

# SITE SURVEY

LEGAL DESCRIPTION:  
LAND SITUATED IN THE CITY OF ROCHESTER HILLS, COUNTY OF OAKLAND, STATE OF MICHIGAN.

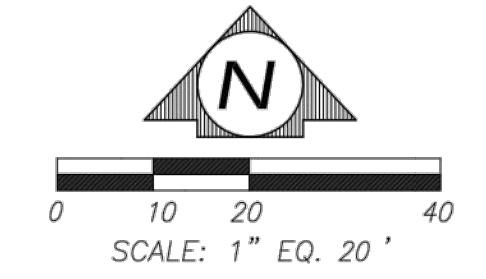
PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 9, T.3N., R.11E., AVON TOWNSHIP (NOW CITY OF ROCHESTER HILLS), OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT ON THE SOUTH LINE OF SAID SECTION 9, WHICH POINT IS S.87°49'00"W., 410.80 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION; THENCE N.03°38'00"W., 350.00 FEET; THENCE S.87°49'00"W., 200.00 FEET; THENCE S.3°38'00"E., 350.00 FEET; THENCE N.87°49'00"E., ALONG THE SOUTH LINE OF SAID SECTION 9 200.00 FEET TO THE POINT OF BEGINNING, EXCEPTING THAT PORTION DEEDED TO THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF OAKLAND BY QUIT CLAIM DEED RECORDED IN L.6589, P.833, OAKLAND COUNTY RECORDS.

COMMONLY KNOWN AS: 1590 WALTON BOULEVARD  
TAX PARCEL ID: 15-09-378-019

WARRANTY DEED: L.58024, P.366-368 O.C.R.

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Mail@ReichertSurveying.com  
140 Flumerfelt Lane  
Rochester, MI 48306

### LEGEND:

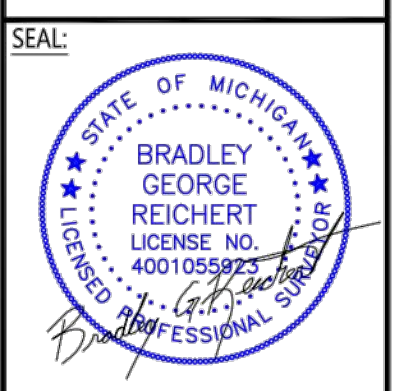
- FOUND IRON
- SET IRON
- R RECORD DISTANCE
- M MEASURED DISTANCE
- ▭ EXISTING BUILDING
- ▨ EXISTING CONCRETE
- ▩ EXISTING ASPHALT
- - - EXISTING STORM SEWER
- - - EXISTING SANITARY SEWER
- - - EXISTING WATERMAIN
- - - EXISTING OVERHEAD WIRES
- - - EXISTING FENCE
- EXISTING UTILITY POLE
- EXISTING WATER SHUT OFF
- EXISTING GATE VALVE
- EXISTING HYDRANT
- EXISTING WELL
- EXISTING GAS SHUT OFF
- EXISTING SANITARY STRUCTURE
- EXISTING STORM STRUCTURE
- EXISTING DOWN SPOUT
- EXISTING UTILITY PEDESTAL
- x 655.00 EXISTING GRADE

### INDEX:

1. SITE SURVEY
2. TREE SURVEY

SITE SURVEY  
PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 9, T.3N., R.11E., AVON TOWNSHIP (NOW CITY OF ROCHESTER HILLS), OAKLAND COUNTY, MICHIGAN

PREPARED FOR:  
**OAKLAND GOSPEL HALLS**  
1590 WALTON BLVD.  
ROCHESTER HILLS, MI 48309  
(248) 303-3585



NO.	DATE	DESCRIPTION

SCALE: 1"=20'  
DATE: 12/19/22  
JOB # 22-136  
DRAWN: B.G.R.  
CHECK: G.H.R.  
SHEET: 1 OF 2

A. The site shall be so located as to provide for ingress to and egress from such site directly onto a major or secondary thoroughfare having an existing or planned right-of-way at least 120 feet in width as shown on the current City master thoroughfare plan.  
B. Buildings of greater than maximum height as allowed by Section 138-5.100 of this ordinance may be allowed, provided front, side, and rear yards are increased above the minimum required yards by one foot for each foot of building height that exceeds the maximum height allowed.  
C. Steeples, bell towers, and similar architectural features are exempt from the height requirements of this ordinance.  
D. A Landscape Buffer D shall be required in the rear and side yards.

Show transformer location and method of screening.

Planning comments to be addressed. Maximum occupancy to be limited based on number of parking spaces provided.

**JNRA2022-0005  
PSP2023-0008  
Revision #3  
Received 11/29/2023**

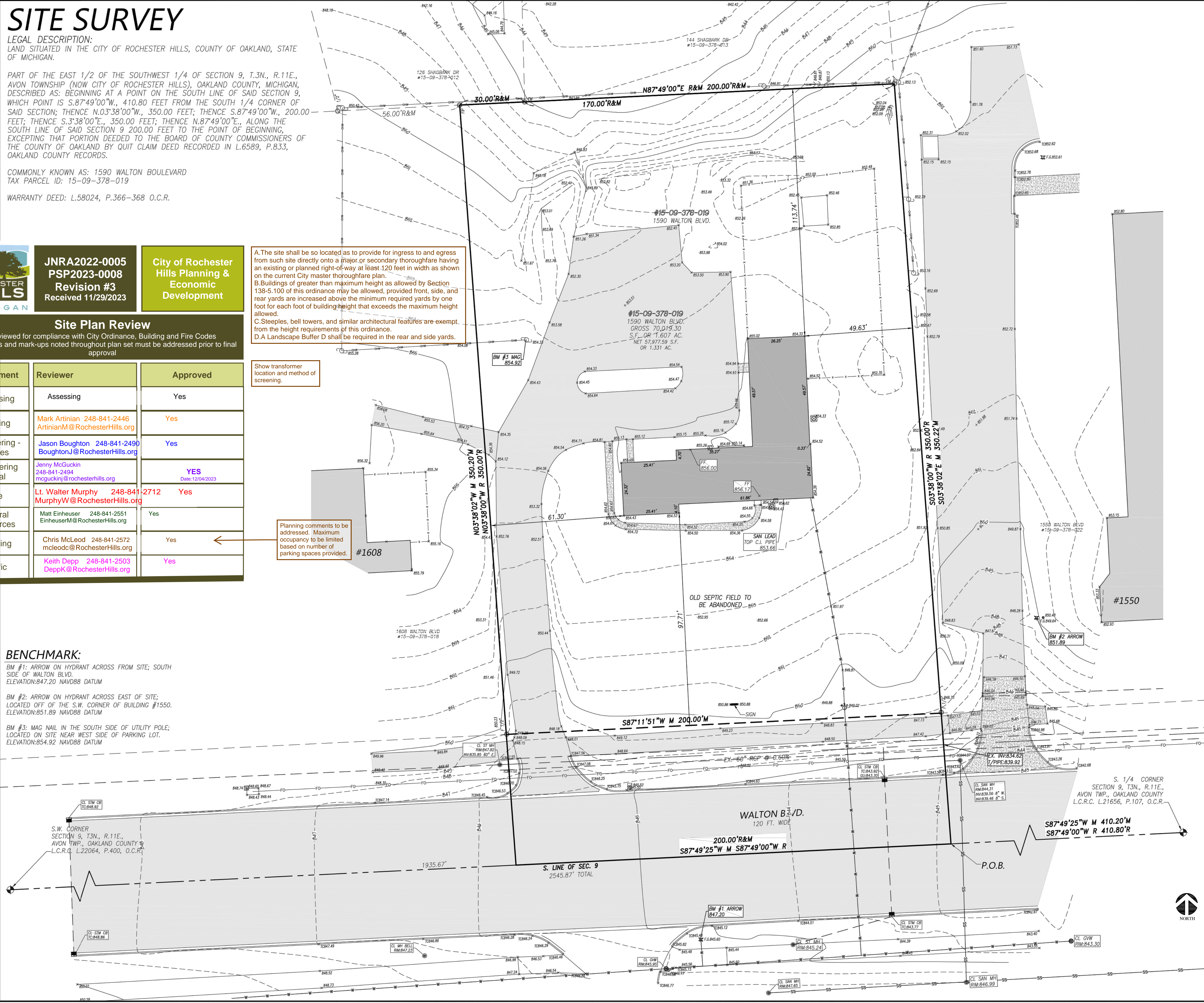
**City of Rochester Hills Planning & Economic Development**

**Site Plan Review**  
Reviewed for compliance with City Ordinance, Building and Fire Codes  
Conditions and mark-ups noted throughout plan set must be addressed prior to final approval

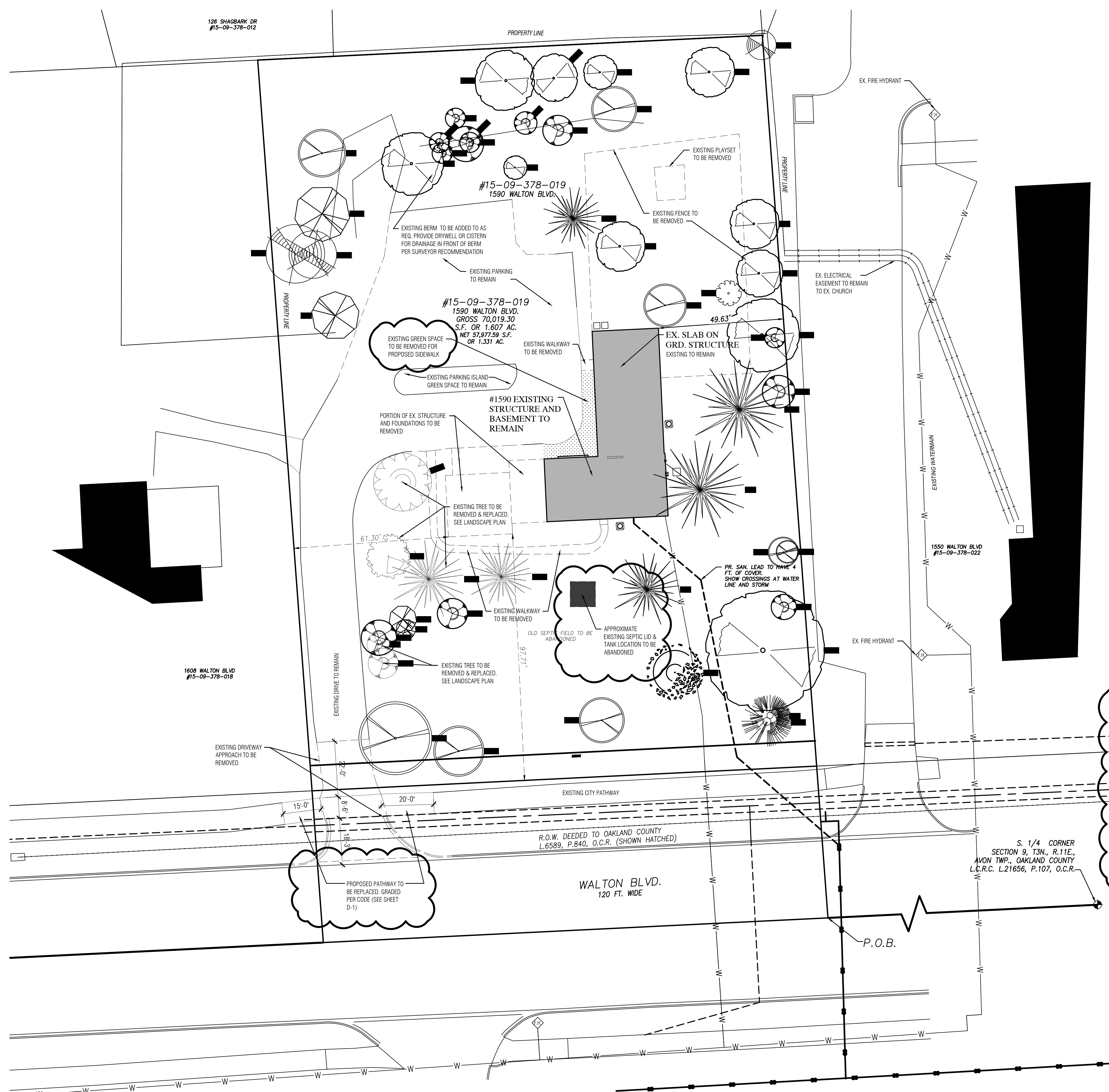
Department	Reviewer	Approved
Assessing	Assessing	Yes
Building	Mark Artinian 248-841-2446 ArtinianM@RochesterHills.org	Yes
Engineering - Utilities	Jason Boughton 248-841-2490 BoughtonJ@RochesterHills.org	Yes
Engineering Legal	Jenny McGuckin 248-841-2494 mcguckinj@RochesterHills.org	YES Date: 12/04/2023
Fire	Lt. Walter Murphy 248-841-2712 MurphyW@RochesterHills.org	Yes
Natural Resources	Matt Einheuser 248-841-2551 EinheuserM@RochesterHills.org	Yes
Planning	Chris McLeod 248-841-2572 mcleodc@RochesterHills.org	Yes
Traffic	Keith Depp 248-841-2503 DeppK@RochesterHills.org	Yes

**BENCHMARK:**  
BM #1: ARROW ON HYDRANT ACROSS FROM SITE; SOUTH SIDE OF WALTON BLVD.  
ELEVATION: 847.20 NAVD88 DATUM  
BM #2: ARROW ON HYDRANT ACROSS EAST OF SITE; LOCATED OFF OF THE S.W. CORNER OF BUILDING #1550.  
ELEVATION: 851.89 NAVD88 DATUM  
BM #3: MAG NAIL IN THE SOUTH SIDE OF UTILITY POLE; LOCATED ON SITE NEAR WEST SIDE OF PARKING LOT.  
ELEVATION: 854.92 NAVD88 DATUM

S.W. CORNER SECTION 9, T.3N., R.11E., AVON TWP., OAKLAND COUNTY S.L.C.R.C. L.22064, P.400, O.C.R.



**EXISTING SITE SURVEY**  
SCALE: 1"=20'



TREE TABLE			TREE TABLE		
#	DESC.	ELEV.	#	DESC.	ELEV.
901	19" MAPLE	849.42	3561	18" CATALPA	854.76
903	24" ELM	850.58	3565	23" CHERRY	854.94
908	19" PINE	854.36	3566	8" CEDAR	852.12
909	8" BOXELDER	849.04	3569	20" MULBERRY	850.53
911	20" ELM	853.85	3570	13" BOXELDER	853.26
918	19" ELM	853.15	3572	13" ELM	848.28
922	19" WALNUT	854.18	3579	13" 15" ELM	853.51
939	14" PINE	853.78	3583	13" CEDAR	852.55
954	9" BOXELDER	852.19	3585	18" MAPLE	851.15
976	16" MULBERRY	850.68	3589	17" MAPLE	854.20
977	8" WALNUT	853.50	3595	19" ELM	851.86
994	9" ELM	852.20	3597	12" BOXELDER	853.85
995	9" BOXELDER	853.40	3598	19" PINE	853.40
3501	8" BOXELDER	853.47	3599	18" MAPLE	851.64
3504	22" WALNUT	851.68	3809	11" WALNUT	853.95
3507	9" MAPLE	852.47	3829	18" ELM	853.24
3508	20" MAPLE	850.71	3830	8" BOXELDER	854.23
3510	13" PINE	854.31	3832	8" 8" CEDAR	852.45
3519	12" BOXELDER	854.37	3834	12" PINE	853.30
3522	18" ELM	847.13	3848	29" MAPLE	851.06
3525	19" PINE	854.30	3852	12" MAPLE	852.92
3527	12" BOXELDER	852.90	3872	14" BOXELDER	854.26
3529	10" LOCUST	853.53	3873	8" BOXELDER	854.36
3530	7" 8" BIRCH	851.34	3875	8" BOXELDER	853.97
3533	14" BOXELDER	853.73	4800	23" ELM	845.81
3557	10" BOXELDER	851.56			
3560	18" 28" ELM	851.74			

EXISTING TREE TO BE REMOVED & REPLACED. SEE LANDSCAPE PLAN

EXISTING TREE TO BE REMOVED & REPLACED. SEE LANDSCAPE PLAN

project  
**Oakland Gospel Halls**  
 1590 Walton Blvd.  
 Rochester Hills, MI 48309

zoning: R-2

SETBACKS: FRONT YARD - 40' MIN.  
 REAR YARD - 35' MIN.  
 SIDE YARD - 15' (EA) SIDE

MAX. HT.: 40 ft.

MAX LOT: 25%  
 COVERAGE

OCCUPANCY CLASSIFICATION: MIXED USE GROUP B / S-1  
 NON-SEPARATED (MODERATE HAZARD)

CONST. TYPE: TYPE V-B (NOT SPRINKLED)  
 1-STORY ABOVE GRADE

DESIGNED IN ACCORDANCE WITH MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS 2015, MICHIGAN PLUMBING CODE 2018, MICHIGAN MECHANICAL CODE 2015 AND THE 2017 NATIONAL ELECTRICAL CODE.

INDEX OF DRAWINGS						CURRENT DATE
DATE	REVISION	DESCRIPTION	DATE	REVISION	DESCRIPTION	DATE
11-22-2023	SITE PLAN REVIEW REV. 2				EXISTING SURVEY	11 / 22 / 2023
09-22-2023	SITE PLAN REVIEW REV.	A-1			DEMOLITION SITE PLAN	11 / 22 / 2023
08-28-2023	SITE PLAN REVIEW REV.	A-2			PROPOSED SITE PLAN	11 / 22 / 2023
07-24-2023	SITE PLAN REVIEW	A-3			BASEMENT DEMOLITION PLAN	11 / 22 / 2023
		A-4			UPPER LEVEL DEMOLITION PLAN	11 / 22 / 2023
		A-5			BASEMENT / FRAMING PLAN	11 / 22 / 2023
		A-6			UPPER LEVEL FLOOR PLAN	11 / 22 / 2023
		A-7			ROOF PLAN	11 / 22 / 2023
		A-8			ELECTRICAL PLANS	11 / 22 / 2023
		A-9			ELEVATIONS	11 / 22 / 2023
		A-10			ELEVATIONS	11 / 22 / 2023
		A-11			BUILDING SECTION "A"	11 / 22 / 2023
		LP-1			LANDSCAPE PLANTING PLAN	11 / 22 / 2023
		LP-2			LANDSCAPE PLANTING PLAN	11 / 22 / 2023
		FP-1			FIRE PROTECTION PLAN	11 / 22 / 2023
		D-1			CITY CONSTRUCTION DETAILS	11 / 22 / 2023
		D-2			PHOTOMETRIC DETAILS	11 / 22 / 2023

BUILDING HEIGHT & STORY ANALYSIS		
OCCUPANCY CLASSIFICATION	MIXED USE GROUP B / S-1	
TYPE OF CONSTRUCTION	TYPE V-B (NOT SPRINKLED)	
ALLOWABLE # OF STORIES	ALLOWABLE - 2 STORIES ACTUAL - 1 STORY ABOVE (GROUP B) 1 STORY BELOW GRADE (S-1)	
BUILDING HEIGHT ABOVE GRADE	ALLOWABLE - 40 MAX ACTUAL - 12 TO MIDSPAN	
ALLOWABLE AREA FACTOR (SF)	B / S-1	9,000 SF (MAX)

LOT COVERAGE	
LOT SIZE	= 57,919 SF
MAX. % COVERAGE	x 25%
MAX ALLOWABLE	= 14,479 SF
BUILDING FOOTPRINT	= 2,500 SF
COVERED ENTRY	= 297 SF
ACTUAL COVERAGE	= 2,797 SF

NON-PERMEABLE SURFACES (SF)		
	EXISTING (SF)	PROPOSED (SF)
BUILDING / GARAGE DRIVE / PARKING WALKWAYS	3,464 SF	2,797 SF
	10,550 SF	11,336 SF
	393 SF	1,418 SF
TOTAL	14,407 SF	15,551 SF
		8% ADDED (1,144 SF)

DEMOLITION NOTE:  
 EXISTING CONSTRUCTION TO BE REMOVED

EXISTING CONSTRUCTION TO REMAIN

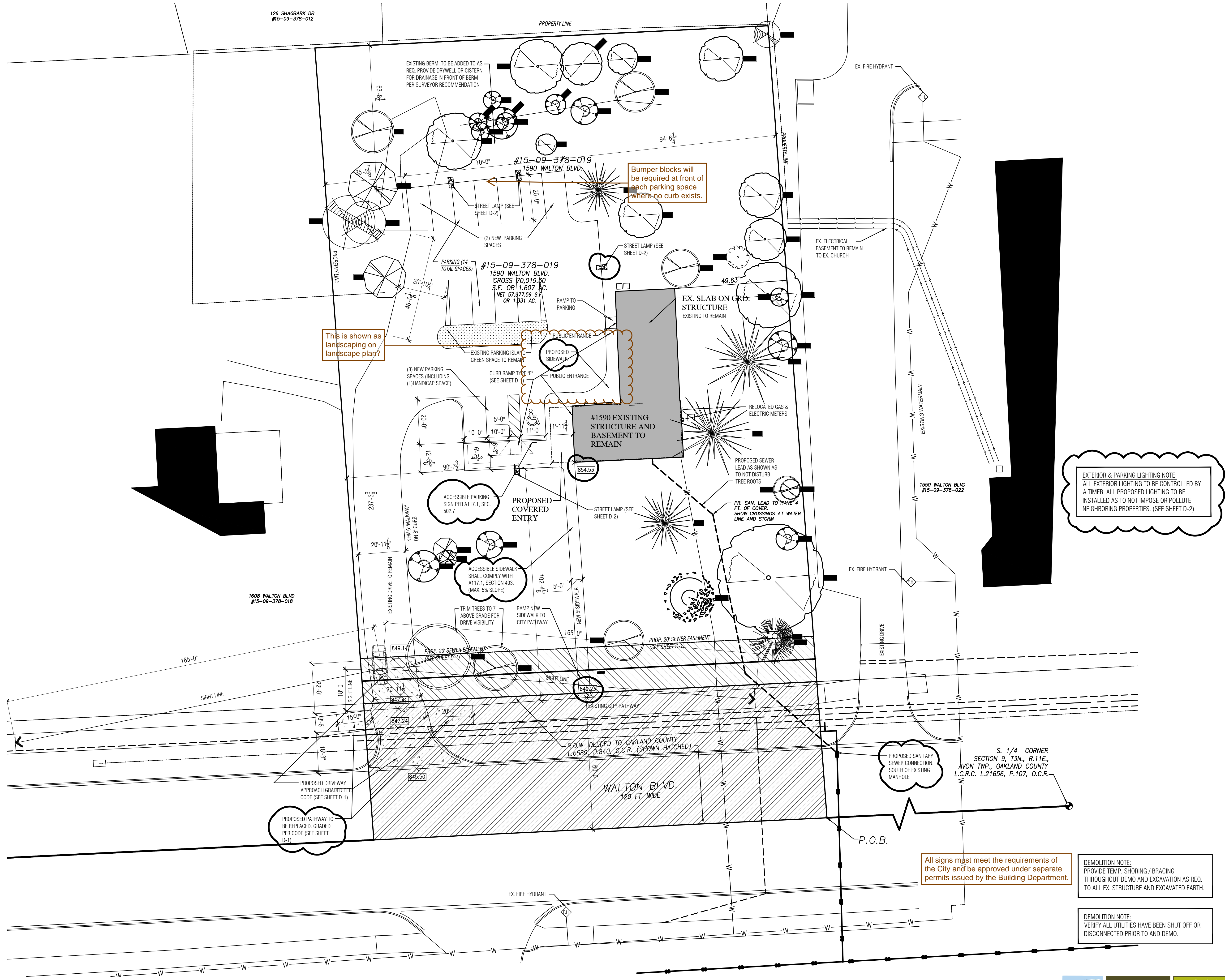
DEMOLITION NOTE:  
 VERIFY ALL UTILITIES HAVE BEEN SHUT OFF OR DISCONNECTED PRIOR TO DEMO.

DEMOLITION NOTE:  
 PROVIDE TEMP. SHORING / BRACING THROUGHOUT DEMO AND EXCAVATION AS REQ. TO ALL EX. STRUCTURE AND EXCAVATED EARTH.

DATE	DESCRIPTION
05.09.2022	PRELIMINARY DESIGN
05.16.2022	PRELIMINARY DESIGN REVISIONS
06.29.2022	SITE PLAN REVIEW
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ROCHESTER HILLS MICHIGAN  
 JNRA2022-0005  
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 City of Rochester Hills  
 Planning & Economic Development

DEMOSITE PLAN  
 SCALE: 1" = 20'-0" (NOT OFFICIAL SURVEY)



Based on a total number of 14 parking spaces, a total occupancy of 42 persons is permitted. Submitted letter indicates occupancy up to 49. Based on stated occupancy, parking is not sufficient.

EXTERIOR & PARKING LIGHTING NOTE:  
ALL EXTERIOR LIGHTING TO BE CONTROLLED BY A TIMER. ALL PROPOSED LIGHTING TO BE INSTALLED AS TO NOT IMPOSE OR POLLUTE NEIGHBORING PROPERTIES. (SEE SHEET D-2)

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NON-PERMEABLE SURFACES (SF)		
	EXISTING (SF)	PROPOSED (SF)
BUILDING / GARAGE	3,464 SF	2,797 SF
DRIVE / PARKING	10,550 SF	11,336 SF
WALKWAYS	393 SF	1,418 SF
TOTAL	14,407 SF	15,551 SF
		8% ADDED (1,144 SF)

DEMOLITION NOTE:	
EXISTING CONSTRUCTION TO BE REMOVED	---
EXISTING CONSTRUCTION TO REMAIN	---

**project**  
**Oakland Gospel Halls**  
 1590 Walton Blvd.  
 Rochester Hills, MI 48309

**ZONING:** R-2

**SETBACKS:** FRONT YARD - 40' MIN.  
 REAR YARD - 35' MIN.  
 SIDE YARD - 15' (EA) SIDE

**MAX. HT.:** 40 ft.

**MAX LOT COVERAGE:** 25%

**OCCUPANCY CLASSIFICATION:** MIXED USE GROUP B / S-1  
 NON-SEPARATED  
 (MODERATE HAZARD)

**CONST. TYPE:** TYPE V-B (NOT SPRINKLED)  
 1-STORY ABOVE GRADE

**CODE:**  
 DESIGNED IN ACCORDANCE WITH MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS 2015, MICHIGAN PLUMBING CODE 2018, MICHIGAN MECHANICAL CODE 2015 AND THE 2017 NATIONAL ELECTRICAL CODE.

**sheet title**

## SITE PLAN / COVER SHEET

**date**

05.09.2022	PRELIMINARY DESIGN
05.16.2022	PRELIMINARY DESIGN REVISIONS
06.29.2022	SITE PLAN REVIEW
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11.22.2023	SITE PLAN REVIEW RESUBMIT 2

LOT COVERAGE	
LOT SIZE	= 57,979 SF
MAX. % COVERAGE	x 23%
MAX. ALLOWABLE	= 14,497 SF
BUILDING FOOTPRINT	= 2,500 SF
COVERED ENTRY	= 297 SF
ACTUAL COVERAGE	= 2,797 SF

All signs must meet the requirements of the City and be approved under separate permits issued by the Building Department.

DEMOLITION NOTE:  
 PROVIDE TEMP. SHORING / BRACING THROUGHOUT DEMO AND EXCAVATION AS REQ. TO ALL EX. STRUCTURE AND EXCAVATED EARTH.

DEMOLITION NOTE:  
 VERIFY ALL UTILITIES HAVE BEEN SHUT OFF OR DISCONNECTED PRIOR TO AND DEMO.



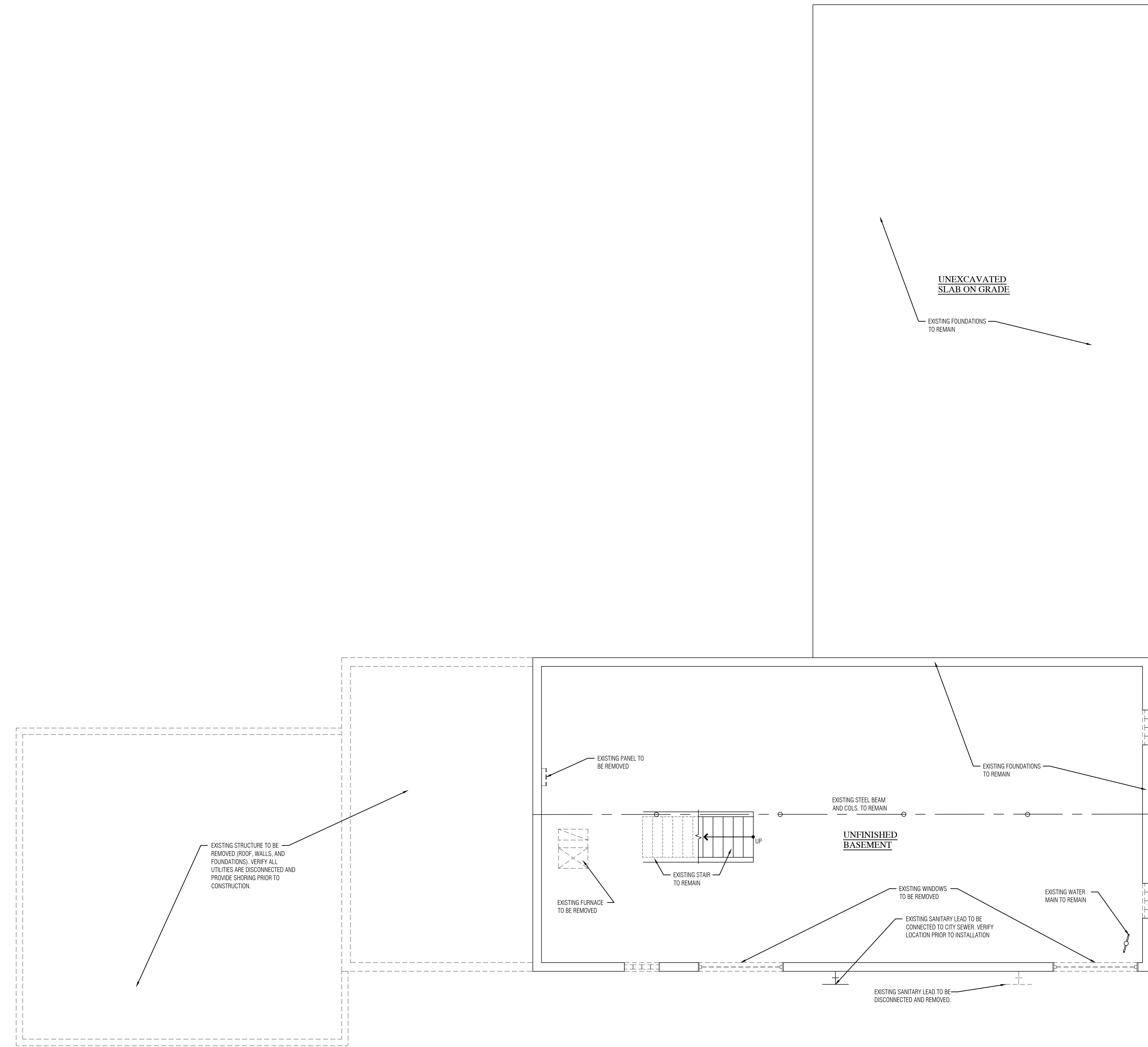
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zoning  
 ZONING: R-2  
 SETBACKS: FRONT YARD - 40' MIN.  
 REAR YARD - 35' MIN.  
 SIDE YARD - 15' (EA.) SIDE  
 MAX. HT.: 40 ft.  
 MAX LOT: 25%  
 COVERAGE  
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 CLASSIFICATION NON-SEPARATED  
 (MODERATE HAZARD)  
 CONST. TYPE: TYPE V-B (NOT SPRINKLED)  
 1-STORY ABOVE GRADE  
 CODE:  
 DESIGNED IN ACCORDANCE WITH MICHIGAN  
 REHABILITATION CODE FOR EXISTING BUILDINGS 2015,  
 MICHIGAN PLUMBING CODE 2018, MICHIGAN  
 MECHANICAL CODE 2015 AND THE 2017 NATIONAL  
 ELECTRICAL CODE.

sheet title  
**BASEMENT /  
 FOUNDATION  
 DEMOLITION PLAN**

date

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DEMOLITION NOTE:  
 EXISTING CONSTRUCTION  
 TO BE REMOVED

EXISTING CONSTRUCTION  
 TO REMAIN

DEMOLITION NOTE:  
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 THROUGHOUT DEMO AND EXCAVATION AS REQ.  
 TO ALL EX. STRUCTURE AND EXCAVATED EARTH.

DEMOLITION NOTE:  
 VERIFY ALL UTILITIES HAVE BE SHUT OFF OR  
 DISCONNECTED PRIOR TO AND DEMO. EX.  
 ELECTRICAL TO BE PUT ON TEMP. POWER POLE.

**BASEMENT LEVEL/ FOUNDATION  
 DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"

ROCHESTER  
 HILLS  
 MICHIGAN

JNR A2022-0005  
 PSP2023-0008  
 Revision #3

Received  
 11/29/2023  
 City of Rochester Hills  
 Planning & Economic  
 Development

AARON KOZACHIK

ARCHITECTURAL DESIGN  
 & CONSTRUCTION

EMAIL: AKOZACHIK@GMAIL.COM  
 PHONE: 248.770.9384



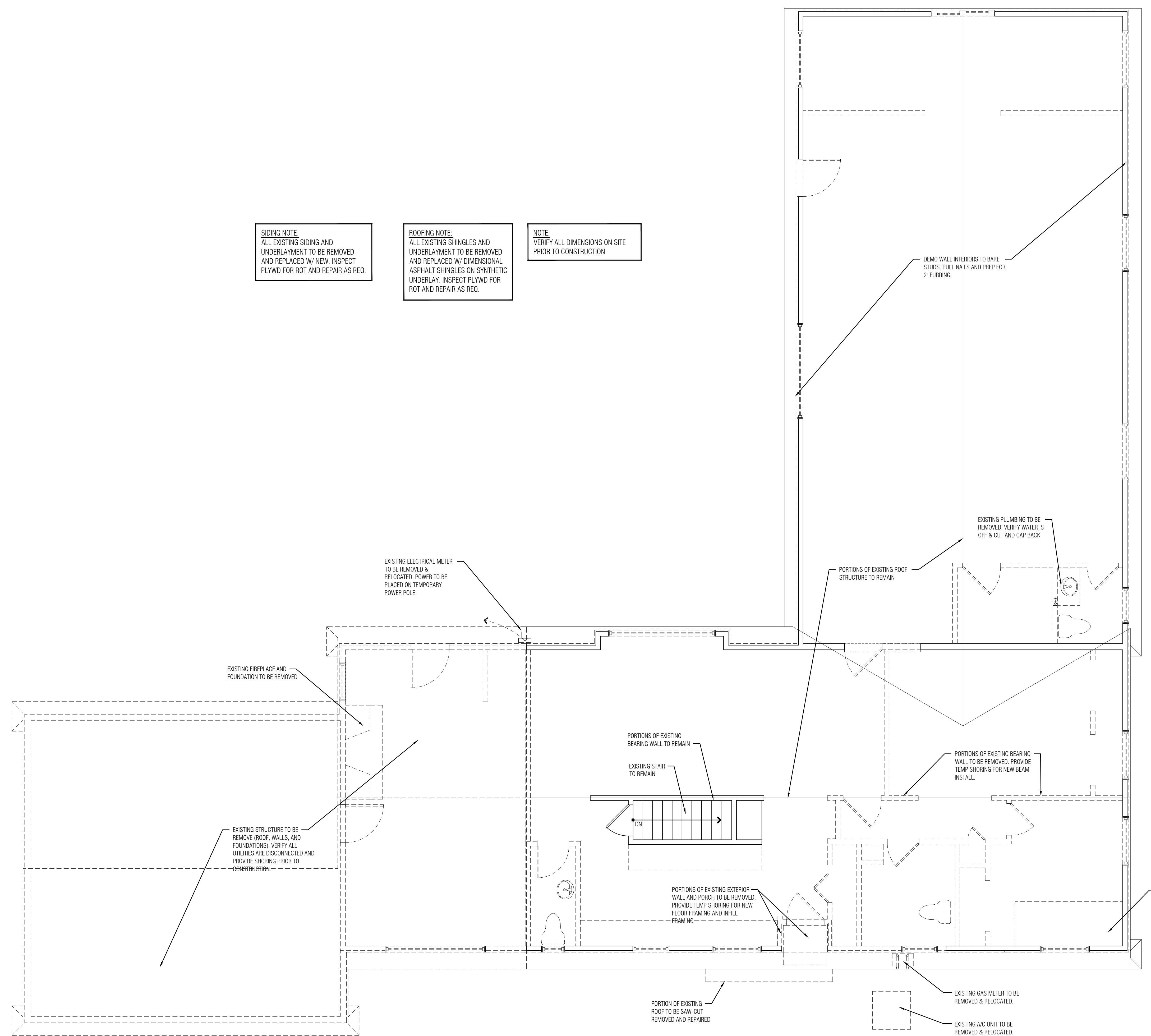
project  
**Oakland Gospel Halls**  
 1590 Walton Blvd.  
 Rochester Hills, MI 48309

zoning: R-2  
 SETBACKS: FRONT YARD - 40' MIN.  
 REAR YARD - 35' MIN.  
 SIDE YARD - 15' (EA.) SIDE  
 MAX. HT.: 40 ft.  
 MAX LOT COVERAGE: 25%  
 OCCUPANCY CLASSIFICATION: MIXED USE GROUP B / S-1 NON-SEPARATED (MODERATE HAZARD)  
 CONST. TYPE: TYPE V-B (NOT SPRINKLED) 1-STORY ABOVE GRADE  
 CODE: DESIGNED IN ACCORDANCE WITH MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS 2015, MICHIGAN PLUMBING CODE 2018, MICHIGAN MECHANICAL CODE 2015 AND THE 2017 NATIONAL ELECTRICAL CODE.

sheet title  
**UPPER LEVEL DEMOLITION PLAN**

date

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SIDING NOTE:  
 ALL EXISTING SIDING AND UNDERLAYMENT TO BE REMOVED AND REPLACED W/ NEW. INSPECT PLYWD FOR ROT AND REPAIR AS REQ.

ROOFING NOTE:  
 ALL EXISTING SHINGLES AND UNDERLAYMENT TO BE REMOVED AND REPLACED W/ DIMENSIONAL ASPHALT SHINGLES ON SYNTHETIC UNDERLAY. INSPECT PLYWD FOR ROT AND REPAIR AS REQ.

NOTE:  
 VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

DEMOLITION NOTE:  
 EXISTING CONSTRUCTION TO BE REMOVED

EXISTING CONSTRUCTION TO REMAIN

DEMOLITION NOTE:  
 PROVIDE TEMP. SHORING / BRACING THROUGHOUT DEMO AND EXCAVATION AS REQ. TO ALL EX. STRUCTURE AND EXCAVATED EARTH.

DEMOLITION NOTE:  
 VERIFY ALL UTILITIES HAVE BE SHUT OFF OR DISCONNECTED PRIOR TO AND DEMO. EX. ELECTRICAL TO BE PUT ON TEMP. POWER POLE.

**UPPER LEVEL DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"

ROCHESTER HILLS MICHIGAN

JNRA2022-0005  
 PSP2023-0008  
 Revision #3

Received 11/29/2023  
 City of Rochester Hills  
 Planning & Economic Development

AARON KOZACHIK

ARCHITECTURAL DESIGN & CONSTRUCTION

EMAIL: AKOZACHIK@GMAIL.COM  
 PHONE: 248.770.9384

AMK DESIGNS



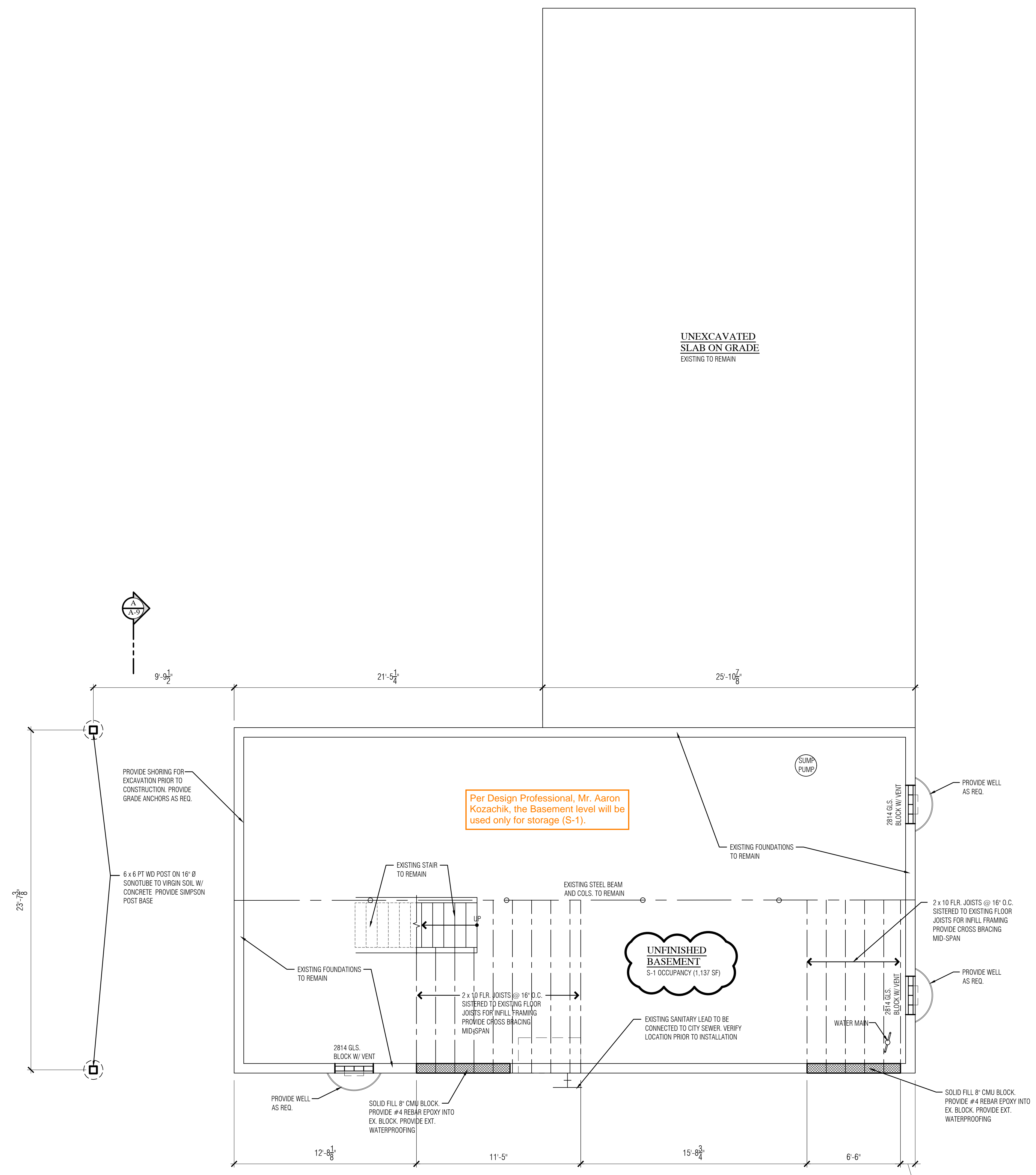
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**Oakland Gospel Halls**  
 1590 Walton Blvd.  
 Rochester Hills, MI 48309

zoning  
 ZONING: R-2  
 SETBACKS: FRONT YARD - 40' MIN.  
 REAR YARD - 35' MIN.  
 SIDE YARD - 15' (EA) SIDE  
 MAX. HT.: 40 ft.  
 MAX LOT: 25%  
 COVERAGE  
 OCCUPANCY : MIXED USE GROUP B / S-1  
 CLASSIFICATION NON-SEPARATED  
 (MODERATE HAZARD)  
 CONST. TYPE: TYPE V-B (NOT SPRINKLED)  
 1-STORY ABOVE GRADE  
 CODE:  
 DESIGNED IN ACCORDANCE WITH MICHIGAN  
 REHABILITATION CODE FOR EXISTING BUILDINGS 2015,  
 MICHIGAN PLUMBING CODE 2018, MICHIGAN  
 MECHANICAL CODE 2015 AND THE 2017 NATIONAL  
 ELECTRICAL CODE.

sheet title  
**FOUNDATION /  
 FRAMING PLAN**  
 (S-1 OCCUPANCY = 1,137 SF)

date

05.09.2022	PRELIMINARY DESIGN
05.16.2022	PRELIMINARY DESIGN REVISIONS
06.29.2022	SITE PLAN REVIEW
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11.22.2023	SITE PLAN REVIEW RESUBMIT_2



DEMOLITION NOTE:  
 EXISTING CONSTRUCTION TO BE REMOVED

EXISTING CONSTRUCTION TO REMAIN

DEMOLITION NOTE:  
 PROVIDE TEMP. SHORING / BRACING THROUGHOUT DEMO AND EXCAVATION AS REQ. TO ALL EX. STRUCTURE AND EXCAVATED EARTH.

DEMOLITION NOTE:  
 VERIFY ALL UTILITIES HAVE BE SHUT OFF AND DISCONNECTED PRIOR TO AND DEMOLITION. EX. ELECTRICAL TO BE PUT ON TEMP. POWER POLE.

**FOUNDATION / FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

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 PSP2023-0008  
 Revision #3

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 Planning & Economic Development

AARON KOZACHIK  
 ARCHITECTURAL DESIGN & CONSTRUCTION  
 EMAIL: AKOZACHIK@GMAIL.COM  
 PHONE: 248.770.9384



project  
**Oakland Gospel Halls**  
 1590 Walton Blvd.  
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zoning  
 R-2

SETBACKS: FRONT YARD - 40' MIN.  
 REAR YARD - 35' MIN.  
 SIDE YARD - 15' (EA) SIDE

MAX. HT.: 40 ft.  
 MAX LOT: 25%  
 COVERAGE

OCCUPANCY : MIXED USE GROUP B / S-1  
 CLASSIFICATION NON-SEPARATED  
 (MODERATE HAZARD)

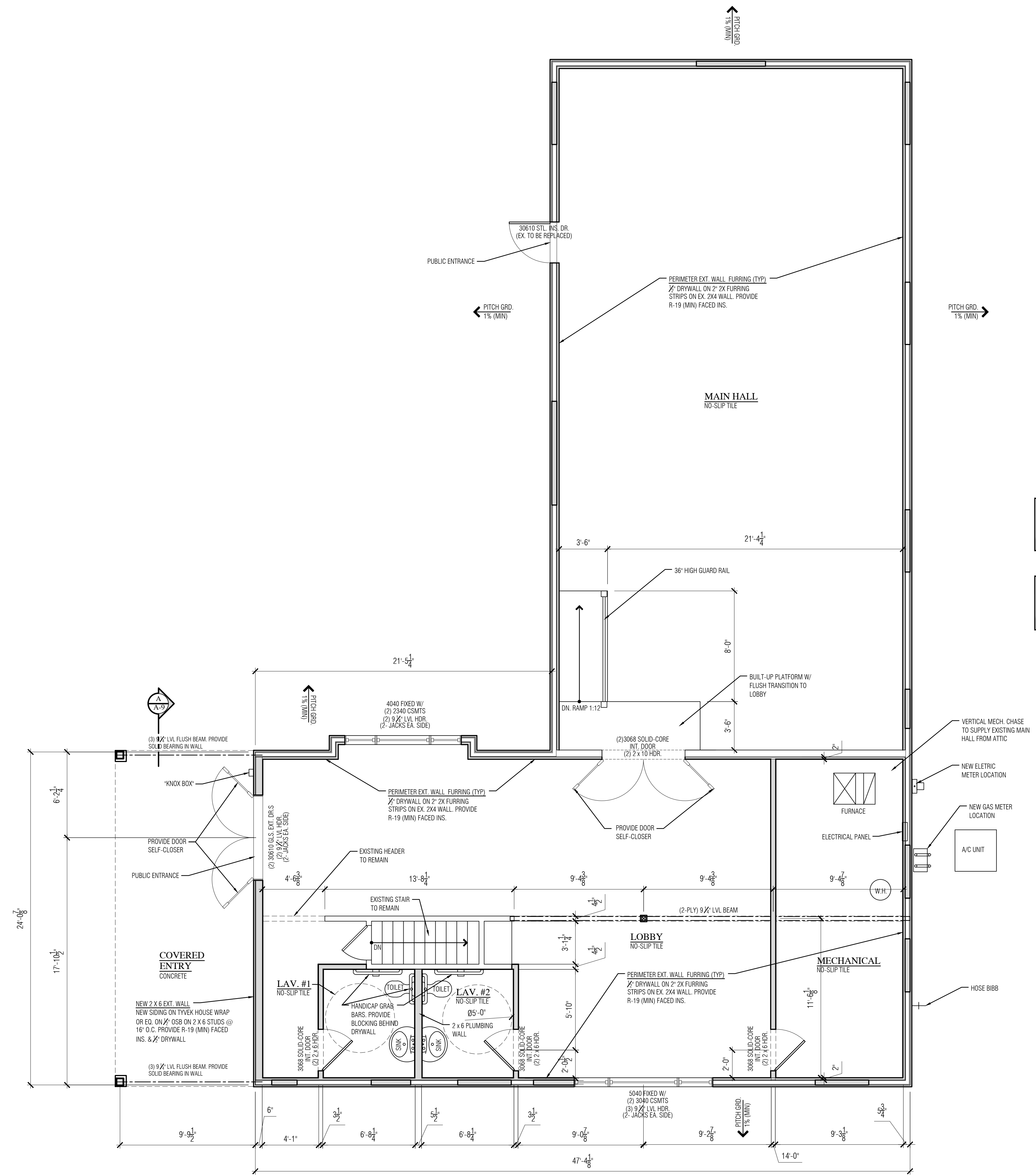
CONST. TYPE: TYPE V-B (NOT SPRINKLED)  
 1-STORY ABOVE GRADE

CODE:  
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**UPPER LEVEL FLOOR PLAN**  
 (B OCCUPANCY = 2,718 SF)  
 MAX. OCCUPANCY = 49 PEOPLE

date

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DEMOLITION NOTE:  
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 EXISTING CONSTRUCTION TO REMAIN \_\_\_\_\_

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**UPPER LEVEL FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

ROCHESTER HILLS MICHIGAN  
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AARON KOZACHIK  
 AMK DESIGNS  
 ARCHITECTURAL DESIGN & CONSTRUCTION  
 EMAIL: AKOZACHIK@GMAIL.COM  
 PHONE: 248.770.9384



project  
**Oakland Gospel Halls**  
 1590 Walton Blvd.  
 Rochester Hills, MI 48309

zoning  
 ZONING: R-2

SETBACKS: FRONT YARD - 40' MIN.  
 REAR YARD - 35' MIN.  
 SIDE YARD - 15' (EA.) SIDE

MAX. HT.: 40 ft.

MAX LOT: 25%  
 COVERAGE

OCCUPANCY : MIXED USE GROUP B / S-1  
 CLASSIFICATION NON-SEPARATED  
 (MODERATE HAZARD)

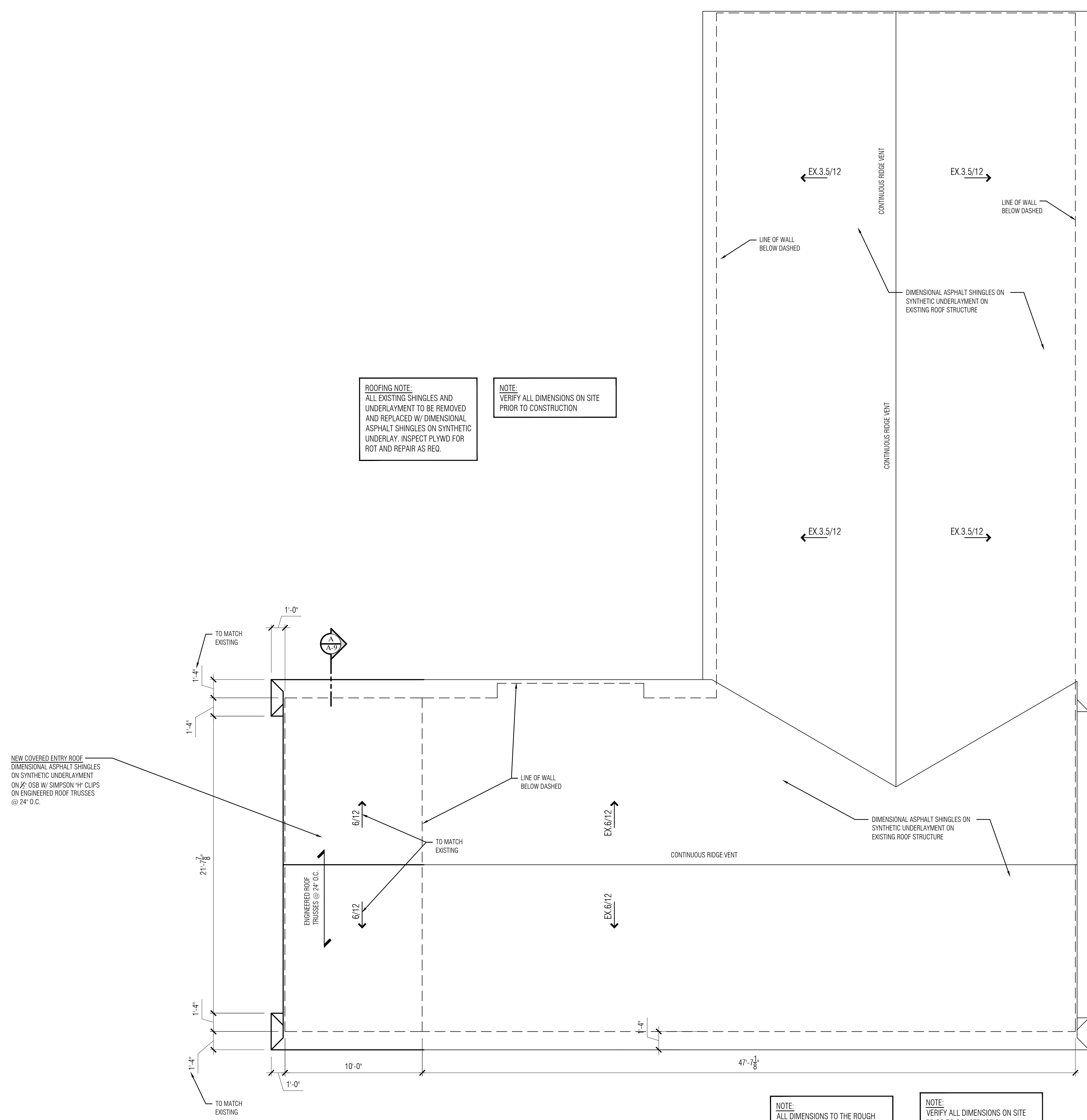
CONST. TYPE: TYPE V-B (NOT SPRINKLED)  
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sheet title  
**ROOF PLANS**

date

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**ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

ROCHESTER HILLS MICHIGAN

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AARON KOZACHIK

ARCHITECTURAL DESIGN & CONSTRUCTION

EMAIL: AKOZACHIK@GMAIL.COM  
 PHONE: 248.770.9384

AMK DESIGNS





project  
**Oakland Gospel Halls**  
 1590 Walton Blvd.  
 Rochester Hills, MI 48309

zoning  
 ZONING: R-2

SETBACKS: FRONT YARD - 40' MIN.  
 REAR YARD - 35' MIN.  
 SIDE YARD - 15' (EA.) SIDE

MAX. HT.: 40 ft.  
 MAX LOT: 25%  
 COVERAGE

OCCUPANCY: MIXED USE GROUP B / S-1  
 CLASSIFICATION: NON-SEPARATED  
 (MODERATE HAZARD)

CONST. TYPE: TYPE V-B (NOT SPRINKLED)  
 1-STORY ABOVE GRADE

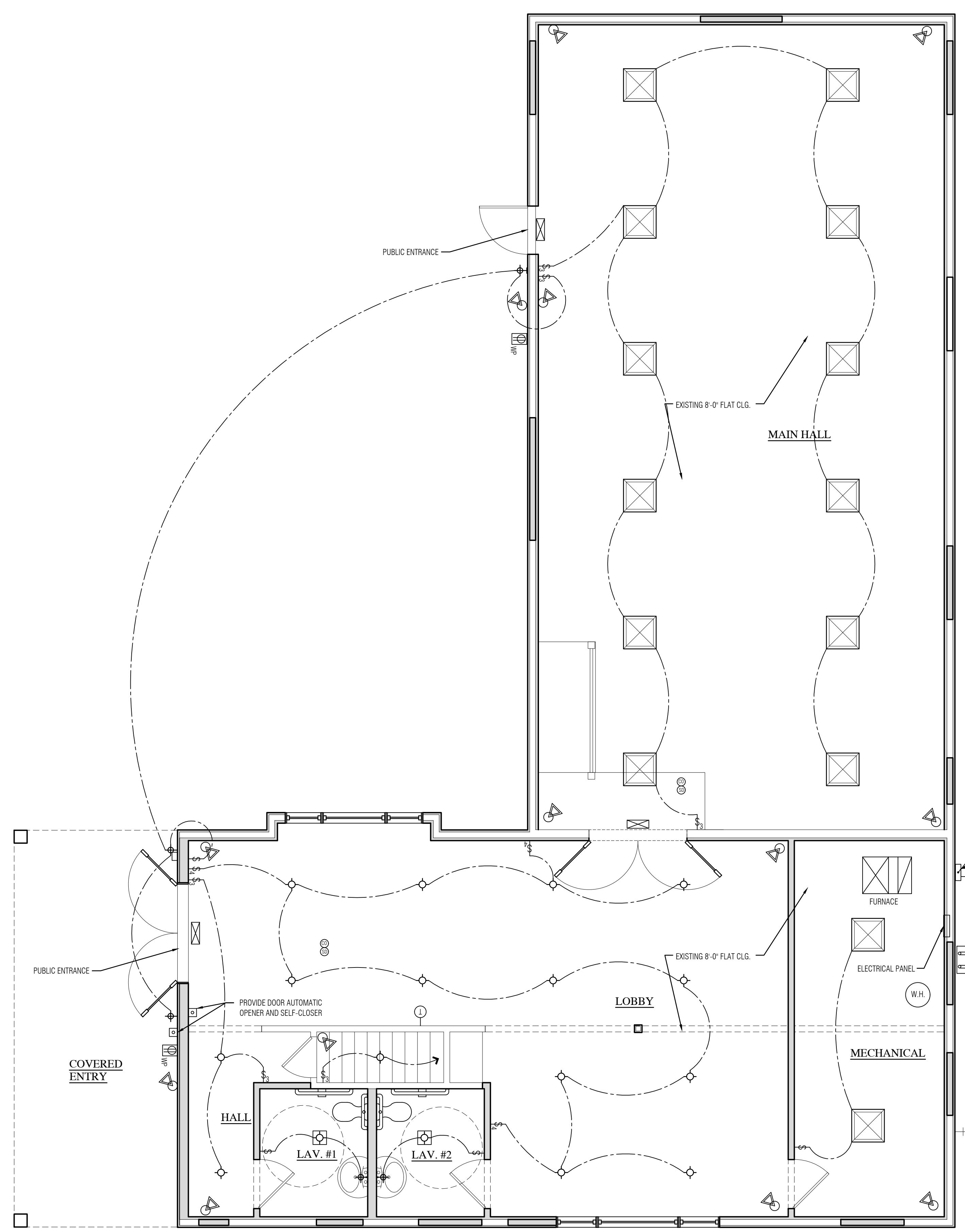
CODE:  
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sheet title

**ELECTRICAL PLANS**

date

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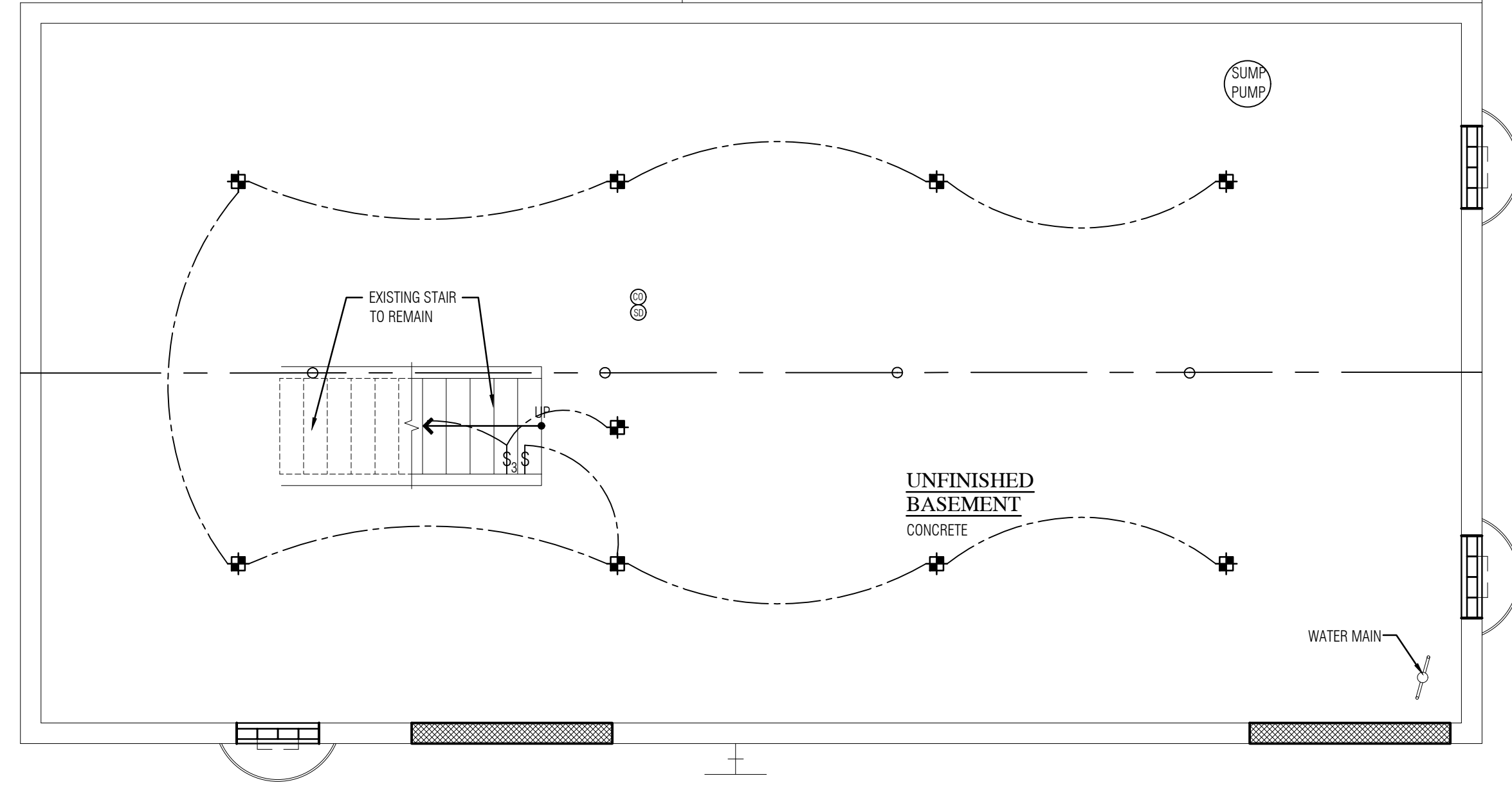
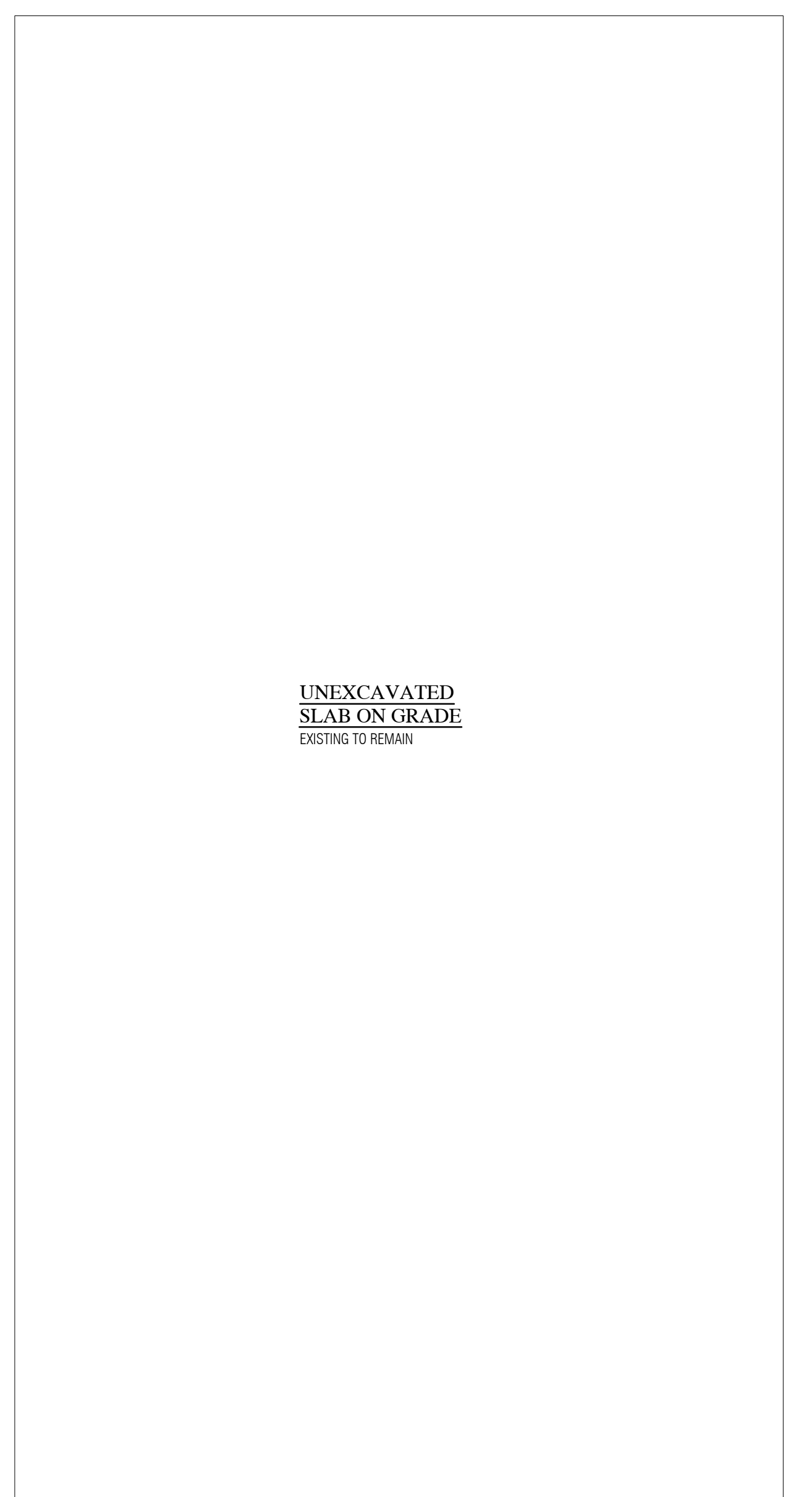
**LIGHTING FIXTURES**

	OUTDOOR WATERPROOF OUTLET
	WALL MOUNTED FIXTURE. (SCONCE OR COACH LIGHT)
	JUNCTION BOX FOR SURFACE MOUNTED FIXTURES (PENDANTS, CEILING MOUNTED, CEILING FANS, ETC.)
	CARBON MONOXIDE / SMOKE DETECTORS WIRED W/ BATTERY BACK-UP
	6" RECESSED CAN LIGHT
	EXHAUST FAN / LIGHT COMBO
	SECURITY LIGHT W/ BATTERY BACK-UP
	ILLUMINATED EXIT SIGN W/ BATTERY BACK-UP
	PROGRAMMABLE THERMOSTAT
	AUTOMATIC DOOR BUTTON
	2' x 2' FLUSH MOUNTED LED FIXTURE

NOTE:  
 ELECTRICAL AS SHOWN BUT NOT LIMITED TO. ALL ELECTRICAL PER CODE SWITCHING, DIMMERS, ETC. TO BE DETERMINED AT ELECTRICAL WALK THRU

NOTE:  
 ALL DIMENSIONS TO THE ROUGH

NOTE:  
 VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION



**MAIN LEVEL ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"

**LOWER LEVEL ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"

AARON KOZACHIK

ARCHITECTURAL DESIGN & CONSTRUCTION

EMAIL: AKOZACHIK@GMAIL.COM  
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ROCHESTER HILLS MICHIGAN

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project  
**Oakland Gospel Halls**  
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zoning  
 R-2

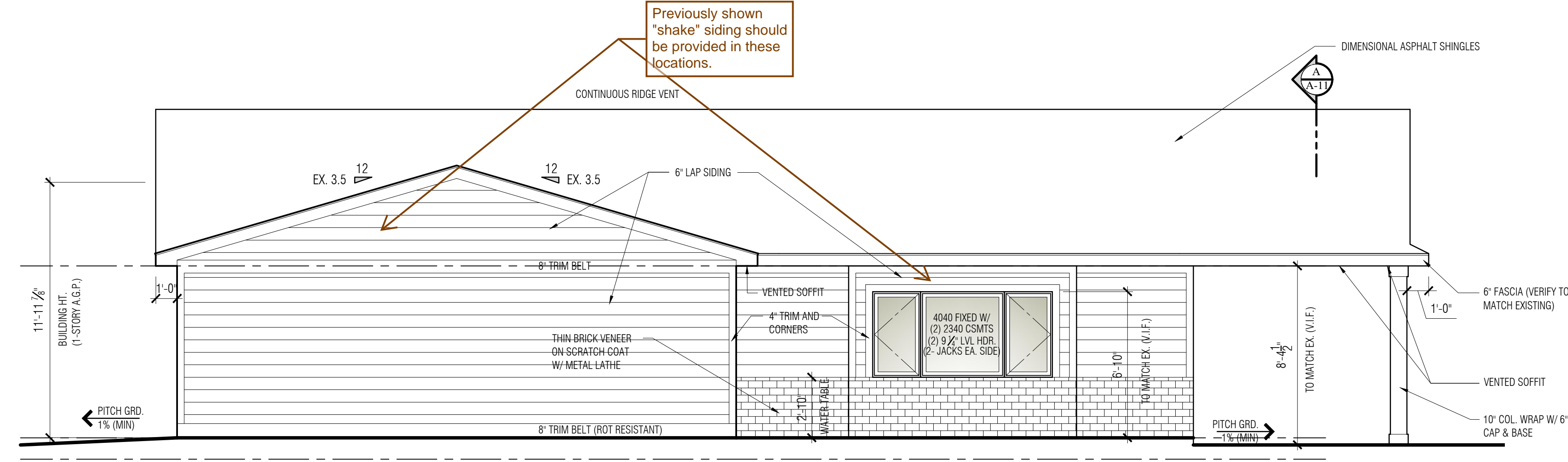
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 REAR YARD - 35' MIN.  
 SIDE YARD - 15' (EA.) SIDE

MAX. HT.: 40 ft.  
 MAX LOT: 25%  
 COVERAGE

OCCUPANCY: MIXED USE GROUP B / S-1  
 CLASSIFICATION: NON-SEPARATED (MODERATE HAZARD)

CONST. TYPE: TYPE V-B (NOT SPRINKLED)  
 1-STORY ABOVE GRADE

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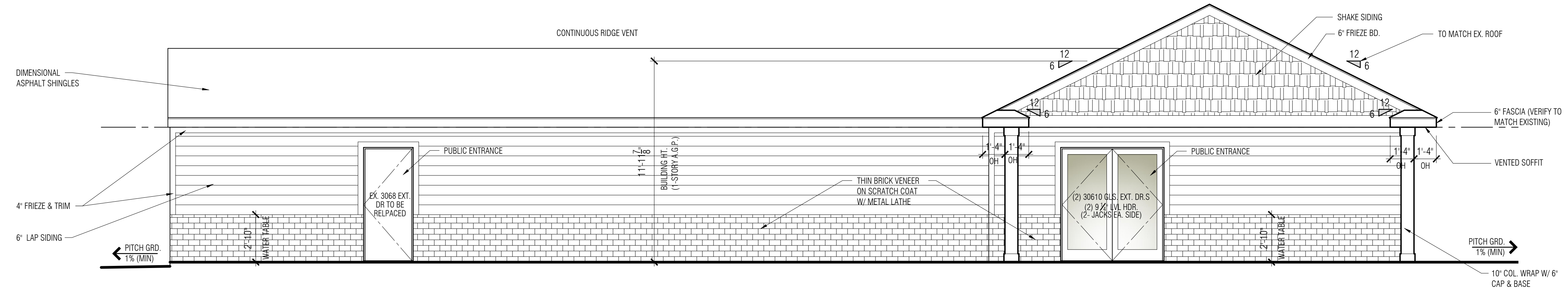
**SIDE (NORTH) ELEVATION**

SCALE: 1/4" = 1'-0"

**SIDING NOTE:**  
 ALL EXISTING SIDING AND UNDERLAYMENT TO BE REMOVED AND REPLACED W/ NEW. INSPECT PLYWD FOR ROT AND REPAIR AS REQ.

**ROOFING NOTE:**  
 ALL EXISTING SHINGLES AND UNDERLAYMENT TO BE REMOVED AND REPLACED W/ DIMENSIONAL ASPHALT SHINGLES ON SYNTHETIC UNDERLAY. INSPECT PLYWD FOR ROT AND REPAIR AS REQ.

**NOTE:**  
 VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION



**FRONT (WEST) ELEVATION**

SCALE: 1/4" = 1'-0"

sheet title  
**ELEVATIONS**

date

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ARCHITECTURAL DESIGN & CONSTRUCTION

EMAIL: #KOZACHIK@GMAIL.COM  
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sheet

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 Development



project

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1590 Walton Blvd.  
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zoning

ZONING: R-2  
SETBACKS: FRONT YARD - 40' MIN.  
REAR YARD - 35' MIN.  
SIDE YARD - 15' (EA.) SIDE

MAX. HT.: 40 ft.  
MAX LOT: 25%  
COVERAGE

OCCUPANCY : MIXED USE GROUP B / S-1  
CLASSIFICATION NON-SEPARATED  
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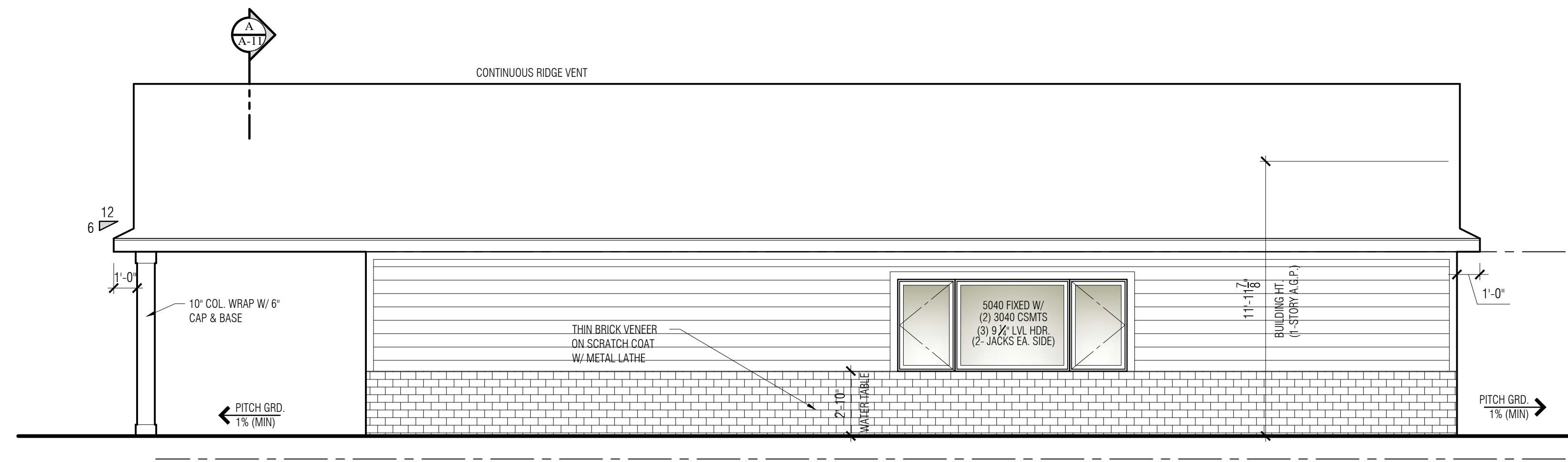
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sheet title

**ELEVATIONS**

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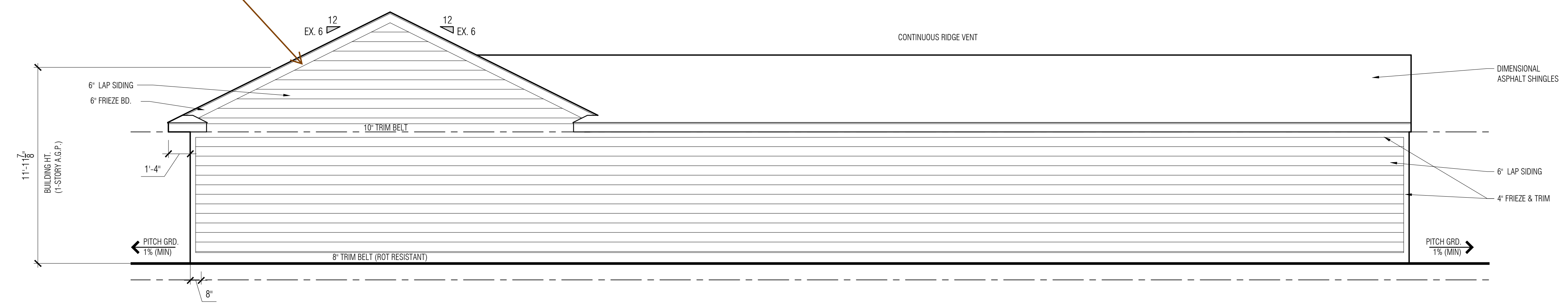
**SIDE (SOUTH) ELEVATION**  
SCALE: 1/4" = 1'-0"

**SIDING NOTE:**  
ALL EXISTING SIDING AND UNDERLAYMENT TO BE REMOVED AND REPLACED W/ NEW. INSPECT PLYWD FOR ROT AND REPAIR AS REQ.

**ROOFING NOTE:**  
ALL EXISTING SHINGLES AND UNDERLAYMENT TO BE REMOVED AND REPLACED W/ DIMENSIONAL ASPHALT SHINGLES ON SYNTHETIC UNDERLAY. INSPECT PLYWD FOR ROT AND REPAIR AS REQ.

**NOTE:**  
VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION

Previously shown "shake" siding should be provided in these locations.



**REAR (EAST) ELEVATION**  
SCALE: 1/4" = 1'-0"

sheet

**A-10**

CITY FILE #22-040 SECTION #09

ROCHESTER HILLS MICHIGAN

JNRA2022-0005  
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ARCHITECTURAL DESIGN & CONSTRUCTION

EMAIL: AKOZACHIK@GMAIL.COM  
PHONE: 248.770.9384

AMK DESIGNS



project

**Oakland Gospel Halls**  
 1590 Walton Blvd.  
 Rochester Hills, MI 48309

zoning

ZONING: R-2  
 SETBACKS: FRONT YARD - 40' MIN.  
 REAR YARD - 35' MIN.  
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MAX. HT.: 40 ft.  
 MAX LOT: 25%  
 COVERAGE

OCCUPANCY : MIXED USE GROUP B / S-1  
 CLASSIFICATION NON-SEPARATED  
 (MODERATE HAZARD)

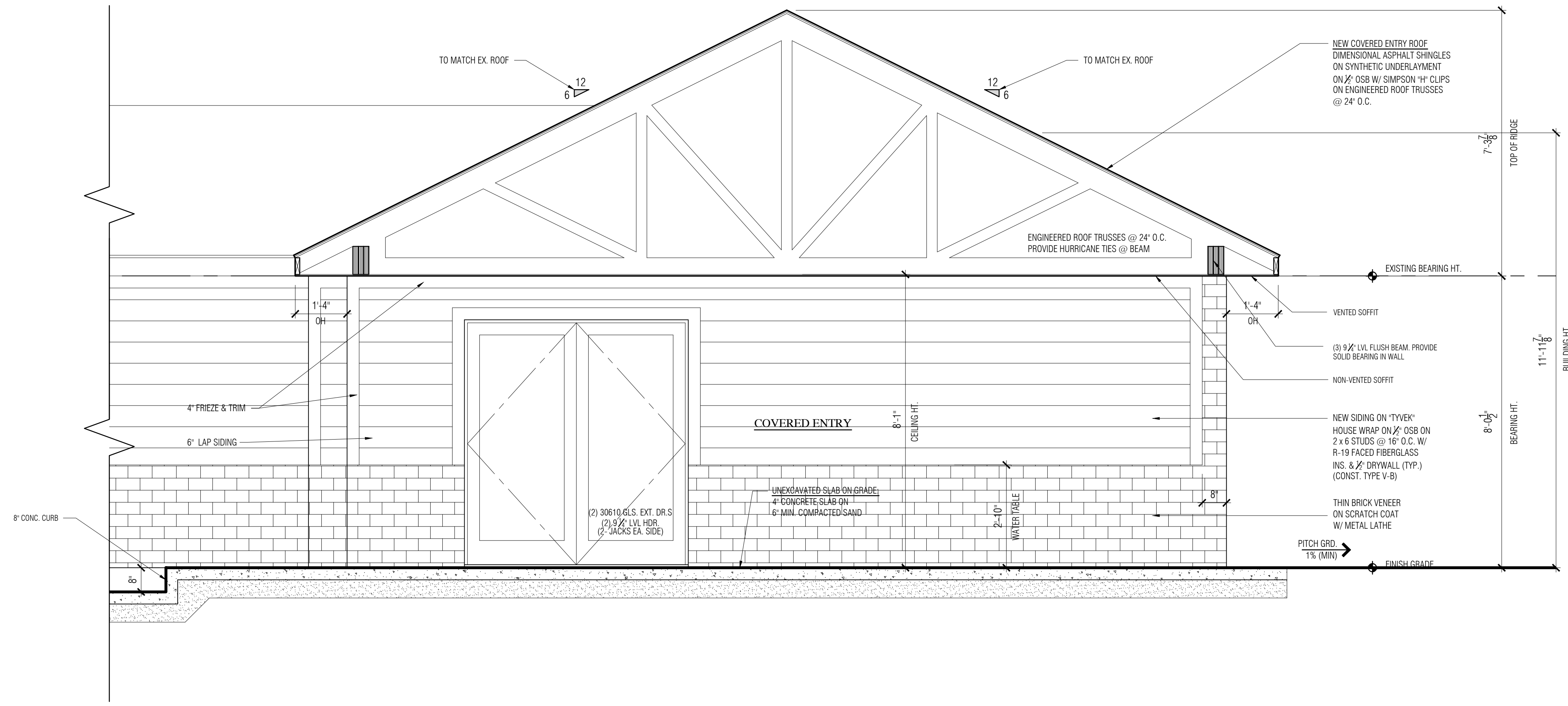
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**BUILDING SECTION "A"**

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**BUILDING SECTION "A"**  
 SCALE: 1/2" = 1'-0"

AARON KOZACHIK

ARCHITECTURAL DESIGN  
 & CONSTRUCTION

AMK  
 DESIGNS

EMAIL: AKOZACHIK@GMAIL.COM  
 PHONE: 248.770.9384

sheet

**A-11**  
 CITY FILE #22-040 SECTION #09

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EXISTING TREE IDENTIFICATION DATA :

#	DESC.	ELEV.	TREES TO REMAIN										TREE TO BE REMOVED				
			#	DESC.	ELEV.	#	DESC.	ELEV.									
901	19" MAPLE (*S)	849.42	3501	8" BOXELDER	853.47	3566	8" CEDAR	852.12	3599	18" MAPLE	851.64	4600	23" ELM	845.81	911	20" ELM	853.85
903	24" ELM	850.58	3504	22" WALNUT (*S)	851.68	3569	20" MULBERRY	850.53	3809	11" WALNUT	853.95	995	9" BOXELDER	853.44			
908	19" PINE (*S)	854.36	3507	9" MAPLE	852.47	3570	13" BOXELDER	853.26	3829	18" ELM	853.24	3518	13" PINE	854.31			
909	8" BOXELDER	849.04	3508	20" MAPLE (*S)	850.71	3572	13" ELM	848.28	3830	8" BOXELDER	854.23	3525	15" PINE	854.38			
918	19" ELM	853.15	3519	12" BOXELDER	854.37	3579	13" 15" ELM	853.51	3832	8" 8" CEDAR	852.45	3527	12" BOXELDER	852.99			
922	19" WALNUT	854.18	3522	18" ELM	847.13	3583	13" CEDAR	852.55	3834	12" PINE	853.30	3561	18" CATALPA	854.76			
939	14" PINE	853.78	3529	10" LOCUST	853.53	3585	18" MAPLE (*S)	851.15	3848	29" MAPLE (*S)	851.06	3565	23" CHERRY (*S)	854.94			
954	9" BOXELDER	852.19	3530	7" 8" 8" BIRCH	851.34	3589	17" MAPLE	854.20	3852	12" MAPLE	852.92						
976	16" MULBERRY	850.68	3533	14" BOXELDER	853.73	3595	19" ELM	851.86	3872	14" BOXELDER	854.26						
977	8" WALNUT	853.50	3557	10" BOXELDER	851.56	3597	12" BOXELDER	853.85	3873	8" BOXELDER	854.36						
994	9" ELM	852.20	3560	18" 28" ELM	851.74	3598	19" PINE (*S)	853.40	3875	8" BOXELDER	853.97						

(\*S) = Specimen Tree

TREE REMOVAL DATA :

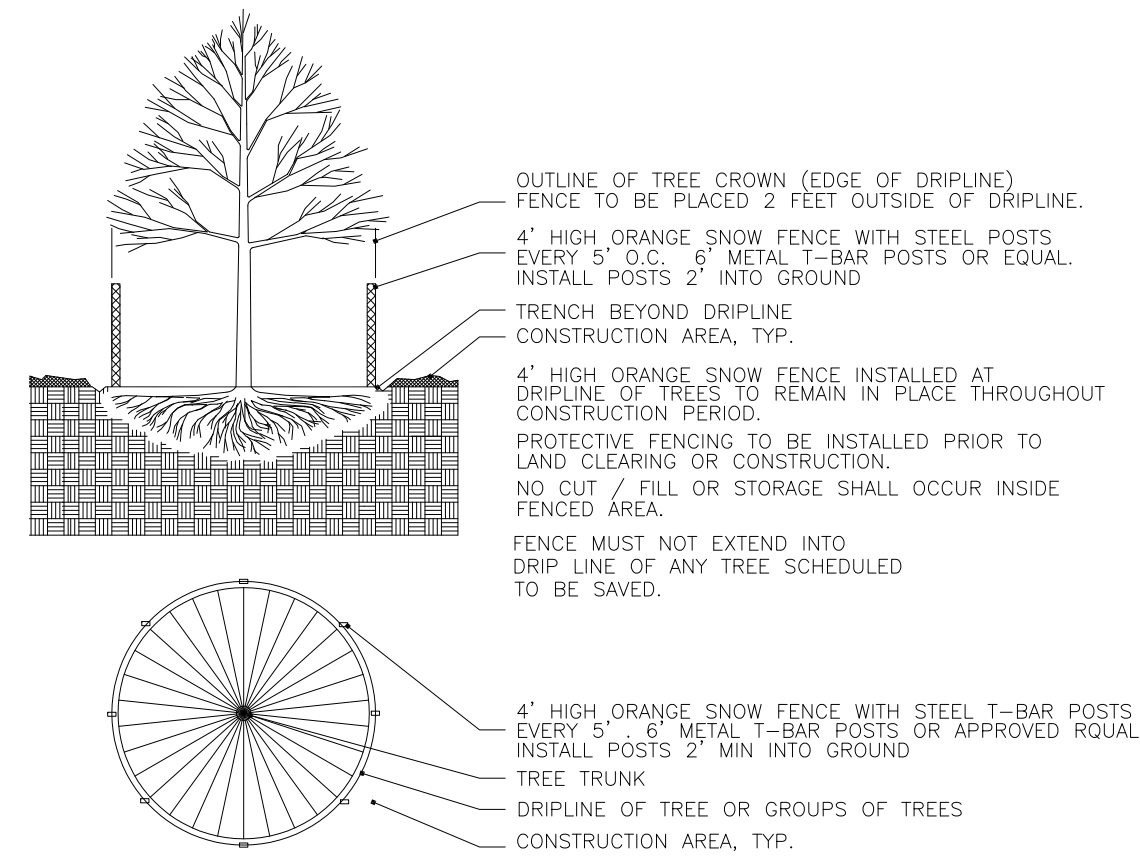
The following existing trees will be removed to accommodate construction, grading, and configuration of new parking and sidewalk. See Tree Inventory chart for corresponding tree varieties and sizes.

995 3525 3561  
3518 3527 3565

- 52 Total Existing Trees on Site
- 46 Total Existing Trees to remain (88%)
- 6 Regulated Trees to be removed

**Replacement Tree Calculation:**  
6 Regulated Trees removed + 1 Specimen Tree removed (23" = 6 trees) - 8 Specimen Trees preserved = 4 Trees Required for replacement

TREE PROTECTION FENCE DETAIL :

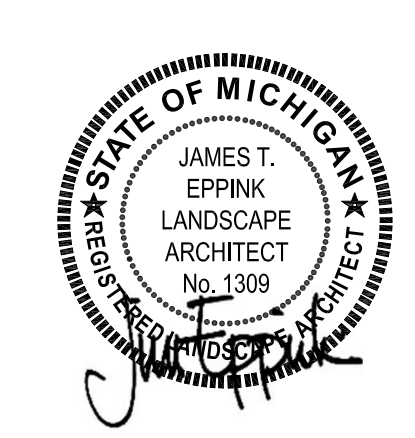
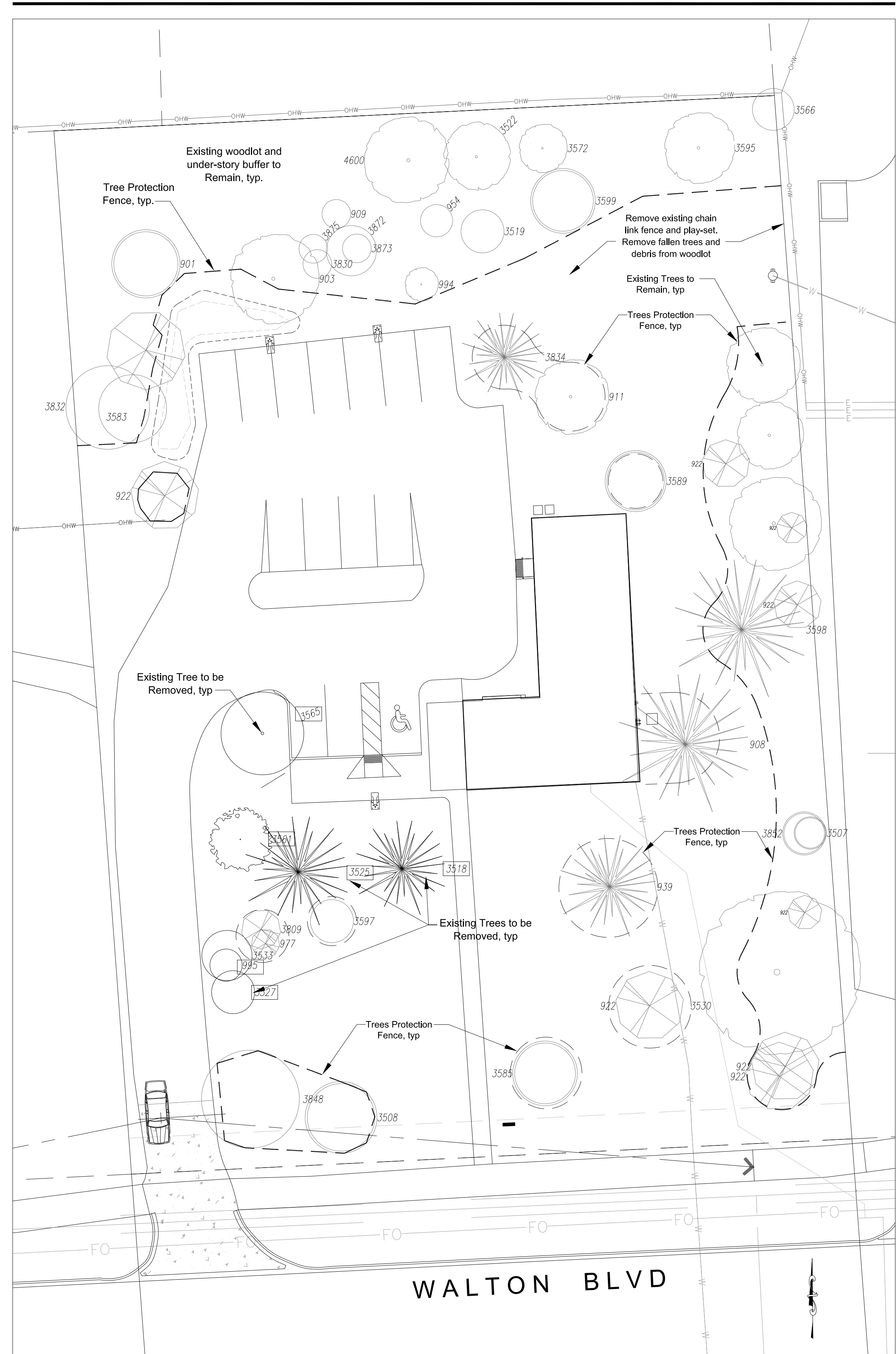


TREE PROTECTION NOTES AND STANDARDS :

- Contractor shall install Tree Protection / Snow Fence at all existing trees that will remain (See detail above)
- Contractor shall maintain Tree Protection / Snow Fence at existing trees throughout the length of construction and site work and shall ensure that vehicles, equipment, or materials are not stored under existing trees.

EXISTING CONDITIONS - TREE REMOVAL & TREE PRESERVATION PLAN :

SCALE : 1" = 20'



**J EPPINK PARTNERS, INC.**  
Urban Design Studio  
Landscape Architecture  
Traditional Town Planning  
9336 Sashabaw Road  
Clarkston, Michigan 48348  
248.922.0788

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Project:  
**Oakland Gospel Hall**  
1590 Walton Blvd  
Rochester Hills, MI 48309

Owner:  
**Oakland Gospel Halls**  
1590 Walton Blvd  
Rochester Hills, MI 48309  
248-303-3585

Sheet:  
**Landscape Planting Plan**

Issues / Revisions  
Permit Resubmit 07-24-23  
Permit Resubmit 09-21-23  
Permit Resubmit 11-20-23

Drawn by:  
Checked By  
**JTE**  
Date  
**July 7, 2023**  
Scale  
**As Noted**

**Not for Construction**  
Sheet  
**LP-1**  
City File Number:  
**22-040**

**JNRA2022-0005**  
**PSP2023-0008**  
Revision #3  
Received 11/29/2023  
City of Rochester Hills  
Planning & Economic  
Development







project  
**Oakland Gospel Halls**  
 1590 Walton Blvd.  
 Rochester Hills, MI 48309

zoning  
 ZONING: R-2

SETBACKS: FRONT YARD - 40' MIN.  
 REAR YARD - 35' MIN.  
 SIDE YARD - 15' (EA.) SIDE

MAX. HT.: 40 ft.

MAX LOT COVERAGE: 25%

OCCUPANCY CLASSIFICATION: MIXED USE GROUP B / S-1  
 NON-SEPARATED  
 (MODERATE HAZARD)

CONST. TYPE: TYPE V-B (NOT SPRINKLED)  
 1-STORY ABOVE GRADE

CODE:  
 DESIGNED IN ACCORDANCE WITH MICHIGAN  
 REHABILITATION CODE FOR EXISTING BUILDINGS 2015,  
 MICHIGAN PLUMBING CODE 2018, MICHIGAN  
 MECHANICAL CODE 2015 AND THE 2017 NATIONAL  
 ELECTRICAL CODE.

sheet title  
**FIRE PROTECTION PLAN**

date

05.09.2022	PRELIMINARY DESIGN
05.16.2022	PRELIMINARY DESIGN REVISIONS
06.29.2022	SITE PLAN REVIEW
07.19.2022	CONCEPT REVISIONS
09.06.2022	CONCEPT REVISIONS
10.24.2022	SITE PLAN REVIEW REVISIONS.
01.10.2023	SURVEY / SITE PLAN REV.
05.30.2023	CITY REVISIONS
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07.14.2023	CITY PREVIEW
07.24.2023	SITE PLAN REVIEW RESUBMIT
08.28.2023	SITE PLAN REVIEW REVISIONS
09.22.2023	SITE PLAN REVIEW RESUBMIT
11.22.2023	SITE PLAN REVIEW RESUBMIT_2



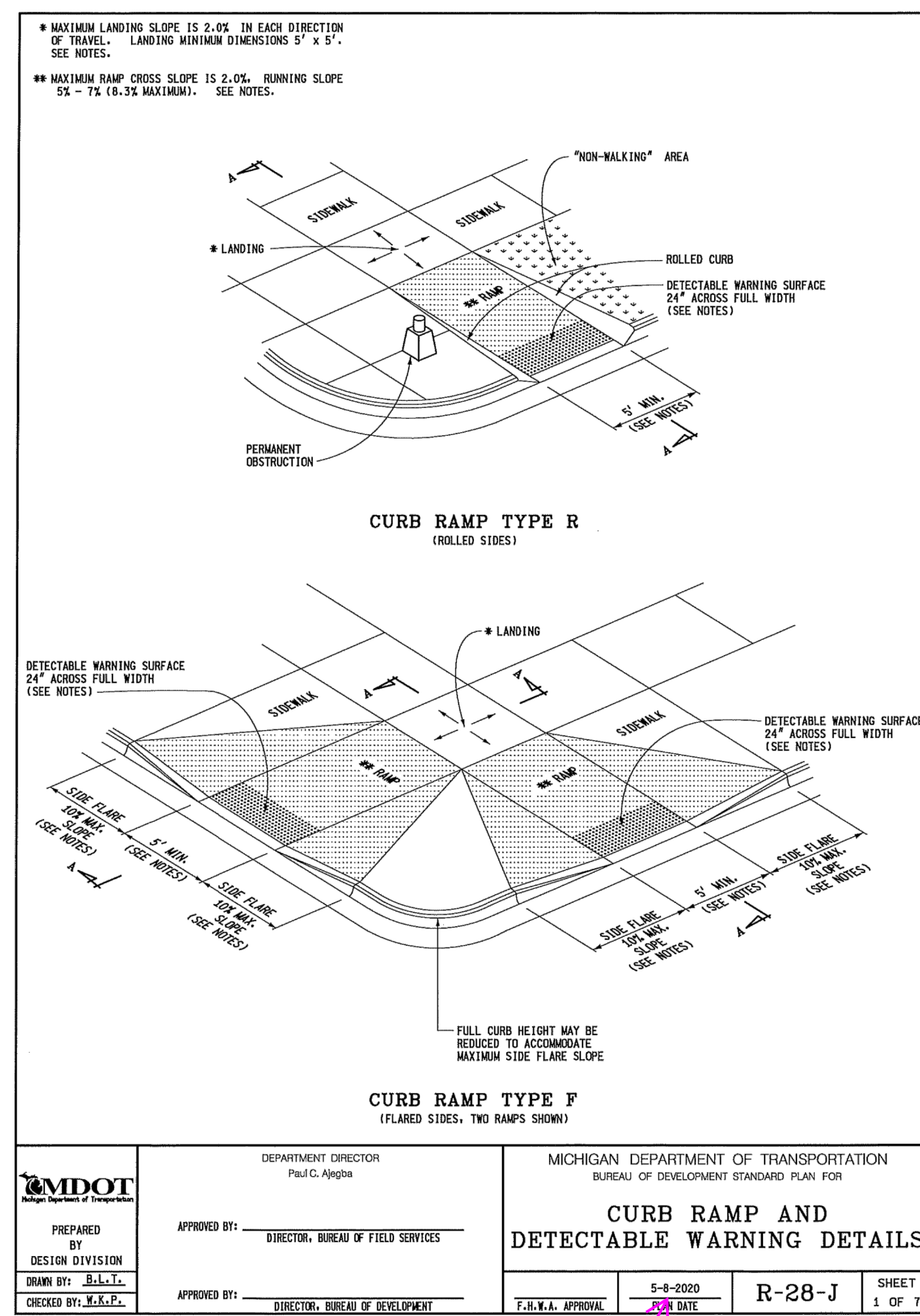
**FIRE DEPARTMENT NOTES:**

1. A Knox Key system shall be installed in a location approved by the Fire Code Official. Ordering information is available through the Knox Company at [www.knoxbox.com](http://www.knoxbox.com) (IFC 2006 sec.1028.2)
2. Fire Lanes shall be designated by the Fire Code Official, and shall be conspicuously posted on both sides of the fire lane, with fire lane signs spaced not more than 100 feet apart. Fire Lane Signs shall read "No Stopping, Standing, Parking, Fire Lane" and shall conform to the Michigan Manual of Uniform Traffic Control Devices (Fire Prevention Ordinance Chapter 58, sec 503)
3. Construction sites shall be safeguarded in accordance with IFC 2006 Chapter 14.
4. **BUILDING CONSTRUCTION TYPE:**  
 - WOOD FRAME UPPER LEVEL FLOORS, WALLS, & ROOF  
 - CMU BLOCK BASEMENT

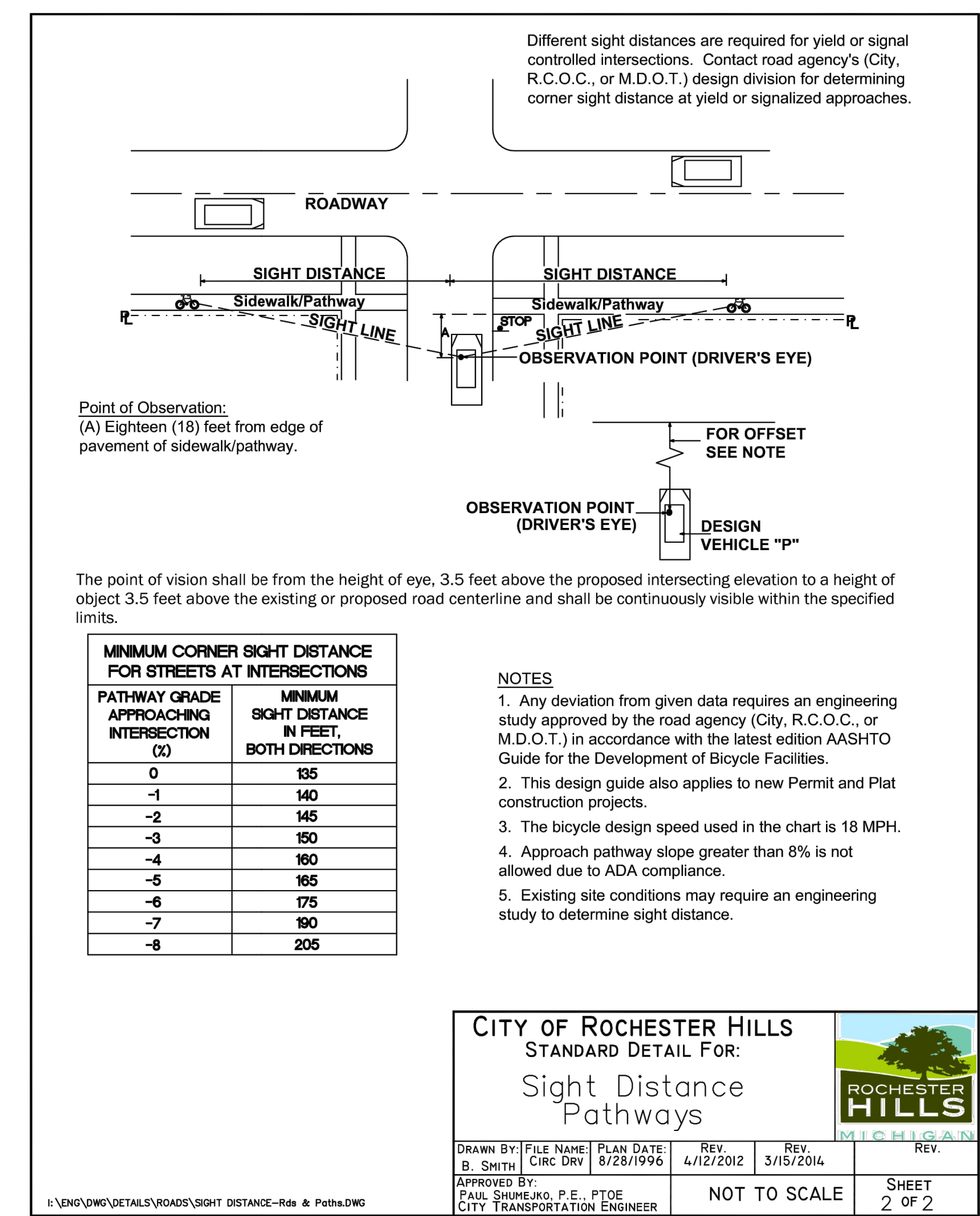
AARON KOZACHIK

ARCHITECTURAL DESIGN & CONSTRUCTION

EMAIL: AKOZACHIK@GMAIL.COM  
 PHONE: 248.775.9384



include updated(R-28-K dated 11.8.23) and all plan sheets. See attached within BS&A.

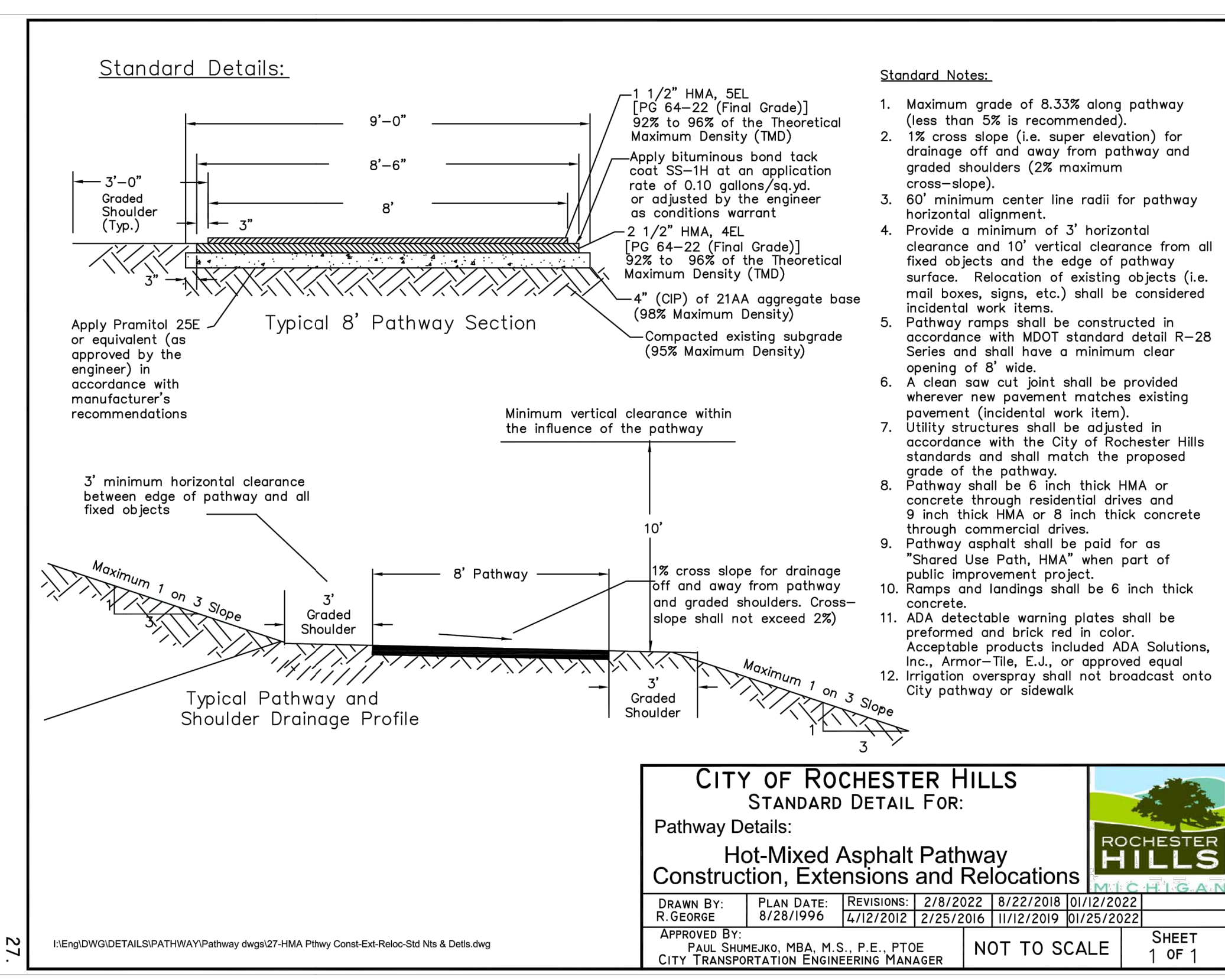
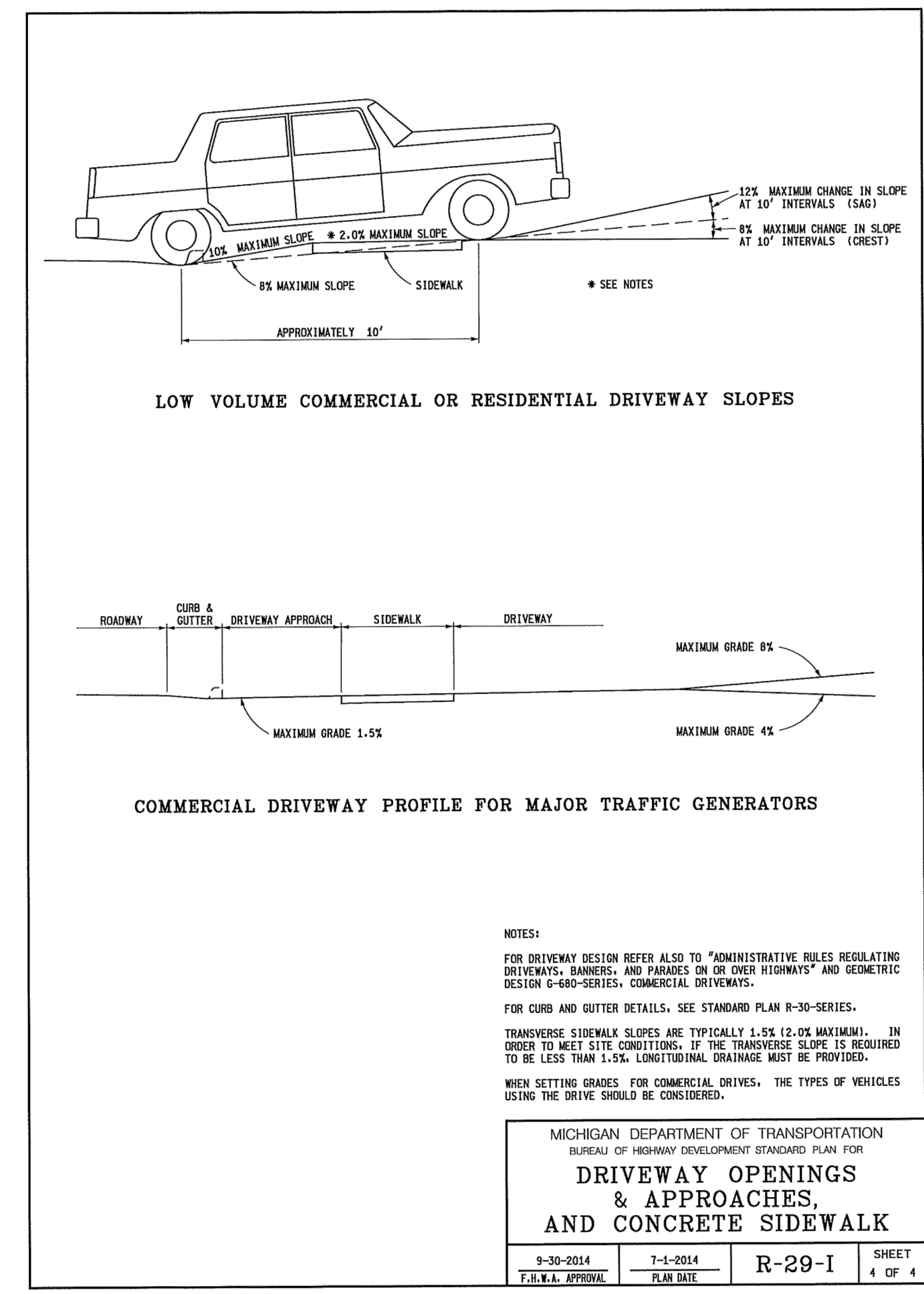


**Oakland Gospel Halls**  
1590 Walton Blvd.  
Rochester Hills, MI 48309

zoning: R-2  
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 REAR YARD - 35' MIN.  
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 MAX LOT: 25%  
 COVERAGE  
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 CLASSIFICATION: NON-SEPARATED (MODERATE HAZARD)  
 CONST. TYPE: TYPE V-B (NOT SPRINKLED) 1-STORY ABOVE GRADE  
 CODE:  
 DESIGNED IN ACCORDANCE WITH MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS 2015, MICHIGAN PLUMBING CODE 2018, MICHIGAN MECHANICAL CODE 2015 AND THE 2017 NATIONAL ELECTRICAL CODE.

**CITY CONSTRUCTION DETAILS**

date	DESCRIPTION
05.09.2022	PRELIMINARY DESIGN
05.16.2022	PRELIMINARY DESIGN REVISIONS
06.29.2022	SITE PLAN REVIEW
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09.22.2023	SITE PLAN REVIEW RESUBMIT
11.22.2023	SITE PLAN REVIEW RESUBMIT 2



To City of Rochester Hills Planning and Economic Development  
 For attention of Mr John Boughton

Ref 1590 Walton Boulevard Rochester Hills MI 48309...Parcel ID 15-09-378-019  
 Sanitary Sewer line to # 15-09-378-018 (1608 Walton Boulevard)

We write to confirm that we have been in contact with our lawyer Mr Doug Tull of Tull Laubach who is familiar with the City of Rochester Hills and is happy to act on our behalf to arrange the legal agreement documentation for a 20-foot easement to the frontage of 1590 Walton Boulevard.

He advised us that the City of Rochester Hills has a standard easement agreement that he will work with once we have agreed to the easement being approved.

We attach a copy of the Site Survey drawing with the easement marked.

On behalf of the Oakland Gospel Halls, I can confirm all the board are in full agreement to providing a 20ft easement for future service connections the City of Rochester may request.

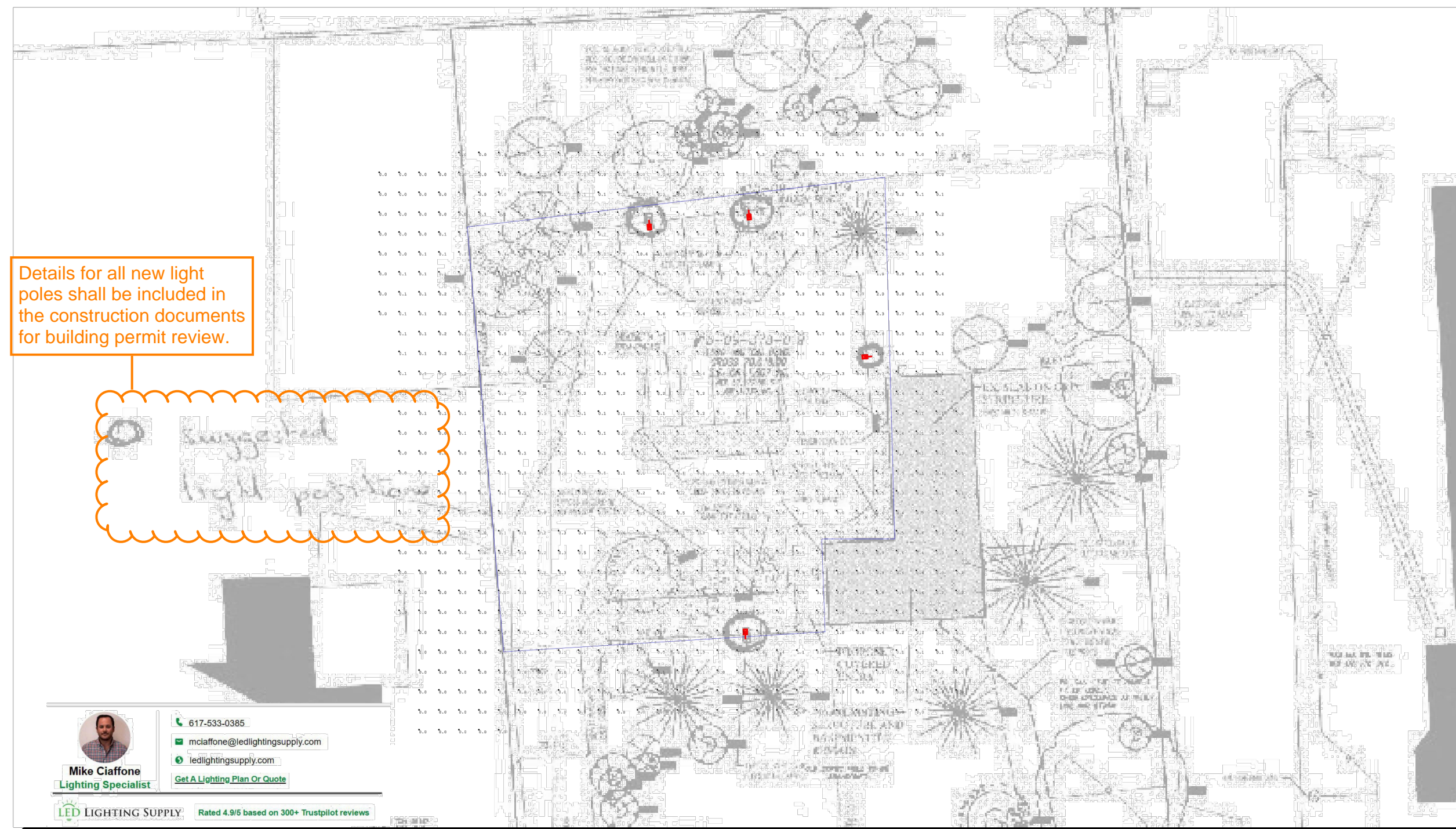
Yours Faithfully,  
 Howard McIntyre  
 On behalf of the Oakland Gospel Halls.

**20' SEWER EASEMENT LETTER**


ROCHESTER HILLS  
 JNRA2022-0005 PSP2023-0008 Revision #3  
 Received 11/29/2023  
 City of Rochester Hills Planning & Economic Development

AARON KOZACHIK  
 ARCHITECTURAL DESIGN & CONSTRUCTION  
 EMAIL: AKOZACHIK@GMAIL.COM  
 PHONE: 248.775.0384





## City Electric Supply-Grand Junction-CO



**Mike Ciaffone**  
Lighting Specialist

617-533-0385  
mciaffone@ledlightingsupply.com  
ledlightingsupply.com

[Get A Lighting Plan Or Quote](#)

Date: 11/13/2023

LED LIGHTING SUPPLY Rated 4.9/5 based on 300+ Trustpilot reviews

This Lighting Plan Analysis ("Lighting Design") provided by the DRK Enterprises LLC ("LED Lighting Supply" "DRK") represent an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been verified by DRK, and therefore actual measured results may vary from the actual field conditions. DRK recommends that design parameters and other information be field verified to reduce variation. DRK neither warrants, either implied or stated with regard to actual measured light levels as compared to those illustrated by the Lighting Design. DRK neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design in compliance with any applicable regulatory code requirements with the exception of those specifically stated on drawings created and submitted by DRK. The Lighting Design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction and is being part of a project's construction documentation package. Replacing fixtures in this lighting design with other fixtures would alter the results provided within the lighting plan. This lighting plan represents the photometric output of the fixtures specified within this plan.

The bottom left of the lighting plan is position (x,y) of 0,0  
For each fixture:  
x represents the distance on the horizontal axis from the bottom left corner. The more right you go, the higher the number.  
y represents the distance on the vertical axis from the bottom left corner. The higher you go, the larger the number. z represents mounting height, or the distance above the ground.  
TB represents the angle down, towards the surface. Orientation is the angle relative to the mounting position.  
Once a fixture is mounted on the pole at height z, the installer will rotate the fixture to a location on the field (orientation) and then tilt the fixture so the beam of light shines up a specific location on that field.

project

**Oakland Gospel Halls**  
1590 Walton Blvd.  
Rochester Hills, MI 48309

ZONING: R-2

SETBACKS: FRONT YARD - 40' MIN.  
REAR YARD - 35' MIN.  
SIDE YARD - 15' (EA.) SIDE

MAX. HT.: 40 ft.

MAX LOT COVERAGE: 25%

OCCUPANCY CLASSIFICATION: MIXED USE GROUP B / S-1  
NON-SEPARATED (MODERATE HAZARD)

CONST. TYPE: TYPE V-B (NOT SPRINKLED)  
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sheet title

### PHOTOMETRIC DETAILS

date	description
05.09.2022	PRELIMINARY DESIGN
05.16.2022	PRELIMINARY DESIGN REVISIONS
06.29.2022	SITE PLAN REVIEW
07.19.2022	CONCEPT REVISIONS
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All fixtures shall comply with Illuminating Engineering Society of North America standards.

Luminaire Schedule	Symbol	Qty	Label	Arrangement	LF	Total Lamp Lumens
	☐	4	MELG-LED-SHROD-100-5-T3-BS	Single	1,600	10,131

Luminaire Location Summary	Label	z	Orientation	Tilt	Lumens
	MELG-LED-SHROD-100-5-T3-BS	20	274.289	0	1
	MELG-LED-SHROD-100-5-T3-BS	20	273.013	0	2
	MELG-LED-SHROD-100-5-T3-BS	20	76	0	3
	MELG-LED-SHROD-100-5-T3-BS	20	183.366	0	4

LED LIGHTING SUPPLY Rated 4.9/5 based on 300+ Trustpilot reviews

DRK Enterprises LLC / LED Lighting Supply  
1 Chestnut Street, 4M  
Nashua, NH 03060  
(888) 423-3191  
www.ledlightingsupply.com

100 Watt LED Shoebox Light | 16000 Lumens | 10 Year Warranty

**Product Details**  
SKU: MELG-LED-SHROD-100-50 | Web ID: 1776

100 Watt LED Shoebox / Area Light produces 16000 lumens at 160 lumens / watt and has durable die-cast aluminum housing that is electroplated and powder coated with an anti-corrosion performance for years of maintenance free lighting.

Available in both Type 3 or Type 5; perfect for parking lots. Optional photocell allows for further energy saving. It comes with a 1.10V dimmable driver at 100V-270V or 277V-480V or 277V-480V Voltage LED Driver Color Temperature is 4000K or 5000K. Fixture comes equipped with backup for live surge protection. Fixture comes with dark SHRODZ finish.

This shoebox fixture can be pole post or wall mounted using the following hardware: Wall or Pole or Arm or Stay. All brackets are sold separately. It is also P65 Wet location rated high impact rating of 4000 ft-lb (540 Nm) impact energy rating (ASTM F2252 or F2253).

Sanitary Sewer line to # 15-09-378-018 (1608 Walton Boulevard)

Watts:	Dimmable:
100	1.10V

Lumens:	Beam Angle:
16000	30°

Lumens/Watt:	Optic:
160	Beam Spread

Replaces:	Frequency:
100 Watt LED Shoebox Light	50,000 Hours

Color Temp:	Power Factor:
4000K or 5000K	0.95

UL Rating:	IP Rating:
Type 3 or 5	IP65

IK Rating:	Housing:
IK08	Aluminum

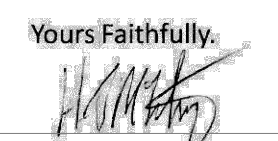
Input Voltage:	Mounting:
100V-270V or 277V-480V	Wall / Pole / Arm / Stay

Surge Protection:	ULP Rating:
1000 Joules	ULP-1

Operating Temp:	Dimensions:
-20°C to 50°C	11.5" x 11.5" x 3.5"

Rated Life:	Weight:
50,000 Hours	11.5 lbs

Warranty:
10 Year / 100,000 Hours

Yours Faithfully,  
  
Howard McIvry  
On behalf of the Oakland Gospel Halls.

LED light sources shall have a correlated color temperature that does not exceed 3,000K.

Tull Laubach who is the legal agreement that he will work with the easement marked in full agreement to providing a



10/27/2023

Re: 1590 Walton Blvd, Rochester Hills, MI

Purpose: Place of worship & prayer

Our main church is in Troy where we meet as a full group 3 days a week. The Walton facility will be used by congregants that live close by to celebrate the Lord's Supper on Sunday morning and for a prayer meeting on Monday evening. Both gatherings last less than 1 hour. These smaller places allow more scope for participation by all, young and old alike, not to exceed 49 people in all. We have been using our homes on a monthly rotation for several years now and are looking forward to a consistent place to worship.

All meetings are held indoors, there are no outdoor services or special events.

The building consists of the following rooms:

- 1<sup>st</sup> (main) floor
  - Foyer area with coat racks
  - Washrooms
  - Mechanical room
  - Meeting room with chairs
- Basement
  - Storage as needed

On behalf of Oakland Gospel Halls

Trevor Hewitt

248-303-3585

[Trevor.hewitt@outlook.com](mailto:Trevor.hewitt@outlook.com)



JNRA2022-0005  
PSP2023-0008  
Revision #3

Received  
11/29/2023  
City of Rochester Hills  
Planning & Economic  
Development

To The City of Rochester Hills Planning and Economic Development

For attention of Mr Chris McLeod

Ref Walton Boulevard Rochester Hills MI 48309...Parcel 15 -09-378-019

**Off-site parking should the need ever arise.**

The site has been designed with sufficient parking for the small congregation however if there was ever a need for additional parking The Abiding Presence Lutheran Church 1550 Walton Boulevard ...(next door neighbor) have agreed we could make arrangements and use some of their parking spaces should the need ever arise.

A meeting was held with Mrs. Julie Cavellier Director of Operations for the Abiding Presence Lutheran Church and Howard McIntyre representing the Oakland Gospel Halls.



JNRA2022-0005  
PSP2023-0008  
Revision #3

Received  
11/29/2023  
City of Rochester Hills  
Planning & Economic  
Development

## Oakland Gospel Hall – Site Plan Review submission updates\_2

Drawings dated : 11.22.2023

### A-1

- Extended city pathway removal and regrading adjacent to driveway approach
- Shown approximate existing septic system to be abandoned
- Existing green space adjacent to parking lot to be removed for connecting sidewalk
- Added building height, story analysis, and area analysis table
- Corrected permeable surface table
- Corrected Occupancy Classification to all title blocks

### A-2

- Extended city pathway removal and regrading adjacent to driveway approach
- New sidewalk connecting to city pathway to be maximum 5% slope. (See spot elevations at building and city pathway)
- Accessible Parking sign
- Side walk adjacent to parking lot to connect public entrances
- Added street light to North side of building
- Relocated Lighting details to new photometric plan (see sheet D-2)
- Sanitary sewer tap location to be south of existing manhole

### A-5

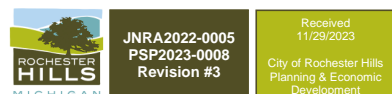
- Mixed use occupancy classification S-1 Storage – moderate hazard

### A-6

- Labeled all public entrances
- Relabeled “Main Level” to **“Upper Level”**

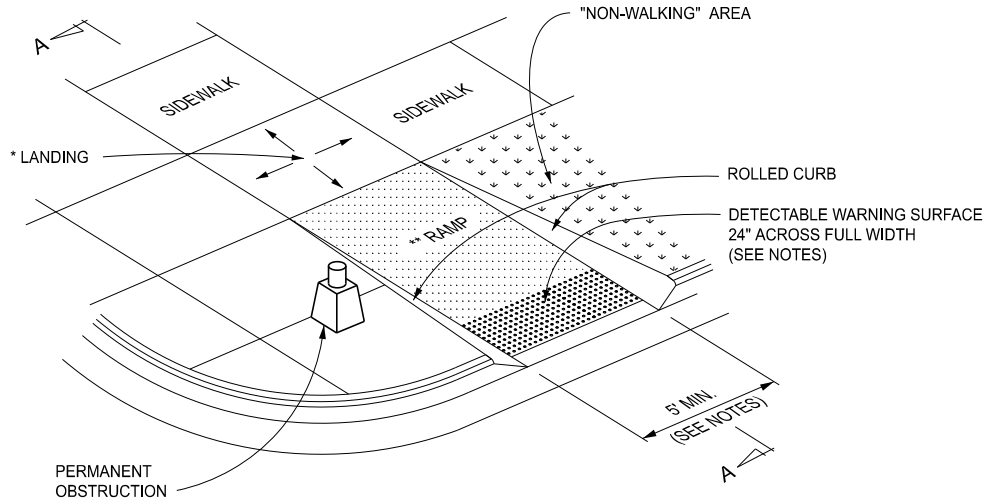
### D-2

- Added Photometric Detail sheet

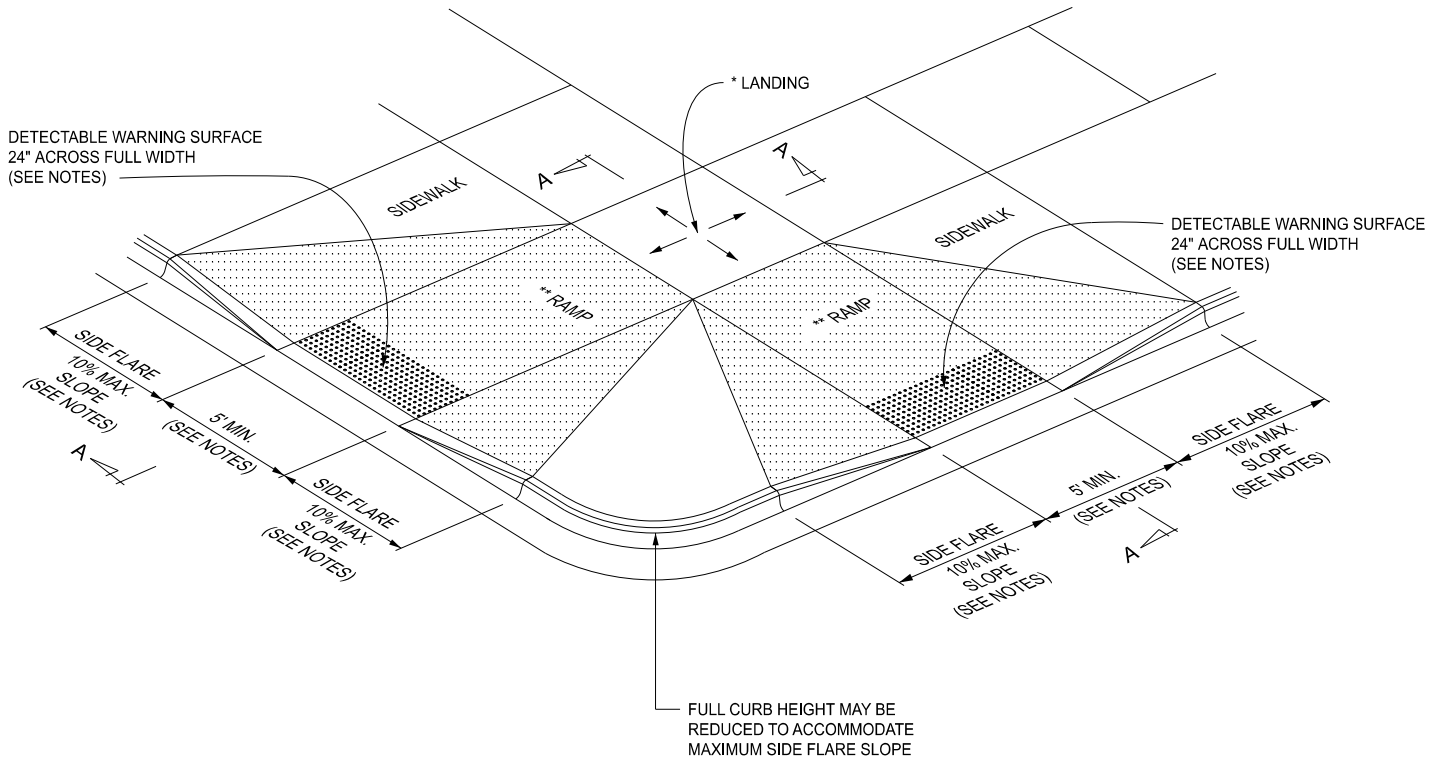


\* MAXIMUM LANDING SLOPE IS 2.1% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

\*\* MAXIMUM RAMP CROSS SLOPE IS 2.1%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



**CURB RAMP TYPE R**  
(ROLLED SIDES)



**CURB RAMP TYPE F**  
(FLARED SIDES, TWO RAMPS SHOWN)

APPROVED BY: \_\_\_\_\_  
DIRECTOR, BUREAU OF FIELD SERVICES

APPROVED BY: \_\_\_\_\_  
DIRECTOR, BUREAU OF DEVELOPMENT



DEPARTMENT DIRECTOR  
BRADLEY C. WIEFERICH, PE

STANDARD PLAN FOR  
**CURB RAMP AND  
DETECTABLE WARNING DETAILS**

(SPECIAL DETAIL)  
FHWA APPROVAL

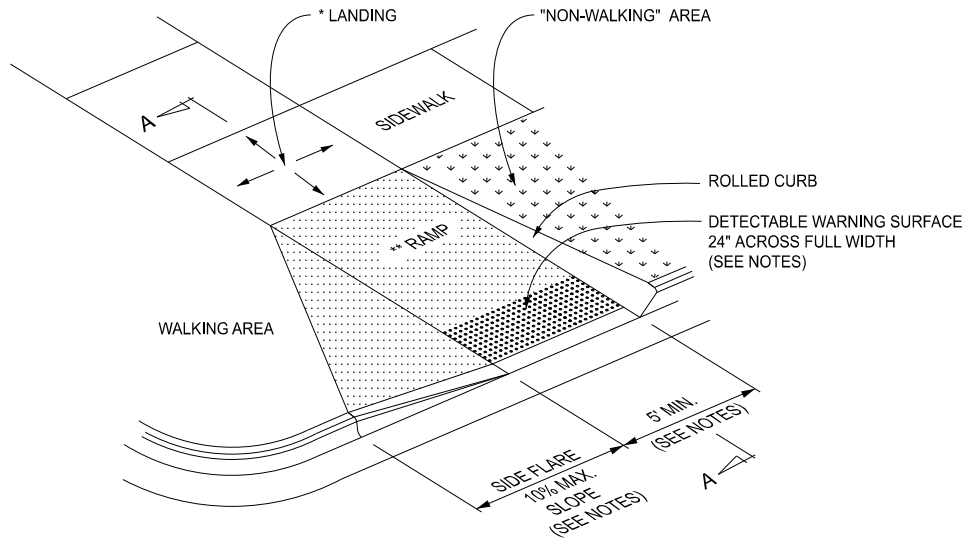
11/08/2023  
PLAN DATE

**R-28-K**

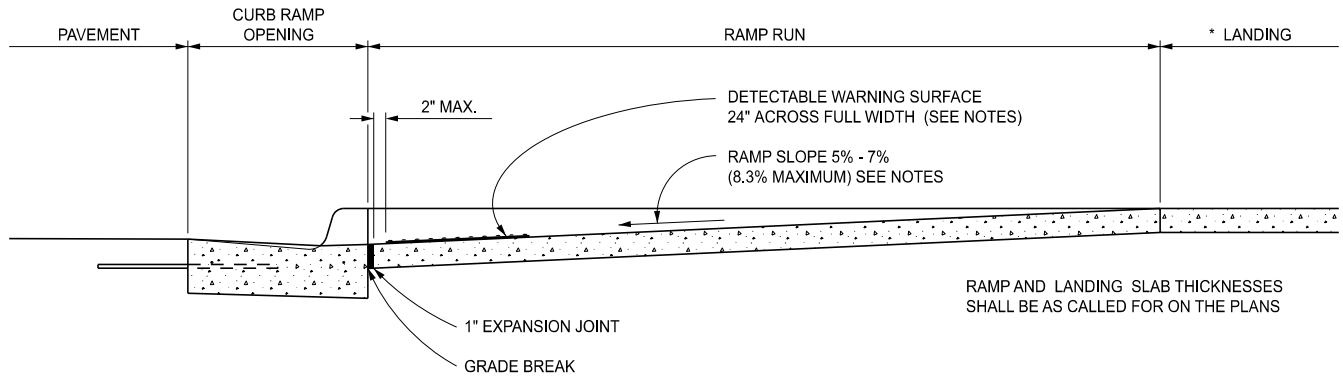
SHEET  
1 OF 7

\* MAXIMUM LANDING SLOPE IS 2.1% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

\*\* MAXIMUM RAMP CROSS SLOPE IS 2.1%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



**CURB RAMP TYPE RF**  
(ROLLED / FLARED SIDES)

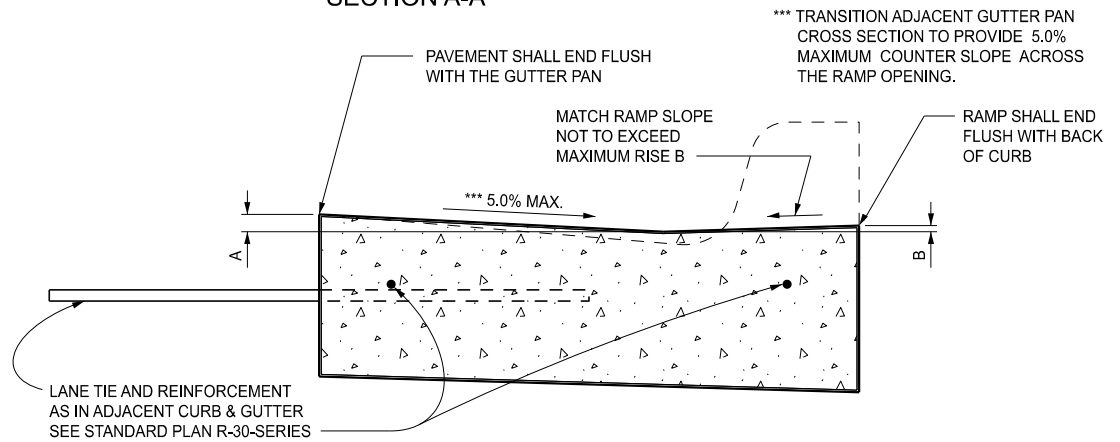


RAMP AND LANDING SLAB THICKNESSES SHALL BE AS CALLED FOR ON THE PLANS

**SECTION A-A**

CURB TYPE	MAXIMUM RISE (INCHES)	
	A	B
B1	¾	1
B2	¾	1
B3	¾	1
D1	¾	1
D2	¾	1
D3	¾	1
C1	½	½
C2	½	½
C3	¾	½
C4	¾	½
C5	1	½
C6	1	½
F1	½	½
F2	½	½
F3	¾	½
F4	¾	½
F5	1	½
F6	1	½

FOR CURB TYPES SEE STANDARD PLAN R-30-SERIES

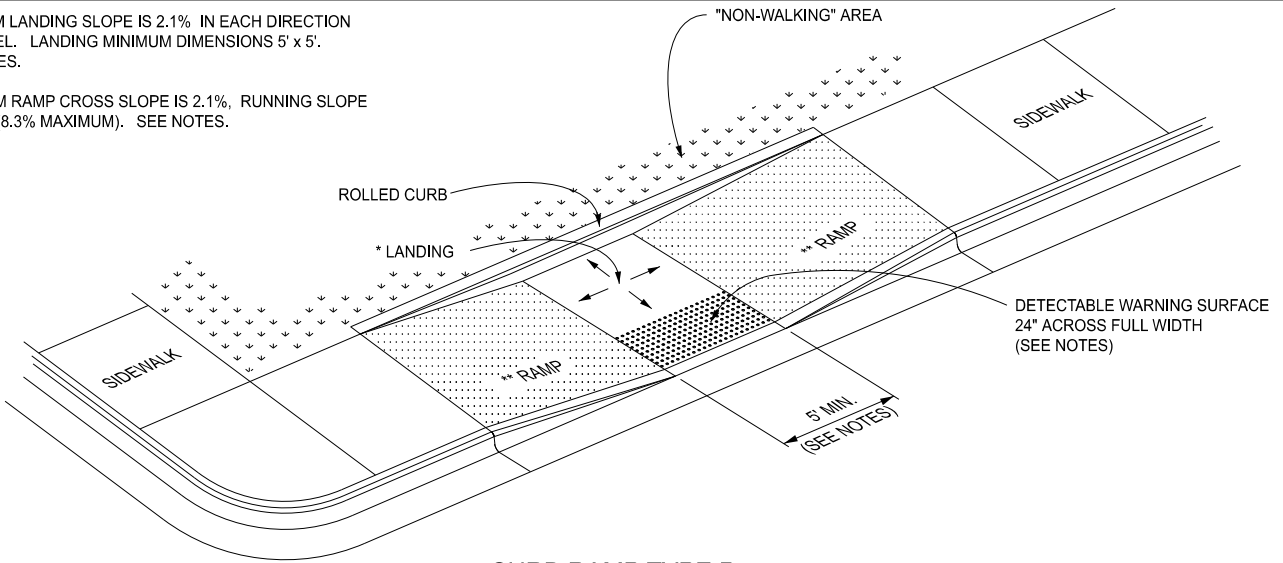


**SECTION THROUGH CURB RAMP OPENING**  
(TYPICAL ALL RAMP TYPES)

 DEPARTMENT DIRECTOR BRADLEY C. WIEFERICH, PE	STANDARD PLAN FOR <b>CURB RAMP AND                  DETECTABLE WARNING DETAILS</b>		<b>R-28-K</b>	SHEET 2 OF 7
	(SPECIAL DETAIL) FHWA APPROVAL	11/08/2023 PLAN DATE		

\* MAXIMUM LANDING SLOPE IS 2.1% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

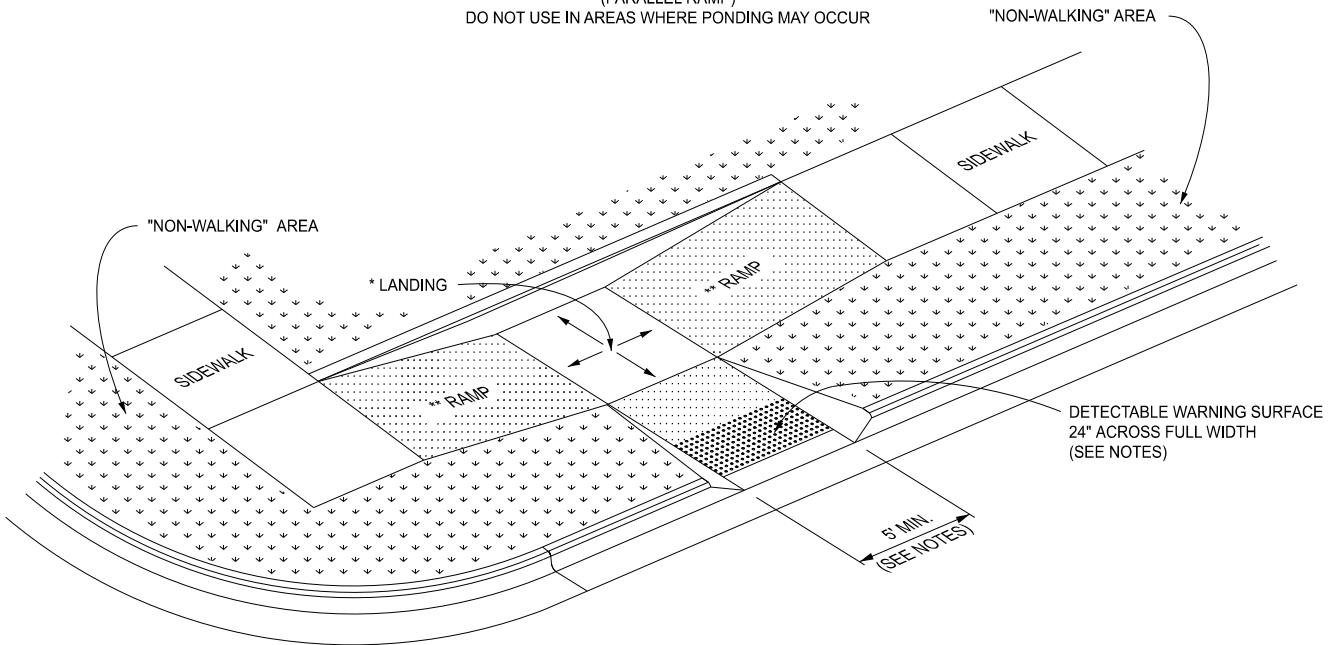
\*\* MAXIMUM RAMP CROSS SLOPE IS 2.1%, RUNNING SLOPE 5% - 7% (8.3% MAXIMUM). SEE NOTES.



**CURB RAMP TYPE P**

(PARALLEL RAMP)

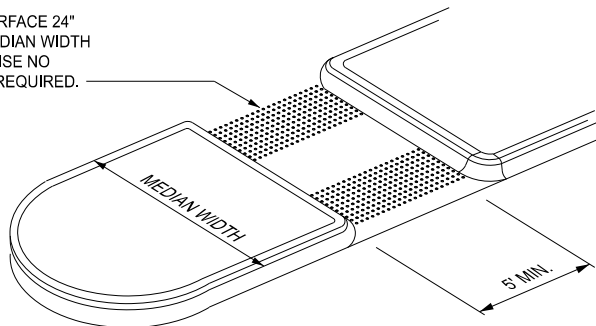
DO NOT USE IN AREAS WHERE PONDING MAY OCCUR



**CURB RAMP TYPE C**

(COMBINATION RAMP)

DETECTABLE WARNING SURFACE 24" ACROSS FULL WIDTH IF MEDIAN WIDTH IS AT LEAST 6'-0". OTHERWISE NO DETECTABLE WARNING IS REQUIRED.



**CURB RAMP TYPE M**

(MEDIAN ISLAND)



DEPARTMENT DIRECTOR  
BRADLEY C. WIEFERICH, PE

STANDARD PLAN FOR  
**CURB RAMP AND  
DETECTABLE WARNING DETAILS**

(SPECIAL DETAIL)  
FHWA APPROVAL

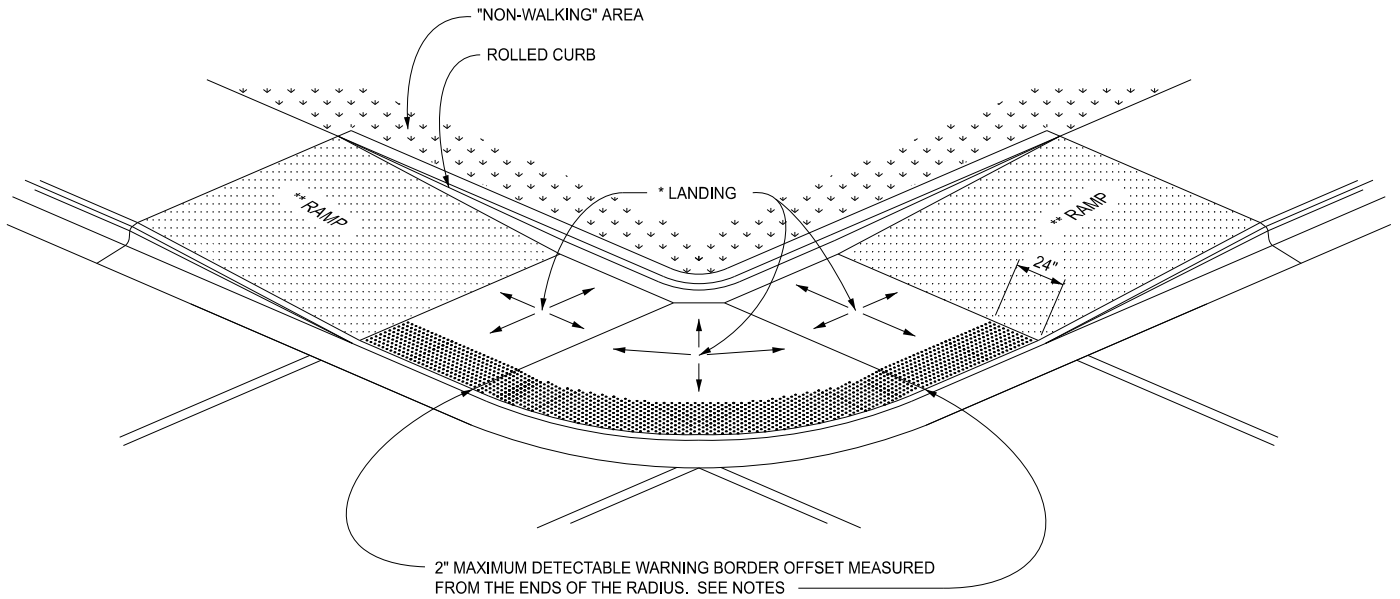
11/08/2023  
PLAN DATE

**R-28-K**

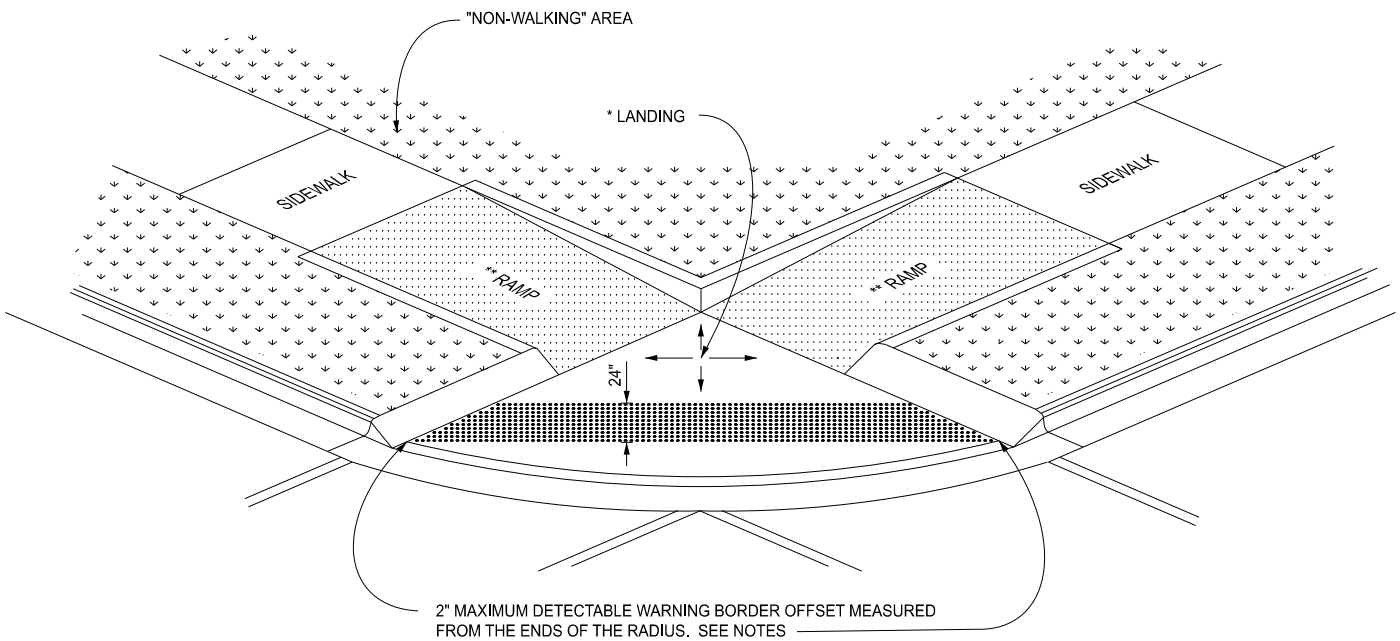
SHEET  
3 OF 7

\* MAXIMUM LANDING SLOPE IS 2.1% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.

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( RADIAL DETECTABLE WARNING SHOWN )



( TANGENT DETECTABLE WARNING SHOWN )

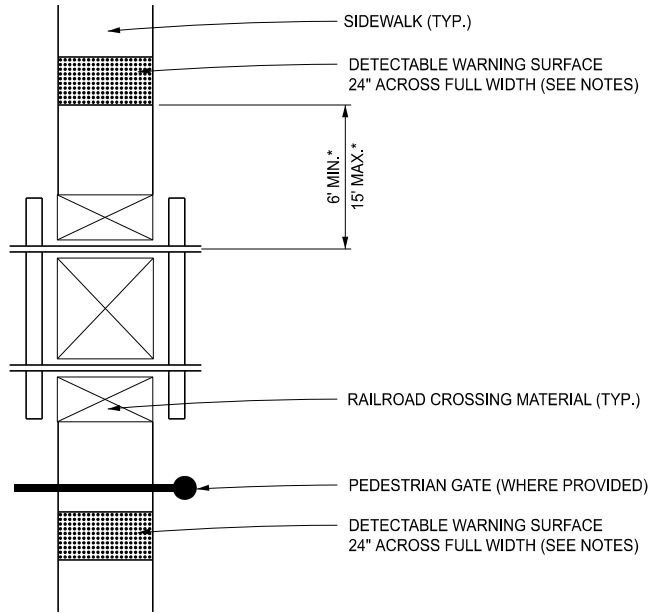
**CURB RAMP TYPE D**  
(DEPRESSED CORNER)

USE ONLY WHEN INDEPENDENT DIRECTIONAL RAMPS CAN NOT BE CONSTRUCTED FOR EACH CROSSING DIRECTION

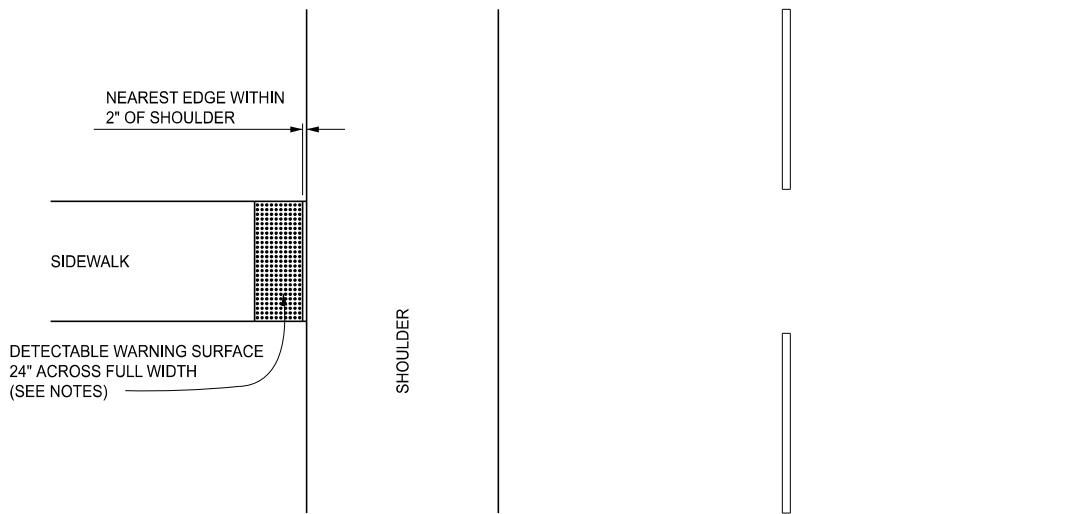
<p>MDOT Michigan Department of Transportation</p> <p>DEPARTMENT DIRECTOR BRADLEY C. WIEFERICH, PE</p>	<p>STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS</p>			<p>SHEET 4 OF 7</p>
	<p>(SPECIAL DETAIL) FHWA APPROVAL</p>	<p>11/08/2023 PLAN DATE</p>	<p>R-28-K</p>	



\* THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE RAIL CROSSING IS 6' MINIMUM AND 15' MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL. DO NOT PLACE DETECTABLE WARNING ON RAILROAD CROSSING MATERIAL.



DETECTABLE WARNING AT RAILROAD CROSSING



DETECTABLE WARNING AT FLUSH SHOULDER OR ROADWAY



DEPARTMENT DIRECTOR  
BRADLEY C. WIEFERICH, PE

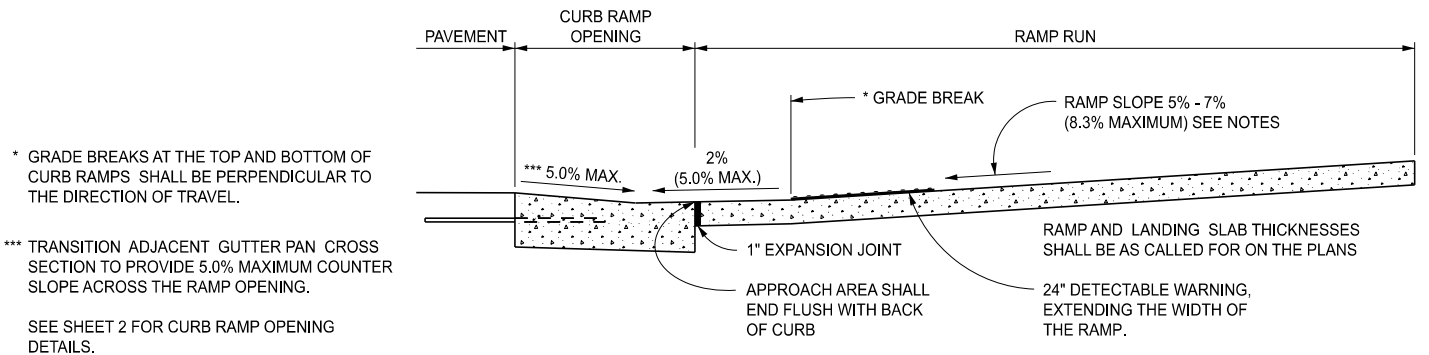
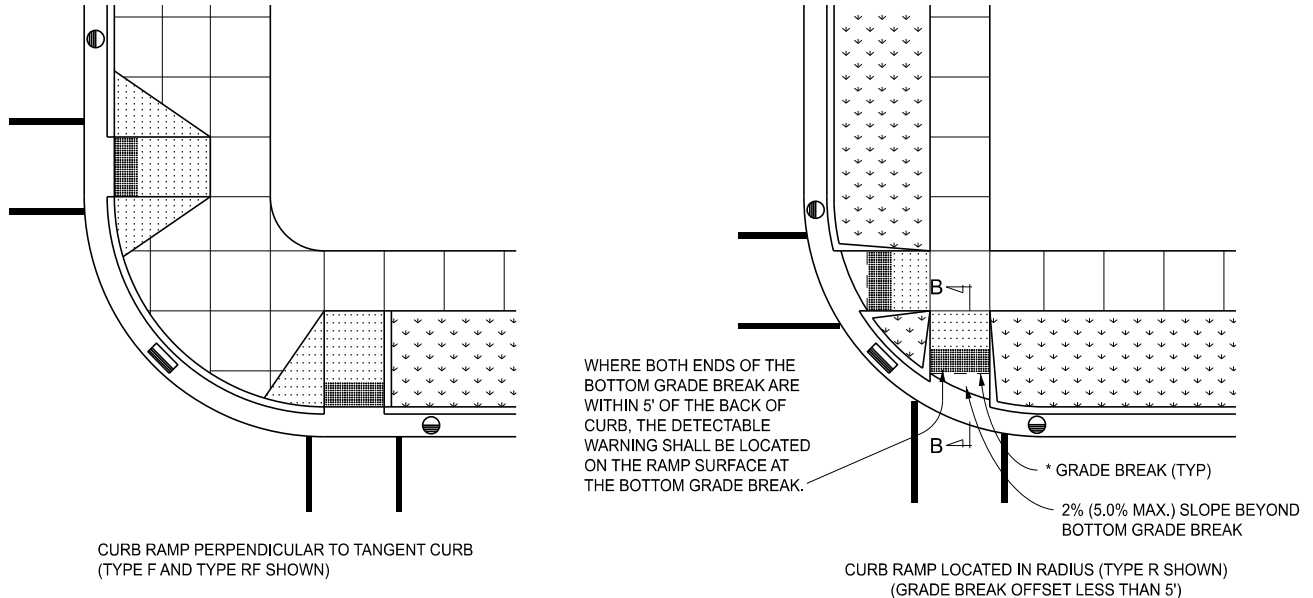
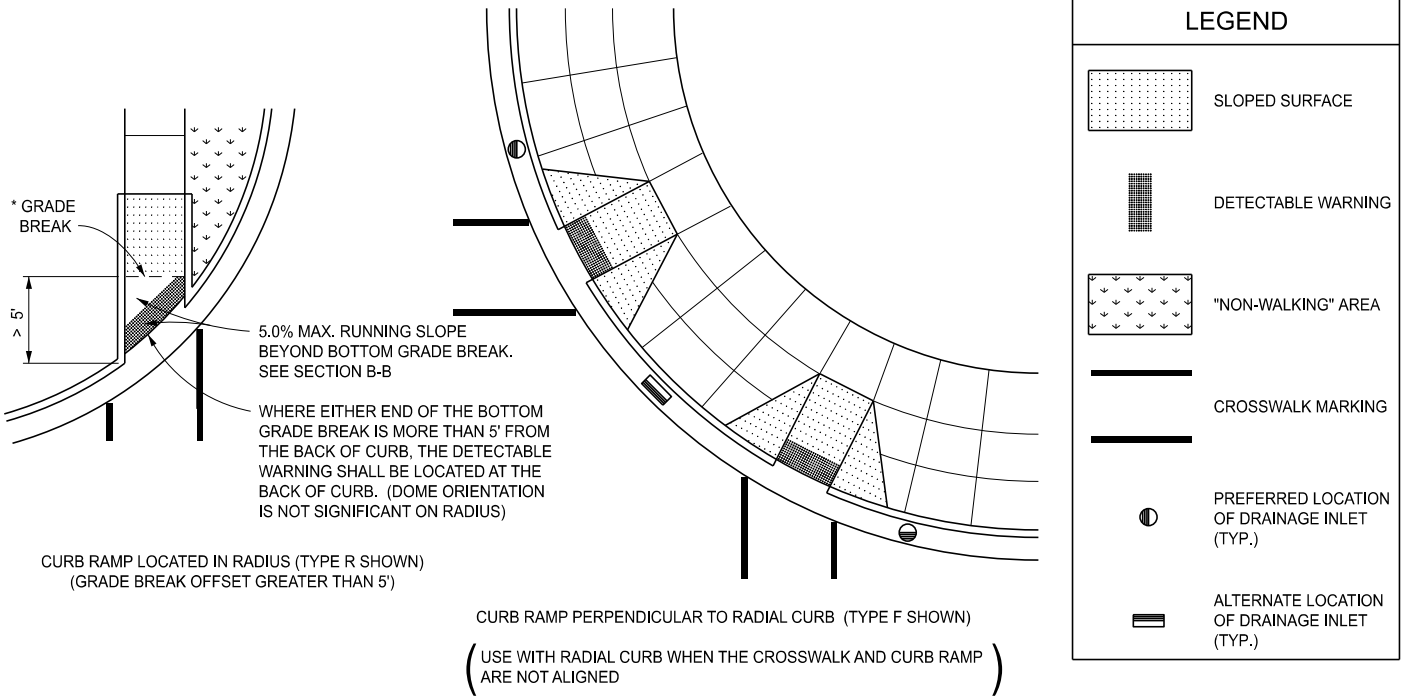
STANDARD PLAN FOR  
CURB RAMP AND  
DETECTABLE WARNING DETAILS

(SPECIAL DETAIL)  
FHWA APPROVAL

11/08/2023  
PLAN DATE

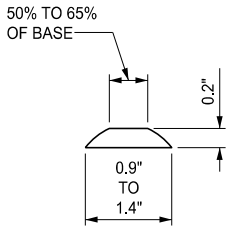
R-28-K

SHEET  
5 OF 7

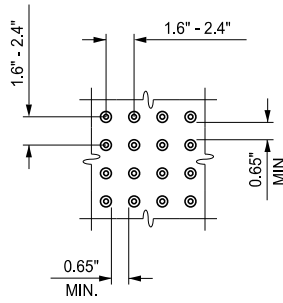


SECTION B-B  
CURB RAMP ORIENTATION

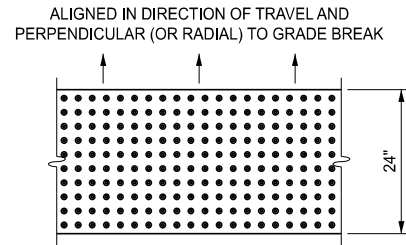
<p>DEPARTMENT DIRECTOR BRADLEY C. WIEFERICH, PE</p>	<p>STANDARD PLAN FOR CURB RAMP AND DETECTABLE WARNING DETAILS</p>		<p>R-28-K</p>	<p>SHEET 6 OF 7</p>
	<p>(SPECIAL DETAIL) FHWA APPROVAL</p>	<p>11/08/2023 PLAN DATE</p>		



DOME SECTION



DOME SPACING



DOME ALIGNMENT

DETECTABLE WARNING DETAILS

NOTES:

DETAILS SPECIFIED ON THIS PLAN APPLY TO ALL CONSTRUCTION, RECONSTRUCTION, OR ALTERATION OF STREETS, CURBS, OR SIDEWALKS IN THE PUBLIC RIGHT OF WAY.

CURB RAMPS ARE TO BE LOCATED AS SPECIFIED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

RAMPS SHALL BE PROVIDED AT ALL CORNERS OF AN INTERSECTION WHERE THERE IS EXISTING OR PROPOSED SIDEWALK AND CURB. RAMPS SHALL ALSO BE PROVIDED AT MARKED AND/OR SIGNALIZED MID-BLOCK CROSSINGS.

SURFACE TEXTURE OF THE RAMP SHALL BE THAT OBTAINED BY A COARSE BROOMING, TRANSVERSE TO THE RUNNING SLOPE.

SIDEWALK SHALL BE RAMPED WHERE THE DRIVEWAY CURB IS EXTENDED ACROSS THE WALK.

CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE ON THE RAMP. WHERE CONDITIONS PERMIT, IT IS DESIRABLE THAT THE SLOPE OF THE RAMP BE IN ONLY ONE DIRECTION, PARALLEL TO THE DIRECTION OF TRAVEL.

RAMP WIDTH SHALL BE INCREASED, IF NECESSARY, TO ACCOMMODATE SIDEWALK SNOW REMOVAL EQUIPMENT NORMALLY USED BY THE MUNICIPALITY.

WHEN 5' MINIMUM WIDTHS ARE NOT FEASIBLE, RAMP WIDTH MAY BE REDUCED TO NOT LESS THAN 4' AND LANDINGS TO NOT LESS THAN 4' x 4'.

CURB RAMPS WITH A RUNNING SLOPE  $\leq 5\%$  DO NOT REQUIRE A TOP LANDING. HOWEVER, ANY CONTINUOUS SIDEWALK OR PEDESTRIAN ROUTE CROSSING THROUGH OR INTERSECTING THE CURB RAMP MUST INDEPENDENTLY MAINTAIN A CROSS SLOPE NOT GREATER THAN 2.1% PERPENDICULAR TO ITS OWN DIRECTION(S) OF TRAVEL.

DETECTABLE WARNING SURFACE COVERAGE IS 24" MINIMUM IN THE DIRECTION OF RAMP/PATH TRAVEL AND THE FULL WIDTH OF THE RAMP/PATH OPENING EXCLUDING CURBED OR FLARED CURB TRANSITION AREAS. A BORDER OFFSET NOT GREATER THAN 2" MEASURED ALONG THE EDGES OF THE DETECTABLE WARNING IS ALLOWABLE. FOR RADIAL CURB THE OFFSET IS MEASURED FROM THE ENDS OF THE RADIUS.

FOR NEW ROADWAY CONSTRUCTION, THE RAMP CROSS SLOPE MAY NOT EXCEED 2.1%. FOR ALTERATIONS TO EXISTING ROADWAYS, THE CROSS SLOPE MAY BE TRANSITIONED TO MEET AN EXISTING ROADWAY GRADE. THE CROSS SLOPE TRANSITION SHALL BE APPLIED UNIFORMLY OVER THE FULL LENGTH OF THE RAMP.

THE MAXIMUM RUNNING SLOPE OF 8.3% IS RELATIVE TO A FLAT (0%) REFERENCE. HOWEVER, IT SHALL NOT REQUIRE ANY RAMP OR SERIES OF RAMPS TO EXCEED 15 FEET IN LENGTH NOT INCLUDING LANDINGS OR TRANSITIONS.

DRAINAGE STRUCTURES SHOULD NOT BE PLACED IN LINE WITH RAMPS. THE LOCATION OF THE RAMP SHOULD TAKE PRECEDENCE OVER THE LOCATION OF THE DRAINAGE STRUCTURE. WHERE EXISTING DRAINAGE STRUCTURES ARE LOCATED IN THE RAMP PATH OF TRAVEL, USE A MANUFACTURER'S ADA COMPLIANT GRATE. OPENINGS SHALL NOT BE GREATER THAN 1/2". ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.

THE TOP OF THE JOINT FILLER FOR ALL RAMP TYPES SHALL BE FLUSH WITH THE ADJACENT CONCRETE.

CROSSWALK AND STOP LINE MARKINGS, IF USED, SHALL BE SO LOCATED AS TO STOP TRAFFIC SHORT OF RAMP CROSSINGS. SPECIFIC DETAILS FOR MARKING APPLICATIONS ARE GIVEN IN THE "MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED ALONG THE ROADSIDE CURB LINE, SHALL BE PROVIDED WHERE AN UNOBSTRUCTED CIRCULATION PATH LATERALLY CROSSES THE CURB RAMP. FLARED SIDES ARE NOT REQUIRED WHERE THE RAMP IS BORDERED BY LANDSCAPING, UNPAVED SURFACE OR PERMANENT FIXED OBJECTS. WHERE THEY ARE NOT REQUIRED, FLARED SIDES CAN BE CONSIDERED IN ORDER TO AVOID SHARP CURB RETURNS AT RAMP OPENINGS.

DETECTABLE WARNING PLATES MUST BE INSTALLED USING FABRICATED OR FIELD CUT UNITS CAST AND/OR ANCHORED IN THE PAVEMENT TO RESIST SHIFTING OR HEAVING.



DEPARTMENT DIRECTOR  
BRADLEY C. WIEFERICH, PE

STANDARD PLAN FOR  
CURB RAMP AND  
DETECTABLE WARNING DETAILS

(SPECIAL DETAIL)  
FHWA APPROVAL

11/08/2023  
PLAN DATE

R-28-K

SHEET  
7 OF 7

# SITE PLAN.pdf Markup Summary

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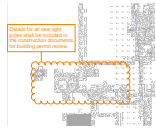
## Building Department (4)

---

Per Design Professional, Mr. Aaron Kozachik, the Basement level will be used only for storage (S-1).

**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 12/6/2023 8:16:15 AM  
**Status:**

Per Design Professional, Mr. Aaron Kozachik, the Basement level will be used only for storage (S-1).



**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 12/6/2023 9:52:31 AM  
**Status:**

Details for all new light poles shall be included in the construction documents for building permit review.

Mark Artinian 248-841-2446  
ArtinianM@RochesterHills.org

**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 12/6/2023 9:53:23 AM  
**Status:**

Mark Artinian 248-841-2446  
ArtinianM@RochesterHills.org

Yes

**Subject:** Building Department  
**Author:** Mark Artinian  
**Date:** 12/6/2023 9:54:11 AM  
**Status:**

Yes

---

## Engineering Department (1)

---

Jason Boughton 248-841-2400  
BoughtonJ@RochesterHills.org

**Subject:** Engineering Department  
**Author:** Jason Boughton  
**Date:** 11/30/2023 8:46:41 AM  
**Status:**

---

## Fire Department (1)

---

Lt. Walter Murphy 248-841-2712  
MurphyW@RochesterHills.org

**Subject:** Fire Department  
**Author:** Lieutenant W. Murphy  
**Date:** 12/7/2023 8:45:11 AM  
**Status:**

---

## Group (20)

---



**Subject:** Group  
**Author:** macdonaldj  
**Date:** 11/29/2023 8:11:57 AM  
**Status:**

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:42:56 AM  
**Status:**

Received  
11/29/2023

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:43:14 AM  
**Status:**

Received  
11/29/2023

City of Rochester Hills Planning & Economic Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:43:25 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:43:31 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:43:39 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:43:47 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:43:54 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:44:01 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:44:12 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:44:35 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:44:48 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:44:57 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:45:09 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development

REASSESSMENT LETTER



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:45:18 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:45:28 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:45:36 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:45:44 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:45:52 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development



**Subject:** Group  
**Author:** C.McLeod  
**Date:** 11/29/2023 8:46:09 AM  
**Status:**

Received  
 11/29/2023

City of Rochester Hills Planning & Economic  
 Development

Jenny McGuckin - YES (1)

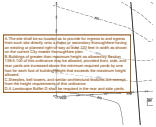


**Subject:** Jenny McGuckin - YES  
**Author:** Jenny McGuckin  
**Date:** 12/4/2023 10:39:08 AM  
**Status:**

Natural Resources (1)



**Subject:** Natural Resources  
**Author:** Matt Einheuser  
**Date:** 11/30/2023 1:23:36 PM  
**Status:**



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 11/29/2023 9:22:29 AM  
**Status:**

A. The site shall be so located as to provide for ingress to and egress from such site directly onto a major or secondary thoroughfare having an existing or planned right-of-way at least 120 feet in width as shown on the current City master thoroughfare plan.  
B. Buildings of greater than maximum height as allowed by Section 138-5.100 of this ordinance may be allowed, provided front, side, and rear yards are increased above the minimum required yards by one foot for each foot of building height that exceeds the maximum height allowed.  
C. Steeples, bell towers, and similar architectural features are exempt from the height requirements of this ordinance.  
D. A Landscape Buffer D shall be required in the rear and side yards.



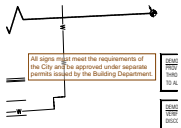
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 11/29/2023 9:22:53 AM  
**Status:**

Show transformer location and method of screening.



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 11/29/2023 9:23:35 AM  
**Status:**

All fixtures shall comply with Illuminating Engineering Society of North America standards.



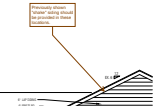
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 11/29/2023 9:24:32 AM  
**Status:**

All signs must meet the requirements of the City and be approved under separate permits issued by the Building Department.



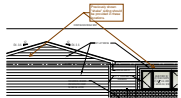
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 11/29/2023 9:25:52 AM  
**Status:**

LED light sources shall have a correlated color temperature that does not exceed 3,000K.



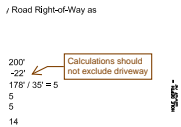
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 11/29/2023 9:28:51 AM  
**Status:**

Previously shown "shake" siding should be provided in these locations.



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 11/29/2023 9:29:15 AM  
**Status:**

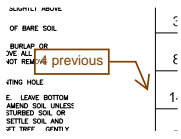
Previously shown "shake" siding should be provided in these locations.



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 11/29/2023 9:30:48 AM  
**Status:**

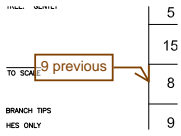
Calculations should not exclude driveway

200' -52'  
178' / 35' = 5  
5  
5  
14



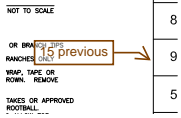
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**Author:** C.McLeod  
**Date:** 11/29/2023 9:34:54 AM  
**Status:**

4 previous



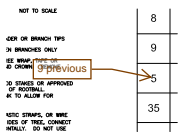
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**Author:** C.McLeod  
**Date:** 11/29/2023 9:35:20 AM  
**Status:**

9 previous



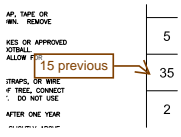
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**Author:** C.McLeod  
**Date:** 11/29/2023 9:35:36 AM  
**Status:**

15 previous



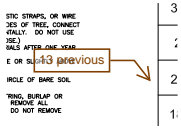
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**Author:** C.McLeod  
**Date:** 11/29/2023 9:35:49 AM  
**Status:**

9 previous



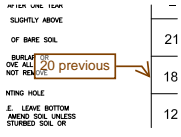
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**Author:** C.McLeod  
**Date:** 11/29/2023 9:36:10 AM  
**Status:**

15 previous



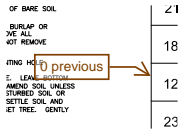
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**Author:** C.McLeod  
**Date:** 11/29/2023 9:36:34 AM  
**Status:**

13 previous



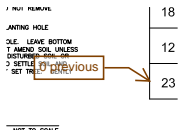
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**Author:** C.McLeod  
**Date:** 11/29/2023 9:36:45 AM  
**Status:**

20 previous



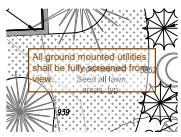
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 11/29/2023 9:37:01 AM  
**Status:**

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**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 11/29/2023 9:37:08 AM  
**Status:**

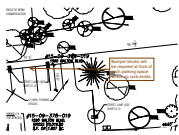
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**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 11/29/2023 9:38:53 AM  
**Status:**

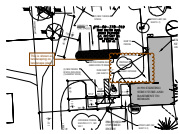
All ground mounted utilities shall be fully screened from view.





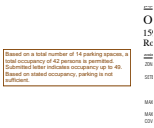
**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 11/29/2023 9:42:51 AM  
**Status:**

Bumper blocks will be required at front of each parking space where no curb exists.



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 11/29/2023 9:44:09 AM  
**Status:**

This is shown as landscaping on landscape plan?



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 11/29/2023 9:47:29 AM  
**Status:**

Based on a total number of 14 parking spaces, a total occupancy of 42 persons is permitted. Submitted letter indicates occupancy up to 49. Based on stated occupancy, parking is not sufficient.



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 12/11/2023 8:53:58 AM  
**Status:**

Assessing Yes



**Subject:** Planning Department  
**Author:** C.McLeod  
**Date:** 12/11/2023 8:57:12 AM  
**Status:**

Planning comments to be addressed. Maximum occupancy to be limited based on number of parking spaces provided.

### Traffic (1)



**Subject:** Traffic  
**Author:** Keith  
**Date:** 12/14/2023 7:08:01 AM  
**Status:**

### Traffic, Pathways, Sidewalks (1)



**Subject:** Traffic, Pathways, Sidewalks  
**Author:** Keith  
**Date:** 12/14/2023 7:59:59 AM  
**Status:**

Include updated(R-28-K dated 11.8.23) and all plan sheets. See attached within BS&A.