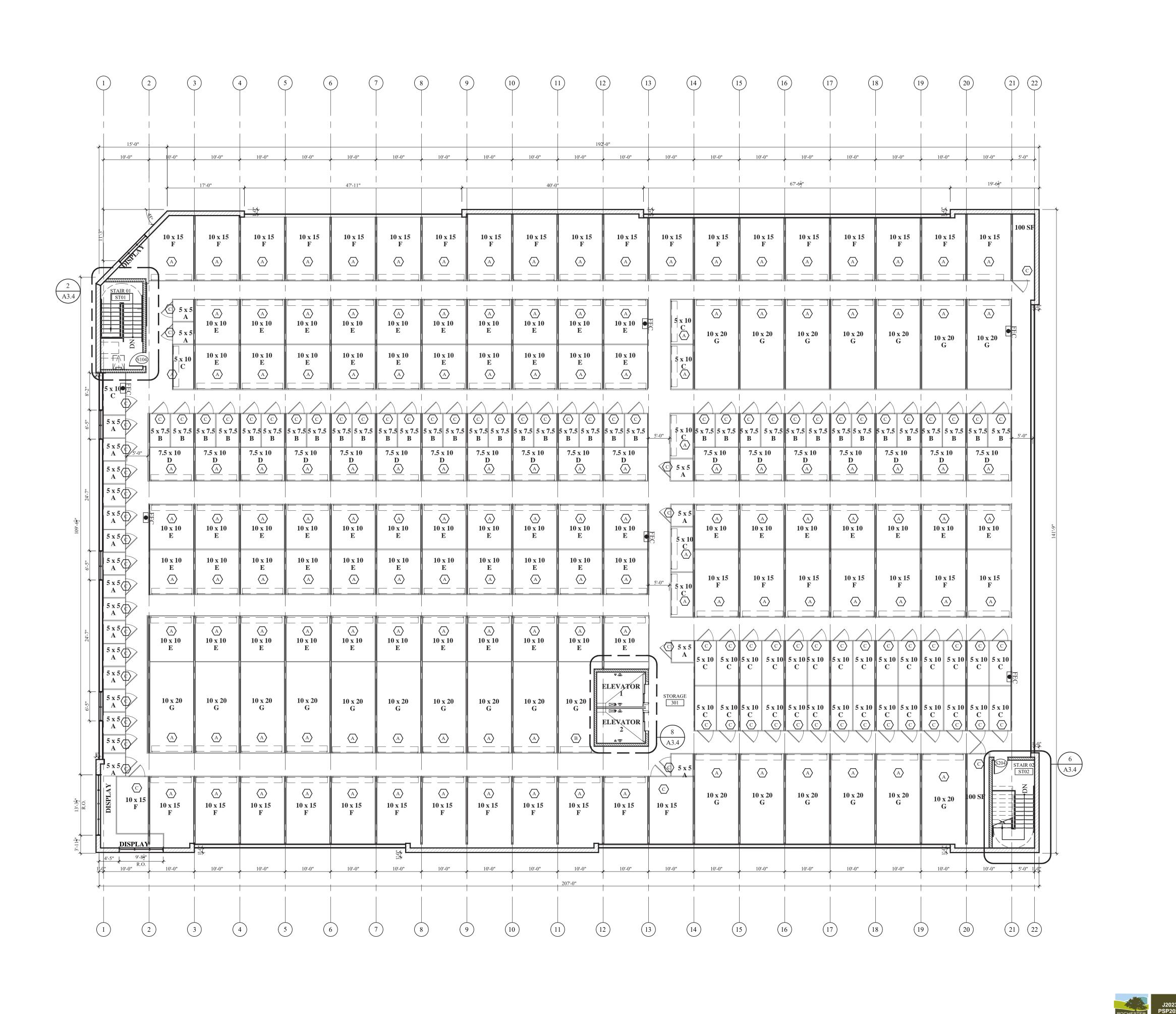
ROCHESTER HILLS, MICHIGAN 48307

CITY FILE #23-0002

SECTION 24

SECOND FLOOR PLAN

SECOND FLOOR PLAN



GENERAL NOTES

A. DIMENSIONS ARE TO FINISHED SURFACE UNLESS OTHERWISE

B. REFER TO STORAGE UNIT DOOR SCHEDULE FOR STORAGE DOOR

SIZES ABCC. SECURITY CAMERA

D. KEY PAD SECURITY CAMERA

E. 360° SWIVEL SECURITY CAMERA F. KEY PAD

HKP G. INTERCOM

H. ALL DOOR JAMBS TO BE LOCATED 4" PERPENDICULAR TO ADJACENT WALL TYP. U.N.O.

CDK DEVELOPMENT, LLC

10570 SAVANNAH CT. HUNTLEY IL, 60142

Structural:

SOLID STEEL **STRUCTURES**

1257 BAUER ROAD SOMERVILLE OH. 45064

|FENN & ASSOCIATES| , INC.

14933 COMMERCIAL DRIVE, SHELBY TOWNSHIP MI. 48315



NO. DATE ISSUE DESCRIPTION

1 08-15-22 ISSUE FOR PERMIT

HAMLIN

1575 E. HAMILIN **ROAD**

ROCHESTER HILLS, MICHIGAN 48307

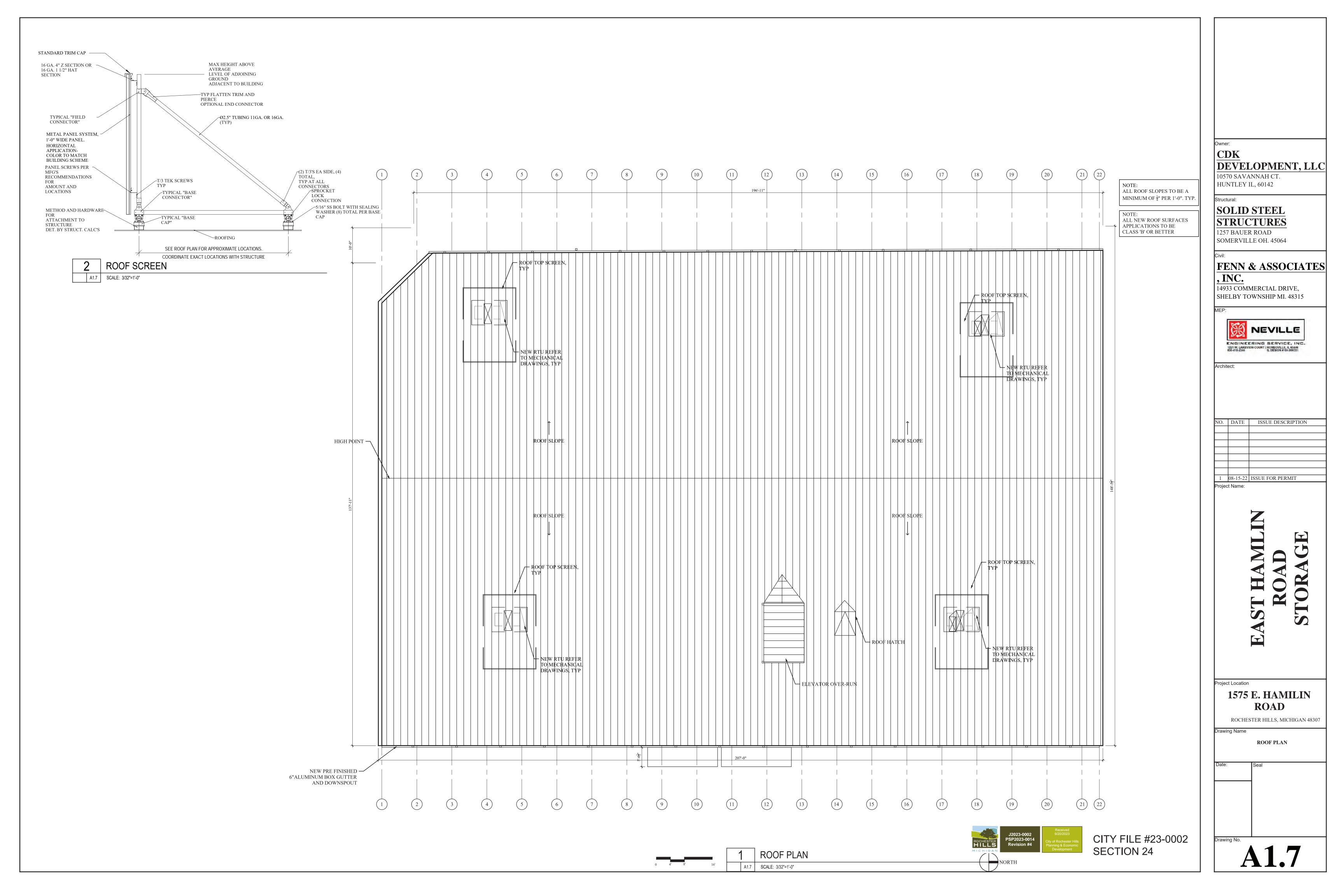
CITY FILE #23-0002

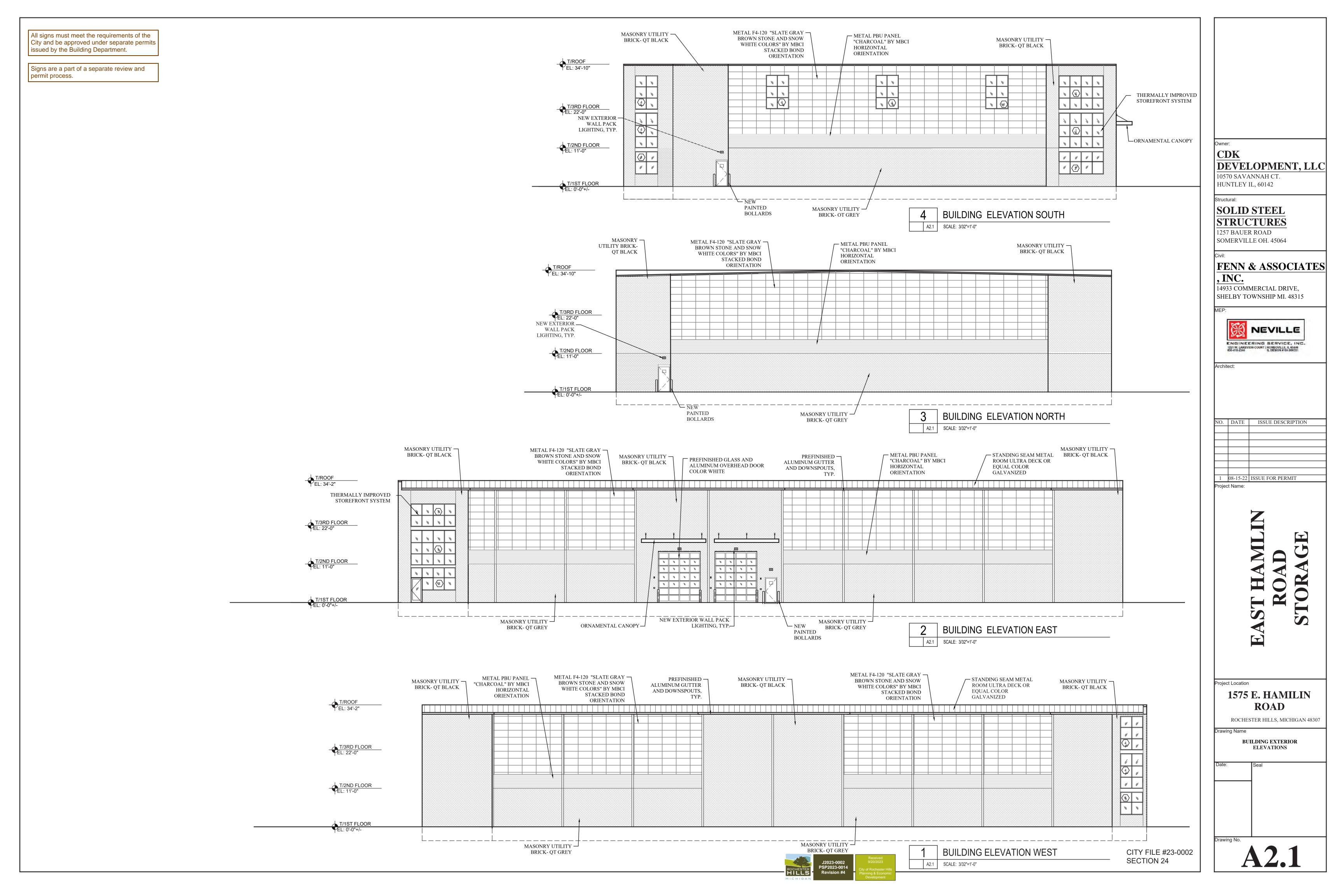
SECTION 24

THIRD FLOOR PLAN

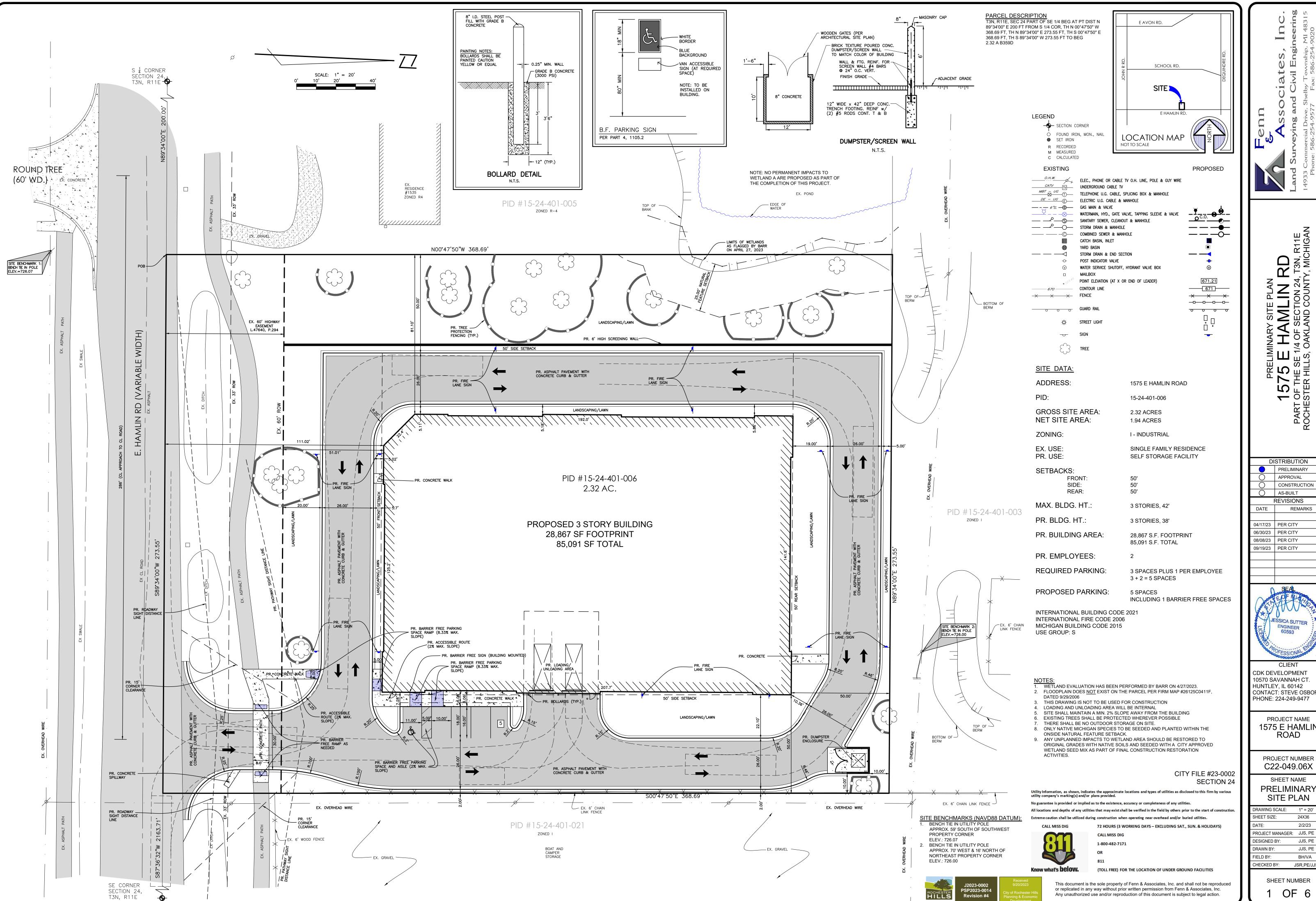
THIRD FLOOR PLAN











SITE

DISTRIBUTION

REVISIONS

CONSTRUCTION

PRELIMINARY

AS-BUILT

JESSICA SUTTER

CDK DEVELOPMENT 10570 SAVANNAH CT. HUNTLEY, IL 60142 **CONTACT: STEVE OSBORN** PHONE: 224-249-9477

> PROJECT NAME 1575 E HAMLIN ROAD

PROJECT NUMBER C22-049.06X

SHEET NAME

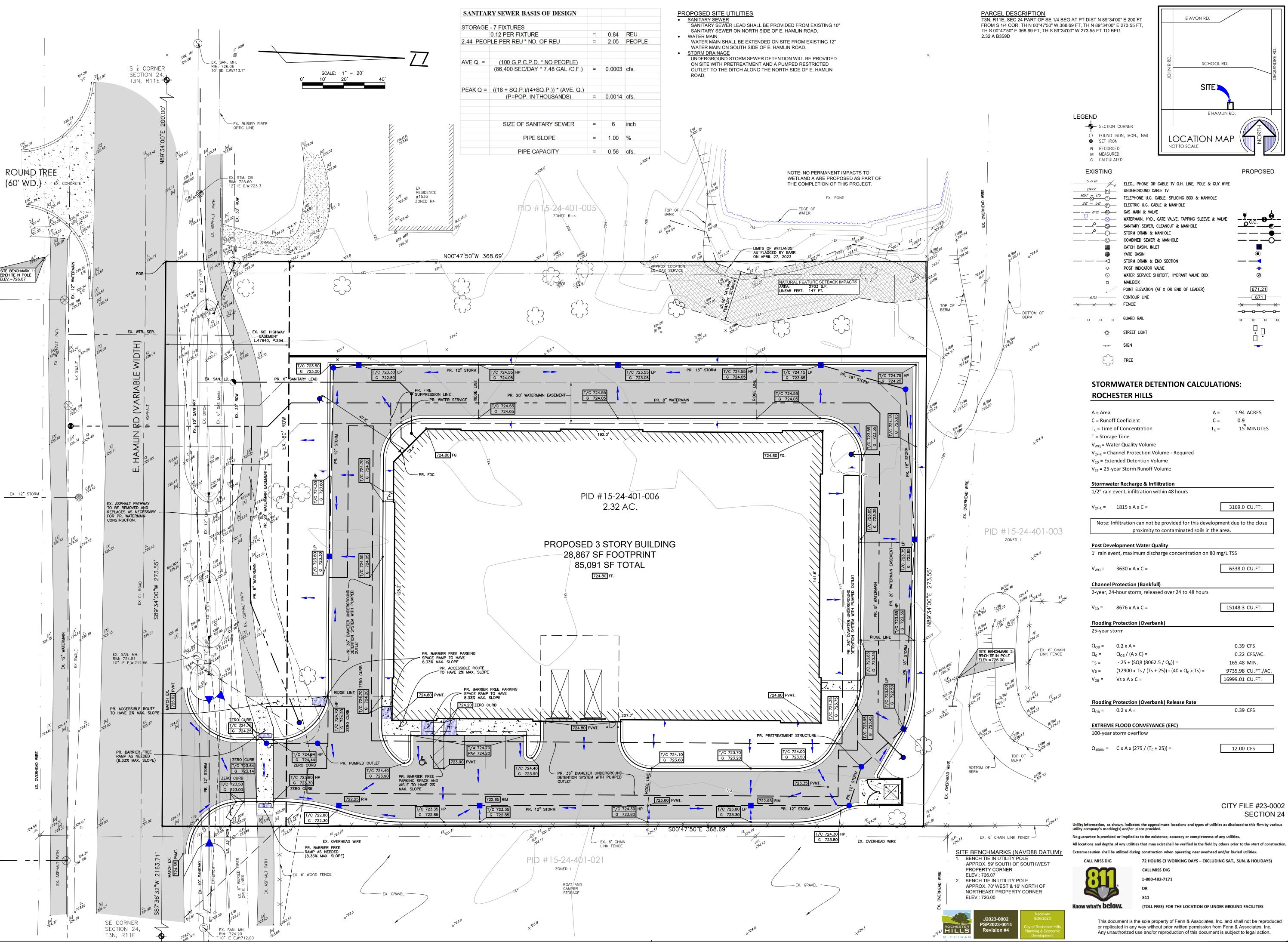
PRELIMINARY SITE PLAN RAWING SCALE: 1" = 20'

SHEET SIZE: 24X36 2/2/23 PROJECT MANAGER: JJS, PE JJS, PE DESIGNED BY: DRAWN BY: JJS, PE FIELD BY: BH/VA CHECKED BY: JSR,PE/JJS,P

> SHEET NUMBER OF 6

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Fenn & Associates, Inc. urveying and Civil Engineering mercial Drive, Shelby Township, MI 48315 e: 586-254-9577 Fax: 586-254-9020

ALIN RD CTION 24, T3N, R11E D COUNTY, MICHIGAN

1575 E HA

PART OF THE SE 1/4 OF

ROCHESTER HILLS, OAKI

PRELIMINARY

AS-BUILT REVISIONS

DATE

04/17/23 | PER CITY

06/30/23 PER CITY

08/08/23 PER CITY

APPROVAL

CONSTRUCTION

REMARKS

09/19/23 PER CITY

SEA

JESSICA SUTTER

CLIENT
CDK DEVELOPMENT
10570 SAVANNAH CT.
HUNTLEY, IL 60142
CONTACT: STEVE OSBORNI

PHONE: 224-249-9477

PROJECT NAME
1575 E HAMLIN

ROAD

PROJECT NUMBER C22-049.06X

SHEET NAME PRELIMINARY UTILITY & GRADING PLAN

DRAWING SCALE: 1" = 20'

SHEET SIZE: 24X36

DATE: 2/2/23

PROJECT MANAGER: JJS, PE

DESIGNED BY: JJS, PE

DRAWN BY: JJS, PE

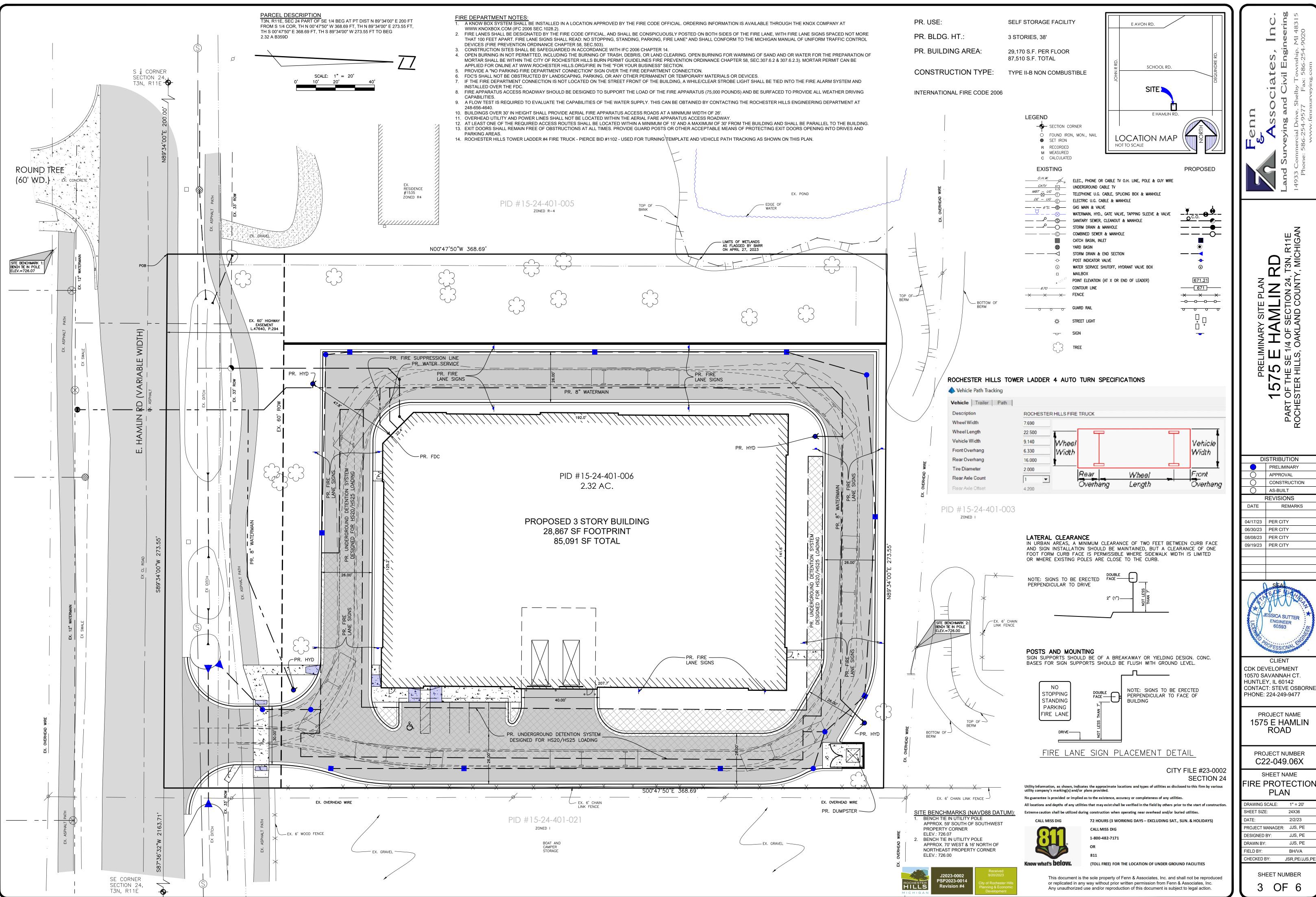
FIELD BY: BH/VA

SHEET NUMBER

2 OF 6

JSR,PE/JJS,P

CHECKED BY:



NOT TO BE USED AS CONSTRUCTION DRAWINGS

REMARKS

24X36

JJS, PE

JJS. PE

JSR,PE/JJS,P

BH/VA

CILITIES iates, Inc.

All locations and depths of any utilities that may exist shall be verified in the field by others prior to the start of construction Extreme caution shall be utilized during construction when operating near overhead and/or buried utilities. 72 HOURS (3 WORKING DAYS – EXCLUDING SAT., SUN. & HOLIDAYS)

CHECKED BY: JSR,PE/JJS,P be reproduced

CITY FILE #23-0002 SECTION 24 Utility Information, as shown, indicates the approximate locations and types of utilities as disclosed to this firm by various utility company's marking(s) and/or plans provided.

SHEET NAME

C22-049.06X

ROAD

PROJECT NAME

DISTRIBUTION PRELIMINARY APPROVAL

CONSTRUCTION

REMARKS

AS-BUILT

DATE

04/17/23 | PER CITY 06/30/23 | PER CITY

08/08/23 | PER CITY

09/19/23 PER CITY

REVISIONS

SEAL

CDK DEVELOPMENT 10570 SAVANNAH CT. HUNTLEY, IL 60142 CONTACT: STEVE OSBORNI PHONE: 224-249-9477

CLIENT

1575 E HAMLIN

PROJECT NUMBER

DETAILS

DRAWING SCALE:	N/A
SHEET SIZE:	24X36
DATE:	2/2/23
PROJECT MANAGER:	JJS, PE
DESIGNED BY:	JJS, PE
DRAWN BY:	JJS, PE
FIELD BY:	BH/VA

SHEET NUMBER OF 6

CALL MISS DIG

w what's DCIOW.	(TOLL FREE) FOR THE LOCATION OF UNDER GROUND FACIL
or replicated in a	the sole property of Fenn & Associates, Inc. and shall not be ny way without prior written permission from Fenn & Associated duse and/or reproduction of this document is subject to lega

No guarantee is provided or implied as to the existence, accuracy or completeness of any utilities.

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1-800-482-7171

	Know what's below.
Received 9/20/2023 City of Rochester Hills	This documen or replicated in Any unauthori
Planning & Economic	

* MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

** MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.

DETECTABLE WARNING SURFACE 24" ACROSS FULL WIDTH (SEE NOTES)

24" ACROSS FULL WIDTH (SEE NOTES)

"NON-WALKING" AREA -

MICHIGAN DEPARTMENT OF TRANSPORTATION

BUREAU OF DEVELOPMENT STANDARD PLAN FOR

CURB RAMP AND

DETECTABLE WARNING DETAILS

CURB RAMP AND

DETECTABLE WARNING DETAILS

R-28-J

5-8-2020 Plan date

-"NON-WALKING" AREA - ROLLED CURB

-"NON-WALKING" AREA

- 2" MAXIMUM DETECTABLE WARNING BORDER OFFSET MEASURED FROM THE ENDS OF THE RADIUS. SEE NOTES

2" MAXIMUM DETECTABLE WARNING BORDER OFFSET MEASURED FROM THE ENDS OF THE RADIUS. SEE NOTES

(TANGENT DETECTABLE WARNING SHOWN

CURB RAMP TYPE D

(DEPRESSED CORNER)

USE ONLY WHEN INDEPENDENT DIRECTIONAL RAMPS CAN NOT BE CONSTRUCTED FOR EACH CROSSING DIRECTION

MICHIGAN DEPARTMENT OF TRANSPORTATION

BUREAU OF DEVELOPMENT STANDARD PLAN FOR

CURB RAMP AND

DETECTABLE WARNING DETAILS

5-8-2020 R-28-J

(RADIAL DETECTABLE WARNING SHOWN)

gal action.

NEAREST EDGE WITHIN 2" OF SHOULDER DETECTABLE WARNING SURFACE 24" ACROSS FULL WIDTH (SEE NOTES) DETECTABLE WARNING AT FLUSH SHOULDER OR ROADWAY MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF DEVELOPMENT STANDARD PLAN FOR

* MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS $5^\prime \times 5^\prime \cdot$ SEE NOTES.

** MAXIMUM RAMP CROSS SLOPE IS 2.0%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.

DETECTABLE WARNING SURFACE 24" ACROSS FULL WIDTH (SEE NOTES)

MDOT
Hedrogen Department of Transporterior

DESIGN DIVISION DRAWN BY: B.L.T.

CHECKED BY: W.K.P.

"NON-WALKING" AREA

CURB RAMP TYPE R

(ROLLED SIDES)

— FULL CURB HEIGHT MAY BE REDUCED TO ACCOMMODATE MAXIMUM SIDE FLARE SLOPE

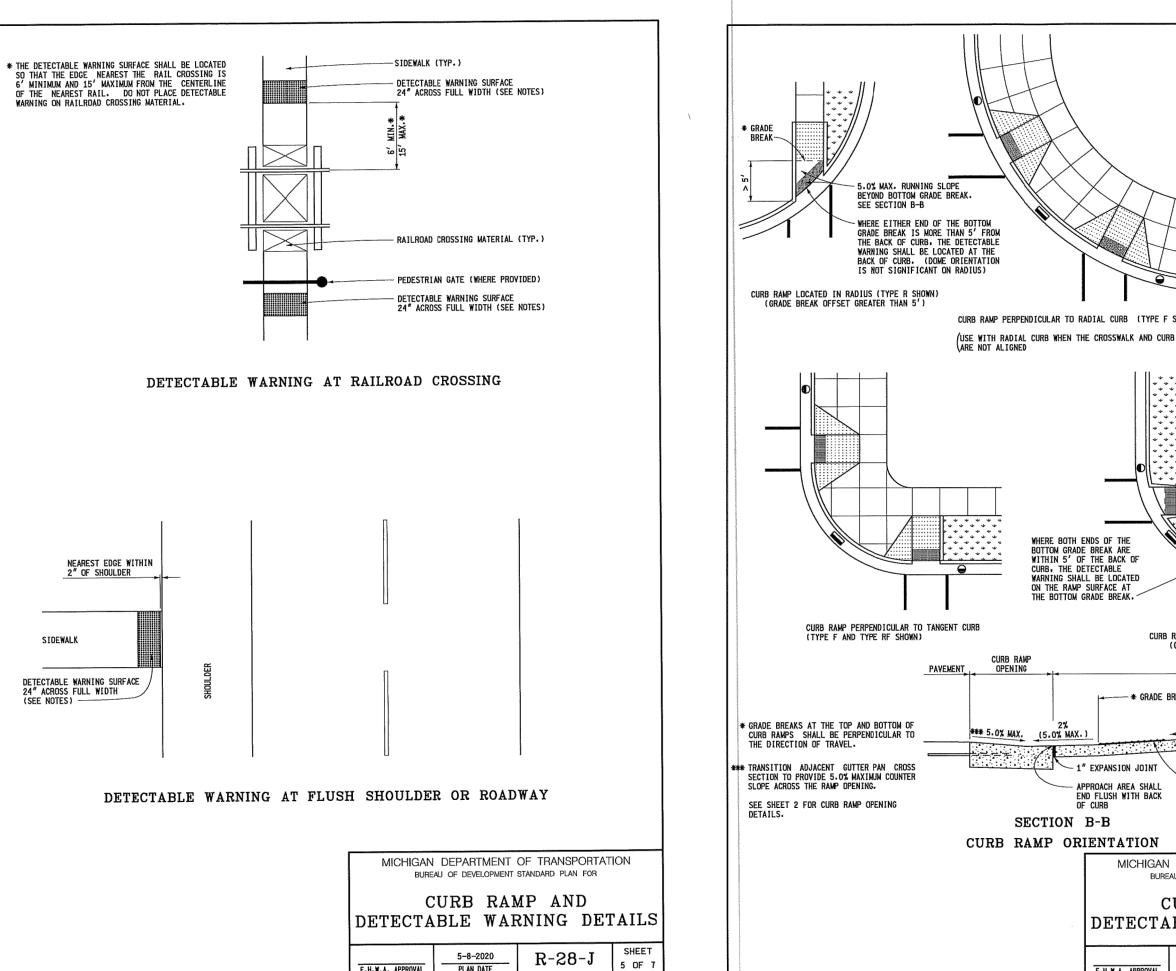
CURB RAMP TYPE F

(FLARED SIDES, TWO RAMPS SHOWN)

DEPARTMENT DIRECTOR

Paul C. Ajegba

APPROVED BY: ________DIRECTOR, BUREAU OF FIELD SERVICES



- DETECTABLE WARNING SURFACE 24" ACROSS FULL WIDTH (SEE NOTES)

FOR CURB TYPES SEE STANDARD PLAN R-30-SERIES

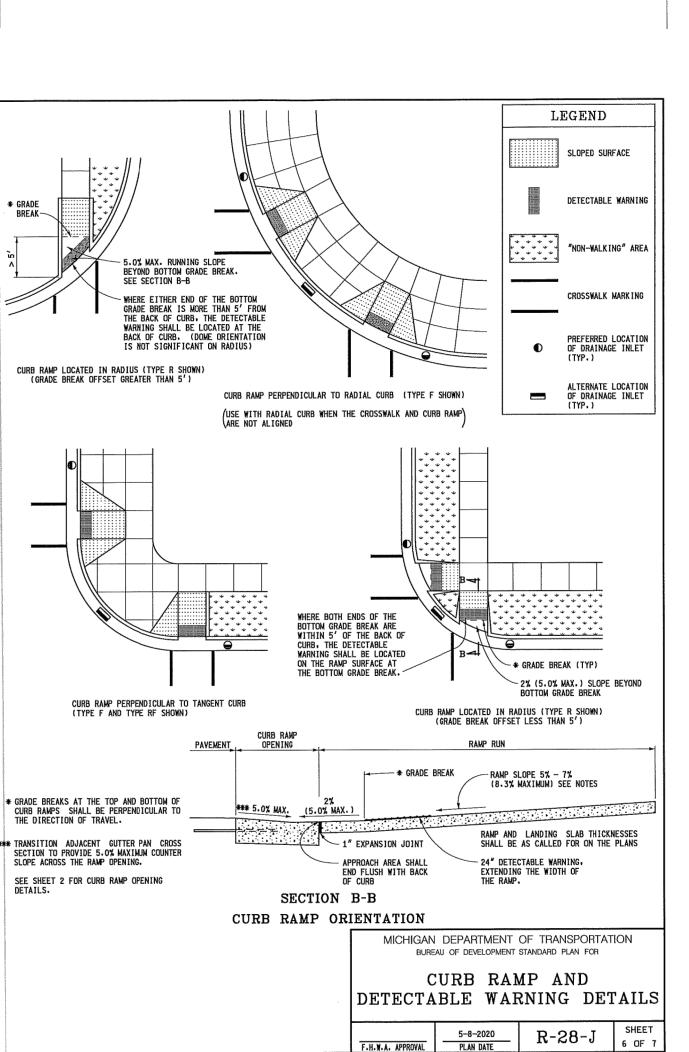
MICHIGAN DEPARTMENT OF TRANSPORTATION

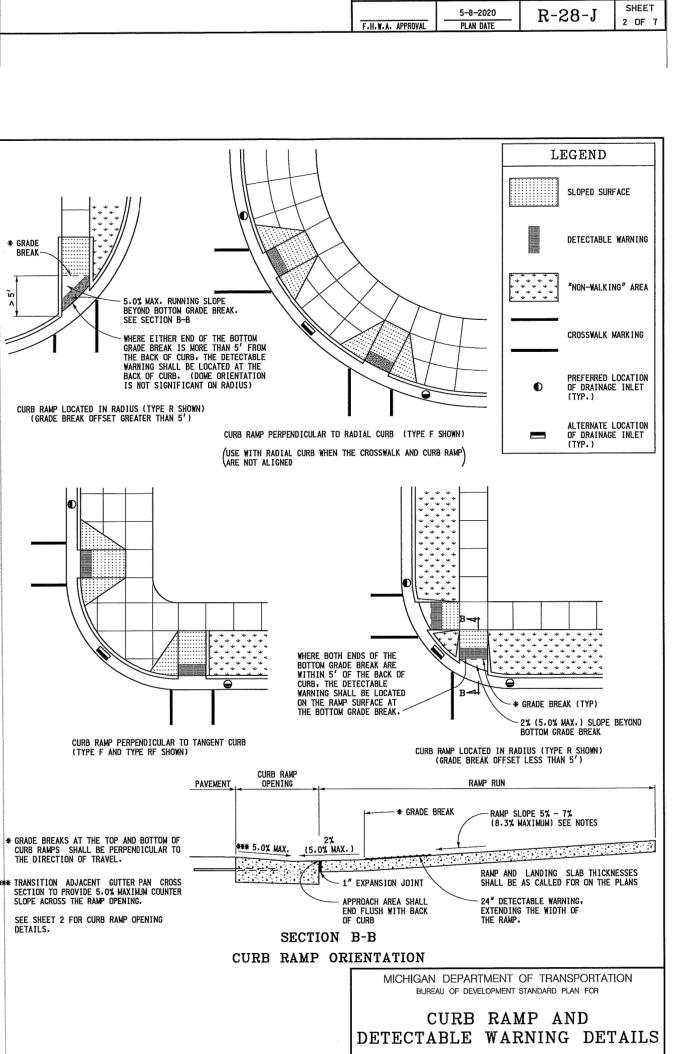
BUREAU OF DEVELOPMENT STANDARD PLAN FOR

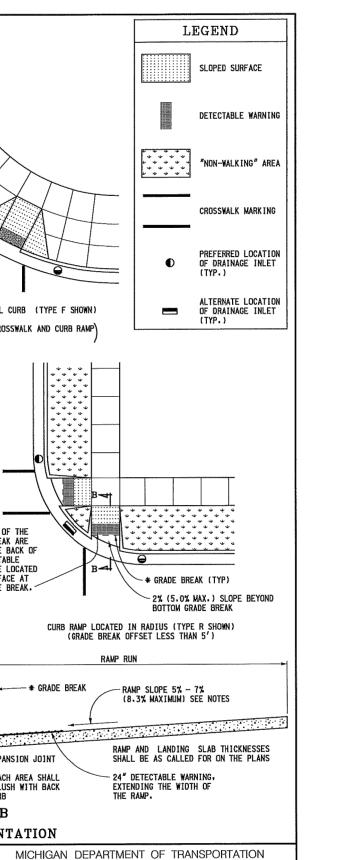
CURB RAMP AND

DETECTABLE WARNING DETAILS

R-28-J

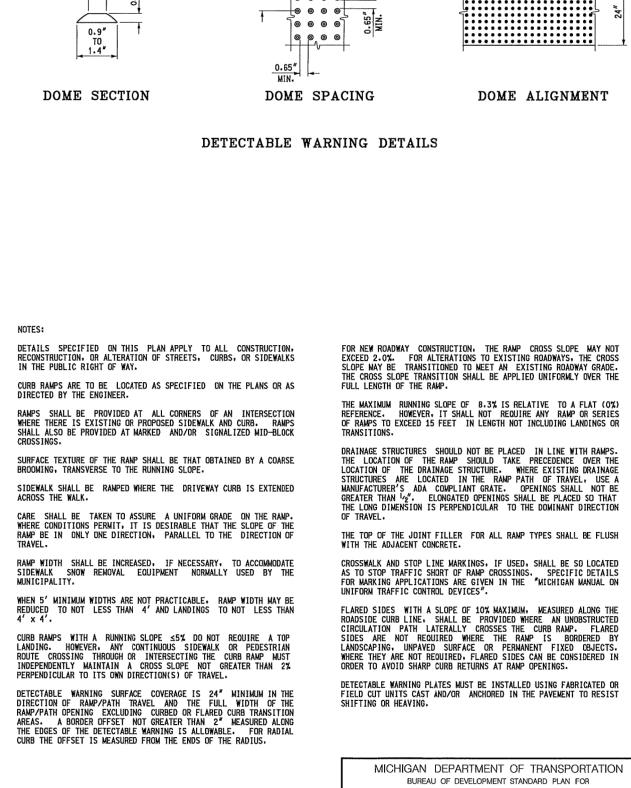


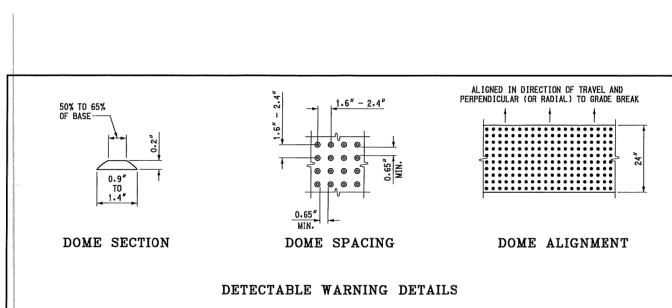


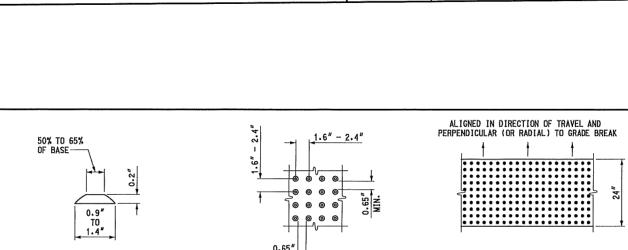


CURB RAMP AND

DETECTABLE WARNING DETAILS

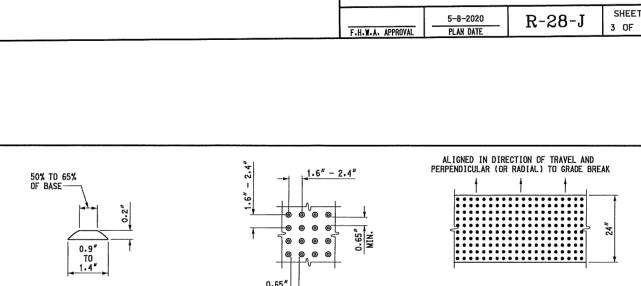






* MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS $5^\prime\times5^\prime.$ SEE NOTES.

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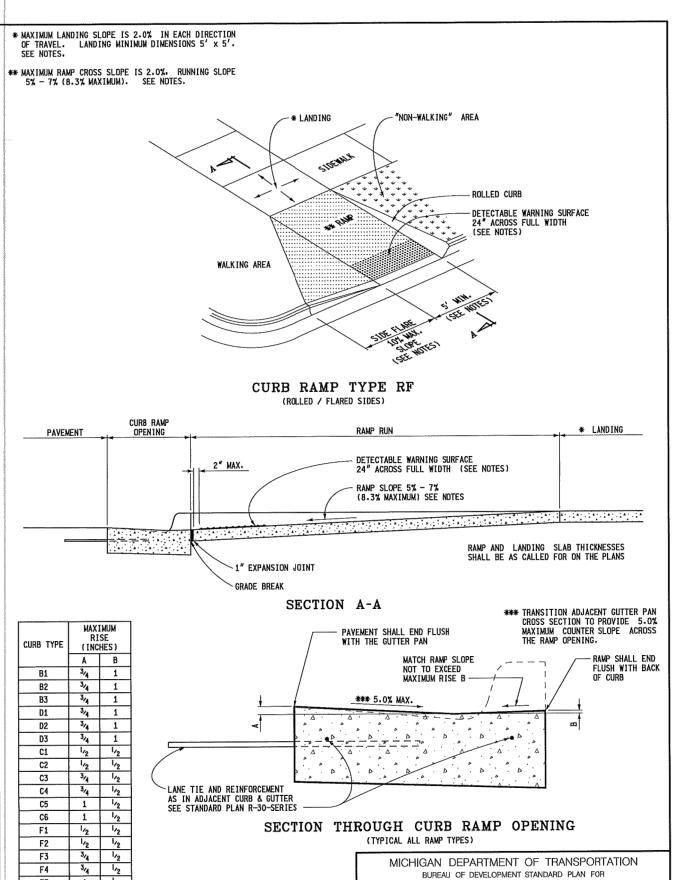
CURB RAMP TYPE P (PARALLEL RAMP)
DO NOT USE IN AREAS WHERE PONDING MAY OCCUR

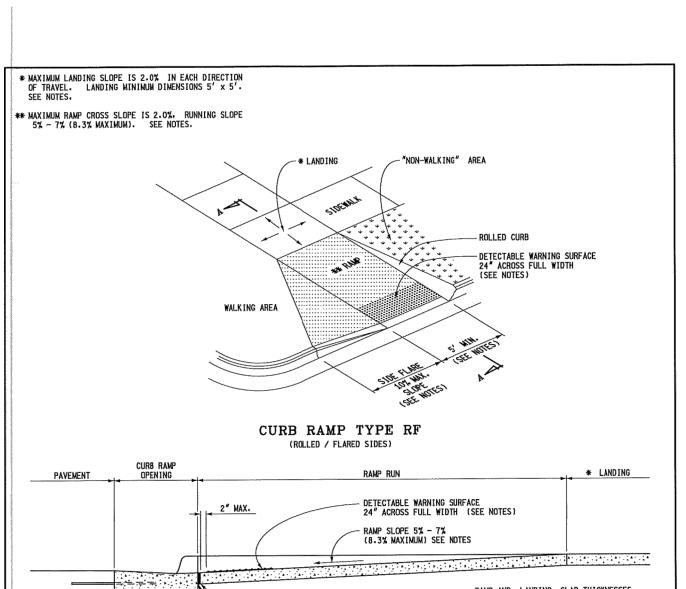
CURB RAMP TYPE C

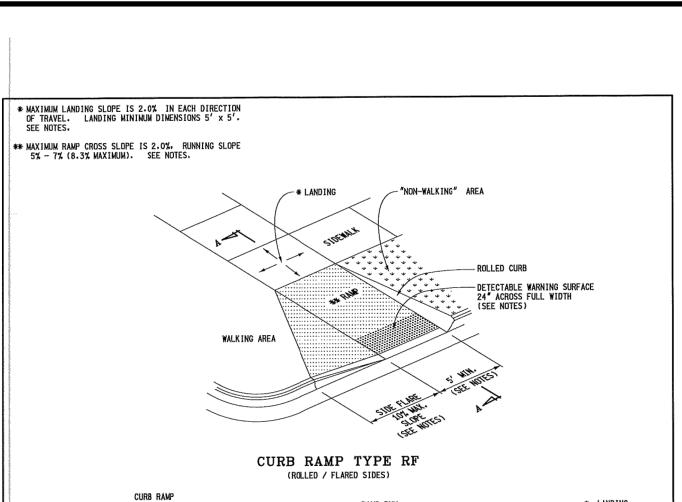
(COMBINATION RAMP)

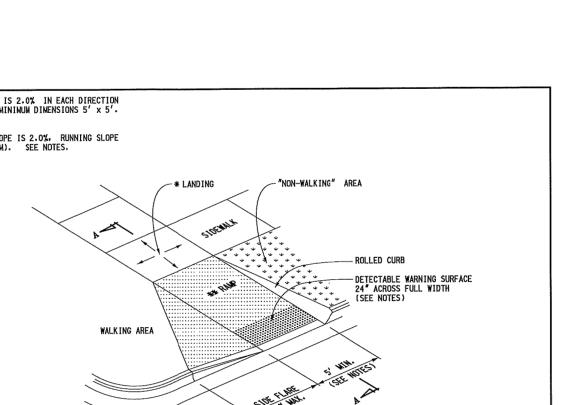
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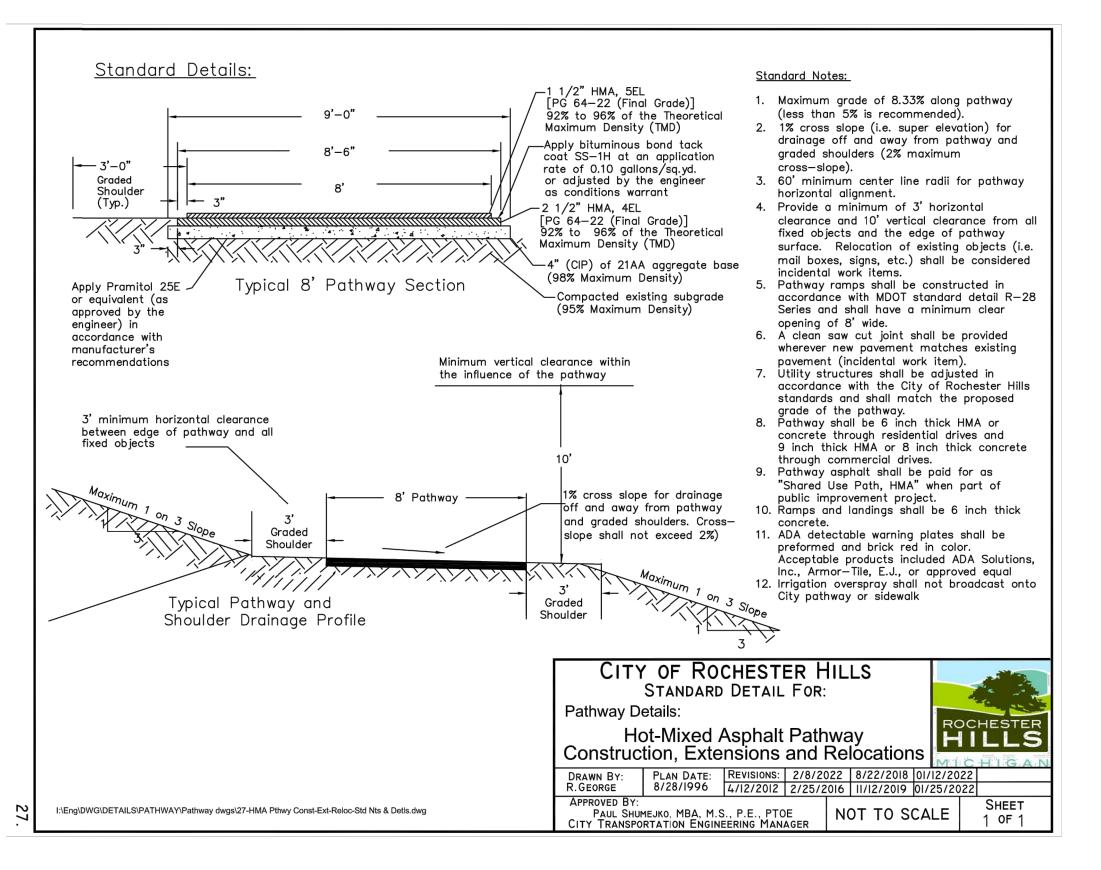
(MEDIAN ISLAND)

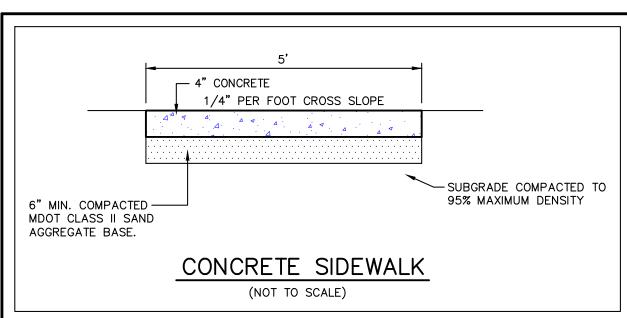












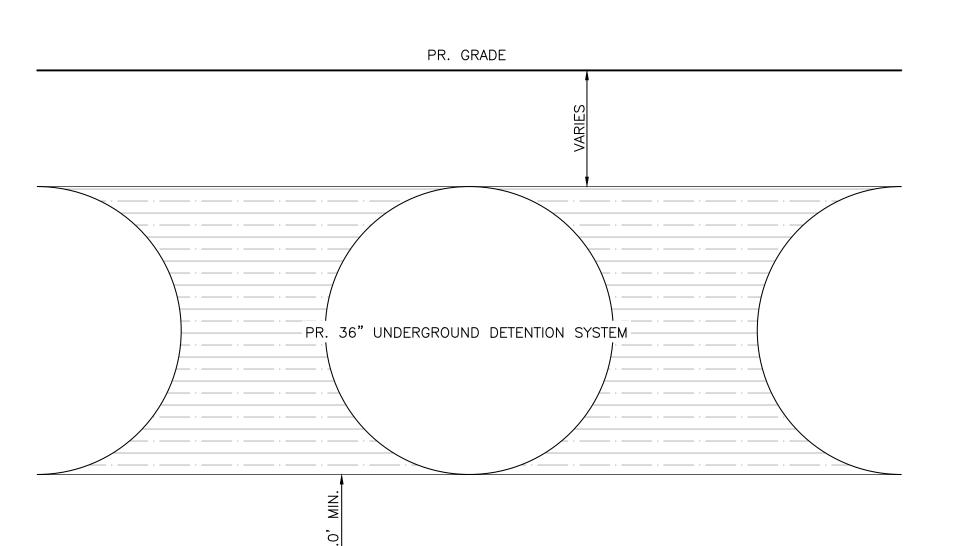
- 6" CONCRETE

1/4" PER FOOT CROSS SLOPE

CONCRETE PATHWAY (NOT THRU APPROACH)

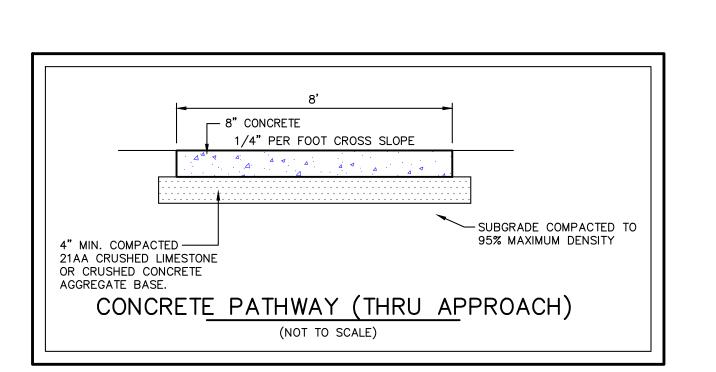
(NOT TO SCALE)

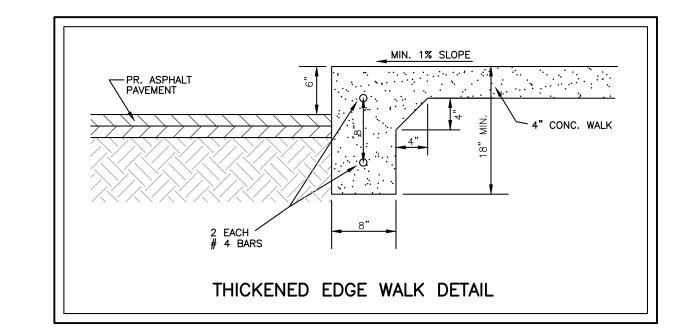
SUBGRADE COMPACTED TO 95% MAXIMUM DENSITY

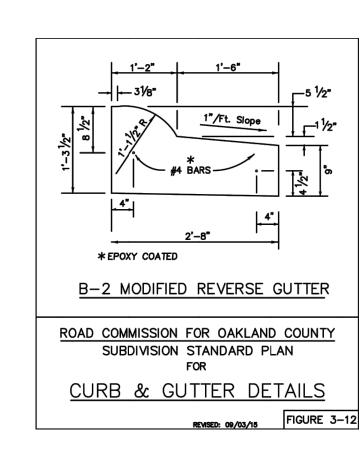


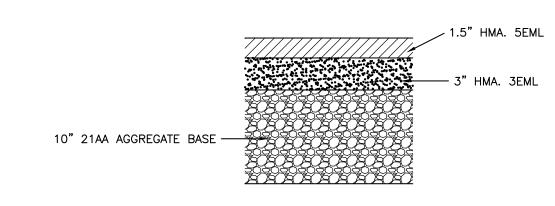
TYPICAL UNDERGROUND DETENTION SECTION (NOT TO SCALE)

EX. GROUND WATER LEVEL



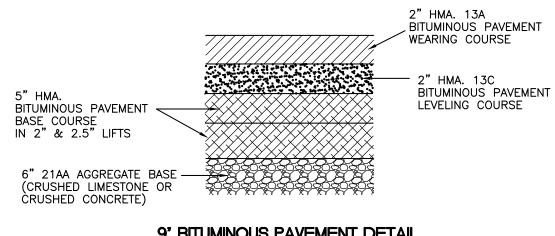






4.5" BITUMINOUS PAVEMENT DETAIL ON-SITE ONLY

NOT TO SCALE



9" BITUMINOUS PAVEMENT DETAIL R.O.W. ONLY

NOT TO SCALE

CITY FILE #23-0002 SECTION 24

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ML SECTICAND CO

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PROJECT NUMBER C22-049.06X SHEET NAME **DETAILS** DRAWING SCALE: N/A SHEET SIZE: 24X36

PROJECT MANAGER: JJS, PE

CLIENT

CONTACT: STEVE OSBORNI

PROJECT NAME

1575 E HAMLIN ROAD

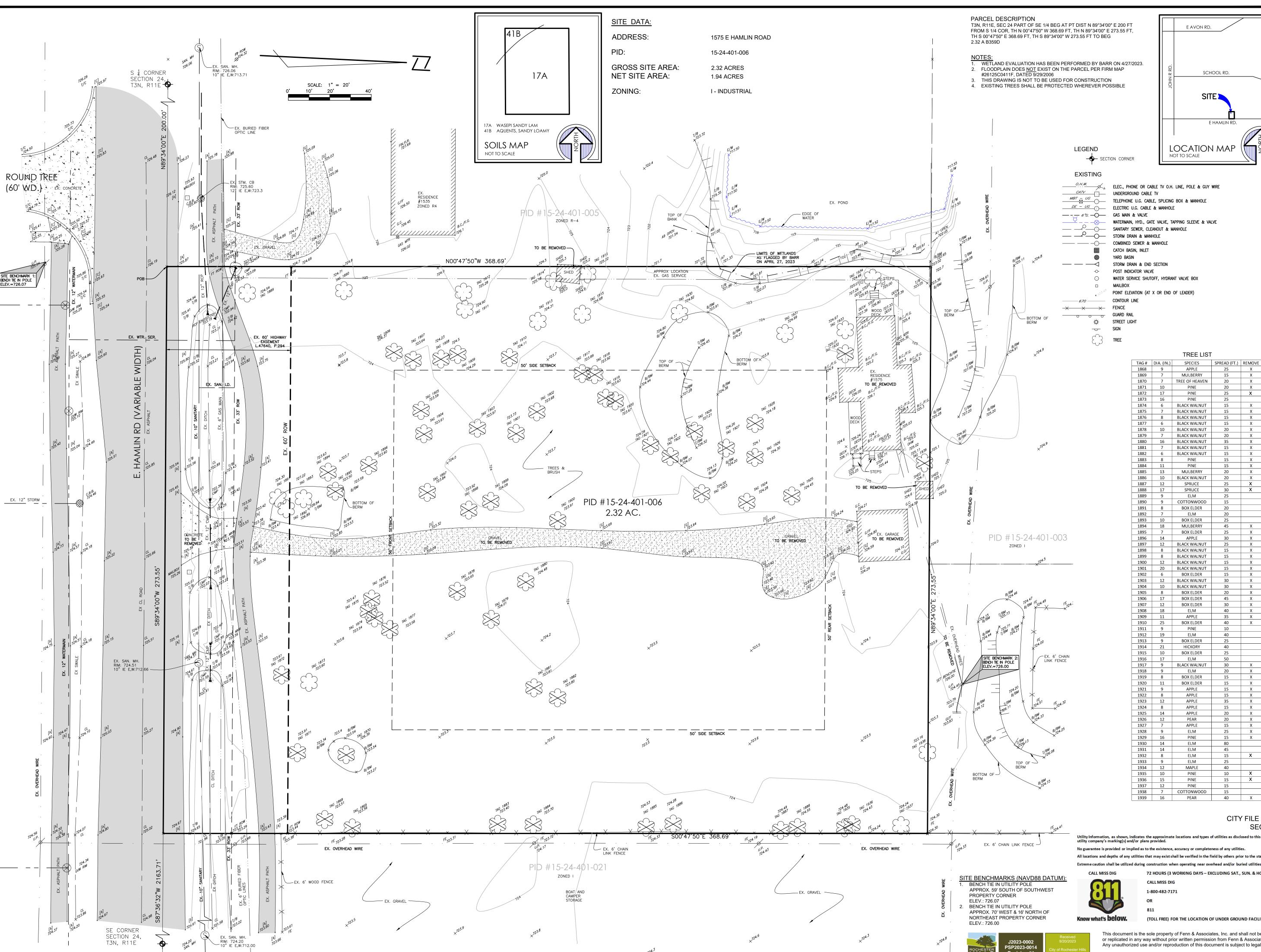
PHONE: 224-249-9477

CDK DEVELOPMENT 10570 SAVANNAH CT.

HUNTLEY, IL 60142

DESIGNED BY: JJS, PE JJS, PE DRAWN BY FIELD BY: BH/VA CHECKED BY: JSR,PE/JJS,PI SHEET NUMBER

5 OF 6



SCHOOL RD.

LOCATION MAP NOT TO SCALE

E AVON RD.

STORM DRAIN & END SECTION POST INDICATOR VALVE WATER SERVICE SHUTOFF, HYDRANT VALVE BOX POINT ELEVATION (AT X OR END OF LEADER)

TREE LIST

10/2	-,	1 11145		
1873	16	PINE	25	
1874	6	BLACK WALNUT	15	
1875	7	BLACK WALNUT	15	
1876	8	BLACK WALNUT	15	
1877	6	BLACK WALNUT	15	
1878	10	BLACK WALNUT	20	
1879	7	BLACK WALNUT	20	
1880	16	BLACK WALNUT	35	
1881	7	BLACK WALNUT	15	
1882	6	BLACK WALNUT	15	
1883	8	PINE	15	
1884	11	PINE	15	
1885	13	MULBERRY	20	
1886	10	BLACK WALNUT	20	
1887	12	SPRUCE	25	
1888	17	SPRUCE	30	
1889	9	ELM	25	
1890	9	COTTONWOOD	15	
1891	8	BOX ELDER	20	
1892	7	ELM	20	
1893	10	BOX ELDER	25	
1894	18	MULBERRY	45	
1895	7	BOX ELDER	25	
1896	14	APPLE	30	
1897	12	BLACK WALNUT	25	
1898	8	BLACK WALNUT	15	
1899	8	BLACK WALNUT	15	
1900	12	BLACK WALNUT	15	
1901	20	BLACK WALNUT	15	
1902	6	BOX ELDER	15	
1903	12	BLACK WALNUT	30	
1904	10	BLACK WALNUT	30	
1905	8	BOX ELDER	20	
1906	17	BOX ELDER	45	
1907	12	BOX ELDER	30	
1908	18	ELM	40	
1909	11	APPLE	35	
1910	25	BOX ELDER	40	
1911	9	PINE	10	
1912	19	ELM	40	
	_			

HICKORY

CITY FILE #23-0002

SECTION 24

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REVISIONS

DATE REMARKS

06/30/23 PER CITY 08/08/23 PER CITY 09/19/23 PER CITY

JESSICA SUTTER CDK DEVELOPMENT 10570 SAVANNAH CT. HUNTLEY, IL 60142

CONTACT: STEVE OSBORNI

PHONE: 224-249-9477

PROJECT NAME 1575 E HAMLIN

ROAD

PROJECT NUMBER C22-049.06X SHEET NAME

TOPOGRAPHIC MAPPING DRAWING SCALE: 1" = 20'

24X36 PROJECT MANAGER: JJS, PE DESIGNED BY: JJS, PE RP/JJS, PE DRAWN BY FIELD BY: BH/VA CHECKED BY: JSR,PE/JJS,P

> SHEET NUMBER 6 OF 6

Designer RTT Date 05/16/2023 Scale Not to Scale **Drawing No.**

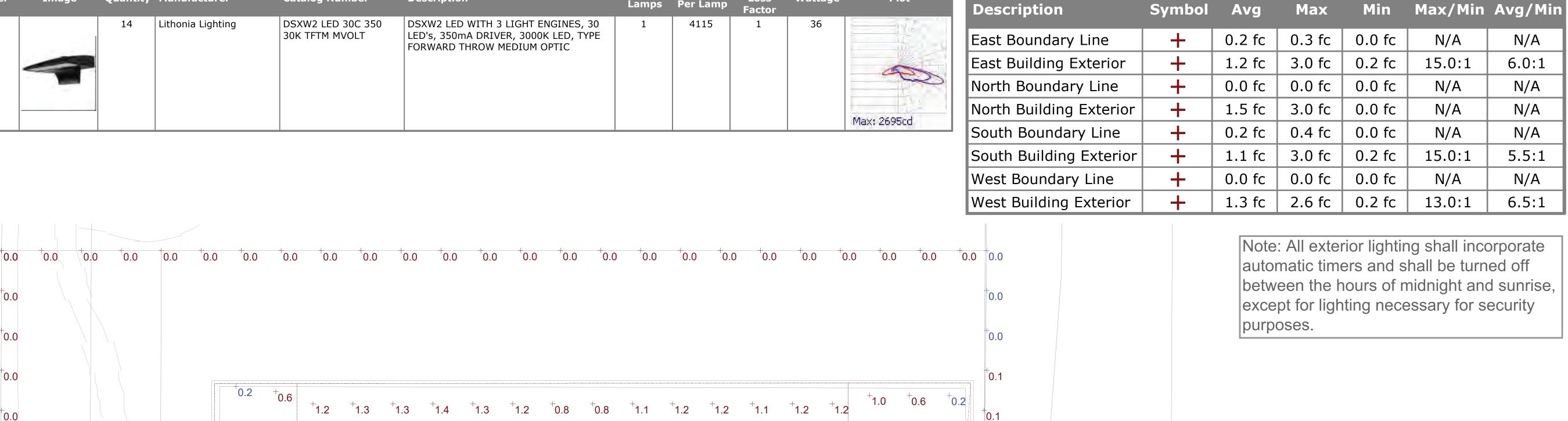
Summary

1 of 1

	Statistics
Plot	Description
#	East Boundary Line
	East Building Exteri
-	North Boundary Lin
ocom-4	North Building Exte

Symbol

Avg



Light Loss Factor

Lamps Per Lamp

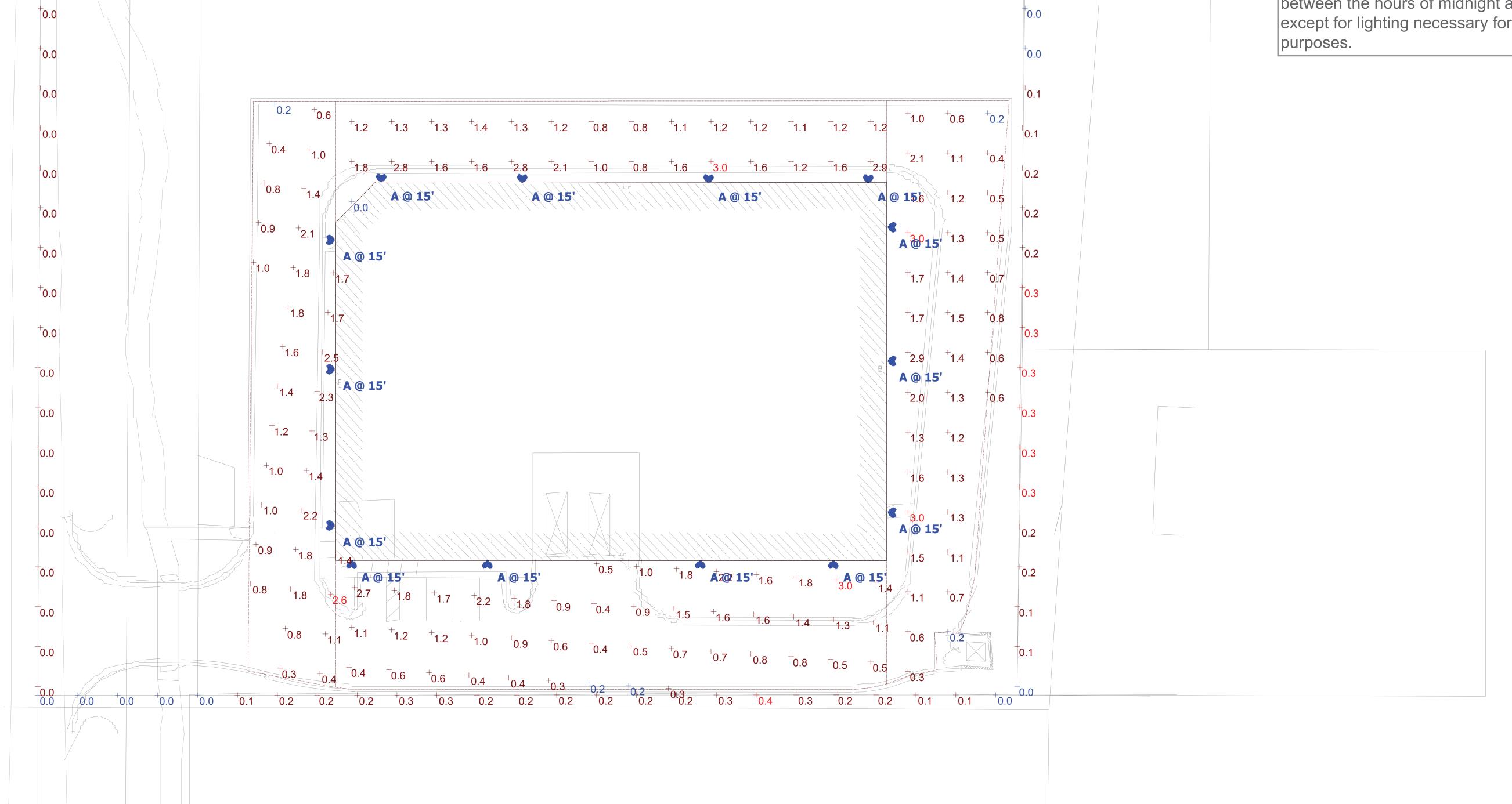
Wattage

Schedule

Quantity Manufacturer

Description

Catalog Number



CITY FILE #23-0002 SECTION 24

Plan View





Min

Max

Any plant material that is designated to be maintained that dies or is damaged during or as a result of construction shall be replaced pursuant to City Ordinance.

sheet index

LS-1 GENERAL LANDSCAPE PLAN LS-2 PLANT MATERIAL LIST NOTES & PLANT DETAILS

general landscape notes:

. LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISITING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK, CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.

2. PRIOR TO BEGINING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES. GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING

3. NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN-DISCREPANCY WITH LANDSCAPE ARCHITECT.

4. ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF

5. ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY CITY OF ROCHESTER HILLS AND LANDSCAPE ARCHITECT

6. ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAIL SHOWN ON PLAN.

7. PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARDBARK MULCH.

8. DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAYATED PLANTING HOLE.

9. NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.

10. REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS, 4" THICK BARK MULCH FOR TREES IN 4' DIA, CIRCLE WITH 3" PULLED AWAY FROM TRUNK . 4" THICK BARK MULCH FOR SHRUBS AND 2" THICK BARK MULCH FOR

11. PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS. 12. PROVIDE PEAT SOD FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE. NO PEAT SOD

13. ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.

14. PLANT TREES AND SHRUBS GENERALLY NO CLOSE FROM SIDEWALKS, CURBS AND PARKING STALLS:	R THEN THE FOLLOWING DISTANCES
a). SHADE TREES	5 FT.
b). ORNAMENTAL AND EVERGREEN TREES	
(CRAB, PINE, SPRUCE, ETC.)	lØ FT.
c). SHRUBS THAT ARE LESS THAN I FOOT TALL	

15. NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.

AND WIDE AT MATURITY

16. ALL LAWN AREAS AND LANDSCAPE BEDS TO BE FULLY IRRIGATED WITH A AUTOMATIC UNDERGROUND SYSTEMS, IRRIGATION SYSTEM TO HAVE SEPARTE ZONES FOR LAWN AREAS, PARKING ISLANDS, AND SHRUB BEDS WITH DIFFERENT CONTROL MOISTURE LEVEL ADJUSTMENT PER ZONE AS REQUIRED

17. UNLESS NOTED OTHERWISE, LANDSCAPE BEDS ADJACENT TO LAWN TO RECIEVE EDGING. EDGING SHALL BE 4" X 1/8" METAL (FINISH BLACK OR GREEN) OR APPROVED EQUAL AND TO BE INSTALLED WITH HORIZONTAL METAL STAKES AT 32" O.C. OR PER MANUFACTERER'S SPECIFICATION.

18. ALL NEW PARKING ISLANDS AND LANDSCAPE BEDS ADJACENT AND NEXT TO BUILDING SHALL BE EXCAYATED OF ALL BUILDING MATERIALS AND POOR SOILS A MIN. OF 16"-18" DEPTH. BACK FILL WITH GOOD, MEDIUM TEXTURED PLANTING SOILS. ADD A MIN. 4" OF TOPSOIL OVERFILL TO FINISH GRADE, PROVIDE POSITIVE DRAINAGE,

19. WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND MULCHING WITHIN 24 HOURS AFTER INSTALLATION.

20. ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPERATES DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.

21. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANT MATERIALS AND IRRIGATION INSTALLATION FOR A PERIOD OF TWO YEAR BEGINNING AFTER THE COMPLETION OF LANDSCAPE INSTALLTION DATE APPROVED BY THE CITY OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE TOWNSHIP OR LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.

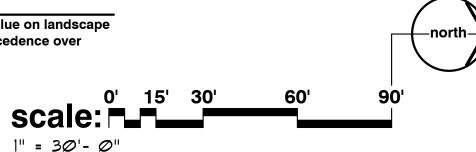
landscape plan for:

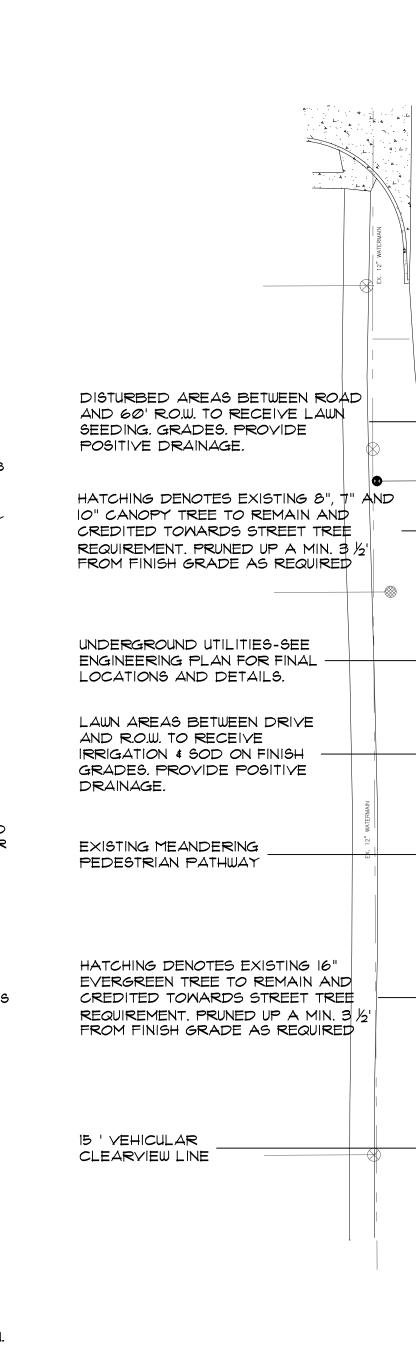
1575 E Hamlin Road

City of Rochester Hills, Michigan

note:

unless noted otherwise, numerical value on landscape quantities specified on plan take precedence over graphic representation.





landscape requirement summary

(1,307 / 150 SQ.FT. PER TREE= 8.71 TREES)

Street tree (Hamlin Road)		REQUIR	ED	PROVIDED
TOTAL LIN.FT. OF HAMLIN ROAD FRONTAGE	273	<u>+</u>		
(273' HAMLIN ROAD FRONTAGE LESS 30' ACCESS DRIVE= 243')				4-EXISTING
ONE (I) CANOPY OR EVERGREEN TREE PER 35'		8)	+ 4-NEW
(243' / 35' PER TREE= 6.9 TREES)				
ONE (I) ORNAMENTAL TREE PER 60'		5		5
(243' / 60' PER TREE= 4.05 TREES)				
buffer (west property line * residential R-4 * type-E with wall)		REQUIR	ED	PROVIDED
TOTAL LIN.FT. OF WEST PROPERY LINE	308	' <u>+</u>		2-EXISTING
TWO\$HALF (2.5) CANOPY TREES PER 100'			8	+ 6-NEW
(308' / 100'=3.08 × 2.5 TREES= 7.7 TREES)				
SIX (6) EVERGREEN TREES PER 100'			19	"A"
(308' / 100'=3.08 × 6-TREES= 18.48 TREES)				
ONE & HALF (1.5) ORNAMENTAL TREE PER 100'			5	5
(308' / 100'=3.08 X 1.5-TREES= 4.62 TREES)				
TEN (IO) SHRUB PER IOO'			31	39
(308' / 100'=3.08 X 10-SHRUBS= 30.8 SHRUBS)				ı

RATE OF 0.5 DECIDUOUS TREES AND 2 SHRUBS FOR EACH EVERGREEN TREE THAT WOULD OTHERWISE BE REQUIRED IN THE BUFFER YARD. PROVIDED

NO. OF CANOPY TREES (0.5 TREE PER EVERGREEN TREE) (19-EVERGREENS LESS 2 EX. EVERGREENS=17-EVERGREENS X .5 = 8.5 TREES) NO. OF SHRUBS (2 SHRUBS PER EVERGREEN TREE) 34 (19 EVERGREENS- 2-EX. EVERGREENS = 17-EVERGREENS X 2 =34 SHRUBS)

parking lot landscape		
interior landscape	REQUIRED	PROVIDED
TOTAL AREA OF VEHICULAR USE 26,148+ SQ.FT	•	
(PARKING AND CIRCULATION)	1,307	1350+
INTERIOR LANDSCAPE AREA	SQ.FT.	SQ.FT.
(5% VEHICULAR USE AREA= $26,147$ SQ.F.T \times .05 = $1,307$ SQ.FT)	_	I-EXISTING
ONE (I) TREE PER 150 SQ.FT. (INTERIOR LANDSCAPE AREA)	9	+ 8-NEW

I ("A") ONE (I) ORNAMENTAL TREE PER 35' (224' / 35' PER TREE= 6.4TREES) 90 ONE (I) SHRUBS PER 2.5' (224' / 2.5' PER SHRUB= 89.6 SHRUBS) City of Rochester Hills notes: ("A") WAIVER REQUESTED DUE TO LIMITED LANDSCAPE AREAS AND PUBLIC UTILITY EASEMENT RESTRICTIONS THE PUBLIC ROAD. (TREES MUST BE PLANTED AT LEAST 15' AWAY FROM CURB OR tree replacement TOTAL NO. OF EXISTING 6" DBH TREES SURVEY ON SITE 3. SHADE TREES AND SHRUBS MUST BE PLANTED AT LEAST 5'FROM THE EDGE OF NO. OF TREES LOCATED WITHIN BLDG. ENVELOP NO. OF TREES LOCATED OUTSIDE BLDG. ENVELOP AT LEAST 10' FROM THE EDGE OF THE PUBLIC WALKWAY 4. NO TREES OR SHRUBS MAY BE PLANTED WITHIN THE TRIANGULAR AREA NO. OF EXISTING TREE PRESERVATION REQUIRED_ FORMED AT THE INTERSECTION OF ANY STREET RIGHT-OF-WAY LINES AT A (40% OF TREES OUTSIDE BLDG ENVELOP = 45-TREES X .40 = 18-TREES) DISTANCE ALONG EACH LINE OF 25'FROM THEIR POINT OF INTERSECTION. NO. OF EXISTING TREES PRESERVATION PROVIDED (SAVED) 5. NO TREES OR SHRUBS MAY BE PLANTED IN THE TRIANGULAR AREA FORMED AT THE INTERSECTION OF ANY DRIVEWAY WITH A PUBLIC WALKWAY AT A DISTANCE TOTAL EXISTING TREES REMOVED 6. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10' FROM ANY FIRE NO. OF REGULATED EXISTING TREES REMOVED NO. OF SPECIMEN TREES REMOVED _ 3 (2-14" APPLE\$20" WALNUT) REQUIRED | PROVIDED NEAREST OVERHEAD WIRE. TREES MUST BE PLANTED A MINIMUM OF 5'FROM AN

(50% CALIPER INCHES REMOVED = 48" X .50 = 24" / 2" = 12-TREES)

AREAS BETWEEN WALL AND PROPERTY

GRADES. PROVIDE POSITIVE DRAINAGE.

LINE TO RECEIVE LAWN SEEDING.

HATCHING DENOTES EXISTING 21" HICKORY TO REMAIN AND CREDITED TOWARDS

BUFFER LANDSCAPE REQUIREMENTS.

PRUNE AND FERTILIZE AS REQUIRED

GRADES WITH NATIVE SOILS AND SEEDED WITH A CITY APPROVED WETLAND SEED MIX AS PART OF FINAL CONSTRUCTION RESTORATION ACTIVITIES. NOTE: ONLY NITIVE MICHIGAN SPECIES TO BE

SEEDED AND PLANTED WITHIN THE ON-SITE NATURAL FEATURE SETBACK.

NOTE: ANY UNPLANNED IMPACTS TO EXISTING

WETLANDS SHOULD BE RESTORED TO ORIGINAL

SHADE PATTERN DENOTES EXISTING TREE TO REMAIN. SEE TOPOGRAPHIC MAPPING

HATCHING DENOTES EXISTING 12" MAPLE

TO REMAIN AND CREDITED TOWARDS

BUFFER LANDSCAPE REQUIREMENTS.

PRUNE AND FERTILIZE AS REQUIRED

FOR DETAILS

R-4

308'-8"

Storage Facility Building

UNDERGROUND STORM WATER

SEE ENGINEERING PLANS FOR

TOTAL LIN.FT. PARKING & MANEUVERING LANE

(224' / 25' PER TREE= 8.96 TREES)

ONE (I) CANOPY TREE PER 25'_

NO. OF REGULATED TREE REPLACEMENT

NO. OF SPECIMEN TREE REPLACEMENT

Industria

_WITHIN 100' OF R.O.W.

MANAGEMENT SYSTEM LOCATION.

LAWN AREAS BETWEEN BUILDING AND DRIVE

TO RECEIVE IRRIGATION & SOD ON FINISH

GRADES. PROVIDE POSITIVE DRAINAGE.

Commission

Determinatior

BUFFER WIDTH

Residentia

6' HIGH MÁSONRY

CDK CROSS HATCHING DENOTES PROPOSED

TREE DESIGNATED FOR REPLACEMENT

LAWN AREAS BETWEEN BUILDING AND

FINISH GRADES. PROVIDE POSITIVE

DRAINAGE.

DRIVE TO RECEIVE IRRIGATION & SOD ON

Industr

- LINE TO RECEIVE LAWN SEEDING.

HATCHING DENOTES I-EXISTING

LANDSCAPE REQUIREMENTS

THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SITE

DISEASED BRANCHES, SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF

IMMEDIATELY AND REPLACED WITHIN SIX (6) MONTHS AFTER IT DIES OR IN THE NEXT

PLANTING SEASON, WHICHEVER OCCURS FIRST, FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH I AND JUNE I AND

SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE. THE CITY MAY NOTIFY PROPERTY

D. THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD

ACCORDANCE WITH THE AFOREMENTIONED PROCEDURES, ANY REVISIONS TO OR REMOVAL

OF PLANT MATERIALS, OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF THIS

AND INTEGRAL PART OF THE SITE PLAN APPROVAL, UNLESS OTHERWISE APPROVED IN

SECTION 138-12.109 WILL PLACE THE PARCEL IN NON-CONFORMITY WITH THE APPROVED

E. IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH

. PRIOR APPROVAL IS REQUIRED TO PLANT ANY TREE OR SHRUB ON THE

2. ALL TREES AND SHRUBS MUST BE PLANTED AT LEAST 10'FROM THE EDGE OF

THE PUBLIC WALKWAY. EVERGREEN AND ORNAMENTAL TREES MUST BE PLANTED

C. ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED

OWNERS OF THE NEED TO REPLACE DEAD, DAMAGED, OR DISEASED MATERIAL.

BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.

ROAD EDGE WHERE THE SPEED LIMIT IS MORE THAN 35 MPH.)

ALONG EACH LINE OF 15' FROM THEIR POINT OF INTERSECTION.

ARE INCORPORATED INTO THE PLAN.

DEPARTMENT.

7. SHADE AND EVERGREEN TREES MUST BE AT LEAST 15' AWAY FROM THE

GREATER DISTANCE. PRIOR TO THE RELEASE OF THE PERFORMANCE BOND,

OF THE PUBLIC RIGHT-OF-WAY, FORESTRY MAY REQUIRE THE DEVELOPER TO

9. IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY

UNDERGROUND UTILITY, UNLESS THE CITY'S LANDSCAPE ARCHITECT REQUIRES A

8. THE CITY OF ROCHESTER HILLS FORESTRY UNIT NEEDS TO INSPECT ALL TREES,

EXISTING OR PLANTED, TO IDENTIFY ANY THAT POSE A HAZARD TO THE SAFE USE

REMOVE, AND POSSIBLY REPLACE, ANY SUCH TREES. THE ABOVE REQUIREMENTS

LANDSCAPE PLAN AND BE A VIOLATION OF THIS ORDINANCE.

A. LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION

FROM OCTOBER I UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR

EVERGREEN PLANTS SHALL BE BETWEEN MARCH I AND JUNE I. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE

City of Rochester Hills maintenance notes:

LANDSCAPING, AS FOLLOWS:

PUBLIC RIGHT-OF-WAY

FREE FROM DEBRIS AND REFUSE.

PLANTS TO ACHIEVE THEIR APPROVED PURPOSE

EVERGREEN TREES TO REMAIN AND

CREDITED TOWARDS INTERIOR PARKING

AREAS BETWEEN DRIVE AND PROPERTY

GRADES. PROVIDE POSITIVE DRAINAGE.

1575 E Hamlin Road

DEVELOPMENT

Contact: Steve Osborne

Phone: 224-249-9447

10570 Savannah Ct

Huntley, Illinois

and ASSOCIATES

Community Land Planner and

registered Landscape Architect

24333 Orchard Lake Rd, Suite G

Farmington Hills, Michigan 48336

phone: (248) 557-5588

project sponsor

project location:

City of Rochester Hills , Michigan

1575 E. Hamlin Road

sheet title:

LANDSCAPE PLAN

job no. / issue / revision date: LS23.028.02 REVIEW 2-9-2023 LS23.028.02 SPA 2-9-2023 LS23.028.05 SPA 5-23-2023

LS23.028.06 SPA 6-29-2023

LS23.028.08 SPA 8-16-2023 B. PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR LS23.028.09 SPA 9-18-2023

checked by:

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Do Not scale drawings. Use figured dimensions only



For free location of public utility lines The location and elevations of existing underground utilities as shown on this drawing are only approximate. no guarantee is eithe expressed or implied as to the npleteness of accuracy, contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of

project no: LS23.028.02

4 ("A")

+ 48 TO CITY TREE FUND

CITY FILE #23-0002, SECTION 24

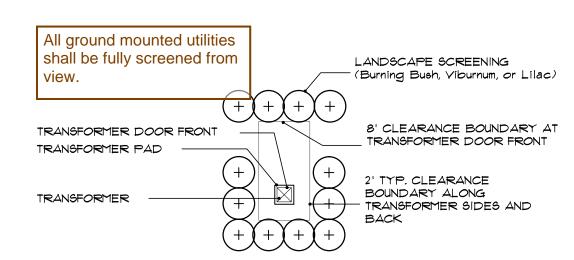
nlant material list

key	quant. LS-1	botanical name	common name	size	comments
		REPLACEMENT TREES			
GBR	8	GINGKO BILOBA ('PNI 2720') 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	3" BB	МАТСН
PDR	2	PICEA GLAUCA 'DENSATA	BLACK HILL SPRUCE	8' BB	
PSR	3	PINUS STROBUS	EASTERN WHITE PINE	8' BB	
		LARGE AND SMALL DECIDUOUS TREES			
GB	6	GINGKO BILOBA ('PNI 2720') 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	3" BB	MATCH
co	5	CELTIS OCCIDENTALIS	COMMON HACKBERRY	3" BB	
LT	8	LIRIODENDRON TULIPIFERA	TULIPTREE	3" BB	
TR	3	TILIA AMERICANA 'REDMOND'	REDMOND LINDEN	3" BB	
ARA	8	ACER R. 'ARMSTRONG'	ARMSTRONG RED MAPLE	3" BB	
CC	3	CERCIS CANADENSIS	EASTERN REDBUD	8' BB	MULTI-STEM
MF	2	MALUS FLORIBUNDA	JAPANESE FLOWERING CRABAPPLE	2" BB	
AC	2	AMECHANCIER CANADENSIS	AUTUMN BRILLIANCE SERVICEBERRY	8' BB	MULTI-STEM
MS	1	MALUS SNOWDRIFT	SNOWDRIFT CRABAPPLE	2" BB	
MR	3	MALUS RED VELVET	RED VELVET CRABAPPLE	2" BB	
PD	1	PICEA GLAUCA 'DENSATA	BLACK HILL SPRUCE	Ø' BB	
		DECIDUOUS AND EVERGREEN SHRUBS			
IV	20	CORNUS STOLONIFERA	MICHIGAN HOLLY	30" HIGH CONT	60" O.C. SPACINO
LV	16	LIGUSTRUM X. 'VICAYRII'	GOLDEN VICARY PRIVET	30" HIGH CONT	48" O.C. SPACING
HA	5	HYDRANGEA ANNEBELLE	ANNABELLE HYDRANGEA	30" HIGH CONT	36" O.C. SPACING
FI	33	FORSYTHIA X. INTERMEDIA	BORDER FORSYTHIA	30" HIGH CONT	60" O.C. SPACINO
JŤ	31	JUNIPERUS S. TAMARISCIFOLIA	TAMARIX JUNIPER	24" BB	60" O.C. SPACINO
M	20	VIBURNUM MOHAWK	MOHAWK VIBURNUM	6' BB	60" O.C. SPACINO
BM	17	BUXUS M. 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	18" BB	36" O.C. SPACING
LL	45	LIGUSTRUM VULGAR 'LODENSE'	LODENSE PRIVET	30"HIGH CONT	48" O.C. SPACING
RAG	9	RHUS AROMATIC 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	# 5 CONT	42" O.C. SPACING
		PERENNIALS AND GRASSES	MODAING LIGHT LADANTGE GILVED CDAGG	#2 COVE	4011 06 65 461516
MSG		MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAPANESE SILVER GRASS	*3 CONT.	42" O.C. SPACING

City of Rochester Hills landscape notes:

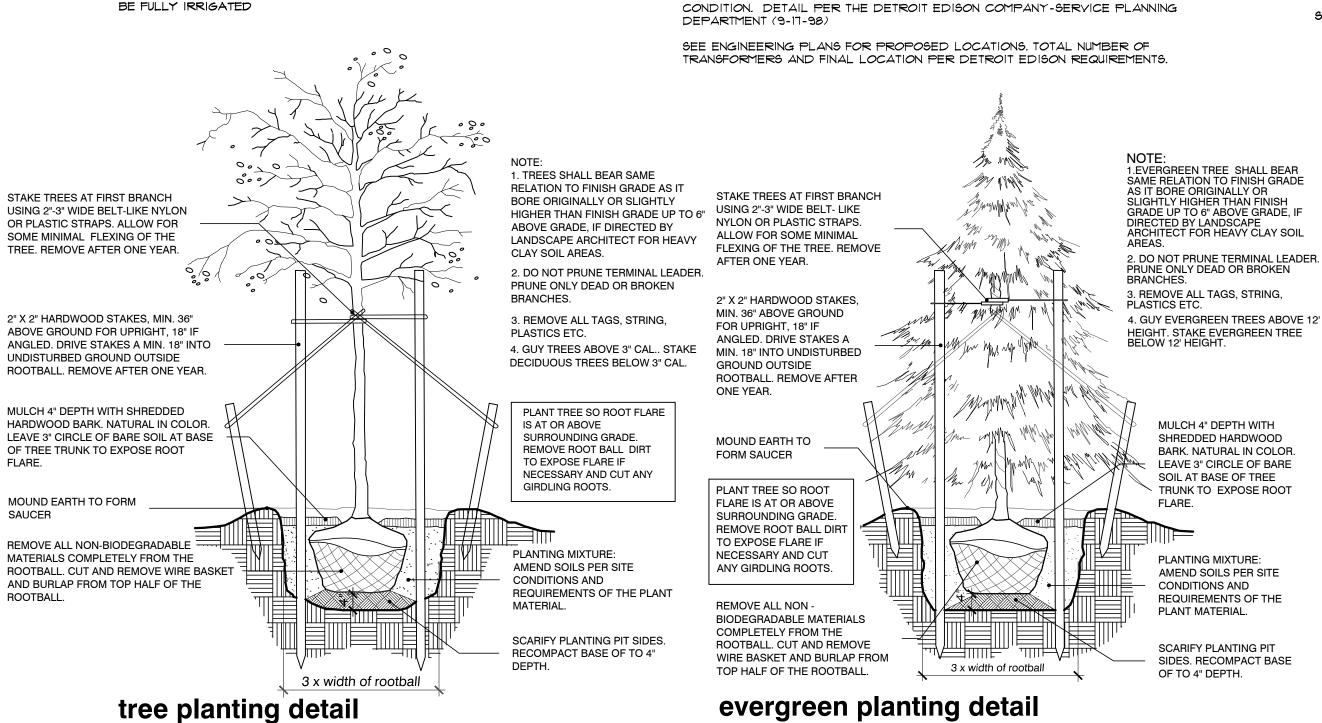
A LANDSCAPE PLANTING SCHEDULE MUST BE PROVIDED INCLUDING THE

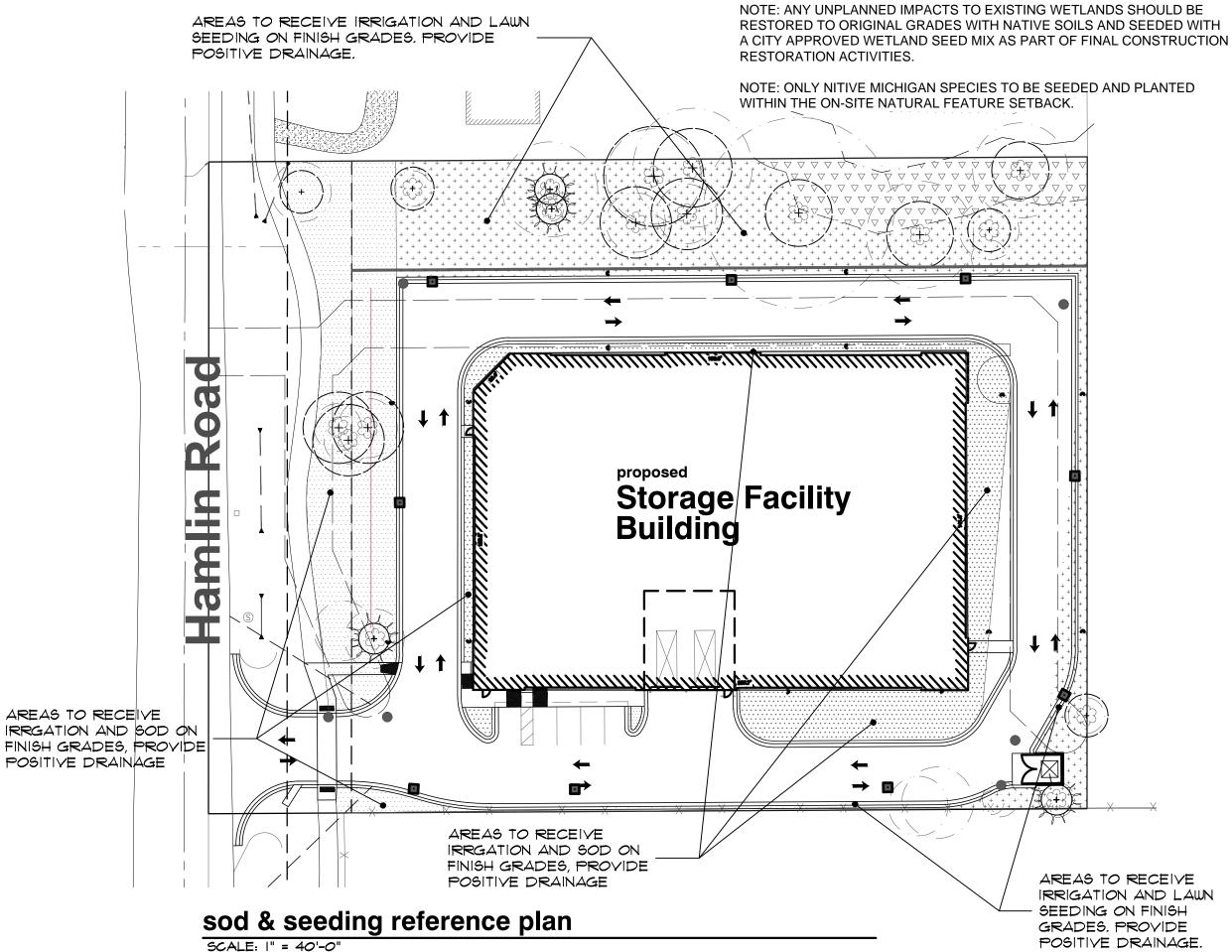
- SIZE OF ALL PURPOSED LANDSCAPING. A UNIT COST ESTIMATE AND LANDSCAPE COST SUMMARY, INCLUDING IRRIGATION COST, FOR THE LANDSCAPE BOND PURPOSES MUST BE PROVIDED 2. PRIOR TO THE RELEASE OF THE PERFORMANCE BOND, THE CITY OF
- ROCHESTER HILLS MUST INSPECT ALL LANDSCAPE PLANTING'S 3. ANY PLANT MATERIAL THAT IS DESIGNATED TO BE MAINTIANED THAT DIES OR DAMAGED DURING OR AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN KIND WITH LIKE SPECIES AND SIZE.
- 4. ALL LANDSCAPE AREAS MUST BE IRRIGATED. IRRIGATION PLAN TO BE SUBMITTED PRIOR TO STAFF APPROVAL OF FINAL SITE PLAN. A NOTE SPECIFYING THAT WATERING WILL ONLY OCCUR BETWEEN THE HOURS OF 12:00 AM AND 5:00 AM
- 5. ALL GROUND MOUNTED UTILITIES SHALL BE FULLY SCREENED FROM VIE 6. ALL LANDSCAPE AND GRASS AREAS, INCLUDING RIGHTS OF WAY SHALL



transformer pad planting detail

A MINIMUM OF 2' SEPARATION BETWEEN TRANSFORMER AND FULL GROWN SHRUBS AND TREES. GROUND COVERS ALLOWED UP TO TRANSFORMER PAD IF MAINTAINED BELOW 4" FULL GROWTH. IF TRANSFORMER FACES TOWARDS THE HOUSE, THEN THE SAME CONDITIONS EXIST. NO FULL GROWTH IN FRONT OF THE TRANSFORMER FOR AT LEAST A MINIMUM OF 8'. THERE ARE NO WAIVERS GRANTED TO THE ABOVE CONDITION. DETAIL PER THE DETROIT EDISON COMPANY-SERVICE PLANNING





planting landscape notes:

- 1) PLANT MATERIALS TO BE INSTALLED ACCORDING TO THE CITY ROCHESTER AND CURRENT AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- 2) PLANT MATERIALS TO BE GUARANTEED FOR 2 YEARS. REPLACE FALLING MATERIAL WITHIN I YEAR, OR THE NEXT APPROPRIATE PLANTING PERIOD.
- 3) PLANT MATERIALS TO BE OF PREMIUM QUALITY, NO. I GRADE NORTHERN NURSURY GROWN, IN HEALTHY CONDITION, FREE OF PESTS AND DISEASES.
- 4) MULCH IS TO BE NATURAL COLORED, FINELY SHREDDED HARDWOOD BARK OF 4" THICK BARK MULCH FOR TREES IN 4' DIA. CIRCLE W/3" PULLED AWAY FROM TRUNK, 3" THICK BARK MULCH FOR SHRUBS AND 2" THICK BARK MULCH FOR PERRENIALS.

5) CALL MISS DIG AT 1-800-482-1171 PRIOR TO ANY CONSTRUCTION.

DECIDUOUS & EVERGREEN TREE:

PRUNE AS SPECIFIED STAKE

3 LARGEST STEMS, IF TREE

HAS MORE THAN 3 LEADERS

SET TREE STAKES VERTICAL

& AT SAME HEIGHT.

MOUND TO FORM

PLANT MIXTURE AS

SCARIFY T 4" DEPTH AND

STAKES TO EXTEND 12"

UNDISTURBED GROUND

multi-stem tree planting detail

BELOW TREE PIT IN

SAUCER

SPECIFIED

RECOMPACT

- 1) TREE SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY 2) DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN
- 3) REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSLIGHTLY AND COULD CAUSE GIRDLING.
- 4) REMOVE TREE STAKES, GUY WIRES AND TREE WRAP AFTER ONE WINTER 1) SHRUB SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT
- BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY
- 2) DO NOT PRUNE TERMINAL LEADER PRUNE ONLY DEAD OR BROKEN BRANCHES. 3) REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSLIGHTLY AND COULD CAUSE GIRDLING.

3 STAKES PER TREE MAX

WITH SINGLE STAY

LACE STRAPS TOGETHER

MULCH 3" DEPTH WITH SHREDDED HARDWOOD BARK.

MOUND EARTH TO FORM

NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK TO EXPOSE

REMOVE COLLAR OF ALL FIBER POTS. POTS SHALL BE CUT TO PROVIDE FOR ROOT GROWTH.

REMOVE ALL NONORGANIC CONTAINERS COMPLETELY.

SCARIFY PLANTING PITSIDES

RECOMPACT BASE OF TO 4"

SET STAYS ABOVE FIRST

UP TREE (SEE DETAIL)

MULCH 4" DEPTH WITH

NECESSARY.

ROOTBALL.

REMOVE ALL NON-

BRANCHES, APPROX. HALFWAY

SHREDDED HARD WOOD BARK

CIRCLE OF BARE SOIL AT BASE

ROOT FLARE. REMOVE EXCESS

SOIL TO EXPOSE ROOT FLARE IF

NATURAL IN COLOR. LEAVE 3"

OF TREE TRUNK TO EXPOSE

BIODEGRADABLE MATERIALS

ROOTBALL. CUT DOWN WIRE

BURLAP FROM TOP 1/3 OF THE

BASKET AND FOLD DOWN

COMPLETELY FROM THE

- EITHER PLASTIC OR WOOD ORANGE SNOW FENCING SHALL BE INSTALLED AT OR BEYOND THE DRIPLINE, UNLESS MORE SUBSTANTIAL FENCING IS STAKES SHALL BE METAL 'T' POLES SPACED NO FURTHER THAN 5' ON
- FENCING SHALL NOT BE INSTALLED CLOSER TO THE TREE THAN THE DRIPLINE OF THOSE TREES TO BE SAVED. SPECIAL CIRCUMSTANCES SHALL BE REVIEWED BY THE CITY FENCING SHALL BE ERECTED PRIOR TO CONSTRUCTION. THE CITY SHALL BE
- NOTIFIED ONCE THE FENCING IS INSTALLED FOR INSPECTION. UNDER NO CIRCUMSTANCES SHALL THE PROTECTIVE FENCING BE REMOVED WITHOUT PROPER APPROVAL FROM THE CITY
- NO PERSON SHALL CONDUCT ANY ACTIVITY WITHIN THE AREAS PROPOSED TO REMAIN. THIS SHALL INCLUDE, BUT NOT LIMITED TO:
- a. NO SOLVENTS OR CHEMICALS WITHIN THE PROTECTED AREAS. b. NO BUILDING MATERIALS OR CONSTRUCTION EQUIPTMENT WITHIN THE
- PROTECTED AREAS. c. NO GRADE CHANGES, INCLUDING FILL, WITHIN THE PROTECTED AREAS.
- d.NO REMOVAL OF VEGETATION FROM THE GROUND UP WITHOUT PERMISSION FROM THE PROPER REVIEWING AUTHORITY, INCLUDING THE WOODLANDS
- e. ANY REQUIRED SWALE NEEDS TO BE DIRECTED AROUND THE PROTECTED AREAS. IN INSTANCES WHERE SWALES ARE APPROVED THRU A PROTECTED AREA, THE SWALES NEED TO BE HAND DUG. MACHINERY OF ANY KIND IS

shrub planting detail

REGULATED WOODLANDS OR REGULATED TREES ADJACENT ADJACENT TO THE PROPERTY ARE ALSO REQUIRED TO BE PROTECTED WHETHER OR NOT THEY ARE SHOWN ON THE PLAN.

hatch pattern key

AREAS TO RECEIVE IRRIGATION AND SOD, MAINTAINED AND MOWED

WEEKLY AREAS TO RECEIVE LAWN SEEDING AND IRRIGATION

AREAS TO RECEIVE WETLAND POSE SEED MIX

lawn area:

SOD LAWN AREAS SHALL BE KENTUCKY BLUE GRASS BLEND GRASS IN A SOD NURSERY ON LOAM SOIL, SOD TO BE INSTALLED ON MINIMUM 4" TOPSOIL. SEEDED LAWN AREAS SHALL CONSIST OF THE FOLLOWING TYPES AND PROPORTIONS:

> 5% PERENNIAL RYE GRASS 10% RED FESCUE 25% CHEWING FESCUE 60% KENTUCKY BLUE GRASS

SEED MIX SHALL BE APPLIED AT A RATE OF 200 POUNDS PER ACRE AND WEED CONTENT SHALL NOT EXCEED 1%, SEED. PROVIDE A MINIMUM 4" TOP SOIL ON ALL

wetland edge seed mix:

•	SPECIES	COMMON NAME	RATE (LBS./AC
	ALISMA SUBCORDATUM	COMMON WATER PLANTAIN	0.375
	ASCLEPIAS INCARNATA	SWAMP MILKWEED	0.062
	ASTER NOVA-ANGLIAE	NEW ENGLAND ASTER	0.062
	ASTER SIMPLEX	PANICLED ASTER	0.031
	BIDENS CERNUA	NODDING BUR MARIGOLD	0.312
	BIDENS FRONDOSA	COMMON BEGGAR'S TICK	0.125
	BOLTONIA LATISQUAMA	FALSE ASTER	0.188
	CAREX BEBBII	BEBB'S SEDGE	0.125
	CAREX COMOSA	BOTTLEBRUSH GRASS	0.125
	CAREX LUPULINA C	OMMON HOP SEDGE	0.062
	CAREX STIPATA	AWL-FRUITED SEDGE	0.125
	CAREX SCOPARIA	POINTED BROOM SEDGE	0.125
	CAREX VULPINOIDEA	FOX SEDGE	0.500
	ELEOCHARIS SPECIES	SPIKE RUSH SPECIES	0.062
	ELYMUS VIRGINICUS	VIRGINIA WILD RYE	1.500
	EUPATORIUM MACULATUM	SPOTTED JOE PYE WEED	0.125
	GLYCERIA STRIATA	FOWL MANNA GRASS	0.125
	HELENIUM AUTUMNALE	SNEEZEWEED	0.250
	IRIS VIRGINICA	SOUTHERN BLUE FLAG	0.188
	JUNCUS SPECIES	RUSH SPECIES	0.062
	LEERSIA ORYZOIDES	RICE CUT GRASS	0.188
	LUDWIGIA POLYCARPA	FALSE LOOSESTRIFE	0.001
	MIMULUS RINGENS	MONKEYFLOWER	0.031
	ONOCLEA SENSIBILIS	SENSITIVE FERN	0.031
	PENTHORUM SEDOIDES	DITCH STONECROP	0.001
	POLYGONUM HYDROPIPERO	IDES MILD WATER PEPPER	0.750
	RUDBECKIA LACINIATA	GREEN CONEFLOWER	0.125
	SAGITTARIA LATIFOLIA	DUCK POTATO	0.062
	SCIRPUS ATROVIRENS	DARK GREEN RUSH	1.250
	SCIRPUS FLUVIATILIS	RIVER BULRUSH	0.125
	SCIRPUS PENDULUS	RED BULRUSH	0.031
	SCIRPUS VALIDUS	SOFT STEM BULRUSH	0.031
	SPARGANIUM EURYCARPUM		0.062
	VERONONIA FASCICULATA	COMMON IRONWEED	0.062
	VERBENA HASTATA	BLUE VERVAIN	0.125
		TOTA	AL 7.404
	COVER CROP		
	AVENA SATIVA	SEED OATS 20.0	
	LOLIUM MULTIFLORUM	ANNUAL RYE 5.0	

1. SHRUB SHALL BEAR SAME RELATION TO FINISH

GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT

PLANTING MIXTURE:

AMEND SOILS PER SITE

OF THE PLANT MATERIAL.

HRUBS PLANTED IN BEDS

SHALL HAVE ENTIRE BED MASS

INSTALLED IN INDIVIDUAL HOLES.

REMOVE ALL NON-BIODEGRADABLE

MATERIALS COMPLETELY FROM THE

ROOTBALL. CUT AND REMOVE WIRE

BASKET AND BURLAP FROM TOP

EXCAVATED AND BACKFILLED

WITH APPROVED PLANT MIX.

PLANTS SHALL NOT BE

HALF OF THE ROOTBALL

CONDITIONS AND REQUIREMENTS

4' HIGH SNOW

ROOT ZONE

4' HIGH SNOW

no scale

tree protection detail

FENCE

2. PRUNE ONLY DEAD OR BROKEN BRANCHES.

GRADE AS IT BORE ORIGINALLY OR SLIGHTLY

HIGHER THAN FINISH GRADE UP TO 4" ABOVE

FOR HEAVY CLAY SOIL AREAS.

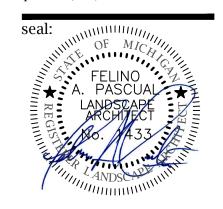
3. REMOVE ALL TAGS, STRING,

PLASTICS AND OTHER MATERIALS

SEED MIX TO BE BROADCAST OVER WETLAND RESTORATION AREA. THIS IS GENESIS NURSERY'S SEDGE GHETTO--THE NEXT GENERATION SEED MIX MODIFIED FOR USE IN MICHIGAN.

FELINO A. PASCUAI and ASSOCIATES Community Land Planner and registered Landscape Architect

24333 Orchard Lake Rd, Suite G Farmington Hills, Michigan 48336 phone: (248) 557-5588



project sponsort:

CDK DEVELOPMENT 10570 Savannah Ct Huntley, Illinois Contact: Steve Osborne

1575 E Hamlin

Phone: 224-249-9447

project location:

Road

City of Rochester Hills , Michigan

1575 E. Hamlin Road

sheet title:

PLANTING DETAILS AND LANDSCAPE **NOTES**

job no. / issue / revision date: LS23.028.02 REVIEW 2-9-2023 LS23.028.02 SPA 2-9-2023 LS23.028.05 SPA 5-23-2023 LS23.028.06 SPA 6-29-2023 LS23.028.08 SPA 8-16-2023

LS23.028.09 SPA 9-18-2023

checked by:

2-1-2023

Associates

CRITICAL ROOT

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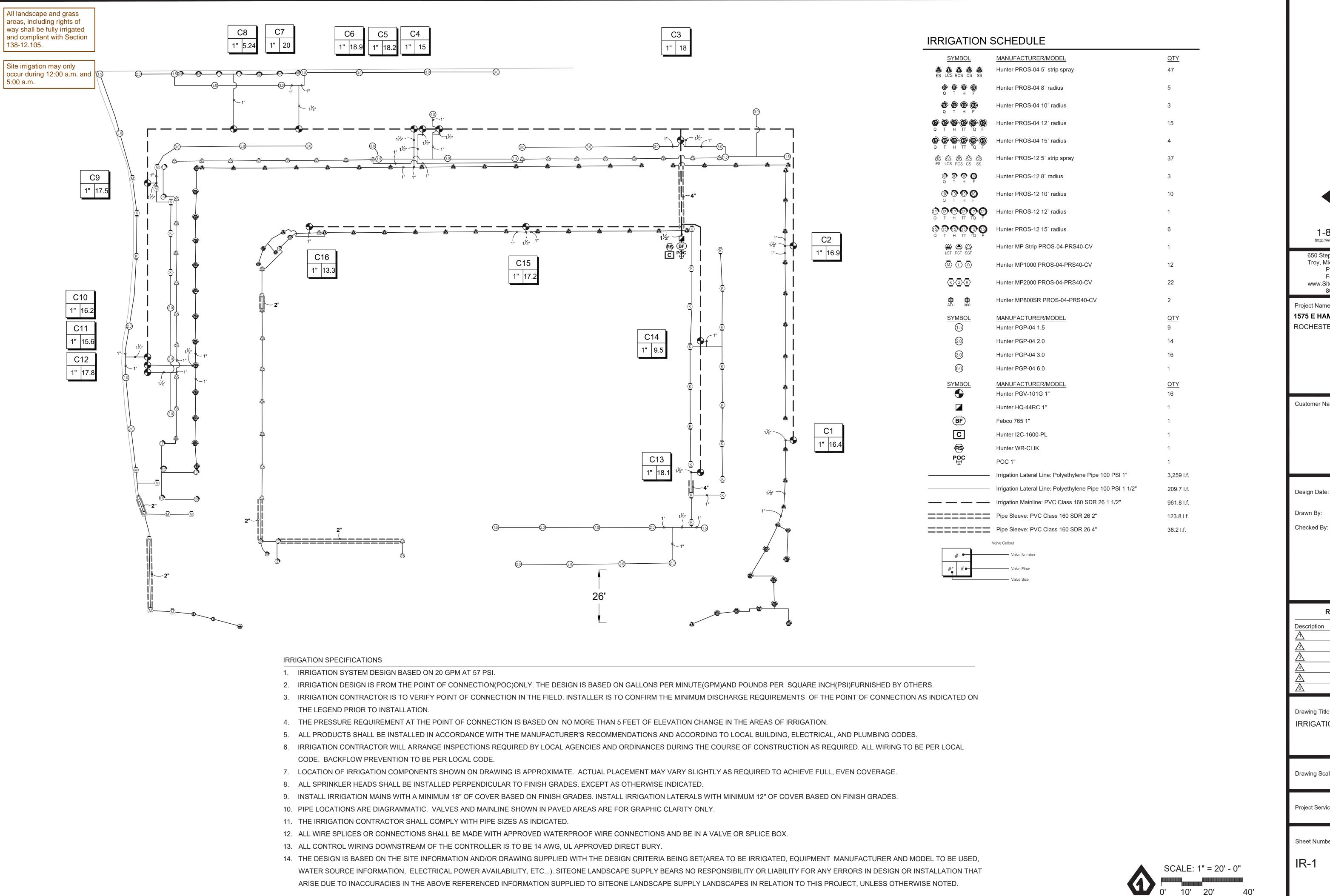
Do Not scale drawings. Use figured dimensions only



For free location of public utility lines existing underground utilities as shown on this drawing are only approximate. no guarantee is either expressed or implied as to the ompleteness of accuracy. contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of

project no: LS23.028.02

CITY FILE #23-0002, SECTION 24





http://www.projectservices.siteone.com 650 Stephenson Highway Troy, Michigan 48083 Phone 248.588.2100 Fax 248.588.3528 www.Siteone.com

Project Name: **1575 E HAMLIN ROAD** ROCHESTER HILLS, MI, 48307

800.347.4272

Customer Name:

Design Date: 08/14/23

C.BEST

REVISIONS 08/24/23

Drawing Title: IRRIGATION DESIGN

1" = 20' Drawing Scale:

Project Services Number: 333287

Sheet Number:

SITE PLAN.pdf Markup Summary

Building Department (2)



Subject: Building Department

Author: Bluebeam

Date: 10/5/2023 11:53:58 AM

Status:

Jason Rhoades 248-841-2435 RhoadesJ@RochesterHills.org



Subject: Building Department

Author: Bluebeam

Date: 10/5/2023 11:54:16 AM

Status:

Yes

Engineering Department (1)



Subject: Engineering Department **Author:** Jason Boughton **Date:** 9/20/2023 3:38:04 PM

Status:

Fire Department (1)



Subject: Fire Department

Author: Jon Mills

Date: 9/21/2023 9:00:56 AM

Status:

Group (21)



Subject: Group Author: macdonaldj Date: 9/20/2023 9:50:31 AM

Status:

City of Rochester Hills Planning & Economic

Development



Subject: Group Author: C.McLeod

Date: 10/2/2023 2:04:03 PM

Status:

Received 9/20/2023

City of Rochester Hills Planning & Economic

Development



Subject: Group Author: C.McLeod

Date: 10/2/2023 2:04:11 PM

Status:

Received 9/20/2023

City of Rochester Hills Planning & Economic

Development



Subject: Group Author: C.McLeod Date: 10/2/2023 2:04:18 PM

Status:

Received 9/20/2023

City of Rochester Hills Planning & Economic

Development



Subject: Group Author: C.McLeod

Date: 10/2/2023 2:04:28 PM

Status:

Received 9/20/2023

City of Rochester Hills Planning & Economic

Development

O O O O O	Subject: Group Author: C.McLeod Date: 10/2/2023 2:04:34 PM Status: Subject: Group	Received 9/20/2023 City of Rochester Hills Planning & Economic Development
AND STORY STATE OF ST	Author: C.McLeod Date: 10/2/2023 2:04:44 PM Status:	Received 9/20/2023 City of Rochester Hills Planning & Economic Development
MANAGE UTILITY STATE OF THE ST	Subject: Group Author: C.McLeod Date: 10/2/2023 2:12:18 PM Status:	Received 9/20/2023 City of Rochester Hills Planning & Economic Development
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PROJECTO COMMING. 2 March 1 or Marth Prod. March 1 or March	Subject: Group Author: C.McLeod Date: 10/2/2023 2:12:26 PM Status:	Received 9/20/2023 City of Rochester Hills Planning & Economic Development
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IIS TO SERVICE THE PROPERTY OF	Subject: Group Author: C.McLeod Date: 10/2/2023 2:12:36 PM Status:	Received 9/20/2023 City of Rochester Hills Planning & Economic Development
AND SOCIETY OF STREET,	Subject: Group Author: C.McLeod Date: 10/2/2023 2:12:41 PM Status:	Received 9/20/2023 City of Rochester Hills Planning & Economic Development
APPRIOR OF SOUTH OF SOUTHWEST EXECUTE OF SOUTH OF SOUTHWEST EXECUTE OF SOUTH OF SOUTHWEST EXECUTE OF SOUTHW	Subject: Group Author: C.McLeod Date: 10/2/2023 2:12:46 PM Status:	Received 9/20/2023 City of Rochester Hills Planning & Economic Development
1.20 + 24 / 5 + 12-MEEN Gr. MEEN Gr. MEE	Subject: Group Author: C.McLeod Date: 10/2/2023 2:12:56 PM Status:	Received 9/20/2023 City of Rochester Hills Planning & Economic Development

S

Subject: Group Author: C.McLeod

Date: 10/2/2023 2:13:01 PM

Status:

Received 9/20/2023

City of Rochester Hills Planning & Economic

Development



Subject: Group Author: C.McLeod

Date: 10/2/2023 2:17:31 PM

Status:

SP



Subject: Group Author: C.McLeod

Date: 10/2/2023 2:17:35 PM

Status:



Subject: Group Author: C.McLeod

Date: 10/2/2023 2:17:39 PM

Status:

LIP



Subject: Group Author: C.McLeod

Date: 10/2/2023 2:17:45 PM

Status:



Subject: Group Author: C.McLeod

Date: 10/2/2023 2:18:15 PM

Status:

Jenny McGuckin - YES (1)



Subject: Jenny McGuckin - YES Author: Jenny McGuckin Date: 9/29/2023 8:13:10 AM

Status:

Natural Resouces (1)



Subject: Natural Resouces Author: Matt Einheuser Date: 9/27/2023 1:47:47 PM

Status:

Planning Department (10)



Subject: Planning Department

Author: C.McLeod

Date: 10/2/2023 2:18:42 PM

Status:

For all conditional uses, a "Conditional Use Proposed Sign" shall be placed onsite no less than fifteen (15) days prior to the public hearing date. Such sign shall be compliant with Section

138-1.203 of City Ordinances.

AND CASE OF THE PARTY OF THE PA

Subject: Planning Department

Author: C.McLeod

Date: 10/2/2023 2:22:52 PM

Status:

Planning Commission Determination.

Subject: Planning Department Assessing Yes Author: C.McLeod Date: 10/3/2023 12:25:26 PM Status: Subject: Planning Department Author: C.McLeod Date: 10/3/2023 12:27:13 PM Status: **Subject:** Planning Department All signs must meet the requirements of the City Author: C.McLeod and be approved under separate permits issued by Date: 10/4/2023 8:44:49 AM the Building Department. Status: **Subject:** Planning Department All ground mounted utilities shall be fully screened Author: C.McLeod from view. Date: 10/4/2023 8:41:10 AM Status: **Subject:** Planning Department All landscape and grass areas, including rights of Author: C.McLeod way shall be fully irrigated and compliant with Date: 10/4/2023 8:41:58 AM Section 138-12.105. Status: **Subject:** Planning Department Site irrigation may only occur during 12:00 a.m. Author: C.McLeod and 5:00 a.m. Date: 10/4/2023 8:42:21 AM Status: **Subject:** Planning Department Any plant material that is designated to be Author: C.McLeod maintained that dies or is damaged during or as a Date: 10/4/2023 8:43:52 AM result of construction shall be replaced pursuant to Status: City Ordinance. Subject: Planning Department Signs are a part of a separate review and permit Author: C.McLeod process. Date: 10/4/2023 8:44:53 AM

Traffic (1)



Subject: Traffic Author: Keith

Date: 9/29/2023 10:35:41 AM

Status:

Status: