

## ROCHESTER HILLS

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### DEVELOPMENT TEAM

#### OWNER

AMERICAN HOUSE VILLAGE OF ROCHESTER HILLS, LLC  
 BLOOMFIELD HILLS, MICHIGAN

#### ARCHITECT

FUSCO, SHAFFER & PAPPAS, INC.  
 30800 NORTHWESTERN HWY, SUITE 100  
 FARMINGTON HILLS, MI 48334  
 248-932-8300

#### CIVIL ENGINEER

GIFFELS-WEBSTER ENGINEERS, INC.  
 6303 26 MILE ROAD, SUITE 100  
 WASHINGTON TWP., MI 48049  
 586-781-8950

#### LANDSCAPE ARCHITECT

MICHAEL J. DUL & ASSOCIATES, INC  
 212 DAINES STREET  
 BIRMINGHAM, MI 48009  
 248-644-3410

#### ELECTRICAL ENGINEER

NEIL ADAMS, INC.  
 3258 BROAD STREET  
 DEXTER, MI 48130  
 734-426-0020

## MICHIGAN CAMPUS SUMMARY TABLE

SITE DATA	PARCEL 'A'	PARCEL 'B'	PARCEL 'C'	CAMPUS TOTAL
GROSS SITE AREA	3.48 ACRES (151,517.22 S.F. ±)	9.33 ACRES (406,351.02 S.F. ±)	7.75 ACRES (337,766.62 S.F. ±)	28.56 ACRES (895,474.86 S.F. ±)
ADAMS ROAD R.O.W.	0.48 ACRES (20,820.02 S.F. ±)	0.87 ACRES (3,114.17 S.F. ±)	0.37 ACRES (15,940.60 S.F. ±)	0.92 ACRES (39,874.79 S.F. ±)
NET SITE AREA	3.00 ACRES (130,597.2 S.F. ±)	9.25 ACRES (403,236.85 S.F. ±)	7.39 ACRES (321,766.02 S.F. ±)	19.64 ACRES (855,600.07 S.F. ±)
EXISTING ZONING	SP SPECIAL PURPOSE	SP SPECIAL PURPOSE	SP SPECIAL PURPOSE	SP SPECIAL PURPOSE
DENSITY				
ALLOWABLE CONVALESCENT HOME = 800 S.F. OF LAND AREA / BED	PROPOSED 71 BEDS = 1,839.40 SF / BED	EXISTING N/A	EXISTING 84 BEDS = 3,830.55 SF / BED	EXISTING & PROPOSED 155 BEDS = 2,918.47 SF / BED
LOW RISE ELDERLY HOUSING = 1,000 S.F. OF LAND AREA / DWELLING UNIT (D.U.)	N/A	136 D.U. = 2,964.98 SF / D.U.	N/A	136 D.U. = 2,964.98 SF / D.U.
PARKING CONVALESCENT HOME ONE (1) SPACE FOR EACH TWO (2) BEDS	REQUIRED 36 SPACES	PROVIDED 42 SPACES	REQUIRED N/A	PROVIDED 42 SPACES
LOW RISE ELDERLY HOUSING ONE (1) SPACE FOR EACH DWELLING UNIT	N/A	N/A	REQUIRED 42 SPACES	PROVIDED 58 SPACES
	N/A (INCLUDING 4 B.F.)	136 SPACES (INCLUDING 6 B.F.)	N/A (INCLUDING 6 B.F.)	136 SPACES (INCLUDING 16 B.F.)
<b>BUILDING DATA</b>				
PROPOSED BUILDING #10		EXISTING BUILDING AREA	EXISTING BUILDING AREA	
TERRACE LEVEL (13 BEDS)	22,741.9 S.F.	BUILDING #1	5,821 S.F.	"STONE" BUILDING #8
MAIN LEVEL (22 BEDS)	29,180.4 S.F.	BUILDING #2	5,821 S.F.	"TERRACE" BUILDING #9
UPPER LEVEL (26 BEDS)	18,606.9 S.F.	BUILDING #3	5,824 S.F.	46,853 S.F.
		BUILDING #4	36,606 S.F.	23,681 S.F.
		BUILDING #5	36,606 S.F.	
		BUILDING #6	36,606 S.F.	
		BUILDING #7	8,966 S.F.	
			136,250 S.F.	TOTAL BUILDING AREA
ANCILLARY FACILITIES = 135 S.F. / D.U. = COMMON FACILITIES = 35 S.F. / D.U. =	REQUIRED 9,585 S.F.	PROVIDED 5,835 S.F.	REQUIRED 11,340 S.F.	PROVIDED >11,340 S.F.
	2,485 S.F.	18,285 S.F.	4,760 S.F.	2,940 S.F.
MAXIMUM HEIGHT OF STRUCTURES	ALLOWABLE 30 FEET	PROPOSED 42 FEET 5 INCHES	ALLOWABLE 3 STORIES	EXISTING 3 STORIES
	2 STORIES	WITHOUT TERRACE LEVEL	EXISTING 2 STORIES	EXISTING 2 STORIES
<b>UNIT / BED MIX / COUNT DATA</b>				
PROPOSED BUILDING #10		EXISTING UNIT COUNT	EXISTING BED COUNT	
STUDIOS (450 S.F.) 28	BEDS	BUILDING #1	7 UNITS	"STONE" BUILDING #8
ONE-BEDROOM (610 S.F.) 43	BEDS	BUILDING #2	8 UNITS	"TERRACE" BUILDING #9
		BUILDING #3	8 UNITS	56 BEDS
		BUILDING #4	34 UNITS	28 BEDS
		BUILDING #5	36 UNITS	
		BUILDING #6	34 UNITS	
		BUILDING #7	9 UNITS	
			136 UNITS	TOTAL UNIT / BED COUNT
				139 UNITS / BEDS
<b>CODE DATA</b>				
BUILDING CODE	2003 MICHIGAN BUILDING CODE			
MBC2003 CONSTRUCTION TYPE	IIA			
NFP226 CONSTRUCTION TYPE	H(111)			
USE GROUP	I-1			

DATE	ISSUE
9.27.07	CONCEPT PLAN MEETING
11.12.07	FIRE DEPARTMENT REVIEW
12.14.07	PLANNING COMMISSION
1.18.08	SITE PLAN REVIEW
2.22.08	REV. SITE PLAN REVIEW
3.10.08	OWNER REVIEW
3.24.08	REV. PER REVIEW NO. 1
5.07.08	REV. PER REVIEW NO. 2

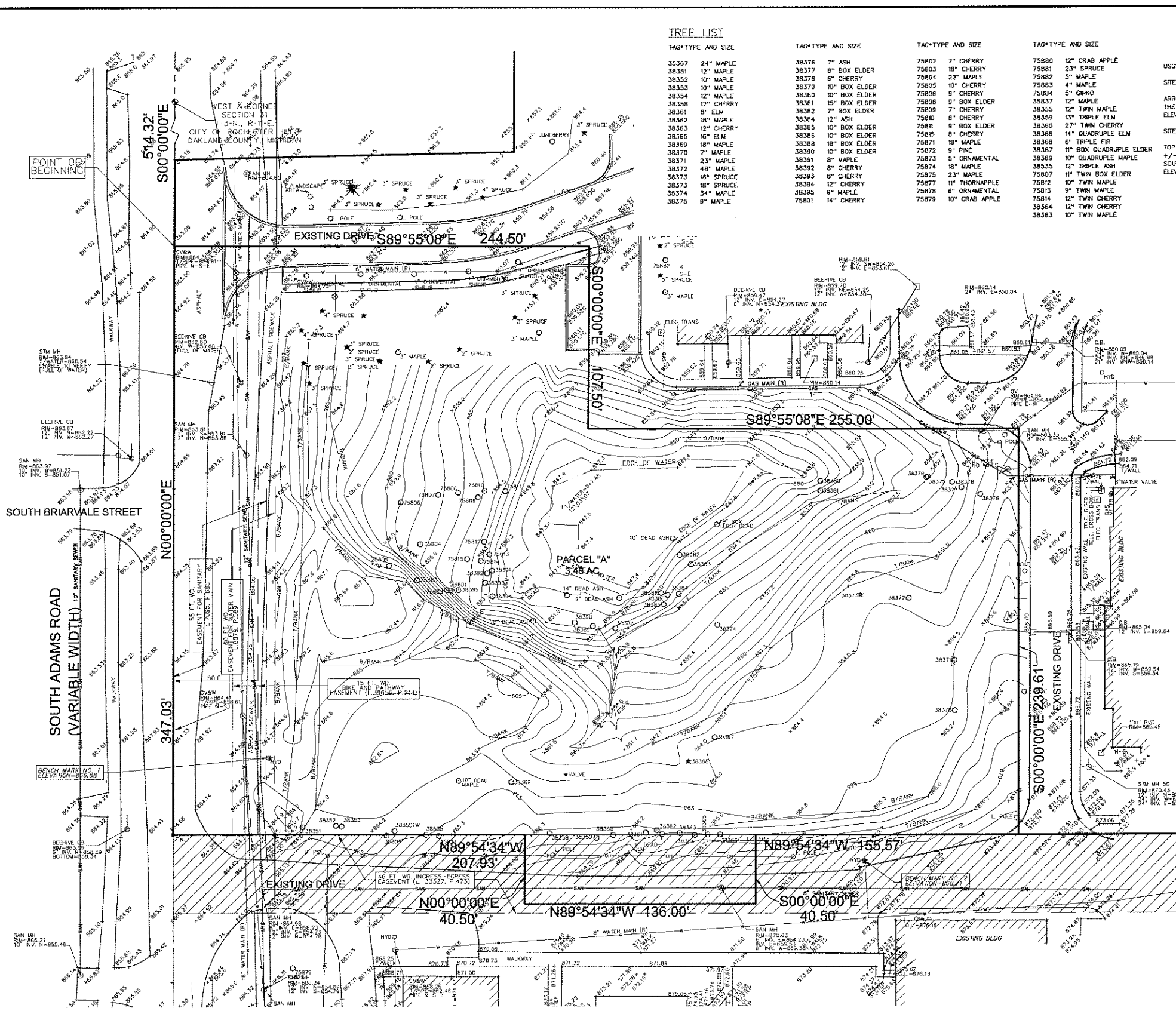


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 ARCHITECTS AND PLANNERS

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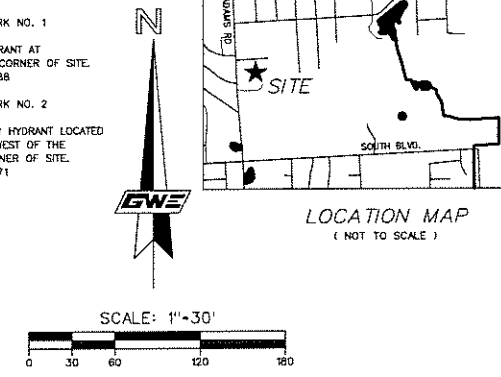




**TREE LIST**

TAG TYPE AND SIZE	TAG TYPE AND SIZE	TAG TYPE AND SIZE	TAG TYPE AND SIZE
35367 24" MAPLE	38376 7" ASH	75802 7" CHERRY	75880 12" CRAB APPLE
38351 12" MAPLE	38377 8" BOX ELDER	75803 18" CHERRY	75881 23" SPRUCE
38352 10" MAPLE	38378 6" CHERRY	75804 22" MAPLE	75882 5" MAPLE
38353 10" MAPLE	38379 10" BOX ELDER	75805 10" CHERRY	75883 4" MAPLE
38354 12" MAPLE	38380 10" BOX ELDER	75806 9" CHERRY	75884 5" CANYO
38358 12" CHERRY	38381 15" BOX ELDER	75808 9" CHERRY	35837 12" MAPLE
38361 8" ELM	38382 7" BOX ELDER	75809 7" CHERRY	38355 12" TWIN MAPLE
38362 18" MAPLE	38384 12" ASH	75810 8" CHERRY	38359 13" TRIPLE ELM
38363 12" CHERRY	38385 10" BOX ELDER	75811 9" BOX ELDER	38360 27" TWIN CHERRY
38365 16" ELM	38388 10" CHERRY	75815 8" CHERRY	38366 14" QUADRUPLE ELM
38369 18" MAPLE	38388 18" BOX ELDER	75817 18" MAPLE	38368 6" TRIPLE FR
38370 7" MAPLE	38389 10" BOX ELDER	75818 9" CHERRY	38367 11" BOX QUADRUPLE ELDER
38371 23" MAPLE	38391 8" MAPLE	75819 9" CHERRY	38369 10" QUADRUPLE MAPLE
38372 48" MAPLE	38392 8" CHERRY	75823 5" ORNAMENTAL	38355 12" TRIPLE ASH
38373 18" MAPLE	38393 8" CHERRY	75825 23" MAPLE	75807 11" TWIN BOX ELDER
38373 18" SPRUCE	38394 12" CHERRY	75827 11" THORNAPPLE	75812 10" TWIN MAPLE
38374 34" MAPLE	38395 9" MAPLE	75828 6" ORNAMENTAL	75813 9" TWIN MAPLE
38375 9" MAPLE	75801 14" CHERRY	75829 10" CRAB APPLE	75814 12" TWIN CHERRY
			38364 12" TWIN CHERRY
			38363 10" TWIN MAPLE

USGS DATUM  
 SITE BENCH MARK NO. 1  
 ARROW ON HYDRANT AT THE SOUTHWEST CORNER OF SITE. ELEVATION=866.88  
 SITE BENCH MARK NO. 2  
 TOP OF NUT ON HYDRANT LOCATED +/-8' SOUTHWEST OF THE SOUTHEAST CORNER OF SITE. ELEVATION=868.71



72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)

PRINCIPAL: KM  
 PROJ. MGR: MK  
 DESIGN: JJ  
 DRAWN: JJ  
 IND. REVIEW: TC  
 SECTION: 31 T-3-N R-11-E

**PROPOSED PARCEL "A"**

COMMENCING AT THE WEST 1/4 CORNER OF SECTION 31, T3N, R11E, CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN; THENCE S00°00'00"E 514.32' FEET ALONG THE WEST LINE OF SAID SECTION 31 AND THE CENTERLINE OF ADAMS ROAD (VARIABLE WIDTH) FOR A PLACE OF BEGINNING; THENCE S89°55'08"E 244.50' FEET; THENCE S00°00'00"E 107.50' FEET; THENCE S89°55'08"E 255.00' FEET; THENCE S00°00'00"E 236.61' FEET; THENCE N89°54'34"W 155.57' FEET; THENCE S00°00'00"E 40.50' FEET; THENCE N89°54'34"W 136.00' FEET; THENCE N00°00'00"E 40.50' FEET; THENCE N89°54'34"W 207.93' FEET; THENCE N00°00'00"E 347.03' FEET ALONG THE WEST LINE OF SAID SECTION 31 AND THE CENTERLINE OF SAID ADAMS ROAD TO THE PLACE OF BEGINNING, CONTAINING 3.48 ACRES OF LAND, MORE OR LESS, BEING SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE WESTERLY 60 FEET THERE OF AS OCCUPIED BY SAID ADAMS ROAD, BEING A PART OF THE SOUTHWEST 1/4 OF SAID SECTION 31, AND BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY, CONTAINING 3.48 ACRES.

(PER TITLE COMMITMENT NO. F-266459-0, PREPARED BY LAWYERS TITLE INSURANCE CORPORATION, DATED NOVEMBER 8, 2001.)  
 - SUBJECT TO BUILDING AND USE RESTRICTIONS AS RECORDED IN LIBER 3147, PAGE 534, OAKLAND COUNTY RECORDS.  
 - SUBJECT TO AN EASEMENT FOR WATER MAIN OVER THE WEST 60 FEET OF SUBJECT LAND IN FAVOR OF CITY OF ROCHESTER HILLS RECORDED IN LIBER 8879, PAGE 589, OAKLAND COUNTY RECORDS.  
 - SUBJECT TO AN EASEMENT FOR SANITARY SEWER SYSTEM ACROSS AND THROUGH THE WEST 55 FEET OF SUBJECT LAND IN FAVOR OF THE COUNTY OF OAKLAND AS RECORDED IN LIBER 7095, PAGE 885, OAKLAND COUNTY RECORDS.

**NOTES:**  
 - THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH TITLE COMMITMENT NO. F-266459-0, PREPARED BY LAWYERS TITLE INSURANCE CORPORATION, DATED NOVEMBER 8, 2001.  
 - TELEPHONE, ELECTRIC, CABLE TV, PUBLIC LIGHTING, WATER, SEWER UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.  
 - THIS PARCEL IS NOT LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA IN ACCORDANCE WITH THE FEDERAL INSURANCE RATE MAP NUMBER 26125C0399F, EFFECTIVE DATE OF SEPTEMBER 28, 2006.  
 - TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.  
 - MINOR CHANGES PENDING UPON FIELD CREW REVIEW.  
 - UPDATES WILL BE MADE TO THE UTILITY LINE LOCATIONS UPON THE RECEIPT OF REQUEST UTILITY MAPS.  
 - NO CERTIFICATION CAN BE MADE AS TO LIMITS OF OWNERSHIP.

**UTILITY STATEMENT**  
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.  
 (R) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD LOCATED WHERE POSSIBLE.  
 PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

**LEGEND - EXISTING**

E/ PAVEMENT	OVERHANG LINE	UG CABLE TV LINE	HYDRANT	DAWVERT E.S.	WETLAND FLAG	MISC. TOPO. SHOT	A.C.	AIR CONDITIONER
CURB	T/ BANK	PAINT STRIPE	4" WATER VALVE	ROOF/DOWN SPOUT	BUSH/SHRUB	SURVEY CONTROL POINT	G.P.	GUARD POST
E/ GRAVEL	B/ BANK	COMMONED SEWER	6" WATER VALVE	OVERFLOW/OUTLET STRUCTURE	PARKING METER	FOUND IRON	C.L.F.	CHAIN-LINK FENCE
CL ROAD	CL DITCH/STREAM	PLUS LINE	8" WATER VALVE	STORM CLEAN OUT	RESIDENTIAL MAILBOX	FOUND NAIL	D.L.	DOOR LEDGE
E/ WALK	SPRINK LINE	STEAM LINE	WATER METER	ROUND OB	U.S. MAILBOX	F. CUT CROSS	F.F.	FINISHED FLOOR
RAILROAD	TREE LINE	SECTION LINE	POST INDICATOR VALVE	UTILITY POLE	SECTION CROSS	F. H. CROSS	D.H.	DIVERSHANG
E/ BRICK	WETLAND LINE	ELECTRIC OVERHEAD	WELL HEAD	ELEC. TRANS.	000.00 + 0.00 EXISTING ELEVATION	FOUND IRON	F.I.	FOUND IRON
MISC. LINE	FENCE	TELEPHONE OVERHEAD	FDC CONNECTION	IRRIGATION CONTROL BOX	CONIFEROUS TREE	MONITORING WELL	S.I.	SET IRON
WALL	SAN. LINE	SAN. MH	STORM MH	CATCH BASIN	UTILITY FLAG	LAWN IRRIG. HEAD	F.I.P.	FOUND IRON PIPE
BLDG. LINE	WATER LINE	SAN. CLEAN OUT	WATER METER		TELE. CROSS BOX	FOUND PIPE	M.	MEASURED
OVERHEAD WIRES	UG ELEC. LINE	SAN. RISER			CABLE RISER	FOUND MON.	R.	RECORD
						ASPH.	F.M.	FOUND MONUMENT
							S.N.	SET NAIL

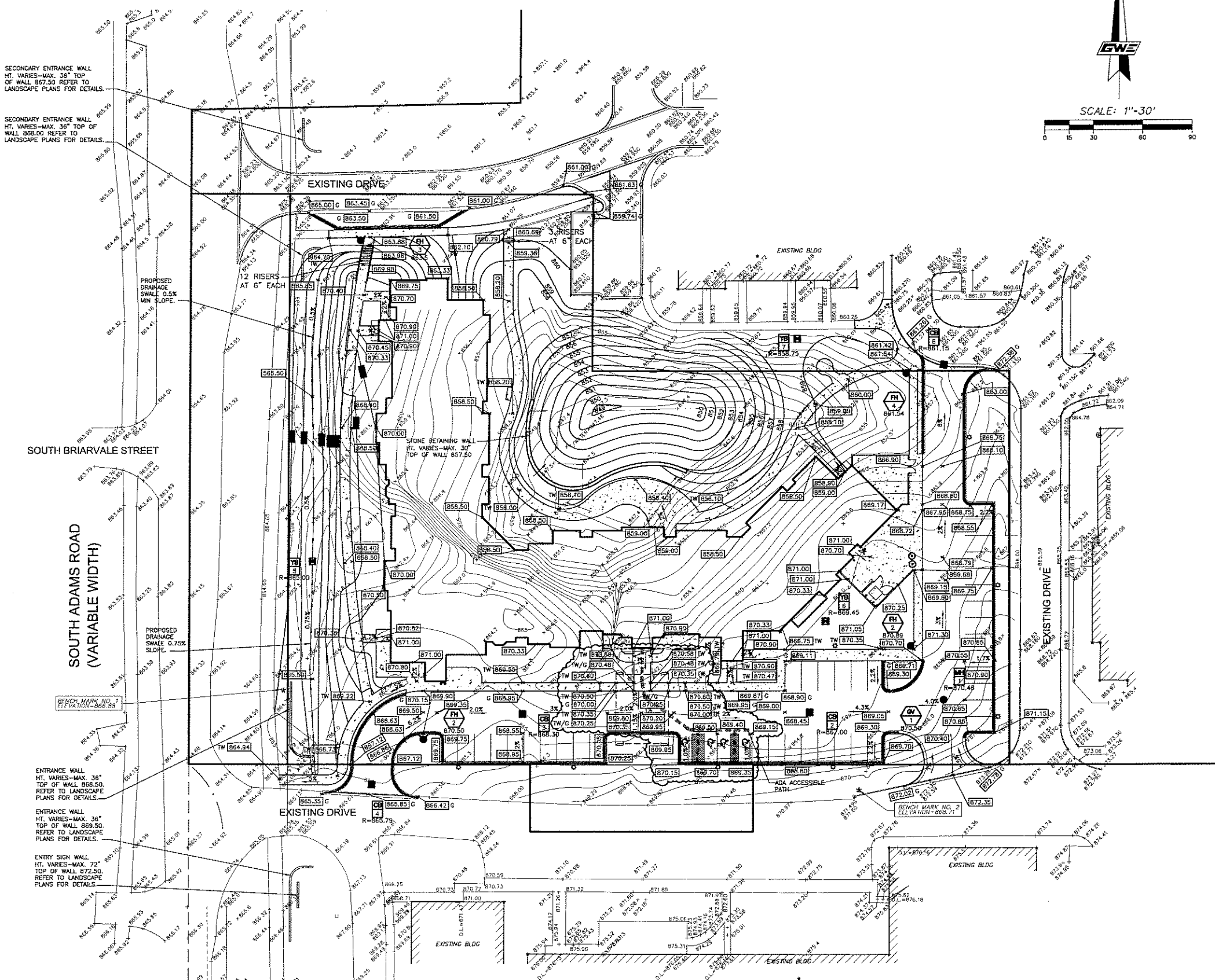
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 SHEET: C200  
 JOB: 1756800

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SECONDARY ENTRANCE WALL  
HT. VARIES-MAX. 36" TOP  
OF WALL 867.50 REFER TO  
LANDSCAPE PLANS FOR DETAILS.

SECONDARY ENTRANCE WALL  
HT. VARIES-MAX. 36" TOP OF  
WALL 868.00 REFER TO  
LANDSCAPE PLANS FOR DETAILS.

SOUTH BRIARVALE STREET

SOUTH ADAMS ROAD  
(VARIABLE WIDTH)

PROPOSED DRAINAGE  
SWALE 0.5%  
MIN SLOPE

PROPOSED DRAINAGE  
SWALE 0.75%  
SLOPE

ENTRANCE WALL  
HT. VARIES-MAX. 36"  
TOP OF WALL 868.50.  
REFER TO LANDSCAPE  
PLANS FOR DETAILS.

ENTRANCE WALL  
HT. VARIES-MAX. 36"  
TOP OF WALL 869.50.  
REFER TO LANDSCAPE  
PLANS FOR DETAILS.

ENTRY SIGN WALL  
HT. VARIES-MAX. 72"  
TOP OF WALL 872.50.  
REFER TO LANDSCAPE  
PLANS FOR DETAILS.

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SCALE: 1"=30'



DATE	DESCRIPTION
02.12.08	SITE PLAN REVIEW
02.20.08	REV. PER REVIEW NO. 1
05.07.08	REV. PER REVIEW NO. 2

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SECTION: 31 T-3-N R-11-E

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AMERICAN HOUSE VILLAGE  
OF ROCHESTER HILLS, LLC  
8756 TELEGRAPH ROAD, SUITE 330  
BLOOMFIELD HILLS, MICHIGAN 48304  
(248) 253-1800

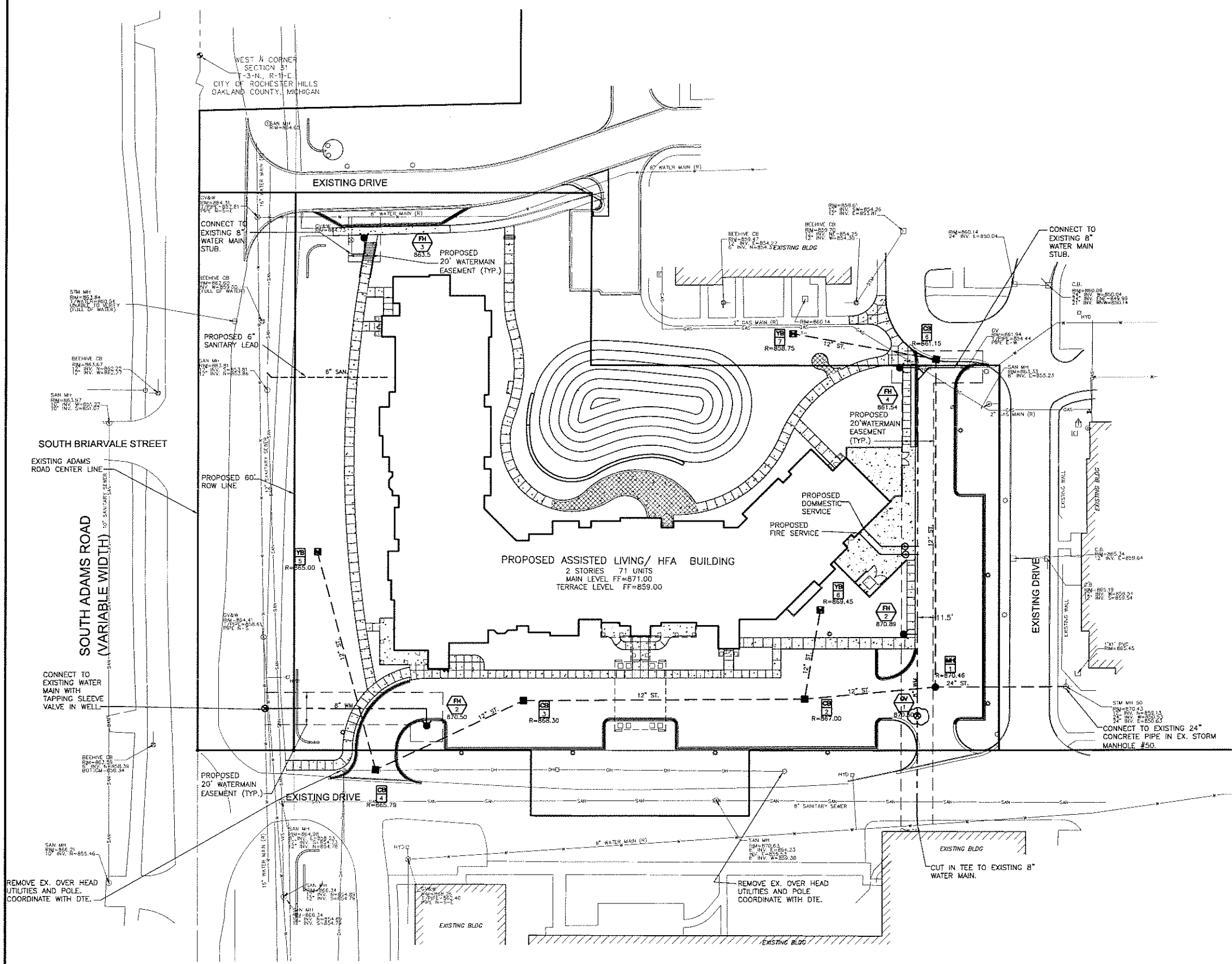
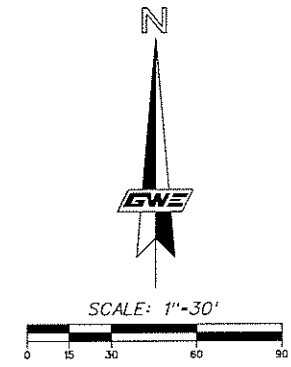
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www.giffelswebster.com

SHEET TITLE:  
**GRADING PLAN**  
AMERICAN HOUSE  
CITY OF ROCHESTER HILLS  
OAKLAND COUNTY, MI

DATE: 02.15.08  
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CITY FILE #99-007.4



SOUTH BRIARVALE STREET  
EXISTING ADAMS ROAD CENTER LINE  
SOUTH ADAMS ROAD (VARIABLE WIDTH) 10' SANITARY SEWER

WEST 1/4 CORNER SECTION 37  
-3-N, R-11-E  
CITY OF ROCHESTER HILLS  
OAKLAND COUNTY, MICHIGAN

PROPOSED ASSISTED LIVING/ HFA BUILDING  
2 STORIES 71 UNITS  
MAIN LEVEL FF=871.00  
TERRACE LEVEL FF=859.00

**SANITARY BASIS OF DESIGN**  
 NUMBER OF UNITS = 71 UNITS  
 NUMBER OF PEOPLE PER UNIT = 1 PERSON/UNIT  
 POPULATION BASIS = 1 PEOPLE/UNIT X 71 UNITS = 71 PEOPLE  
 NUMBER OF EMPLOYEES = 20 PEOPLE  
 AVERAGE DAILY FLOW = 100 GPD/PEOPLE X 91 PEOPLE = 9,100 GPD  
 PEAKING FACTOR =  $(18 + \sqrt{.091}) / (4 + \sqrt{.091})$   
 = 4.25  
 PEAK HOURLY FLOW = 4.25 X (9,100 GPD)  
 = 0.06 CFS (1440 MIN/DAY)(448.6 GPM/CFS)  
 LEAD CAPACITY  
 MAXIMUM CAPACITY OF 6" PIPE @ 1.0% = 0.56 CFS  
 EXISTING SANITARY SEWER CAPACITY

DATE	DESCRIPTION
01.21.08	SITE PLAN REVIEW
03.26.08	REV. PER REV. NO. 1
05.07.08	REV. PER REV. NO. 2

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 IND. REVIEW: TC  
 SECTION: 31 T-3-N R-11-E

PROFESSIONAL SEAL  
 DEVELOPED FOR:  
 AMERICAN HOUSE VILLAGE  
 OF ROCHESTER HILLS, LLC  
 6755 TELEGRAPH ROAD, SUITE 330  
 BLOOMFIELD HILLS, MICHIGAN 48304  
 (248) 203-1000

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**Giffels-Webster**  
**Engineers, Inc.**  
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 PLANNERS - LANDSCAPE ARCHITECTS  
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 6301 26 MILE ROAD, SUITE 100  
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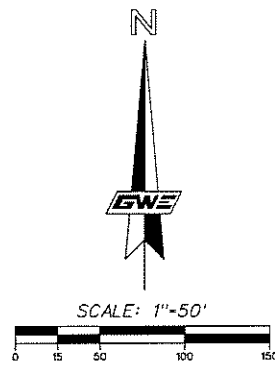
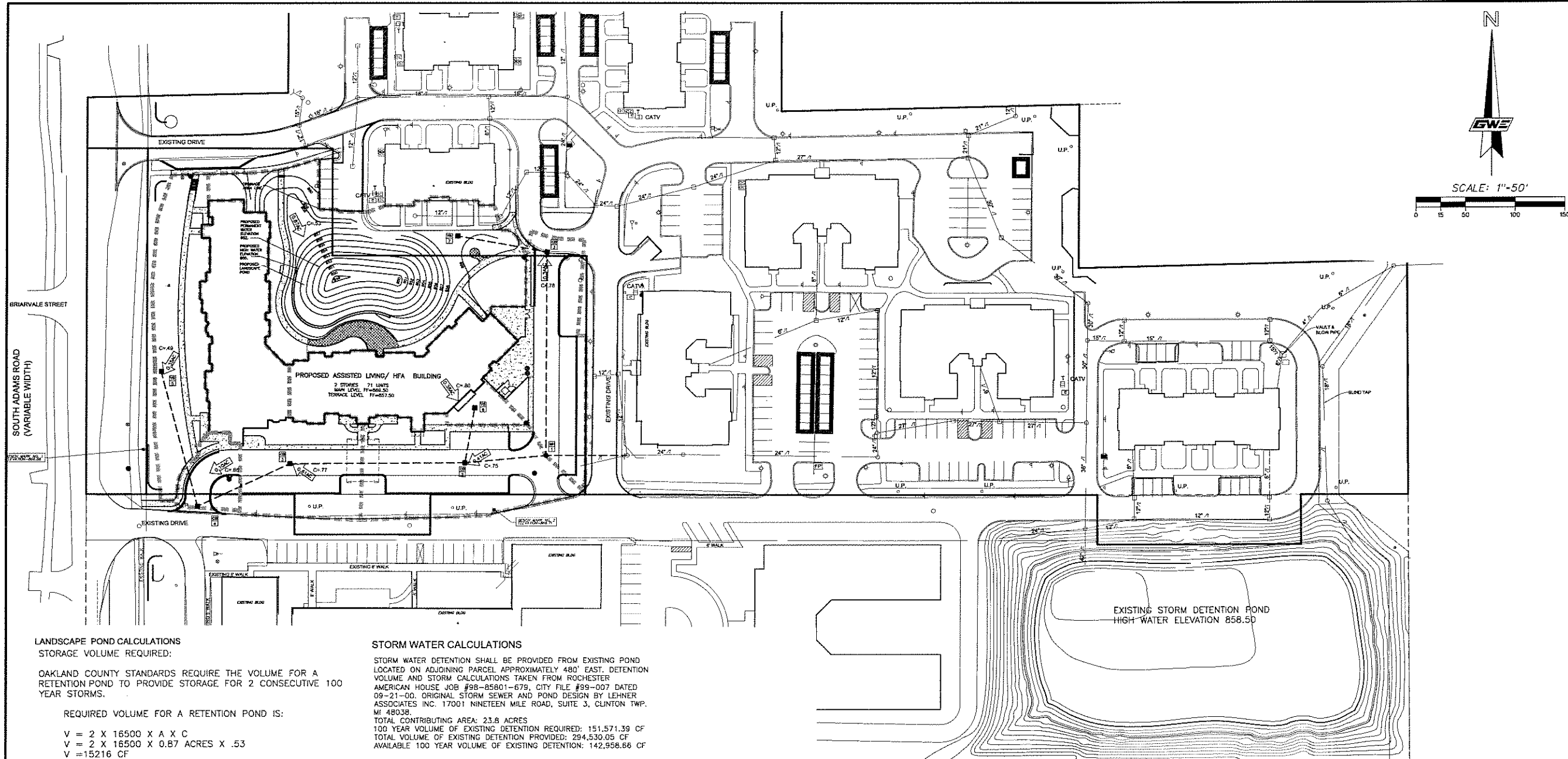
SHEET TITLE:  
**UTILITY PLAN**  
 AMERICAN HOUSE  
 CITY OF ROCHESTER HILLS  
 OAKLAND COUNTY, MI

DATE: 02.15.08  
 SCALE: 1"=30'  
 SHEET: C500  
 JOB: 1756800

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 SECTION: 31 T-3-N R-11-E

PROFESSIONAL SEAL

DEVELOPED FOR:  
**AMERICAN HOUSE VILLAGE OF ROCHESTER HILLS, LLC**  
 6756 TELEGRAPH ROAD, SUITE 330  
 BLOOMFIELD HILLS, MICHIGAN 48304  
 (248) 263-1800

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 4350 S.W. MILES ROAD, SUITE 100  
 WASHINGTON TOWNSHIP, MI 48394  
 PHONE (586) 781-8950  
 FAX (586) 781-8951  
 E-MAIL info@giffelswebster.com  
 www.giffelswebster.com

SHEET TITLE:  
**DRAINAGE AREA PLAN**  
 AMERICAN HOUSE  
 CITY OF ROCHESTER HILLS  
 OAKLAND COUNTY, MI

DATE: 02.15.08  
 SCALE: 1"=50'  
 SHEET: C600  
 JOB: 1756800

**LANDSCAPE POND CALCULATIONS**  
 STORAGE VOLUME REQUIRED:  
 OAKLAND COUNTY STANDARDS REQUIRE THE VOLUME FOR A RETENTION POND TO PROVIDE STORAGE FOR 2 CONSECUTIVE 100 YEAR STORMS.  
 REQUIRED VOLUME FOR A RETENTION POND IS:  
 $V = 2 \times 16500 \times A \times C$   
 $V = 2 \times 16500 \times 0.87 \text{ ACRES} \times .53$   
 $V = 15216 \text{ CF}$   
 STORAGE VOLUME PROVIDED:  
 USING 855 AS A HIGH WATER ELEVATION  
 $V = 18969 \text{ CF}$

**STORM WATER CALCULATIONS**  
 STORM WATER DETENTION SHALL BE PROVIDED FROM EXISTING POND LOCATED ON ADJOINING PARCEL APPROXIMATELY 480' EAST. DETENTION VOLUME AND STORM CALCULATIONS TAKEN FROM ROCHESTER AMERICAN HOUSE JOB #88-85801-679, CITY FILE #99-007 DATED 09-21-00. ORIGINAL STORM SEWER AND POND DESIGN BY LEHNER ASSOCIATES INC. 17001 NINETEEN MILE ROAD, SUITE 3, CLINTON TWP. MI 48038.  
 TOTAL CONTRIBUTING AREA: 23.8 ACRES  
 100 YEAR VOLUME OF EXISTING DETENTION REQUIRED: 151,571.39 CF  
 TOTAL VOLUME OF EXISTING DETENTION PROVIDED: 294,530.05 CF  
 AVAILABLE 100 YEAR VOLUME OF EXISTING DETENTION: 142,958.66 CF

**DRAINAGE CALCULATIONS:**  
 $C_{DRAINAGE} = .73$   
 PROPOSED DRAINAGE AREA = 2.19 ACRES  
 RAINFALL INTENSITY AT EXISTING STRUCTURE = 4.0 in/hr  
 $Q = CIA = .73 \times 4.0 \text{ in/hr} \times 2.19 \text{ ACRES} = 6.3 \text{ cfs}$   
 FLOW ALLOWED IN STRUCTURE 16 FROM ORIGINAL STORM SEWER DESIGN:  
 $C_{ESTIMATED} = .56$   
 ORIGINAL CONTRIBUTING AREA = 3.8 ACRES  
 RAINFALL INTENSITY AT EXISTING STRUCTURE = 4.0 in/hr  
 $Q = CIA = .56 \times 4.0 \text{ in/hr} \times 3.8 \text{ ACRES} = 8.51 \text{ cfs}$   
 6.3 cfs < 8.51 cfs OK

CURRENTLY THE EXISTING FLOW TO THE 24" CONCRETE PIPE LOCATED IN THE EXISTING STRUCTURE AS DESIGNED ON THE ABOVE REFERENCED PROJECT IS 0.22 cfs. CAPACITY OF THE 24" AT 0.15% IS 8.76 cfs. THERE IS AN EXCESS CAPACITY IN THE PIPE OF 8.54 cfs. THE ORIGINAL 10 YEAR FLOW INCLUDING THE PROPOSED IS 8.51 cfs WHICH IS GREATER THAN THE PROPOSED DESIGN OF 6.30 cfs.

STORAGE

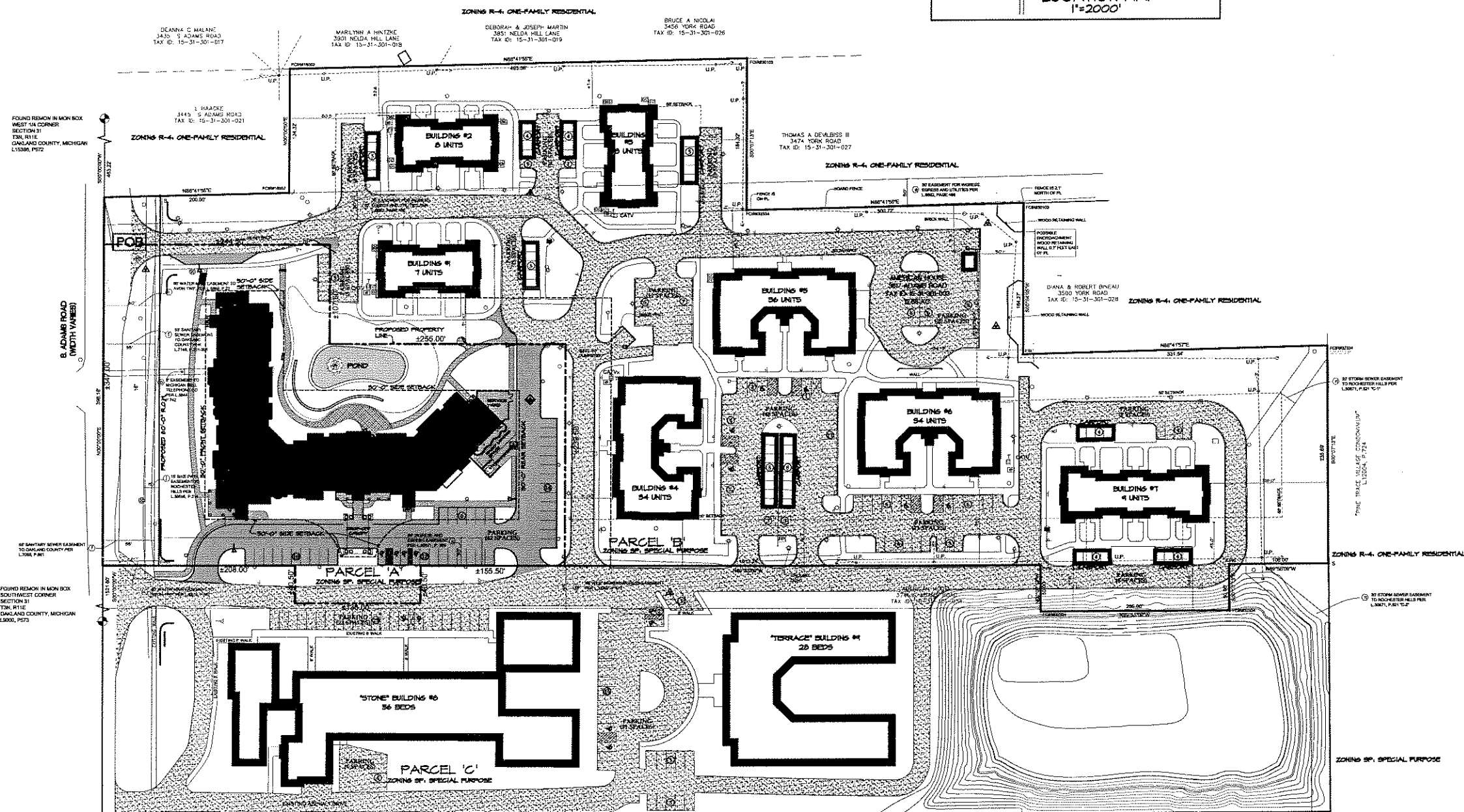
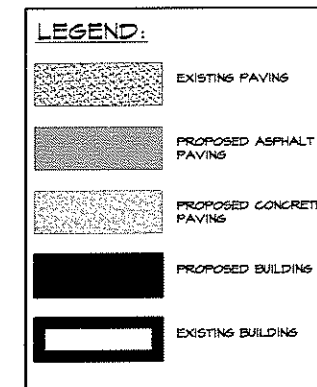
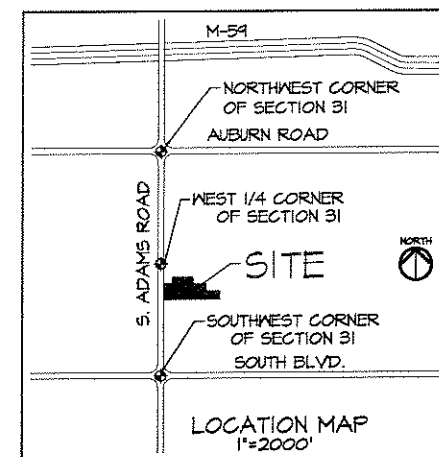
PERMANENT POOL ELEVATION 852

ELEVATION ft.	AREA sf.	STORAGE cf.	CUMULATIVE STORAGE
855	9355	8281	18969
854	7206	6247	10689
853	5288	4442	4442
852	3595	2862	
851	2129	1519	
850	909	485	
849	60		

NOT TO BE USED FOR CONSTRUCTION

CITY FILE #99-007.4

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**OVERALL CAMPUS PLAN**  
SCALE: 1" = 60'-0"

**American House**  
Senior Living Residences  
MICHIGAN  
ROCHESTER HILLS

5.07.08	REV. PER REVIEW NO. 2
3.24.08	REV. PER REVIEW NO. 1
3.10.08	OWNER REVIEW
2.22.08	REV. SITE PLAN REVIEW
10.08	SITE PLAN REVIEW
12.14.07	PLANNING COMMISSION
12.07	FIRE DEPARTMENT REVIEW
9.27.07	CONCEPT PLAN INTG ISSUE
	DATE

KEY PLAN

DRAWING TITLE  
OVERALL CAMPUS PLAN

DRAWING NUMBER

**L100**

NOT TO BE USED FOR CONSTRUCTION DRAWINGS

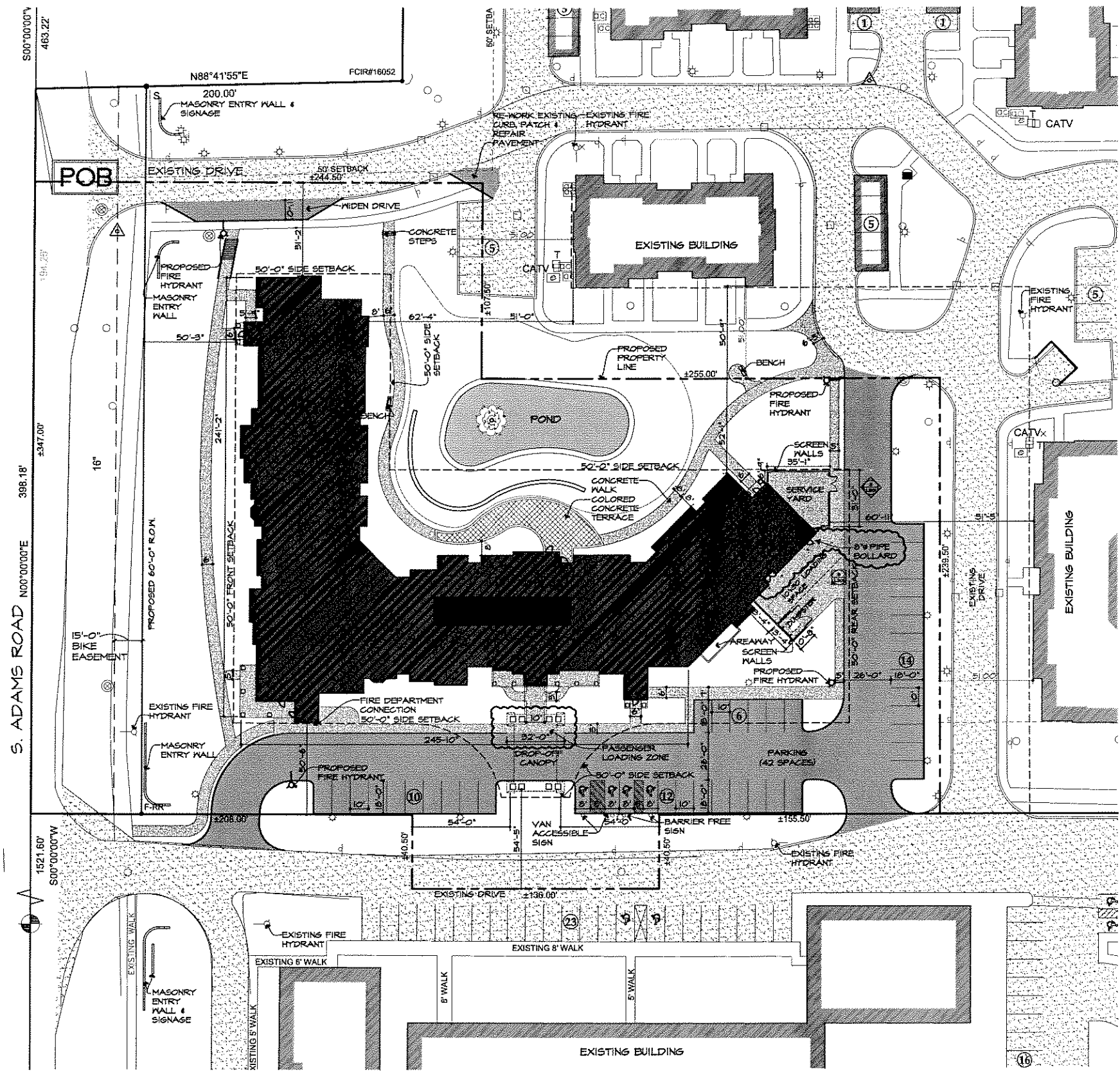


5.01.08	REV. PER REVIEW NO. 2
3.24.08	REV. PER REVIEW NO. 1
3.10.08	OWNER REVIEW
2.21.08	REV. SITE PLAN REVIEW
10.08	SITE PLAN REVIEW
03.07	PLANNING COMMISSION
12.07	FIRE DEPARTMENT REVIEW
12.07	CONCEPT PLAN MTG
DATE	ISSUE

KEY PLAN

DRAWING TITLE  
PROPOSED ARCHITECTURAL SITE PLAN

DRAWING NUMBER  
L101



**LEGEND:**

[Pattern]	EXISTING PAVING
[Pattern]	PROPOSED ASPHALT PAVING
[Pattern]	PROPOSED CONCRETE PAVING
[Pattern]	PROPOSED BUILDING
[Pattern]	EXISTING BUILDINGS

**CODE DATA**

<b>BUILDING CODE:</b> MBC2008 CONSTRUCTION TYPE: IIA NFPA220 CONSTRUCTION TYPE: I(II) CLASSIFICATION: USE GROUP:	MICHIGAN BUILDING CODE, 2008 IIA NFPA 220 CONSTRUCTION TYPE: I(II) SINGLE OCCUPANCY WITH A-B; ASSEMBLY ACCESSORY USE AREAS
<b>PLUMBING CODE:</b>	MICHIGAN PLUMBING CODE, 2006
<b>MECHANICAL CODE:</b>	MICHIGAN MECHANICAL CODE, 2006
<b>ELECTRICAL CODE:</b>	2005 NATIONAL ELECTRICAL CODE WITH MICHIGAN AMENDMENTS
<b>FIRE SUPPRESSION:</b>	NFPA 13 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS NFPA 14 STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS AUTOMATIC SUPPRESSION SYSTEM PER NFPA 13 THROUGHOUT BUILDING PROVIDE CLASS III AUTOMATIC WET STANDPIPE SYSTEM PER NFPA 14 INSTALL A "KNOX" KEY SYSTEM IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL, ORDERING INFORMATION IS AVAILABLE FROM THE FIRE DEPARTMENT
<b>SMOKE MANAGEMENT SYSTEM:</b>	NFPA 12B STANDARD FOR SMOKE MANAGEMENT SYSTEMS IN MALLS, ATRIA, AND LARGE SPACES
<b>ACCESSIBILITY:</b>	ICC/ANSI A117.1-1998
<b>MICHIGAN BUREAU OF FIRE SERVICES:</b>	LIFE SAFETY CODE NFPA 101, 2000 CHAPTER 18 NEM HEALTH CARE OCCUPANCIES
<b>MICHIGAN BUREAU OF HEALTH SYSTEMS:</b>	LICENSING RULES FOR HOMES FOR THE AGED, 2004
<b>TOTAL FLOOR AREA (ALL STORIES):</b>	80524.2 S.F.

**FIRE DEPARTMENT NOTES**

CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14

OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. FIRE PREVENTION ORDINANCE CHAPTER 58, SECTION 607.6.2 & 307.6.2.3

FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART, "NO STOPPING, STANDING, PARKING, FIRE LANE", AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

NOT TO BE USED FOR CONSTRUCTION DRAWINGS

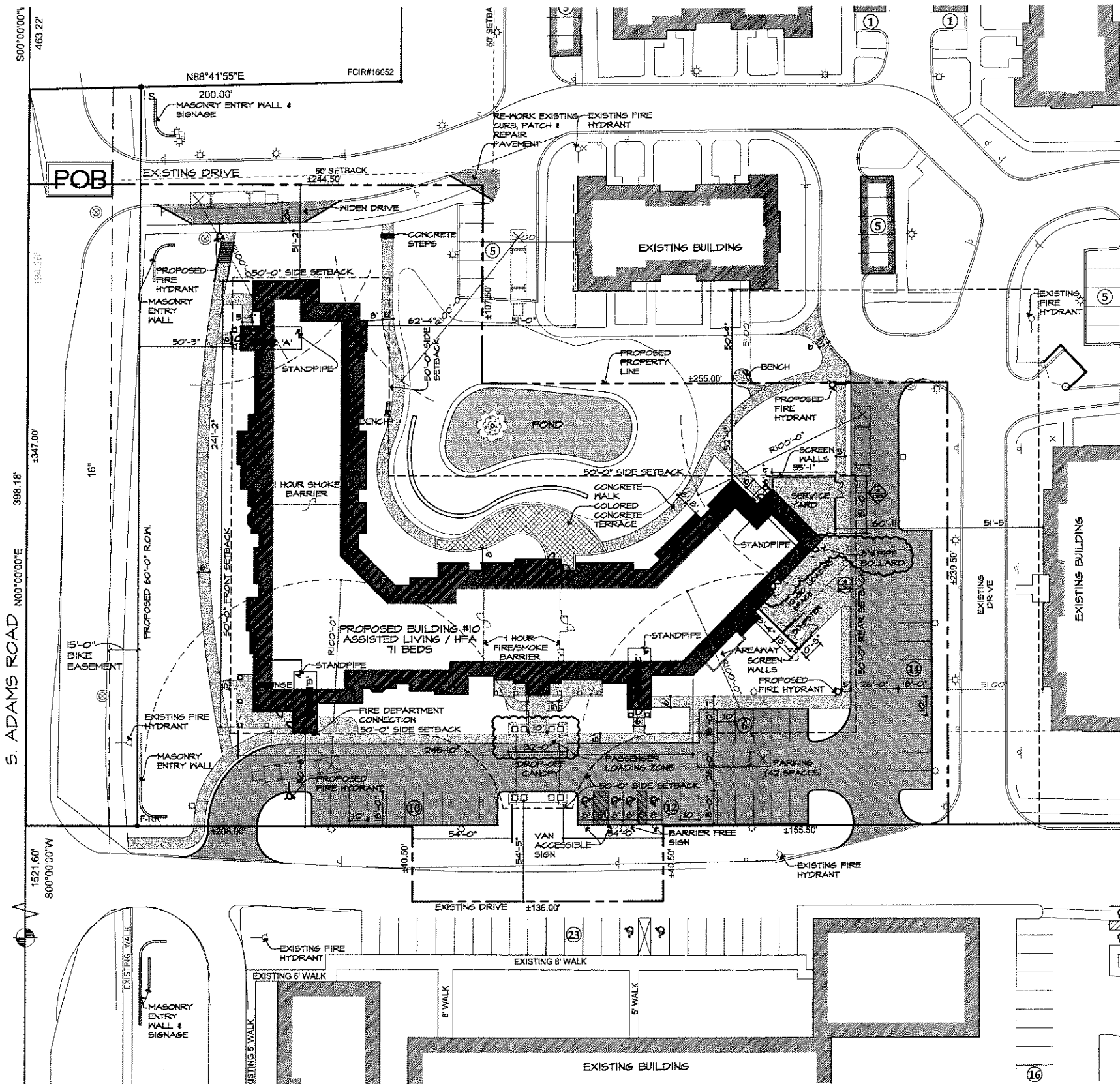
5.07.08	REV. PER REVIEW NO. 2
3.24.08	REV. PER REVIEW NO. 1
3.10.08	OWNER REVIEW
2.22.08	REV. SITE PLAN REVIEW
10.08	SITE PLAN REVIEW
12.14.07	PLANNING COMMISSION
11.07	FIRE DEPARTMENT REVIEW
9.27.07	CONCEPT PLAN MTS
	DATE

KEY PLAN

DRAWING TITLE  
FIRE DEPARTMENT ACCESS PLAN

DRAWING NUMBER

L102



**LEGEND:**

[Pattern]	EXISTING PAVING
[Pattern]	PROPOSED ASPHALT PAVING
[Pattern]	PROPOSED CONCRETE PAVING
[Pattern]	PROPOSED BUILDING
[Pattern]	EXISTING BUILDING

**CODE DATA**

BUILDING CODE:	MICHIGAN BUILDING CODE, 2008
MEG2008 CONSTRUCTION TYPE:	IIA
NFPA220 CONSTRUCTION TYPE:	II(II)
CLASSIFICATION:	SINGLE OCCUPANCY
USE GROUP:	I-1; INSTITUTIONAL WITH A-3; ASSEMBLY ACCESSORY USE AREAS
PLUMBING CODE:	MICHIGAN PLUMBING CODE, 2006
MECHANICAL CODE:	MICHIGAN MECHANICAL CODE, 2006
ELECTRICAL CODE:	2005 NATIONAL ELECTRICAL CODE WITH MICHIGAN AMENDMENTS
FIRE SUPPRESSION:	NFPA 13 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS NFPA 14 STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS AUTOMATIC SUPPRESSION SYSTEM PER NFPA 13 THROUGHOUT BUILDING PROVIDE CLASS III AUTOMATIC WET STANDPIPE SYSTEM PER NFPA 14 INSTALL A "KNOX" KEY SYSTEM IN A LOCATION APPROVED BY THE FIRE CODE OFFICIAL, ORDERING INFORMATION IS AVAILABLE FROM THE FIRE DEPARTMENT
SMOKE MANAGEMENT SYSTEM:	NFPA 42B STANDARD FOR SMOKE MANAGEMENT SYSTEMS IN MALLS, ATRIUMS, AND LARGE SPACES
ACCESSIBILITY:	ICC/ANSI A117.1-1998
MDL65 BUREAU OF FIRE SERVICES:	LIFE SAFETY CODE NFPA 101, 2000 CHAPTER 18 NEM HEALTH CARE OCCUPANCIES
MDCH BUREAU OF HEALTH SYSTEMS:	LICENSING RULES FOR HOMES FOR THE AGED, 2004
TOTAL FLOOR AREA (ALL STORIES):	80524.2 S.F.

**FIRE DEPARTMENT NOTES**

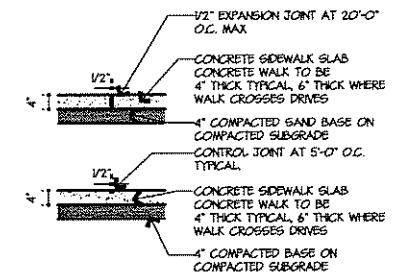
CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14

OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES. CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. FIRE PREVENTION ORDINANCE CHAPTER 50, SECTIONS 507.6.2 & 307.6.2.3

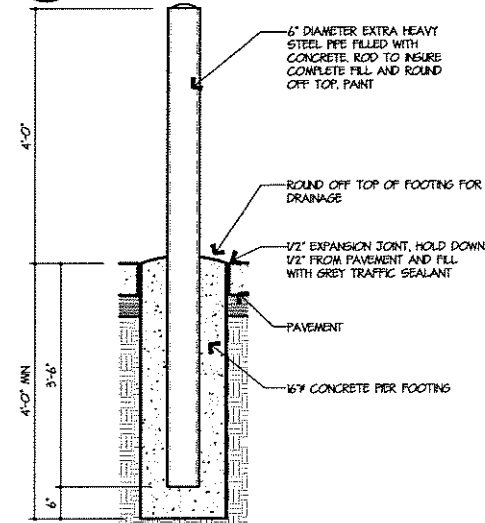
FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART, "NO STOPPING, STANDING, PARKING, FIRE LANE", AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

NORTH  
FIRE DEPARTMENT ACCESS PLAN  
L102 SCALE: 1" = 30'-0"

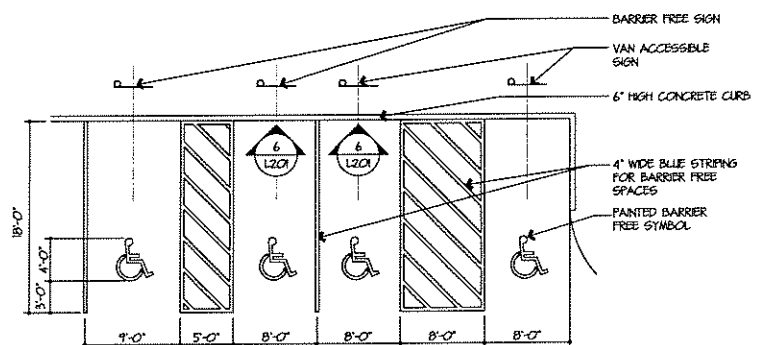
NOT TO BE USED FOR CONSTRUCTION DRAWINGS



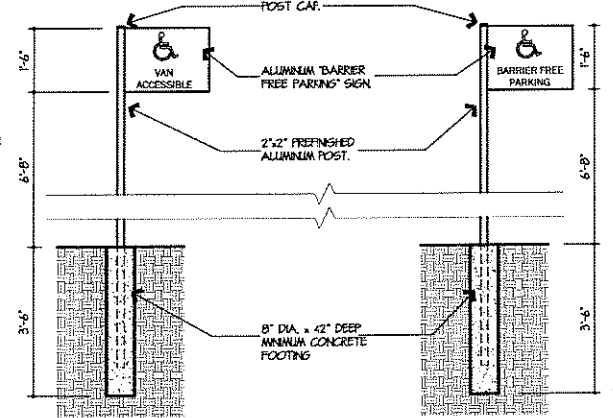
**9 CONC. JOINT DETAILS**  
L201 SCALE: 1/2" = 1'-0"



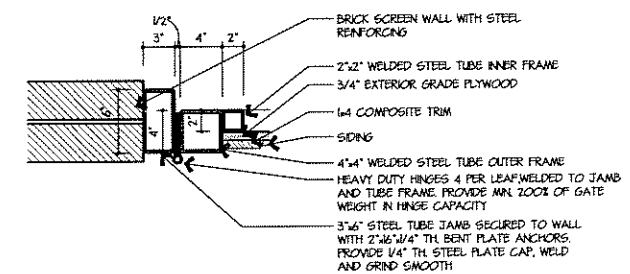
**7 PIPE BOLLARD DETAIL**  
L201 SCALE: 3/4" = 1'-0"



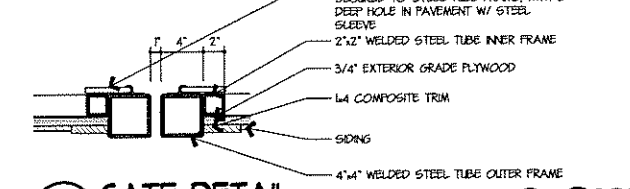
**8 BARRIER FREE PARKING LAYOUT**  
L201 SCALE: 1/8" = 1'-0"



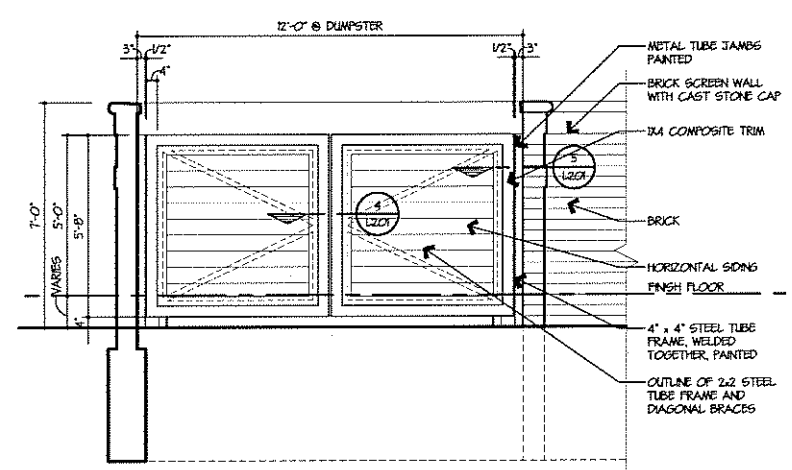
**6 BARRIER FREE PARKING SIGNAGE**  
L201 SCALE: 1/2" = 1'-0"



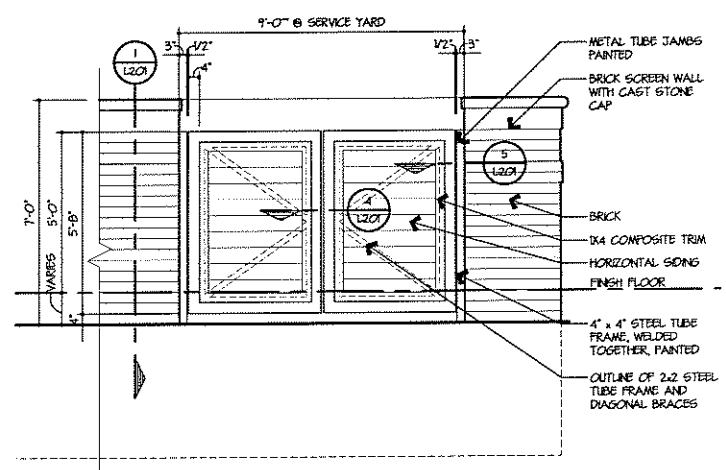
**5 GATE END DETAIL**  
L201 SCALE: 1/2" = 1'-0"



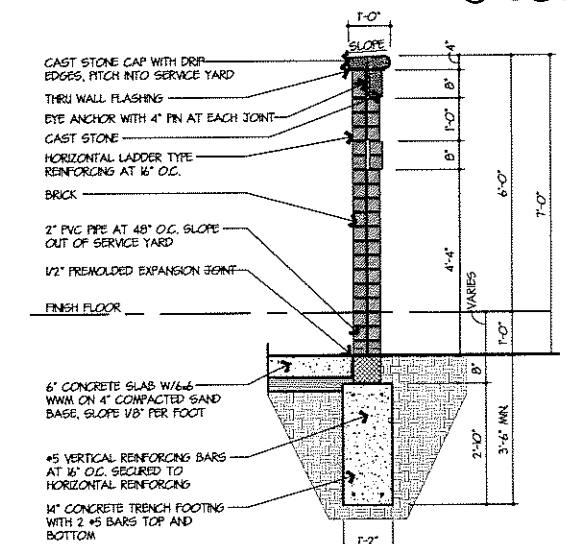
**4 GATE DETAIL**  
L201 SCALE: 1/2" = 1'-0"



**3 DUMPSTER ENCLOSURE GATE ELEVATION**  
L201 SCALE: 3/8" = 1'-0"



**2 SERVICE YARD ENCLOSURE GATE ELEVATION**  
L201 SCALE: 3/8" = 1'-0"



**1 SCREEN WALL SECTION**  
L201 SCALE: 1/2" = 1'-0"

**American House**  
 Senior Living Residences  
 MICHIGAN  
 ROCHESTER HILLS

NO CHANGES MADE

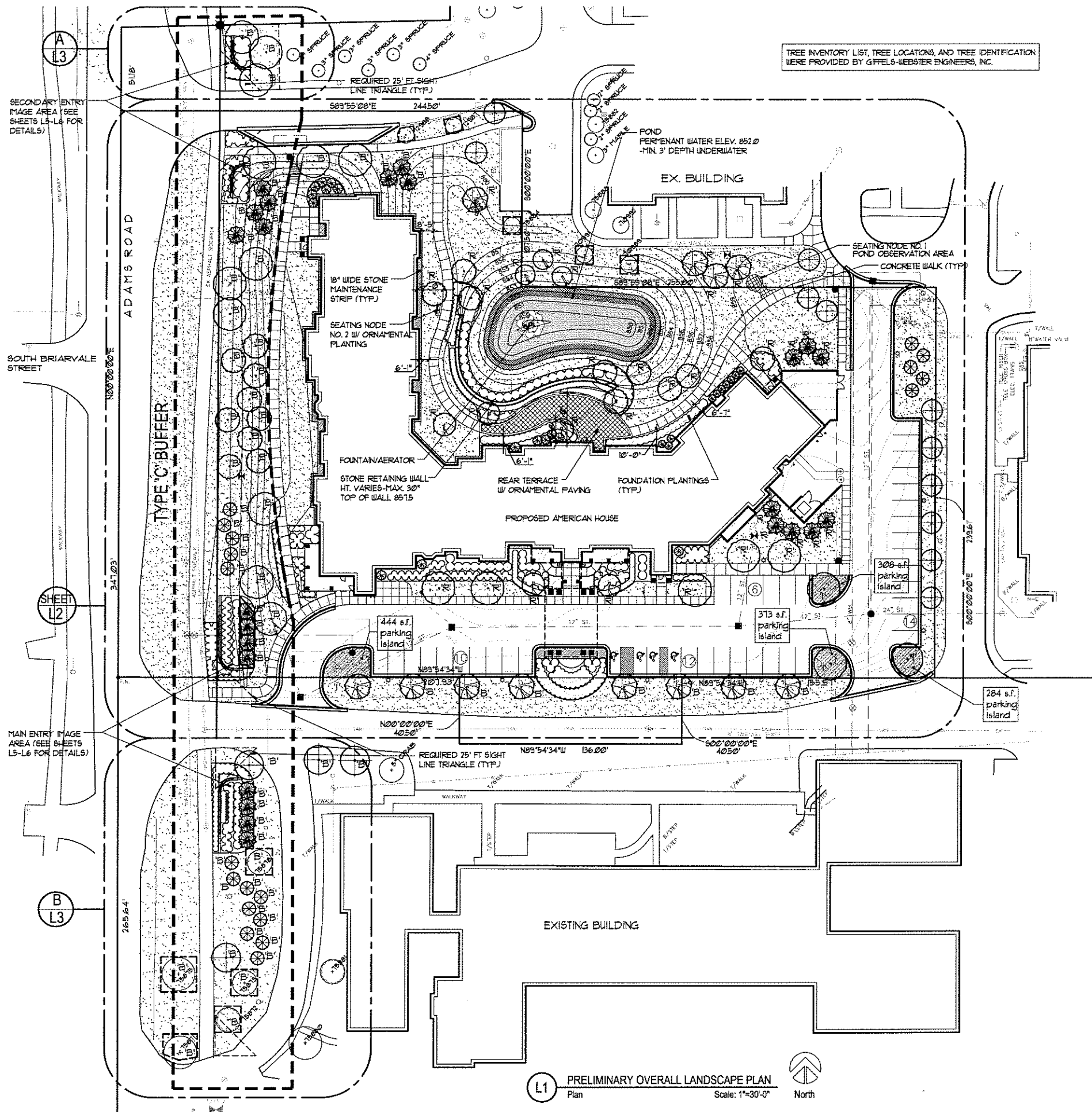
5.07.08	REV. PER REVIEW NO. 2
3.24.08	REV. PER REVIEW NO. 1
3.10.08	OWNER REVIEW
2.22.08	REV. SITE PLAN REVIEW
10.08	SITE PLAN REVIEW
12.1.07	PLANNING COMMISSION
11.21.07	FIRE DEPARTMENT REVIEW
12.1.07	CONCEPT PLAN MTS ISSUE

KEY PLAN

DRAWING TITLE  
LANDSCAPE DETAILS

DRAWING NUMBER

L201



TREE INVENTORY LIST, TREE LOCATIONS, AND TREE IDENTIFICATION WERE PROVIDED BY GIFFELS-WEBSTER ENGINEERS, INC.

LANDSCAPE LEGEND

- | Sym.     | Item/Description  |
|----------|---|
| [Symbol] | SODDED LAWN<br>FINE GRADE, FERTILIZE, AND SOG (CLASS 'A'<br>BLENDED BLUEGRASS) ON A MIN. 3" TOPSOIL |
| [Symbol] | PLANT SYMBOL<br>PLANT QUANTITY  |
| [Symbol] | PLANT LABEL   |
| [Symbol] | Existing Evergreen Tree to be Saved   |
| [Symbol] | Existing Deciduous Tree to be Saved   |
| [Symbol] | PROPOSED PARKING PLANTER<br>ISLAND AREA (4 TOTAL AREAS)   |
| [Symbol] | TRANSPLANTED CANOPY TREE (15 TOTAL)<br>SEE SHEET L4 FOR EX. TREE LOCATION                           |
| [Symbol] | TRANSPLANTED EVERGREEN TREE (15 TOTAL)<br>SEE SHEET L4 FOR EX. TREE LOCATION                        |

LANDSCAPE REQUIREMENTS (General Site)

**Frontage Requirements (Type 'C' Buffer)-labeled 'B' on plan**  
 1 tree per 10' linear feet of frontage  
 663.85 ft frontage / 10' = 66.38 or 67 trees  
 Total trees required - 67  
 Total trees proposed - 67

**Interior Parking Lot Islands**  
 150 sf of parking lot island per 10 parking spaces  
 42 spaces / 10' = 4.2 or 5 parking spaces  
 5 spaces x 150 sf of island = a total 750 sf of island area  
 Total interior landscape required - 750 sf  
 Total interior landscape proposed - 1,409 sf

**Parking Lot Trees (labeled 'I' on plan)**  
 1 tree and 1 planter island per 300 sf of required parking lot island area  
 or 1 tree per each parking island required  
 150 sf / 300 = 2.5 trees or 3 trees-4 islands provided  
 Total trees required - 4 trees  
 Total parking lot trees proposed - 4 trees

**Tree Replacement (labeled 'R' on plan)**  
 1:1 Tree Replacement for all trees 6" DBH or greater (except for dead or Ash trees)  
 Total regulated trees removed = 67  
 Total trees required for replacement = 62 tree credits (min. 6' ht. evergreen or 25" cal. tree)  
 Total trees proposed = 105 tree credits or 34 proposed trees

TREE INVENTORY & ANALYSIS SUMMARY

Item/Description	Total
Total number of trees surveyed (includes all trees planted as part of original development)	129
Minus Ash Trees	-2
Minus any dead trees other than Ash Trees	-14
Minus unregulated trees surveyed (native/natural trees 6" D.B.H. or less)	-2
Minus trees scheduled to be relocated/transplanted	-34
Minus trees located out of development area	-5
<b>Total number of regulated trees onsite</b>	<b>72</b>
Number of regulated trees saved	10
<b>Total number of tree replacement credits required</b>	<b>62 tree credits</b>
<b>Total number of tree replacement credits provided</b>	<b>70.5 tree credits (see charts below for cal.)</b>

(Refer to the tree removal plan for existing tree locations, removals, and transplants-see sheet L4)

CHART OF REPLACEMENT CREDITS

Deciduous Trees		Evergreen Trees	
Caliper Size	Number of Credits	Height	Number of Credits
2"	1	8'	1
2 1/2"	1.5	9'	1.5
3"	2	10'	2
3 1/2"	2.5	11'	2.5
4"	3	12'	3
4 1/2"	3.5	13'	3.5
5"	4	14'	4
Multi-stem 8-10'	1		
Multi-stem 12-14'	1.5		

PROPOSED REPLACEMENT TREE CREDITS

Qty.	Tree type	Tree Size and Credits per tree	Number of replacement credits earned
9	BN	12-14' multi-stem - 15 each	135
5	CK	8-10' ht. - 1 each	5
4	MB	2" cal. - 1 each	4
3	MG	3" cal. - 2 each	6
5	PCC	3" cal. - 2 each	6
5	PG	14' ht. - 4 each	20
3	PP	14' ht. - 4 each	12
Total number of tree credits for all 34 provided replacement trees			105 credits

L1 PRELIMINARY OVERALL LANDSCAPE PLAN  
 Scale: 1"=30'-0" North

NOT TO BE USED FOR CONSTRUCTION DRAWINGS

REQUIRED 25' FT SIGHT  
LINE TRIANGLE (TYP.)

BRICK MASONRY ENTRY WALLS (SEE SHEETS  
L5-L6 FOR DETAILS)

NOT TO BE USED FOR CONSTRUCTION DRAWINGS

FUSCO,  
SHAFFER &  
PAPPAS, INC.  
ARCHITECTS AND PLANNERS

3800 NORTHWESTERN HWY, SUITE 100  
BIRMINGHAM HILLS, MICHIGAN 4834  
PHONE 248.532.8300 FAX 248.922.8311

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LANDSCAPE  
ARCHITECTURE  
**MICHAEL J. DUL**  
& ASSOCIATES, INC.  
212 DAINES STREET  
BIRMINGHAM  
MICHIGAN 48009  
P 248.644.3410  
F 248.644.0819  
info@mjdul.com

**American  
House**  
Senior Living Residences  
MICHIGAN  
ROCHESTER HILLS

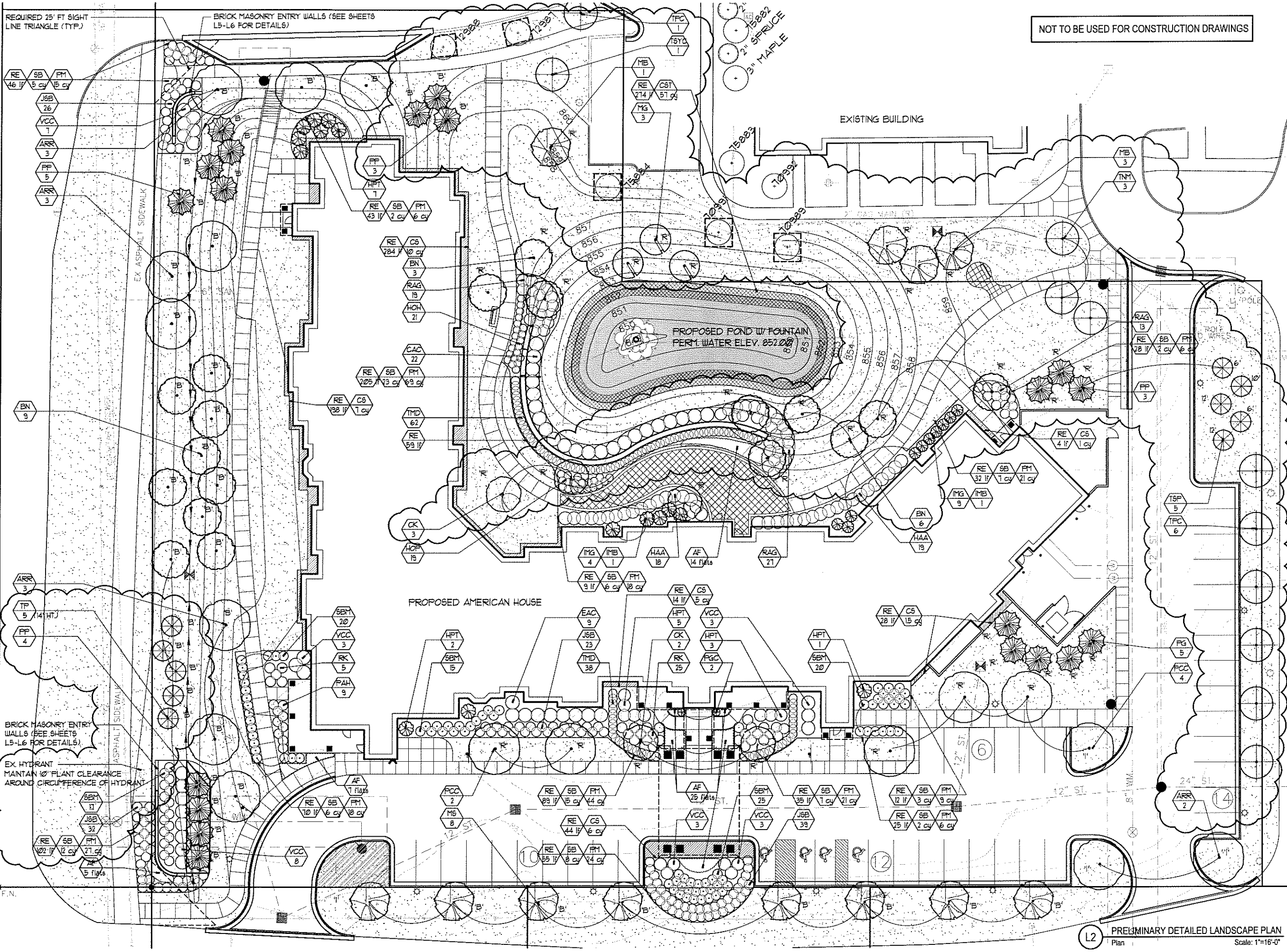
05.07.08	REV. PER REVIEW NO. 2
03.24.08	REV. PER REVIEW NO. 1
02.22.08	REV. SITE PLAN REVIEW
01.18.08	SITE PLAN REVIEW
01.15.08	OWNER REVIEW DATE



DRAWING TITLE  
PRELIMINARY  
DETAILED LANDSCAPE PLAN

DRAWING NUMBER

L2 PRELIMINARY DETAILED LANDSCAPE PLAN  
Plan Scale: 1"=16'-0" North



BRICK MASONRY ENTRY  
WALLS (SEE SHEETS  
L5-L6 FOR DETAILS).

EX HYDRANT  
MAINTAIN 10' PLANT CLEARANCE  
AROUND CIRCUMFERENCE OF HYDRANT

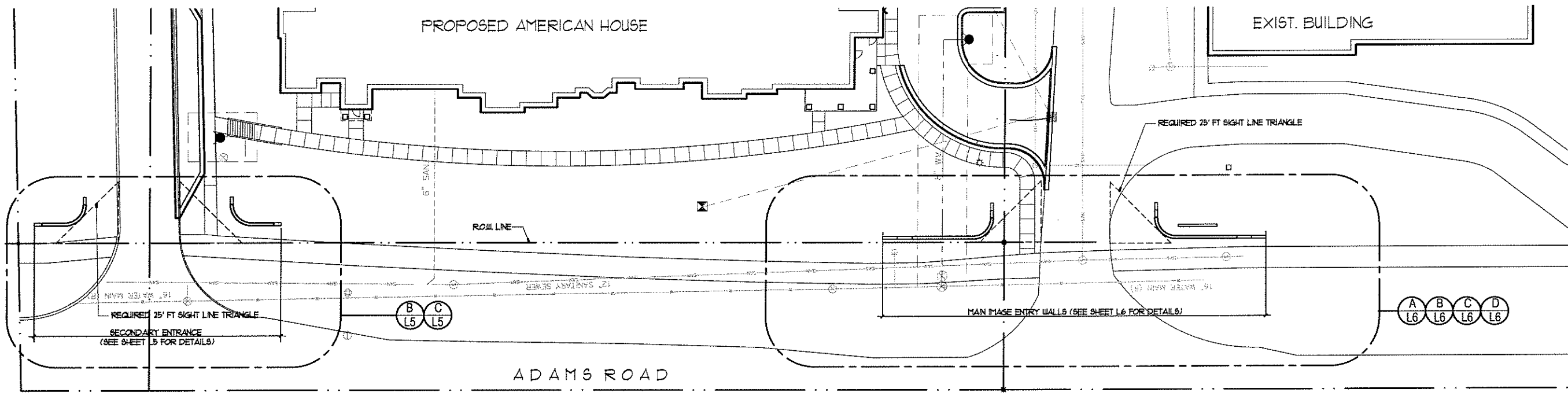
PROPOSED AMERICAN HOUSE

PROPOSED POND W/ FOUNTAIN  
PERM WATER ELEV. 852.28

EXISTING BUILDING







**FUSCO, SHAFFER & PAPPAS, INC.**  
ARCHITECTS AND PLANNERS

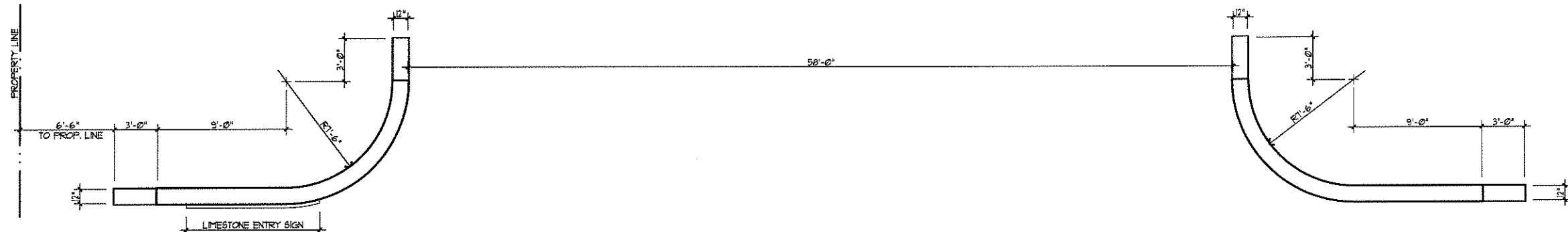
3600 NORTHWESTERN HWY., SUITE 100  
FARMINGTON HILLS, MICHIGAN 48334  
PHONE 248.932.6300 FAX 248.932.6301

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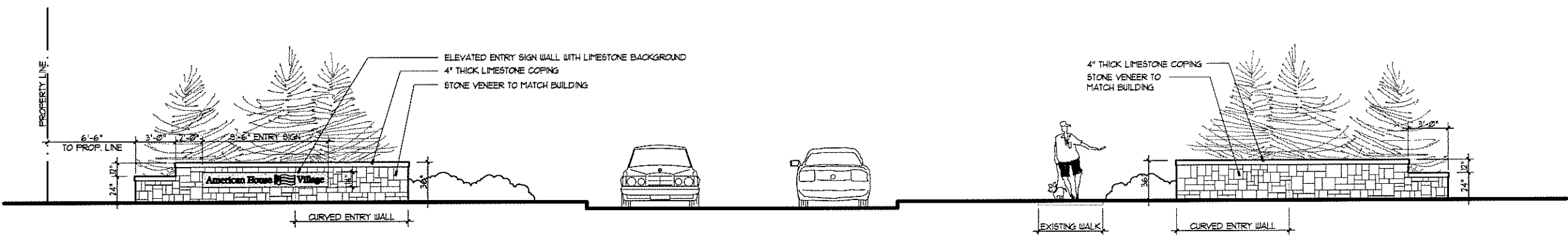
LANDSCAPE ARCHITECTURE  
**MICHAEL J. DUL & ASSOCIATES, INC.**  
212 DAINES STREET  
BIRMINGHAM MICHIGAN 48009  
P 248 644 3410  
F 248 644 0819  
info@mjdul.com

**American House**  
Senior Living Residences  
MICHIGAN  
ROCHESTER HILLS

**A L5** CONCEPTUAL ENTRY WALL PLAN  
Plan Scale: 1"=20'-0"



**B L5** SECONDARY ENTRY WALLS (north drive)  
Plan Scale: 1/4"=1'-0"



**C L5** SECONDARY ENTRY WALLS (north drive)  
Elevation Scale: 1/4"=1'-0"

NO CHANGES MADE

05.07.08	REV. PER REVIEW NO. 2
03.24.08	REV. PER REVIEW NO. 1
02.22.08	REV. SITE PLAN REVIEW
02.12.08	OWNER REVIEW
02.07.08	OWNER REVIEW
01.18.08	SITE PLAN REVIEW
01.16.08	OWNER REVIEW
DATE	ISSUE



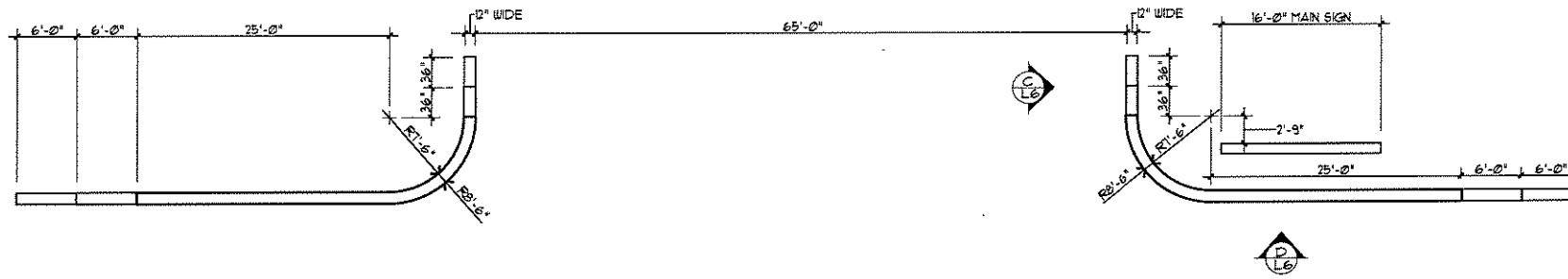
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CONCEPTUAL ENTRY WALL & SIGNAGE PLAN  
NORTH SITE ENTRANCE

DRAWING NUMBER

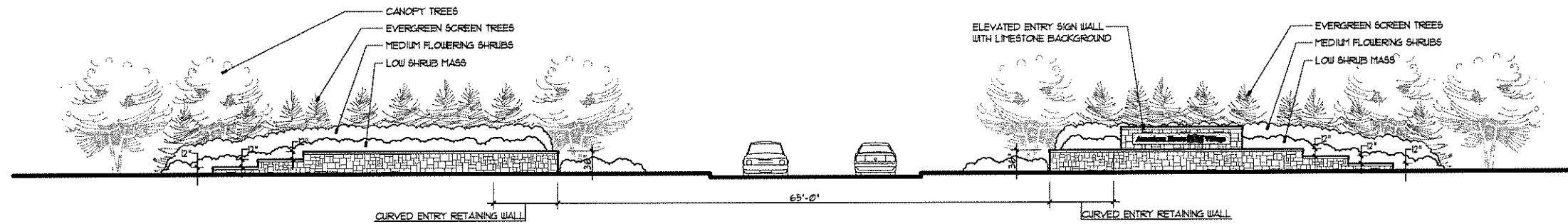
NOT TO BE USED FOR CONSTRUCTION DRAWINGS

L5

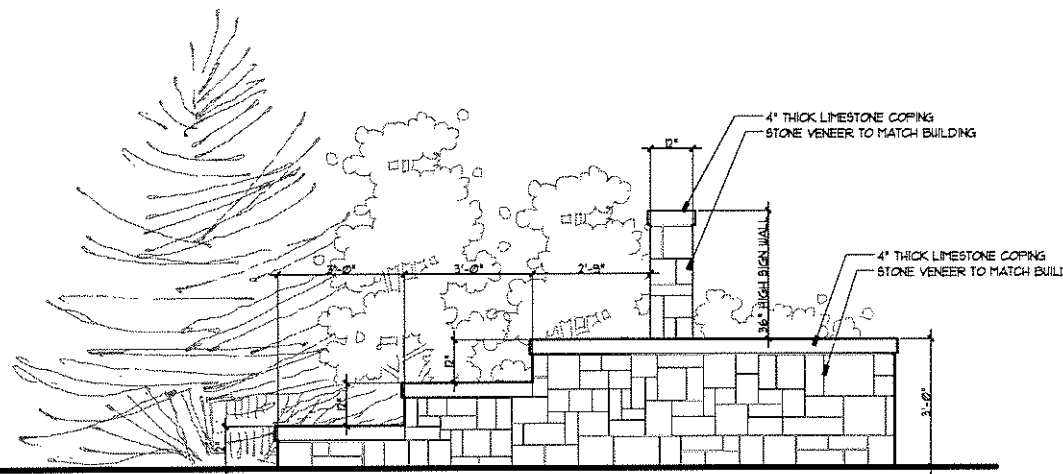




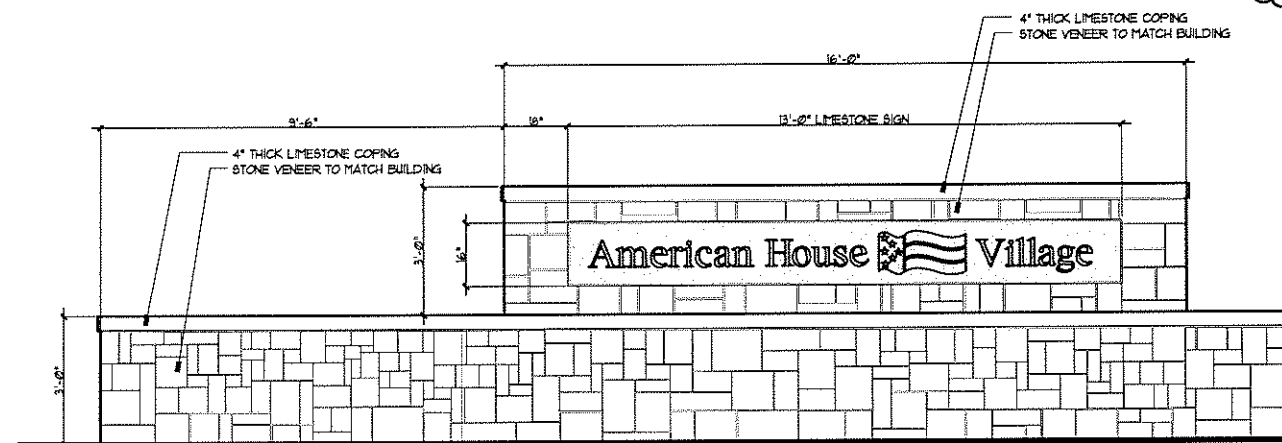
A MAIN ENTRY IMAGE WALLS  
L6 Plan Scale: 1/8"=1'-0"



B MAIN ENTRY IMAGE WALLS  
L6 Elevation Scale: 1/8"=1'-0"



C MAIN ENTRY SIGNAGE WALL (side)  
L6 Elevation Scale: 1/2"=1'-0"



D MAIN ENTRY SIGNAGE WALL (blow up)  
L6 Elevation Scale: 1/2"=1'-0"

NO CHANGES MADE

DATE	ISSUE	OWNER REVIEW	DATE	ISSUE	OWNER REVIEW
05.07.08	REV. PER REVIEW NO. 2		05.07.08	OWNER REVIEW	
03.24.08	REV. PER REVIEW NO. 1		02.22.08	REV. SITE PLAN REVIEW	
02.22.08	REV. SITE PLAN REVIEW		02.12.08	OWNER REVIEW	
02.12.08	OWNER REVIEW		02.07.08	OWNER REVIEW	
01.18.08	SITE PLAN REVIEW		01.15.08	OWNER REVIEW	
01.15.08	OWNER REVIEW			DATE	

KEY PLAN



DRAWING TITLE

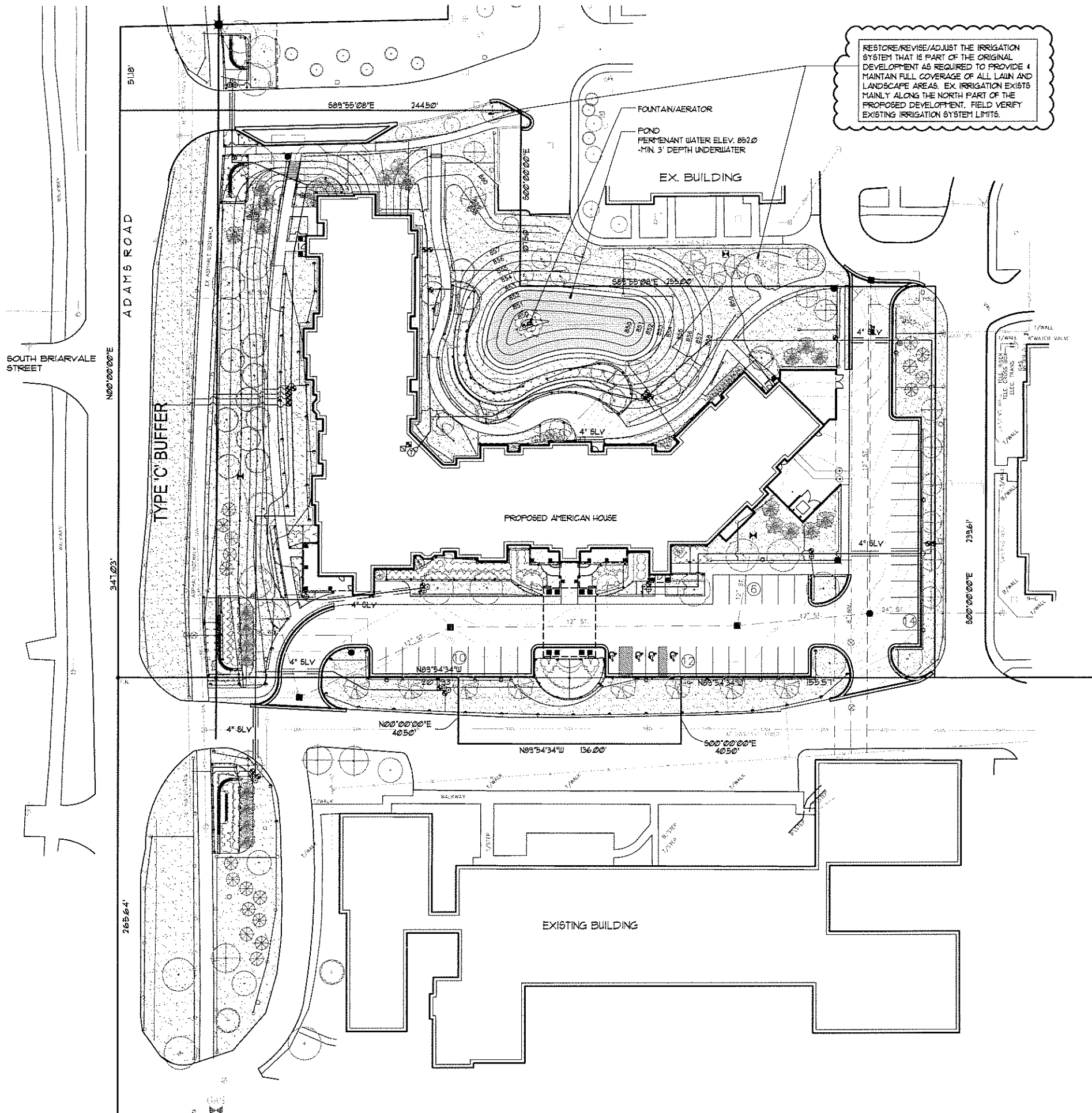
CONCEPTUAL ENTRY WALL & SIGNAGE PLAN  
MAIN SITE ENTRANCE

DRAWING NUMBER

NOT TO BE USED FOR CONSTRUCTION DRAWINGS

L6

American House  
Senior Living Residences  
MICHIGAN  
ROCHESTER HILLS



RESTORE/REVISE/ADJUST THE IRRIGATION SYSTEM THAT IS PART OF THE ORIGINAL DEVELOPMENT AS REQUIRED TO PROVIDE & MAINTAIN FULL COVERAGE OF ALL LAWN AND LANDSCAPE AREAS. EX. IRRIGATION EXISTS MAINLY ALONG THE NORTH PART OF THE PROPOSED DEVELOPMENT. FIELD VERIFY EXISTING IRRIGATION SYSTEM LIMITS.

**IRRIGATION LEGEND**

- HUNTER, PGP SERIES, GEAR DRIVEN ROTOR, W/ MPR NOZZLE
- HUNTER, PGJ SERIES, GEAR DRIVEN ROTOR, W/ MPR NOZZLE
- HUNTER, PRO SERIES, 4" POP UP W/ MPR NOZZLE
- HUNTER, PRO SERIES, 12" POP UP W/ MPR NOZZLE
- ⊙ HUNTER, QCV, QUICK COUPLING VALVE, 1"
- ⊗ HUNTER, PGV SERIES, ELECTRIC VALVE, 1"
- ⊕ HUNTER, PGV SERIES, ELECTRIC VALVE, 1.5"
- ⊠ HUNTER, ICC-FL, AUTOMATIC CONTROLLER
- ⊡ HUNTER, MINICLICK, AUTOMATIC RAIN SHUT OFF
- ⊕ TAP LOCATION, 2"
- △ FEBCO, T65 SERIES, PRESSURE VACUUM BREAKER, 2"
- PVC MAINLINE, CLASS 200, BE, 16" BURY, SIZE 2"
- POLY LATERAL, 100 PSI, NSF, 12" BURY, TYPICAL SIZE AS SHOWN
- PVC SLEEVING, CLASS 200, BE, SIZE AS SHOWN

**LATERAL PIPE SIZE CHART FOR POLY**

1"	1 - 12 GPM
1.5"	13 - 30 GPM
2"	31 - 50 GPM

**IRRIGATION SPECIFICATIONS**

1. ALL WORK IS TO BE IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
2. ALL UNDERGROUND ELECTRICAL CONNECTIONS ARE TO BE MADE WITH 3-M WIRE CONNECTORS, DBT.
3. ALL AUTO CONTROL VALVES ARE TO BE INSTALLED IN CARSON VALVE BOXES OF APPROPRIATE SIZE.
4. ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 14 AWG, UL APPROVED FOR DIRECT BURY.
5. ALL ROTORS AND SPRAY POP-UPS SHALL BE INSTALLED ON SWING PIPE.
6. ALL QCV SHALL BE INSTALLED ON 3-ELBOW PVC SWING JOINTS.
7. SYSTEM DESIGN BASED UPON 40 GPM @ 60 PSI.
8. ANY CHANGES IN AVAILABILITY OF SUPPLY SHOULD BE NOTED AND MODIFICATIONS TO THE DESIGN SHOULD BE MADE.
9. CONTRACTOR TO VERIFY WATER PRESSURE AND AVAILABILITY PRIOR TO INSTALLATION.
10. ANY IRRIGATION PIPING SHOWN OUTSIDE OF CURBS FOR CLARITY ONLY.
11. 120V, TO CONTROLLER AND COPPER STUB, BY OTHER THAN IRRIGATION CONTRACTOR.
12. THERE WILL BE NO SUBSTITUTIONS OR CHANGES TO THE IRRIGATION DESIGN ALLOWED WITHOUT DIRECT, WRITTEN APPROVAL FROM THE IRRIGATION CONSULTANT.



Date: 3/24/08  
 Designed by: CEP  
 Checked by: CP  
 Scale: 1" = 30'-0"  
 Project Number: 01535604

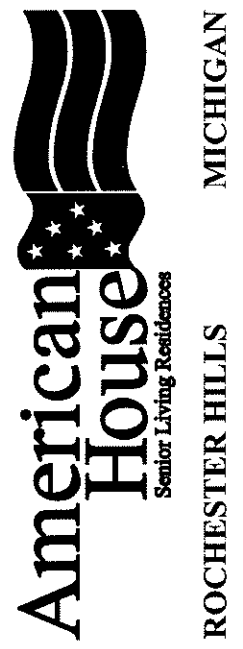
IR1 PRELIMINARY IRRIGATION PLAN  
 Plan Scale: 1"=30'-0" North



30800 NORTHWESTERN HWY, SUITE 100  
 FARMINGTON HILLS, MICHIGAN 48334  
 PHONE 248.521.5300 FAX 248.521.5801

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 & ASSOCIATES, INC.  
 212 DAINES STREET  
 BIRMINGHAM MICHIGAN 48009  
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 F 248.644.0819  
 info@mjdul.com



05.07.08	REV. PER REVIEW NO. 2
03.24.08	REV. PER REVIEW NO. 1
DATE	ISSUE

KEY PLAN

DRAWING TITLE  
 PRELIMINARY IRRIGATION PLAN

DRAWING NUMBER

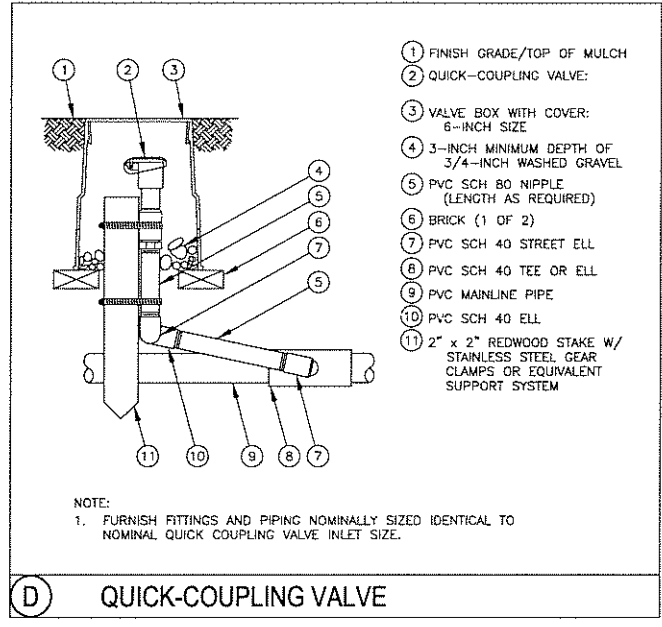
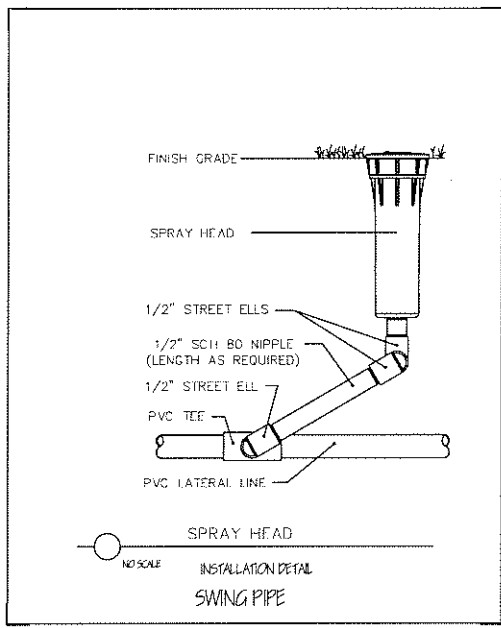
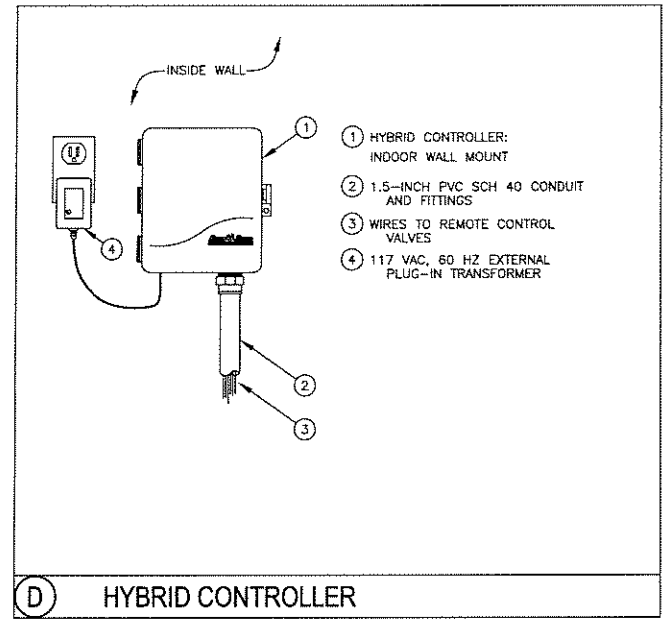
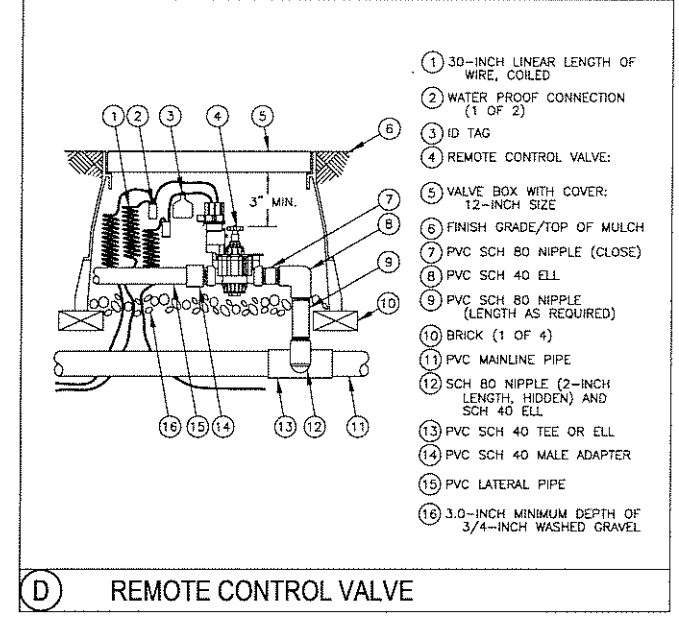
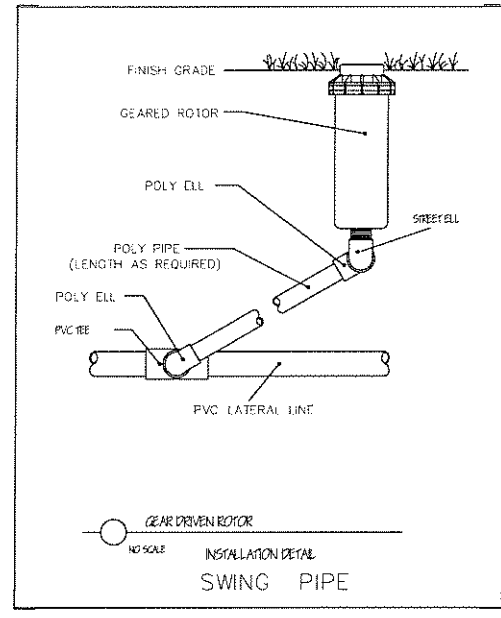
NOT TO BE USED FOR CONSTRUCTION DRAWINGS

05.07.08	REV. PER REVIEW NO. 2
03.24.08	REV. PER REVIEW NO. 1
DATE	ISSUE

KEY PLAN

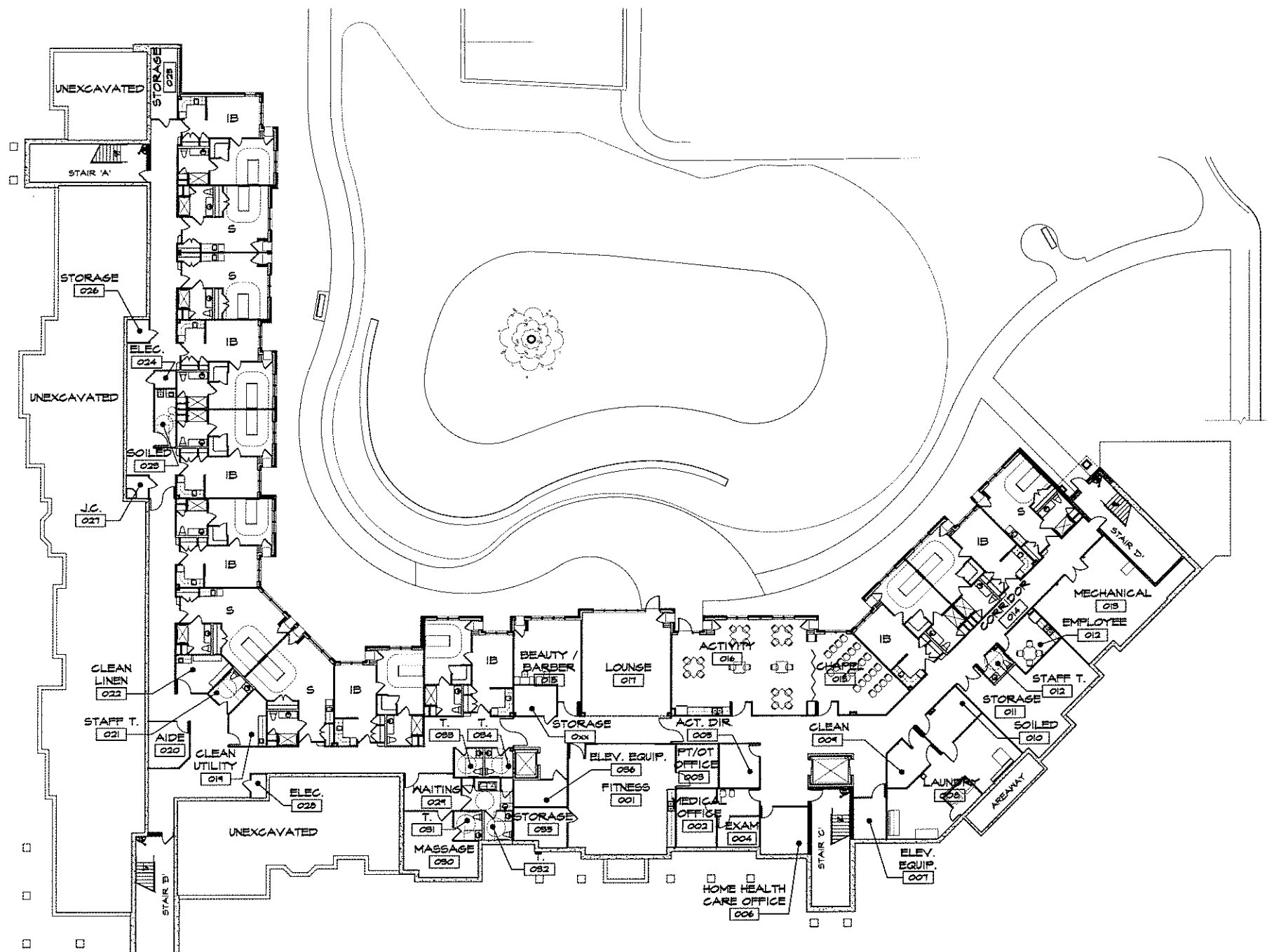
DRAWING TITLE  
PRELIMINARY IRRIGATION DETAILS

DRAWING NUMBER



NO CHANGES MADE





**American House**  
Senior Living Residences  
MICHIGAN  
ROCHESTER HILLS

NO CHANGES MADE

5.07.08	REV. PER REVIEW NO. 2
3.24.08	REV. PER REVIEW NO. 1
3.10.08	OWNER REVIEW
2.22.08	REV. SITE PLAN REVIEW
1.18.08	SITE PLAN REVIEW
12.14.07	PLANNING COMMISSION
12.07	FIRE DEPARTMENT REVIEW
9.27.07	CONCEPT PLAN MTG
DATE	ISSUE

KEY PLAN



**TERRACE LEVEL FLOOR PLAN**

SCALE: 1/16" = 1'-0"

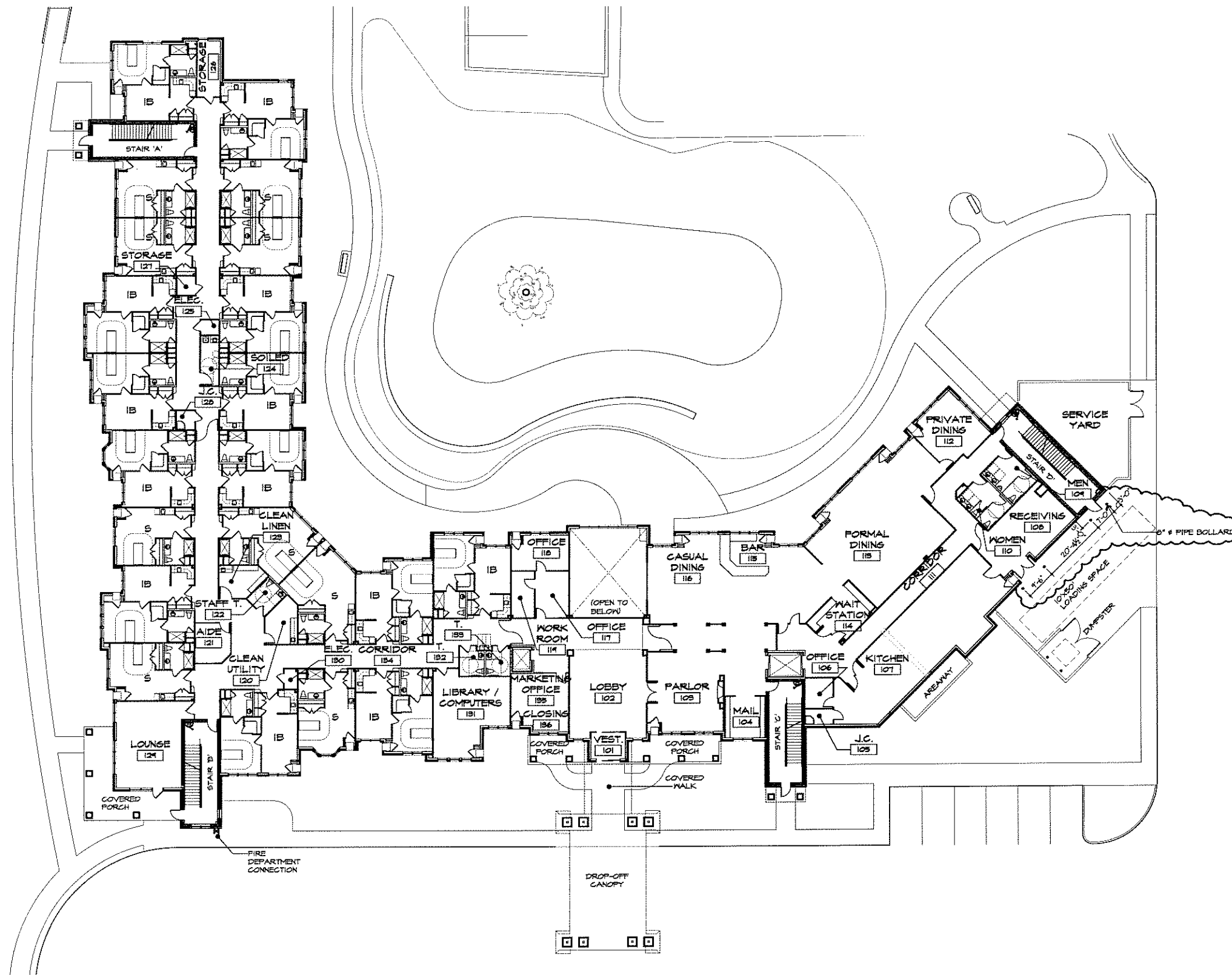
DRAWING TITLE

TERRACE LEVEL FLOOR PLAN

DRAWING NUMBER

**A100**

NOT TO BE USED FOR CONSTRUCTION DRAWINGS



**American House**  
Senior Living Residences  
MICHIGAN  
ROCHESTER HILLS

5.07.08	REV. PER REVIEW NO. 2
3.24.08	REV. PER REVIEW NO. 1
3.10.08	OWNER REVIEW
2.22.08	REV. SITE PLAN REVIEW
10.08	SITE PLAN REVIEW
12.14.07	PLANNING COMMISSION
12.07	FIRE DEPARTMENT REVIEW
1.27.07	CONCEPT PLAN MTS
DATE	ISSUE

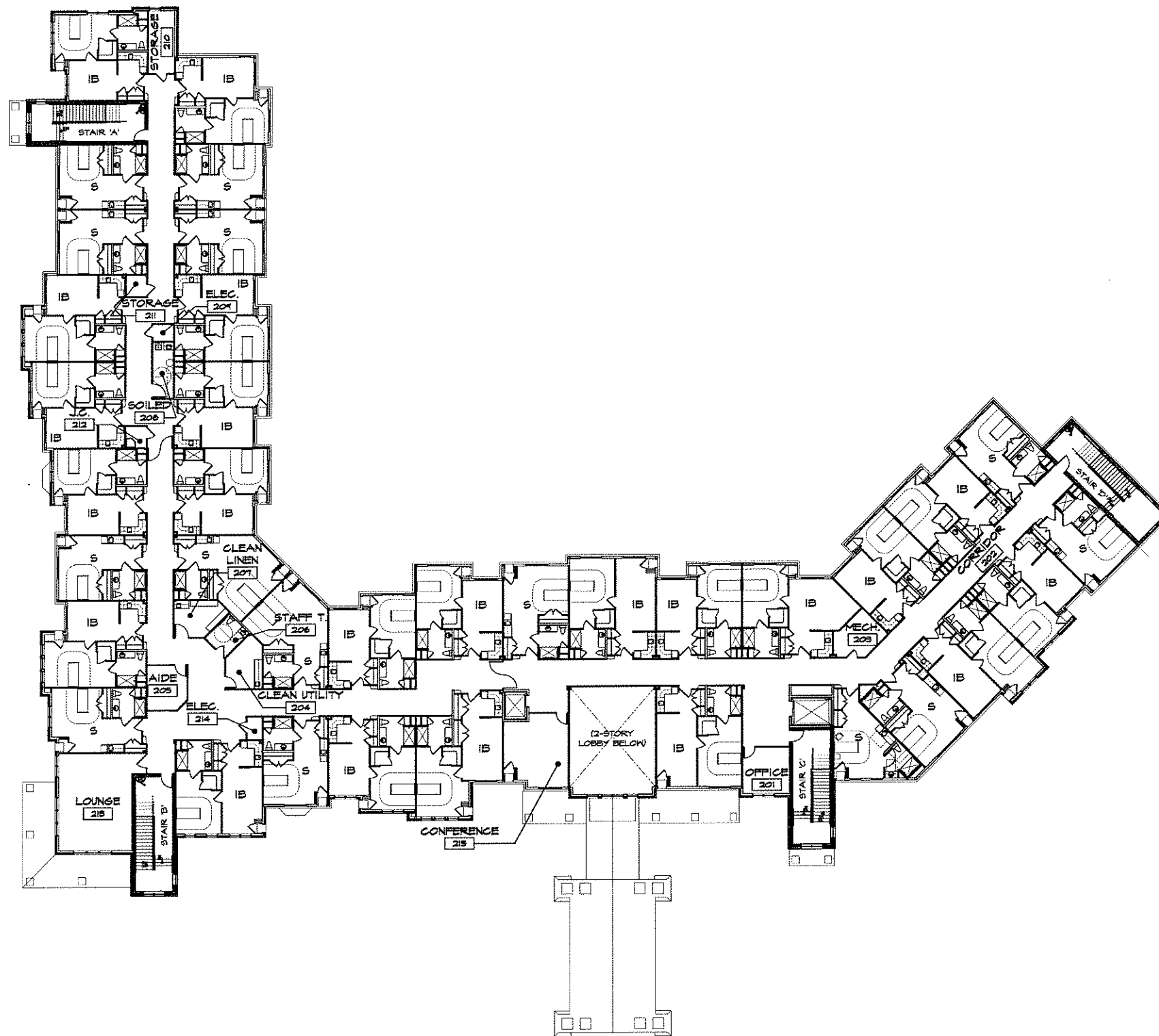
KEY PLAN

NORTH  
MAIN LEVEL FLOOR PLAN  
SCALE: 1/16" = 1'-0"

NOT TO BE USED FOR CONSTRUCTION DRAWINGS

DRAWING NUMBER

A101



NO CHANGES MADE

5/07/06	REV. PER REVIEW NO. 2
3/24/06	REV. PER REVIEW NO. 1
3/10/06	OWNER REVIEW
2/22/06	REV. SITE PLAN REVIEW
10/09	SITE PLAN REVIEW
12/14/01	PLANNING COMMISSION
12/01	FIRE DEPARTMENT REVIEW
11/21/01	CONCEPT PLAN MTS
DATE	ISSUE

KEY PLAN

DRAWING TITLE  
UPPER LEVEL  
FLOOR PLAN

DRAWING NUMBER



**UPPER LEVEL FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

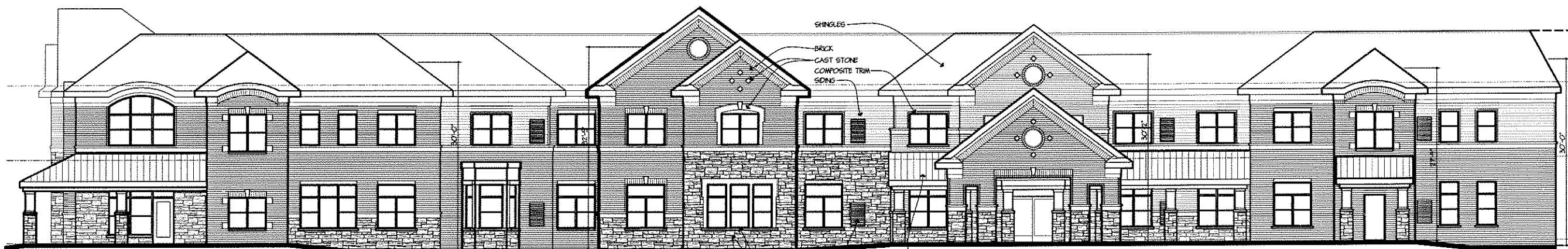
NOT TO BE USED FOR CONSTRUCTION DRAWINGS

**American House**  
Senior Living Residences  
MICHIGAN  
ROCHESTER HILLS

**A102**



3 WEST (ADAMS ROAD) ELEVATION  
AZ01 SCALE: 1/8" = 1'-0"

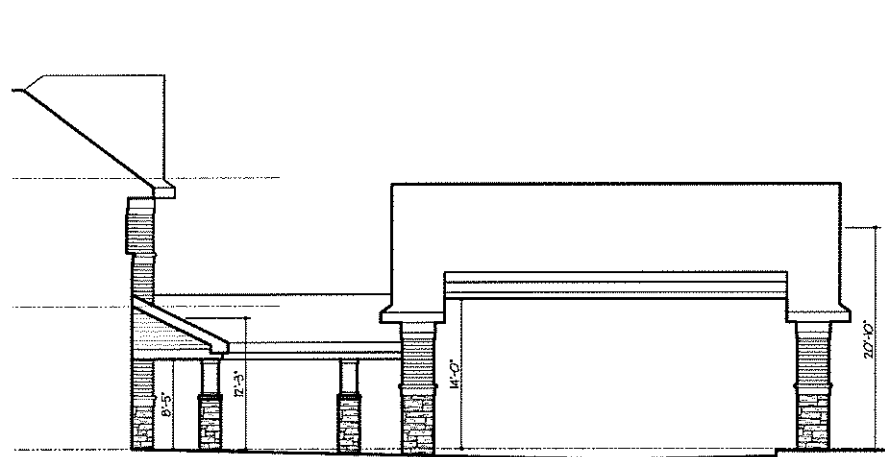


2 PARTIAL SOUTH ELEVATION  
AZ01 SCALE: 1/8" = 1'-0"

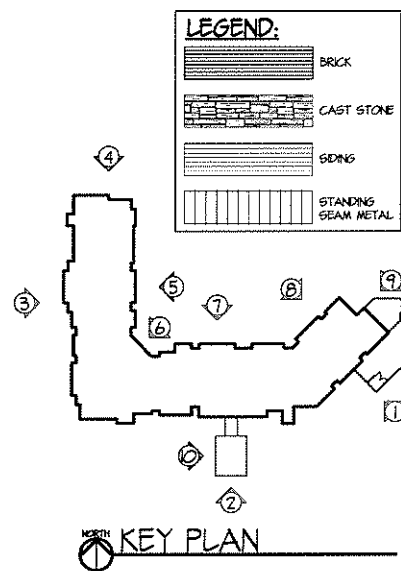
NO CHANGES MADE

5/01/08	REV. PER REVIEW NO. 2
3/24/08	REV. PER REVIEW NO. 1
3/10/08	OWNER REVIEW
2/22/08	REV. SITE PLAN REVIEW
10/08	SITE PLAN REVIEW
6/14/07	PLANNING COMMISSION
12/07	FIRE DEPARTMENT REVIEW
1/21/07	CONCEPT PLAN MTG
DATE	ISSUE

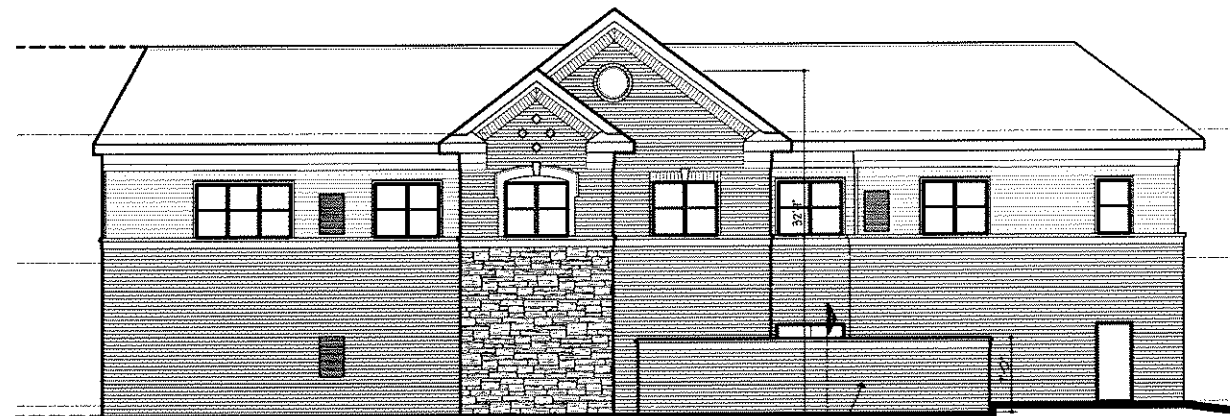
**American House**  
Senior Living Residences  
MICHIGAN  
ROCHESTER HILLS



10 PARTIAL WEST ELEVATION  
AZ01 SCALE: 1/8" = 1'-0"



KEY PLAN



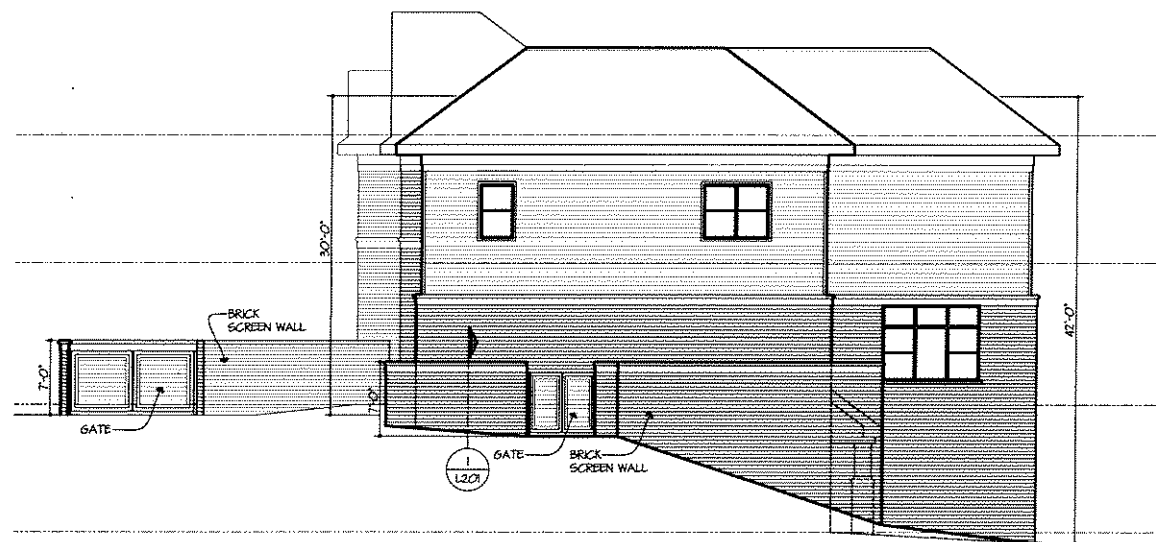
1 PARTIAL SOUTH ELEVATION  
AZ01 SCALE: 1/8" = 1'-0"

NOT TO BE USED FOR CONSTRUCTION DRAWINGS

KEY PLAN
DRAWING TITLE
BUILDING ELEVATIONS
DRAWING NUMBER

A201





**9 PARTIAL EAST ELEVATION**  
A202 SCALE: 1/8" = 1'-0"



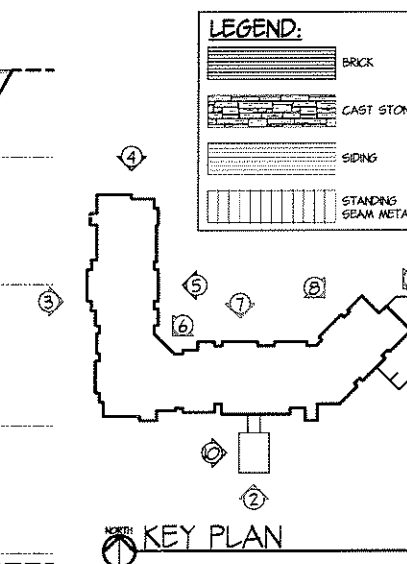
**8 PARTIAL WEST ELEVATION**  
A202 SCALE: 1/8" = 1'-0"



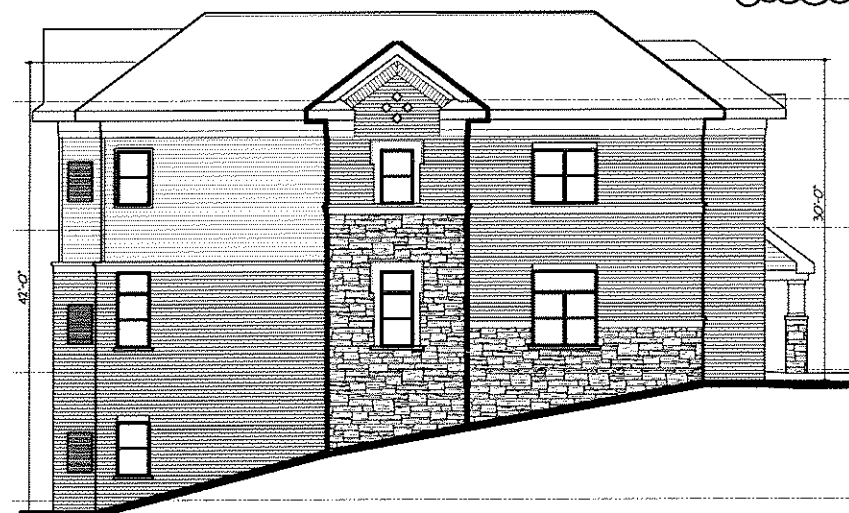
**7 PARTIAL NORTH ELEVATION**  
A202 SCALE: 1/8" = 1'-0"



**6 PARTIAL EAST ELEVATION**  
A202 SCALE: 1/8" = 1'-0"



**5 PARTIAL EAST ELEVATION**  
A202 SCALE: 1/8" = 1'-0"



**4 PARTIAL NORTH ELEVATION**  
A202 SCALE: 1/8" = 1'-0"

**American House**  
Senior Living Residences

**MICHIGAN**  
**ROCHESTER HILLS**

NO CHANGES MADE

5/07/08	REV. PER REVIEW NO. 2
3/24/08	REV. PER REVIEW NO. 1
3/10/08	OWNER REVIEW
2/22/08	REV. SITE PLAN REVIEW
10/08	SITE PLAN REVIEW
2/14/07	PLANNING COMMISSION
11/07	PRI DEPARTMENT REVIEW
1/21/07	CONCEPT PLAN KITG
DATE	ISSUE

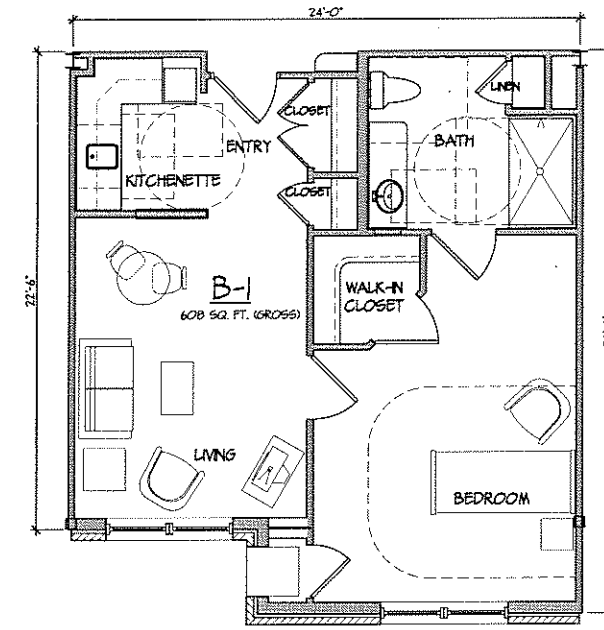
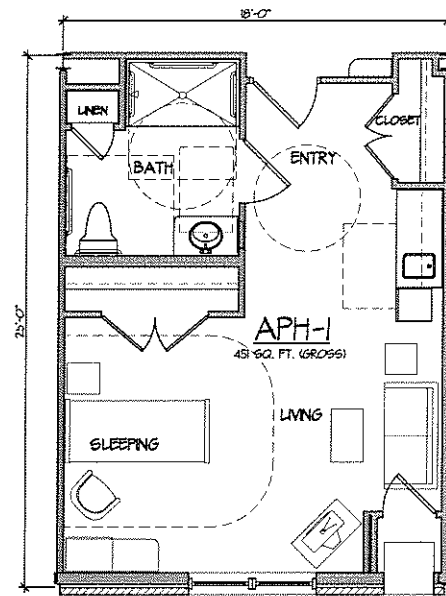
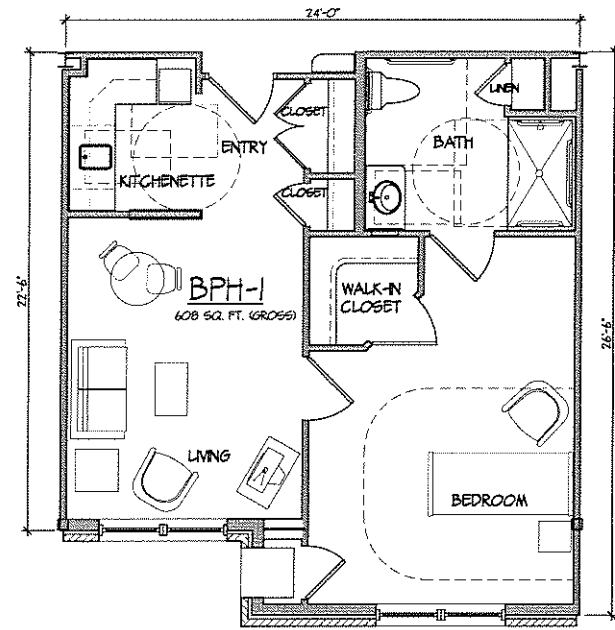
KEY PLAN

DRAWING TITLE  
BUILDING ELEVATIONS

DRAWING NUMBER

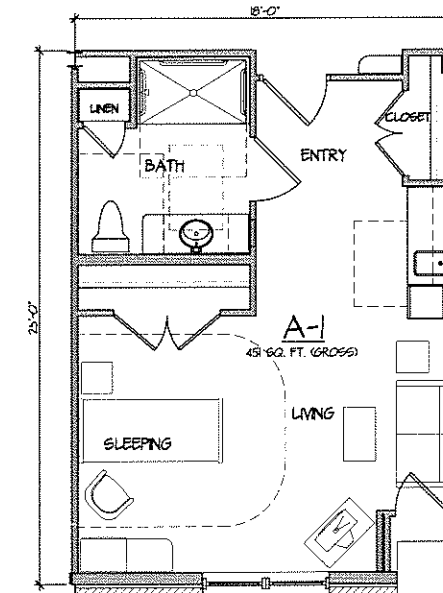
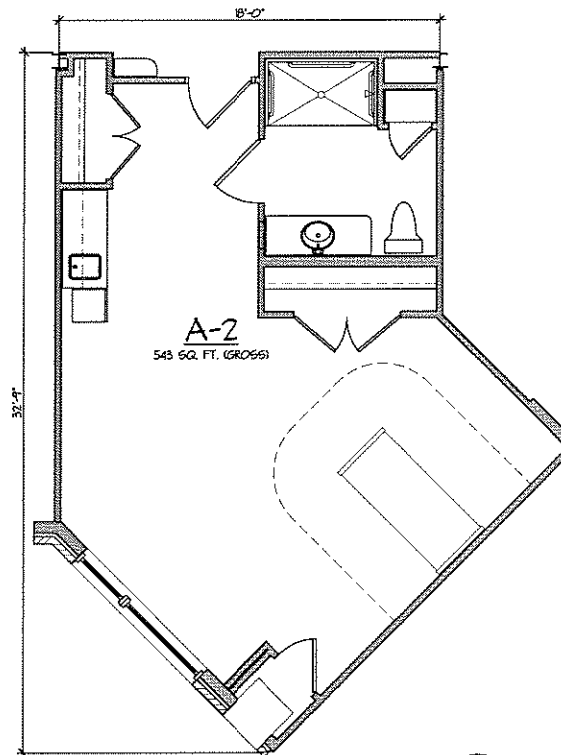
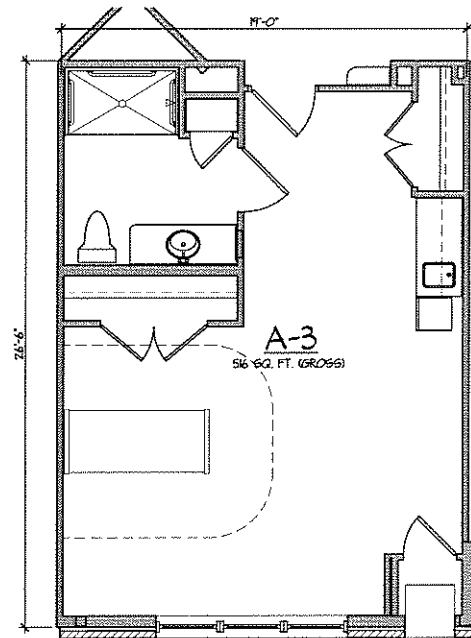
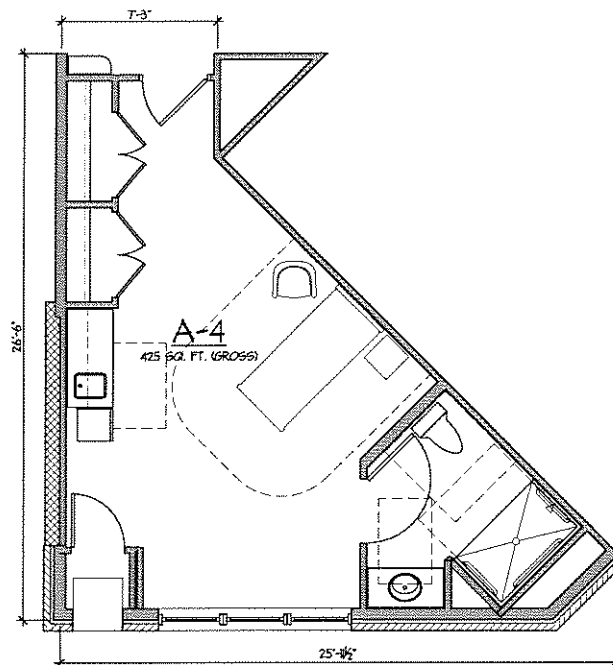
**A202**

NOT TO BE USED FOR CONSTRUCTION DRAWINGS



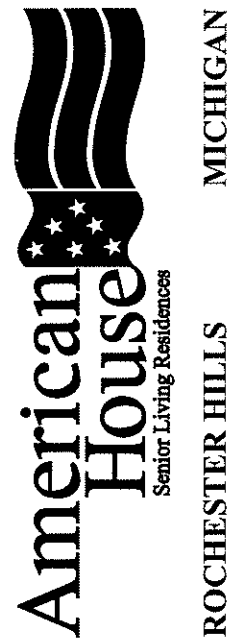
3 ASSISTED LIVING UNIT FLOOR PLANS- ACCESSIBLE  
A501 SCALE: 1/4" = 1'-0"

2 ASSISTED LIVING UNIT FLOOR PLANS  
A501 SCALE: 1/4" = 1'-0"



1 ASSISTED LIVING UNIT FLOOR PLANS  
A501 SCALE: 1/4" = 1'-0"

NOT TO BE USED FOR CONSTRUCTION DRAWINGS



MICHIGAN  
ROCHESTER HILLS

NO CHANGES MADE

5.01.08	REV. PER REVIEW NO. 2
3.24.08	REV. PER REVIEW NO. 1
3.10.08	OWNER REVIEW
2.22.08	REV. SITE PLAN REVIEW
18.08	SITE PLAN REVIEW
12.14.01	PLANNING COMMISSION
11.01	FIRE DEPARTMENT REVIEW
1.17.01	CONCEPT PLAN MTG
DATE	ISSUE

KEY PLAN

DRAWING TITLE  
TYPICAL UNIT PLANS

DRAWING NUMBER

A501

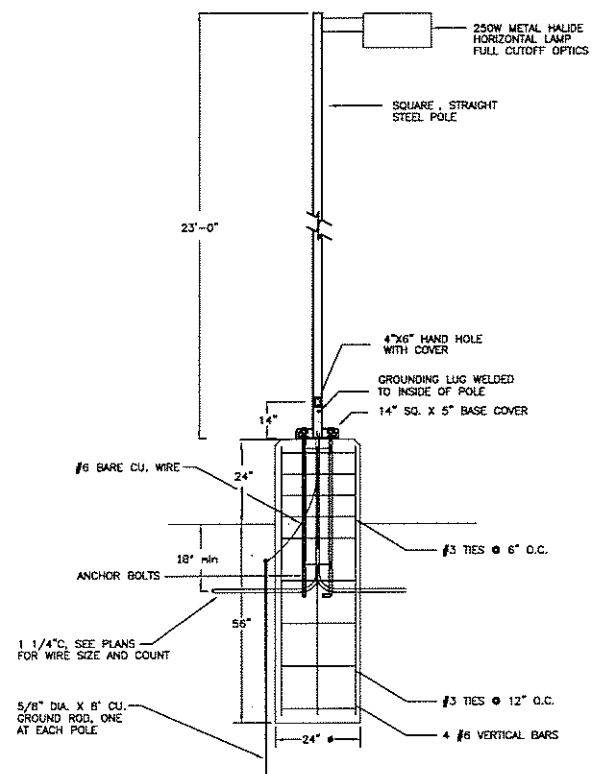
LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
SA1	2	Lithonia KAD 250W POLE MOUNTED AREA SR3 HS 120 SFD08 SF DDB ON AN SSS 23 40 POLE DM19 SBC4 DDB POLE	ONE 250-WATT CLEAR BT-28 METAL HALIDE, HORIZONTAL POSITION.	95020506.ies	23000	0.75	295		
SB1	7	Lithonia KAD 250W AREA LIGHT WITH HIGH SR4SC 120 SFD08 PERFORMANCE SR4SC SF DDB ON AN OPTICS, CLEAR FLAT SSS 23 40 DM19 GLASS, SBC4 DDB POLE	ONE 250-WATT CLEAR BT-28 METAL HALIDE, HORIZONTAL POSITION.	HS9486.ies	23000	0.75	297		

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Footcandle	+	1.6 fc	3.7 fc	0.5 fc	7.4:1	3.2:1

NOTES

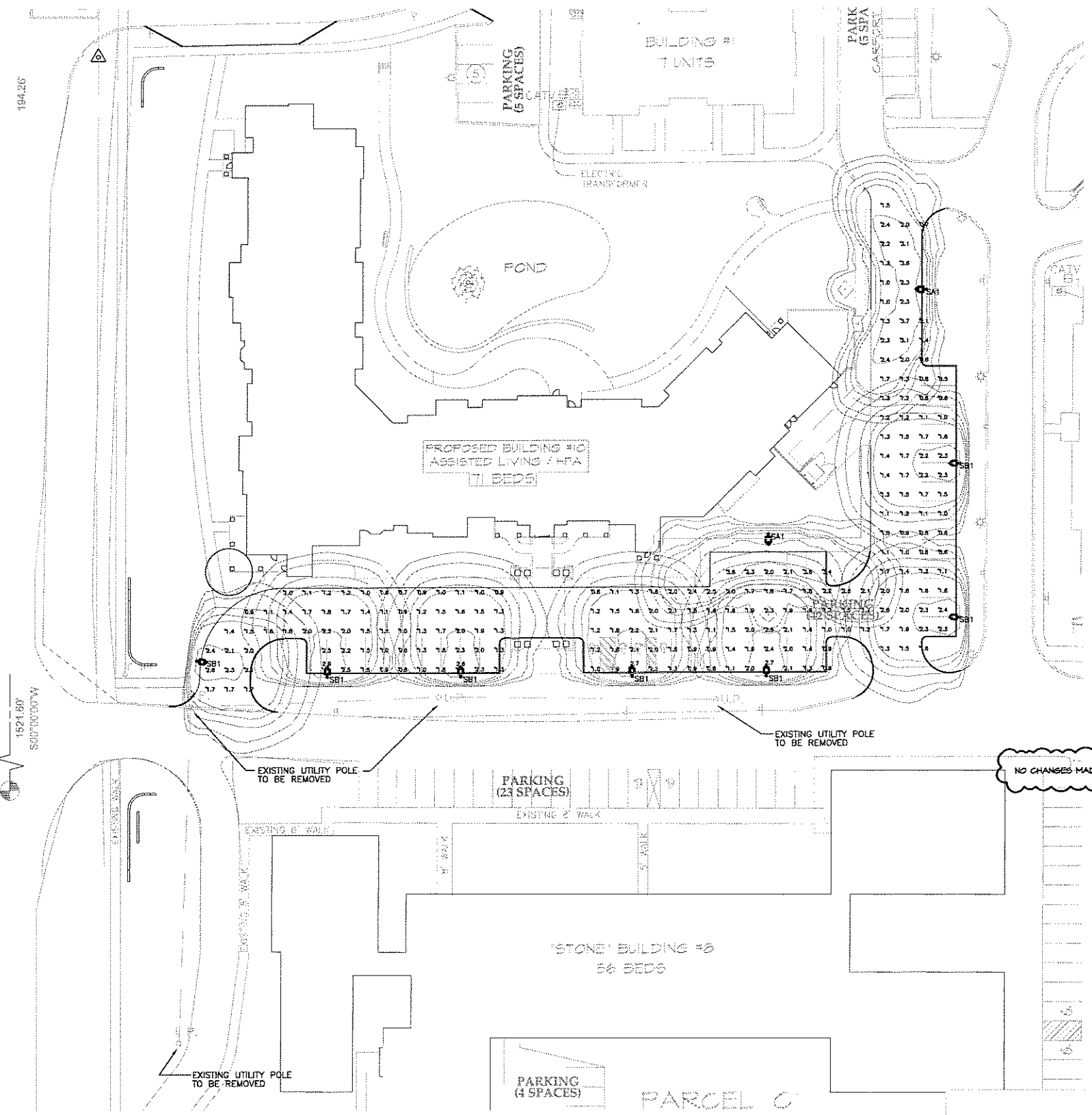
- Luminaire mounting height is 25' Above Grade.
- Light Loss Factor is 0.75.
- Horizontal Illuminance is shown at grade. Units are in footcandles.

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.  
This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps, and other variable field conditions.



**POLEBASE DETAIL**  
TYPE "SA1" & "SB1" NO SCALE

S. ADAMS ROAD  
(WIDTH VARIES)



NO CHANGES MADE

DATE	REVISION
5/21/08	REV. PER REVIEW NO. 2
3/24/08	REV. PER REVIEW NO. 1
3/10/08	OWNER REVIEW
1/22/08	REV. SITE PLAN REVIEW
1/16/08	SITE PLAN REVIEW
12/10/07	PLANNING COMMISSION
12/10/07	FIRE DEPARTMENT REVIEW
9/21/07	CONCEPT PLAN MTG
DATE	ISSUE

KEY PLAN

DRAWING TITLE  
PHOTOMETRIC  
SITE  
PLAN

DRAWING NUMBER

ES101



SITE PHOTOMETRIC PLAN  
Scale: 1"=30'-0"  
North