

**GENERAL NOTES**

- MCDONALD'S ROAD SIGN: SEE DETAILS AND NOTES, THIS SHEET, IF APPLICABLE.
- BASES, ANCHOR BOLTS, CONDUIT AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- ALL NEW LOT LIGHTING FIXTURES, BASES, POLES, CONDUIT AND WIRING INSTALLED BY GENERAL CONTRACTOR AND PAID FOR BY OWNER/OPERATOR. SEE SITE LIGHTING PLAN.
- N/A
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING AND IRRIGATION SYSTEMS ARE PAID FOR BY THE OWNER/OPERATOR. SEE LANDSCAPE PLANS, IF APPLICABLE.
- GENERAL CONTRACTOR SHALL CONTACT "MISS DIG" 1-800-482-7171 (72) HOURS PRIOR TO CONSTRUCTION TO ALLOW FOR ACCURATE LOCATION OF ALL UNDERGROUND UTILITIES.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR EXISTING AND PROPOSED UTILITIES, GRADING, PAVING SECTIONS, SOIL EROSION AND DETAILS.
- REFER TO SITE LIGHTING AND SITE DETAIL SHEETS FOR LIGHTING TYPE, HEIGHT, MOUNTING AND LIGHTING LEVELS.
- NEW TRASH CORRAL TO MATCH BUILDING MATERIALS. SEE SHEET C1g AND REFER TO "MCDONALD'S SITE DETAILS & SPECIFICATIONS GUIDE" FOR DETAILS.
- ALL RADI NOT CALLED OUT ON SHEET C1 SHALL BE A MINIMUM OF 2'-0"
- BARRIER FREE RAMP TO BE 6'-0" LONG WITH A MAXIMUM SLOPE OF 1:12 AND HAVE A NON-SLIP SURFACE - TYPICAL.
- ALL PAINTED LINES, DIRECTIONAL ARROWS AND SYMBOLS TO BE WHITE AND TO BE PROVIDED BY OPERATOR AND PLACED PER PLANS AND MCDONALD'S DRIVE-THRU BRANDING SPECIFICATIONS.
- "NO PARKING FIRE-LANE" SIGNS TO BE LOCATED PER FIRE MARSHAL'S DIRECTION.
- PROVIDE "DO NOT ENTER" SIGN PER MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES CODE #R5-1, WHEN SIGNS ARE REQUIRED, AS NOTED ON SITE PLAN.

**LAND/BUILDING/PARKING DATA AND NOTES**

LAND AREA: 44,100 S.F. OR 1.01 ACRES

ZONING CLASSIFICATION: B-2 GENERAL BUSINESS  
 ADJACENT ZONING: B-2 GENERAL BUSINESS  
 B-3 SHOPPING CENTER BUSINESS

GROSS BUILDING AREA: 5,117 S.F.  
 USABLE FLOOR AREA: ? S.F.

**BUILDING SETBACKS REQUIRED:**  
 FRONT YARD SETBACK: 50 FEET  
 SIDE YARD SETBACK: 25 FEET  
 REAR YARD SETBACK: 25 FEET

**BUILDING SETBACKS PROVIDED:**  
 FRONT YARD SETBACK: 65 FEET  
 SIDE YARD SETBACK (NORTH): 63 FEET, 8 INCHES  
 SIDE YARD SETBACK (SOUTH): 65 FEET  
 REAR YARD SETBACK: 108 FEET, 5 INCHES

**PARKING REQUIRED:**  
 1 SPACE / (2) PERSONS @ MAXIMUM OCCUPANCY  
 100 SEATS / 2 = 50 SPACES  
 TOTAL PARKING REQUIRED: 50 SPACES  
 NUMBER OF H.C. SPACES REQUIRED = 2 SPACES

**PARKING PROVIDED:**  
 STANDARD SPACES PROVIDED: 41 SPACES  
 NUMBER OF H.C. SPACES PROVIDED: 2 SPACES  
 TOTAL SPACES PROVIDED: 43 SPACES

**LOADING / UNLOADING AREA REQUIRED:**  
 (1) 10' x 40'  
 TOTAL LOADING / UNLOADING AREA REQUIRED: = 400 S.F.

**LOADING / UNLOADING AREA PROVIDED:**  
 (1) 10' x 40'  
 TOTAL LOADING / UNLOADING AREA PROVIDED: = 400 S.F.

**LANDSCAPE REQUIRED:**  
 TOTAL LANDSCAPE AREA REQUIRED: - S.F.

**LANDSCAPE PROVIDED:**  
 TOTAL LANDSCAPE AREA PROVIDED: - S.F.

**PARKING INFORMATION**

TOTAL SPACES	SPACES	10' X 18' @ 60'
44	2 B.F.	SPACES 8' X 18' @ 60'
	4	SPACES 10' X 18' @ 90'
	11	SPACES 8'-6" X 22' @ 0'
	6 EEMPL.	SPACES 9' X 20'-1" @ 0'
	2 EEMPL.	SPACES 10' X 18'-0" @ 90'

**ARCHITECT/PLANNER**

**29895 Greenfield Rd., Suite 107**  
 Southfield, Michigan 48076  
 (248) 557-1062  
 Fax: (248) 557-1231  
 e-mail: dma@dorchermartin.com  
 www.dorchermartin.com

**Dorchen/Martin Associates, Inc.**  
 Architects/Planners

SURVEYOR	CIVIL ENGINEER
DIFFIN Development Consultants 22660 TRILLIUM DRIVE NOVI, MI 48375 (248) 943-8244	HH ENGINEERING, LTD. 220 BAGLEY, STE. 500 DETROIT, MI 48226 (313) 963-6560 E-MAIL: hhimes@hhengld.com

**SITE LOCATION**

PROJECT STREET ADDRESS: 808 ROCHESTER ROAD

CITY: ROCHESTER HILLS STATE: MICHIGAN COUNTY: OAKLAND

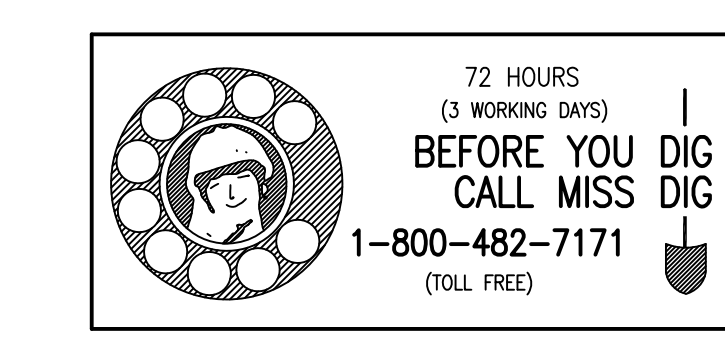
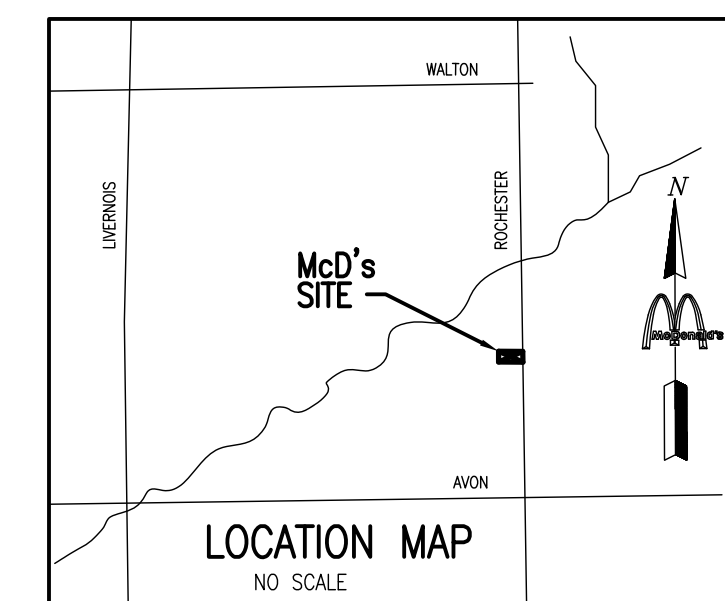
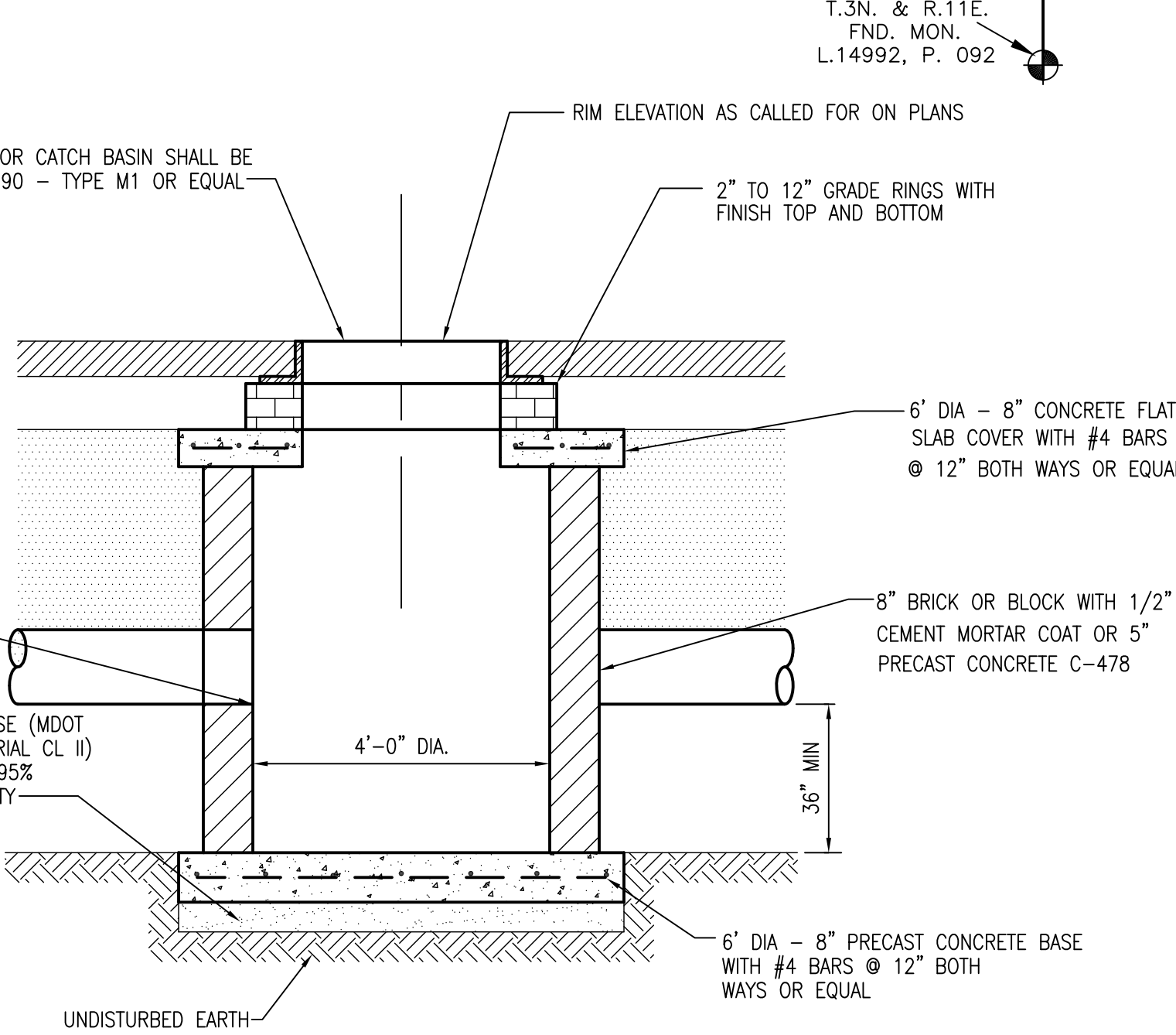
REGIONAL DWG. NO: DET-00 SITE LOCATION CODE NO: 021-0208

STATUS	DATE	BY
DATE DRAWN	02/03/11	ELERT
PLAN CHECKED	04/11/11	HIMS
AS-BUILT		

**UTILITY PLAN**

HH ENGINEERING LTD.  
 220 BAGLEY, SUITE 500  
 DETROIT, MI 48226  
 (313) 963-6560

72 HOURS (3 WORKING DAYS)  
**BEFORE YOU DIG CALL MISS DIG**  
 1-800-482-7171 (TOLL FREE)



**HH ENGINEERING LTD.**  
 220 BAGLEY, SUITE 500  
 DETROIT, MI 48226  
 (313) 963-6560

**UTILITY PLAN**

**McDonald's**

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE: MICHIGAN ADDRESS: 1021 KARL GREIMEL DR, BRIGHTON, MI 48116 PH: (734) 335-9000

**PLAN APPROVALS**

DATE	SIGNATURE (2 REQUIRED)	NAME

**CO-SIGN SIGNATURES**

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

**ISSUE REF**

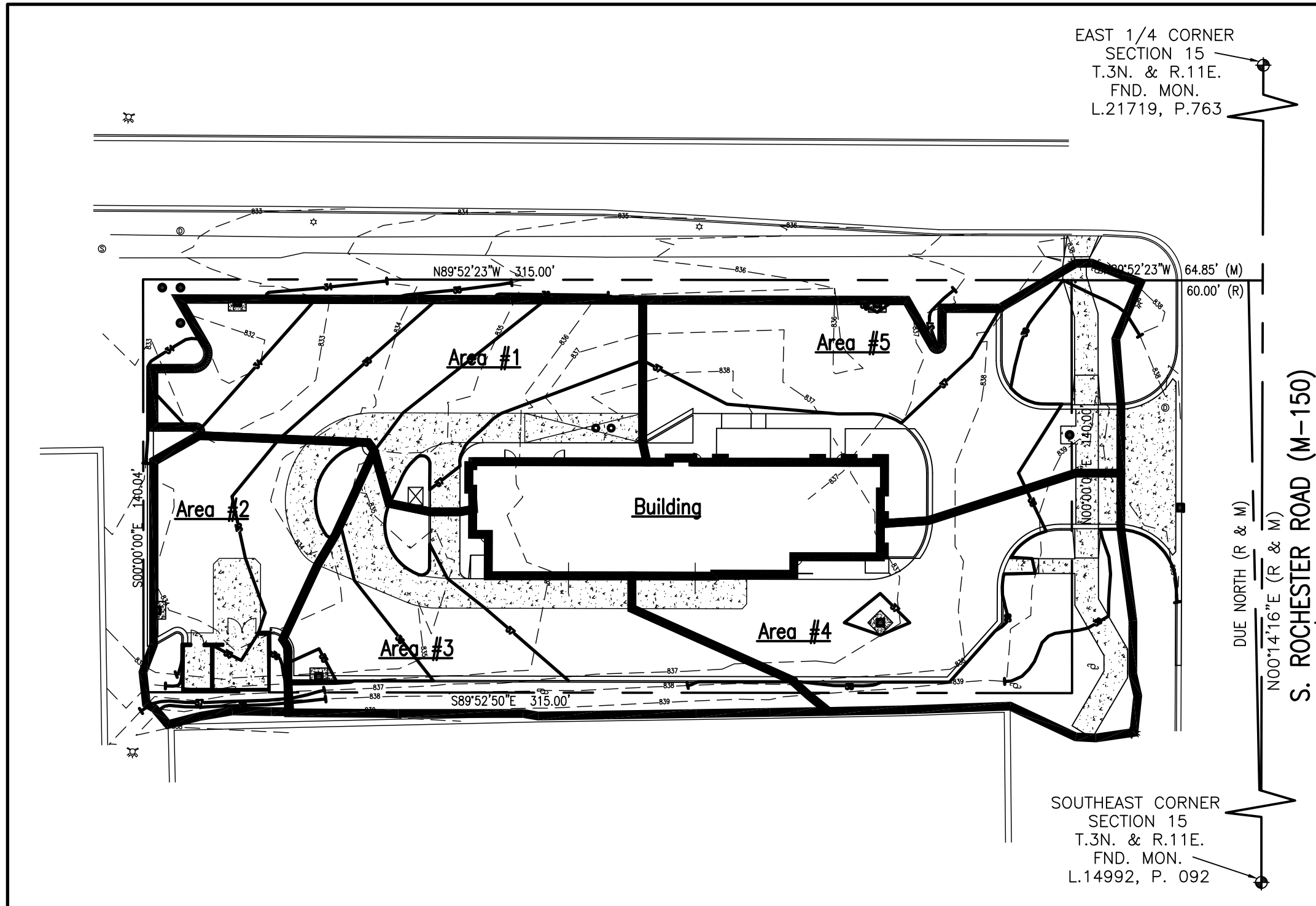
BY	DESCRIPTION	DATE
HIM	Final Site Plan Approval Submitted	03/08/11
HIM	Revisions per SPA review of 04/05/11	04/05/11

**FOR SITE PLAN APPROVAL ONLY**

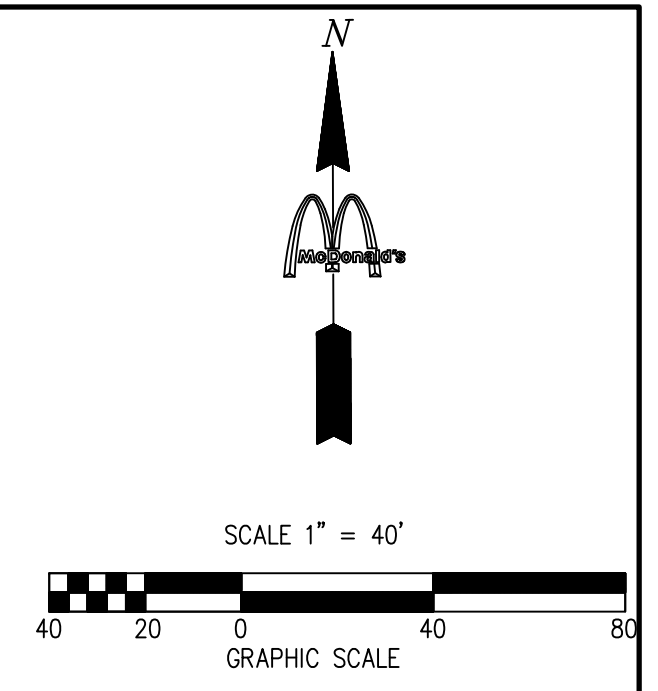
CITY FILE #73-175.2

C1104 04/05/11

D/MA #11002



BENCH MARKS	
BM #1	EL. 842.86 ARROW ON DOME OF HYDRANT (NEAR SOUTHEAST CORNER OF SITE)
BM #2	EL. 840.79 ARROW ON DOME OF HYDRANT (NEAR NORTHEAST CORNER OF SITE)
BM #3	EL. 833.62 ARROW ON DOME OF HYDRANT (NEAR NORTHWEST CORNER OF SITE)

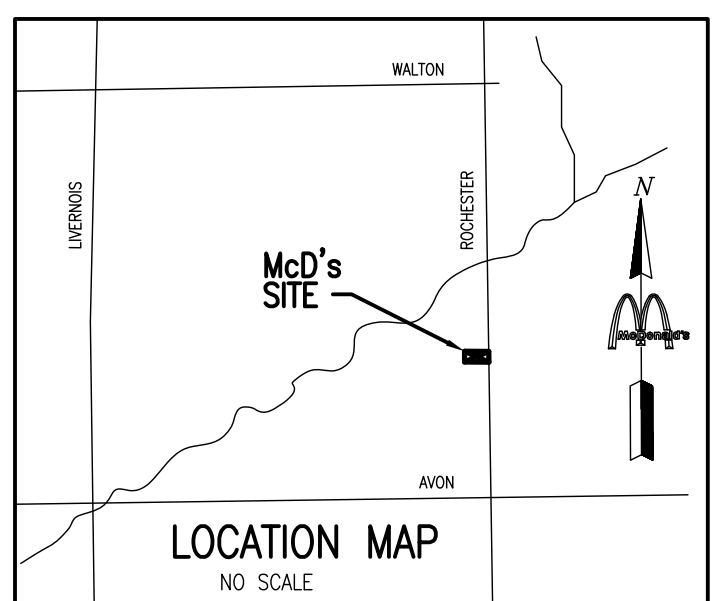


- ### GENERAL NOTES
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  - BASES, ANCHOR BOLTS, CONDUIT AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
  - ALL NEW LOT LIGHTING FIXTURES, BASES, POLES, CONDUIT AND WIRING INSTALLED BY GENERAL CONTRACTOR AND PAID FOR BY OWNER/OPERATOR. SEE SITE LIGHTING PLAN.
  - N/A
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### LAND/BUILDING/PARKING DATA AND NOTES

LAND AREA:	GROSS AREA:	44,100 S.F. OR 1.01 ACRES
ZONING CLASSIFICATION:	B-2 GENERAL BUSINESS	
ADJACENT ZONING:	B-2 GENERAL BUSINESS	
	B-3 SHOPPING CENTER BUSINESS	
GROSS BUILDING AREA:	5,117 S.F.	
USABLE FLOOR AREA:	? S.F.	
BUILDING SETBACKS REQUIRED:		
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SIDE YARD SETBACK:	25 FEET	
REAR YARD SETBACK:	50 FEET	
BUILDING SETBACKS PROVIDED:		
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PARKING PROVIDED:		
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LOADING / UNLOADING AREA REQUIRED:		
(1) @ 10' x 40'		
TOTAL LOADING / UNLOADING AREA REQUIRED:	= 400 S.F.	
LOADING / UNLOADING AREA PROVIDED:		
(1) @ 10' x 40'		
TOTAL LOADING / UNLOADING AREA PROVIDED:	= 400 S.F.	
LANDSCAPE REQUIRED:		
TOTAL LANDSCAPE AREA REQUIRED	- S.F.	
LANDSCAPE PROVIDED:		
TOTAL LANDSCAPE AREA PROVIDED	- S.F.	

Facility:	McDonald's Site		Date:	3/10/2011
808 Rochester Road Rochester Hills, Michigan				
<b>Weighted "C" Value Calculations</b>				
<b>Proposed Conditions</b>				
<b>Area I - to Prop CB #1</b>				<b>Acres</b>
Landscape Area	180.90	0.25		40.23
Building		0.95		
Parking	8499.03	0.95		8074.08
Totals	8659.93			8114.30
<b>Weighted "C" =</b>	<b>8114.30</b>	<b>=</b>	<b>0.94</b>	<b>0.20</b>
<b>Area II - to Prop CB #2</b>				
Landscape Area	1000.88	0.25		250.17
Building		0.95		
Parking	4261.52	0.95		4048.44
Totals	5262.20			4298.61
<b>Weighted "C" =</b>	<b>4298.61</b>	<b>=</b>	<b>0.82</b>	<b>0.12</b>
<b>Area III - to Prop CB #3</b>				
Landscape Area	2178.79	0.25		544.70
Building		0.95		
Parking	5859.02	0.95		5566.07
Totals	8037.81			6110.77
<b>Weighted "C" =</b>	<b>6110.77</b>	<b>=</b>	<b>0.76</b>	<b>0.18</b>
<b>Area IV - to Prop CB #4</b>				
Landscape Area	3238.66	0.25		809.67
Building		0.95		
Parking	5853.96	0.95		5561.26
Totals	9092.62			6370.93
<b>Weighted "C" =</b>	<b>6370.93</b>	<b>=</b>	<b>0.70</b>	<b>0.21</b>
<b>Area V - to Prop CB #5</b>				
Landscape Area	2465.98	0.25		616.50
Building		0.95		
Parking	7550.05	0.95		7172.55
Totals	10016.03			7789.04
<b>Weighted "C" =</b>	<b>7789.04</b>	<b>=</b>	<b>0.78</b>	<b>0.23</b>
<b>Roof - to Prop CB #5</b>				
Landscape Area		0.25		
Building	5116.72	0.95		4890.88
Parking		0.95		
Totals	5116.72			4890.88
<b>Weighted "C" =</b>	<b>4890.88</b>	<b>=</b>	<b>0.95</b>	<b>0.12</b>
<b>Total Site</b>				
Landscape Area	9045.01	0.25		2261.25
Building	5116.72	0.95		4890.88
Parking	32023.58	0.95		30422.40
Totals	46185.31			37544.54
<b>Total Weighted "C" Value =</b>	<b>37544.54</b>	<b>=</b>	<b>0.81</b>	<b>1.06</b>



72 HOURS  
(3 WORKING DAYS)  
**BEFORE YOU DIG  
CALL MISS DIG**  
1-800-482-7171  
(TOLL FREE)

HH ENGINEERING LTD.  
220 BAGLEY, SUITE 500  
DETROIT, MI. 48226  
(313) 963-6560

**DRAINAGE AREAS**

### STORM SEWER DESIGN CALCULATIONS - 10 Year Storm

Facility Name: McDonald's Site  
808 Rochester Road  
Rochester Hills, Michigan

Concentration Point Description	Area No.	Sub Area Sq Feet	Acres	Sum Acres	T <sub>1</sub> (min)	T <sub>c</sub> (min)	Freq. (yrs)	I <sup>a</sup> (in/hr)	C <sup>1</sup>	C <sup>2</sup>	Q = Discharge CFS	L (ft)	Slope (ft/ft)	V <sup>a</sup> (ft/sec)	V <sup>b</sup> (ft/sec)	Pipe Size
Bldg to CB #5	roof	5117	0.12	0.12	0.24	15.00	10	4.35	0.95	0.49	0.49	54	0.010	3.70	4.13	6
Tc at CB #5		0.00	0.12	0.12		15.24	10	4.32		0.00	0.49					
CB #5 to CB #1	5	10016	0.23	0.35	1.05	15.24	10	4.32	0.78	0.77	1.26	218	0.010	3.47	4.54	12
Tc at CB #1			0.35			16.29	10	4.19			1.26					
CB #1 to ST MH #3	1	8660	0.20	0.55	0.09	16.29	10	4.19	0.94	0.78	2.04	21	0.010	4.01	4.54	12
Tc at MH #3			0.00	0.55		16.38	10		0.00		2.04					
ST MH #3 to ST MH #2	0	0	0.00	0.55	0.05	16.38	10	4.18	0.00	0.00	2.04	12	0.010	4.01	4.54	12
Tc at MH #2			0.00	0.55		16.43	10		0.00	0.00	2.04					
CB #4 to CB #3	4	9093	0.21	0.21	1.10	15.00	10	4.35	0.70	0.64	0.64	192	0.010	2.92	4.54	12
Tc at CB #3			0.21			16.10	10	4.22			0.64					
CB #3 to CB #2	3	8038	0.18	0.39	0.29	16.10	10	4.22	0.76	0.59	1.23	60	0.010	3.44	4.54	12
Tc at CB #2			0.36			16.39	10	4.18			1.23					
CB #2 to ST MH #3	2	5262	0.12	0.51	0.44	16.39	10	4.18	0.82	0.41	1.64	98	0.010	3.75	4.54	12
Tc at MH #3			0.00	0.51		16.83	10	4.13		0.00	1.64					
ST MH #3 to MH #2	0	0	0.00	1.06	0.04	16.83	10	4.13	0.00	0.00	3.68	12	0.015	5.54	5.56	12
Tc at MH #2			0.00	1.06		16.86	10	4.13		0.00	3.68					
ST MH #2 to Ex. MH #5	0	0	0.00	1.06	0.05	16.43	10	4.18	0.00	0.00	3.68	20	0.030	7.05	7.86	12
Tc at Ex. MH #5			0.00	1.06		16.48	10	4.17		0.00	3.68					

### PARKING INFORMATION

TOTAL SPACES	19	SPACES 10' X 18' @ 60'
	2 B.F.	SPACES 8' X 18' @ 60'
	4	SPACES 10' X 18' @ 90'
	11	SPACES 8'-6" X 22' @ 0'
	6 EEMPL.	SPACES 9' X 20'-1" @ 60'
	2 EEMPL.	SPACES 10' X 18'-0" @ 90'

### ARCHITECT/PLANNER

	29895 Greenfield Rd., Suite 107 Southfield, Michigan 48076 (248) 557-1062 Fax: (248) 557-1231 e-mail: dma@dorchenmartin.com www.dorchenmartin.com
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<b>SURVEYOR</b>	<b>CIVIL ENGINEER</b>
DIFFIN Development Consultants 22660 TRILLIUM DRIVE NOVI, MI 48375 (248) 943-8244	HH ENGINEERING, LTD. 220 BAGLEY, STE. 500 DETROIT, MI 48226 (313) 963-6560 E-MAIL: hhimes@hhengild.com

### SITE LOCATION

PROJECT STREET ADDRESS		
808 ROCHESTER ROAD		
CITY	STATE	COUNTY
ROCHESTER HILLS	MICHIGAN	OAKLAND
REGIONAL DWG. NO.	SITE LOCATION CODE NO.	
DET-00	021-0208	

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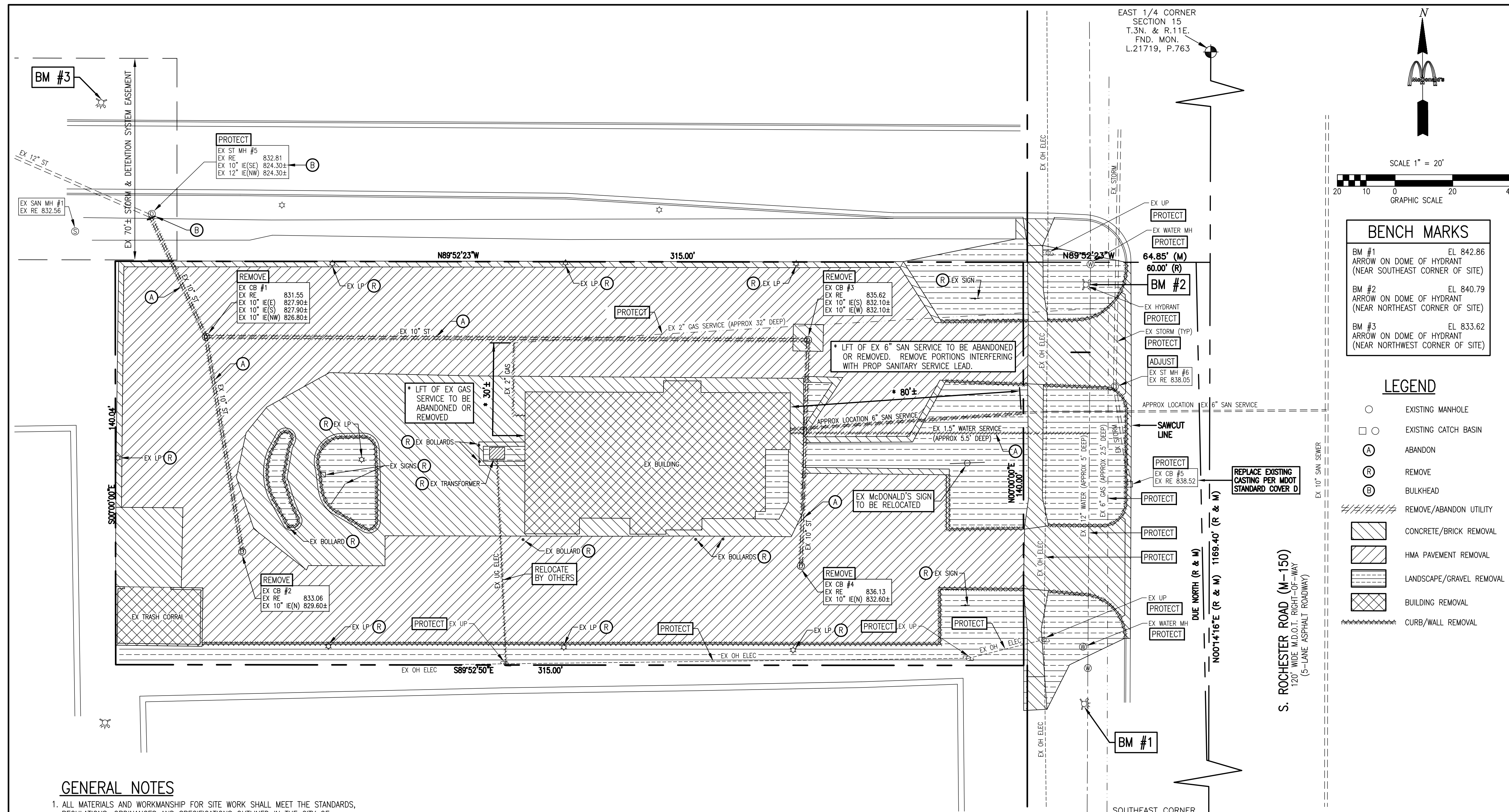
OFFICE: MICHIGAN ADDRESS: 1021 KARL GREIMEL DR, BRIGHTON, MI 48116 PH: (734) 335-9000

CITY FILE #73-175.2

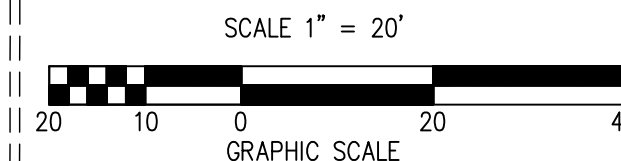
PLAN APPROVALS		DATE
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.	NAME	
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURES		DATE
CONTRACTOR		
OWNER		

STATUS	DATE	BY
DATE DRAWN	02/03/11	ELERT
PLAN CHECKED	04/11/11	ELERT
AS-BUILT		

C3a



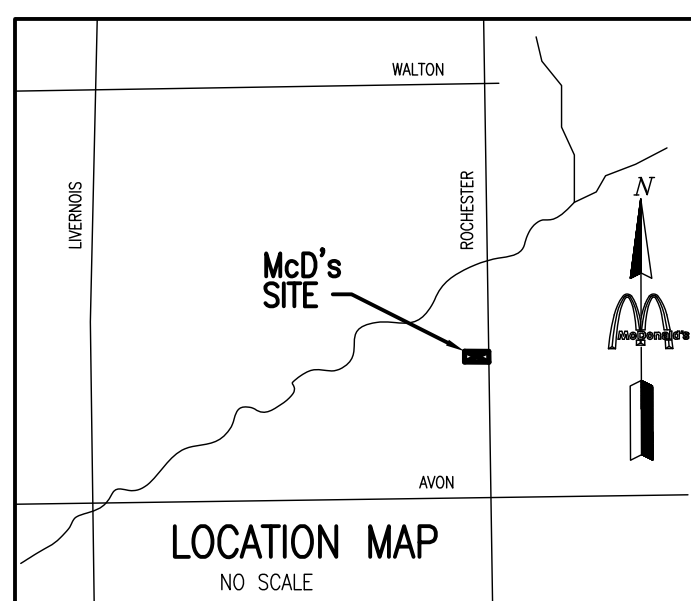
EAST 1/4 CORNER  
SECTION 15  
T.3N. & R.11E.  
FND. MON.  
L.21719, P.763



BENCH MARKS	
BM #1	EL 842.86 ARROW ON DOME OF HYDRANT (NEAR SOUTHEAST CORNER OF SITE)
BM #2	EL 840.79 ARROW ON DOME OF HYDRANT (NEAR NORTHEAST CORNER OF SITE)
BM #3	EL 833.62 ARROW ON DOME OF HYDRANT (NEAR NORTHWEST CORNER OF SITE)

LEGEND	
○	EXISTING MANHOLE
○	EXISTING CATCH BASIN
Ⓐ	ABANDON
Ⓑ	REMOVE
Ⓒ	BULKHEAD
Ⓓ	REMOVE/ABANDON UTILITY
▨	CONCRETE/BRICK REMOVAL
▩	HMA PAVEMENT REMOVAL
▧	LANDSCAPE/GRAVEL REMOVAL
▦	BUILDING REMOVAL
▤	CURB/WALL REMOVAL

S. ROCHESTER ROAD (M-150)  
720' WIDE M.D.O.T. RIGHT-OF-WAY  
(5-LANE ASPHALT ROADWAY)



**HH ENGINEERING LTD.**  
220 BAGLEY, SUITE 500  
DETROIT, MI. 48226  
(313) 963-6560

**DEMOLITION PLAN**

**GENERAL NOTES**

- ALL MATERIALS AND WORKMANSHIP FOR SITE WORK SHALL MEET THE STANDARDS, REGULATIONS, ORDINANCES AND SPECIFICATIONS OUTLINED IN THE CITY OF ROCHESTER HILLS ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS.
- SEE THE LANDSCAPE PLAN FOR PERMANENT SEEDING. IF A DISTURBED AREA CANNOT BE PERMANENTLY STABILIZED IMMEDIATELY AFTER AN EARTH CHANGE OR IF ACTIVITY CEASES FOR MORE THAN 30 DAYS, TEMPORARY SEEDING SHALL BE IMPLEMENTED WITHIN 5 DAYS.
- REFER TO THIS SHEET FOR BUILDING REMOVAL AND UTILITY REMOVALS/ABANDONMENTS AND ON-SITE DEMOLITION.
- REFER TO SHEET C2b FOR SOIL EROSION CONTROL MEASURES.
- FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF 72 HOURS PRIOR TO EXCAVATION IN THE VICINITY OF UTILITY LINES. ALL "MISS DIG" PARTICIPATING MEMBERS WILL THIS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
- CONSTRUCTION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES OR OF ANY OTHER PERSONS.
- TWO WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION WITHIN THE ROCHESTER ROAD R.O.W.
- ALL EXISTING UTILITIES SHALL BE DISCONNECTED PER SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. EXISTING STRUCTURES INTERFERING WITH PROPOSED CONSTRUCTION SHALL BE REMOVED. EXISTING STRUCTURES DESIGNATED FOR REMOVAL ON THE DEMOLITION PLAN SHALL BE REMOVED ENTIRELY. EXISTING STRUCTURES TO BE ABANDONED SHALL BE REMOVED TO 5 FEET BELOW FINAL GRADE. ALL INLET AND OUTLET PIPES SHALL BE BULKHEADED AND THE REMAINDER OF THE STRUCTURE FILLED WITH FLOWABLE FILL OR GROUT. UTILITY LINES AND PIPES TO BE ABANDONED WHICH ARE WITHIN 3 FEET OF THE FINAL GRADE SHALL BE REMOVED ENTIRELY. ALL OTHER UTILITY LINES AND PIPES TO BE ABANDONED SHALL BE FILLED WITH FLOWABLE FILL OR GROUT. ALL ABANDONED INLET AND OUTLET PIPES SHALL BE BULKHEADED. ALL EXCAVATIONS RESULTING FROM UTILITY REMOVALS OR ABANDONMENTS SHALL BE BACKFILLED WITH MDOT CLASS II GRANULAR MATERIAL COMPACTED TO 95% MAXIMUM UNIT DENSITY.
- ALL BACKFILL UNDER OR WITHIN 3 FEET OF PROPOSED OR EXISTING PAVEMENT, SIDEWALK OR CURB SHALL BE SAND, MEETING THE REQUIREMENTS OF MDOT CLASS II GRANULAR MATERIAL COMPACTED TO 95% OF MAXIMUM UNIT DENSITY.

**GENERAL NOTES**

- MCDONALD'S ROAD SIGN: SEE DETAILS AND NOTES, THIS SHEET, IF APPLICABLE.
- BASES, ANCHOR BOLTS, CONDUIT AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- ALL NEW LOT LIGHTING FIXTURES, BASES, POLES, CONDUIT AND WIRING INSTALLED BY GENERAL CONTRACTOR AND PAID FOR BY OWNER/OPERATOR. SEE SITE LIGHTING PLAN.
- N/A
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING AND IRRIGATION SYSTEMS ARE PAID FOR BY THE OWNER/OPERATOR. SEE LANDSCAPE PLANS, IF APPLICABLE.
- GENERAL CONTRACTOR SHALL CONTACT "MISS DIG" 1-800-482-7171 (72) HOURS PRIOR TO CONSTRUCTION TO ALLOW FOR ACCURATE LOCATION OF ALL UNDERGROUND UTILITIES.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR EXISTING AND PROPOSED UTILITIES, GRADING, PAVING SECTIONS, SOIL EROSION AND DETAILS.
- REFER TO SITE LIGHTING AND SITE DETAIL SHEETS FOR LIGHTING TYPE, HEIGHT, MOUNTING AND LIGHTING LEVELS.
- NEW TRASH CORRAL TO MATCH BUILDING MATERIALS. SEE SHEET C1g AND REFER TO "MCDONALD'S SITE DETAILS & SPECIFICATIONS GUIDE" FOR DETAILS.
- ALL RADI NOT CALLED OUT ON SHEET C1 SHALL BE A MINIMUM OF 2'-0"
- BARRIER FREE RAMP TO BE 6'-0" LONG WITH A MAXIMUM SLOPE OF 1:12 AND HAVE A NON-SLIP SURFACE - TYPICAL.
- ALL PAINTED LINES, DIRECTIONAL ARROWS AND SYMBOLS TO BE WHITE AND TO BE PROVIDED BY OPERATOR AND PLACED PER PLANS AND MCDONALD'S DRIVE-THRU BRANDING SPECIFICATIONS.
- "NO PARKING FIRE-LANE" SIGNS TO BE LOCATED PER FIRE MARSHAL'S DIRECTION.
- PROVIDE "DO NOT ENTER" SIGN PER MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES CODE #95-1, WHEN SIGNS ARE REQUIRED, AS NOTED ON SITE PLAN.

**LAND/BUILDING/PARKING DATA AND NOTES**

LAND AREA:	44,100 S.F. OR 1.01 ACRES
ZONING CLASSIFICATION:	B-2 GENERAL BUSINESS
ADJACENT ZONING:	B-2 GENERAL BUSINESS B-3 SHOPPING CENTER BUSINESS
GROSS BUILDING AREA:	5,117 S.F.
USABLE FLOOR AREA:	? S.F.
BUILDING SETBACKS REQUIRED:	
FRONT YARD SETBACK:	50 FEET
SIDE YARD SETBACK:	25 FEET
REAR YARD SETBACK:	25 FEET
BUILDING SETBACKS PROVIDED:	
FRONT YARD SETBACK:	65 FEET
SIDE YARD SETBACK (NORTH):	63 FEET, 8 INCHES
SIDE YARD SETBACK (SOUTH):	65 FEET
REAR YARD SETBACK:	108 FEET, 5 INCHES

PARKING REQUIRED:	1 SPACE / (2) PERSONS @ MAXIMUM OCCUPANCY
100 SEATS / 2 = 50 SPACES	
TOTAL PARKING REQUIRED	50 SPACES
NUMBER OF H.C. SPACES REQUIRED =	2 SPACES
PARKING PROVIDED:	
STANDARD SPACES PROVIDED	41 SPACES
NUMBER OF H.C. SPACES PROVIDED	2 SPACES
TOTAL SPACES PROVIDED	43 SPACES

LOADING / UNLOADING AREA REQUIRED:	
(1) @ 10' x 40'	
TOTAL LOADING / UNLOADING AREA REQUIRED:	= 400 S.F.
LOADING / UNLOADING AREA PROVIDED:	
(1) @ 10' x 40'	
TOTAL LOADING / UNLOADING AREA PROVIDED:	= 400 S.F.

LANDSCAPE REQUIRED:	
TOTAL LANDSCAPE AREA REQUIRED	- S.F.
LANDSCAPE PROVIDED:	
TOTAL LANDSCAPE AREA PROVIDED	- S.F.

**PARKING INFORMATION**

TOTAL SPACES	44
19 SPACES	10' X 18' @ 60'
2 B.F. SPACES	8' X 18' @ 60'
4 SPACES	10' X 18' @ 90'
11 SPACES	8'-6" X 22' @ 0'
6 EMPL. SPACES	9' X 20'-1" @ 60'
2 EMPL. SPACES	10' X 18'-0" @ 90'

**ARCHITECT/PLANNER**

<b>Dorchen/Martin Associates, Inc.</b> Architects/Planners	29895 Greenfield Rd., Suite 107 Southfield, Michigan 48076 (248) 557-1062 Fax: (248) 557-1231 e-mail: dma@dorchenmartin.com www.dorchenmartin.com
<b>SURVEYOR</b>	<b>CIVIL ENGINEER</b>
DIFFIN Development Consultants 22660 TRILLIUM DRIVE NOVI, MI 48375 (248) 943-8244 JOB NO.	HH ENGINEERING, LTD. 220 BAGLEY, STE. 500 DETROIT, MI 48226 (313) 963-6560 E-MAIL: hhimes@hhengltd.com

**SITE LOCATION**

PROJECT STREET ADDRESS	808 ROCHESTER ROAD	
CITY	STATE	COUNTY
ROCHESTER HILLS	MICHIGAN	OAKLAND
REGIONAL DWG. NO	SITE LOCATION CODE NO.	
DET-00	021-0208	

ISSUE REF	BY	DESCRIPTION	DATE
	HMH	Final Site Plan Approval Submitted	03/08/11
	HMH	Revisions per SPA review of 04/05/11	04/05/11

REV	1	03/08/11	
REV	2	04/05/11	

**McDonald's**

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OFFICE: MICHIGAN  
ADDRESS: 1021 KARL GREIMEL DR, BRIGHTON, MI 48116  
PHONE: (734) 335-9000

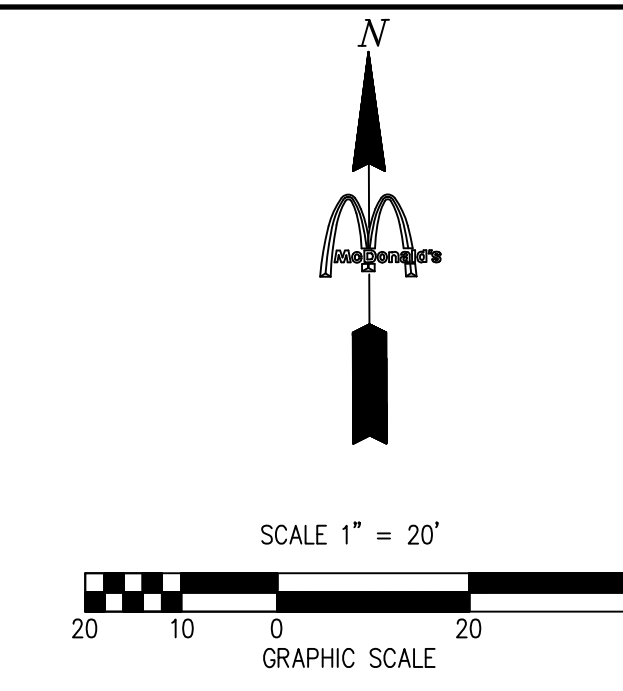
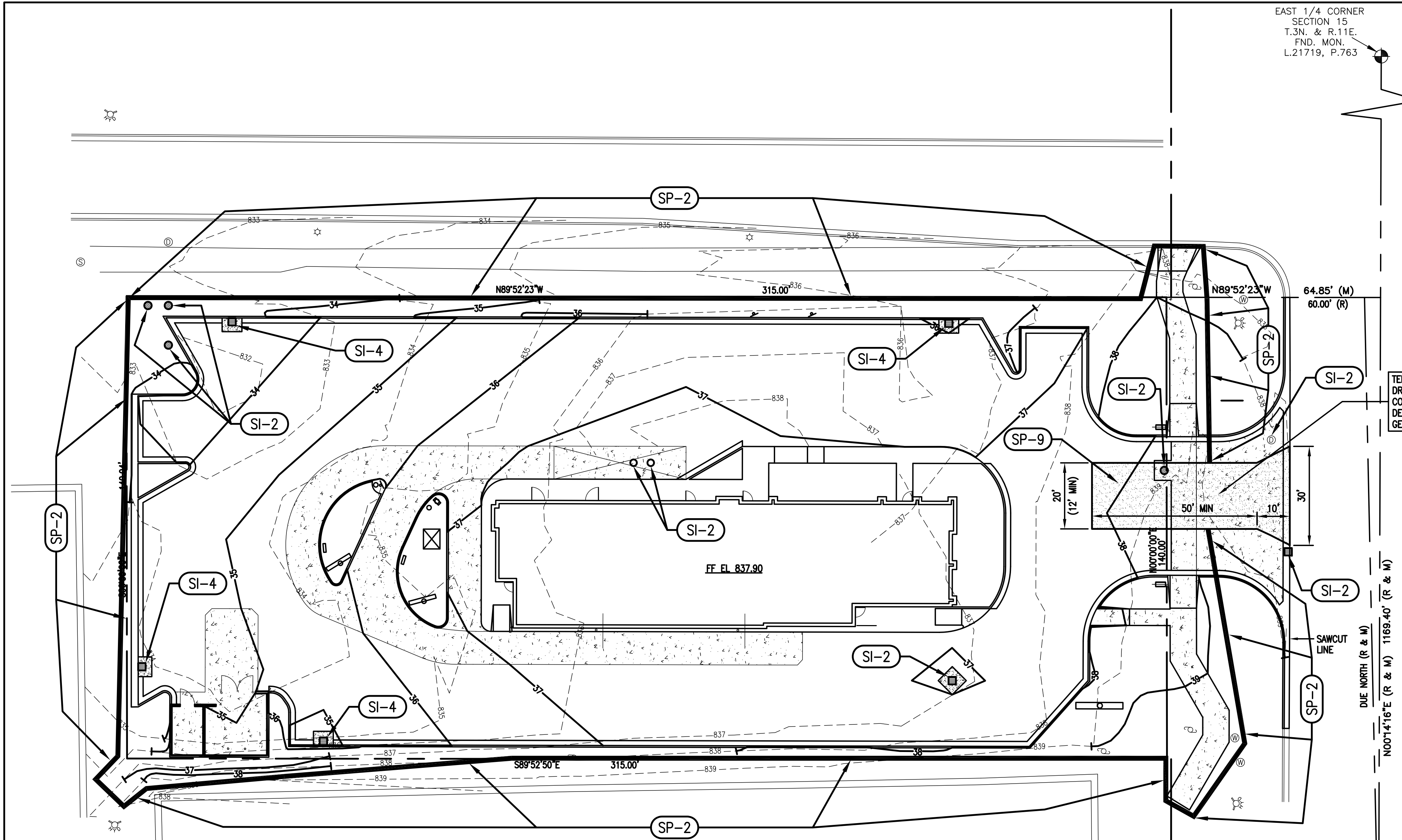
04/11/11 FOR SITE PLAN APPROVAL ONLY

PLAN APPROVALS		DATE
SIGNATURE (2 REQUIRED)	NAME	
REGIONAL MGR.	CONST. MGR.	
OPERATIONS DEPT.	REAL ESTATE DEPT.	
CO-SIGN SIGNATURES		
CONTRACTOR	OWNER	

STATUS	DATE	BY
DATE DRAWN	02/03/11	ELERT
PLAN CHECKED	04/11/11	HIMS
AS-BUILT		

C2

C1104 04/05/11



**BENCH MARKS**

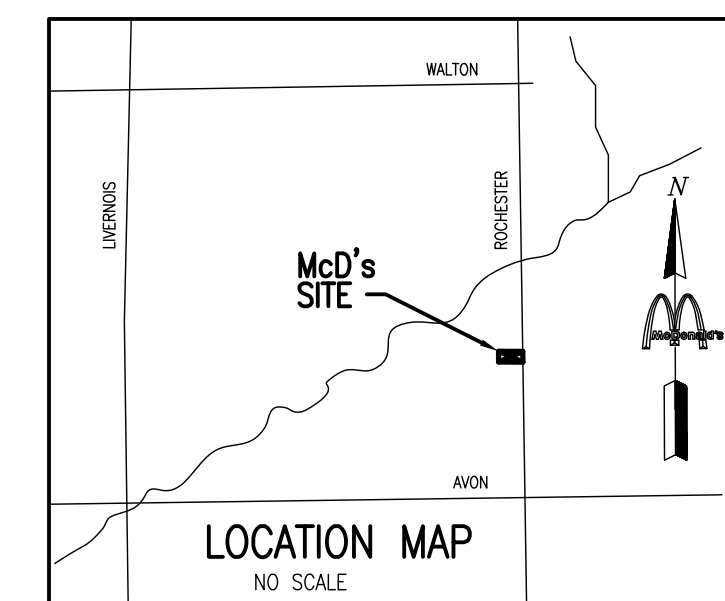
BM #1	EL 842.86	ARROW ON DOME OF HYDRANT (NEAR SOUTHEAST CORNER OF SITE)
BM #2	EL 840.79	ARROW ON DOME OF HYDRANT (NEAR NORTHEAST CORNER OF SITE)
BM #3	EL 833.62	ARROW ON DOME OF HYDRANT (NEAR NORTHWEST CORNER OF SITE)

- UTILITY STRUCTURE LEGEND**
- EXISTING MANHOLE
  - ○ EXISTING CATCH BASIN
  - PROPOSED MANHOLE
  - PROPOSED CATCH BASIN

- SEDIMENTATION AND EROSION CONTROL LEGEND**
- SI-2 \* LOW POINT INLET FILTER
  - SI-4 \* CURB AND GUTTER INLET FILTER
  - SP-2 \* SILT FENCE
  - SP-9 \* TEMPORARY STONE ACCESS DRIVE
- LIMITS OF GRADING
- \* SEE OAKLAND COUNTY SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

TEMPORARY STONE ACCESS DRIVEWAY 1" - 3" CRUSHED CONCRETE OR LIMESTONE 6" DEEP (MIN) ON WOVEN GEOTEXTILE FABRIC.

S. ROCHESTER ROAD (M-150)  
20' WIDE M.D.O.T. RIGHT-OF-WAY  
(5-LANE ASPHALT ROADWAY)

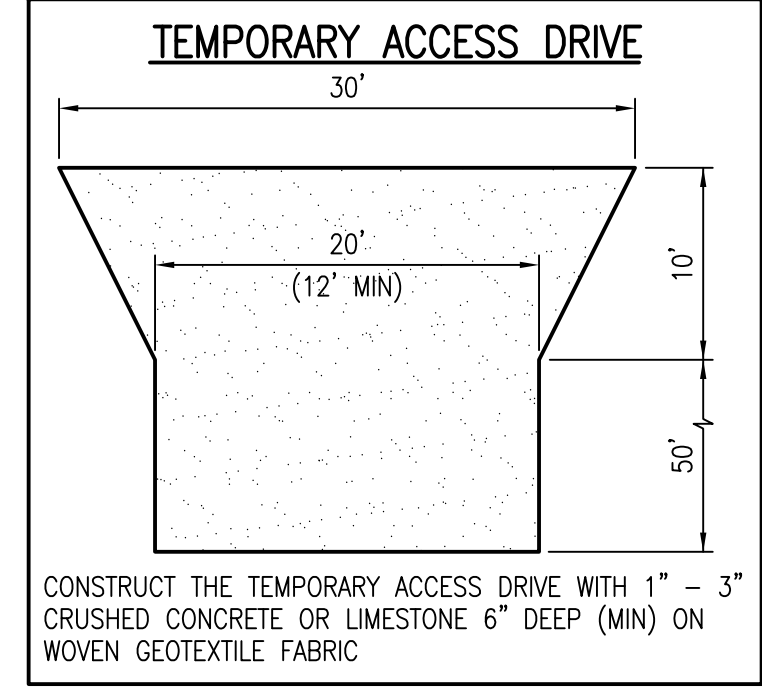


72 HOURS (3 WORKING DAYS)  
**BEFORE YOU DIG CALL MISS DIG**  
1-800-482-7171 (TOLL FREE)

**HH ENGINEERING LTD.**  
220 BAGLEY, SUITE 500  
DETROIT, MI. 48226  
(313) 963-6560

**EROSION CONTROL PLAN**

- GENERAL NOTES**
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CURRENT CITY OF ROCHESTER HILLS STANDARDS, REGULATIONS, ORDINANCES AND SPECIFICATIONS.
  - SEE THE LANDSCAPE PLAN FOR PERMANENT SEEDING. IF A DISTURBED AREA CANNOT BE PERMANENTLY STABILIZED IMMEDIATELY AFTER AN EARTH CHANGE OR IF ACTIVITY CEASES FOR MORE THAN 30 DAYS, TEMPORARY SEEDING SHALL BE IMPLEMENTED WITHIN 5 DAYS.
  - REFER TO SHEET C2 FOR BUILDING REMOVAL AND UTILITY REMOVALS/ABANDONMENTS AND ON-SITE DEMOLITION.
  - SEE THIS SHEET FOR EROSION CONTROL MEASURES.
  - FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO EXCAVATION IN THE VICINITY OF UTILITY LINES. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.
  - CONSTRUCTION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES OR OF ANY OTHER PERSONS.
  - TWO WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION WITHIN THE ROCHESTER ROAD R.O.W. ALL CONSTRUCTION SIGNING AND MAINTENANCE OF TRAFFIC SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
  - OWNERS/CONTRACTORS ARE RESPONSIBLE FOR AVOIDING ANY CONFLICT BETWEEN THE PROPOSED CONSTRUCTION AND THE EXISTING UTILITIES.
  - SOIL TYPE IS FROM THE SOIL SURVEY OF OAKLAND COUNTY, PUBLISHED BY THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE. SOIL TYPES ARE SYMBOL: 59, NAME: URBAN LAND AND 10B, NAME: MARLETTE SANDY LOAM.
  - IF ANY DEWATERING IS ENCOUNTERED DURING CONSTRUCTION, A DEWATERING PLAN WILL BE DEVELOPED AND SUBMITTED TO THE CITY OF TROY ENGINEERING DEPARTMENT FOR REVIEW.
  - IT IS THE OWNERS/CONTRACTORS RESPONSIBILITY TO GRADE AND STABILIZE DISTURBANCES DUE TO THE INSTALLATION OF UTILITIES.
  - STORM MANHOLES SHALL BE INSPECTED WEEKLY FOR SEDIMENT ACCUMULATION UNTIL SITE IS STABILIZED AND WILL BE CLEANED AS REQUIRED.
  - STREET SWEEPING AND DUST CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - DIVERSION BERMS OR TERRACING SHALL BE IMPLEMENTED WHERE NECESSARY.
  - THE INSTALLATION OF SILT FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY OF ROCHESTER HILLS PRE-CONSTRUCTION MEETING. WHEN NATURAL FEATURES EXIST ON THE SITE, INSPECTION OF STAKING MAY BE REQUIRED PRIOR TO INSTALLATION OF THE FENCING.



**SOIL EROSION AND SEDIMENTATION CONTROL NOTES**

- NO GRUBBING, STRIPPING, SITE BALANCING, EXCAVATION OR OTHER EARTH MOVEMENT SHALL BEGIN UNTIL AN APPROVED SOIL EROSION PERMIT HAS BEEN OBTAINED FROM THE CITY BUILDING OFFICIAL, A PRE-CONSTRUCTION MEETING HAS BEEN HELD, AND ALL TEMPORARY SOIL EROSION CONTROL MEASURES ARE IN PLACE.
- ALL SOIL EROSION CONTROL MEASURES SHALL COMPLY WITH THE PAR 91, SOIL EROSION AND SEDIMENTATION CONTROL OF 1994, PA 451.
- ALL SOIL, MISCELLANEOUS DEBRIS, AND OTHER MATERIAL ERODED FROM THE SITE, SPILLED, DUMPED, OR OTHERWISE DEPOSITED ON PUBLIC STREETS DURING TRANSIT TO AND FROM THE CONSTRUCTION SITE SHALL BE PROMPTLY REMOVED.
- DISCHARGE WATERS FROM PUMPING OPERATIONS MUST BE PUMPED TO SILT TRAPS OR HEAVILY GRASSED AREAS.
- THE CONTRACTOR SHALL ADHERE TO THE FOLLOWING GENERAL CONSTRUCTION PRINCIPALS:
  - WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED.
  - WHERE INADEQUATE VEGETATION EXISTS, TEMPORARY OR PERMANENT VEGETATION SHALL BE ESTABLISHED.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE PERMANENT CONTROL MEASURES ARE FULLY FUNCTIONAL UNLESS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE. CARE SHALL BE TAKEN DURING REMOVAL TO MINIMIZE SILTATION IN NEARBY DRAINAGE COURSES.
- ALL TEMPORARY MEASURES SHALL BE LEFT IN PLACE UNTIL THE AREA IS STABILIZED WITH PERMANENT MEASURES AND/OR ORDERED TO BE REMOVED BY THE ENGINEER.

- SEQUENCE OF CONSTRUCTION SHALL BE AS FOLLOWS:**
- INSTALL SILT FENCING.
  - INSTALL TEMPORARY ACCESS DRIVE.
  - REMOVE EX PAVEMENT AND CURB AND CLEAR SITE.
  - MASS GRADE SITE AS REQUIRED.
  - INSTALL UNDERGROUND UTILITIES.
  - PLACE INLET FILTERS.
  - INSTALL BUILDING FOUNDATION.
  - INSTALL PAVEMENT COMPLETE, SIDEWALK, CURB & GUTTER ETC.
  - CONSTRUCT BUILDING.
  - INSTALL LANDSCAPING AND PERMANENT EROSION CONTROL MEASURES.
  - REMOVE TEMPORARY EROSION CONTROL MEASURES.

SOUTHEAST CORNER SECTION 15 T.3N. & R.11E. FND. MON. L.14992, P. 092

EAST 1/4 CORNER SECTION 15 T.3N. & R.11E. FND. MON. L.21719, P.763

**GENERAL NOTES**

- MCDONALD'S ROAD SIGN: SEE DETAILS AND NOTES, THIS SHEET, IF APPLICABLE.
- BASES, ANCHOR BOLTS, CONDUIT AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- ALL NEW LOT LIGHTING FIXTURES, BASES, POLES, CONDUIT AND WIRING INSTALLED BY GENERAL CONTRACTOR AND PAID FOR BY OWNER/OPERATOR. SEE SITE LIGHTING PLAN.
- N/A
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING AND IRRIGATION SYSTEMS ARE PAID FOR BY THE OWNER/OPERATOR. SEE LANDSCAPE PLANS, IF APPLICABLE.
- GENERAL CONTRACTOR SHALL CONTACT "MISS DIG" 1-800-482-7171 (72) HOURS PRIOR TO CONSTRUCTION TO ALLOW FOR ACCURATE LOCATION OF ALL UNDERGROUND UTILITIES.
- REFER TO CIVIL ENGINEERING DRAWINGS FOR EXISTING AND PROPOSED UTILITIES, GRADING, PAVING SECTIONS, SOIL EROSION AND DETAILS.
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- NEW TRASH CORRAL TO MATCH BUILDING MATERIALS. SEE SHEET C1g AND REFER TO "MCDONALD'S SITE DETAILS & SPECIFICATIONS GUIDE" FOR DETAILS.
- ALL RADI NOT CALLED OUT ON SHEET C1 SHALL BE A MINIMUM OF 2'-0"
- BARRIER FREE RAMP TO BE 6'-0" LONG WITH A MAXIMUM SLOPE OF 1:12 AND HAVE A NON-SLIP SURFACE - TYPICAL.
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- PROVIDE "DO NOT ENTER" SIGN PER MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES CODE #R5-1, WHEN SIGNS ARE REQUIRED, AS NOTED ON SITE PLAN.

**LAND/BUILDING/PARKING DATA AND NOTES**

LAND AREA:	44,100 S.F. OR 1.01 ACRES
ZONING CLASSIFICATION:	B-2 GENERAL BUSINESS
ADJACENT ZONING:	B-2 GENERAL BUSINESS B-3 SHOPPING CENTER BUSINESS
GROSS BUILDING AREA:	5,117 S.F.
USABLE FLOOR AREA:	? S.F.
BUILDING SETBACKS REQUIRED:	
FRONT YARD SETBACK:	50 FEET
SIDE YARD SETBACK:	25 FEET
REAR YARD SETBACK:	25 FEET
BUILDING SETBACKS PROVIDED:	
FRONT YARD SETBACK:	65 FEET
SIDE YARD SETBACK (NORTH):	63 FEET, 8 INCHES
SIDE YARD SETBACK (SOUTH):	65 FEET
REAR YARD SETBACK:	108 FEET, 5 INCHES

**PARKING INFORMATION**

1 SPACE / (2) PERSONS @ MAXIMUM OCCUPANCY	
100 SEATS / 2 = 50 SPACES	
TOTAL PARKING REQUIRED	50 SPACES
NUMBER OF H.C. SPACES REQUIRED = 2 SPACES	
PARKING PROVIDED:	
STANDARD SPACES PROVIDED	41 SPACES
NUMBER OF H.C. SPACES PROVIDED	2 SPACES
TOTAL SPACES PROVIDED	43 SPACES

**LOADING / UNLOADING AREA REQUIRED:**

(1) 10' x 40'	= 400 S.F.
TOTAL LOADING / UNLOADING AREA REQUIRED:	
(1) 10' x 40'	= 400 S.F.
TOTAL LOADING / UNLOADING AREA PROVIDED:	
(1) 10' x 40'	= 400 S.F.

**LANDSCAPE REQUIRED:**

TOTAL LANDSCAPE AREA REQUIRED	- S.F.
LANDSCAPE PROVIDED:	- S.F.
TOTAL LANDSCAPE AREA PROVIDED	- S.F.

**PARKING INFORMATION**

TOTAL SPACES	44
19 SPACES 10' X 18' @ 60'	
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**ARCHITECT/PLANNER**

<b>SURVEYOR</b>	<b>CIVIL ENGINEER</b>
DIFFIN Development Consultants 22660 TRILLIUM DRIVE NOVI, MI 48375 (248) 943-8244 JOB NO.	HH ENGINEERING, LTD. 220 BAGLEY, STE. 500 DETROIT, MI 48226 (313) 963-6560 E-MAIL: hhimes@hhengltd.com

**SITE LOCATION**

PROJECT STREET ADDRESS	808 ROCHESTER ROAD
CITY	ROCHESTER HILLS
STATE	MICHIGAN
COUNTY	OAKLAND

REGIONAL DWG. NO	DET-00
SITE LOCATION CODE NO.	021-0208

**McDonald's**

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OFFICE: MICHIGAN ADDRESS: 1021 KARL GREMEL DR, BRIGHTON, MI 48116 PH: (734) 335-9000

**PLAN APPROVALS**

DATE	DATE	DATE
SIGNATURE (2 REQUIRED)	SIGNATURE	SIGNATURE
NAME	NAME	NAME
OPERATIONS DEPT.	OPERATIONS DEPT.	OPERATIONS DEPT.
REG. ESTATE DEPT.	REG. ESTATE DEPT.	REG. ESTATE DEPT.

**CO-SIGN SIGNATURES**

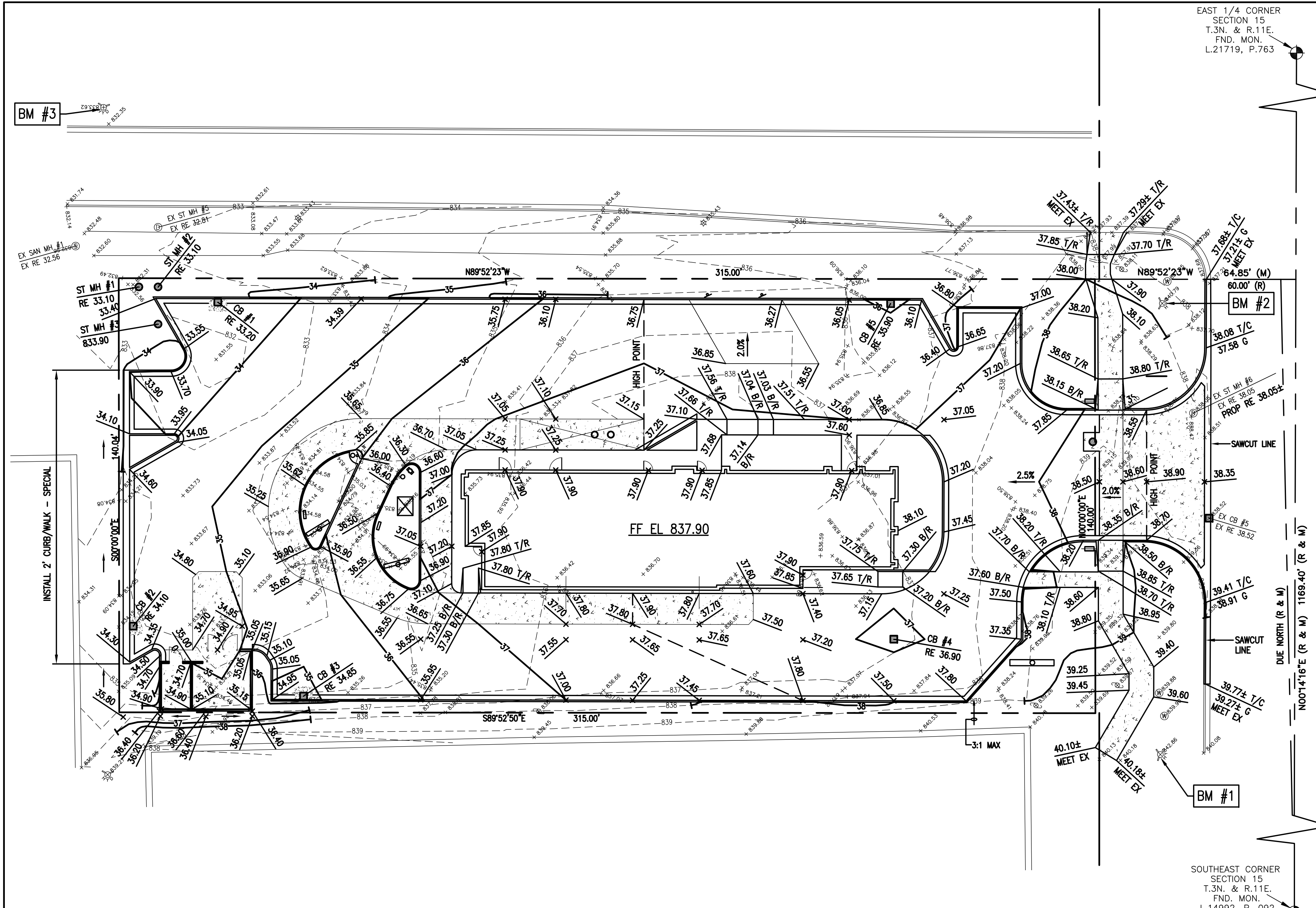
CONTRACTOR	OWNER
DATE	DATE
BY	BY
STATUS	STATUS
DATE DRAWN	DATE DRAWN
PLAN CHECKED	PLAN CHECKED
AS-BUILT	AS-BUILT

**C2b**

CITY FILE #73-175.2

04/11/11

FOR SITE PLAN APPROVAL ONLY



**BENCH MARKS**

BM #1 EL 842.86  
ARROW ON DOME OF HYDRANT  
(NEAR SOUTHEAST CORNER OF SITE)

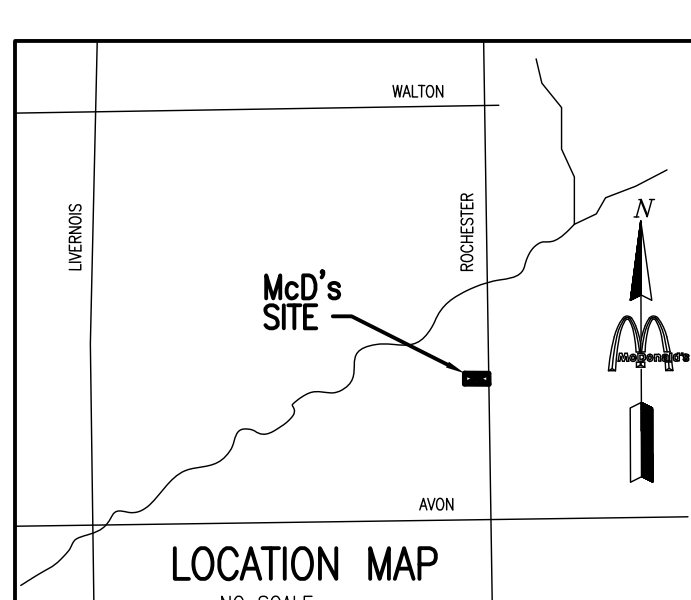
BM #2 EL 840.79  
ARROW ON DOME OF HYDRANT  
(NEAR NORTHEAST CORNER OF SITE)

BM #3 EL 833.62  
ARROW ON DOME OF HYDRANT  
(NEAR NORTHWEST CORNER OF SITE)

**LEGEND**

- EXISTING MANHOLE
- ○ EXISTING CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- - - 844 - - - EXISTING CONTOURS
- - - 844 - - - PROPOSED CONTOURS
- RE RIM ELEVATION
- T/R TOP OF RAMP
- B/R BOTTOM OF RAMP

S. ROCHESTER ROAD (M-150)  
20' WIDE M.D.O.T. RIGHT-OF-WAY  
(5-LANE ASPHALT ROADWAY)



72 HOURS  
(3 WORKING DAYS)  
**BEFORE YOU DIG  
CALL MISS DIG**  
1-800-482-7171  
(TOLL FREE)

**HH ENGINEERING LTD.**  
220 BAGLEY, SUITE 500  
DETROIT, MI. 48226  
(313) 963-6560

**GRADING PLAN**

**GENERAL NOTES**

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- BASES, ANCHOR BOLTS, CONDUIT AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- ALL NEW LOT LIGHTING FIXTURES, BASES, POLES, CONDUIT AND WIRING INSTALLED BY GENERAL CONTRACTOR AND PAID FOR BY OWNER/OPERATOR. SEE SITE LIGHTING PLAN.
- N/A
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- PROVIDE "DO NOT ENTER" SIGN PER MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES CODE #85-1, WHEN SIGNS ARE REQUIRED, AS NOTED ON SITE PLAN.

**LAND/BUILDING/PARKING DATA AND NOTES**

LAND AREA:  
GROSS AREA: 44,100 S.F. OR 1.01 ACRES

ZONING CLASSIFICATION: B-2 GENERAL BUSINESS  
ADJACENT ZONING: B-2 GENERAL BUSINESS  
B-3 SHOPPING CENTER BUSINESS

GROSS BUILDING AREA: 5,117 S.F.  
USABLE FLOOR AREA: ? S.F.

BUILDING SETBACKS REQUIRED:  
FRONT YARD SETBACK: 50 FEET  
SIDE YARD SETBACK: 25 FEET  
SIDE YARD SETBACK: 25 FEET  
REAR YARD SETBACK: 50 FEET

BUILDING SETBACKS PROVIDED:  
FRONT YARD SETBACK: 65 FEET  
SIDE YARD SETBACK (NORTH): 63 FEET, 8 INCHES  
SIDE YARD SETBACK (SOUTH): 65 FEET  
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NUMBER OF H.C. SPACES REQUIRED = 2 SPACES

PARKING PROVIDED:  
STANDARD SPACES PROVIDED: 41 SPACES  
NUMBER OF H.C. SPACES PROVIDED: 2 SPACES  
TOTAL SPACES PROVIDED: 43 SPACES

LOADING / UNLOADING AREA REQUIRED:  
(1) 10' x 40'  
TOTAL LOADING / UNLOADING AREA REQUIRED: = 400 S.F.

LOADING / UNLOADING AREA PROVIDED:  
(1) 10' x 40'  
TOTAL LOADING / UNLOADING AREA PROVIDED: = 400 S.F.

LANDSCAPE REQUIRED:  
TOTAL LANDSCAPE AREA REQUIRED: - S.F.

LANDSCAPE PROVIDED:  
TOTAL LANDSCAPE AREA PROVIDED: - S.F.

**PARKING INFORMATION**

TOTAL SPACES	SPACES	10' X 18' @ 60'
44	2 B.F.	8' X 18' @ 60'
	4	SPACES 10' X 18' @ 90'
	11	SPACES 8'-6" X 22' @ 0'
	6 EEMPL.	SPACES 9' X 20'-1" @ 60'
	2 EEMPL.	SPACES 10' X 18'-0" @ 90'

**ARCHITECT/PLANNER**

**Dorchen/Martin Associates, Inc.**  
Architects/Planners  
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Fax: (248) 557-1231  
e-mail: dma@dorchenmartin.com  
www.dorchenmartin.com

**SURVEYOR** CIVIL ENGINEER

DIFFIN Development Consultants  
22660 TRILLIUM DRIVE  
NOVI, MI 48375  
(248) 943-8244

HH ENGINEERING, LTD.  
220 BAGLEY, STE. 500  
DETROIT, MI 48226  
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E-MAIL: hhimes@hhengltd.com

**SITE LOCATION**

PROJECT STREET ADDRESS  
808 ROCHESTER ROAD

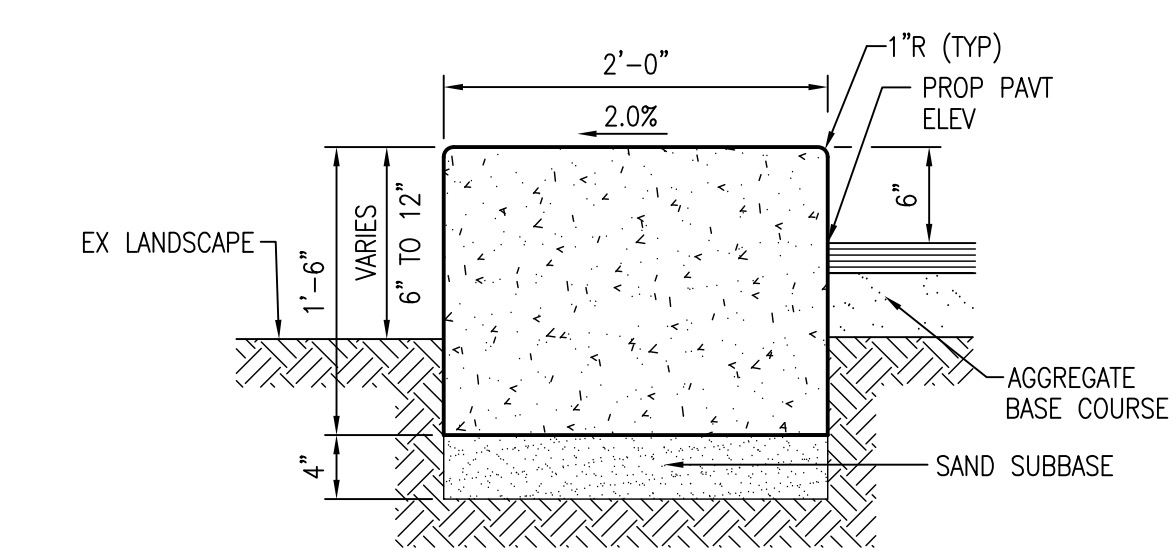
CITY ROCHESTER HILLS STATE MICHIGAN COUNTY OAKLAND

REGIONAL DWG. NO. DET-00 SITE LOCATION CODE NO. 021-0208

**C2a**

**GENERAL NOTES**

- ALL MATERIALS AND WORKMANSHIP FOR SITE WORK SHALL MEET THE STANDARDS, REGULATIONS, ORDINANCES AND SPECIFICATIONS OUTLINED IN THE CITY OF ROCHESTER HILLS ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS.
- SEE THE LANDSCAPE PLAN FOR PERMANENT SEEDING. IF A DISTURBED AREA CANNOT BE PERMANENTLY STABILIZED IMMEDIATELY AFTER AN EARTH CHANGE OR IF ACTIVITY CEASES FOR MORE THAN 30 DAYS, TEMPORARY SEEDING SHALL BE IMPLEMENTED WITHIN 5 DAYS.
- REFER TO SHEET C2 FOR BUILDING REMOVAL AND UTILITY REMOVALS/ABANDONMENTS AND ON-SITE DEMOLITION.
- REFER TO SHEET C2b FOR SOIL EROSION CONTROL MEASURES.
- FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF 72 HOURS PRIOR TO EXCAVATION IN THE VICINITY OF UTILITY LINES. ALL "MISS DIG" PARTICIPATING MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.
- CONSTRUCTION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.
- ALL BACKFILL UNDER OR WITHIN 3 FEET OF PROPOSED OR EXISTING PAVEMENT, SIDEWALK OR CURB SHALL BE COMPACTED SAND, MEETING THE REQUIREMENTS OF MDOT GRANULAR CL 1 SAND.
- TWO WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION WITHIN THE ROCHESTER ROAD R.O.W.
- ALL PROPOSED GRADES ARE PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL CURB HEIGHTS WITHIN THE McDONALD'S DEVELOPMENT ARE 6" UNLESS OTHERWISE NOTED.
- INSTALL SIDEWALK RAMPS PER MDOT STANDARD PLAN R-28 SERIES PER DETAIL SHEET C2d (SEE SHEET C2c FOR RAMP TYPES).



**1 C2c CURB/WALK - SPECIAL DETAIL**

NOTE: PROVIDE EXPANSION JOINTS @ 20'-0" O/C (MAX)

ISSUE REF	BY	DATE	DESCRIPTION
	HMH	03/08/11	Final Site Plan Approval Submitted
	HMH	04/05/11	Revisions per SPA review of 04/05/11

DATE	04/11/11
FOR SITE PLAN APPROVAL ONLY	

OFFICE	MICHIGAN
ADDRESS	1021 KARL GREIMEL DR, BRIGHTON, MI 48116
PHONE	PH: (734) 335-9000

DATE	
PLAN APPROVALS	
SIGNATURE (2 REQUIRED)	
NAME	
OPERATIONS DEPT.	
REG. ESTATE DEPT.	

CONTRACTOR	
OWNER	

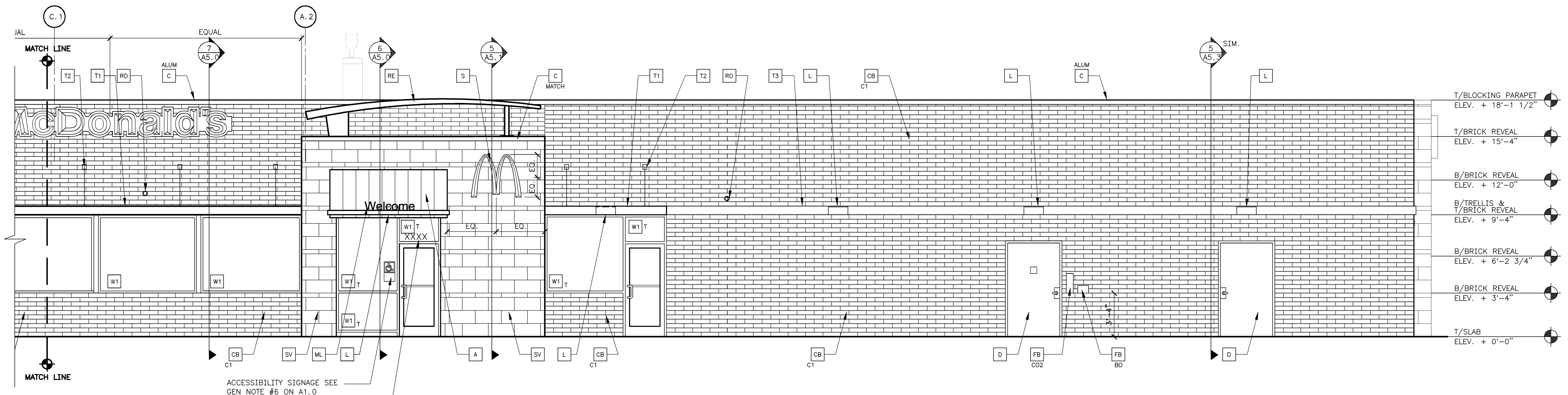
  

STATUS	DATE	BY
DATE DRAWN	02/03/11	ELERT
PLAN CHECKED	04/11/11	HIMS
AS-BUILT		

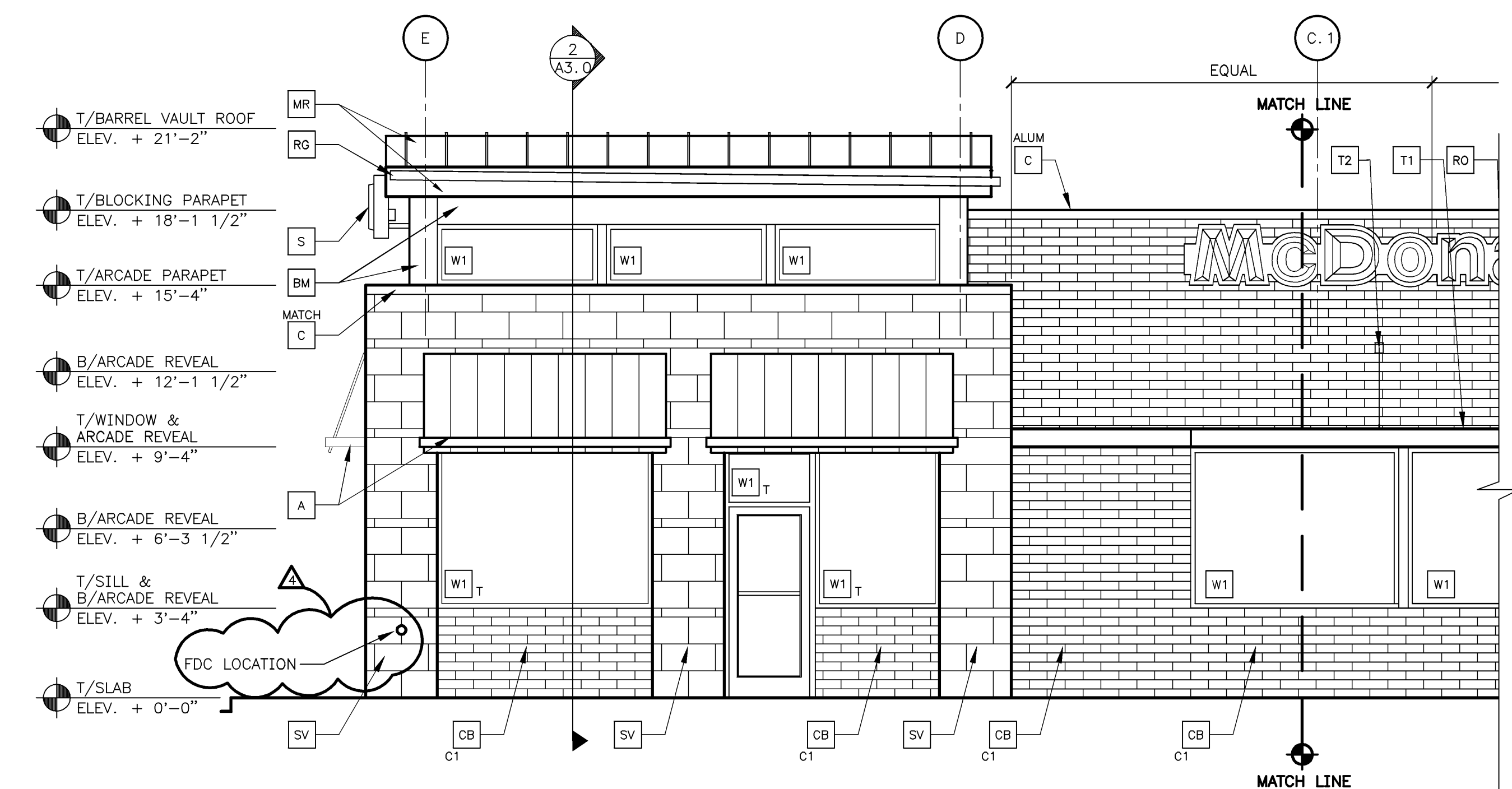


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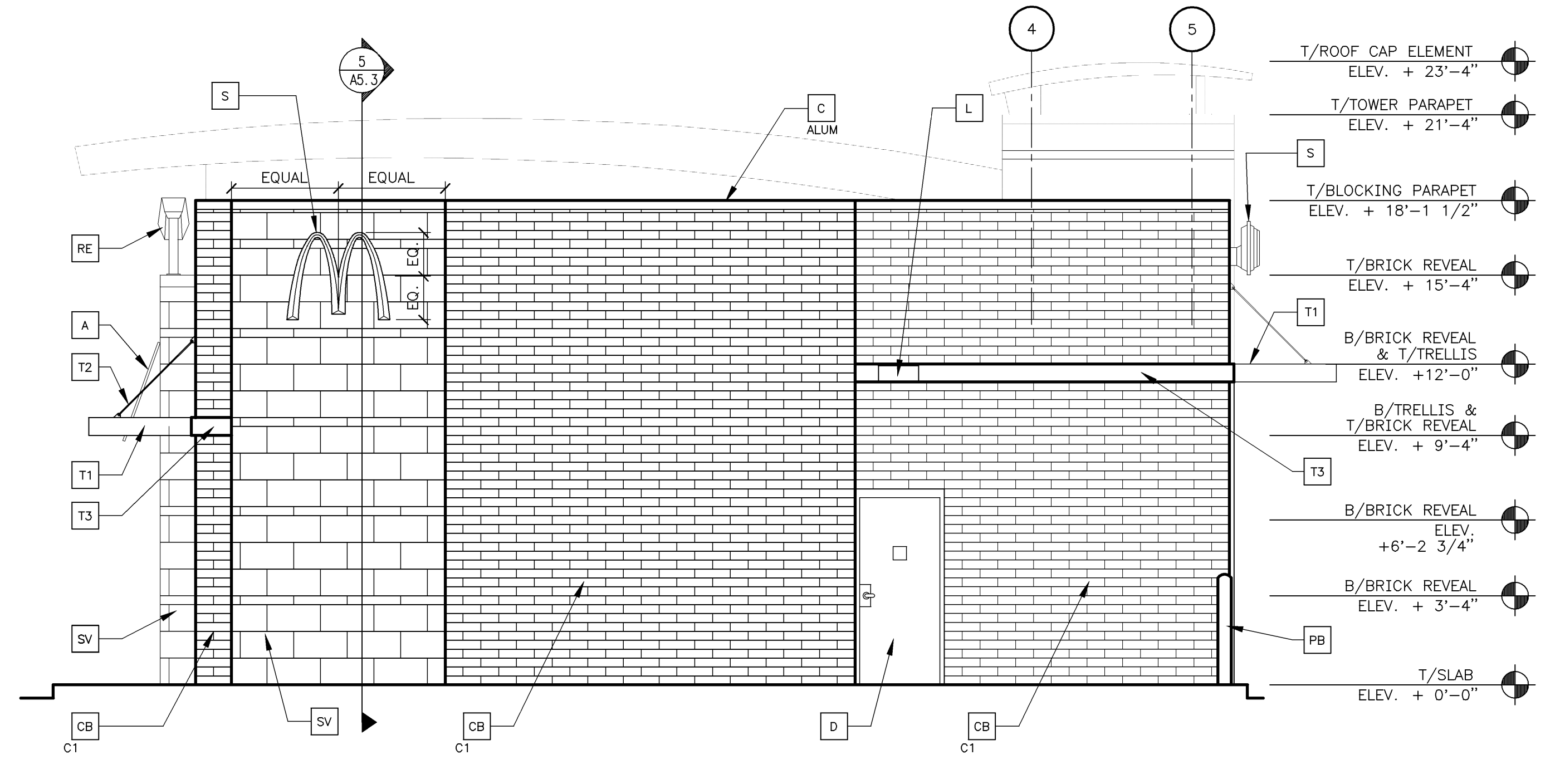
CITY FILE #73-175.2  
C1104 04/05/11



**1 NON DRIVE-THRU ELEVATION**  
 1/4" = 1'-0"  
 (SEE ELEVATION 2/A2.1 FOR CONTINUATION OF ELEVATION)



**2 NON DRIVE THRU ELEVATION**  
 1/4" = 1'-0"  
 (SEE ELEVATION 1/A2.1 FOR CONTINUATION OF ELEVATION)



**3 REAR ELEVATION**  
 1/4" = 1'-0"

**KEY NOTES:**

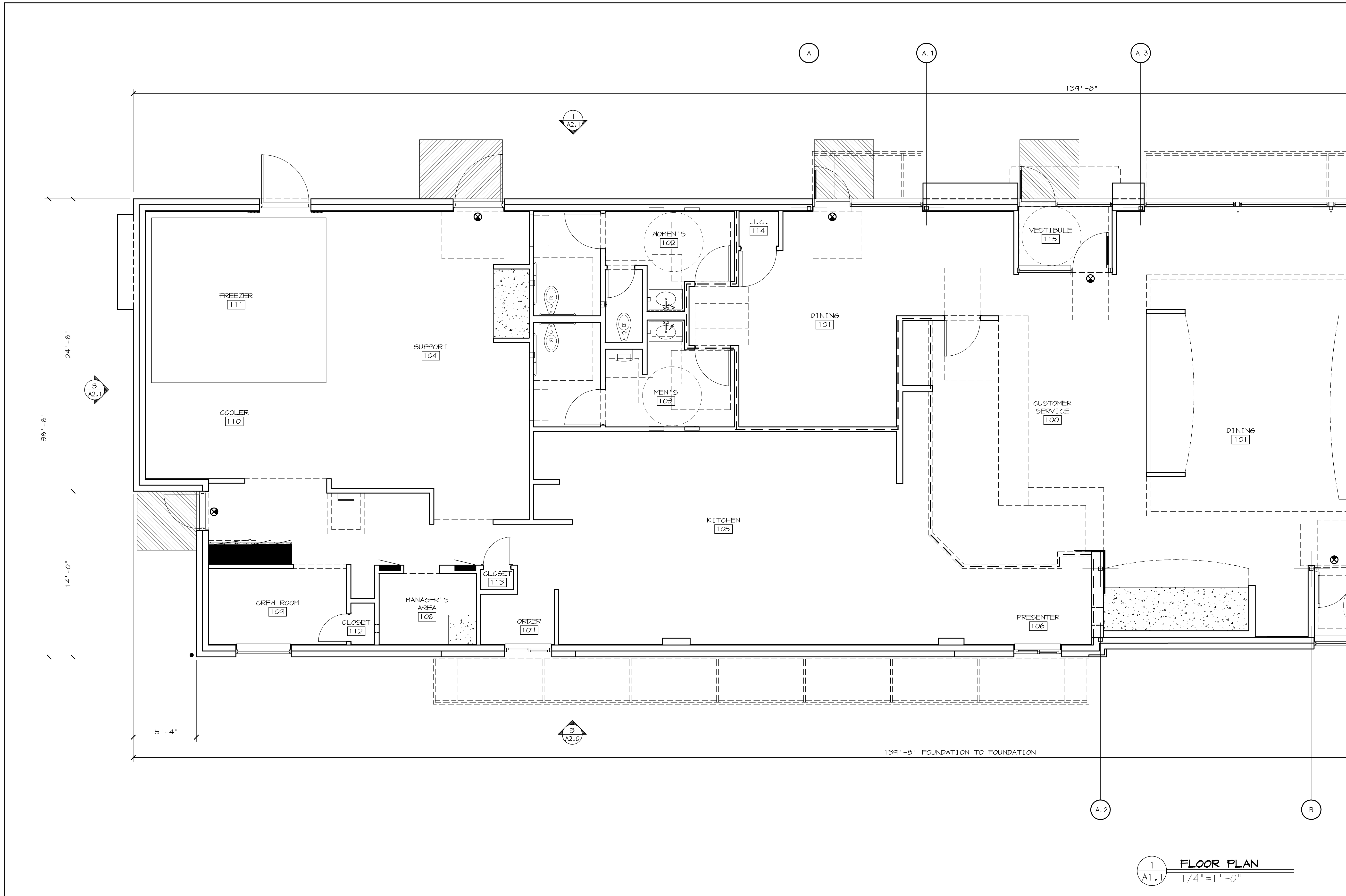
- A METAL AWNING - UNDER SEPARATE PERMIT. COLOR TO BE ALTERNATING STRIPES TO MATCH PANTONE 123C AND 109C
- BM BREAK METAL - ALUMINUM TO MATCH WINDOW MULLIONS
- CB CONCRETE BRICK, TYPE- BELLA BRIK CONTACT: CONSUMERS CONCRETE PRODUCTS (616-243-3651) COLOR: C1 = OLYMPIA BLEND TEXTURE, SMOOTH FACE C2 = MIDLAND, SMOOTH FACE
- C METAL COPING - COLOR = ALUMINUM
- M METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- CJ CONTROL JOINT, SEE DETAIL 7/A4.1
- FB CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
- FB OPTIONAL BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) - CONFIRM USE WITH MCD PROJECT MANAGER
- KB PROVIDE KNOX BOX AS REQUIRED BY FIRE DEPARTMENT
- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- ML METAL LETTERING - BY OTHERS
- PB PIPE BOLLARD - PAINTED YELLOW
- PT RMHC COIN COLLECTOR
- RE ROOF CAP ELEMENT BY OTHERS
- RO CONTINUOUS RAIN GUTTERS AT BARREL VAULT ROOF COLOR TO MATCH ROOF
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- SV STONE VENEER- TYPE: ROCKCAST ST003, COLOR: BUFFSTONE, TEXTURE: SMOOTH, SIZE: 4"x12"x24" NOM. ACCENT STRIPE- TYPE: ROCKCAST ST204, COLOR: BUFFSTONE, TEXTURE: CHISELED, SIZE: 4"x4"x24" NOM.
- T1 ALUMINUM TRELLIS
- T2 TRELLIS TIE-BACK
- T3 2XB WALL FASCIA - REFER TO SIM. DETAIL 3 ON SHEET AS.1
- W1 EXTERIOR WINDOW ASSEMBLY - SEE AS.0 T = TEMPERED GLASS
- W2 ALUMINUM TRELLIS
- XX SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT

**SIGNAGE SUPPORT NOTE:**  
 UNIBODY FASCIA SIGN WALL SUPPORTS TO BE VERIFIED WITH McDONALD'S AREA CONSTRUCTION MANAGER AND COORDINATED WITH SIGN MANUFACTURER.

PREPARED BY:	DORCHAM/MARTIN ASSOCIATES, INC.
DATE:	02/11/2011
PROJECT:	WOOD BLDG.
DESCRIPTION:	WOOD TRUSS ROOF FRAMING
SHEET NO.:	A2.1 ELEVATIONS
DATE:	02/11/2011
REVISION:	1 2-3-11 CITY SITE PLAN 4 BUILDING PREVIEW
REVISION:	2 2-22-11 SPA DISCUSSION SUBMITTAL
REVISION:	3 3-8-11 FINAL SPA SUBMITTAL
REVISION:	4 4-5-11 REVISIONS PER REVIEW LETTER 4-5-11
BY:	

K:\DVA\CENTRAL\1-MCHA\TEMP\38101 +5+5 WVA-ELEV.DWG 02-01-2011 08:52





REV	DATE	DESCRIPTION
1	2-3-11	CITY SITE PLAN 4 BUILDING PREVIEW
2	2-22-11	SPA DISCUSSION SUBMITTAL
3	3-8-11	FINAL SPA SUBMITTAL
4	4-5-11	REVISIONS PER REVIEW LETTER 4-5-11

PREPARED BY:  
**McDonald's USA, LLC**  
 Architect/Engineer  
 2485, 35th St.  
 Scarborough, Michigan 48066  
 248.551.1002  
 email: sp@architectm.com  
 www.architectm.com

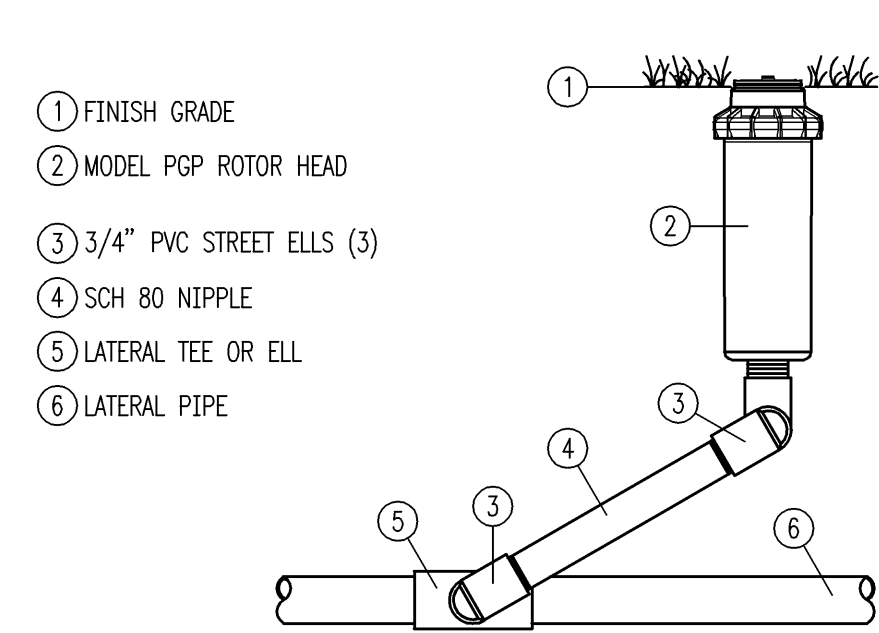
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**McDonald's USA, LLC**  
 These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. In the contract documents we prepared for you, we have indicated which portions of these drawings are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the contract documents for reuse on another project is not authorized.

TITLE	30101+5+5+PP
SHEET NO.	<b>A1.1</b>
DESCRIPTION	FLOOR PLAN
DRAWN BY	JMP
DATE	FEB 2011
REVIEWED BY	
DATE	
SITE ID	021-0208
SITE ADDRESS	808 ROCHESTER RD, ROCHESTER HILLS, MI

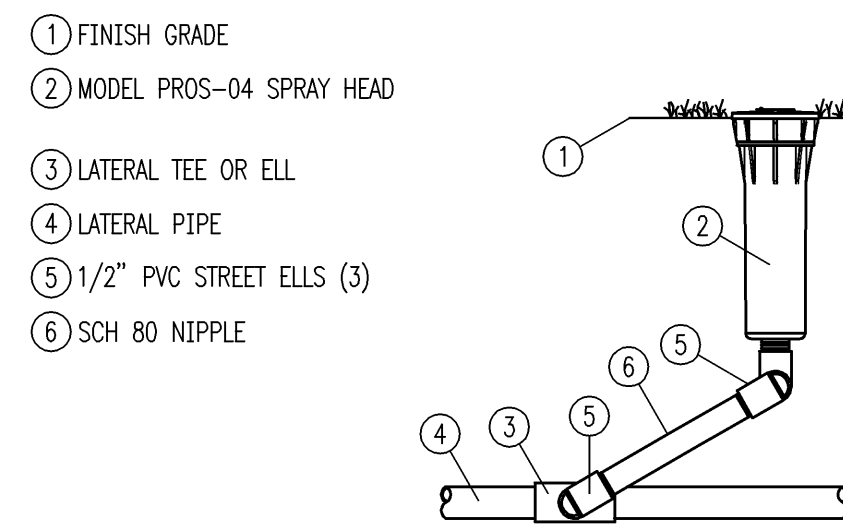




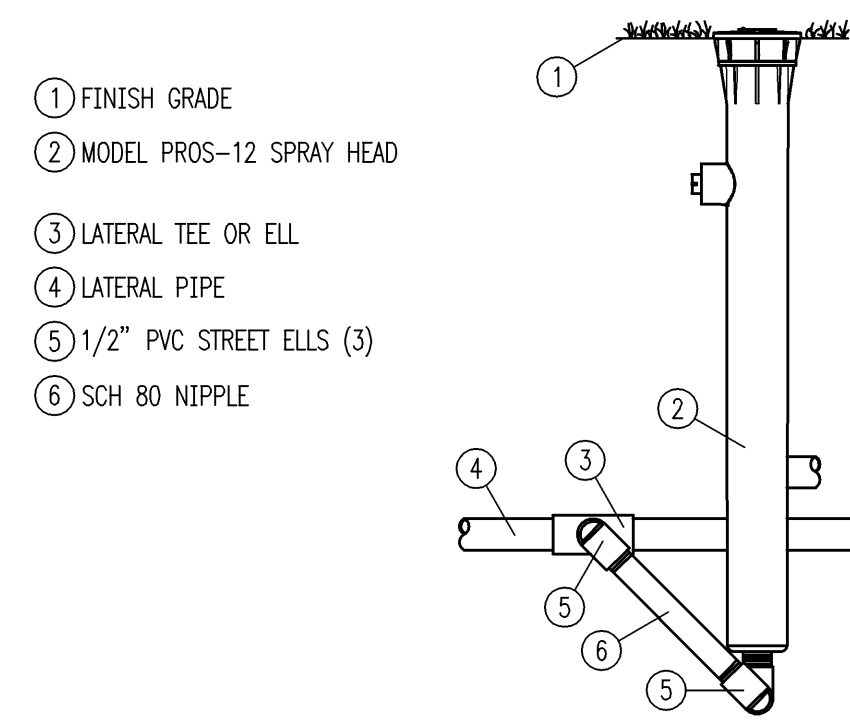




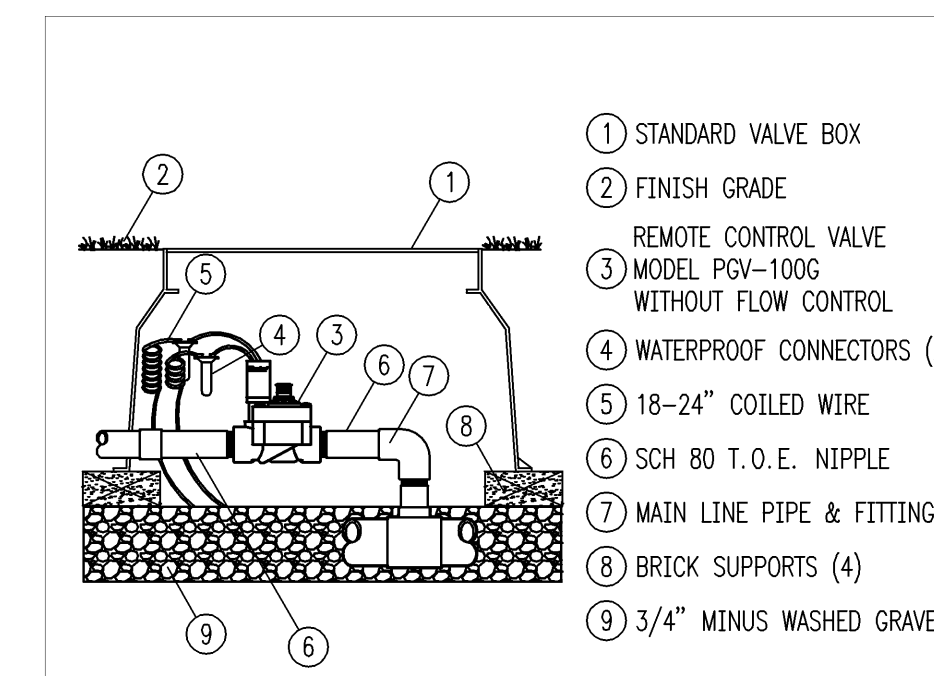
**PGP ROTOR HEAD**  
SCALE: NTS **Hunter** IRRIGATION DETAIL



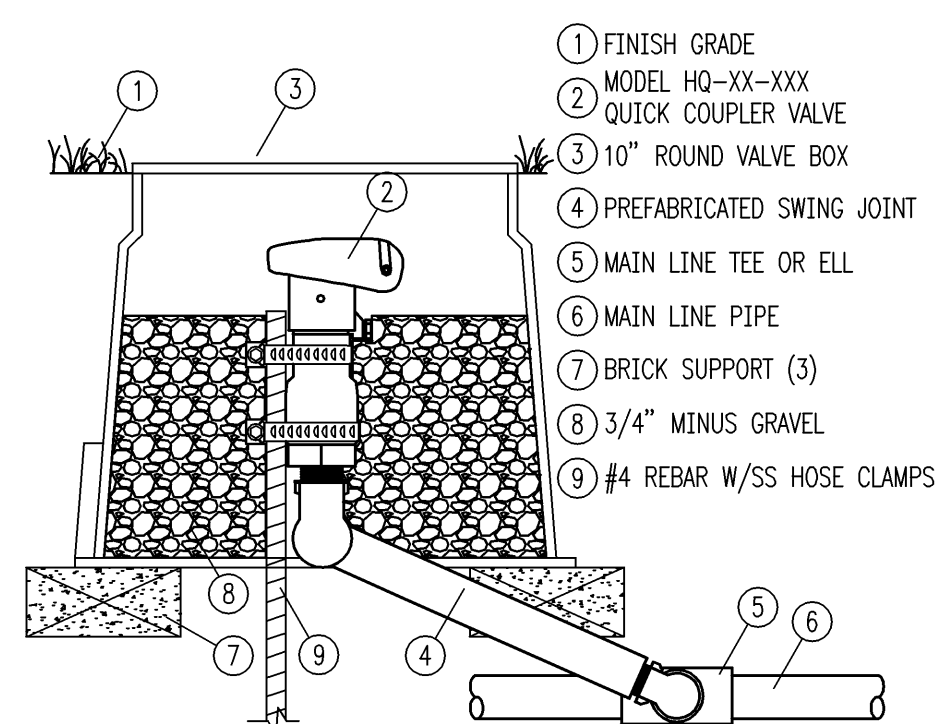
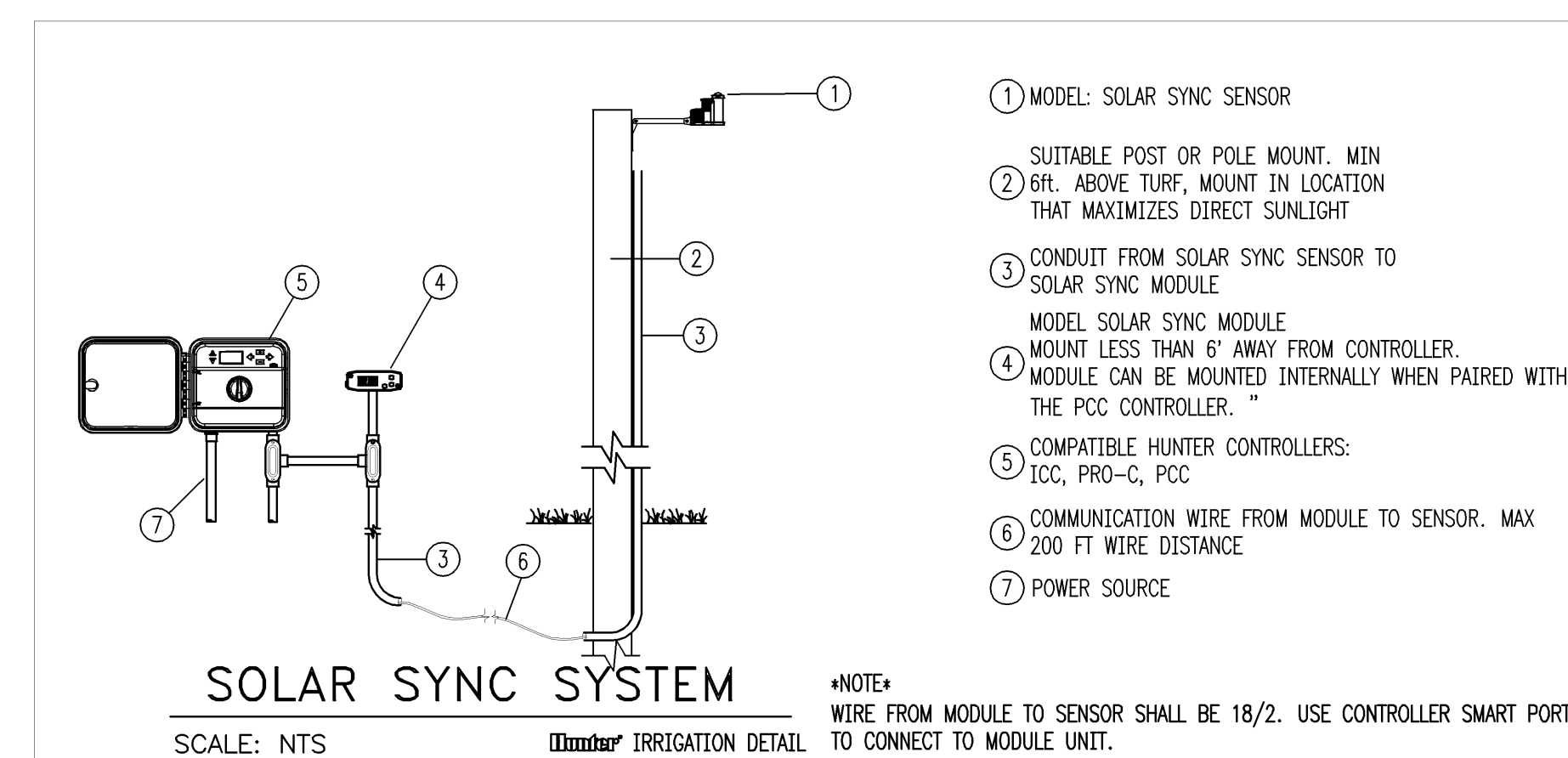
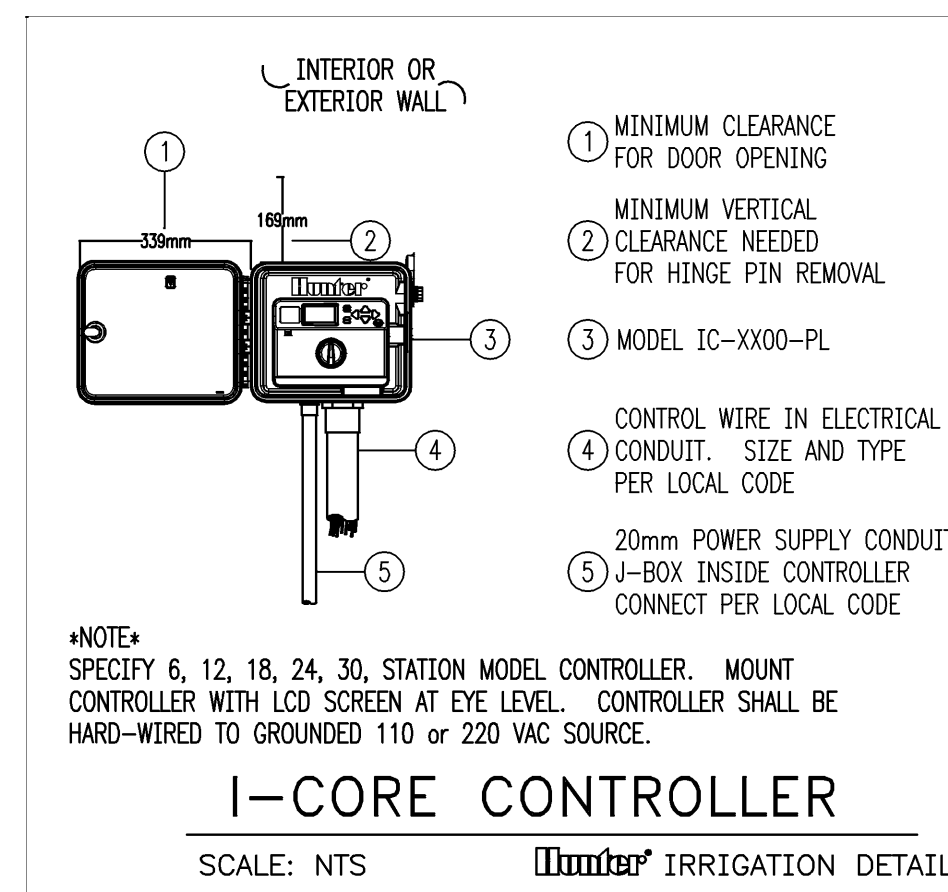
**PROS-04 SPRAY HEAD**  
SCALE: NTS **Hunter** IRRIGATION DETAIL



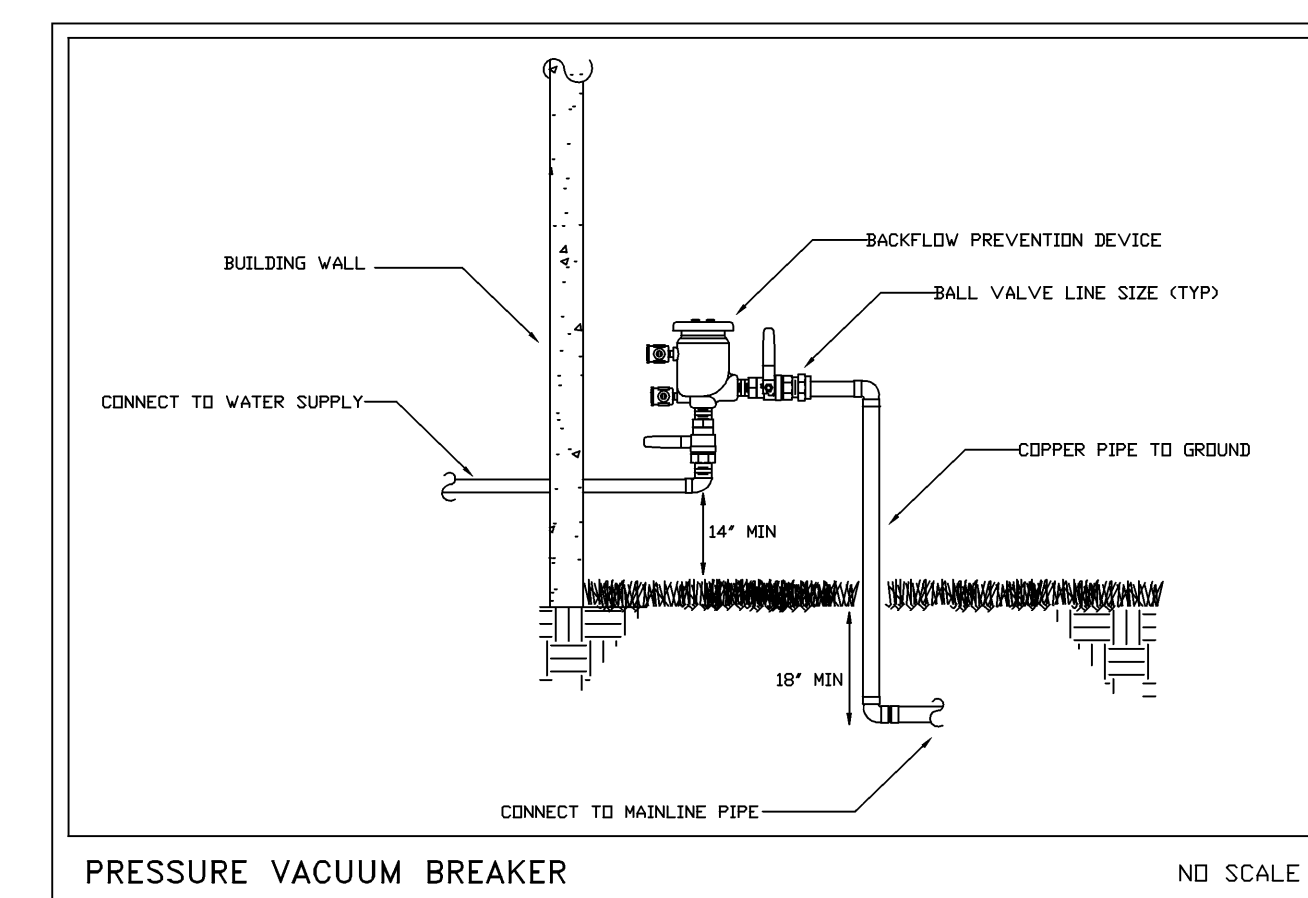
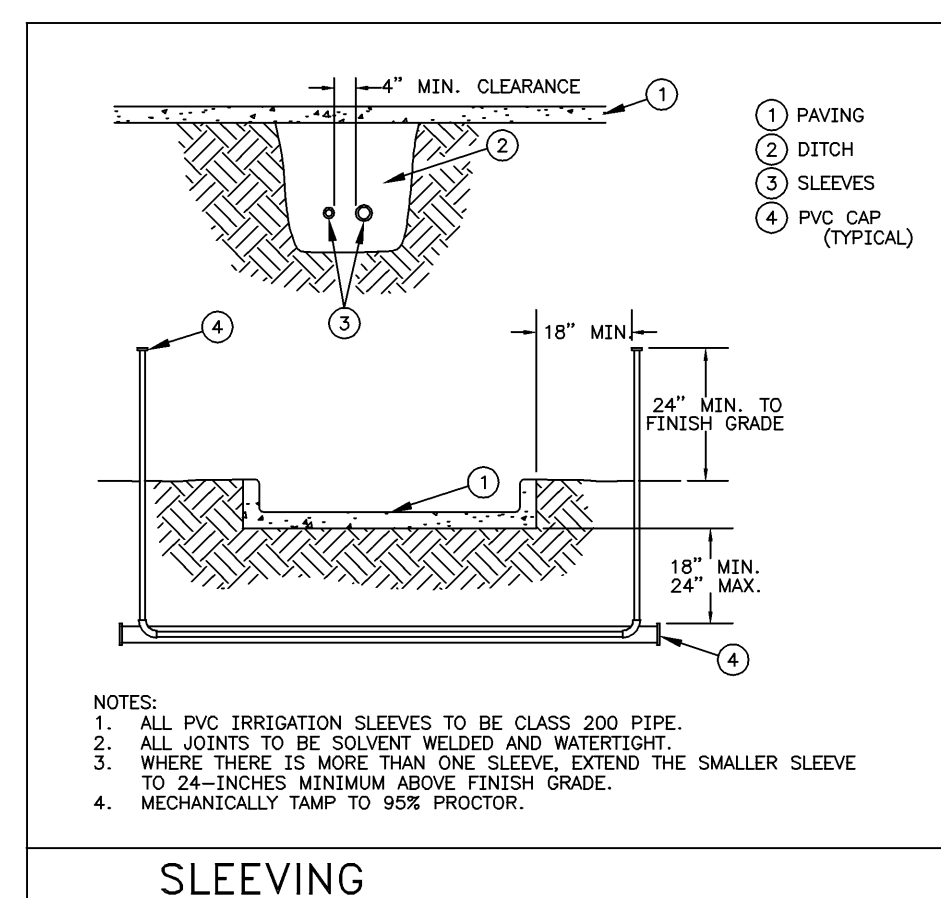
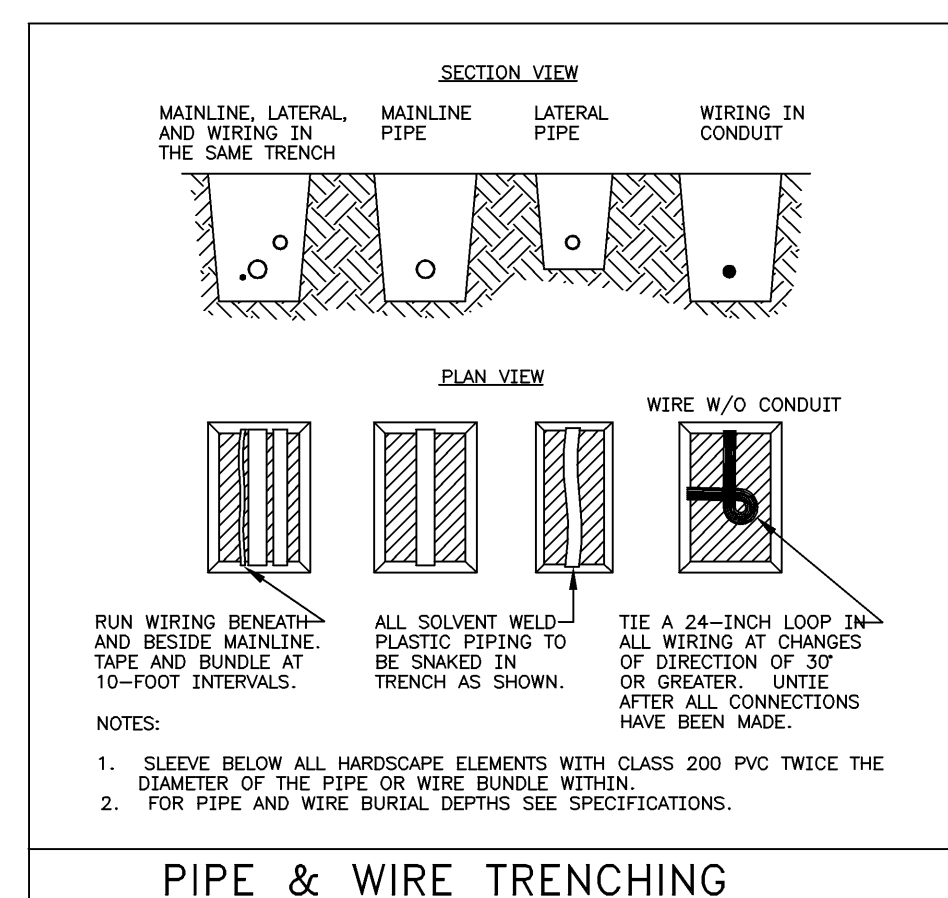
**PROS-12 SPRAY HEAD**  
SCALE: NTS **Hunter** IRRIGATION DETAIL



**PGV GLOBE VALVE**  
SCALE: NTS **Hunter** IRRIGATION DETAIL



**QUICK COUPLER VALVE**  
SCALE: NTS **Hunter** IRRIGATION DETAIL



**MCDONALDS ROCHESTER**

ROCHESTER HILLS, MI

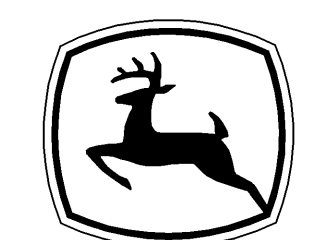
PROJECT # 17778818  
ISSUE DATE: 03/07/11  
SHEET 2 OF 2

DATE REVISIONS  
04/12/11 SK

**IRRIGATION PLAN**

SCALE: 1" = NTS

DESIGNED BY: SK  
CHECKED BY: CP  
APPROVED BY: CP



**JOHN DEERE LANDSCAPES**

31691 DEQUINDRE RD  
MADISON HEIGHTS, MI 48071  
PH: (248) 588-7747  
FX: (248) 588-7963  
WWW.JOHNDEEERELANDSCAPES.COM  
JPARKO@JOHNDEEERELANDSCAPES.COM



**LANDSCAPE PLANT & MATERIALS LIST**

KEY	QUAN.	ITEM	SIZE	ROOT	REMARKS
A	10	ARMSTRONG MAPLE (ACER x f. 'ARMSTRONG')	3" CAL.	B&B	7' BRANCH HT.
B	2	CRIMSON SPIRE OAK (QUERCUS x CRIMSON SPIRE)	3" CAL.	B&B	5' BRANCH HT.
C	3	SKYLINE HONEYLOCUST (GLEDITSIA T. INERMIS 'SKYLINE')	3" CAL.	B&B	5' BRANCH HT.
D	3	CLEVELAND PEAR (PYRUS CALLERYANA 'CLEVELAND')	2.5" CAL.	B&B	5' BRANCH HT.
E	13	CORALBURST CRABAPPLE (MALUS 'CORALBURST')	2" CAL.	B&B	FULL
F	33	COMPACT AMERICAN CRANBERRYBUSH (VIBURNUM T. COMPACTUM)	30" HT.	B&B	FULL
G	11	GREEN VELVET BOXWOOD (BUXUS 'GREEN VELVET')	15-18" HT.	B&B	FULL
H	7	DWARF KOREAN LILAC (SYRINGA MEYERII)	5 GAL.	POT	FULL
I	10	HETZ MIDGET ARBORVITAE (ACER x f. 'ARMSTRONG')	3 GAL.	POT	FULL
J	6	HICKS' YEW (TAXUS x m. 'HICKSII')	24-30" HT.	B&B	FULL
K	21	HAMELN GRASS (PENNISETUM A. 'HAMELN')	2 GAL.	POT	FULL
L	15	RED CARPET ROSE (ROSA SPP.)	2 GAL.	POT	FULL
M	24	PATRIOT HOSTA (HOSTA 'PATRIOT')	1 GAL.	POT	FULL
N	21	STELLA d'ORO DAYLILY (HEMEROCALLIS 'STELLA d'ORO')	1 GAL.	POT	FULL
O	8 FLATS	ANNUAL FLOWERS/ 48 PER FLAT			
	2	BOULDERS	2'		
	2	BOULDERS SOD ON 4" TOPSOIL SHREDDED HARDWOOD MULCH BLACK VINYL EDGE TOPSOIL/PLANT MIX IRRIGATION	3'		

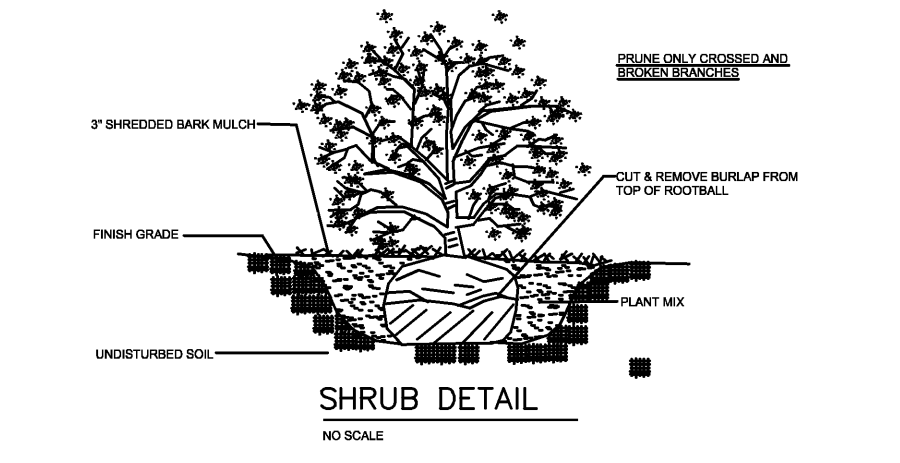
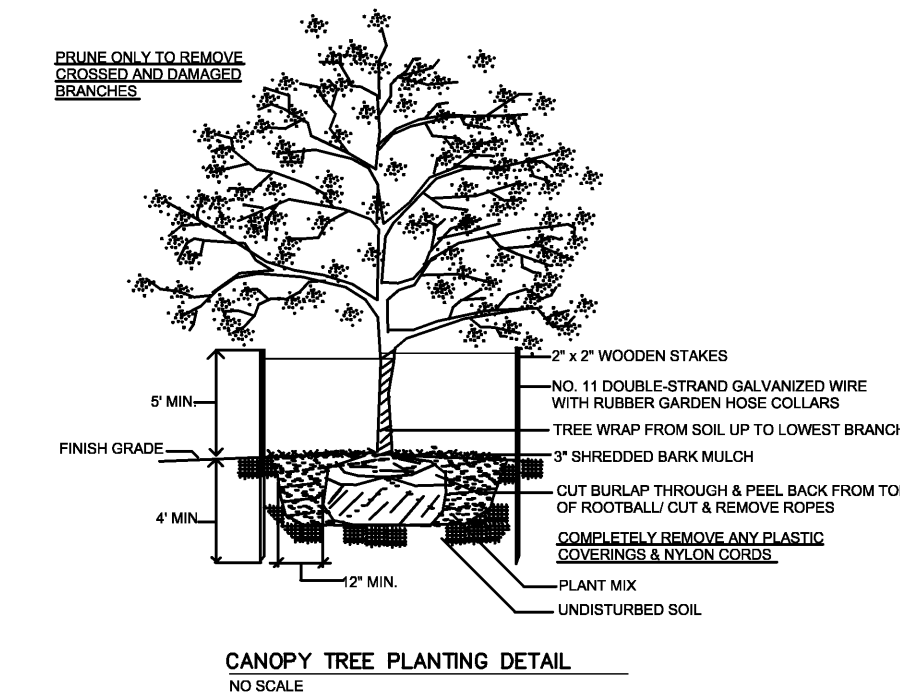
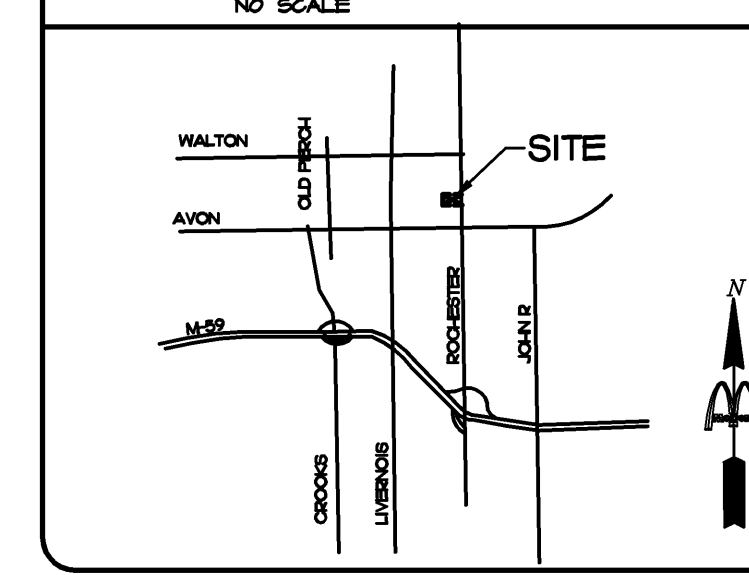
**LANDSCAPE SPECIFICATIONS**

- The work shall consist of providing all necessary materials, labor, equipment, tools and supervision required for the completion as shown on the drawings.
- The plant materials shall conform to type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the "A.A.N. Standards for nursery stock."
- The plant material shall be nursery grown and inspected by the owner's representative before planting. The owner's representative reserves the right to reject any plant material at any time.
- Plants designated "B & B" shall be balled and burlapped with firm balls of earth.
- The contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented as to give the best appearance.
- When the plant has been properly set, the pit shall be backfilled with a topsoil mixture, gradually filling, patting and settling with water.
- All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured twigs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over 3" shall be painted with tree paint.
- The contractor agrees to guarantee all plant materials for the period of one year. At that time the owner's representative reserves the right for a final inspection. Plant material with 25% die back, as determined by the owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor and materials. These new plants shall also be guaranteed for the period of one year.
- Topsoil shall be friable, fertile topsoil of clay loam character containing at least 5% but not more than 20% by weight of organic matter with a PH range from 6.0 to 7.0. Soil shall be free from clay lumps, coarse sand, plant roots, sticks and other foreign materials.
- Grass seed variety prop. by Weight Purity Germination:  
Kentucky Blend 40% 97% 80%  
Creeping Red Fescue 20% 97% 80%  
Perennial Ryegrass 40% 97% 50%  
Maximum weed content shall be 0.3%
- Seed mixture of sod shall be approved by Owner's Representative or Landscape Architect prior to delivery on site.
- The Contractor shall verify all rights of way, easements, property lines and limits of work, etc. prior to commencing work.
- The Contractor shall be responsible for contacting and coordinating with all pertinent utility companies 72 hours in advance of any digging to make himself familiar with all underground utilities, pipes and structures. The Contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
- The Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist. Such conditions shall be immediately brought to the attention of the owner's representative and/or Landscape Architect. The Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- Any discrepancies between dimensioned layout and actual field conditions shall be reported to the Owner's representative and Landscape Architect. Failure to make such discrepancies known will result in Contractor's responsibility and liability for any changes and associated cost.

**LANDSCAPE MAINTENANCE SCHEDULE**

TASK	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
<b>CARE OF PLANTS</b>												
Monitoring			XXXXX	XXXXX	XXXXX	XXXXX	XXXXX	XXXXX	XXXXX	XXXXX	XXXXX	XXXXX
Pruning (if needed)		XXXXX	XXXXX	XXXXX								
Deadhead flowers				FLOWERS			XXXXX	XXXXX	XXXXX			SHRUBS
Fertilization			XXXXX	XXXXX								
Cut back perennials & grasses				XXXXX	XXXXX	XXXXX	XXXXX	XXXXX	XXXXX	XXXXX		
Watering-as needed				XXXXX	XXXXX	XXXXX	XXXXX	XXXXX	XXXXX	XXXXX		
<b>PLANTING BEDS</b>												
Weeding - as needed				XXXXX	XXXXX	XXXXX	XXXXX	XXXXX	XXXXX	XXXXX		
Top-dress mulch beds				XXXXX	XXXXX							
Leaf-removal (if needed)				XXXXX								
<b>PEST MANAGEMENT</b>												
Monitoring			XXXXX	XXXXX	XXXXX	XXXXX	XXXXX	XXXXX	XXXXX	XXXXX		
<b>LAWNS</b>												
Fertilize/seed										XXXXX	XXXXX	

**LOCATION MAP**



**LANDSCAPE NOTES**

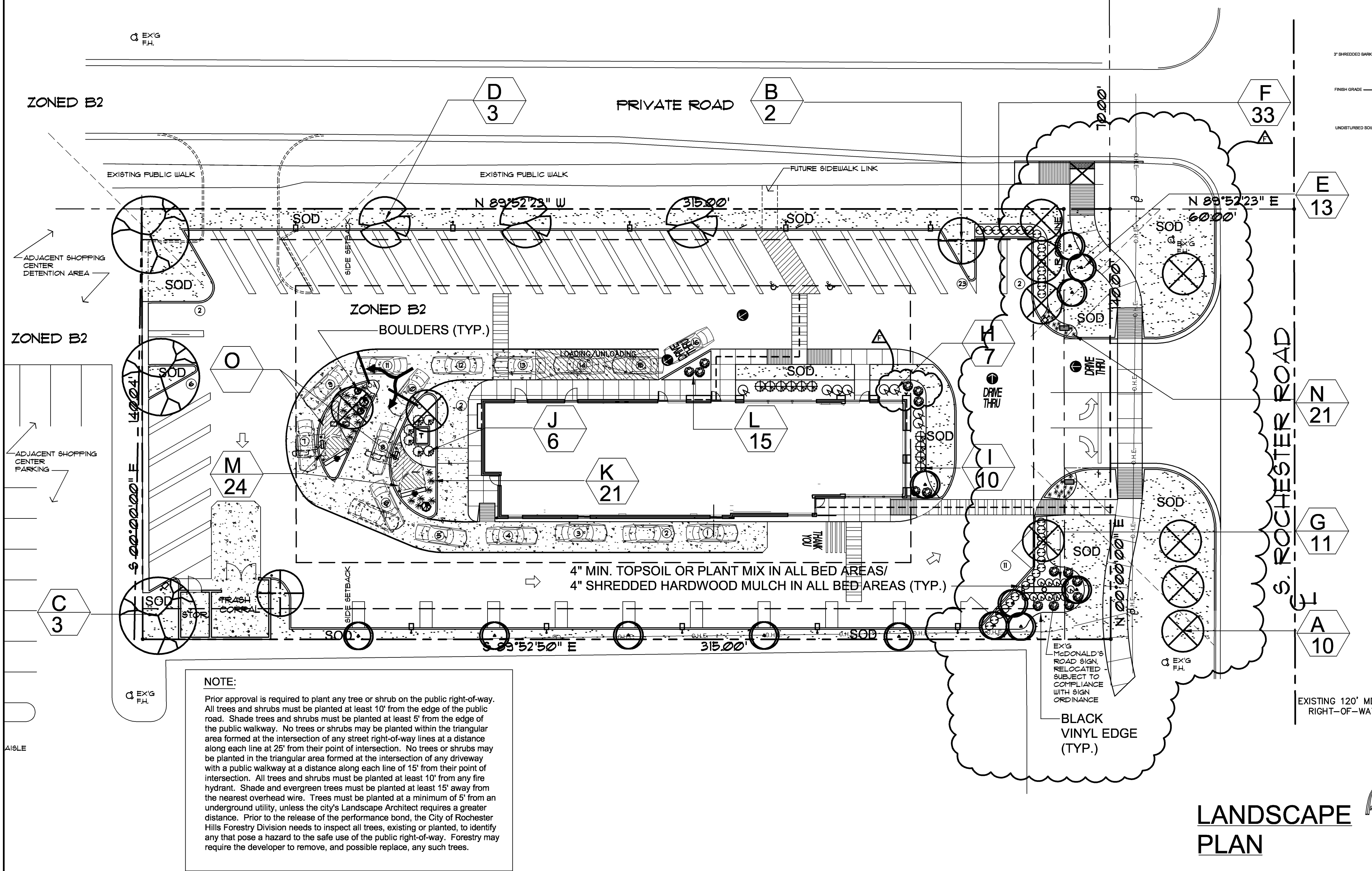
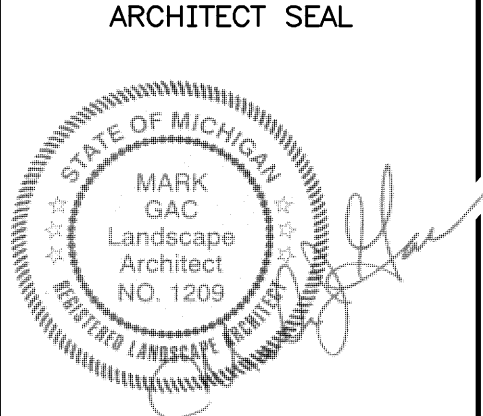
**PARKING LOT LANDSCAPE REQUIREMENTS:**  
REQUIRED:  
INTERIOR LANDSCAPE ISLANDS EQUAL TO AT LEAST 5% OF THE VEHICULAR USE AREA OF THE SITE MUST BE PROVIDED, WITH ONE SHADE TREE PER ISLAND MINIMUM.  
VEHICULAR USE AREA OF SITE: 28,670 S.F. / x .05 = 1434 S.F.  
50, 1434 S.F. LANDSCAPED PARKING LOT ISLANDS REQUIRED.  
PROVIDED: 1570 S.F. IN 2 ISLANDS AND 5 PENINSULAS, WITH 2 OAKS, 3 HONEYLOCUST, AND 2 MAPLES.

**PARKING LOT PERIMETER REQUIREMENTS:**  
ALONG THE EDGE OF A PARKING LOT FACING & WITHIN 100' OF A PUBLIC R.O.W., THE FOLLOWING IS REQUIRED:  
--1 DECIDUOUS SHADE TREE PER 25 L.F.  
--1 ORNAMENTAL TREE PER 35 L.F.  
--CONTINUOUS HEDGE, 30" HT., WHERE THE PARKING LOT IS WITHIN 30' OF THE PUBLIC R.O.W.  
84 L.F. OF THE PARKING LOT FACES THE R.O.W.  
84/25 = 3.4, OR 4 SHADE TREES  
84/35 = 2.4, OR 3 ORNAMENTAL TREES, AND  
30" TALL HEDGE REQUIRED.  
PROVIDED:  
FOUR MAPLES AND 3 CRABAPPLES, AND A VIBURNUM HEDGE.

**R.O.W. LANDSCAPING REQUIREMENT:**  
--1 STREET TREE PER 35 L.F. IN R.O.W., IF ALLOWED BY ROAD COMMISSION; OTHERWISE TREES TO BE PLANTED IN THE SETBACK.  
--1 ORNAMENTAL TREE PER 35 L.F. IN R.O.W., IF ALLOWED; OTHERWISE TREES TO BE PLANTED IN THE SETBACK.  
140 L.F. / 35 = 4 EA. SHADE & ORNAMENTAL TREES REQUIRED.  
PROVIDED:  
FOUR MAPLES AND FOUR CRABAPPLES.

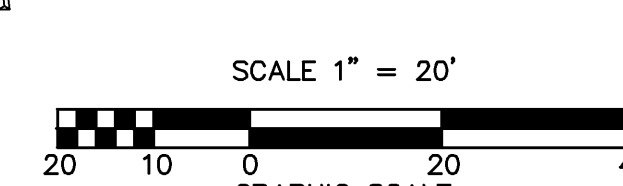
**LANDSCAPE REQUIREMENTS FOR SIDE AND REAR YARD SETBACKS:**  
SIDE AND REAR YARDS FOR THIS SITE HAVE NO PLANTING REQUIREMENTS, BUT THE SIDE YARDS HAVE BEEN PROVIDED WITH 3 FLOWERING PEAR TREES (NORTH SIDE) AND 5 CRABAPPLES (SOUTH SIDE).

NO TREES OF 6" D.B.H. OR LARGER EXIST ON SITE



**NOTE:**  
Prior approval is required to plant any tree or shrub on the public right-of-way. All trees and shrubs must be planted at least 10' from the edge of the public road. Shade trees and shrubs must be planted at least 5' from the edge of the public walkway. No trees or shrubs may be planted within the triangular area formed at the intersection of any street right-of-way lines at a distance along each line at 25' from their point of intersection. No trees or shrubs may be planted in the triangular area formed at the intersection of any driveway with a public walkway at a distance along each line of 15' from their point of intersection. All trees and shrubs must be planted at least 10' from any fire hydrant. Shade and evergreen trees must be planted at least 15' away from the nearest overhead wire. Trees must be planted at a minimum of 5' from an underground utility, unless the city's Landscape Architect requires a greater distance. Prior to the release of the performance bond, the City of Rochester Hills Forestry Division needs to inspect all trees, existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developer to remove, and possibly replace, any such trees.

**LANDSCAPE PLAN**



**ARTMAN'S NURSERY**  
32593 CHERRY HILL WESTLAND, MI 48185  
(734) 721-6610

**LANDSCAPE ARCHITECT**  
M. J. Gac & Associates  
Landscape Architecture  
7815 Freda  
Dearborn, MI 48126  
(313) 834-3149

**SURVEYOR**  
DIFFIN Development Consultants  
22660 TRILLIUM DRIVE  
NOVI, MI 48375  
(248) 943-8244  
JOB NO.

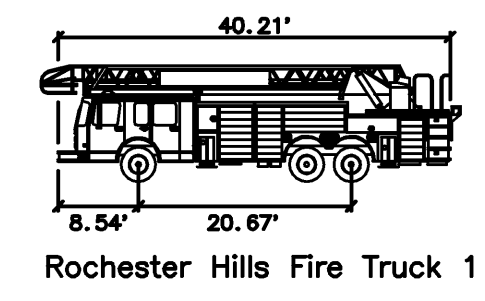
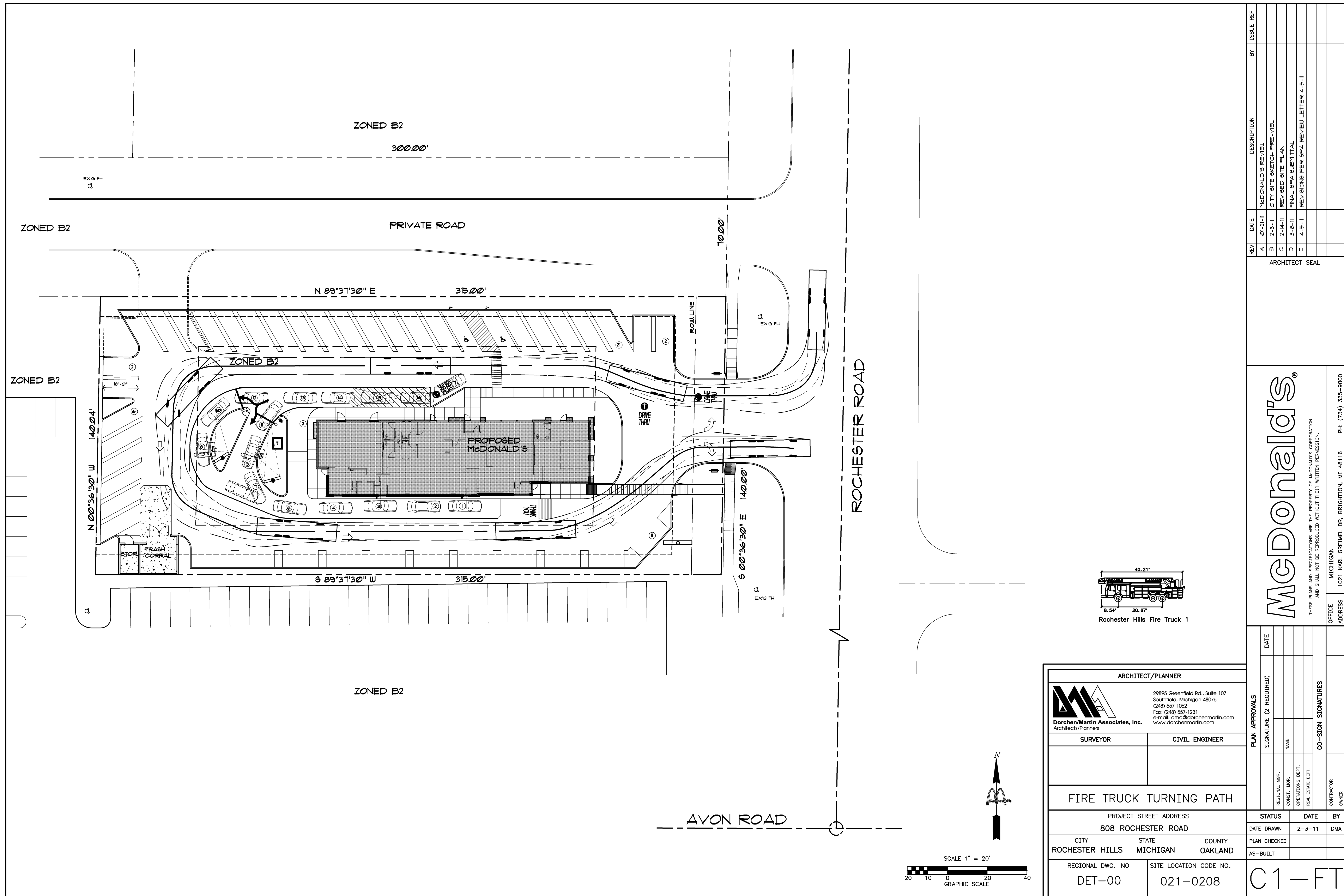
**ARCHITECT/PLANNER**  
Dorchen/Martin Associates, Inc.  
Architects/Planners  
29895 Greenfield Rd., Suite 107  
Southfield, Michigan 48076  
(248) 567-1062  
Fax: (248) 567-1231  
e-mail: dma@dorchenmartin.com  
www.dorchenmartin.com


**SITE LOCATION**  
PROJECT STREET ADDRESS  
808 ROCHESTER ROAD  
CITY ROCHESTER HILLS STATE MICHIGAN COUNTY OAKLAND  
REGIONAL DWG. NO DET-00 SITE LOCATION CODE NO. 021-0208

**McDonald's**  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE ADDRESS: 1021 KARL GREIMEL DR., BRIGHTON, MI 48116 PH: (734) 335-9000

PLAN APPROVALS		DATE
SIGNATURE (2 REQUIRED)	NAME	
REGIONAL MGR.	CONST. MGR.	
OPERATIONS DEPT.	REAL ESTATE DEPT.	
CO-SIGN SIGNATURES		
CONTRACTOR	OWNER	



**ARCHITECT/PLANNER**  
  
 29895 Greenfield Rd., Suite 107  
 Southfield, Michigan 48076  
 (248) 557-1062  
 Fax: (248) 557-1231  
 e-mail: dma@dorchenmartin.com  
 www.dorchenmartin.com

**SURVEYOR**      **CIVIL ENGINEER**

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**FIRE TRUCK TURNING PATH**

PROJECT STREET ADDRESS  
 808 ROCHESTER ROAD

CITY      STATE      COUNTY  
 ROCHESTER HILLS      MICHIGAN      OAKLAND

REGIONAL DWG. NO      SITE LOCATION CODE NO.  
 DET-00      021-0208

PLAN APPROVALS		DATE
REGIONAL MGR.	SIGNATURE (2 REQUIRED)	
CONST. MGR.	NAME	
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		
STATUS	DATE	BY
DATE DRAWN	2-3-11	DMA
PLAN CHECKED		
AS-BUILT		

**McDonald's**  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE      MICHIGAN      PH: (734) 335-9000  
 ADDRESS      1021 KARL GREIMEL DR., BRIGHTON, MI 48116

REV	DATE	DESCRIPTION	BY	ISSUE REF
A	01-21-11	MCDONALD'S REVIEW		
B	2-3-11	CITY SITE SKETCH PRE-VIEW		
C	2-14-11	REVISED SITE PLAN		
D	3-9-11	FINAL SPA SUBMITTAL		
E	4-5-11	REVISIONS PER SPA REVIEW LETTER 4-5-11		

ARCHITECT SEAL

