

ROCHESTER HILLS

LIST OF DRAWINGS

DEVELOPMENT TEAM

OWNER

SITE DEVELOPMENT

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UTILITY PLAN DRAINAGE AREA PLAN

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IRRIGATION PLAN
IRRIGATION DETAILS

ARCHITECTURAL

CODE ANALYSIS

TERRACE LEVEL FLOOR PLAN MAIN LEVEL FLOOR PLAN

UPPER LEVEL FLOOR PLAN BUILDING ELEVATIONS

BUILDING ELEVATIONS TYPICAL UNIT PLANS

ES101 PHOTOMETRIC SITE PLAN

ELECTRICAL

AMERICAN HOUSE VILLAGE OF ROCHESTER HILLS, LLC **BLOOMFIELD HILLS, MICHIGAN**

ARCHITECT

FUSCO, SHAFFER & PAPPAS, INC. 30800 NORTHWESTERN HWY, SUITE 100 **FARMINGTON HILLS, MI 48334** 248-932-8300

CIVIL ENGINEER

GIFFELS-WEBSTER ENGINEERS, INC. 6303 26 MILE ROAD, SUITE 100 WASHINGTON TWP., MI 48049 586-781-8950

LANDSCAPE ARCHITECT

MICHAEL I. DUL & ASSOCIATES, INC 212 DAINES STREET BIRMINGHAM, MI 48009 248-644-3410

ELECTRICAL ENGINEER

NEIL ADAMS, INC. 3258 BROAD STREET **DEXTER, MI 48130** 734-426-0020

MICHIGAN

CAMPUS SUMMARY TABLE

SITE DATA	PARCEL 'A'	PARCEL 'B'	PARCEL 'C'	CAMPUS TOTAL	
GROSS SITE AREA	3.48 ACRES (151,517.22 S.F. ±)	9.33 ACRES (406,351.02 S.F. ±)	7.75 ACRES (337,786.62 S.F. ±)	28.56 ACRES (895,474.86 S.F. ±)	
ADAMS ROAD R.O.W.	0.48 ACRES (20,820.02 S.F. ±)	0.07 ACRES (3,114.17 S.F. ±)	0.37 ACRES (15,940.60 S.F. ±)	0.92 ACRES (39,874.79 S.F.	
NET SITE AREA	3.00 ACRES (130,597.2 S.F. ±)	9.26 ACRES (403,236.85 S.F. *)	7.39 ACRES (321,766.02 S.F. ±)	19.64 ACRES (855,600.07 S.F. ±)	
EXISTING ZONING	SP SPECIAL PURPOSE	SP SPECIAL PURPOSE	SF SPECIAL PURPOSE	SP SPECIAL PURPOSE	
BENSITY ALLOWABLE CONYALESCENT HOME - 800 S.F. OF LAND AREA / BED LOW RISE ELDERLY HOUSING -L,000 S.F. OF LAND AREA / DWELLING UNIT	FROPOSED 71 BEDS = 1,839.40 SF / 8ED T (D.U.) N/A	EXISTING N/A 136 D.U. ~ 2,964.98 SF / D.U.	EXISTING 84 BEDS = 2,836.55 SF / BED N/A	EXISTING & PROPOSED 155 BEDS = 2,918.47 SF / BED 136 D.U. ~ 2,964.98 SF / D.U.	
PARKING CONVALESCENT BOME ONE (1) SPACE FOR EACH TWO (2) BEDS LOW RISE ELDERLY HOUSING	REQUIRED PROVIDED 36 SPACES 42 SPACES	REQUIRED PROVIDED N/A N/A	REQUIRED PROVIDED 42 SPACES 58 SPACES	REQUIRED PROVIDED 78 SPACES 100 SPACES	
ONE (1) SPACE FOR EACH DWELLING UNIT	N/A N/A (INCLUDING 4 B.F.)	(INCLUDING 6 B.F.)	N/A (INCLUDING 6 B.F.)	136 SPACES 147 SPACES 214 SPACES 247 SPACES (INCLUDING 16 B.F.)	
BUILDING DATA	PROPUSED BUILDING #10	EXISTING BUILDING AREA	EXISTING BUILDING AREA		
	TERRACE LEVEL (13 BEDS) 22,741.9 S.F. MAIN LEVEL (22 BEDS) 25,180.4 S.F. UPPER LEVEL (36 BEDS) 28,606.9 S.F.	BUILDING #1 5,221 S.F. BUILDING #2 5,21 S.F. BUILDING #3 5,224 S.F. BUILDING #3 5,224 S.F. BUILDING #4 36,606 S.F. BUILDING #5 36,606 S.F. BUILDING #6 36,606 S.F. BUILDING #7 8,966 S.F.	"STONE" BUILDING #8 48,833 S.F. "TERRACE" BUILDING #9 13,681 S.F.		
	88,529.2 S.F.	136,250 S.F.	63,734 S.F.	TOTAL BUILDING AREA 288,660 S.F.	
ANCILLARY FACILITIES = 135 S.F. / B.U. = COMMON FACILITIES = 35 S.F. / B.U. =	REQUIRED PROVIDED 9,585 S.F. 9,835 S.F. 1,485 S.F. 18,295 S.F.	REQUIRED PROVIDED 18,360 S.F. >18,360 S.F. 4,760 S.F. >4,760 S.F.	REQUIRED PROVIDED 11,346 S.F. >11,340 S.F. 2,946 S.F. >2,946 S.F.		
MAXIMUM HEIGHT OF STRUCTURES	- ALLOWABLE PROPOSED 30 FEET 42 FEET 5 INCHES 2 STORIES 23 STORIES WALKOUT TERRACELEVEL	ALLOWABLE EXISTING 3 STORIES 3 STORIES	ALLOWABLE EXISTING 2 STORIES 2 STORIES		
UNIT / BED MIX / COUNT DATA	<u>A</u>				
	PROPOSED BUILDING #18 STUDIOS (458 S.F.) 28 BEDS ONE-BEDROOM (618 S.F.) 43 BEDS	EXISTING UNIT COUNT BUILDING #1 7 UNITS BUILDING #2 8 UNITS BUILDING #3 8 UNITS BUILDING #4 34 UNITS BUILDING #4 34 UNITS BUILDING #5 36 UNITS BUILDING #6 34 UNITS BUILDING #6 34 UNITS BUILDING #7 9 UNITS	EXISTING BED COUNT "STONE" BIZLDING #8 56 BEJS "TERRACE" BUILDING #9 28 BEDS		
CODE DATA	71 BEOS	136 UNITS	84 BEDS	TOTAL UNIT / BED COUNT 191 UNITS / BEDS	
	GAN BUILDING CODE				

CONCEPT PLAN MEETING
FIRE DEPARTMENT REVIEW
PLANNING COMMISSION
SITE PLAN REVIEW
REV. SITE PLAN REVIEW
OWNER REVIEW
REV. PER REVIEW NO. I
REV. PER REVIEW NO. 2



FUSCO, SHAFFER & PAPPAS, INC. ARCHITECTS AND PLANNERS

EROSION CONTROL NOTES

- 1. ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND EDUCATIONS OF THE CITY OF ENCHESTER HILLS AND GARLAND COUNTY
- 2. THE CONTRACTOR SHALL INSPECT THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AT LEAST ONCE OFF WEEK AND IMMEDIATELY AFTER EACH RAIN, TO ENSURE THE EFFECTIVENESS OF THE EROSION CONTROL PLAN, ANY NECESSARY REPAIRS SHALL BE PERFORMED IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER.
- 3. ANY EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS

(WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, DONUG AND WEST ANDS!

- 4. THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS DIRECTED ON THESE PLANS AND WHENEVER OTHERWISE REQUIRED BY THE WORK, THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
- 5. SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR SEDIMENTATION CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF DIRT OUT OF THE WORK AREA.
- 6. THE CONTRACTOR SHALL PRESERVE NATURAL VEGETATION AS MUCH AS POSSIBLE.
- ANY TEMPORARILY IMPACTED NATURAL FEATURES SETBACK AREAS MUST BE RESTORED TO ORIGINAL GRADE WITH ORIGINAL SOILS OR EQUIVALENT SOILS, AND EITHER SEEDED WITH A CITY APPROVED SEED
- B. PROTECT ALL EXISTING TREES, INCLUDING THEIR BRANCHES AND ROOTS, FROM DAMAGE DUE TO THIS WORK UNLESS SPECIFICALLY IDENTIFIED FOR REMOVAL
- 9. VEGETATION STABILIZATION OF ALL DISTURBED AREAS SHALL BE ESTABLISHED WITHIN 15 DAYS OF COMPLETION OF FINAL GRADING.
- 10. THE CONTRACTOR SHALL SWEEP THE EXISTING STREETS SURROUNDING THE PROJECT SITE ONCE A WEEK, OR AS NEEDED, STREET SCRAPING SHALL BE DONE IN CONJUNCTION WITH THIS SWEEPING ON AN AS NEEDED BASIS, OR AS DIRECTED BY THE INSPECTOR.
- 11. THE SEDIMENT CONTROL FENCING INDICATED ON THIS PLAN IS NOT INTENDED TO SHOW THE EXACT LOCATION OF THE FENCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE REQUIRED TO CONTAIN SEDIMENT
- 12 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL APPLICABLE 12. THE CONTROLLOW STALL REPRESENTANT OF THE SECURIOR SHOULD RECORD KEEPING REQUIREMENTS.

 13. THE LOCATION OF THE SECURIENT CONTROL FENCING INDICATED ON THIS PLAN IS ONLY APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND MAINTAINING THIS FENCING TO FINSURE PROPER SOIL EROSION CONTROL ACROSS THE SITE.

PARKING CALCULATION

TOTAL REQUIRED PARKING SPACES PROPOSED PARKING TOTAL SITE PARKING PROVIDED BARRIER FREE

ZONING NOTES

1. PROJECT SITE IS ZONED SP, SPECIAL PURPOSE.

PAVING AND GRADING NOTES

- 1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS, SPECIFICATIONS AND GENERAL CONDITIONS OF THE CITY OF ROCHESTER HILLS.
- 2. UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FROM UTILITY OWNERS AND MAY OR MAY NOT BE ACCURATE AND COMPLETE, CONTRACTOR SHALL VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT HAVE AN EFFECT ON THIS PROJECT. AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN
- THE PAYING CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING INSTALLATION OF ALL UNDERGROUND PIPING CONQUITS PRIOR TO PLACING PAVEMENTS, 4. CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS FLETTRIC PHONE CARLE SPRINKLERS, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY
- 5. NO WORK SHALL BE CONSTRUCTED OUTSIDE OF ROAD RIGHTS-OF-WAY OR SPECIFIED EASEMENTS, UNLESS PRIOR WRITTEN CONSENT IS OBTAINED FROM PROPERTY OWNERS. ANY DAMAGES ON PRIVATE PROPERTY CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE PAID FOR BY THE CONTRACTOR AT NO EXPENSE
- 6. ALL PAVEMENT AREAS SHOULD BE CLEARED AND GRUBBED BY REMOVING SURFACE VEGETATION, TOPSOIL, DEDDIS AND OTHER DELETERIOUS MATERIALS
- 7. THE PLACEMENT OF THE FINAL ASPHALT LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED, OR AS APPROVED BY THE OWNER A BOND COAT OF SS-1H EMULSION SHALL BE APPLIED (AT A RATE OF D.1 DALLONS/S.Y.) BETWEEN THE LEVELING AND SCAPING PROJECT WHEN AR MANIPS WAVE ELAPSED RETWEEN PLACEMENTS.
- 8. THE FINAL SUB-GRADE SHALL BE THOROUGHLY PROOF-ROLLED UNDER THE OBSERVATION OF THE SOILS
- 9. AGGREGATE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVE EDGE/BACK OF CURE O. ALL TRENCHES WITHIN A ONE ON ONE SLOPE OF PAVEMENT, SHALL BE BACKFILLED WITH SAND AND MECHANICALLY COMPACTED IN NOT MORE THAN 9" LAYER TO 95% OF MODIFIED PROCTOR.
- . NO FROZEN MATERIAL SHALL BE PERMITTED AS BACKFILL UNDER ANY ROADWAY, DRIVEWAY OR FARKING
- 12. PRIOR TO THE START OF ANY FILLING, THE CONTRACTOR SHALL REMOVE ALL TOPSOIL AND ALL OTHER UNACCEPTABLE SOIL FROM THE FILL AREAS, AND PROPERLY BACKFILL WITH ACCEPTABLE SOIL
- 13. BARRIER FREE SIGNAGE SHALL BE PLACED IN FRONT OF EVERY DESIGNATED BARRIER STALL AND COORDINATED WITH STANDARD AND VAN ACCESSIBILITY SIGNAGE.
- 14 CREAT CARE SHALL BE TAKEN TO AVOID DAMAGE TO VEGETATION OUTSIDE THE CLEARING AND GRUBBING LIMITS. NO DRIVING OR PARKING OF VEHICLES AND/OR STORAGE OF MATERIALS AND SUPPLIES SHALL BE PERMITTED OUTSIDE THE LIMITS OF CONSTRUCTION.
- 15. GENERAL GRADING REQUIREMENTS ARE AS FOLLOWS:
- A. FINISH GRADE AT EXISTING BUILDING SHALL MATCH BRICK LEDGES, GRADE LEVEL DOORWAYS OR BASEMENT WINDOW
- B. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING (± 2%)
- C. SIDEWALK CROSS SLOPE ±2% LINEESS OTHERWISE NOTED
- D. PAYEMENT SLOPES (1.0% MINIMUM, 4.0% MAXIMUM);
- UNIFORMLY BETWEEN FINISH GRADE ON PLANS
- F. LAWN AREAS ± 1% MINIMUM TO 25% (BERMS) MAXIMUM.
- 16. ALL PROPOSED GRADES ARE AT THE GUTTER UNLESS OTHERWISE NOTED, SEE DETAILS FOR FACE OF CURR TOP OF CURR AND ASPHALT ADJUSTMENTS.
- 17. ALL GRADES ARE ON THE U.S.C.S VERTICAL CONTROL DATUM.
- 8. ALL ADA RAMPS REQUIRE DETECTIBLE WARNINGS, REFER TO MOST CURRENT MOOT/ADA REQUIREMENTS FOR DETAILS OF DETECTABLE WARNINGS AT SIDEWALK RAMPS. 19. ALL SITE GRADING MUST BE DESIGNED IN ACCORDANCE WITH DOCUCETED BILLS SUCINEEDING DESKIN STANDARDS 20 ANY EXCAVATION WITHIN 1:1 INFLUENCE OF THE ROAD WAY OR SIDEWALK SHALL BE BACK FILLED WITH MODT CLASS II WATERIAL COMPACTED TO 95222 DENSITY

GENERAL NOTES

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT STANDARDS, SPECIFICATIONS, AND GENERAL CONDITIONS OF THE CITY OF ROCHESTER HILLS.
- 2. HITH ITY INFORMATION, SHOWN ON THESE PLANS WAS ORTAINED FROM UTILITY OWNERS AND THEREFORE MAY NOT BE ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY AND OBTAIN ANY INFORMATION NECESSARY RECARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT HAVE AN IMPACT ON THIS PROJECT, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN ON THE PLANS).
- 3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIET LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AT PROPOSED CONNECTIONS AND/OR CROSSINGS, AND TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES TO THESE PLANS.
- 4. 72 HOURS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG AT (800) 482-7171 FOR THE LOCATION OF UNDERGROUND GAS AND CABLE FACILITIES, AND SHALL ALSO NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN INFORMATION NECESSARY RECARDING. THE PRESENCE OF UNDERGROUND LITERTIES WHICH MIGHT AFFECT THIS JOB.
- 5. ALL PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR, ALL PERMIT FEES, BONDS, AND INSURANCE REGULERED BY THE ISSUENC ACENCIES SHALL BE PROMOTED BY THE CONTRACTOR, AND MUST BE KEPT CURRENT, CONTRACTOR IS RESPONSIBLE FOR ALL OTHER FEES, INSPECTION COSTS, ETC., AND SHALL ADHERE TO ALL REQUIREMENTS SET FORTH IN SAID PERMITS.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL WORK AREAS TO ENSURE THE SAFETY OF ALL OCCUPANTS, VISITORS, PEDESTRIANS, WORKERS, ETC. THE CONTRACTOR SHALL REPAIR AND MAINTAIN ALL CONCEDITION FEMONE AS NECESSARY
- THE CONTRACTOR SHALL PROVIDE FOR CONTROLLED ACCESS TO THE SITE FOR USE BY THE VARIOUS WORK FORCES, EMERGENCY VEHICLES, OCCUPANTS, VISITORS, ETC. THROUGHOUT CONSTRUCTION, THIS ACCESS MUST PROVIDE FOR THE REMOVAL OF MUD FROM VEHICLES TIRES AND SHALL BE CONTINUOUSLY
- THE CONTRACTOR IS REQUIRED TO CONFINE CONSTRUCTION ACTIVITIES TO THE LIMITS OF THE SITE AS SHOWN ON THE CONSTRUCTION PLANS. ANY DAMAGE OR DISRUPTION TO ADJACENT SITES IS THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT IMMEDIATELY.
- 9. ALL ELEVATIONS ON THESE PLANS ARE ON THE U.S.G.S VERTICAL CONTROL BATUM
- PROTECTION OF EXISTING TREES, AS REQUIRED, SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY. 11 ALL CONSTRUCTION SHALL HAVE RISPECTION PROVIDED BY THE CITY'S ENGINEER. THE CONTRACTOR
- SHALL CONTACT THE CITY OF ROCHESTER HILLS 48 HOURS BEFORE THE START OF CONSTRUCTION 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL AND SHALL PROVIDE ALL NECESSARY MATERIAL AND EQUIPMENT TO KEEP DUST IN CHECK AT ALL TIMES. THE CONTRACTOR SHALL RESPOND HUMEDIATELY TO ANY AND ALL COMPLANTS, DUST CONTROL SHALL BE INCIDENTAL TO THE PROJECT. 13. DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER SPRINKLER HEADS, PIPING, LIGHTING AND BURSED FLECTRICAL CASEF, WALBOXES, FENCES, SIGNS, ETC., THAT WAY OR WAY NOT BE INDICATED ON THESE PLANS. THE CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL COMPONENTS OF SUCH SYSTEMS. ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR GRIGINAL CONDITION, MINIMUM STANDARD REQUIREMENTS, OR AS SPECIFIED HERSIN; WHICHEVER IS MORE STRINGENT.
- 14. ROADWAY, DRIVEWAY, AND PARKING AREA FINAL RESTGRATION SHALL BE DONE WITH SURFACE AND BASE ATERIALS, MATCHING EXISTING MATERIALS IN QUALITY AND THICKNESS, OR PER MINIMUM REQUIREMENTS; WHICHEVER IS MORE STRINGENT.
- 15. UTILITY POLES SHOWN ON THESE DRAWINGS ARE INTENDED TO SHOW ONLY THE LOCATION OF EXISTING POLES, THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITY AND DIRECTION OF OVERHEAD LINES THE COST FOR SUPPORTING AND RELOCATING POLES SHALL BE INCIDENTAL TO THE PROJECT. 16. REESTABLISH VEGETATION ON ALL DISTURBED AREAS BY MEANS OF SEED AND MURCH
- 17. CLEANUP AND RESTORATION SHALL CONSIST OF FINE GRADING OF CONSTRUCTION AREAS, REMOVAL OF CONSTRUCTION SIGNS, ETC. TOPSOIL SHALL BE SPREAD OVER ALL DISTURBED AREAS, FOLLOWED BY SEED, FERTILIZER AND EROSION MAT OR STRAW MULCH, AND AS REQUIRED BY THE LANDSCAPING PLANS AND
- 18. THE MEANS AND METHODS OF CONTROLLING GROUNDWATER AND DEWATERING ARE THE SOLE DESCRIPTION OF THE CONTRACTOR AND COST ASSOCIATED WITH DEWATERING SHALL BE INCIDENTAL TO

EROSION CONTROL SEQUENCE

- 1. INSTALL MUD MATS, SILT FENCE AND INLET FILTERS AT ALL EXISTING LOCATIONS AS SHOWN AND AS PENHIPED TO ACHIEVE ON-SITE CONTAINMENT.
- 2. INSTALL STORM SEWER AND ALL ASSOCIATED STORM WATER IMPROVEMENTS AS SHOWN ON PLANS. IMMEDIATELY INSTALL INLET FILTERS AT ALL CATCH BASINS.
- 3. ROUGH GRADE THE PROJECT "WORK AREA" AS NEEDED.
- 4 INSTALL PAVENIENT RACKELL AND SEED & MULCH ALL DISTURBED AREAS.
- CLEAR ALL ACCUMULATED SILT AND REMOVE ALL EROSION CONTROL DEVICES.
- B. INSTALL LANDSCAPING MATERIALS AS INDICATED PER PLANS & RE-SEED, FERTILIZE AND MULCH ALL

UTILITY NOTES

- 1. 413 WATER MAIN AND APPURTANCES SHALL BE AND CONSTRUCTED DESIGNED IN ACCORDANCE WITH ROCHESTER HILLS ENGINEERING DESIGN STANDARDS.
- 2. ALL SANITARY SEWERS, SERVICES, AND AND RELATED ITEMS SHALL BE DESIGNED AND CONSTRUCTED IN RITANCE WITH ROCHESTER HILLS ENGINEERING DESIGN STANDARDS.
- J. ALL STORM WATER BASINS MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ROCHESTER HILLS





PRINCIPAL:	KM
PROJ. MNGR:	MK
DESIGN:	IJ
DRAWN:	IJ
IND, REVIEW:	TC
SECTION: 31 T	-3-N R-11

PROFESSIONAL SEAL

AMERICAN HOUSE VILLAGE OF ROCHESTER HILLS, LLC TAS TELEGRAPH ROAD, SUITE 330 OOMFRELD HILLS, MICHIGAN 48034 48) 203-1600

STORM SEWER SANITARY SEWER WATER MAIN GAS MAIN UNDERGROUND ELECTRIC LINES --- UGE ----- UGT ---UNDERGROUND TELEPHONE LINES UNDERGROUND CABLE TELEVISION LINES ____ CTV ___ ----- OH ----OVERHEAD LINES PUBLIC LIGHTING LINES ------ PLD ------- STEAN FENCE LINE PROJECT PHASE LIMIT LINE CONCRETE CURB AND GUTTER (STANDARD) CONCRETE CURB AND GUTTER (REVERSED) DRAINAGE DITCH LINE STORM MANHOLE CATCH BASIN ●6□ YARD BASIN H INLET BASIN END SECTION ROOF/DOWN SPOUT OVERFLOW/OUTLET STRUCTURE ₩ 0 STORM CLEAN OUT \bigcirc CO OC.0.

EXISTING

PROPOSED

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GENERAL LEGEND

SANITARY MANHOLE

SANITARY RISER

SANITARY CLEAN DUT

SANITARY PUMP STATION

GATE VALVE FIRE HYDRANT STOP BOX AND VALVE FDC CONNECTION WATER METER (<u>R</u>) POST INDICATOR VALVE WELL HEAD W IRRIGATION CONTROL ROX LAWN IRRIGATION HEAD GAS VALVE GAS MANHOLF (6) GAS RISER GAS METER (G) ELECTRIC MANHOLE **(**2) ELECTRIC RISER Æ ELECTRIC METER (E) ELECTRIC TRANSFORMER E LIGHT POLE 叴 TELEPHONE MANHOLE 0 TELEPHONE RISER Δ TELEPHONE CROSS BOX 7 CABLE RISER Α TRAFFIC CONTROL BOY C AIR CONDITIONER PUBLIC LIGHTING MANHOLE UTILITY POLE Θ

EXISTING PROPOSED GLY WIRE ANCHOR UTILITY FLAG SIGN POST GUARD POST/BOLLARD FENCE POST PAY PHONE PARKING METER RESIDENTIAL MAILBOX U.S. MAILBOX BLDG CORNER (FIELD LOCATED) TREE WETLAND FLAG SPOT ELEVATION SOIL RORING ASPH CONC A.C. ďΩ G.P. C.L.F. 0.H. F.L S.I. F.I.P.

M. R.

NOT TO BE USED FOR CONSTRUCTION

F.M.

0 **⊕** Θ <u>।</u> 0 * XXX.XX × 150.23 0 ASPHALT CONCRETE AIR CONDITIONER CHARD POST CHAIN-LINK FENCE DOOR LEDGE FINISHED FLOOR OVERHANG FOUND IRON SET IRON FOUND IRON PIPE MEASURED RECORD FOUND MONUMENT

EXISTING

PROPOSED

DEMOLITION LEGEND REMOVE UTILITY STRUCTURE æ REMOVE UTILITY PIPE . x. x. x. x. x. x. x. x. ARANDON LITH ITY PIPE - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -88 CUT AND BULKHEAD UTILITY PIPE REMOVE BUILDING REMOVE CONCRETE PAVEMENT REMOVE ASPHALT PAVEMENT REMOVE SIDEWALK **EROSION CONTROL LEGEND** DRAINAGE AREA SEDIMENT INLET FILTER MUD MAT ENTRANCE 7773 CHECK DAM

SEDIMENT CONTROL FENCE

DRAINAGE AREA LINE

PAVING AND GRADING HATCH LEGEND COMPACTED SAND BACKFILL (CSB) AGGREGATE MATERIAL REGULAR DUTY ASPHALT PAVEMENT HEAVY DUTY ASPHALT PAVEMENT CONCRETE PAVEMENT PROPOSED PATIO ADA ACCESSIBLE PATH

Giffels-Webster Engineers, Inc. ENGINEERS-LAND SURVEYORS PLANNERS-LANDSCAPE ARCHITECT. 2871 BOND STREET

ROCHESTER BILLS, MI 48309 PHONE (248) 852-3100 FAX (248) 852-6372

PHONE (313) 962-4442

6303 26 MILE ROAD, SUITE 100 WASHINGTON TOWNSHIP, MI 48094 PHONE (SAR) 781-8950 FAX (586) 781-8951 EMAIL info@giffelrwebster.com

HEET TITLE:

NOTES AND LEGEND

> AMERICAN HOUSE CITY OF ROCHESTER HILLS AKLAND COUNTY, MI

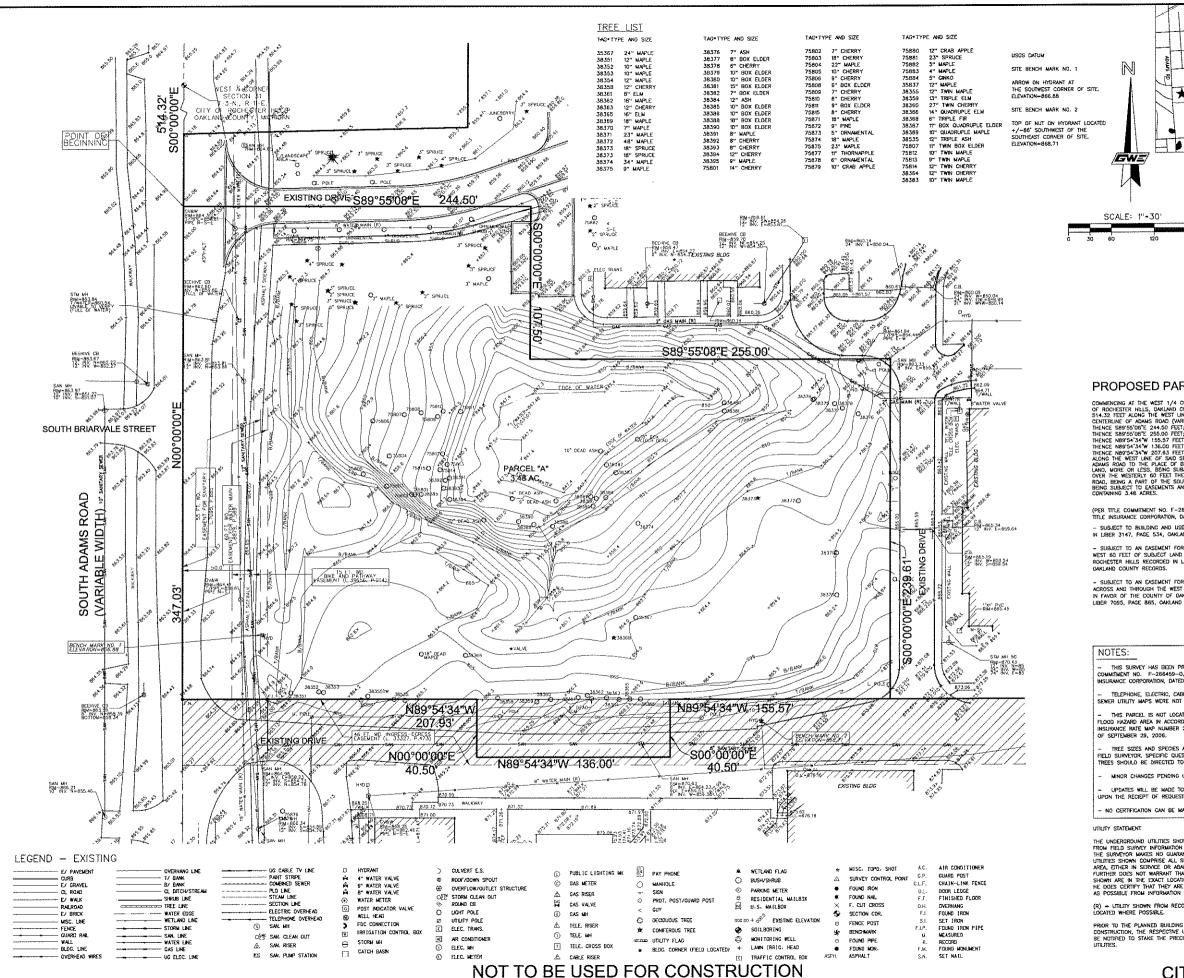
DATE: 02.15.08 SCALE: NTS SHEET: C100 IOB: 1756800

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COMMENCING AT THE WEST 1/4 CORNER OF SECTION 31, T3N, R11E, CITY OF ROCHESTER HILLS, DAKLAND COUNTY, MICHIGAN; THENCE SOCIOTOGO*E 514.32 FEET ALDNG THE WEST LINE OF SAID SECTION 31 AND THE STATE OF ADMAS ROAD (VARIBLE WINTH) FOR A PLACE OF BEDINNING; THENCE SHE'PSO'GO*E 244.50 FEET; THENCE SOCIOTOGO*E 239.61 FEET; THENCE SOCIOTOGO*E 239.61 FEET; THENCE SOCIOTOGO*E 435.61 FEET; THENCE NOS'GO*E** 153.61 FEET; THENCE SOCIOTOGO*E 435.61 FEET; THENCE NOS'GO*E** 445.60 FEET; THENCE NOS OCCUPIED BY \$400 ADAMS ROAD, BEING A PART OF THE SOLITHWEST 1/4 OF SAID SECTION 31, AND BEING SUBJECT TO ASSELLATION AND RESTRICTIONS OF RECORD, IF ANY, CONTAINING 3.48 ACRES.

LOCATION MAP (NOT TO SCALE)

(PER TITLE COMMITMENT NO. F-266459-O, PREPARED BY LAWYERS TITLE INSURANCE CORPORATION, DATED NOVEMBER 8, 2001.

- SUBJECT TO AN EASEMENT FOR WATER MAIN OVER THE WEST SO FEET OF SUBJECT LAND IN FAVOR OF CITY OF ROCHESTER HILLS RECORDED IN LIBER 8879, PAGE 589, OAKLAND COUNTY RECORDS.

- SUBJECT TO AN EASEMENT FOR SANITARY SEWER SYSTEM ACROSS AND THROUGH THE WEST 55 FEET OF SUBJECT LAND IN FANDR OF THE COUNTY OF CANLAND AS RECORDED IN LIBER 7095, PAGE 885, CANLAND COUNTY RECORDED.

THIS PARCEL IS NOT LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARO AREA IN ACCORDANCE WITH THE FEDERAL INSURANCE RATE MAP NUMBER 28125C0389F, EFFECTIVE DATE OF SEPTEMBER 29, 2006.

- UPDATES WILL BE MADE TO THE UTILITY LINE LOCATIONS UPON THE RECIEPT OF REQUEST UTILITY MAPS.

- NO CERTIFICATION CAN BE MADE AS TO LIMITS OF OWNERSHIP

THE UNDERGROUND LITERIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWNINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND LITERIES SHOWN COMPRISE ALL SUCH LITERIES IN THE AFEA, ETHER IN SERVICE OR ABANDONED. THE SURVEYOR FRITTHER DOES NOT WARRANT THAT THE UNDERGROUND UTLIFIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CRETTEY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

PROPOSED PARCEL "A"

THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH TITLE COMMITMENT NO. F-268459-O, PREPARED BY LAWYERS TITLE INSURANCE CORPORATION, DATED NOVEMBER 8, 2001.

TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR, SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.

MINOR CHANGES PENDING UPON FIELD CREW REVIEW

PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/ OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

PRINCIPAL: KM PROJ. MNGR: MK DESIGN:

SECTION: 31 T-3-N R-11-E

OB SITE PLAN REVIEW NO SITE PLAN REVIEW NO SITE REVIEW N

PROFESSIONAL SEAL

EVELOPED FOR

MERICAN HOUSE VILLAGE OF ROCHESTER HILLS, LLC OOMFIELD HILLS, MICHIGAN 48034



ENGINEERS-LAND SURVEYORS PLANNERS-LANDSCAPE ARCHITECTI 2871 BOND STREET ROCHESTER HILLS, MI 48309 PHONE (248) 852-3100 FAX (248) 852-6372 407 E. FORT STREET, SUITE 606 DETROIT, MI 48226

PHONE (313) 962-4442 FAX (313) 962-5068 6303 26 MILE ROAD, SUITE 100 WASHINGTON TOWNSHIP, MI 48094 PHONE (586) 781-8950 FAX (586) 781-8351

EMAIL info@giffelswebster.com
www.giffelswebster.com

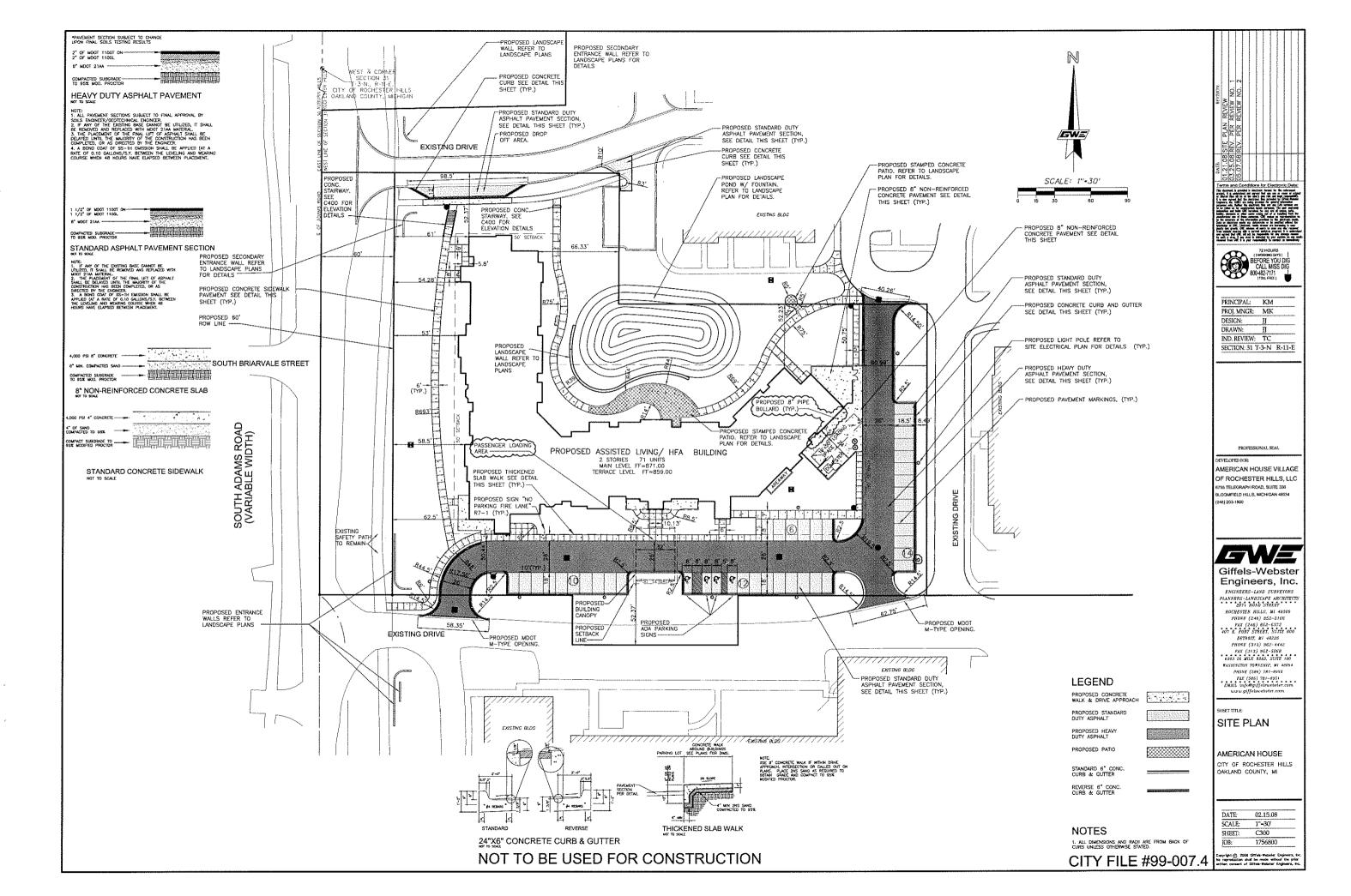
TOPOGRAPHIC **SURVEY**

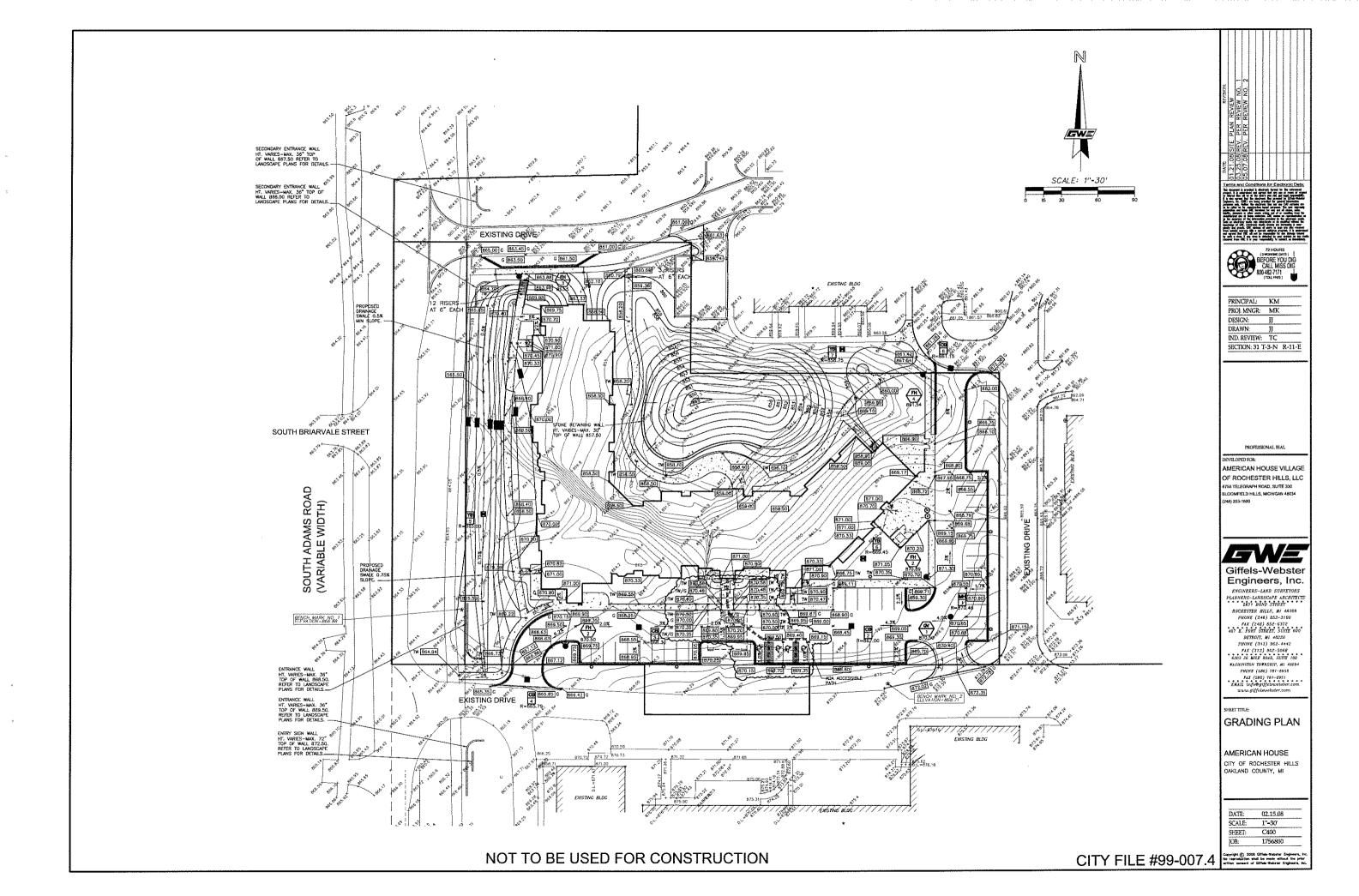
AMERICAN HOUSE

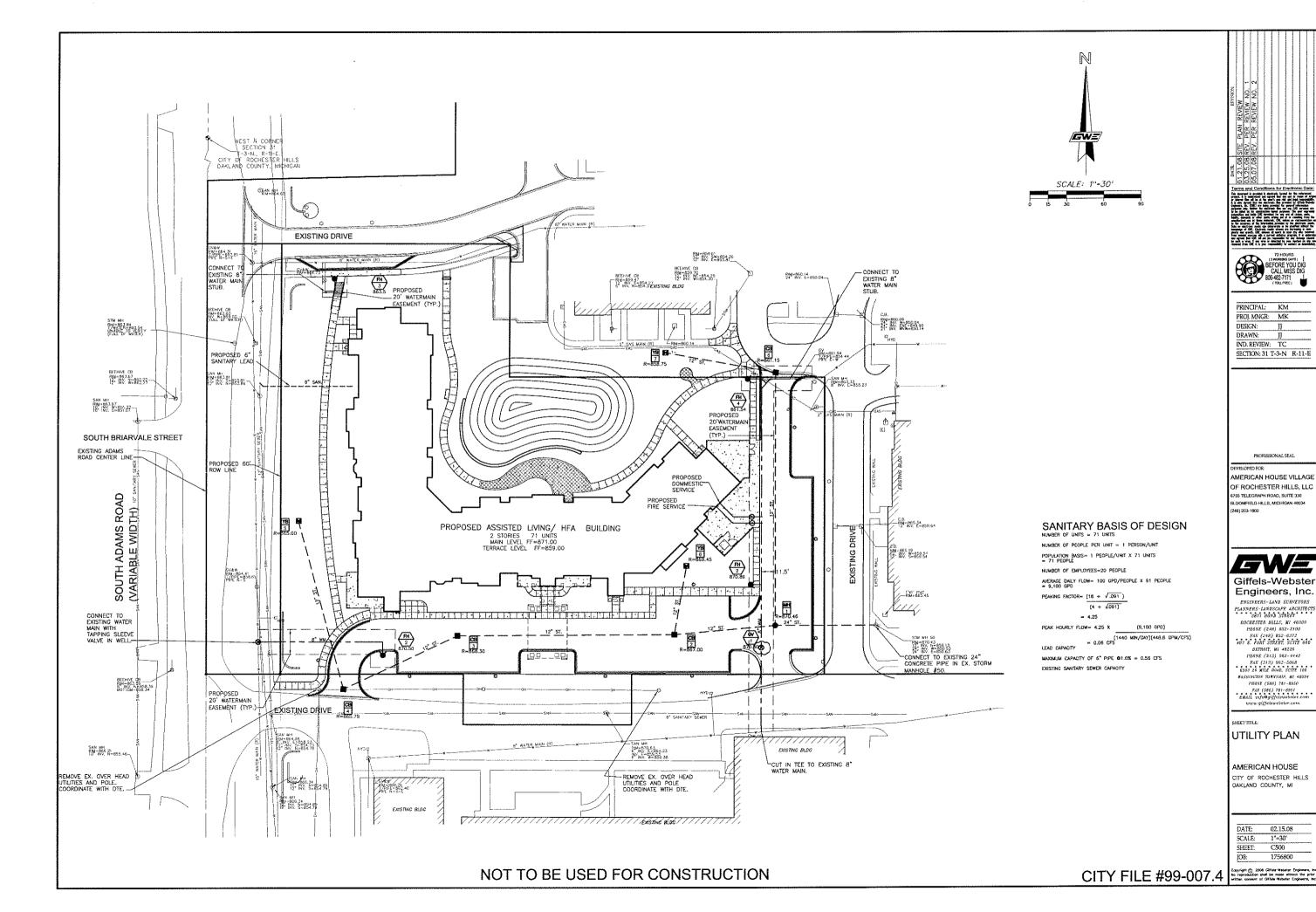
CITY OF ROCHESTER HILLS DAKLAND COUNTY, MI

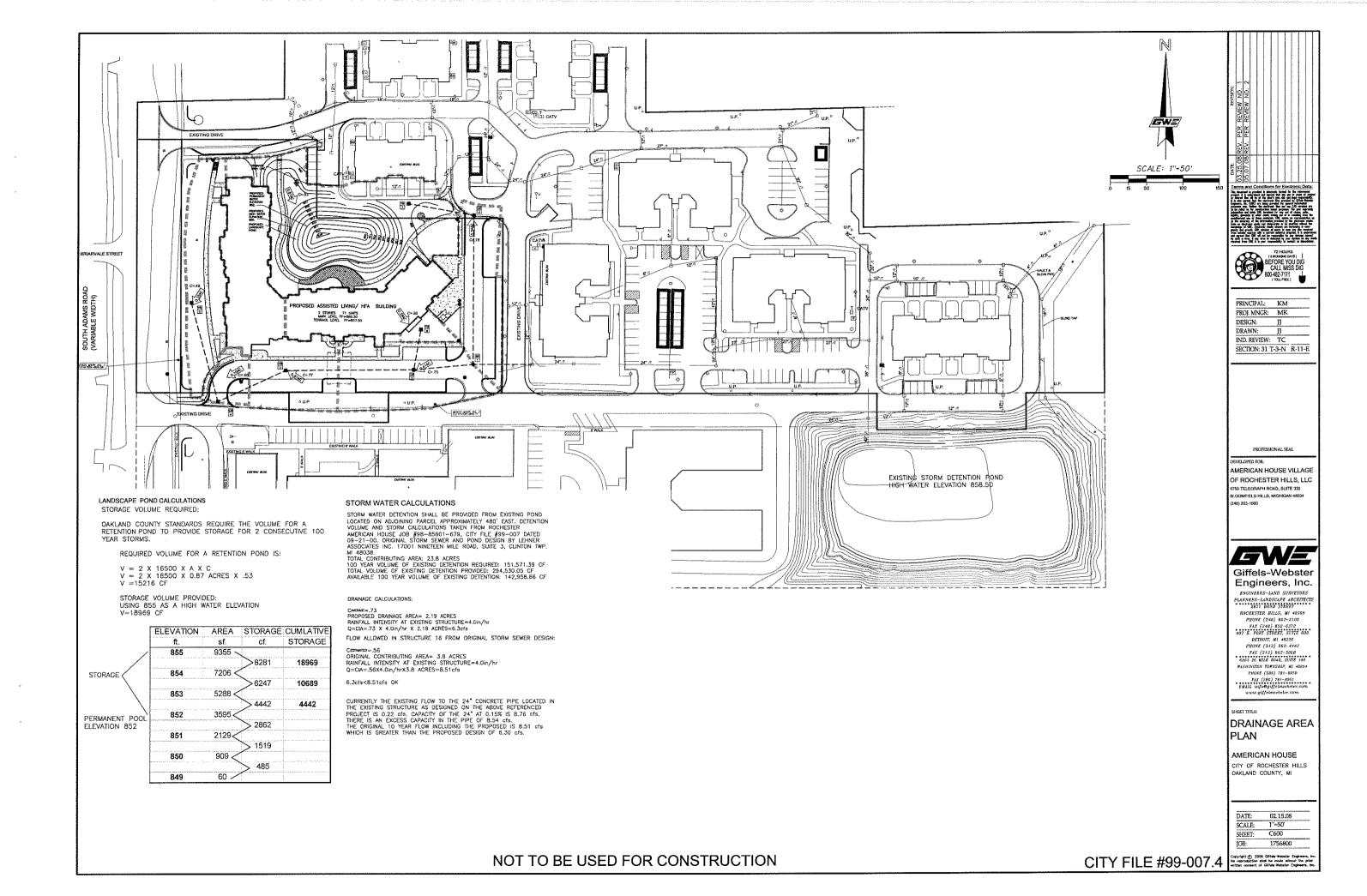
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5CALE:	1"=30'
SHEET:	C200
IOB:	1756800

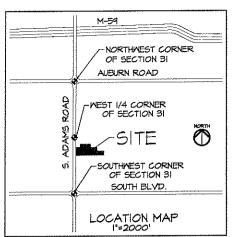
CITY FILE #99-007.4 Correction and be made through the production and be made throughout the prior

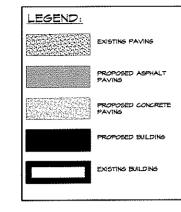
















MICHIGAN

5.07.08	REV. PER REVEW NO. 2
3.24.08	REV. PER REVIEW NO. I
30.08	OWNER REVIEW
2.22.00	REV. SITE PLAN REVIEW
118/08	SITE PLAN REVIEW
12.J4.07	PLANNING COMMISSION
12.01	FRE DEPARTMENT REVI
92707	CONCEPT PLAN MTG
DATE	ISSUE

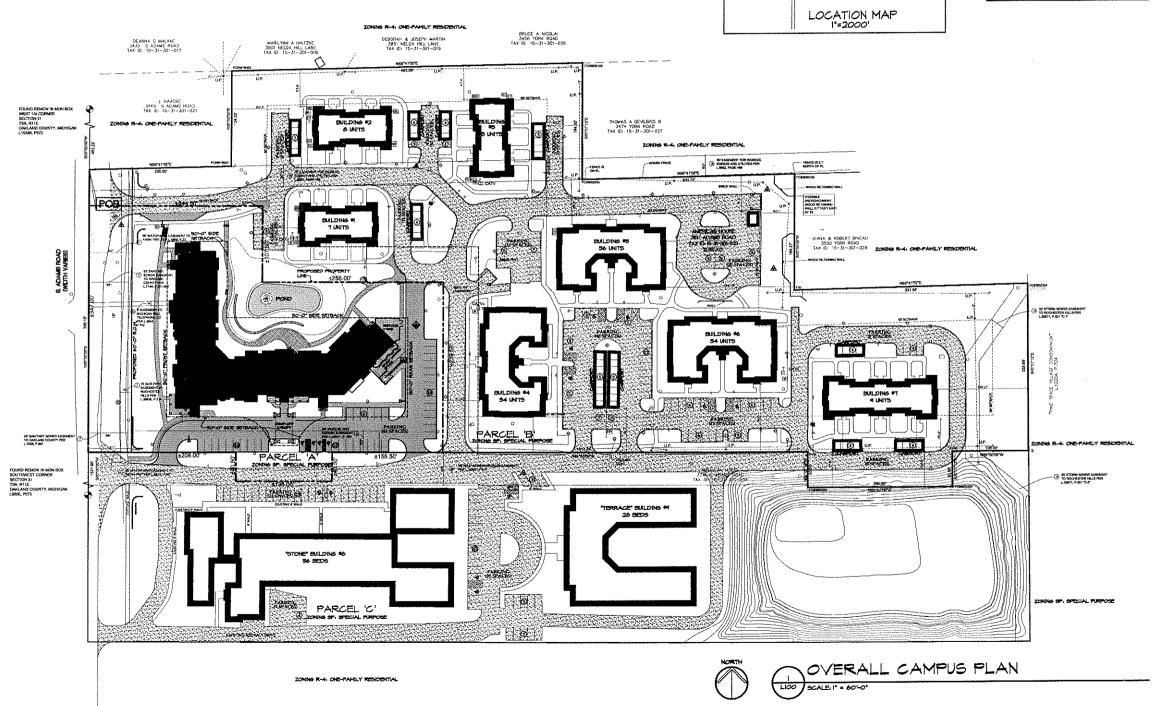
KEY FLAN

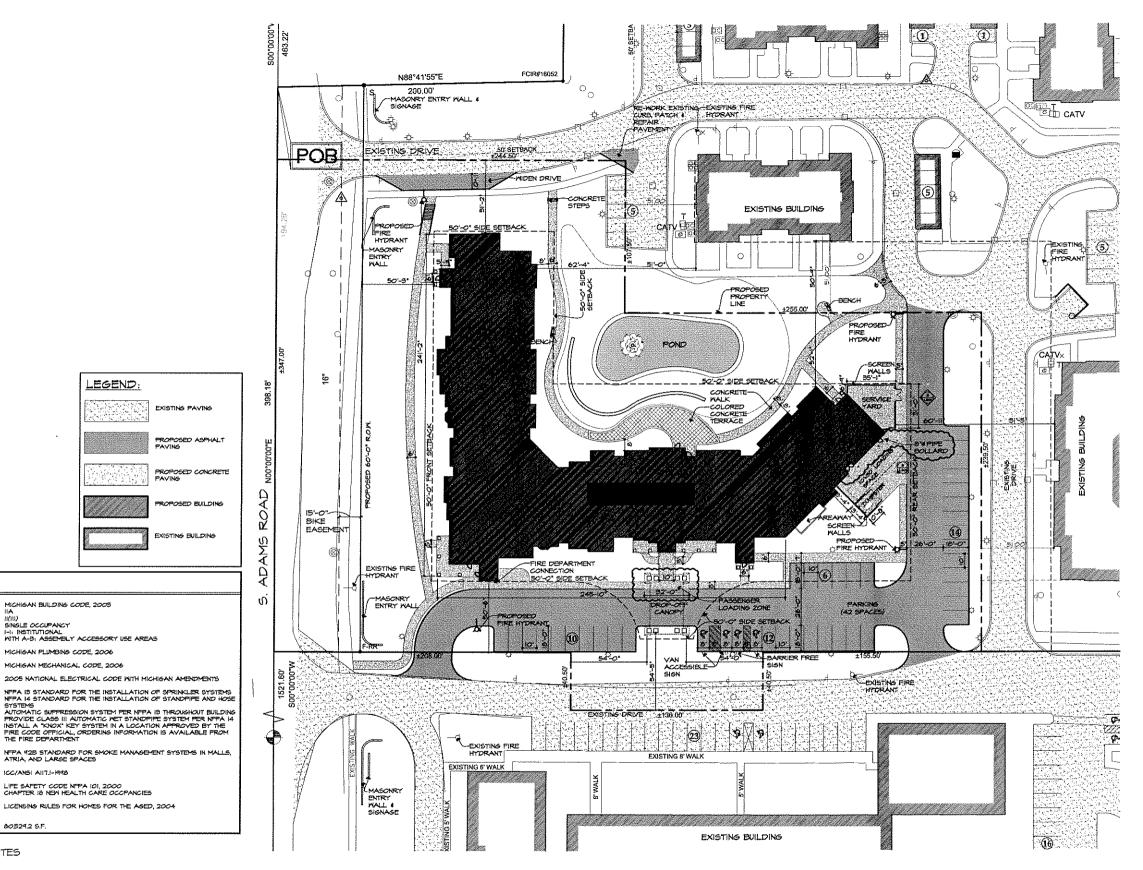
DRAWING TITLE

OVERALL CAMPUS PLAN

DRAWING NUMBER









MICHIGAN

ROCHESTER HILLS

FSP FUSCO, SHAFFER & PAPPAS, INC.

CONTRICTIONS - FUSCO SHAPPER & PARTAS INC.

5.07.08 REV. PER REVEW NO. Z 3.24.06 REV. PER REVIEW NO. I 3000 OWNER REVIEW 222.08 REV. SITE PLAN REVEW SITE PLAN REVIEW 118,08 PLANNING COMMISSION 12,14,07 PRE DEPARTMENT RÉVEY 112.01 CONCEPT PLAN ATG

KEY PLAN

PROPOSED ARCHITECTURAL SITE PLAN

DRAWING NUMBER





TOTAL FLOOR AREA (ALL STORIES): 80,524.2 S.F.

CODE DATA

PLUMBING CODE.

MECHANICAL CODE

ELECTRICAL CODE:

FIRE SUPPRESSION

ACCESSIBILITY:

MDCH BUREAU OF HEALTH SYSTEMS:

BUILDING CODE:
MBC2008 CONSTRUCTION TYPE:
NFPA220 CONSTRUCTION TYPE:
CLASSIFICATION;
USE GROUP;

CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14

LICENSING RULES FOR HOMES FOR THE AGED, 2004

MIGHIGAN BUILDING CODE, 2003 H(HI) SINGLE OCCUPANCY

MICHIGAN PLUMBING CODE, 2006

MDLEG BUREAU OF FIRE SERVICES: LIFE SAFETY CODE NEPA 101, 2000 CHAPTER 18 NEW HEALTH CARE OCCPANCIES

MICHIGAN MECHANICAL CODE, 2006

I-I: INSTITUTIONAL MITH A-B: ASSEMBLY ACCESSORY USE AREAS

2005 NATIONAL ELECTRICAL CODE WITH MICHIGAN AMENDMENTS

LEGEND:

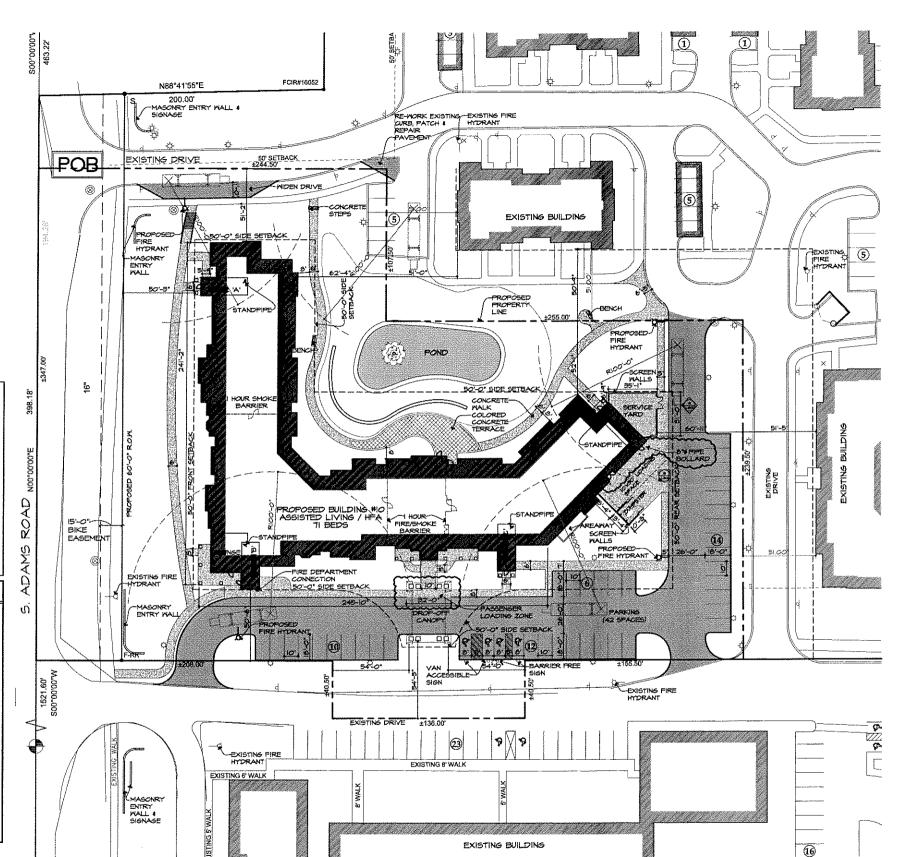
EXISTING PAVING

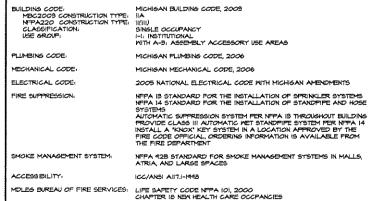
ROPOSED BUILDING

OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES, CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. FIRE PREVENTION ORDINANCE CHAPTER 56, SECTIONSOT.6.2 & 307.6.2.3

FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART, "NO STOPPING, STANDING, PARKING, FIRE LANE", AND IN CONFORMANCEWITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.







MICHIGAN BUILDING CODE, 2009

LEGEND:

EXISTING PAVING

PROPOSED ASPHALT PAVING

PROPOSED CONCRETE PAVING

PROPOSED BUILDING

FIRE DEPARTMENT NOTES

TOTAL FLOOR AREA (ALL STORIES): 80529.2 S.F.

MDCH BUREAU OF HEALTH SYSTEMS:

CODE DATA

CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH IFC CHAPTER 14

LICENSING RULES FOR HOMES FOR THE AGED, 2004

OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES, CONTACT ROCHESTER HILLS FIRE DEPARTMENT FOR PERMIT INFORMATION. FIRE PREVENTION ORDINANCE CHAPTER 56, SECTION307.6.2 & 307.6.2.3

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FIRE DEPARTMENT ACCESS PLAN

FSP fusco, shaffer & pappas, inc. ARCHITECTS AND PLANNERS

30800 NORTHWESTERN HWY, 5LITE 100 FARMINGTON HILLS, MICHIGAN 48334 PHONE 248.932.8300 FAX 248.932.8301

lerican House

5,07,08 REV. PER REVEW NO. 2

3.24.08

310.08

222.00

2,4.01

12.01

1000

REV. FOR REVIEW NO. I

REV. SITE PLAN REVEW

PLANNING COMMISSION

HRE DEPARTMENT REVEW

SITE PLAN REVEW

CONCEPT PLAN MTG

KEY PLAN

OWNER REVIEW

ROCHESTER HILLS

FIRE DEPARTMENT ACCESS

DRAWING TITLE

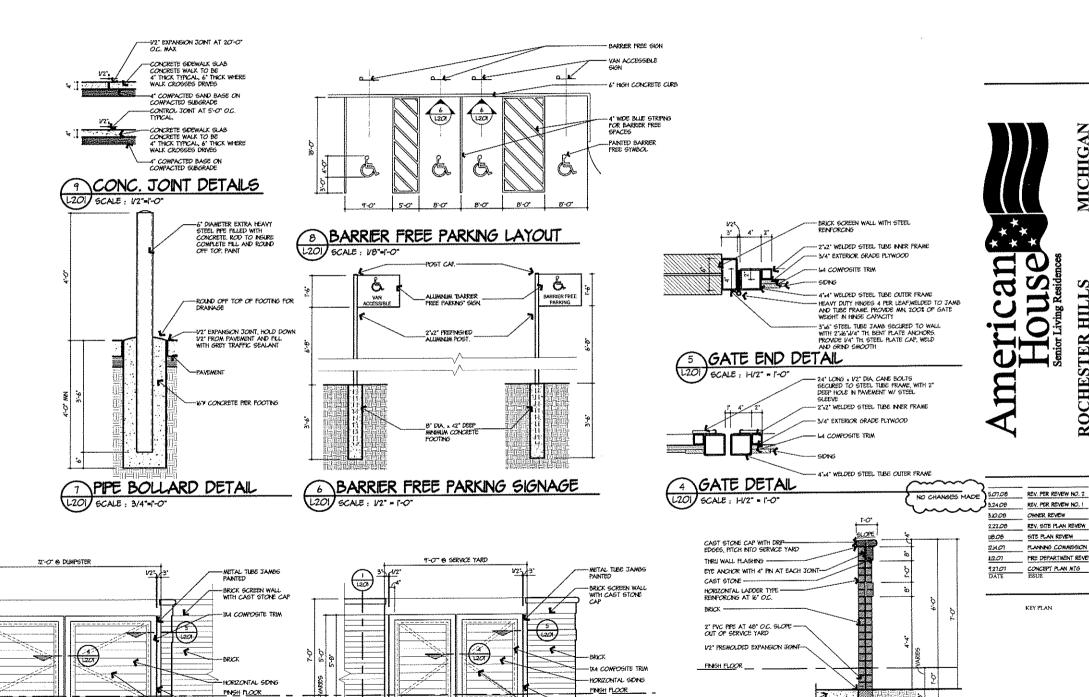
DRAWING NUMBER

L102

NOT TO BE USED FOR CONSTRUCTION DRAWINGS

30800 NORTHWESTERN HWY, SUITE 100 FARMINGTON HIELS, MICHIGAN 48334 PHONE 248,932,8300 FAX 248,932,8301

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3 DUMPSTER ENCLOSURE GATE ELEVATION (1201) SCALE : 3/8" - 1-0"

-4" x 4" Steel Tube Frame, Welded Together, Painted

-Outline of 2:2 steel Tube frame and Diagonal Braces

2 SERVICE YARD ENCLOSURE GATE ELEVATION [20] SCALE: 3/8" = 1-0"

SCREEN WALL SECTION (L201) SCALE : 1/2" = 1-0"

Γ-2°

6" CONCRETE SLAS W/646—— WWM ON 4" COMPACTED SAND BASE, SLOPE V8" PER FOOT

+5 VERTICAL REINFORCING BARS AT 16" O.C. SECURED TO HORIZONTAL REINFORCING

M* CONCRETE TRENCH FOOTING WITH 2 +5 BARS TOP AND BOTTOM

-4" x 4" STEEL TUBE FRAME, WELDED TOGETHER, PAINTED

L20

REV, PER REVIEW NO. 1

OWNER REVIEW

SITE PLAN REVIEW

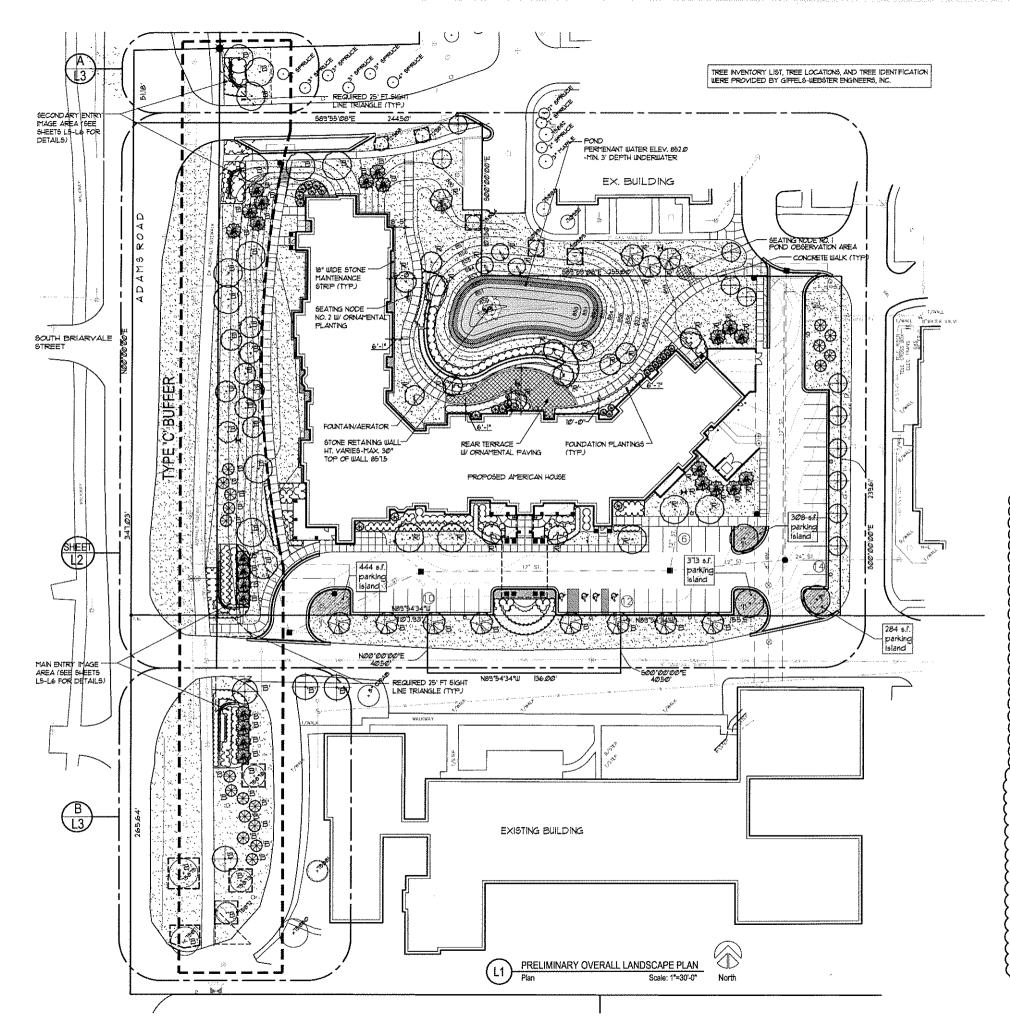
KEY PLAN

DRAWING TITLE

LANDSCAPE DETAILS

DRAWING NUMBER

FRE DEPARTMENT REVEW



LANDSCAPE LEGEND

Sym.	Item/Description
	SODDED LAUN FINE GRADE, FERTILIZE, AND SOD (CLASS 'A' BLENDED BLUEGRASS) ON A MIN 3" TOPSOIL

AC PLANT SYMBOL
5 PLANT QUANTITY

PLANT LABEL

⊙″ Existing Evergreen Tree to be Saved Existing Deciduous Tree to be Saved

> PROPOSED PARKING PLANTER ISLAND AREA (4 TOTAL AREAS)

> > TRANSPLANTED CANOPY TREE (IS TOTAL) SEE SHEET L4 FOR EX. TREE LOCATION

TRANSPLANTED EVERGREEN TREE (IS TOTAL) SEE SHEET L4 FOR EX. TREE LOCATION

LANDSCAPE REQUIREMENTS (General Site)

Frontage Requirements (Type 'C' Buffer)-labeled 'B' on plan I tree per IØ lineal feet of frontage 663.85 If frontage / IØ = 663.85 or 61 trees Total trees required - 61 Total trees proposed - 61

Interior Parking Lot Islands

₩

BO of of parking lot island per IØ parking spaces
42 spaces / IØ = 42 or 5 parking spaces
5 spaces x BO of of Island = a total 150 of of Island area Total interior landscape required - 750 sf

Total interior landscape proposed - 1,409 sf

Parking Lot Trees (labeled 'I' on plan)

It tree and i planter island per 300 sf of required parking lot island area or I tree per each parking Island required 150 sf / 300 = 25 trees or 3 trees 4 islands provided

Total trees required - 4 trees Total parking lot trees proposed - 4 trees

Tree Replacement (labeled 'R' on plan)

1:1 Tree Replacement for all trees 6" DEH or greater (except for dead or Ash trees, Total regulated trees removed = 62

Total trees required for replacement = 62 tree credits (min. 6' ht. evergreen or 25" cal. tree) Total trees proposed = 105 tree credits or 34 proposed trees

TREE INVENTORY & ANALYSIS SUMMARY

Total
129
-2
- 14
-2
- 34
-5
72
- 10
62 tree credits
70,5 tree credits (see charts

(Refer to the tree removal plan for existing tree locations, removals, and transplants-see sheet L4)

CHART OF REPLACEMENT CREDITS

Deciduous	Trees	Evergreen Trees			
Caliper Size	Number of Credits	Height	Number of Cred		
2"	1	8'	1		
21/2"	1.5	3'	15		
3"	2	10'	2		
31/2	25	11'	25		
4"	3	12'	3		
41/3"	3.5	13'	35		
5"	4	14'	4		
Multi-stem 8-10'	1	^^~~			
Multi-stem 12-14"	1.5				

PROPOSED REPLACEMENT TREE CREDITS

Qty.	Tree type	Tree Size and Credits per tree	Number of replacement credits earned
9	BN	12-14' multi-stem - 1,5 each	35
5	cx	8-10" ht I each	5
4	MB	2* cal I each	4
3	MG	3" cal 2 each	6
5	PCC	3" cal 2 each	6
5	PG	14' ht 4 each	20
3	PP	14' ht 4 each	12
Total	number of tree	credits for all 34 provided replacement trees	105 credits

FSP FUSCO, SHAFFER & PAPPAS, INC. ARCHITECTS AND PLANNERS

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LANDSCAPE ARCHITECTURE

MICHAEL J. DUL & ASSOCIATES, INC.

212 DAINES STREET

MICHIGAN 48009

P 248 644 3410

F 248 644 0819 into@mjdut.com

05.07.08 REV. PER REVIEW NO. 2 03.24.08 REV. PER REVIEW NO. 02.22.08 REV. SITE PLAN REVIEW 01.18.08 SITE PLAN REVIEW 01,16,08 OWNER REVIEW
DATE ISSUE

KEY PLAN



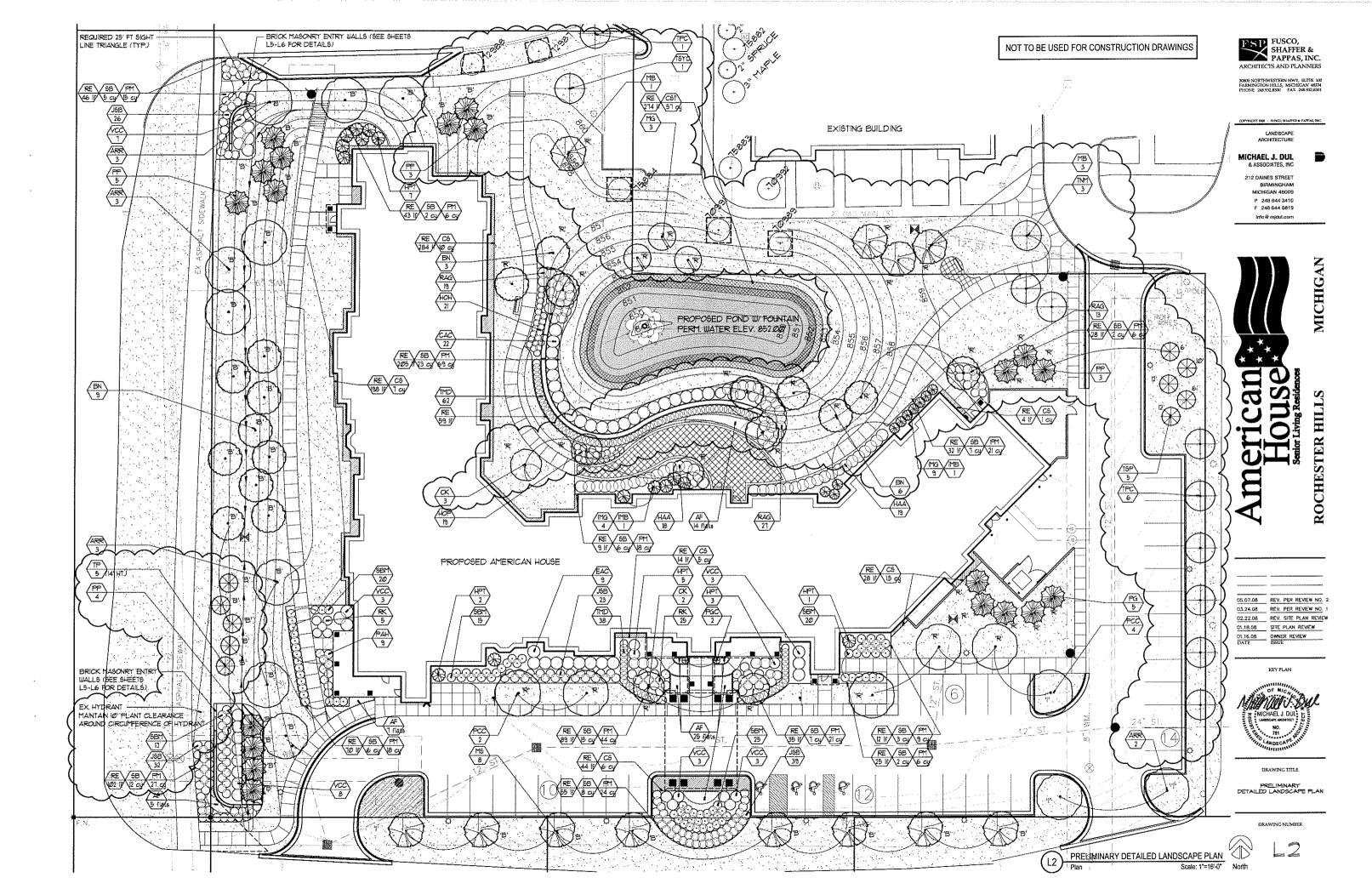
DRAWING TITLE

PRELIMINARY OVERALL LANDSCAPE PLAN

DRAWING NUMBER

NOT TO BE USED FOR CONSTRUCTION DRAWINGS

70.5 tree credits (see charts below for calc.)



CITY OF ROCHESTER HILLS GENERAL NOTES

- 1) All trees and shrulos must be planted at least 10° from the edge of the public road. Shade trees and shrubs must be planted at least 5° from the edge of the public walkway. Evergreen and ornamental trees must be planted at least 10° from the edge of the public walkway. No trees or shrubs may be planted within the wastuag. No trees or structs may be planed within the right-of-way lines at a distance along each line of 25' from their point of intersection. No trees or structs may be planted in the triangular area formed at the intersection of any direvauly with a public walking at a distance along each line of 15' from their point of intersection. All trees and structs must be planted at least 10' from any fire hydrant. Shade and evergreen trees must be at least 15' from the nearest overhead wire.
- 2) Prior to the release of the Street Tree Ordinance Performance Bond, the City of Rochester Hills Forestry Division needs to inspect all trees, existing or planted, to identify any that pose a hazard to the safe use of the public right-of-way. Forestry may require the developer to remove, and possibly replace, any such trees.
- 3) The City of Rochester Hills Landscape Architect reserves the right to reject any landscape plants that do not meet plan or industry
- regulements.

 4) All landscaping is to be guaranteed by the developer for a period of two full growing seasons (two years). This 2 year warranty includes transplanted trees.

 5) Trees must be planted a minimum of B-0° from an underground utility, unless

LANDSCAPE DEVELOPMENT NOTES

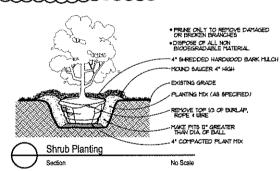
D. All existing and proposed utilities shall be field located and flagged prior to any landscape/irrigation construction on-site.

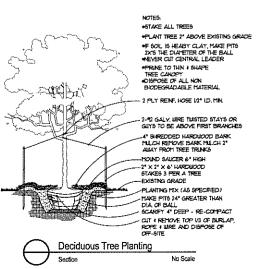
the City's landscape architect requires a greater distance

- 2) All specified and installed landscape naterial shall satisfy the American Association of Nurseryman standards (latest edition) and be: s) Nursery grown.
- A nursery grown.
 State Department of Agriculture Inspected and approved.
 No. I grade with straight unscared trunks and well developed uniform crowns on all trees (park grade trees will not be accepted).
- 3) Proposed stredded hardwood bank mulch shall be seasoned for a minimum six months, dank brown in color, and installed 4" deep in all proposed struib beds and circles around each proposed tree (included in the unit price of each tree).
- All disturbed laun areas shall be fine graded, fertilized, and soot (class "A" blended bluegrass) on a min 3" imported well-drained, screened, organic topsoli
- 5) Trees and shrubs shall be replaced if unacceptable with in (2) two growing seasons
- 6) All proposed lawn and landscape areas shall be watered by an automatically operated sprinkler irrigation system.
- Planting mix shall be 3 parts well drained screened organic topsoil, I part clean sand and I part sphagnum peat mose.
- 8) Topsoil shall be imported from an off site source, well drained, screened and organic, with a sandy loam base.

 9) No substitutions or changes of location or plant type shall be made without the approval of the developer and the City of Rochester Hills Landscape Architect
- Fhade and evergreen trees must be planted at least 15' away from the nearest overhead wire and 5' away from any underground utility and public eldewalk.

 All trees noted for transplanting that are not transplanted must be replaced with ______





PLANT & MATERIAL SCHEDULE

Sym.	Qty.	Botanical Name	Common Name	Size	Root	Comments	Unit Cost	Subtotal
BUFFI	ER TRE	ES AND SHRUBS						
		Deciduous Trees						
ΤM	1	Transplanted Existing Maple	Existing Maple	T" cal.	SPADE	Mechanical epade-min, 90"	15Ø	15Ø
TPC	3	Transplanted Existing Callery Pear	Existing Callery Pear	4-6" cal.	SPADE	Mechanicai epade (min. 3½" cal.)	150	450
15	14	Transplanted Existing Spruce	Existing Spruce	3-6" cal.	SPADE	Mechanical spade (min. 14° ht.)	150	12100
AFR	12	Acer rubrum 'Red Sunset'	Red Surset Red Maple	3 ½" cal.	BIB	Full heads	1450	5,400
₽N	9	Betula nigra	River Birch	12-14' ht.	B48	Multi-stem, min. 3 canes 15" dia., fuil heads	1450	4050
M5	7	Malus 'Snoudrift'	Snouldrift Crab	2½° cal.	B48	Full heads	# 325	12,275
		Evergreen Trees						
pp	16	Picea punciens	Colorado Spruce	14' ht.	848	Unsheared, branched to ground	1650	10,400
		Shrubs	·			~	1	
JSB	106	Juniperus sabina "Broadmoor"	Broadnoor Juniper	18-24"	Can	Space 36" o.c min. 3 gail, plants	135	43,TIØ
5EM	35	Spiraea bunaida Magic Carpet	Magic Carpet Spiraea	18-24°	Can	Space 36" o.c min. 3 gal, plants	135	1225
VCC	3Ø	Viburnum carlesii 'Cayuga'	Cayuga Koreanspice Viburium	30-36"	848	Space 60° o.c.	195	12,850
		Annuals	'			•		
ΔF	15 flat	s Annual Flowers - Color/Type to be select	sted and approved by Owner/Landso	ape Architect	48/flat	Space 5" oc.	130	145Ø

REPLACEMENT TREES

		Deciduous Trees						
BN	9	Betula nigra	River Birch	12-14' ht.	BIB	Multi-stem, min. 3 canes, full heads	1450	14,050
CK.	5	Cornus kousa	Kousa Dogwood	8-10" ht.	B¢B	Full heads	+325	1,625
MB	4	Malus 'Beverly'	Beverly Crab	2-2½" cal.	B48	Full heads	1250	1,000
MG	3	Metasequoia glyptostroboldes	Dawn Redwood	3-3 h" cal		Full heads	1450	1,350
PCC	5	Pyrus calleryana 'Cleveland Select'	Cleveland Select Callery Pear	3- 3 ½" cal	846	Full heads	145Ø	12,25Ø
		Evergreen Trees						
PG	5	Picea giauca	White Spruce	14' ht.	848	Unsheared, branched to ground	16 5Ø	#3,25Ø
PP	3	Picea pungers	Colorado Spruce	14' ht.	BB	Unsheared, branched to ground	1650	£1,95Ø
				R	eplacem	ent Trees Opinion of Probable Cost Total		\$15,475

Buffer Trees and Shrubs Opinion of Probable Cost Total

Island Trees and General Landscape Opinion of Probable Cost Total

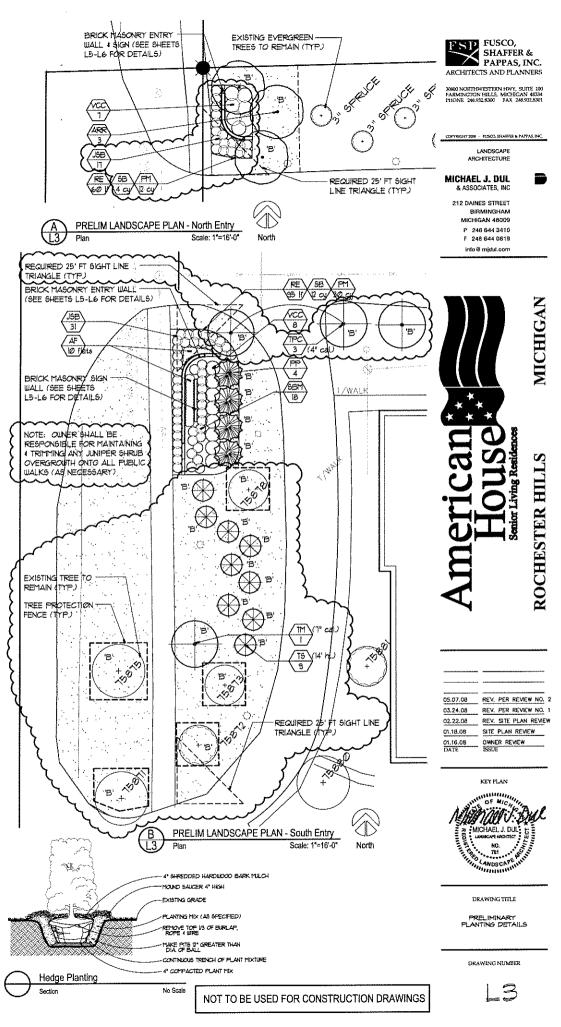
\$33,060

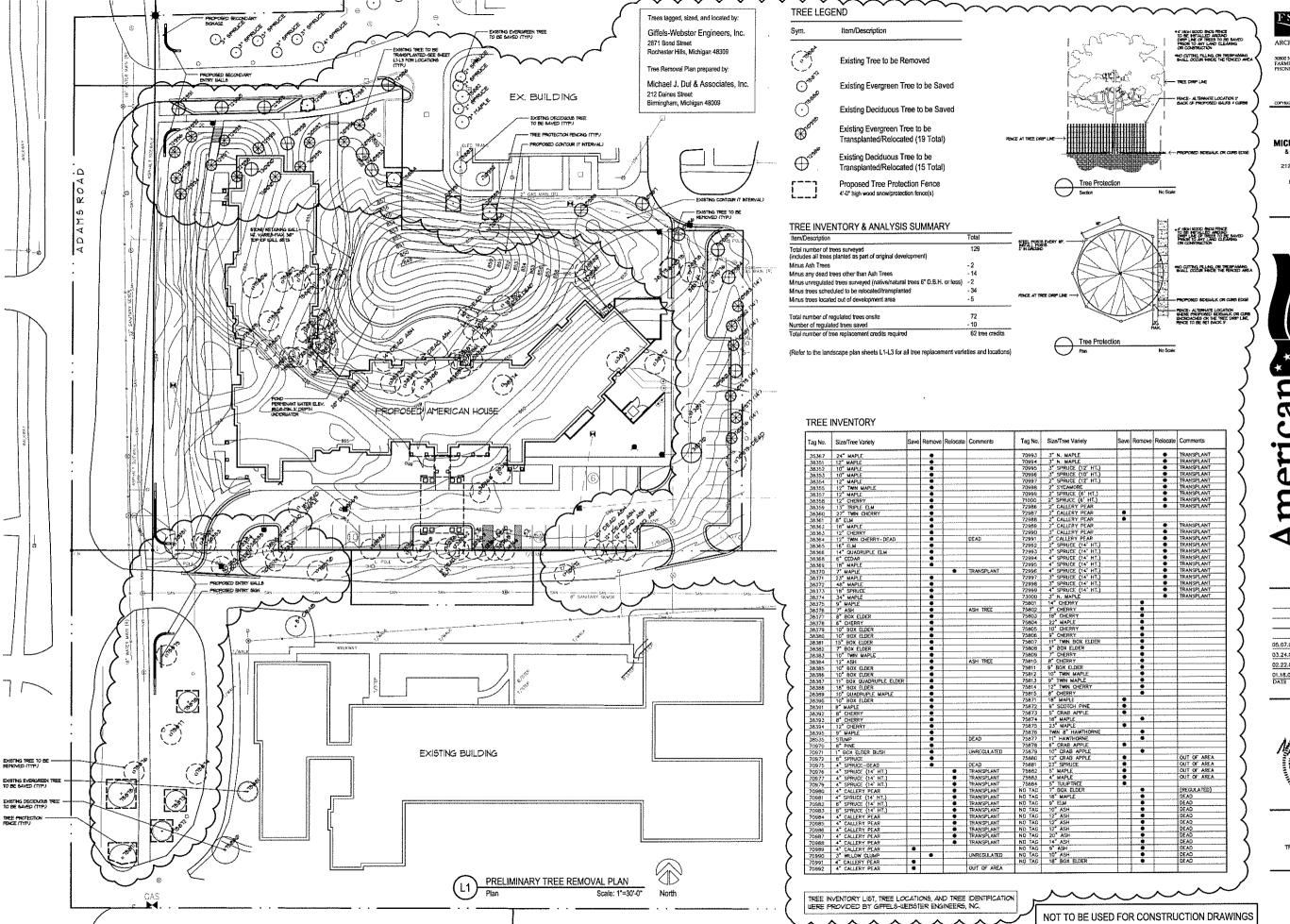
\$98,102

ISLAND TREES AND GENERAL LANDSCAPE

		Deciduous Trees						
M	3	Transplanted Existing Norway Maple Exi	sting Norway Maple	3" cal.	\$₽ADE	Mechanical spade	150	145Ø
TPC	3	Transplanted Existing Callery Pear Exis	sting Callery Pear	3" cal.	SPADE	Mechanical spade	115Ø	s45Ø
TSYC	1	Transplanted Existing Sycamore Exi	sting Sycamore	2" cal.	SPADE	Mechanical spade	150	s15Ø
TS	5	Transplanted Existing Spruce Exis	sting Spruce	3-6" cal.	SPADE	Mechanical spade (6'-12' ht.)	150	1750
ARR	2	Acer rubrum 'Red Sunset' Rec	d Sunset Red Maple	3-3 ½* cal.	B4B	Full heads	1450	1300
MS	1	Malus 'Snowdrift' Sno	worlfi Crab	2½° cal	343	Full heads	1325	1325
PCC	1	Pyrus calleryana 'Cleveland Select' Cle	veland Select Callery Pear	3-3 14" cal.	848	Full heads	₩ 5Ø	450
		Shrubs						
CAC	22	Comus alba 'Chelf Bloodgood' Red	d Tuig Dogwood	3-4' ht.	Can	Space 60" o.c., min. 5 gal, plants	\$42	+324
EAC	9		arf Burnina Bush	3Ø-36°	Can	Space 60" o.cmin. 5 gal. plants	160	4540
НДД	37	Hydrangea a. 'Annabelle' Ann	abelle Hydrangea	24-3Ø"	Can	Space 42" oc., acidity soli-min. 3 gal. plant	H0	11,480
HPT	18	Hydrangea paniculata 'Tardiva' Tare	diva Hydrangea	3Ø-36"	BIB	Space 60" oc. acidify soil	150	1900
MB	2		e Boy Holly	3Ø-36°	848	Space 48" o.c., acidify soil-Male pollinator	195	130
IMG	13	5	e Girl Hollu	3Ø-36"	B#B	Space 48" oc. acidify soil	195	#235
JSB	€2		adnoor Juniper	18-24"	Can	Space 36° oc min. 3 gal. plants	135	2.70
PGC	2		arf Alberta Spruce	42-48" ht	B4B	SPECIMEN	#125	1250
RAG	59		Low Sumac	IB-24*	Can	Space 42" o.cmin. 3 gal. plants	135	12.065
RK	30		ockout Rose (Red Flower)	18-24"	Can	Space 42" ocmin. 3 gal. plants	135	\$1,Ø5Ø
SBM	80	Spiraea bunalda Magic Carpet' Mac	gic Carpet Spiraea	i8-24"	Can	Space 36" oc min. 3 gal. plants	435	12800
TMD	100		nse Yew	24-30"	848	Space 24" o.c., clip into hedge	160	16,000
vcc	12		uga Koreanspice Viburnum	3Ø-36"	848	Space 60° oc.	\$9 5	1,140
		Perennials	. ~ `			•		
HOH	21		cyon Hosta	l qal	Can	драсе 3ذ о.с.	\$2Ø	\$42Ø
HOP	19	Hosta 'Patriot' Pat	riot Hosta	i gal.	Can	Space 30° o.c.	120	138Ø
PAH	9	Pennisetum alopecuroides 'Hamein' Dua	erf Fountain Grase	i5 gal.	Can	Space 36" oc.	125	1225
ΔF	3 c c -	Annuals			10.01-	Constant	13Ø	#380
AP.	NO FIG	te Annual Flowers - Color/Type to be eelected and Materials	approved by Owner/Landed	ope Architect	40/IIdL	space 5 or.	שכו	n,sow
C5	26 cu	Crushed Bashed Natural Stone Mulch Installed on	non-moven filter fabric	1/2-3/4" dia.		Min. 6* deep	\$75	11,950
CST		Washed Natural Colobiestone Mulch installed on re		4-6" dia.		Min. 12" deep	175	14,275
REE.		Ryerson or J.D. Russel Steel Edging		1/8" x 4"		Install per manufacturer specifications	14	16.148
PH		Planting mix - 3 parts well drained screened impo		sand, to I par	t Canadi		135	11,410
	.,	to I part natural compost (weed-from					145	5 25
58 600	바다	Stredded hardwood bank mulch (seasoned, dank	prown, s acep in perennial	ena grounaco	ver bed	s, 4° depin in arrub/iree beds.		530
500	שבכס	sy Finegrade, fertilize and sod (Ciass 'A' Blender					1350	130,065
			 Complete 	automatic unde	actronuq	Irrigation System-See sheets IRI (IR)		42,5 <i>00</i>







FSP FUSCO, SHAFFER & PAPPAS, INC.

90800 NORTHWESTERN HWY, SUITE 100 FARMINCTON FILLS, MICHICAN 48334 PHONE 248:912.8306 FAX 248:912.8301

CORVENIENT NOS - PUSCO, SHAPPEX & PASPAS, INC.

MICHAEL J. DUL

& ASSOCIATES, INC

212 DAINES STREET BIRMINGHAM

MICHIGAN 48009 P 248 644 3410 F 248 644 0819

P 248 644 3410 F 248 644 0819 Info@mjdul.com

mericani:
House:

ROCHESTER HILLS

05.07.08 REV. PER REVIEW NO. 2
03.24.08 REV. PER REVIEW NO. 1
02.22.08 REV. SITE PLAN REVIEW
01.16.08 SITE PLAN REVIEW
ESSUE

KEY PLAN

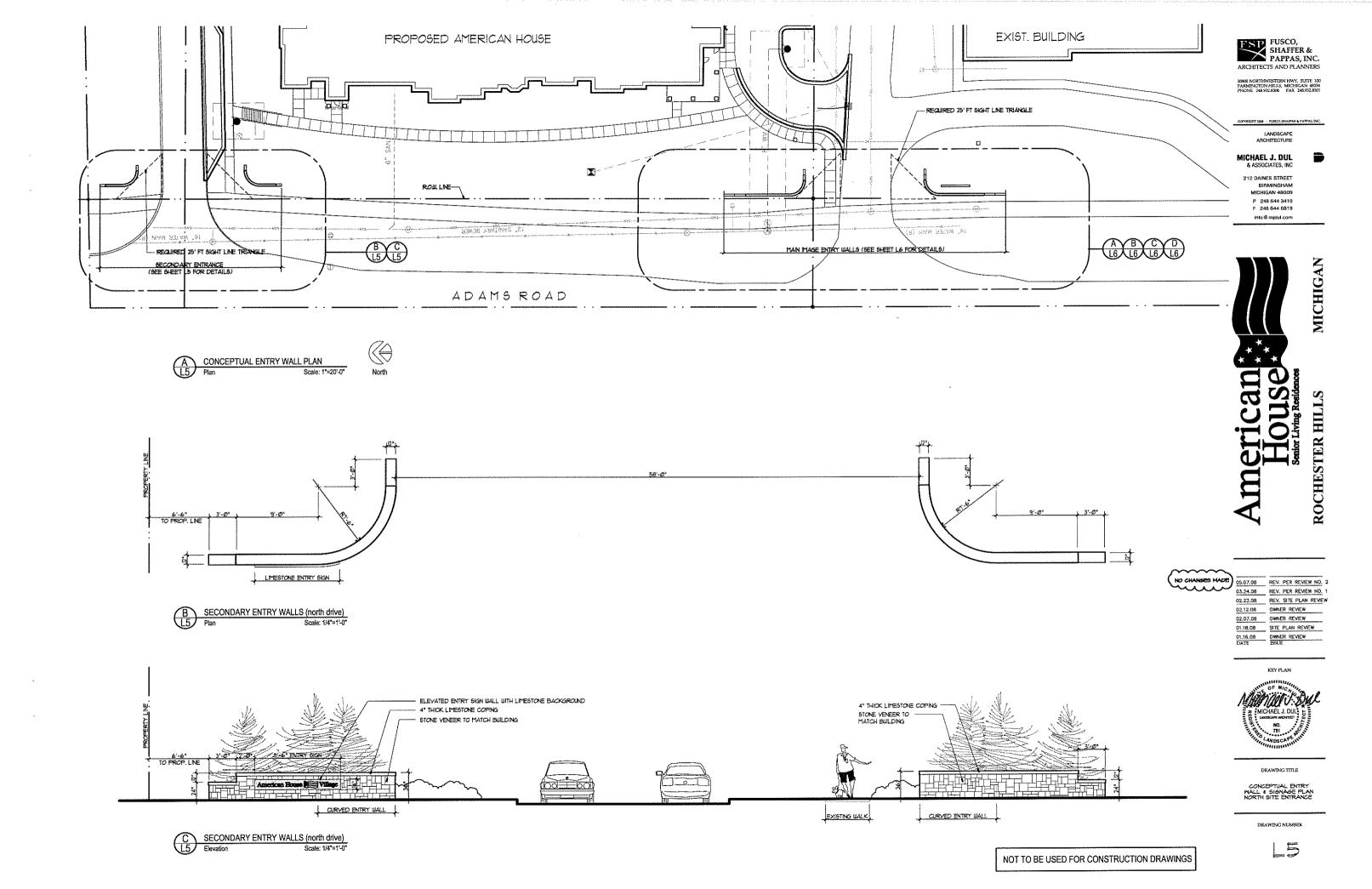


DRAWING TITLE

PRELIMINARY TREE REMOVAL PLA

DRAWING NUMBER

_ _



30800 NORTHWESTERN HWY, SUITE 100 FARMINGTON HILLS, MICHICAN 48334 PHONE 248,932,8300 FAX 248,932,8301

LANDSCAPE ARCHITECTURE

MICHAEL J. DUL.

212 DAINES STREET BIRMINGHAM MICHIGAN 48009

P 248 644 3410

into @ mjdul.com

NO CHANGES MADE 05.07.08 REV. PER REVIEW NO. 2 03.24.08 REV. PER REVIEW NO. 1 02.22.08 REV. SITE PLAN REVIEW 02.12.08 OWNER REVIEW 02.07.08 OWNER REVIEW

01.18.08 SITE PLAN REVIEW

01.16.08 OWNER REVIEW
DATE ISSUE

KEY PLAN

DRAWING TITLE

CONCEPTUAL ENTRY WALL & SIGNAGE PLAN MAIN SITE ENTRANCE

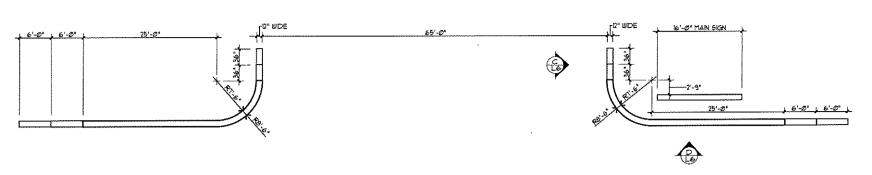
DRAWING NUMBER

6

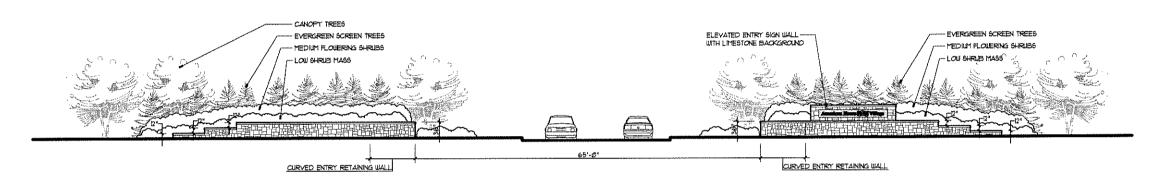
NOT TO BE USED FOR CONSTRUCTION DRAWINGS

- 4" THICK LIMESTONE COPING - STONE VENEER TO MATCH BUILDING

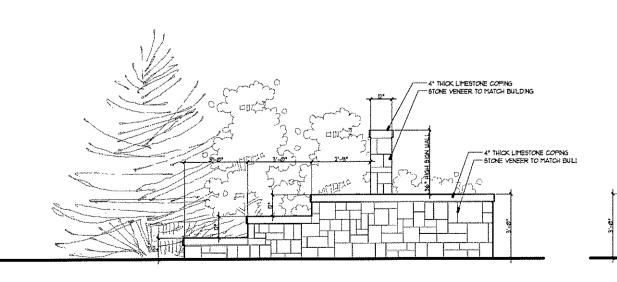
13'-0" LIMESTONE SIGN





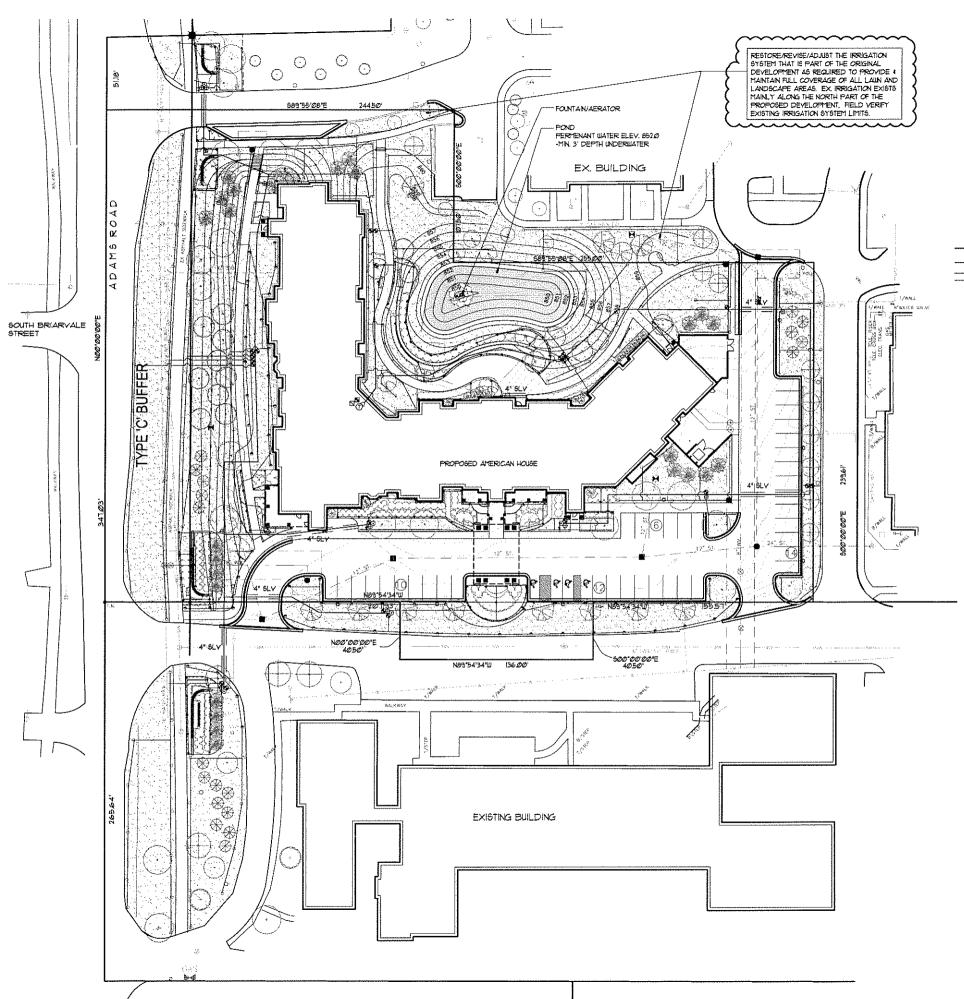








- 4" THICK LIMESTONE COPING - STONE VENEER TO MATCH BUILDING



IRRIGATION LEGEND

- O HUNTER, PGP SERIES, GEAR DRIVEN ROTOR, W/ MPR NOZZLE
- HUNTER, PGJ SERIES, GEAR DRIVEN ROTOR, W/ MPR NOZZILE
- HUNTER, PRO SERIES, 4" POP UP W/ MPR NOZZLE
- HUNTER, PRO SERIES, 12" POP UP U/ MPR NOZZLE
- HINTER OCV. QUICK COUPLING VALVE, I*
- HINTER, PGV SERIES, ELECTRIC VALVE, I"
- HINTER, PGV SERIES, ELECTRIC VALVE, 15"
- HINTER, ICC-PL, AUTOMATIC CONTROLLER
- HUNTER MINICLICK, AUTOMATIC RAIN SHUT OFF
- TAP LOCATION, 2"
- △ FEBCO, 165 SERIES, PRESSURE VACUUM BREAKER, 2"
 - PVC MAINLINE, CLASS 200, BE, 16" BURY, SIZE 2"
 - POLY LATERAL, 100 PSI, NSP, 12" BURY, TYPICAL SIZE AS SHOUN
 - PVC SLEEVING, CLASS 200, BE, SIZE AS SHOUN

LATERAL PIPE SIZE CHART FOR POLY

1º...... 1 - 12 GPM

15*...... 13 • 30 GPM 2".....31 - 50 GFM

IRRIGATION SPECIFICATIONS

- I, ALL WORK IS TO BE IN COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL CODES AND ORDINANCES.
- 2. ALL UNDERGROUND ELECTRICAL CONNECTIONS ARE TO BE MADE WITH 3-M WIRE CONNECTORS, DBY.
- ALL AUTO CONTROL VALVES ARE TO BE INSTALLED IN CARSON VALVE BOXES OF APPROPRIATE SIZE.
- 4. ALL CONTROL WIRING DOWNSTREAM OF THE CONTROLLER IS TO BE 14 AUG, UL APPROVED FOR DIRECT BURY.
- 5. ALL ROTORS AND SPRAY POP-UPS SHALL BE INSTALLED ON SUING PIPE.
- 6. ALL QCV SHALL BE INSTALLED ON 3-ELBOW PYC SWING JOINTS.
- 7. SYSTEM DESIGN BASED UPON 40 GPM 4 60 PSI.
- 8. ANY CHANGES IN AVAILABILITY OF SUPPLY SHOULD BE NOTED AND MODIFICATIONS TO THE DESIGN SHOULD BE MADE.
- 9. CONTRACTOR TO VERIFY WATER PRESSURE AND AVAILABILITY PRIOR TO INSTALLATION.
- 10, ANY IRRIGATION PIPING SHOWN OUTSIDE OF CURBS FOR CLARITY ONLY.
- II. 120V. TO CONTROLLER AND COPPER STUB, BY OTHER THAN IRRIGATION CONTRACTOR
- 12. THERE WILL BE NO SUBSTITUTIONS OR CHANGES TO THE IRRIGATION DESIGN ALLOWED WITHOUT DIRECT, WRITTEN APPROVAL FROM THE IRRIGATION CONSULTANT.

JOHN DEERE LANDSCAPES

3/24/08 Date:

CEP Designed by:

Checked by: CP

1" = 30'-0" Scale:

01535604 Project Number:

PRELIMINARY IRRIGATION PLAN (IR1)

Scale: 1*=30'-0"

NOT TO BE USED FOR CONSTRUCTION DRAWINGS



30800 NORTHWESTERN HWY, SUITE 100 FARMINGTON HILLS, MICHIGAN 48334 PHONE 248,932,8300 FAX 248,932,8301

LANDSCAPE ARCHITECTURE

MICHAEL J. DUL

& ASSOCIATES, INC.

212 DAINES STREET BIRMINGHAM MICHIGAN 48009

P 248 644 3410 F 248 644 0819 lafo @ midul.com



05.07.08 REV. PER REVIEW NO. 2 03.24.08 REV. PER REVIEW NO.

KEY PLAN

DRAWING TITLE

PRELIMINARY IRRIGATION PLAN

DRAWING NUMBER

2

Date:

Designed by:

Checked by:

Project Number:

Scale:

JOHN DEERE LANDSCAPES

3/24/08

1" = 30'-0"

01535604

CEP

CP

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MICHAEL J. DUL R ASSOCIATES INC.

212 DAINES STREET

BIRMINGHAM MICHIGAN 48009 P 248 644 3410

F 248 644 0819 inte @ mjdul.com

05.07.08 REV. PER REVIEW NO. 2 03.24.08 REV. PER REVIEW NO.

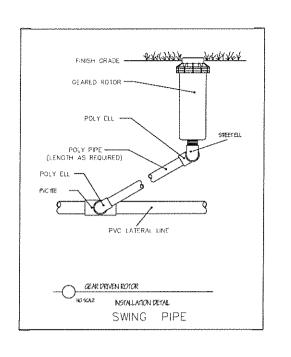
KEY FLAN

NO CHANGES MADE

DRAWING TITLE

DRAWING NUMBER





FINISH GRADE ---

SPRAY HEAD -

1/2" STREET ELLS -

1/2" SCH BO NIPPLE (LENGTH AS REQUIRED) 1/2" STREET ELL

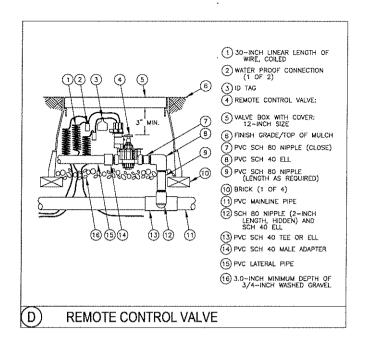
PVC TEE -

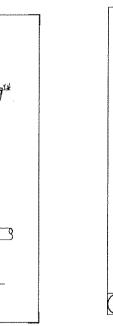
-O_{NO SCALE}

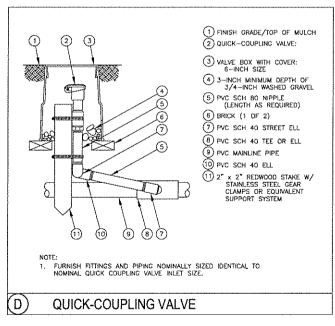
PVC LATERAL LINE

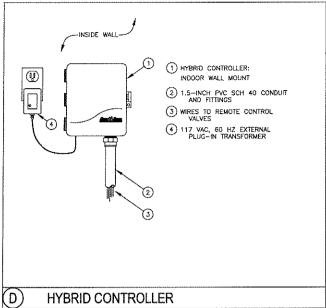
INSTALLATION DETAIL

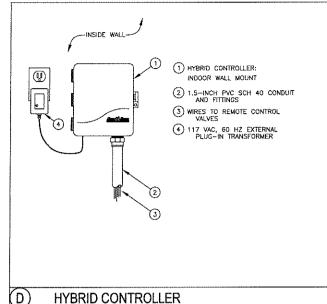
SWING PIPE

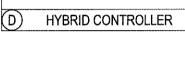












2/24 C F

6344£ S.F.

UPPER LEVEL

|--|

TOTAL INDER LEVEL COMMON AREA PROMOTED

OTAL BUILDING COMMON AREA PROVIDED

- ALL MATERIALS MUST MEET THE REQUIREMENTS OF THE BUREAU OF CONSTRUCTION CODES AND BUREAU OF FIRE SERVICES, NPPA PAMPHLET (O) LIFE SAFETY CODE, 2000 EDITION AND LICENSING RULES FOR HOMES FOR THE ASED, 2004.
- 2. INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE A MINIMUM OF CLASS "B" IN COMPLIANCE WITH THE PROVISIONS OF NPPA PAMPHLET IOI, LIFE SAFETY CODE, 2000 EDITION, SECTION 1833.2 (1433.2). AFFIDAVITS, WHEN REQUESTED DUE TO THE ABSENCE OF AN APPROVED LABEL, SHALL BE PROVIDED TO OUR INSPECTING OFFICER UPON REQUEST.
- DRAPERIES, CURTAINS AND OTHER SIMILAR LOOSELY HANGING FURNISHINGS AND DECORATIONS SHALL BE IN COMPLIANCE WITH THE PROVISIONS OF NPPA PAMPHLET IOI, LIFE SAFETY CODE, 2000 EDITION, SECTION 10.13. 1(9.1.5).
- 4. PROVIDE AS A MINIMUM AN U.L. LISTED FIRE EXTINGUISHER HAVING AT LEAST A 2A-10B RATING WALL MOINTED WITH THE TOP NOT OVER FIVE FIET ABOVE THE FLOOR AND THE DOTTION NOT LESS THAN FOUR KINES ABOVE THE FLOOR, FOR EACH COCCUPIED FLOOR AND BASEMENT IN CONFLIANCE WITH NPPA PAYMENT IOI, LIFE SAFETY CODE, 2000 EDITION SECTION 91.7.4.1 AND NPPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS.
- 5. ELECTRICAL FLANS AND SPECIFICATIONS MUST BE SUBMITTED TO THE ELECTRICAL INSPECTION AUTHORITY HAVING JURISDICTION FOR REVIEW AND APPROVAL. A FINAL ELECTRICAL INSPECTION MUST BE MADE BY THE SAME AUTHORITY, AND A CERTIFICATE OF THE APPROVED INSTALLATION MUST BE FORMANDED TO THE BUREAU OF FIRE SERVICES, HIELD OFFICE HABIOLINS THE PROJECT.
- QUESTIONS RESARDING ELECTRICAL INSPECTION LIRISDICTION SHOULD BE DIRECTED TO THE BUREAU OF FIRE SERVICES, ELECTRICAL DIVISION.

LESEND

SMOKE BARRIER

SMOKE AREA H

DENOTES SMOKE AREA

DENOTES ACCESSORY USE

DENOTES OPEN PERIMETER

7. REQUESTS FOR INSPECTION MUST BE MADE IN MRITING TO THE FOLLOWING. STATE OF MICHIGAN DLEG - BUREAU OF FIRE SERVICES

PULL TOUGH

SMOKE AREA J

MBC2009 CONSTRUCTION TYPE IIA

NEPA220 CONSTRUCTION TYPE II(III) 28,606.9 TOTAL S.F.

A 19 FIRE SUPPRESSION SYSTEM

UPPER LEVEL FLOOR PLAN

PLAN REVIEW / FIRE SAFETY P.O. BOX 30100

LANSING, MICHIGAN 48404 AT LEAST 4 WEEKS PRIOR TO THE DESIRED INSPECTION DATE.

EXIT

SMOKE AREA

TOTAL OCCUPANTS 50

I IRDADY///MRITTEDS

MARKETING/CLOSING

CONFERENCE

ALL HVAC MORK SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF NEPA PAMPHLET GOA OR 408, AS APPLICABLE, AND IN STRICT ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS, REFER TO SECTIONS (8:52 AND 42).

(IC. A ONE HOUR FIRE RAITED SEPARATION MIST BE PROVIDED BETHEEN BUILDINGS OR PORTION OF BUILDINGS OCCUPIED FROM AREAS INDER CONSTRUCTION, ALTERATIONS OR ADDITION THE HAMPORARY SEPARATION MAY BE CONSTRUCTED OF COMBUSTIBLE MATERIAL MEETING THE POLLOMINS CRITERIA. MOOD FRAMINS CONSISTINS OF NOMINAL 244 STIDS SPACED 24* O.C. WITH A MINIMM 50° FIRE CODE STYSIM BOARD ON BOTH SIDES IS ACCEPTABLE REFER TO UL. INC. DIRECTORY, ASSEMBLY MANDER USOR, DOOR OPENINGS IN THE ASSEMBLY GHALLE BE PROTECTED BY MINIMM 20 MINITE LABELED FIRE DOOR SEMBLY (INCLUDING DOOR CLOSERS), MINIMM 19/4" THICK SOLID CORE MOOD DOORS MITH CLOSERS INSTALLED IN HOLLOW METAL FRAMES,

APPROVAL FOR THE USE OF THE FACILITY MUST BE OBTAINED FROM THE STATE OF MICHIGAN BUREAU OF FIRE SERVICES. A REQUEST FOR A FINAL BURVEY MUST BE MADE IN WAITING TO THE BUREAU OF FIRELITH SYSTEMS, FEALTH FACILITIES INSIDERERING SECTION IS TO SO DAYS PRIOR TO COMPLETION OF THE WORK. A FINAL PURCHLIST MUST BE DELIVERED TO THAT OFFICE MITHIN 5 DAYS OF THE EXPECTED SURVEY. SMOKE COMPARTMENT SIMMARY

STATEMENT OF SPECIAL INSPECTIONS (2003 MICHIGAN BUILDING CODE)

28

93

8

2

22

234

27

47

5

38

58

20

TERRACE LEVEL

MOKE COMPARTMENT 'A'

SMOKE COMPARTMENT 'C':

MOKE COMPARTMENT 'B': (2-STORY

OMPARTMENT

300 6R095 9.F.

300 6R095 S.F.

30 6R055 5.F

TOTAL OCCUPANTS

200 GR055 S.F.

300 6R056 S.F.

PER OCCUPANT OCCUPANTS

IS NET S.F.

IS NET S.F.

IS NET SF

IS NET S.F.

IS NET SE

ACTUAL S.F. PER OCCUPANT OCCUPANTS

5/85 SE SO NET SE

247.4 S.F. IS NET S.F.

341.6 S.F. 100 SR055 S.F.

CONSTRUCTION OPERATIONS (CODE SECTION)	DO IF REZ
PABRICATOR'S SHOP (SEC. 1704.2)*	
MOOD TRUSSES	
STEEL FABRICATION	包
PRECAST CONCRETE	u.
STEEL CONSTRUCTION (SEC. 17043 & TABLE 17043)	□ (AL
SHOP (SEC. 17042.) OR 17042.2*)	≅.
HIGH STRENGTH BOLTS (TABLE 17043 #1 4 #2)	20
STEEL MATERIAL VERIFICATION (TABLE (7045 #3)	22;
WELDS (TABLE (1043 #4 & #5)	20
NSPECTION OF DETAILS (SEC. 1704.3.2 & TABLE 1704.5 #6)	20
CONCRETE CONSTRUCTION (SEC. 1704.4 & TABLE 1704.4)	00
REBAR/PRE STRESSING STEEL (TABLE 1704.4 #1 # #2)	区
BOLTS (TABLE 1704.4 #3)	DX:
DESIGN MIX & MATERIALS (TABLE 1704.4 *4)	(X)
STRENGTH TEST, SLLMP, AIR CONT, TEMP (TABLE 1904.3 *6)	I
*LACEMENT (TABLE (TO4.4 %)	20
TURING (TABLE 1704.4 #T)	20
RE STRESSING (TABLE ITO4.4 #8)	
RECAST ERECTION (TABLE 1704.4 #4)	
ORM REMOVAL, IN-SITU STRENGTH (TABLE 1704.4 #10)	20
ASONRY CONSTRUCTION (17045), ENGINEER TO SELECT EVEL #1 OR #2 BELOW	=
EVEL NI SPECIAL INSPECTION (TABLE 1704.5.1) FOR MPIRICAL DESIGN IN ESSENTIAL FACILITIES (1704.5.1), OR OR ENGINEERED MASONRY IN NONESSENTIAL FACILITIES EC. 1704.5.2)	20
EVEL #2 SPÉCIAL INSPECTION (TABLE (1045.9) OR ENSINEERED MASONRY ESSENTIAL FACILITIES (17045.9)	0
OOD CONSTRUCTION FABRICATION OF HIGH-LOAD HAPHRASMS (1704.6)	
501LS (SEC. 1704.7)	□ (AL
SITE PREP (SEC. ITO4.7.I)	DQ
FILL PLACEMENT (SEC 1704.7.2)	00
PENSITY EVALUATION (SEC. 104.1.3)	30
PILE (SEC. 1704.8)	D
PIER (SEC. 1704,9)	
VALL PANELS & VENEERS (SEISMIC) (SEC. 1704.10)	E
PRAY FIRE PROOFING (SEC. 1704.11)	盂
IFS (SEC. 1704.12)	D
PECIAL CASES (SEC. 1704.13)	
DESCRIBE:	

CERTIFICATE OF APPROVAL SUBMITTED BY FABRICATOR'S INSPECTION AGENCY PER 170421 EXCEPTION AND 170422.

ACTUAL S.F.

8623.8 S.F.

53628 S.F.

64845 S.F.

EXIT

(2005) 1 10 1110 1110 1110 100	
CONSTRUCTION OPERATIONS (CODE SECTION)	DO IF REDITO
FABRICATOR'S SHOP (SEC. 1704.2)* WOOD TRUSSES	 \$5
STEEL FABRICATION	Ö
INSPECTION AGENCY TO SUBMIT CERTIFICATE OF APPROVAL.	
STEEL CONSTRUCTION (SEC. 17043 * TABLE 17043)	□ (A11)
SHOP (SEC. 17042) OR 170422*)	22
HIGH STRENGTH BOLTS (TABLE 1704.3 #I 4 #2)	83
STEEL MATERIAL VERIFICATION (TABLE 17049 #9)	55;
MELDS (TABLE 1704.9 *4 & *5)	20
INSPECTION OF DETAILS (SEC. 1704.3.2 & TABLE 1704.5 #6)	80
CONCRETE CONSTRUCTION (SEC. 1704.4 & TABLE 1704.4)	20
REBAR/PRE STRESSING STEEL (TABLE 1704.4 *I 4 *2)	S
BOLTS (TABLE 1704.4 #3)	20.
DESIGN MIX 4 MATERIALS (TABLE 1704.4 #4)	(XX
STRENSTH TEST, SLUMP, AIR CONT, TEMP (TABLE 1904.3 16)	E .
PLACEMENT (TABLE (104.4 %)	2 0
CURING (TABLE 1704.4 #T)	88
PRE STRESSING (TABLE 1704.4 #6)	C
PRECAST ERECTION (TABLE 1704.4 #4)	
FORM REMOVAL, IN-SITU STRENGTH (TABLE 1704.4 #10)	Z
MASONRY CONSTRUCTION (1704.5), ENSINEER TO SELECT LEVEL * OR #2 BELOW	0
LEVEL * SPECIAL INSPECTION (TABLE 1704.5.1) FOR EMPIRICAL DESIGN IN ESSENTIAL FACILITIES (1704.5.1), OR FOR ENGINEERED MASONRY IN NONESSENTIAL FACILITIES (SEC. 1704.5.2)	18 1
LEVEL *2 SPECIAL INSPECTION (TABLE (1045.9) FOR ENSINEERED MASONRY ESSENTIAL FACILITIES (11045.9)	а
WOOD CONSTRUCTION FABRICATION OF HIGH-LOAD DIAPHRASMS (1704.6)	а
50/L5 (SEC. 1704.7)	لللله) 🗆
SITE PREP (SEC. ITO4.7.I)	X Q
FILL PLACEMENT (SEC 1704.7.2)	00
DENSITY EVALUATION (SEC. :704.7.5)	20
PILE (SEC. 1704.8)	O
PIER (SEC. 1704.9)	D
WALL PANELS & VENEERS (SEISMIC) (SEC. 1704.10)	区
SPRAY FIRE PROOFING (SEC. 1704.11)	Z.
EIFS (5EC. 1704.12)	0
SPECIAL CASES (SEC. 1704.13) DESCRIBE:	D
SMOKE CONTROL (SEC. 170414) REFER TO SEC. 909.18.8	3 2

CODE DATA

MICHIGAN BUILDING CODE, 2003 BUILDING CODE

MBC2003 CONSTRUCTION TYPE: NFPA220 CONSTRUCTION TYPE: CLASSIFICATION: USE GROUP:

i-II: INSTITUTIONAL WITH A-3: ASSEMBLY ACCESSORY USE AREAS

PLUMBING CODE: MICHIGAN PLUMBING CODE, 2006 MECHANICAL CODE MICHIGAN MECHANICAL CODE, 2006

ELECTRICAL CODE 2005 NATIONAL ELECTRICAL CODE WITH MICHIGAN AMENDMENTS FIRE SUPPRESSION

NEPA 18 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS NEPA 14 STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS AUTOMATIC SUPPRESSION SYSTEM FER NEPA 13 THROUGHOUT BULDING PROVIDE CLASS III AUTOMATIC MET STANDPIPE SYSTEM FER NEPA 14 NET ALLA NIGOY KEY SYSTEM IN A LOCATION APPROVED BY THE

NETA 42B STANDARD FOR SMOKE MANAGEMENT SYSTEMS IN MALLS, ATRIA, AND LARGE SPACES MOKE MANAGEMENT SYSTEM

MOLEG BUREAU OF FIRE SERVICES: LIFE SAFETY CODE NFPA 101, 2000 CHAPTER 18 NEW HEALTH CARE OCCPANCIES

MOCH EUREAU OF HEALTH LICENSING RULES FOR HOMES FOR THE AGED, 2004

TOTAL FLOOR AREA (ALL STORIES): 805242 S.F.

ALLOWABLE AREA CALCULATIONS FOR BUILDING #1

FRONTAGE:	% OF ALLOWABLE	ACTUAL BUILDING AREA =	80,524.2 S.F.
MEIGHTED AVG 27,9 FT.	TABULAR AREA, At = 100%	ADJUSTED BUILDING AREA	22,123.4 S.F.
TOTAL FRONTAGE (F)=	% INCREASE FOR FRONTAGE, IF = 64.47%	ACTUAL BUILDING HEIGHT=	43'-5' FT. 5 STORIES
PERIMETER (P)= 1329.5"	% INCREASE FOR AUTOMATIC	MAX ALLOMABLE BUILDING HEIGHT= (MBC 2009 504.2)	85 FT. 5 STORIES
MINIMUM MIDTH OPEN SPACE (NU=28.1 (F)	SPRINKLERS, is a 200%	PERMITTED TYPES OF CONSTRUCTION:	li A
% FRONTAGE INCREASE (III) = 100 [F/F = 0.25] M/SO	TOTAL EERCENTAGE FACTOR=	ALLOWABLE AREA FER FLOOR (Ad) 3.64 x 14,000 S.F. =	69,160.0 S.F.
	364.47%	TOTAL FLOOR AREA (all stories)=	80529.2 S.F.
% FRONTASE INCREASE (II) = 64.47%	CONVERSION EACTOR (BERCENT/100%): 9.64	ALLONABLE FLOOR AREA (all stories)= 69,60 x 3 =	201,480.0 SF.

ACCESSORY USE CALCULATIONS

BC2008, 802.2 ACCESSORY USE AREAS FIRE BARRIER NOT REQUIRED IF ACCESSORY USE OCCUPIES LESS THAN 10 PERCENT OF THE AREA OF THE STORY IN WHICH IT IS LOCATED AND DOES NOT EXCEED TABILAR VALUES OF TABLE 803

TOTAL TERRACE LEVEL S.F. > 22,741.9 S.F. ACCESSORY AREA, A-3 OCCUPANCY S.F. \pm 1,288.9 S.F. 22,741.9 S.F. \times 10 PERCENT = 2,2741.9 S.F. > 1,288.9 S.F.

TOTAL MAIN LEVEL S.F. = 24,180.4 S.F. ACCESSORY AREA, A-3 OCCUPANCY S.F. = 26,795 S.F. 24,180.4 S.F. × 10 PERCENT = 2,418.04 S.F. > 2,674.5 S.F.

TABLE 503, A-3 OCCUPANCY #15500 S.F., 3 STORIES ALLONABLE

SENERAL ATRIUM CODE DATA:

NEPA IOLISSI PROTECTION OF VERTICAL OPENINGS

- IBSILI VERTICAL OPENINGS SHALL BE ENCLOSED OR PROTECTED PER 8.25

18.31.I VERTICAL OPENNAS SHALL BE ENCLOSED OR PROTECTED PER 8.2.5
8.2.5 VERTICAL OPENNAS
8.2.5 VERTICAL OPENNAS
8.2.5.6 VALESS PROHIBITED BY CHAPTER 18 AN ATRUM SHALL BE PERMITTED
(1) SEPARATED BY HOUR RATED PINE BARRIERS MITH OPENNAS PROTECTIVES
(2) ACCESS TO EXITS PERMITTED MITHIN THE ATRUM
(3) OCCUPANCY CLASSIFIED AS LOW OR ORDINARY HAZARD
(4) ENTIRE BULDING PROTECTED WITH SUPERVISED AUTOMATIC SPRINKLER SYSTEM
(5) ENGINEERING MALYSIS DENORMATING SYCKE LAYER INTERFACE ABOVE
HIGHEST UNPROTECTED OPENING OR 6 PEET ABOVE EXIT ACCESS OPENING
(6) ENGINEERING SANCE CONTROLS SYSTEM ACTIVATED BY AUTOMATIC SPRINKLER
SYSTEM OR MANIAL CONTROLS ACCESSIBLE TO THE FIRE DEPARTMENT

SMOKE COMPARTMENT D'

ACCESSORY MSE GROUP: A-3
MSC2003 CONSTRUCTION TYPE IIA
NFPA220 CONSTRUCTION TYPE II(III)
12883 S.F. (10% OF TOTAL S.F.
MSEA IN CORPORATION TYPE III(III) BAFFEER USE GROVE: I-I MBC2003 CONSTRUCTION TYPE IIA NPPA220 CONSTRUCTION TYPE II(III) 22,741.4 TOTAL S.F. NPPA I3 FIRE SUPPRESSION SYSTEM (OPEN TO MAIN - LEVEL ABOVE)

TERRACE LEVEL FLOOR PLAN

SCALE: 1/32" = 1'-0"

SMOKE

CODE ANALYSIS

DRAWING TITLE

SID FUSCO,

SHAFFER & PAPPAS, INC.

DESCRIPTION - PURCH SHAPPING PAPEAS, INC.

D

S

C

5.01.08 REV. PER REVIEW NO. 2

REV. PER REVEW NO. 1

REV. SITE PLAN REVEW

PLANNING COMMISSION

FIRE DEPARTMENT REVEY

OWNER REVIEW

SITE PLAN REVIEW

CONCEPT PLAN MTG

KEY PLAN

an

D

3,24*0*8

3,0,08

222.08

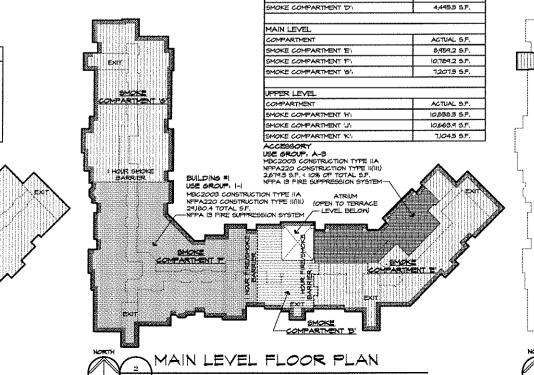
118.08

ZAD!

112.07

921.01 DATE

DEALWHAT NEWBER



A00





゛゙゙゙゙゙゙゙゙゙゙゙゙		
MADE	5,07,08	REV. PER REVIEW NO.
نرب	3.24.08	REV. PER REVIEW NO.
	3,00,08	OWNER REVIEW
	222.08	REV. SITE PLAN REVE
	UB-108	SITE PLAN REVEW
	12.H.OT	PLANNING COMMISSIO
	112.01	FRE DEPARTMENT RE
	וסובף	CONCEPT PLAN ATG
	DATE	rsite

HOME HEALTH CARE OFFICE

ELEV. EQUIP.

FITNESS

UNEXCAYATED

CLEAN LINEN

 \Box

UNEXCAVATED

TERRACE LEVEL FLOOR PLAN

DRAWING TITLE

TERRACE LEVEL FLOOR PLAN



30800 NORTHWESTERN HWY, SUITE 100 FARMINGTON HELLS, MICHIGAN 48394 PHONE 248,932,8360 FAX 248,932,8301

CONTRICTOR - PUSCO, STAFFER & PATEAS, II



5,07,08	REV. PER REVIEW NO. 1
32408	REV. PER REVIEW NO. 1
31008	OWNER REVIEW
2.22.08	REV. SITE PLAN REVEY
110.08	SITE PLAN REVIEW
12.4.01	PLANNING COMMISSIO
12.07	FRE DEPARTMENT REV
9.27.07	CONCEPT PLAN MTG

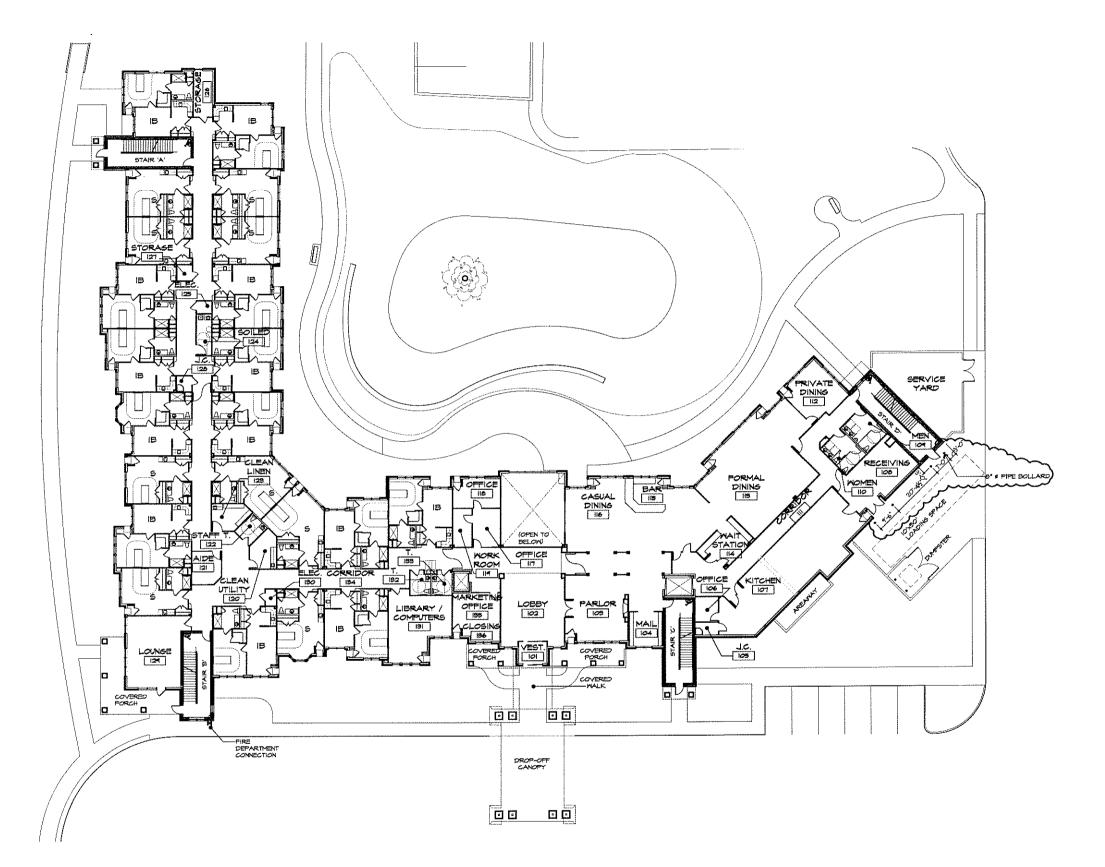
KEY PL

DRAWING TITLE

MAIN LEVEL FLOOR PLAN

DRAWING NUMBER











ROCHESTER HILLS

REV. PER REVEW NO. 1 OWNER REVIEW 2.22.08 REV. SITE PLAN REVIEW SITE PLAN REVIEW

DRAWING TITLE

UPPER LEVEL FLOOR PLAN

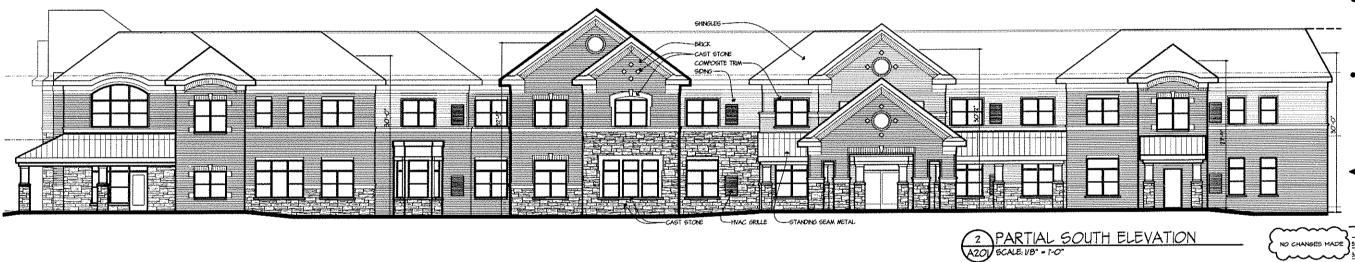


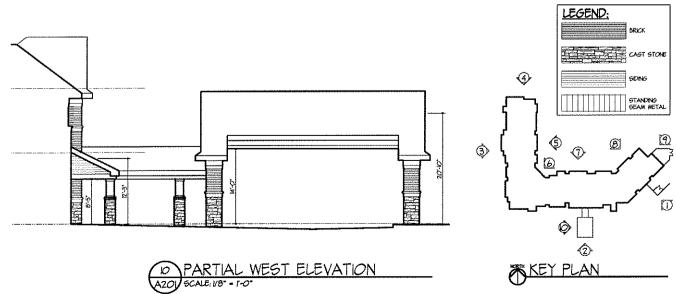


30800 NORTHWESTERN HWY, SUITE 100 FARMINGTON HILLS, MICHIGAN 48334 PHONE 248,932,8300 FAX 248,932,8301



3 WEST (ADAMS ROAD) ELEVATION
AZOJ SCALE, VB* - 1-0"







NOT TO BE USED FOR CONSTRUCTION DRAWINGS

A201

MICHIGAN

ROCHESTER HILLS

American House

50106 REV. PER REVEW NO. 2
32408 REV. PER REVEW NO. 1
3006 OWNER REVEW
22206 REV. STE PLAN REVEW

 222.06
 REV. SITE PLAN REVEW

 UB.08
 SITE PLAN REVEW

 E.H.01
 PLANNING COMMISSION

 12.01
 FRE DEPARTMENT REVEW

 421.01
 CONCEPT PLAN MTG

 DATE
 ISSUE

KEY PLAN

DRAWING TITLE

DRAWING NUMBER



30800 NORTHWESTERN HWY, SUITE 100 FARMINGTON HILLS, MICHIGAN 48334 PHONE 248:932.8300 FAX 248:932.8301



5.01.08 REV. PER REVIEW NO. 1 3,24,08 REV. PER REVEW NO. I

3.0.08 OWNER REVEW 2.22.08 REV. SITE FLAN REVEW SITE PLAN REVIEW PLANNING COMMISSION FIRE DEPARTMENT REVIEW

CONCEPT PLAN MTG

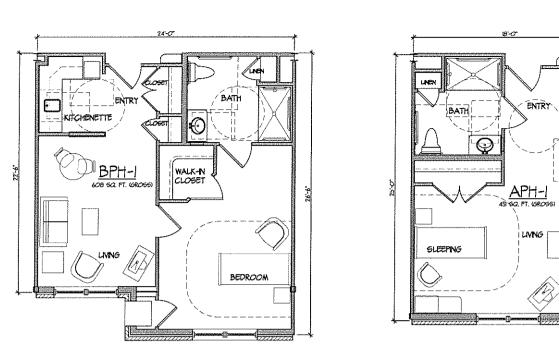
KEY PLAN

DRAWING TITLE

TYPICAL UNIT PLANS

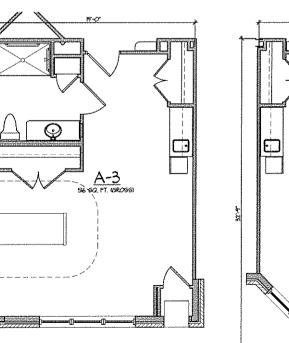
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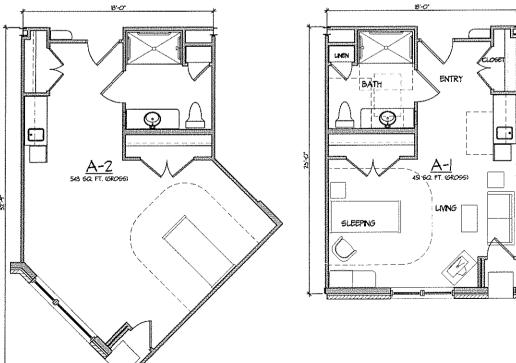


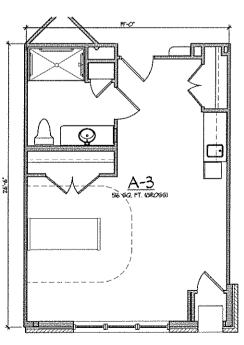


___<u>A-4</u> 425 60. FT. (GROSS)









ASSISTED LIVING UNIT FLOOR PLANS

KITCHENETTE

B-1 600 50.FT. (GROSS)

2 ASSISTED LIVING UNIT FLOOR PLANS ASOJ SCALE: V4" - F-0"

WALK-IN CLOSET

BEDROOM

NOT TO BE USED FOR CONSTRUCTION DRAWINGS

30801 NORTHWESTERN HWY, SUITE 100 FARMINGTON HILLS, MICHIGAN 48334 PHONE 248-932-8700 FAX 248-932-8701







REV. PER REVIEW NO. 2 32408 REV. PER REVIEW NO. I OWNER REVIEW 2.72.08 REV. SITE PLAN REVEW SITE PLAN REVEW PLANNING COMMISSION FIRE DEPARTMENT REVIEW

> DRAWING TITLE PHOTOMETRIC SITE PLAN

DRAWING NUMBER ES101

PARKING (5 SPACES) 4 (5) 7.5 24 20 22 31 35 POND 10 23 73 37 12 /42/08 00 72 08/00 22 72 2 10 PROPOSED BUILDING #10 ASSISTED LIVING / HFA 171 BEDS can USE ROCHESTER HILLS ₽** AT 11 61 - 80 22 21 10581 28 23 -EXISTING UTILITY POLE TO BE REMOVED - EXISTING UTILITY POLE — TO BE REMOVED NO CHANGES MADE) 50108 PARKING (23 SPACES) 31008 UB.08 12.14.07 12.01 DATE ISSUE KEY PLAN "STONE" BUILDING #8 56 BEDS PARKING (4 SPACES) PARCEL C

SITE PHOTOMETRIC PLAN

North

Scale: 1°=30'-0"

0479

۵

S. ADAMS ROAD (WIDTH VARIES)

HOLDE REMON IS FOR HOX SOUTHWEST TOPNER SECTION 31 LAW, RITE CAMLAND COUNTY, MICHECAN L9000, PS73

BULDING #

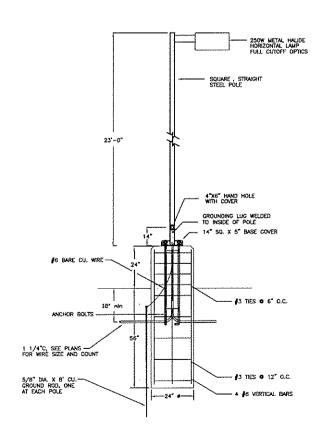
T UNITS

Symbol	Lobel	Qty	Catalog Number Description	Lamp	File	Lumens	ШF	Walls
¢	SA1	2	Lithonia KAD 250M POLE MOUNTED AREA SR3 HS 120 LIGHT WITH HOUSE SPD09 SF D08 SIDE SHIELD ON 23' ON AN SSS 23 40 POLE DM19 SBC4 DDB POLE	ONE 250-WATT CLEAR BT-28 METAL HALIDE, HORIZONTAL POSITION.	95020506.les	23000	6.75	295
Ģ	S81	7	Ethonic KAD 250M AREA LIGHT WITH HIGH SR4SC 120 SPD09 PENFORMANCE SR4SC SF DD8 ON AN OPTICS, CLEAR FLAT SSS 23 4C DM19 GLASS. SBC4 DD8 POLE	ONE 250-WATT CLEAR 8T-28 METAL HALIDE, HORIZONTAL POSITION.	H:9486.70A	23000	0.75	297

STATISTICS						
Description	Symbol	Avg	¥ax	Min	Max/Min	Avg/Min
Parketer		1.6 fc	3.7 fc	0.5 fc	7.4:1	3.2:1

NOTES

- Luminaire mounting height is 25 'Above Grade.
 Light Less Factor is 0.7 5 .
 Harizonta I liluminance is shown at grade . Units are in footcandles.



POLEBASE DETAIL
TYPE "SA1" & "SB1" NO SCALE