

FINAL SITE PLAN FOR WAL★MART STORE #2354-01 M-59 AND ADAMS ROAD CITY OF ROCHESTER HILLS OAKLAND COUNTY, MICHIGAN

APPLICANT/DEVELOPER

WAL-MART STORES, INC.
702 SW 8TH ST.
BENTONVILLE, ARKANSAS 72716-0550
TELEPHONE (479) 273-4000

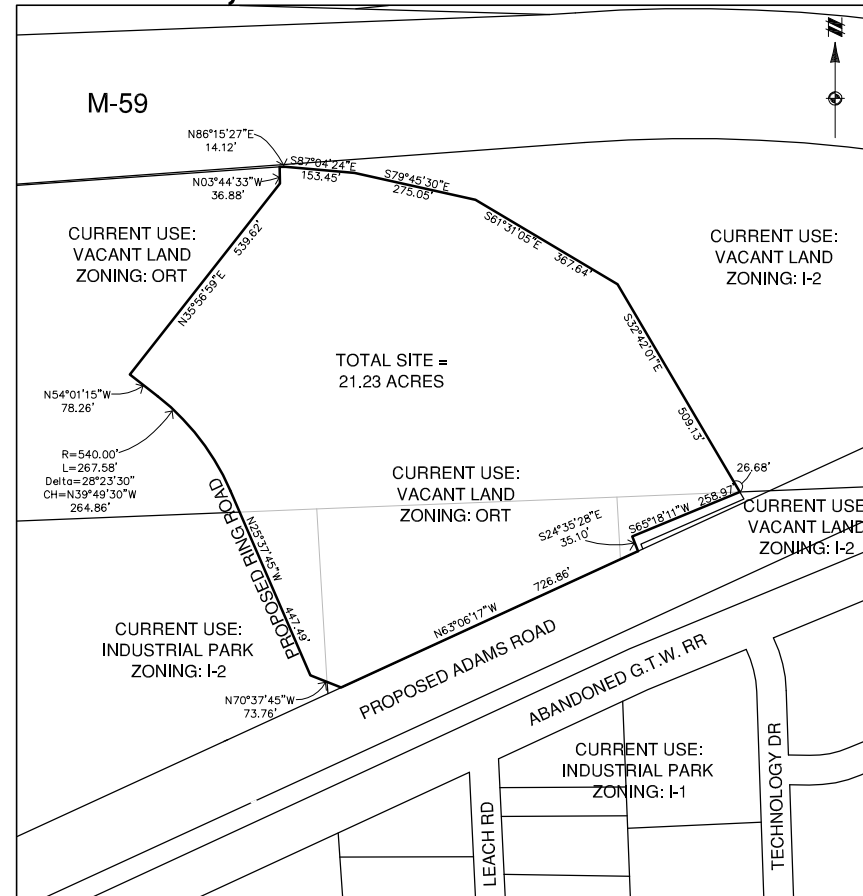
ENGINEER / LAND SURVEYOR

ATWELL-HICKS
500 AVIS DRIVE, SUITE 100
ANN ARBOR, MICHIGAN 48108
TELEPHONE (734) 994-4000
FAX (734) 994-1599

UTILITY RESPONSIBILITY MATRIX FOR THIS PROJECT

| UTILITY/ GOVERNING AGENCIES CONTACTS | CONTRACTOR RESPONSIBILITY- | OTHERS RESPONSIBILITY- |
|---|---|---|
| GAS CONSUMERS ENERGY DEPARTMENT OF PUBLIC WORKS 1030 FEATHERSTONE RD. PONTIAC, MI, 48343 CONTACT: DENISE NOVAK PHONE: (248) 858-4485 FAX: (248) 858-4525 | -COORDINATE CONSTRUCTION ACTIVITIES WITH GAS COMPANY TO ENSURE INSTALLATION OF GAS LINES ARE COMPLETED PRIOR TO ASPHALT OR CURB PLACEMENT -INSTALL BOLLARD PROTECTION AS SHOWN ON THE PLANS AND PER THE GAS COMPANY REQUIREMENTS -SERVICE FROM THE POINT OF CONNECTION AT THE EXISTING LINE UP TO AND INCLUDING SETTING OF METER WILL BE BY CONTRACTOR | -GAS COMPANY WILL PROVIDE AND INSTALL MAIN ALONG PROPERTY LINE |
| TELEPHONE AT & T FOURTH FLOOR ENGINEERING 54 NORTH MILLS STREET PONTIAC, MI, 48342 CONTACT: STEVE WYKO PHONE: (248) 972-0009 | -COORDINATE CONSTRUCTION ACTIVITIES WITH TELEPHONE COMPANY TO ENSURE INSTALLATION OF UNDERGROUND LINES ARE COMPLETED PRIOR TO ASPHALT OR CURB PLACEMENT -PROVIDE AND INSTALL 2-4" SCHEDULE 40 PVC CONDUITS WITH PULL ROPES, INCLUDING ALL TRENCHING AND BACKFILLING, FROM THE RISER POLE AT R.O.W. UP TO THE BUILDING -PROVIDE AND INSTALL PULL BOXES AS PER TELEPHONE COMPANY REQUIREMENTS | -TELEPHONE COMPANY WILL PROVIDE AND INSTALL ALL TELEPHONE CABLES FROM THE POINT OF CONNECTION UP TO THE PHONE ROOM LOCATION INSIDE OF BUILDING |
| ELECTRIC DETROIT EDISON 2000 2ND AVE. ROOM 518 SERVICE BUILDING DETROIT, MI, 48226 CONTACT: HELEN LEE PHONE: (313) 235-6597 | -COORDINATE CONSTRUCTION ACTIVITIES WITH ELECTRIC COMPANY TO ENSURE INSTALLATION OF UNDERGROUND LINES ARE COMPLETED PRIOR TO ASPHALT OR CURB PLACEMENT -PROVIDE AND INSTALL 2-4" SCHEDULE 40 PVC CONDUITS WITH PULL ROPES, INCLUDING TRENCHING AND BACKFILLING, FOR THE UNDERGROUND PORTIONS OF THE PRIMARY FROM THE RISER POLE UP TO THE TRANSFORMER, SCHEDULE 40 PVC CONDUITS SHALL BE USED ON THE RISER POLE AND RIGID METAL, LONG RADIUS, ELBOWS SHALL BE USED WHERE THE UNDERGROUND PORTION MEETS THE RISER POLE AND TRANSFORMER -CONSTRUCT TRANSFORMER PAD AS PER THE ELECTRIC COMPANY'S SPECIFICATIONS -PROVIDE AND INSTALL ALL SECONDARY SERVICE AND MATERIALS -CONTRACTOR WILL PROVIDE AND INSTALL PRIMARY CABLE FOR ALL UNDERGROUND LINES UP TO THE TRANSFORMER | -ELECTRIC COMPANY WILL PROVIDE AND INSTALL ALL MATERIALS NEEDED TO ESTABLISH PRIMARY OVERHEAD SERVICE FROM POINT OF CONNECTION AT THE EXISTING POLE -ANY RELOCATION OF EXISTING LINES OR POLES WILL BE DONE BY DETROIT EDISON. |
| SANITARY SEWER ROCHESTER HILLS DEPARTMENT OF PUBLIC SERVICES 100 ROCHESTER HILLS DRIVE ROCHESTER HILLS, MI, 48309 CONTACT: ROGER ROUSSE PHONE: (248) 656-4640 FAX: (248) 656-4758 | -PROVIDE AND INSTALL SANITARY SEWER LINES AND ASSOCIATED APPURTENANCES PER THE PLANS AND SPECIFICATION -ALL PUBLIC AND PRIVATE SANITARY SEWER LINES SHALL BE PVC AND RATED SDR 26 -COORDINATE REQUIRED INSPECTION SERVICES WITH ENGINEER OF RECORD AND CITY OF ROCHESTER HILLS DEPARTMENT OF PUBLIC WORKS. SEE UTILITY PLAN FOR REQUIREMENTS. | |
| WATER ROCHESTER HILLS DEPARTMENT OF PUBLIC SERVICES 100 ROCHESTER HILLS DRIVE ROCHESTER HILLS, MI, 48309 CONTACT: ROGER ROUSSE PHONE: (248) 656-4640 FAX: (248) 656-4758 | -PROVIDE AND INSTALL ALL WATER MAINS AND ASSOCIATED APPURTENANCES PER THE PLANS AND SPECIFICATION -ALL PUBLIC AND PRIVATE WATER MAINS SHALL BE C-900 PVC, DR14 CLASS 200 -ALL PORTIONS OF THE FIRE PROTECTION WATER SYSTEM SHALL BE INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR -ALL PORTIONS OF OTHER NON FIRE PROTECTION RELATED LINES MAY BE INSTALLED BY THE PLUMBING CONTRACTOR -COORDINATE REQUIRED INSPECTION SERVICES WITH ENGINEER OF RECORD AND CITY OF ROCHESTER HILLS DEPARTMENT OF PUBLIC WORKS. SEE UTILITY PLAN FOR REQUIREMENTS. | -DOMESTIC TAP FROM THE POINT OF CONNECTION AT THE EXISTING LINE UP TO AND INCLUDING SETTING OF METER AT THE PROPERTY LINE WILL BE BY THE CITY OF ROCHESTER HILLS |
| STORM SEWER ROCHESTER HILLS DEPARTMENT OF PUBLIC SERVICES 100 ROCHESTER HILLS DRIVE ROCHESTER HILLS, MI, 48309 CONTACT: ROGER ROUSSE PHONE: (248) 656-4640 FAX: (248) 656-4758 | -PROVIDE AND INSTALL ALL STORM SEWER LINES AND ASSOCIATED APPURTENANCES PER THE PLANS AND SPECIFICATION -REFER TO GRADING PLAN FOR INFORMATION ON ALLOWABLE STORM SEWER MATERIALS | |

THIS MATRIX HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES. THE CONTRACTOR SHALL PROVIDE ANY AND ALL APPURTENANCES, TRENCHING AND BACKFILL, AND OTHER INCIDENTALS TO MEET OR EXCEED THE SPECIFICATIONS OF THE ITEMS LISTED.



ZONING/CURRENT USE MAP

SCALE: 1" = 200'

ZONING DISTRICT LEGEND

- OR OFFICE-RESEARCH-TECHNOLOGY
- I-1 LIGHT INDUSTRIAL
- I-2 HEAVY INDUSTRIAL

SHEET INDEX

- 1 COVER SHEET
- 2 EXISTING CONDITIONS PLAN
- 3 PHASE I EROSION & SEDIMENTATION CONTROL PLAN SITE MAP
- 4 PHASE II EROSION & SEDIMENTATION CONTROL PLAN SITE MAP
- 5 EROSION & SEDIMENTATION CONTROL PLAN DETAILS
- 6 LAYOUT PLAN
- 7 ALTERNATIVE LAYOUT PLAN
- 7A GRADING PLAN
- 8 UTILITY PLAN
- 8A ALTERNATIVE UTILITY PLAN
- 9 DRAINAGE AREA PLAN
- 10 STORM SEWER PROFILES
- 11 STORM SEWER PROFILES
- 12 STORM SEWER PROFILES
- 13 STORM SEWER DESIGN CALCULATIONS
- 14 STORM SEWER STRUCTURE SCHEDULE & QUANTITY TABLE
- 15 SANITARY SEWER PROFILES
- 16 SANITARY SEWER DESIGN CALCULATIONS
- 17 SANITARY SEWER STRUCTURE SCHEDULE, QUANTITY TABLE & WATER MAIN QUANTITY TABLE

- 18 LANDSCAPE PLAN
- 19 LANDSCAPE NOTES & DETAILS
- 20 IRRIGATION PLAN
- 21 IRRIGATION PLAN
- 22 IRRIGATION NOTES AND DETAIL
- 23 PHOTOMETRIC PLAN
- 23A ALTERNATIVE PHOTOMETRIC PLAN
- 24 DETAILS SHEET I
- 25 DETAILS SHEET II
- 26 MDOT ADAMS ROAD OVERALL PLAN
- 27 SANITARY SEWER DETAILS
- 28 SANITARY SEWER DETAILS
- 29 STORM SEWER DETAILS
- 30 WATER MAIN DETAILS
- 31 WATER MAIN DETAILS
- SP1 SITE PLAN ENLARGED
- SP2.0 SITE DETAILS
- SP2.1 SITE DETAILS
- SP2.2 BALE AND PALLET STORAGE
- P1 PLUMBING PLAN
- TR1 TREE REMOVAL EAST SIDE ADAMS ROAD & M-59
- TR2 WAL-MART TREE REMOVAL LIST

CITY FILE #
05-030.2

NOT TO BE USED AS CONSTRUCTION DRAWINGS

ALERT TO CONTRACTOR:

1. THE SITEWORK FOR THE WAL-MART PORTION OF THIS PROJECT SHALL MEET OR EXCEED THE "WAL-MART STANDARD SITEWORK SPECIFICATIONS."
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

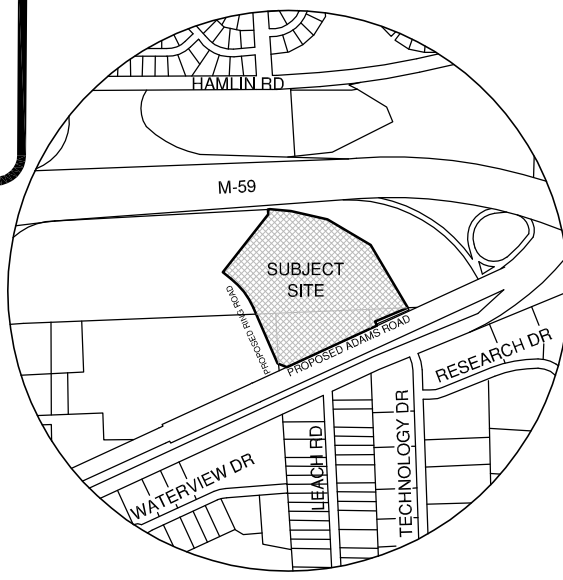


THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2006 ATWELL-HICKS
NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.



SITE LOCATION MAP

SCALE: 1" = 660' (1/8 MILE)

SCHEDULE BII - EXCEPTIONS

(Per Chicago Title Insurance Company commitment for Title Insurance No. 63-508104 Dated October 20, 2003)

1. Omitted.
2. Subject to the terms and conditions of a certain Water Main Agreement, as recorded in Liber 8922, Page 751, Oakland County Records. MAY AFFECT SUBJECT PROPERTY, HOWEVER, DUE TO AMBIGUOUS NATURE OF EASEMENT DESCRIPTION LANGUAGE, CANNOT BE SHOWN HEREON.
3. Subject to an Easement in favor of the County of Oakland for sanitary sewer, as set forth in instrument(s) recorded in Liber 5738, Page 386, Oakland County Records. DOES NOT AFFECT SUBJECT PROPERTY AND HAS NOT BEEN SHOWN HEREON.
4. Subject to the terms and conditions of a certain Water Main Easement, as recorded in Liber 15988, Page 184, Oakland County Records. DOES NOT AFFECT SUBJECT PROPERTY AND HAS NOT BEEN SHOWN HEREON.
5. Subject to an Easement in favor of the Township of Avon for water main, as set forth in instrument(s) recorded in Liber 6713, Page 92, in Liber 8465, Page 422, and in Liber 8471, Page 120, and in Liber 10400, Page 315, Oakland County Records. DOES NOT AFFECT SUBJECT PROPERTY AND HAS NOT BEEN SHOWN HEREON.
6. Subject to the rights of The Detroit Edison Company's Easement, being 12 feet wide, as set forth in instrument recorded in Liber 12502, Page 546, Oakland County Records. AFFECTS A PORTION OF SUBJECT PROPERTY AND HAS BEEN SHOWN HEREON.
7. Subject to a Right-of-Way in favor of The Detroit Edison Company, as recorded in Liber 5 of Miscellaneous Records, Page 10, Oakland County Records. DOES NOT AFFECT SUBJECT PROPERTY AND HAS NOT BEEN SHOWN HEREON.
8. Subject to a Right-of-Way in favor of Consumers Power Company, now known as Consumers Energy Company, as recorded in Liber 3079, Page 321 and in Liber 3079, Page 344 and amended in Liber 19902, Page 588, Oakland County Records. AFFECTS A PORTION OF SUBJECT PROPERTY AND HAS BEEN SHOWN HEREON.
9. Subject to the interest of Meadowbrook Park Development Co., a Michigan corporation, as to oil, gas and mineral interests, as set forth in instrument recorded in Liber 7796, Page 92, Oakland County Records. AFFECTS A PORTION OF SUBJECT PROPERTY AND HAS BEEN SHOWN HEREON.
10. Subject to the rights of the public and of any governmental unit in any part thereof taken, used or deeded for street, road or highway purposes.
- NOTE: Subject property appears to be landlocked.
11. Omitted.

K:\100637\dwg\Plan Sets\Final\100637FC-01-CV.dwg, 3/28/2006 2:04:53 PM, jsmith

ATWELL-HICKS

Engineering • Surveying • Planning • Environmental • Water/Wastewater
8 6 6 8 5 0 4 2 0 0
www.atwell-hicks.com
MICHIGAN ILLINOIS OHIO

SECTION 30

TOWN 3 NORTH, RANGE 11 EAST

CITY OF ROCHESTER HILLS

OAKLAND COUNTY, MICHIGAN

CLIENT
WAL★MART STORES, INC. #2354-01

FINAL SITE PLAN
COVER SHEET

ADAMS ROAD
ROCHESTER HILLS, MICHIGAN

CAD FILE
100637FC-01-CV.dwg

REVISIONS

DATE
8-17-05

AH

NO SCALE

DR. SMS | CH. JN

P.M. N. MILLER

BOOK 1156

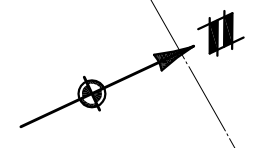
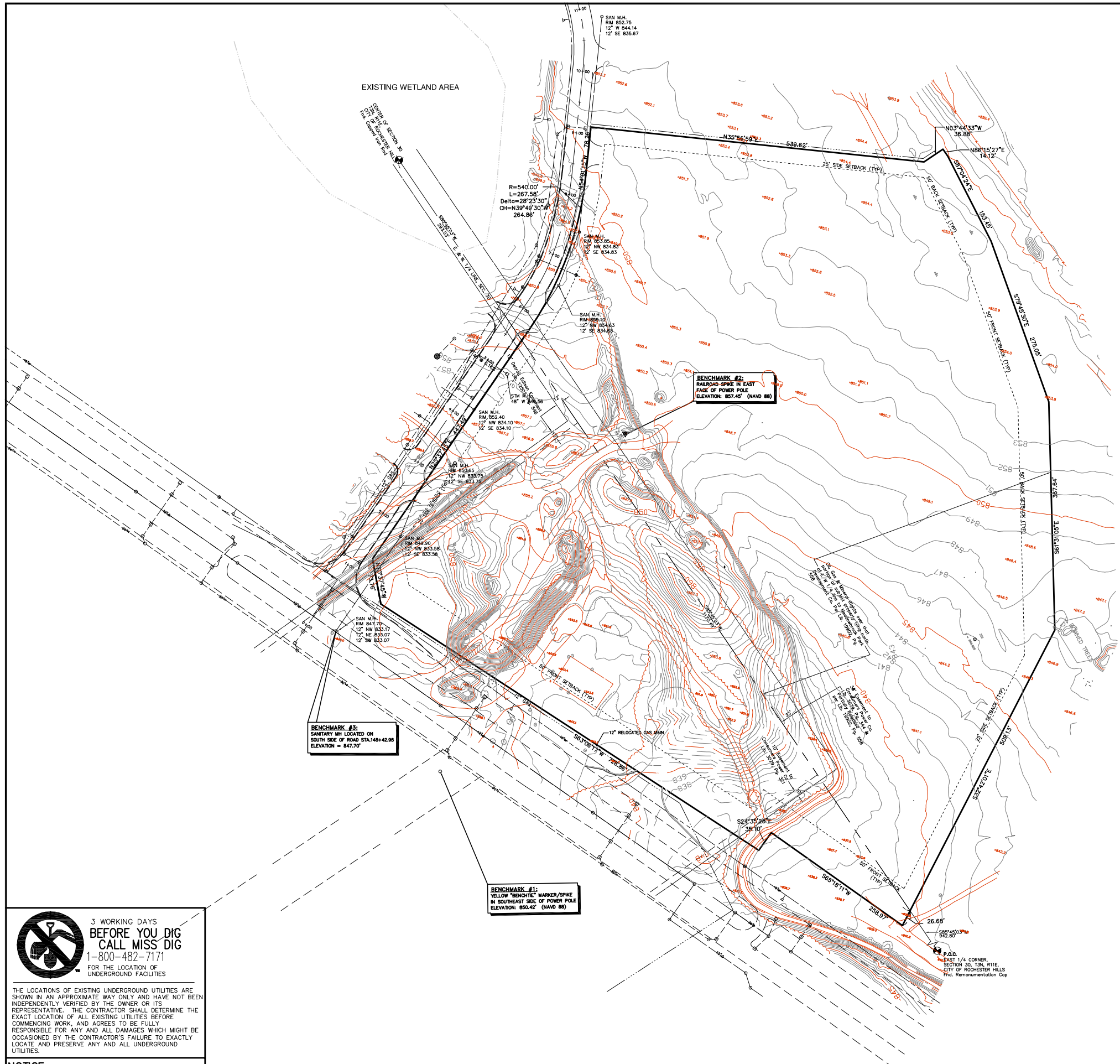
JOB NO. 100637

AH FILE NO. 443-572-1

SHEET NO.

1

K:\100637.dwg\Plan Sets\Final\100637FC-02-EC.dwg, 3/28/2006 1:47:23 PM, jsmith



LEGAL DESCRIPTION
 A PARCEL OF LAND LOCATED IN PART OF THE EAST 1/2 OF SECTION 30 T. 3 N., R. 11 E., CITY OF ROCHESTER HILLS, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:
 COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 30 AND PROCEEDING S. 85°45'03" W. 942.80 FEET ALONG THE EAST AND WEST 1/4 LINE OF SECTION 30 TO THE POINT OF BEGINNING, THENCE S. 32°42'01" E. 26.68 FEET ALONG THE PROPOSED SOUTHERLY RIGHT-OF-WAY LINE OF M-59 HIGHWAY; THENCE S. 65°18'11" W. 258.97 FEET; THENCE S. 24°35'28" E. 35.10 FEET TO A POINT ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF PROPOSED ADAMS ROAD (150 FEET WIDE); THENCE ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAID PROPOSED ADAMS ROAD S. 63°06'17" W. 726.86 FEET; THENCE N. 70°37'45" W. 73.76 FEET; THENCE N. 25°37'45" W. 447.49 FEET; THENCE 267.58 FEET ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 540.00 FEET, CENTRAL ANGLE 28°23'30", AND A CHORD THAT BEARS N. 39°49'30" W. 264.86 FEET; THENCE N. 54°01'15" W. 78.26 FEET; THENCE N. 35°56'59" E. 539.62 FEET; THENCE N. 03°44'33" W. 36.88 FEET TO A POINT ALONG THE SAID PROPOSED SOUTHERLY RIGHT-OF-WAY LINE OF M-59 HIGHWAY; THENCE THE FOLLOWING FIVE (5) COURSES ALONG SAID PROPOSED RIGHT-OF-WAY LINE OF M-59 HIGHWAY N. 86°15'27" E. 14.12 FEET; S. 87°04'24" E. 153.45 FEET; S. 79°45'30" E. 275.05 FEET; S. 61°31'05" E. 367.64 FEET AND S. 32°42'01" E. 509.13 FEET TO THE POINT OF BEGINNING, CONTAINING 21.23 ACRES OF LAND, BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

- NOTE**
1. UTILITIES IN ADAMS RD. ARE NOT CONSTRUCTED AND ARE TO BE BUILT BY OTHERS.
 2. BENCHMARK #3 HAS BEEN ADDED TO REPLACE #2 UPON DEMOLITION.
 3. AS-BUILT DATA FOR RELOCATED GAS MAIN PROVIDED BY DEVELOPER (GRAND/SAKWA).

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 FOR THE LOCATION OF UNDERGROUND FACILITIES

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2006 ATWELL-HICKS. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.

ATWELL-HICKS
 Engineering • Surveying • Planning • Environmental • Water/Wastewater
 866 850 4200
 www.atwell-hicks.com
 MICHIGAN ILLINOIS OHIO

SECTION 30
 TOWN 3 NORTH, RANGE 11 EAST
 CITY OF ROCHESTER HILLS
 OAKLAND COUNTY, MICHIGAN

CLIENT: WAL * MART STORES, INC. #2354-01
 FINAL SITE PLAN
 EXISTING CONDITIONS
 ADAMS ROAD
 ROCHESTER HILLS, MICHIGAN

CAD FILE: 100637FC-02-EC.dwg

REVISIONS

DATE: 8-17-05

SCALE: 0 40 80
 1" = 80 FEET

DR. SMS | CH. JN
 P.M. N. MILLER
 BOOK 1156
 JOB NO. 100637
 AH FILE NO. 443-572-2
 SHEET NO.

CITY FILE #: 05-030.2

2

NOT TO BE USED AS CONSTRUCTION DRAWINGS

SITE PLAN NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
4. ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE 18" CURB & GUTTER. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN.
5. ALL CURBED RADII ARE TO BE 5' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
6. ALL DIMENSIONS ARE TO THE FACE OF CURB AND RADII ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
7. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
9. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
10. TOTAL LAND AREA IS 21.23 ACRES.
11. WETLANDS WERE PRESENT ON THIS SITE.
12. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE WAL-MART STANDARD SITE WORK SPECIFICATIONS.
13. PYLON SIGNS SHALL BE CONSTRUCTED BY OTHERS.
14. REFER TO ARCH. PLANS FOR SITE LIGHTING AND ELECTRICAL PLANS.
15. VESTIBULE AREA WILL BE USED AS PASSENGER LOADING AREA AND SHALL COMPLY WITH ICC ANSI A117-1998 SECTION 503 FOR SIZE FOR SIZE, VERTICAL CLEARANCE, AND PAVEMENT SLOPE.
16. CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH UFC ART 87, SEC. 8701.

FIRE DEPARTMENT NOTES:

1. FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE. WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART. - NO STOPPING, STANDING, PARKING, FIRE LANE, AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
2. OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES, FIRE PREVENTION ORDINANCE CHAPTER 58, SEC. 1102.6.2 & 1102.6.2.3.
3. ALL PROPOSED FIRE APPARATUS ACCESS ROADS, INCLUDING RING ROAD, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
4. EXIT DOORS SHALL REMAIN FREE OF OBSTRUCTIONS AT ALL TIMES. PROVIDE GUARD POSTS OR OTHER ACCEPTABLE MEANS OF PROTECTING EXIT DOORS OPENING ONTO DRIVES AND PARKING AREA.

PARKING DATA

| | |
|--|--------------|
| WAL-MART (WITH & WITHOUT GAS STATION) | 203,819 S.F. |
| STANDARD SPACES | 913 |
| + HANDICAP SPACES (1:1 VAN ACCESSIBLE) | 27 |
| - CART CORRALS (SPACES TAKEN) | 20 |
| TOTAL PARKING SPACES (WITHOUT GAS STATION) | 960 |
| PARKING RATIO | 4.71/1000 |

PARKING PER CONSENT JUDGEMENT: SEC. 4(a)

5 SPACES PER 1000 SQUARE FEET FOR FIRST 49,999 SQ. FT.
 4 SPACES PER 1000 SQUARE FEET FOR AREA GREATER THAN 49,999 SQ. FT.
 49,999 1000 x 5 = 250 SPACES
 (203,819/49,999 = 153.820) 153.820/1000 x 4 = 616 SPACES
 TOTAL SPACES PER CONSENT JUDGEMENT: 866
 960 SPACES PROPOSED

BUILDING INFORMATION

1. CONSTRUCTION TYPE - 2B
2. USE GROUP - MERCANTILE
3. ALLOWABLE BUILDING AREA (PER CHAPTER 5 MBC 2003) - UNLIMITED

PAINT STRIPING LEGEND

- SWSL 4" - SINGLE WHITE SOLID LINE / 4" WIDE
- DYSL 4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- SYSL 10" - SINGLE YELLOW SOLID LINE / 10" WIDE
- SWDL 4" - SINGLE WHITE DASHED LINE / 4" WIDE
- SWSL 24" - SINGLE WHITE SOLID LINE / 24" WIDE

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 FOR THE LOCATION OF UNDERGROUND FACILITIES

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2006 ATWELL-HICKS
 NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.

SITE LEGEND

- (A) NOT USED
- (B) AREA STRIPED AT SYSL 4" AT 45° @ 2'-0" O.C.
- (C) PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPES PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- (D) PEDESTRIAN CROSSING SIGN WITH 2 AND WITH 20 TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- (E) "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL SEE DETAIL SHEET.
- (F) RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK. REFER TO ARCHITECTURAL PLANS.
- (G) EXIT PORCH. SEE ARCHITECTURAL PLANS FOR EXACT SIZE, LOCATION FOR STAIRS, STAIRS AND/OR RAMPS THAT MAY BE REQUIRED. RAMP PAVEMENT FLUSH WITH THE TOP OF STAIRS.
- (H) 6" PIPE BOLLARD TYPICAL UNLESS NOTED OTHERWISE. SEE DETAIL SHEET.
- (I) AT GRADE OVERHEAD DOOR LOCATION. SEE ARCHITECTURAL PLANS FOR EXACT SIZE AND LOCATION FOR COORDINATION WITH CIVIL PLANS.
- (J) 4" WIDE x 120' LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES.
- (K) CONCRETE COMPACTOR PAD. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND SLOPE. ACCESSIBLE PARKING SPACE TYPICAL.
- (L) CONCRETE TRANSFORMER PAD. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
- (M) PARKING SPACE SIZE, SIGN AND SYMBOL.
- (N) PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL 4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE. SEE DETAIL SHEET.
- (O) POLE MOUNTED "NO STOPPING, STANDING, PARKING FIRE LANE" SIGN.
- (P) CART CORRAL TYPICAL-SEE DETAIL SHEET FOR WAL-MART CART CORRAL DETAIL.

- (R) 10' X 15' STRIPED AREA PAINTED SYSL 4" AT 45° @ 2'-0" O.C. AT JOB CRANE LOCATION. SEE ARCHITECTURAL PLANS.
- (S) 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE. SEE DETAIL SHEET.
- (T) 18" CONCRETE CURB AND GUTTER TYPICAL. SEE PLAN FOR TYPE. SEE DETAIL SHEET.
- (U) PAINTED DIRECTIONAL ARROW TYPICAL-SEE DETAIL SHEET.
- (V) BUILDING SETBACK LINE PER ZONING ORDINANCE.
- (W) 12'-0" WIDE PAINTED WHITE CROSSWALK WITH 4" PAINTED WHITE STRIPING 2'-0" O.C. PARALLEL TO THE DIRECTION OF TRAFFIC AND (1)-8" PAINTED WHITE STRIPES PERPENDICULAR ON BOTH SIDES.
- (X) ASILE INDICATOR SIGNS TYPICAL. SEE DETAIL SHEET.
- (Y) TIRE LUBE EXPRESS (TLE) STRIPING. SEE DETAIL SHEET.
- (Z) "DO NOT ENTER" SIGN.
- (AA) "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
- (BB) VAN ACCESSIBLE PARKING SPACE. SEE DETAIL SHEET.
- (CC) STOP SIGN STOP BAR. SEE DETAIL SHEET.
- (DD) SCREENED PALLET/BALE STORAGE AREA. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- (EE) OIL INTERCEPTOR RE: MECH. PLANS.
- (FF) GREASE INTERCEPTOR.
- (GG) TIRE KIDSK.
- (HH) COMPRESSORS RE: ARCH. PLANS.
- (II) DETECTABLE WARNINGS RE: ARCH. PLANS.
- (JJ) CONCRETE JOINTING AND FILLERS TO BE COMPLETED PER DETAIL. (TYPICAL OF ALL EXTERIOR CONCRETE EXCLUSIVE OF ARCHITECTURAL CONCRETE).

NOTES:

1. THE FUTURE FILLING STATION WAS NOT REVIEWED AS A PART OF THIS SITE PLAN AND WILL BE SUBMITTED UNDER SEPARATE APPLICATION.
2. ABOVE GROUND GAS METERS, REGULATORS, AND PIPING EXPOSED TO VEHICULAR DAMAGE DUE TO PROXIMITY TO ALLEYS, DRIVEWAYS OR PARKING AREAS SHALL BE PROTECTED IN AN APPROVED MANNER.

LIGHTING LEGEND

- HUBBELL CATALOG NO.: MSVA1000P-FW-VAR
 3 luminaires per location, candela file HP08681.E5
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 27' 8"
 number locations = 6, number luminaires = 18
 kw all locations = 18.4
- HUBBELL CATALOG NO.: MSVA1000P-FP-VAR
 2 luminaires per location, candela file HP08681.E5
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 27' 8"
 number locations = 2, number luminaires = 4
 kw all locations = 4.3
- HUBBELL CATALOG NO.: MSVA1000P-FP-VAR
 2 luminaires per location, candela file HP08681.E5
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 27' 8"
 number locations = 10, number luminaires = 10
 kw all locations = 10.8
- HUBBELL CATALOG NO.: MSVA1000P-FP-VAR
 2 luminaires per location, candela file HP08681.E5
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 27' 8"
 number locations = 2, number luminaires = 2
 kw all locations = 2.2
- HUBBELL CATALOG NO.: MSVA1000P-FW-VAR
 2 luminaires per location, candela file HP08681.E5
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 27' 8"
 number locations = 9, number luminaires = 9
 kw all locations = 9.7
- HUBBELL CATALOG NO.: MSVA1000P-FW-VAR
 2 luminaires per location, candela file HP08681.E5
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 27' 8"
 number locations = 13, number luminaires = 26
 kw all locations = 26.1

LEGEND FOR PROPOSED IMPROVEMENTS

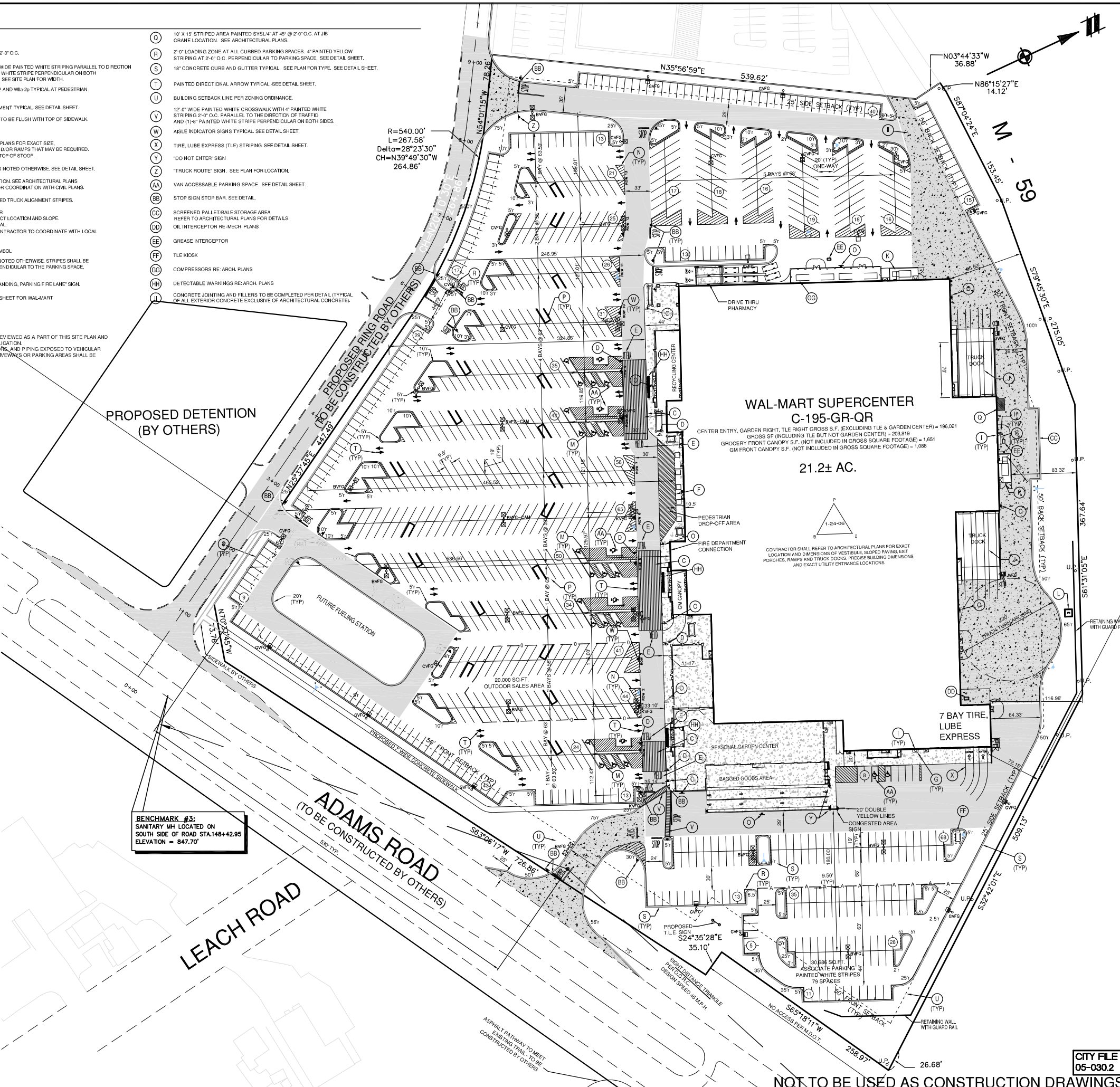
- PROPOSED BUILDING
- PROPOSED 18" CURB
- AND GUTTER
- PROPOSED PARKING SPACES
- CART CORRAL
- VAN ACCESSIBLE PARKING SPACE
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT
- STANDARD DUTY CONCRETE
- HEAVY DUTY CONCRETE
- ASSOCIATE EMPLOYEE PARKING AREA
- OUTDOOR SALES AREA
- PLANTER BOX

BENCHMARK #3:
 SANITARY MH LOCATED ON SOUTH SIDE OF ROAD STA.148+42.95 ELEVATION = 847.70'

ADAMS ROAD (TO BE CONSTRUCTED BY OTHERS)

LEACH ROAD (TO BE CONSTRUCTED BY OTHERS)

R=540.00'
 L=267.58'
 Delta=28°23'30"
 CH=N39°49'30"W
 264.86'



ATWELL-HICKS
 Engineering • Surveying • Planning • Environmental • Water/Wastewater
 866 850 4200
 www.atwell-hicks.com
 MICHIGAN ILLINOIS OHIO

CLIENT: WAL-MART STORES, INC. #2354-01
FINAL SITE PLAN LAYOUT PLAN
 ADAMS ROAD ROCHESTER HILLS, MICHIGAN

SECTION 30
 TOWN 3 NORTH, RANGE 11 EAST
 CITY OF ROCHESTER HILLS
 OAKLAND COUNTY, MICHIGAN

CAD FILE: 100637FC-06-L.dwg
 REVISIONS
 DATE: 8-17-05

SCALE: 1" = 60 FEET
 DR. SMS CH. JN
 P.M. N. MILLER
 BOOK 1156
 JOB NO. 100637
 AH FILE NO. 443-572-6
 SHEET NO. 6

CITY FILE #: 05-030.2
NOT TO BE USED AS CONSTRUCTION DRAWINGS

K:\100637.dwg\Plan Sets\Final\100637FC-06-L.dwg, 3/28/2006 1:47:38 PM, jsmith

SITE PLAN NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
4. ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE 18" CURB & GUTTER. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN.
5. ALL CURBED RADII ARE TO BE 5' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
6. ALL DIMENSIONS ARE TO THE FACE OF CURB AND RADII ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
7. EXISTING STRUCTURES WITH CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
9. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
10. TOTAL LAND AREA IS 21.23 ACRES.
11. WETLANDS WERE PRESENT ON THIS SITE
12. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE WAL-MART STANDARD SITE WORK SPECIFICATIONS.
13. PYLON SIGNS SHALL BE CONSTRUCTED BY OTHERS.
14. REFER TO ARCH. PLANS FOR SITE LIGHTING AND ELECTRICAL PLANS.
15. VESTIBULE AREA WILL BE USED AS PASSENGER LOADING AREA AND SHALL COMPLY WITH K22/ANSI 111.1-1998 SECTION 503 FOR SIZE FOR SIZE, VERTICAL CLEARANCE, AND PAVEMENT SLOPE.
16. CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH UFC ART 87, SEC. 8701.

FIRE DEPARTMENT NOTES:

1. FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL, AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE, WITH FIRE LANE SIGNS, SPACED NOT MORE THAN 100 FEET APART. - NO STOPPING, STANDING, PARKING, FIRE LANE, AND IN CONFORMANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
2. OPEN BURNING IS NOT PERMITTED INCLUDING THE BURNING OF TRASH, DEBRIS, OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES, FIRE PREVENTION ORDINANCE CHAPTER 59, SEC. 1102.6.2 & 1102.6.2.3.
3. ALL PROPOSED FIRE APPARATUS ACCESS ROADS, INCLUDING RING ROAD, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
4. EXIT DOORS SHALL REMAIN FREE OF OBSTRUCTIONS AT ALL TIMES. PROVIDE GUARD POSTS OR OTHER ACCEPTABLE MEANS OF PROTECTING EXIT DOORS OPENING ONTO DRIVES AND PARKING AREA.

PARKING DATA

| | |
|--|--------------|
| WAL-MART (WITH & WITHOUT GAS STATION) | 203,819 S.F. |
| STANDARD SPACES | 913 |
| HANDICAP SPACES (11 VAN ACCESSIBLE) | 27 |
| CART CORRALS (SPACES TAKEN) | 20 |
| TOTAL PARKING SPACES (WITHOUT GAS STATION) | 960 |
| PARKING RATIO | 4.71/1000 |

PARKING PER CONSENT JUDGEMENT: SEC. 4(a)

5 SPACES PER 1000 SQUARE FEET FOR FIRST 49,999 SQ. FT.
 4 SPACES PER 1000 SQUARE FEET FOR AREA GREATER THAN 49,999 SQ. FT.
 49,999/1000 x 5 = 250 SPACES
 (203,819-49,999 = 153,820) 153,820/1000 x 4 = 615 SPACES
 TOTAL SPACES PER CONSENT JUDGMENT: 866
 960 SPACES PROPOSED

BUILDING INFORMATION

1. CONSTRUCTION TYPE - 2B
2. USE GROUP - MERCANTILE
3. ALLOWABLE BUILDING AREA (PER CHAPTER 5 MFC 2003) - UNLIMITED

PAINT STRIPING LEGEND

- SWSL4" - SINGLE WHITE SOLID LINE / 4" WIDE
- SYSL4" - SINGLE YELLOW SOLID LINE / 4" WIDE EACH
- SYSL10" - SINGLE YELLOW SOLID LINE / 10" WIDE
- SWDL4" - SINGLE WHITE DASHED LINE / 4" WIDE
- SWSL24" - SINGLE WHITE SOLID LINE / 24" WIDE

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171
 FOR THE LOCATION OF UNDERGROUND FACILITIES

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2006 ATWELL-HICKS
 NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.

AREA LEGEND

- (A) NOT USED
- (B) AREA STRIPED AT SYSL4" AT 45° @ 2'-0" O.C.
- (C) PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 11-1/2" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
- (D) PEDESTRIAN CROSSING SIGN WITH 18" AND 18" TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS.
- (E) "YIELD" PAINTED YELLOW ON PAVEMENT TYPICAL. SEE DETAIL SHEET.
- (F) RAMPED PAVEMENT AT VESTIBULE TO BE FLUSH WITH TOP OF SIDEWALK. REFER TO ARCHITECTURAL PLANS.
- (G) EXIT PORCH. SEE ARCHITECTURAL PLANS FOR EXACT SIZE. LOCATION FOR STOODS, STAIRS AND/OR RAMPS THAT MAY BE REQUIRED. RAMP PAVEMENT FLUSH WITH THE TOP OF STOOD.
- (H) 6"Ø PIPE BOLLARD TYPICAL UNLESS NOTED OTHERWISE. SEE DETAIL SHEET.
- (I) AT GRADE OVERHEAD DOOR LOCATION. SEE ARCHITECTURAL PLANS FOR EXACT SIZE AND LOCATION FOR COORDINATION WITH CIVIL PLANS.
- (J) 4" WIDE X 120' LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES.
- (K) CONCRETE COMPACTOR PAD. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND SLOPE. ACCESSIBLE PARKING SPACE TYPICAL.
- (L) CONCRETE TRANSFORMER PAD. CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAILS.
- (M) PARKING SPACE SIZE, SIGN AND SYMBOL.
- (N) PAINTED ISLAND TYPICAL UNLESS NOTED OTHERWISE. STRIPES SHALL BE PAINTED SYSL4" AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE. SEE DETAIL SHEET.
- (O) POLE MOUNTED "NO STOPPING, STANDING, PARKING FIRE LANE" SIGN.
- (P) CART CORRAL TYPICAL-SEE DETAIL SHEET FOR WAL-MART CART CORRAL DETAIL.
- (Q) 10' X 15' STRIPED AREA PAINTED SYSL4" AT 45° @ 2'-0" O.C. AT JIB CRANE LOCATION. SEE ARCHITECTURAL PLANS.
- (R) 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE. SEE DETAIL SHEET.
- (S) 18" CONCRETE CURB AND GUTTER TYPICAL. SEE PLAN FOR TYPE. SEE DETAIL SHEET.
- (T) PAINTED DIRECTIONAL ARROW TYPICAL. SEE DETAIL SHEET.
- (U) BUILDING SETBACK LINE PER ZONING ORDINANCE.
- (V) 12'-0" WIDE PAINTED WHITE CROSSWALK WITH 4" PAINTED WHITE STRIPING 2'-0" O.C. PARALLEL TO THE DIRECTION OF TRAFFIC AND (11-1/2" PAINTED WHITE STRIPE PERPENDICULAR ON BOTH SIDES. ARSLE INDICATOR SIGNS TYPICAL. SEE DETAIL SHEET.
- (W) TIRE, LUBE EXPRESS (TLE) STRIPING. SEE DETAIL SHEET.
- (X) "DO NOT ENTER" SIGN
- (Y) "TRUCK ROUTE" SIGN. SEE PLAN FOR LOCATION.
- (Z) VAN ACCESSIBLE PARKING SPACE. SEE DETAIL SHEET.
- (AA) STOP SIGN STOP BAR. SEE DETAIL.
- (BB) SCREENED PALLET/BALE STORAGE AREA REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- (CC) OIL INTERCEPTOR RE. MECH. PLANS
- (DD) GREASE INTERCEPTOR
- (EE) TLE KIOSK
- (FF) COMPRESSORS RE. ARCH. PLANS
- (GG) DETECTABLE WARNINGS RE. ARCH. PLANS
- (HH) CONCRETE JOINTING AND FILTERS TO BE COMPLETED PER DETAIL (TYPICAL OF ALL EXTERIOR CONCRETE EXCLUSIVE OF ARCHITECTURAL CONCRETE).

NOTES:

1. THE FUTURE FILLING STATION WAS NOT REVIEWED AS A PART OF THIS SITE PLAN AND WILL BE SUBMITTED UNDER SEPARATE APPLICATION.
2. ABOVE GROUND GAS METERS, REGULATORS, AND PIPING EXPOSED TO VEHICULAR DAMAGE DUE TO PROXIMITY TO ALLEYS, DRIVEWAYS OR PARKING AREAS SHALL BE PROTECTED IN AN APPROVED MANNER.

LIGHTING LEGEND

- HUBBELL CATALOG NO.-MSVA1000P-BWxAR
 3 luminaires per location, candela file 11P09164A.JES
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 42 ft
 number locations = 7, number luminaires = 21
 kw all locations = 22.7
- HUBBELL CATALOG NO.-MSVA1000P-BPxARGS
 2 luminaires per location, candela file 11P08381.JES
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 42 ft
 number locations = 2, number luminaires = 4
 kw all locations = 4.3
- HUBBELL CATALOG NO.-MSVA1000P-BPxARGS
 2 luminaires per location, candela file 11P08381.JES
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 42 ft
 number locations = 8, number luminaires = 8
 kw all locations = 8.6
- HUBBELL CATALOG NO.-MSVA1000P-BPxAR
 2 luminaires per location, candela file 11P09164A.JES
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 42 ft
 number locations = 1, number luminaires = 1
 kw all locations = 1.1
- HUBBELL CATALOG NO.-MSVA1000P-BWxAR
 2 luminaires per location, candela file 11P09164A.JES
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 42 ft
 number locations = 1, number luminaires = 1
 kw all locations = 1.1
- HUBBELL CATALOG NO.-MSVA1000P-BWxAR
 2 luminaires per location, candela file 11P09164A.JES
 1 lamp(s) per luminaire, 120000 initial lumens per lamp
 Light Loss Factor = 0.750, watts per luminaire = 1080
 mounting height = 42 ft
 number locations = 9, number luminaires = 18
 kw all locations = 19.4

LEGEND FOR PROPOSED IMPROVEMENTS

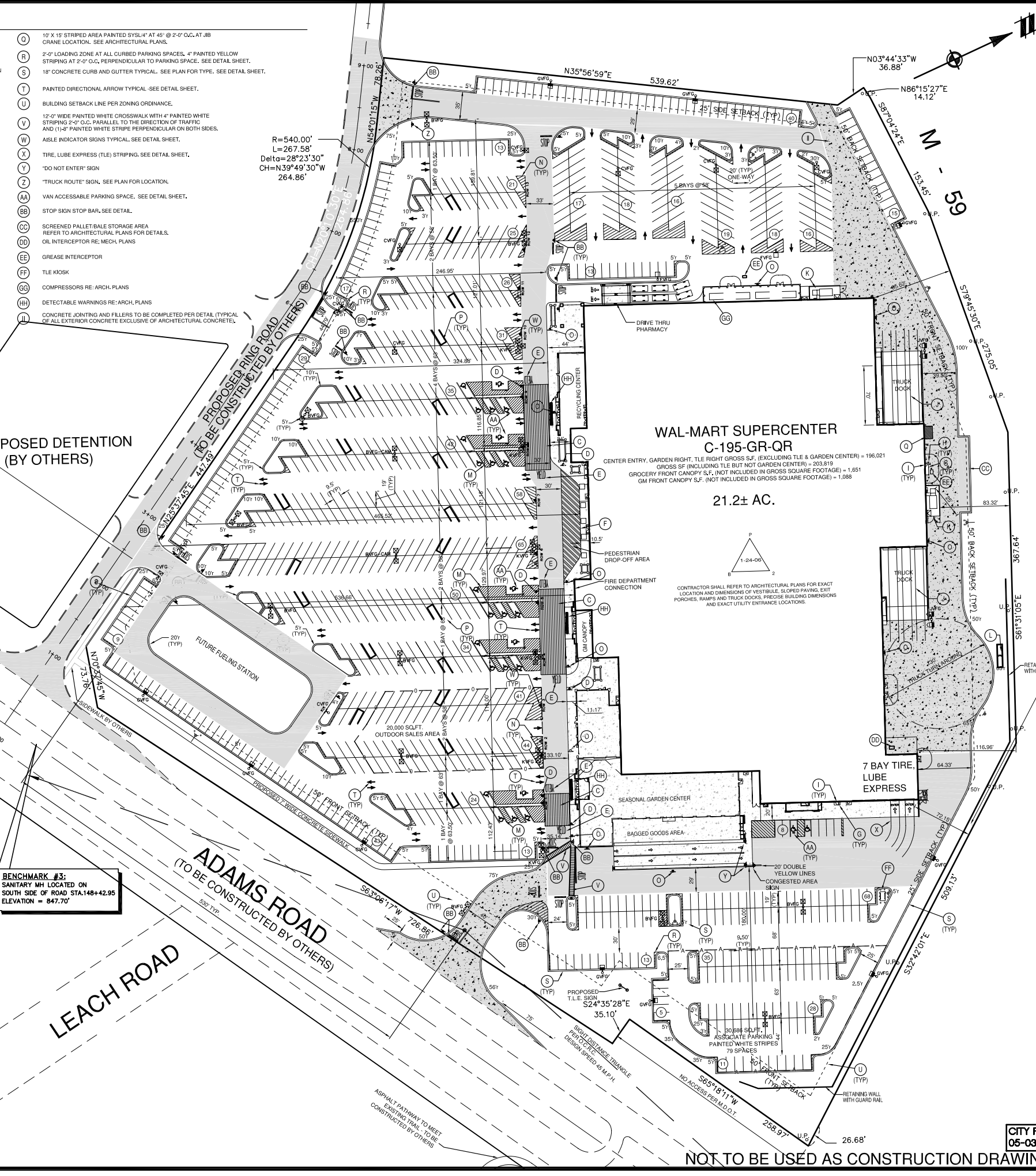
- PROPOSED BUILDING
- PROPOSED 18" CURB AND GUTTER
- PROPOSED PARKING SPACES
- CART CORRAL
- VAN ACCESSIBLE PARKING SPACE
- STANDARD DUTY ASPHALT
- HEAVY DUTY ASPHALT
- STANDARD DUTY CONCRETE
- HEAVY DUTY CONCRETE
- ASSOCIATE/EMPLOYEE PARKING AREA
- OUTDOOR SALES AREA
- PLANTER BOX

BENCHMARK #3:
 SANITARY MH LOCATED ON SOUTH SIDE OF ROAD STA.148+42.95
 ELEVATION = 847.70'

ADAMS ROAD (TO BE CONSTRUCTED BY OTHERS)

LEACH ROAD

R=540.00'
 L=267.58'
 Delta=28°23'30"
 CH=N39°49'30"W
 264.86'



ATWELL-HICKS
 Engineering • Surveying • Planning • Environmental • Water/Wastewater
 866.850.4200
 www.atwell-hicks.com
 MICHIGAN ILLINOIS OHIO

SECTION 30
 TOWN 3 NORTH, RANGE 11 EAST
 CITY OF ROCHESTER HILLS
 OAKLAND COUNTY, MICHIGAN

WAL-MART STORES, INC. #2354-01
 PRELIMINARY SITE PLAN
 ALTERNATIVE LAYOUT PLAN

ADAMS ROAD
 ROCHESTER HILLS, MICHIGAN

CAD FILE
 100637FC-06-L.dwg

REVISIONS

DATE
 8-17-05

SCALE
 1" = 60 FEET

DR. SMS | CH. JN
 P.M. N. MILLER
 BOOK 1156
 JOB NO. 100637
 AH FILE NO. 443-572-6
 SHEET NO. 6A

CITY FILE # 05-030.2

NOT TO BE USED AS CONSTRUCTION DRAWINGS

SITE GRADING NOTES

- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
TYPE 1: RCP, CLASS III PER ASTM C-76 WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
TYPE 2: SPIRAL RIB METAL PIPE TYPE 1R, GALVANIZED, ALUMINIZED, OR BITUMINOUS COATED AS SPECIFIED ON CONSTRUCTION DRAWINGS. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON CONSTRUCTION DRAWINGS. PIPE ENDS SHALL BE RE-CORRUGATED AND INSTALLED WITH SEMI-CORRUGATED HUGGER-TYPE BANDS AND "O" RING GASKETS IN ACCORDANCE WITH PIPE MANUFACTURERS INSTALLATION REQUIREMENTS. SPIRAL RIB METAL PIPE MUST COMPLY WITH ASTM A 760 TYPE 1R, ACCEPTABLE MANUFACTURERS: CONTECH, INC., "ULTRA FLO" OR "ULTRA FLO II", CALDWELL CULVERT CO., "SMOOTH RIB", OR APPROVED EQUAL.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT
- PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.

FOUNDATION SUBSURFACE PREPARATION
PROPOSED WAL-MART STORE #2354-01
ROCHESTER HILLS, MICHIGAN

UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 10 FEET BEYOND THE BUILDING AREAS AND APPURTENANCES.

APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER (REFER TO DRAWING SHEET SP1), TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, GARDEN CENTER, PORCHES, RAMPS, STAIRS, TRUCK WELLS, DOCKS, CONCRETE APRONS AT THE AUTOMOTIVE CENTER, COMPACTOR PAD, ETC. THE SUBBASE DOES NOT EXTEND BEYOND THE LIMITS OF THE ACTUAL BUILDING AND THE APPURTENANCES.

ESTABLISH THE FINAL SUBGRADE ELEVATION AT 10 INCHES BELOW FINISHED FLOOR ELEVATION TO ALLOW FOR A 4-INCH SLAB, OR AT 11.5 INCHES BELOW THE FINISHED CONCRETE ELEVATION WHEN USING A 5.5 INCH SLAB TO ALLOW FOR THE SLAB THICKNESS OVER THE SUBBASE. FOR THE BUILDING, THE SUBBASE SHALL CONSIST OF 2 INCHES OF FINE SUBBASE OVER 4 INCHES OF COARSE SUBBASE. FOR THE BUILDING APPURTENANCES, THE SUBBASE SHALL CONSIST OF 4 INCHES OF COARSE SUBBASE. THE FINE SUBBASE SHALL BE A BY-PRODUCT OF CRUSHING AND SHALL MEET THE GRADATION OF ASTM 448 NO. 10 WITH BETWEEN 4 AND 12 PERCENT PASSING THE 200-SIEVE. THE COARSE SUBBASE SHALL BE CRUSHED STONE MEETING THE REQUIREMENTS OF MDT SPECIFICATION 902-21A. NO MATERIALS CONTAINING RECYCLED RUBBER WELLS SHALL BE PLACED BENEATH FLOOR SLAB. THE SUBBASE SHALL NOT BE PLACED UNTIL JUST PRIOR TO PLACEMENT OF THE SLAB, AND AFTER THE EXPOSED SUBGRADE HAS BEEN STABILIZED AND PROOF ROLLED. PROOF ROLL THE SUBBASE JUST PRIOR TO PLACEMENT OF THE SLAB. REMOVE AND REPLACE UNSUITABLE AREAS WITH SUITABLE MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACCURATE MEASUREMENTS FOR ALL CUT AND FILL DEPTHS REQUIRED.

REMOVE EXISTING FOUNDATIONS, SLABS, PAVEMENTS, AND BELOW-GRADE STRUCTURES FROM THE BUILDING AREAS. REMOVE SURFACE VEGETATION, TOPSOIL, ROOT SYSTEMS, SWAMP ROOTS AND ORGANIC MATERIALS FROM THE BUILDING AREAS. REMOVE ANY CLAYEY SOILS WITH POCKET PENETROMETER VALUES LESS THAN 1.5 TSE WITHIN 3 FEET OF FOUNDATION SUBGRADE PRIOR TO PLACING FOUNDATIONS. REMOVE OR RECOMPACT ANY EXISTING FILL THAT IS NOT COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557). SUBGRADE MATERIAL SHALL BE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS AND SHALL MEET THE FOLLOWING REQUIREMENTS:

SUBGRADE MATERIALS MAY CONSIST OF ON-SITE GRANULAR OR CLAYEY SOILS WITH LIQUID LIMITS LESS THAN 35 AND PLASTIC INDEXES LESS THAN 8. SUBGRADE MATERIALS IMPORTED FROM OFF-SITE SHALL CONSIST OF GRANULAR SOILS THAT MEET THE REQUIREMENTS OF MDT SPECIFICATION 902-3 CLASS III.

SUBGRADE MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY AT A MOISTURE CONTENT WITHIN 3 PERCENT ABOVE TO 3 PERCENT BELOW OPTIMUM FOR GRANULAR SOILS AND WITHIN 1 PERCENT BELOW TO 3 PERCENT ABOVE OPTIMUM FOR CLAYEY SOILS.

THE FOUNDATION SYSTEM SHALL BE ISOLATED SPREAD FOOTINGS AT COLUMNS AND CONTINUOUS SPREAD FOOTINGS AT WALLS.

THIS FOUNDATION SUBSURFACE PREPARATION DOES NOT CONSTITUTE A COMPLETE SITE WORK SPECIFICATION. IN CASE OF CONFLICT, INFORMATION COVERED IN THIS PREPARATION SHALL TAKE PRECEDENCE OVER THE WAL-MART SPECIFICATIONS. REFER TO THE SPECIFICATIONS FOR SPECIFICATIONS NOT COVERED IN THIS PREPARATION. ADDITIONAL RECOMMENDATIONS MAY ALSO BE FOUND IN THE GEOTECHNICAL REPORT PREPARED BY BRAUN INTERTEC GREAT LAKES, INC., DATED APRIL 1, 2005 (GEOTECHNICAL REPORT IS FOR INFORMATION ONLY AND IS NOT A CONSTRUCTION SPECIFICATION).

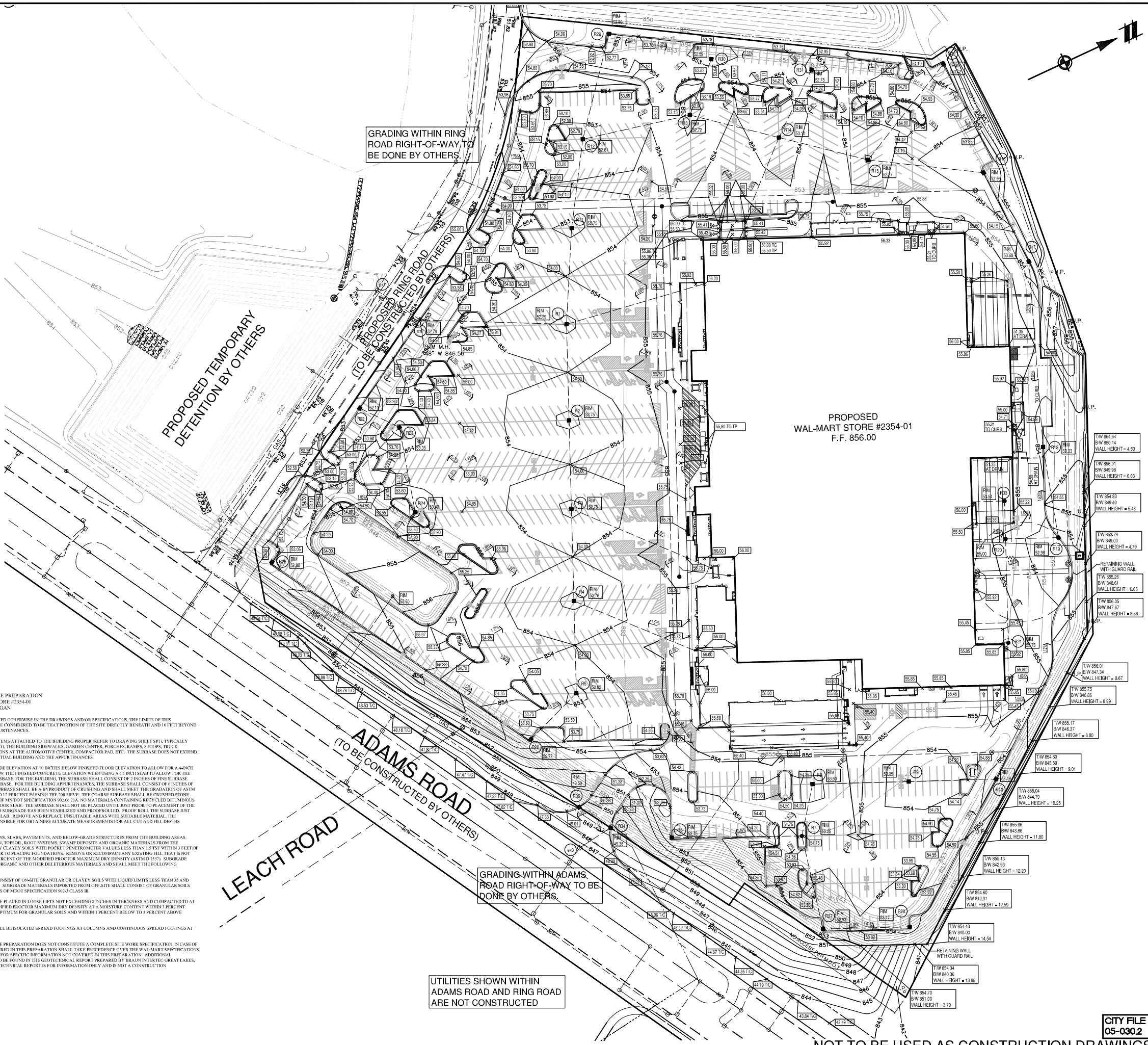
3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG
1-800-482-7171
FOR THE LOCATION OF UNDERGROUND FACILITIES

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2006 ATWELL-HICKS
NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.

K:\100637.dwg | Plan Sets | Site-Final | 100637FC-07-G.dwg, 3/28/2006 1:47:57 PM, jsmith



ATWELL-HICKS
Engineering • Surveying • Planning • Environmental • Water/Wastewater
866 850 4200
www.atwell-hicks.com
MICHIGAN ILLINOIS OHIO

SECTION 30
TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

CLIENT: WAL-MART STORES, INC. #2354-01
FINAL SITE PLAN
GRADING PLAN
ADAMS ROAD
ROCHESTER HILLS, MICHIGAN

CAD FILE
100637FC-07-G.dwg

REVISIONS
DATE 8-17-05

SCALE 0 30 60
1" = 60 FEET
DR. SMS CH. JN
P.M. N. MILLER
BOOK 1156
JOB NO. 100637
AH FILE NO. 443-572-7
SHEET NO. 7

CITY FILE #
05-030.2

NOT TO BE USED AS CONSTRUCTION DRAWINGS

K:\100637.dwg\Plan Sets\Final\100637FC-08-U.dwg, 3/28/2006 1:48:15 PM, jsmith



3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171
FOR THE LOCATION OF UNDERGROUND FACILITIES

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

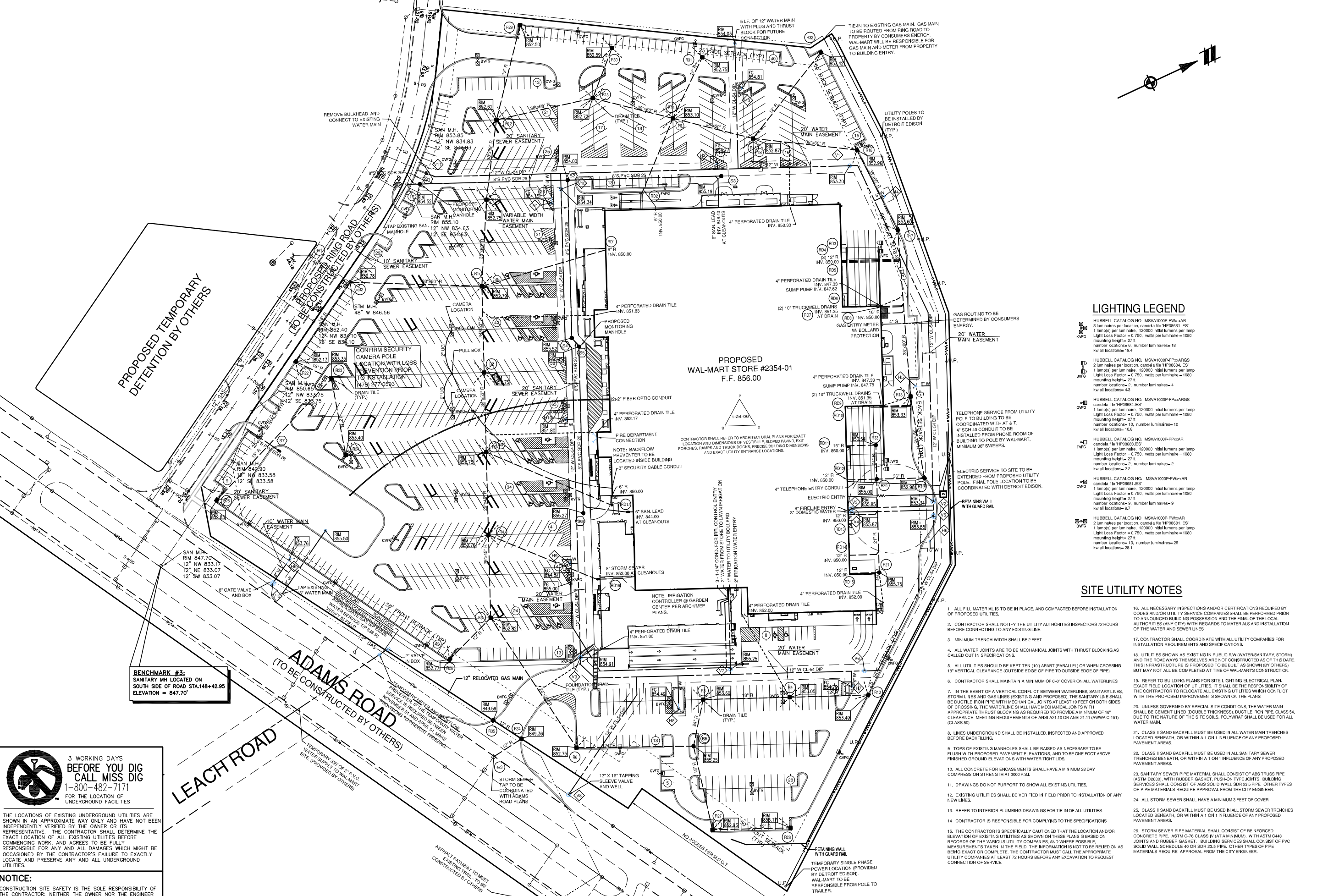
COPYRIGHT © 2006 ATWELL-HICKS. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.

BENCHMARK #3:
SANITARY MH LOCATED ON SOUTH SIDE OF ROAD STA.148+42.95
ELEVATION = 847.70'

ADAMS ROAD
(TO BE CONSTRUCTED BY OTHERS)

LEACH ROAD

UTILITIES SHOWN WITHIN ADAMS ROAD AND RING ROAD ARE NOT CONSTRUCTED



LIGHTING LEGEND

- HUBBELL CATALOG NO.: MSVA1000P-FW-AAR
3 luminaires per location, candle like HP0881.ES
1 lamp(s) per luminaire, 12000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 1080
mounting height = 27 ft
number locations = 6, number luminaires = 18
kw all locations = 19.4
- HUBBELL CATALOG NO.: MSVA1000P-FW-ARGS
2 luminaires per location, candle like HP0881.ES
1 lamp(s) per luminaire, 12000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 1080
mounting height = 27 ft
number locations = 4, number luminaires = 8
kw all locations = 4.3
- HUBBELL CATALOG NO.: MSVA1000P-FW-ARGS
candle like HP0881.ES
1 lamp(s) per luminaire, 12000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 1080
mounting height = 27 ft
number locations = 10, number luminaires = 10
kw all locations = 10.8
- HUBBELL CATALOG NO.: MSVA1000P-FW-AAR
candle like HP0881.ES
1 lamp(s) per luminaire, 12000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 1080
mounting height = 27 ft
number locations = 2, number luminaires = 2
kw all locations = 9.7
- HUBBELL CATALOG NO.: MSVA1000P-FW-AAR
candle like HP0881.ES
1 lamp(s) per luminaire, 12000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 1080
mounting height = 27 ft
number locations = 9, number luminaires = 9
kw all locations = 9.7
- HUBBELL CATALOG NO.: MSVA1000P-FW-AAR
2 luminaires per location, candle like HP0881.ES
1 lamp(s) per luminaire, 12000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 1080
mounting height = 27 ft
number locations = 13, number luminaires = 26
kw all locations = 28.1

SITE UTILITY NOTES

- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINES.
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 6" COVER ON ALL WATERLINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- DRAWINGS DO NOT SUPPORT TO SHOW ALL EXISTING UTILITIES.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST CONNECTION OF SERVICE.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL OF THE LOCAL AUTHORITIES (ANY CITY) WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- UTILITIES SHOWN AS EXISTING IN PUBLIC R/W (WATER/SANITARY/STORM) AND THE ROADWAYS THEMSELVES ARE NOT CONSTRUCTED AS OF THIS DATE. THIS INFRASTRUCTURE IS PROPOSED TO BE BUILT AS SHOWN (BY OTHERS) BUT MAY NOT ALL BE COMPLETED AT TIME OF WAL-MART'S CONSTRUCTION.
- REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN. EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- UNLESS GOVERNED BY SPECIAL SITE CONDITIONS, THE WATER MAIN SHALL BE CEMENT LINED (DOUBLE THICKNESS), DUCTILE IRON PIPE, CLASS 54. DUE TO THE NATURE OF THE SITE SOILS, POLYWRAP SHALL BE USED FOR ALL WATER MAIN.
- CLASS II SAND BACKFILL MUST BE USED IN ALL WATER MAIN TRENCHES LOCATED BENEATH, OR WITHIN A 1 ON 1 INFLUENCE OF ANY PROPOSED PAVEMENT AREAS.
- CLASS II SAND BACKFILL MUST BE USED IN ALL SANITARY SEWER TRENCHES BENEATH, OR WITHIN A 1 ON 1 INFLUENCE OF ANY PROPOSED PAVEMENT AREAS.
- SANITARY SEWER PIPE MATERIAL SHALL CONSIST OF ABS TRUSS PIPE (ASTM D2686), WITH RUBBER GASKET, PUSH-ON TYPE JOINTS. BUILDING SERVICES SHALL CONSIST OF ABS SOLID WALL SDR 25 PIPE. OTHER TYPES OF PIPE MATERIALS REQUIRE APPROVAL FROM THE CITY ENGINEER.
- ALL STORM SEWER SHALL HAVE A MINIMUM 3 FEET OF COVER.
- CLASS II SAND BACKFILL MUST BE USED IN ALL STORM SEWER TRENCHES LOCATED BENEATH, OR WITHIN A 1 ON 1 INFLUENCE OF ANY PROPOSED PAVEMENT AREAS.
- STORM SEWER PIPE MATERIAL SHALL CONSIST OF REINFORCED CONCRETE PIPE, ASTM C-76 CLASS IV (AT A MINIMUM), WITH ASTM C43 JOINTS AND RUBBER GASKET. BUILDING SERVICES SHALL CONSIST OF PVC SOLID WALL SCHEDULE 40 OR SDR 25 PIPE. OTHER TYPES OF PIPE MATERIALS REQUIRE APPROVAL FROM THE CITY ENGINEER.

ATWELL-HICKS
Engineering • Surveying • Planning • Environmental • Water/Wastewater
866 850 4200
www.atwell-hicks.com
MICHIGAN ILLINOIS OHIO

SECTION 30
TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

CLIENT: WAL-MART STORES, INC. #2354-01
FINAL SITE PLAN UTILITY PLAN
ADAMS ROAD ROCHESTER HILLS, MICHIGAN

CAD FILE: 100637FC-08-U.dwg

REVISIONS

DATE: 8-17-05

SCALE: 1" = 60 FEET
DR. SMS CH. JN
P.M. N. MILLER
BOOK 1156
JOB NO. 100637
AH FILE NO. 443-572-8
SHEET NO. 8

CITY FILE #: 05-030.2

NOT TO BE USED AS CONSTRUCTION DRAWINGS

K:\100637.dwg\Plan Sets\Final\100637FC-08-U.dwg, 3/28/2006 2:01:33 PM, jsmith



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

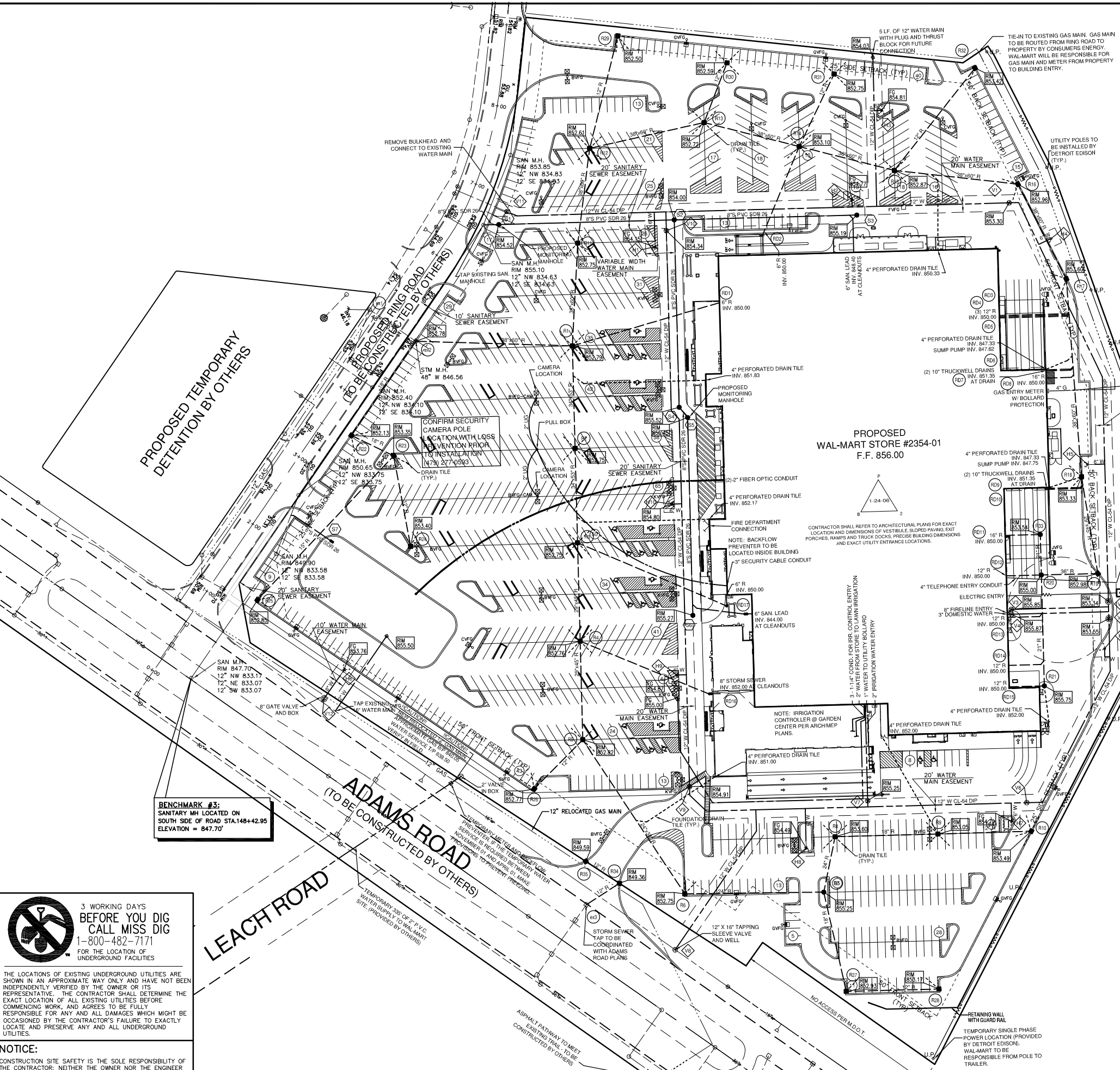
COPYRIGHT © 2006 ATWELL-HICKS
NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.

BENCHMARK #3:
SANITARY MH LOCATED ON SOUTH SIDE OF ROAD STA.148+42.95
ELEVATION = 847.70'

ADAMS ROAD
(TO BE CONSTRUCTED BY OTHERS)

LEACH ROAD
(TO BE CONSTRUCTED BY OTHERS)

UTILITIES SHOWN WITHIN ADAMS ROAD AND RING ROAD ARE NOT CONSTRUCTED



PROPOSED WAL-MART STORE #2354-01
F.F. 856.00

LIGHTING LEGEND

- HUBBELL CATALOG NO.: MSVA1000P-BWxAR
3 luminaires per location, candle file #P09164A.JES
1 lamp(s) per luminaire, 120000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 1080
mounting height = 42 ft
number locations = 7, number luminaires = 21
kw all locations = 22.7
- HUBBELL CATALOG NO.: MSVA1000P-BPxxARGS
2 luminaires per location, candle file #P08381.JES
1 lamp(s) per luminaire, 120000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 1080
mounting height = 42 ft
number locations = 2, number luminaires = 4
kw all locations = 4.3
- HUBBELL CATALOG NO.: MSVA1000P-BPxxARGS
candle file #P08381.JES
1 lamp(s) per luminaire, 120000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 1080
mounting height = 42 ft
number locations = 3, number luminaires = 6
kw all locations = 6.6
- HUBBELL CATALOG NO.: MSVA1000P-BPxxAR
candle file #P09408.JES
1 lamp(s) per luminaire, 120000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 1080
mounting height = 42 ft
number locations = 1, number luminaires = 1
kw all locations = 1.1
- HUBBELL CATALOG NO.: MSVA1000P-BWxAR
candle file #P09164A.JES
1 lamp(s) per luminaire, 120000 initial lumens per lamp
Light Loss Factor = 0.750, watts per luminaire = 1080
mounting height = 42 ft
number locations = 3, number luminaires = 18
kw all locations = 19.4

SITE UTILITY NOTES

- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINES.
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
- ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 6" COVER ON ALL WATERLINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE. MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS.
- ALL CONCRETE FOR ENCASMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- DRAWINGS DO NOT SUPPORT TO SHOW ALL EXISTING UTILITIES.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST CONNECTION OF SERVICE.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL OF THE LOCAL AUTHORITIES (ANY CITY) WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- UTILITIES SHOWN AS EXISTING IN PUBLIC R/W (WATER/SANITARY/STORM) AND THE ROADWAYS THEMSELVES ARE NOT CONSTRUCTED AS OF THIS DATE. THIS INFRASTRUCTURE IS PROPOSED TO BE BUILT AS SHOWN (BY OTHERS) BUT MAY NOT ALL BE COMPLETED AT TIME OF WAL-MART'S CONSTRUCTION.
- REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN. EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- UNLESS GOVERNED BY SPECIAL SITE CONDITIONS, THE WATER MAIN SHALL BE CEMENT LINED (DOUBLE THICKNESS), DUCTILE IRON PIPE, CLASS 54. DUE TO THE NATURE OF THE SITE SOILS, POLYWRAP SHALL BE USED FOR ALL WATER MAIN.
- CLASS II SAND BACKFILL MUST BE USED IN ALL WATER MAIN TRENCHES LOCATED BENEATH, OR WITHIN A 1 ON 1 INFLUENCE OF ANY PROPOSED PAVEMENT AREAS.
- CLASS II SAND BACKFILL MUST BE USED IN ALL SANITARY SEWER TRENCHES BENEATH, OR WITHIN A 1 ON 1 INFLUENCE OF ANY PROPOSED PAVEMENT AREAS.
- SANITARY SEWER PIPE MATERIAL SHALL CONSIST OF ABS TRUSS PIPE (ASTM D2689), WITH RUBBER GASKET, PUSH-ON TYPE JOINTS. BUILDING SERVICES SHALL CONSIST OF ABS SOLID WALL SDR 25 PIPE. OTHER TYPES OF PIPE MATERIALS REQUIRE APPROVAL FROM THE CITY ENGINEER.
- ALL STORM SEWER SHALL HAVE A MINIMUM 3 FEET OF COVER.
- CLASS II SAND BACKFILL MUST BE USED IN ALL STORM SEWER TRENCHES LOCATED BENEATH, OR WITHIN A 1 ON 1 INFLUENCE OF ANY PROPOSED PAVEMENT AREAS.
- STORM SEWER PIPE MATERIAL SHALL CONSIST OF REINFORCED CONCRETE PIPE, ASTM C-76 CLASS IV (AT A MINIMUM), WITH ASTM C43 JOINTS AND RUBBER GASKET. BUILDING SERVICES SHALL CONSIST OF PVC SOLID WALL SCHEDULE 40 OR SDR 23.5 PIPE. OTHER TYPES OF PIPE MATERIALS REQUIRE APPROVAL FROM THE CITY ENGINEER.

ATWELL-HICKS
Engineering • Surveying • Planning • Environmental • Water/Wastewater
866 850 4200
www.atwell-hicks.com
MICHIGAN ILLINOIS OHIO

SECTION 30
TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

CLIENT: WAL-MART STORES, INC. #2354-01
CAD FILE: 100637FC-08-U.dwg

FINAL SITE PLAN
UTILITY PLAN

ADAMS ROAD
ROCHESTER HILLS, MICHIGAN

REVISIONS

DATE: 8-17-05

SCALE: 1" = 60 FEET
DR. SMS CH. JN
P.M. N. MILLER
BOOK 1156
JOB NO. 100637
AH FILE NO. 443-572-8A
SHEET NO. 8A

CITY FILE # 05-030.2

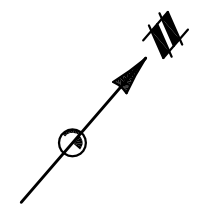
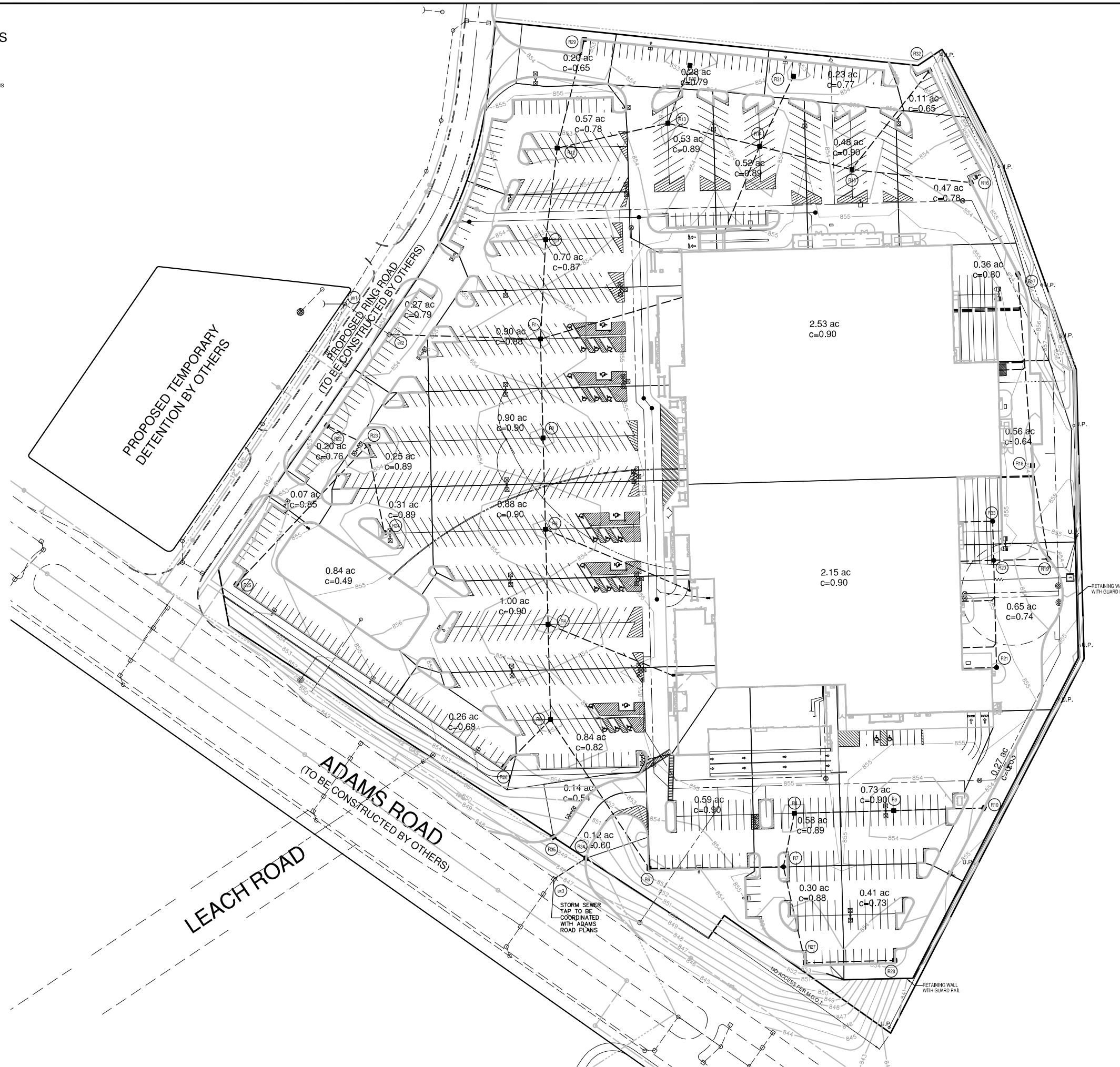
NOT TO BE USED AS CONSTRUCTION DRAWINGS

**IMPERVIOUS AREA ANALYSIS
EXISTING VS. PROPOSED**

TOTAL AREA OF SITE = 924,810 SF
 BOTH EXISTING AND PROPOSED RUNOFF COEFFICIENT CALCULATIONS
 ARE BASED ON THE SITE AREA OF 924,810 SF

EXISTING SURFACES WITHIN THE SITE AREA:
 EXISTING IMPERVIOUS SURFACE.....4058 SF @ 0.90
 EXISTING PERVIOUS SURFACE.....920,752 SF @ 0.20
 OVERALL EXISTING RUNOFF COEFFICIENT.....0.20

PROPOSED SURFACES WITHIN THE SITE AREA:
 PROPOSED IMPERVIOUS SURFACE.....713,028 SF @ 0.90
 PROPOSED PERVIOUS SURFACE.....16,814 SF @ 0.80
 PROPOSED PERVIOUS SURFACE.....81,977 SF @ 0.20
 OVERALL PROPOSED RUNOFF COEFFICIENT.....0.83



K:\100637\dwg\Plan Sets\Final\100637FC-09-DA.dwg, 3/28/2006 1:48:34 PM, jsmith

**3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG**
1-800-482-7171

FOR THE LOCATION OF
UNDERGROUND FACILITIES

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2006 ATWELL-HICKS
NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.

ATWELL-HICKS
Engineering • Surveying • Planning • Environmental • Water/Wastewater
866 850 4200
www.atwell-hicks.com
MICHIGAN ILLINOIS OHIO

SECTION 30
TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

CLIENT
WAL ★ MART STORES, INC. #2354-01
FINAL SITE PLAN
DRAINAGE AREA PLAN
ADAMS ROAD
ROCHESTER HILLS, MICHIGAN

CAD FILE
100637FC-09-DA.dwg

REVISIONS

DATE
8-17-05

1" = 60 FEET

DR. SMS | CH. JN
P.M. N. MILLER
BOOK 1156
JOB NO. 100637
AH FILE NO. 443-572-9
SHEET NO.

CITY FILE #
05-0302

NOT TO BE USED AS CONSTRUCTION DRAWINGS

PLANTING SCHEDULE & COST ESTIMATE - ADDITIONAL LANDSCAPING & REPLACEMENT TREES

REPLACEMENT TREES:

| Symbol | Count | Common Name | Botanical Names | SIZE | Root | Notes | Unit Cost* | Total Cost |
|--------|-------|------------------------------|--------------------------------------|---------|------|-------|--------------|--------------------|
| ACE | 8 | Queen Elizabeth Hedge Maple | Acer campestre 'Queen Elizabeth' | 3.0 cal | B&B | | \$425.00 | \$3,400.00 |
| LT | 26 | Tulip Poplar | Liriodendron tulipifera | 3.0 cal | B&B | | \$425.00 | \$11,050.00 |
| GTSH | 10 | Shademaster Honeylocust | Gleditsia triac v inerm 'Shademaste' | 3.0 cal | B&B | | \$425.00 | \$4,250.00 |
| PG | 14 | White Spruce | Picea glauca | 10' ht | B&B | | \$500.00 | \$7,000.00 |
| PP | 16 | Colorado Spruce | Picea pungens | 10' ht | B&B | | \$500.00 | \$8,000.00 |
| ASG | 1 | Green Mountain Sugar Maple | Acer saccharum 'Green Mountain' | 3.0 cal | B&B | | \$425.00 | \$425.00 |
| TCG | 2 | Greenspire Littleleaf Linden | Tilia cordata 'Greenspire' | 3.0 cal | B&B | | \$425.00 | \$850.00 |
| GB | 9 | Autum Gold Maidenhair Tree | Ginkgo biloba | 3.0 cal | B&B | | \$425.00 | \$3,825.00 |
| | | | | | | | Total | \$38,800.00 |

ADDITIONAL LANDSCAPING:

| | | | | | | | |
|--------|---------------------|-------------------|--|------------------|-----|--------------|--------------------|
| 13,000 | Lawn Sodding (S.Y.) | Blend Bluegrass | | On 3" of topsoil | 3.5 | \$45,500.00 | |
| 198 | Stone Mulch (C.Y.) | Cobble River Rock | | | 42 | \$8,316.00 | |
| | | | | | | Total | \$53,816.00 |

| Symbol | Count | Common Name | Botanical Names | SIZE | Root | Notes | Unit Cost* | Total Cost |
|--------|-------|------------------------------|-----------------------------------|----------|------|-------|--------------|--------------------|
| GTSK | 14 | Skyline Honeylocust | Gleditsia triac v inerm 'Skyline' | 2.0' cal | B&B | | \$285.00 | \$3,990.00 |
| ASG | 10 | Green Mountain Sugar Maple | Acer saccharum 'Green Mountain' | 2.0 cal | B&B | | \$325.00 | \$3,250.00 |
| TCG | 16 | Greenspire Littleleaf Linden | Tilia cordata 'Greenspire' | 2.0 cal | B&B | | \$295.00 | \$4,720.00 |
| GB | 8 | Ginkgo | Ginkgo biloba | 2.0 cal | B&B | | \$295.00 | \$2,360.00 |
| | | | | | | | Total | \$14,320.00 |

| Symbol | Count | Common Name | Botanical Names | SIZE | Root | Notes | Unit Cost* | Total Cost |
|--------|-------|-----------------------------|----------------------------------|---------|------|---------------------|--------------|--------------------|
| ACE | 14 | Queen Elizabeth Hedge Maple | Acer campestre 'Queen Elizabeth' | 3.5 cal | B&B | Plant 10' on center | \$450.00 | \$6,300.00 |
| PG | 16 | White Spruce | Picea glauca | 14' ht | B&B | Plant 10' on center | \$650.00 | \$10,400.00 |
| PP | 39 | Colorado Spruce | Picea pungens | 14' ht | B&B | Plant 10' on center | \$650.00 | \$25,350.00 |
| ARA | 36 | Armstrong Red Maple | Acer rubrum 'Armstrong' | 3.5 cal | B&B | Plant 10' on center | \$450.00 | \$16,200.00 |
| AW | 30 | White Fir | Abies concolor | 14' ht | B&B | Plant 10' on center | \$650.00 | \$19,500.00 |
| CJ | 15 | Katsura Tree | Cercidiphyllum Japonicum | 3.5 cal | B&B | Plant 10' on center | \$450.00 | \$6,750.00 |
| | | | | | | | Total | \$84,500.00 |

Grand Total \$191,436.00

LANDSCAPE CALCULATIONS

| | |
|--------------------------------|-------------------------|
| TOTAL PARKING STALLS: | 960 / 10 = 96 |
| PLANTER ISLAND AREA REQUIRED: | 96 x 150 SF = 14,400 SF |
| PLANTER ISLAND AREA PROVIDED: | 14,982 SF |
| PLANTER ISLAND TREES REQUIRED: | 1 PER 300 SF |
| PLANTER ISLAND TREES PROVIDED: | 14,982 SF / 300 SF = 49 |
| PLANTER ISLAND TREES PROVIDED: | 48 |

TREE SURVEY/REMOVAL CALCULATIONS

| | |
|---|-------------|
| TOTAL TREES SURVEYED: | 371 |
| LESS DEAD TREES (INCLUDING DEAD ASH): | -23 |
| LESS ASH TREES: | -06 |
| TOTAL OF REGULATED TREES ON SITE: | 342 |
| TOTAL OF REGULATED TREES TO BE REMOVED: | 342 |
| TREE REPLACEMENT CREDITS REQUIRED: | 342 |
| TREE REPLACEMENT CREDITS PROVIDED: | 172 |
| TREE REPLACEMENT CREDITS NOT PROVIDED: | 170 |
| TREE REPLACEMENT CREDITS NOT PROVIDED: | 170 |
| AMOUNT DUE TO CITY TREE FUND: | \$31,110.00 |
| (170 TREES x \$183.00 PER TREE) | |

LANDSCAPE NOTES

- THE REQUIRED PAYMENT TO THE CITY TREE FUND SHALL BE MADE PRIOR TO THE ISSUING OF THE LAND IMPROVEMENT PERMIT.
- PRIOR TO ISSUANCE OF THE LAND IMPROVEMENT PERMIT FOR THIS DEVELOPMENT, THE FOLLOWING PERFORMANCE BONDS SHALL BE POSTED:

| | |
|--|--------------|
| REPLACEMENT TREES AND LANDSCAPING PLANTINGS: | \$ 38,800.00 |
| ISLAND TREES: | \$ 14,300.00 |
| BUFFER TREES: | \$138,316.00 |
| GRAND TOTAL: | \$191,436.00 |

LANDSCAPE LEGEND

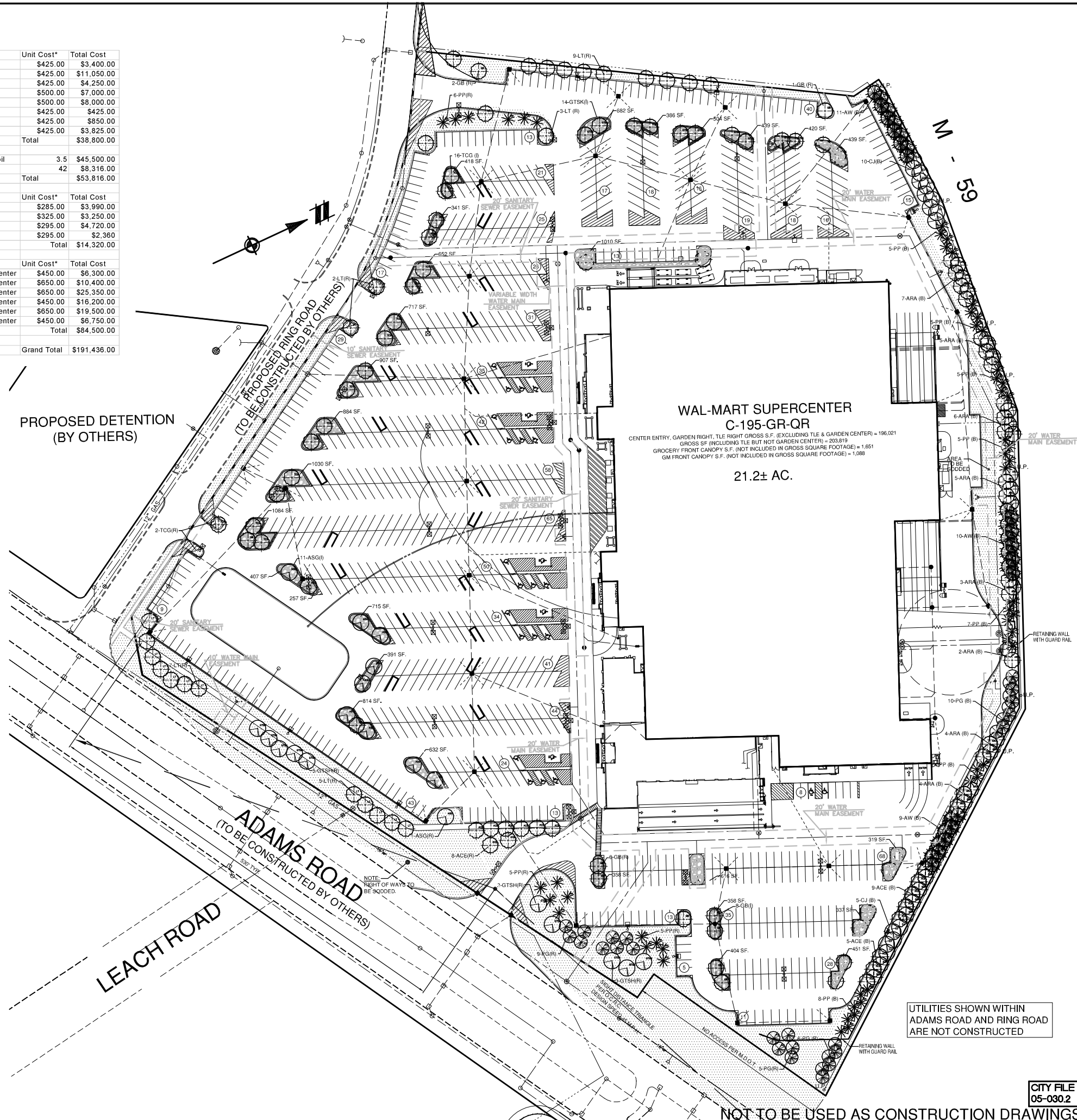
| | |
|--|------------------|
| | LANDSCAPE STONES |
| | SOD |



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2006 ATWELL-HICKS. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.



ATWELL-HICKS
 Engineering • Surveying • Planning • Environmental • Water/Wastewater
 866 850 4200
 www.atwell-hicks.com
 MICHIGAN ILLINOIS OHIO

SECTION 30
 TOWN 3 NORTH, RANGE 11 EAST
 CITY OF ROCHESTER HILLS
 OAKLAND COUNTY, MICHIGAN

CLIENT: WAL * MART STORES, INC. #2354-01
 FINAL SITE PLAN
 LANDSCAPE PLAN
 ADAMS ROAD
 ROCHESTER HILLS, MICHIGAN

CAD FILE: 100637FC-18-19-LA.dwg
 REVISIONS
 DATE: 8-17-05

SCALE: 1" = 60 FEET
 DR. SMS CH. JN
 P.M. N. MILLER
 BOOK 1156
 JOB NO. 100637
 AH FILE NO. 443-572-18
 SHEET NO. 18

K:\100637.dwg\Plan Sets\Final\100637FC-18-19-LA.dwg, 3/28/2006 1:48:45 PM, jsmith

NOT TO BE USED AS CONSTRUCTION DRAWINGS

NOTES

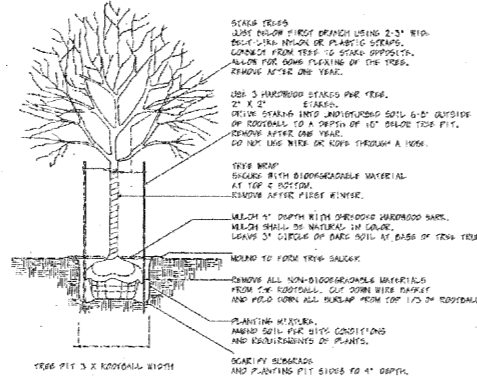
1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS, DISEASE AND BE NO.1 GRADE NORTHERN NURSERY GROWN MATERIAL.
2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE OILED OR STAKED AS SHOWN IN THE DETAILS.
6. ALL PLANTING AREAS MUST BE SODDED AND MULCHED.
7. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE BEGINNING THE WORK.
9. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
10. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWO (2) YEAR BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
11. THE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.
12. AFTER BEING DUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACCLIMATED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.
13. ANY PLANT MATERIAL WHICH DIES, BURNS BROWN, OR DESFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
15. ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH HARDWOOD MULCH TO A MINIMUM DEPTH OF FOUR INCHES.
16. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
17. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
18. DURING THE GROWING SEASON ALL ANNUALS SHALL REMAIN IN A HEALTHY, VITAL CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
19. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
20. ALL DISTURBED AREAS ARE TO RECEIVE 4" OF TOP SOIL, SOIL, AND WATER UNTIL SOIL IS ESTABLISHED.
21. REFER TO WALMART SPECIFICATIONS FOR ALL INFORMATION NEEDED FOR IMPLEMENTATION OF PLANTING PLANS.
22. ALL TREES SHALL BE A MINIMUM OF 10' FROM ALL WATERMAIN, SANITARY SEWER, AND STORM SEWER.

NOTE

LANDSCAPING CANNOT BE PLANTED AROUND THE PERIMETER OF THE BUILDING IN THE AREAS OF THE TRUCK DOCK, FRONT ENTRANCE, CUSTOMER CANOPY, TIRE STORAGE, AND SHOPPING CART STORAGE. THUS, A WAIVER FOR BUILDING FOUNDATION LANDSCAPING IS REQUESTED.

NOTES:

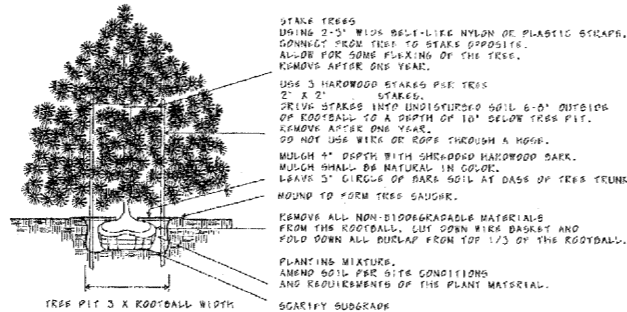
1. ALL LANDSCAPE ISLANDS ARE TO BE SODDED EXCEPT FOR THE AREAS AROUND TREES.
2. INSTALLATION OF LANDSCAPE ITEM WILL BEGIN APPROXIMATELY SEPTEMBER 2006.
3. ALL PLANT MATERIAL SHALL BE NO. 1 GRADE NORTHERN NURSERY GROWN MATERIAL.
4. ANY CHANGES OR SUBSTITUTIONS TO THE PLANTS PROPOSED MUST BE APPROVED BY THE CITY OF ROCHESTER HILLS.
5. THE SITE AND LANDSCAPE AREAS MUST BE MAINTAINED IN ACCORDANCE WITH CITY OF ROCHESTER HILLS GUIDELINES.
6. ALL LANDSCAPE PLANTINGS AND MATERIALS MUST BE SPECIFIED ACCORDING TO THE CURRENT CITY OF ROCHESTER HILLS GUIDELINES AND SPECIFICATIONS.
7. NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK IS REQUIRED FOR ALL PLANTING MULCH SHALL BE 4" THICK FOR TREES IN 4" DIA. CIRCLE WITH 2" PULLED AWAY FROM THE TRUNK. MULCH SHALL BE 3" THICK FOR SHRUBS AND 2" THICK FOR PERENNIALS.



NOTES:

1. TREES SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORES ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
2. DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
3. REMOVE ALL TAGS, STRIPS, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY AND COULD CAUSE WILDLIFE.

DECIDUOUS TREE PLANTING DETAIL BALLED AND BURLAPPED
NO SCALE



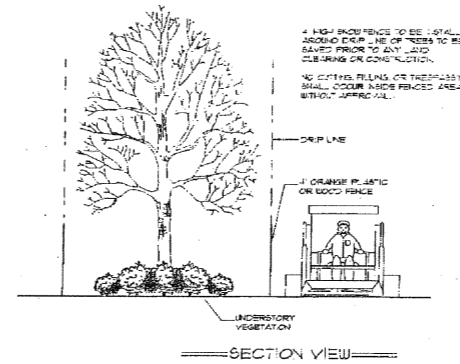
NOTES:

1. TREES SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORES ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
2. DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
3. REMOVE ALL TAGS, STRIPS, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY AND COULD CAUSE WILDLIFE.

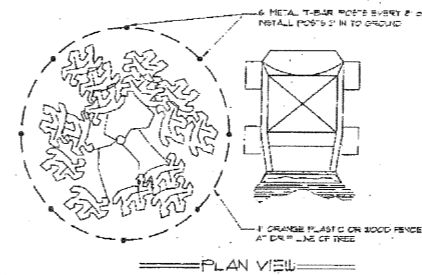
CONIFEROUS TREE PLANTING DETAIL BALLED AND BURLAPPED
NO SCALE

ROCHESTER HILLS TREE PROTECTION NOTES

1. The tree protection fencing (TPF) shall be erected per the plans approved by the City of Rochester Hills Planning Department. The TPF must be in place and be inspected by the City of Rochester Hills' Landscape Architect prior to the start of any earthwork or construction operations. It is the developer's responsibility to contact the City Planning Department at 1-248-656-4660 to schedule a TPF inspection. The TPF shall remain in place throughout the entire construction process or until the City authorizes the removal or issues a final Certificate of Occupancy, whichever occurs first.
2. Upon completion of grading and the installation of the infrastructure a second inspection of the TPF and the trees designated for preservation is required by the City of Rochester Hills' Landscape Architect prior to the start of any additional construction. It is the developer's responsibility to contact the City Planning Department at 1-248-656-4660 to schedule this TPF inspection.
3. Upon completion of all construction and prior to the removal of the TPF the City of Rochester Hills' Landscape Architect must inspect all trees designated to be preserved. The landscape Performance Bond will not be released until this inspection is complete and all related issues are resolved. It is the developer's responsibility to contact the City Planning Department at 1-248-656-4660 to schedule this inspection.
4. A final inspection by the City of Rochester Hills' Landscape Architect is required at the end of the warranty and maintenance period. The landscape Maintenance Bond will not be released until this inspection is complete and all related issues are resolved. It is the developer's responsibility to contact the City Planning Department at 1-248-656-4660 to schedule this inspection.
5. The Tree Conservation Ordinance prohibits any construction or development activities within the drip line of and regulated trees not approved for removal, including but not limited to land clearing, grubbing, trenching, grading or filling, no person shall place any solvents, bulking material, construction equipment, soil deposits, or harmful materials within the drip line limit of trees designated for preservation.
6. Proposed grades are to match the existing elevations outside the limits of the TPF. No grading either cut or fill is permitted within the drip line of any tree designated for preservation.
7. During the construction process no person shall attach any device or wire/cable/rope to an existing tree designated to be preserved.
8. All utility service requests must include notification to the Installer that protected trees must be avoided. All trenching shall occur outside the TPF.
9. Swales shall be routed to avoid the area within the drip line of any tree designated for preservation. Swales shall be constructed so as not to direct any additional flow into the drip line a tree designated for preservation.
10. If tree protection cannot be maintained for a tree throughout entire period required. The replacement of that tree will be required on and inch for inch basis prior to the issuance of the Certificate of Occupancy.
11. Regulated trees located off-site on adjacent properties that may be affected by construction operations must be protected as defined here in.
12. The TPF shall consist of 4 foot high orange snow fencing to be installed around the drip line of all tree designated to be saved. This fencing shall be supported by 6 foot metal T-bar posts 5 feet on center and driven a minimum of 24" into ground. The TPF fencing shall remain upright and securely in place for the required time as specified above.



SECTION VIEW



TREE PROTECTION DETAIL
NO SCALE

ROCHESTER HILLS LANDSCAPE NOTES

- Prior to the release of the Performance Bond, the City of Rochester Hills Landscape Architect must inspect all landscape plantings including but not limited to existing trees, replacement trees, buffer plantings, and parking lot islands. The right-of-way will be inspected by the Forestry Division to identify any plantings new or existing that pose a hazard to the safe use of the right-of-way. Forestry may require the developer to remove and possibly replace any such trees.
- All trees and shrubs must be planted at least 10' from the edge of a public roadway. Shade trees and shrubs must be planted at least 5' from the edge of a public walkway. Evergreen and ornamental trees must be planted at least 10' from the edge of a public walkway. All trees and shrubs must be planted at least 10' from any fire hydrant. Shade and evergreen trees must be planted at least 15' from the nearest overhead wire and at least 10' from the nearest underground utility.
- No tree or shrub must be planted within the triangular area formed at the intersection of any street right-of-way at a distance of 25' from their point of intersection. No tree or shrub may be planted in the triangular area formed at the intersection of any driveway with a public sidewalk at a distance along each line of 15' from their point of intersection.
- Prior approval is required to plant any tree or shrub in the public right-of-way.
- No substitutions or changes of location or plant types shall be made without the approval of the developer and the City of Rochester Hills Landscape Architect.
- The developer and/or the City of Rochester Hills Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans or specifications.
- Replacement trees may not be planted within the drip line of existing trees.
- No substitutions or changes of location or plant type shall be made without the approval of the developer and the City of Rochester Hills Landscape Architect.
- Trees must be at least 10' from underground utilities and 15' from overhead utilities.

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 FOR THE LOCATION OF UNDERGROUND FACILITIES

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2006 ATWELL-HICKS
NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.

ATWELL-HICKS
Engineering • Surveying • Planning • Environmental • Water/Wastewater
866.850.4200
www.atwell-hicks.com
MICHIGAN ILLINOIS OHIO

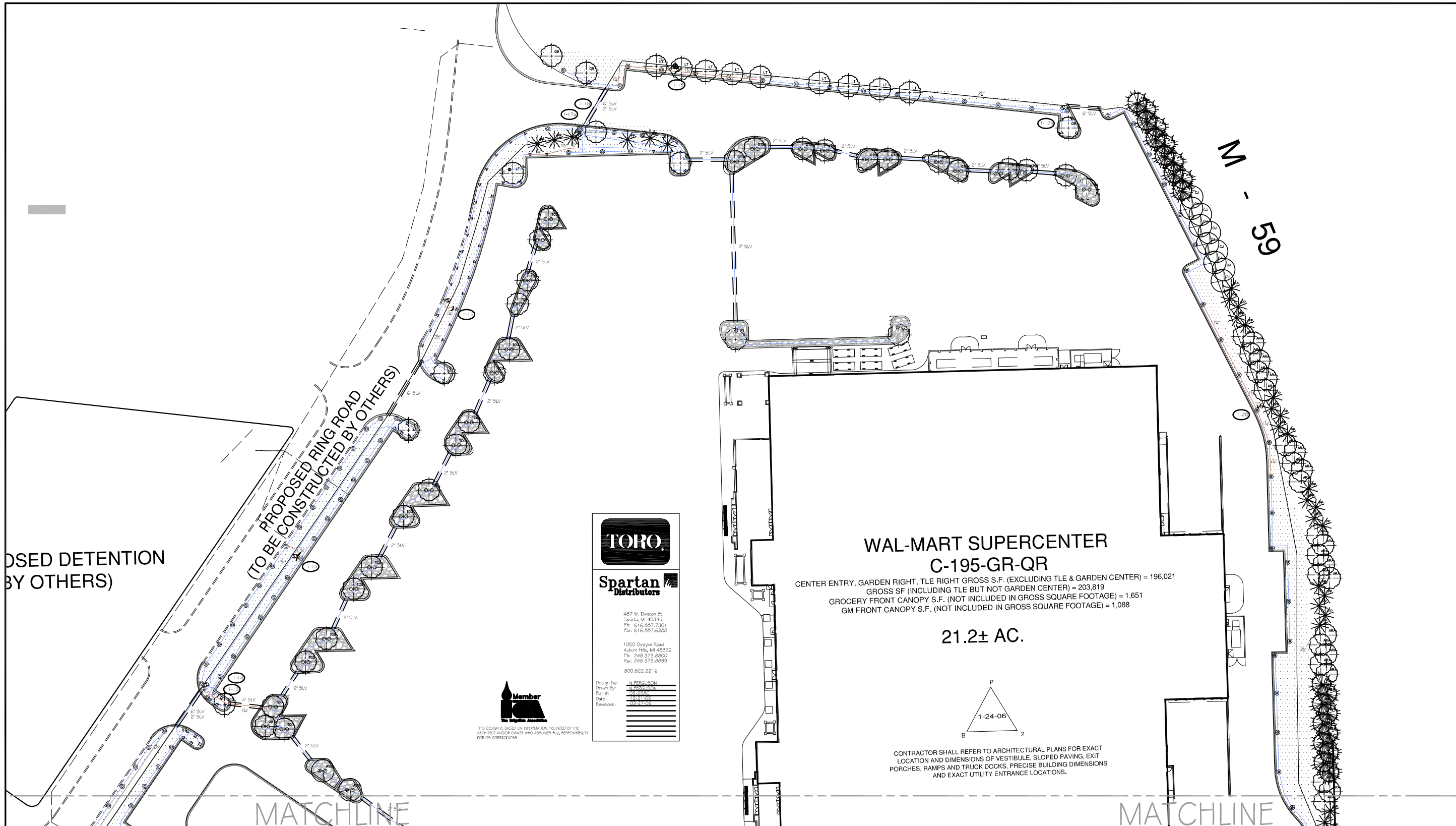
SECTION 30
TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

CLIENT: WALMART STORES, INC. #2354-01
CAD FILE: 100637FC-18-19-LA.dwg
PRELIMINARY SITE PLAN
LANDSCAPE NOTES & DETAILS
ADAMS ROAD
ROCHESTER HILLS, MICHIGAN

REVISIONS
DATE: 8-17-05

AH
SCALE: 1" = 60 FEET
DR. SMS | CH. JN
P.M. MILLER
BOOK 1156
JOB NO. 100637
AH FILE NO. 443-572-18
SHEET NO. 19

K:\100637\dwg\Plan Sets\Final\100637FC-20-22-IRR.dwg, 3/28/2006 1:49:11 PM, jsmith



PROPOSED DETENTION
(TO BE CONSTRUCTED BY OTHERS)

PROPOSED RING ROAD
(TO BE CONSTRUCTED BY OTHERS)

MATCHLINE

MATCHLINE

TORO
Spartan
Distributors

487 W. Division St.
Spartan, MI 49345
Ph: 616.567.7301
Fax: 616.597.6269

1050 Oryx Rd.
Auburn Hills, MI 48326
Ph: 248.373.8000
Fax: 248.373.8899
800.822.2216

Design By: M. SEBASTIAN
Drawn By: J. MILLER
Plan #: 05-0302
Date: 1-24-06
Revisions: 05-17-05

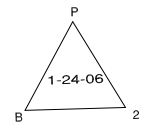
Member
Irrigation Association

THIS DESIGN IS BASED ON INFORMATION PROVIDED BY THE ARCHITECT AND/OR OWNER WHO ASSUMES FULL RESPONSIBILITY FOR ITS CORRECTNESS.

WAL-MART SUPERCENTER C-195-GR-QR

CENTER ENTRY, GARDEN RIGHT, TLE RIGHT GROSS S.F. (EXCLUDING TLE & GARDEN CENTER) = 196,021
 GROSS SF (INCLUDING TLE BUT NOT GARDEN CENTER) = 203,819
 GROCERY FRONT CANOPY S.F. (NOT INCLUDED IN GROSS SQUARE FOOTAGE) = 1,651
 GM FRONT CANOPY S.F. (NOT INCLUDED IN GROSS SQUARE FOOTAGE) = 1,088

21.2± AC.



CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.

**3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171**
FOR THE LOCATION OF
UNDERGROUND FACILITIES

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2006 ATWELL-HICKS
NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.

ATWELL-HICKS
Engineering • Surveying • Planning • Environmental • Water/Wastewater
866.850.4200
www.atwell-hicks.com
MICHIGAN ILLINOIS OHIO

SECTION 30
TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

CLIENT: WAL-MART STORES, INC. #2354-01
FINAL SITE PLAN
IRRIGATION PLAN
ADAMS ROAD
ROCHESTER HILLS, MICHIGAN

CAD FILE
100637FC-20-22-IRR.dwg

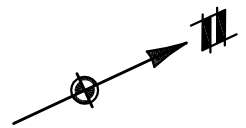
REVISIONS

DATE 8-17-05

AH

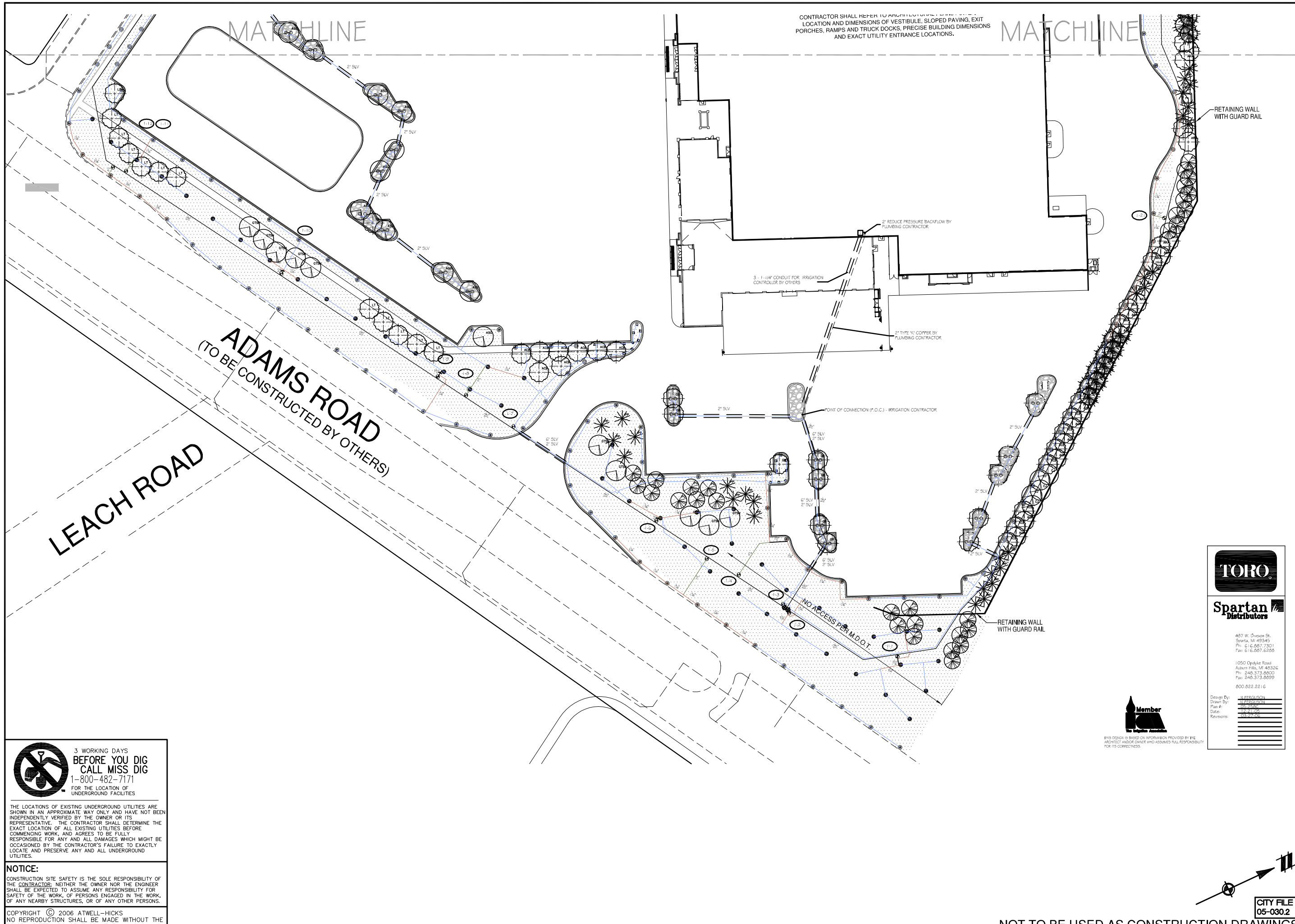
SCALE 0 40 80
1" = 40 FEET

DR. SMS CH. JN
P.M. N. MILLER
BOOK 1156
JOB NO. 100637
AH FILE NO. 443-572-20
SHEET NO. 20



NOT TO BE USED AS CONSTRUCTION DRAWINGS

K:\100637\dwg\Plan Sets\Final\100637FC-20-22-IRR.dwg, 3/28/2006 1:49:19 PM, jsmith



CONTRACTOR SHALL REFER TO ARCHITECT'S GENERAL NOTES FOR LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.

MATCHLINE

MATCHLINE

RETAINING WALL WITH GUARD RAIL

RETAINING WALL WITH GUARD RAIL

LEACH ROAD
ADAMS ROAD
(TO BE CONSTRUCTED BY OTHERS)

3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 FOR THE LOCATION OF UNDERGROUND FACILITIES

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2006 ATWELL-HICKS
NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.

TORO

Spartan Distributors

467 W. Division St.
Spartan, MI 49345
Ph: 616.867.7301
Fax: 616.867.6286

1050 Opdyke Road
Albion Hills, MI 48326
Ph: 248.373.8600
Fax: 248.373.8599
800.822.2216

Design By: [Signature]
Drawn By: [Signature]
Date: 12-21-05
Revisions: [Table]



THIS DESIGN IS BASED ON INFORMATION PROVIDED BY THE ARCHITECT AND/OR OWNER WHO ASSUMES FULL RESPONSIBILITY FOR ITS CORRECTNESS.

ATWELL-HICKS
Engineering • Surveying • Planning • Environmental • Water/Wastewater
866.850.4200
www.atwell-hicks.com
MICHIGAN ILLINOIS OHIO

SECTION 30
TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

CLIENT: WAL * MART STORES, INC. #2354-01
FINAL SITE PLAN
IRRIGATION PLAN
ADAMS ROAD
ROCHESTER HILLS, MICHIGAN

CAD FILE: 100637FC-20-22-IRR.dwg

REVISIONS

DATE: 8-17-05

AH

SCALE: 1" = 40 FEET
DR. SMS | CH. JN
P.M. N. MILLER
BOOK 1156
JOB NO. 100637
AH FILE NO. 443-572-21
SHEET NO. 21

CITY FILE #: 05-030.2

NOT TO BE USED AS CONSTRUCTION DRAWINGS

K:\100637\dwg\Plan Sets\Final\100637FC-20-22-IRR.dwg, 3/28/2006 1:49:24 PM, j.smith

LEGEND

| | | | |
|-----------|------------|-----------------------------|---|
| ●●● | 570Z-4P | 4EST, 459T, 4CST-MPR SERIES | TORO FIXED SPRAY POP-UP (4") |
| ●●●●● | 570Z-4P | 5-MPR SERIES | TORO FIXED SPRAY POP-UP (4") |
| ●●●●●● | 570Z-4P | 8-MPR SERIES | TORO FIXED SPRAY POP-UP (4") |
| ●●●●●●● | 570Z-4P | 10-MPR SERIES | TORO FIXED SPRAY POP-UP (4") |
| ●●●●●●●● | 570Z-4P | 12-MPR SERIES | TORO FIXED SPRAY POP-UP (4") |
| ●●●●●●●●● | 570Z-4P | 15-MPR SERIES | TORO FIXED SPRAY POP-UP (4") |
| ● | 570Z-4P | TVAN-8 NOZZLE | TORO FIXED SPRAY POP-UP (4") |
| ● | 570Z-4P | TVAN-10 NOZZLE | TORO FIXED SPRAY POP-UP (4") |
| ● | 570Z-4P | TVAN-12 NOZZLE | TORO FIXED SPRAY POP-UP (4") |
| ● | 570Z-4P | TVAN-15 NOZZLE | TORO FIXED SPRAY POP-UP (4") |
| ● | 570Z-6P | F8-50-PC NOZZLE | TORO FIXED SPRAY POP-UP (6") |
| ⊙ | M168-4P | #1.5 NOZZLE | TORO GEAR DRIVEN ROTARY POP-UP |
| ⊙ | S800CK | #2.5 NOZZLE | TORO GEAR DRIVEN ROTARY POP-UP |
| ⊙ | S800CK | #4 NOZZLE | TORO GEAR DRIVEN ROTARY POP-UP |
| ⊙ | 474-00 | | TORO 1" QUICK COUPLER VALVE |
| ⊙ | E2F-06-04 | | TORO 1" ELECTRIC VALVE |
| ⊙ | P220-26-06 | | TORO 1-1/2" ELECTRIC VALVE |
| □ | CCM24 | 24 STATION | TORO CUSTOM COMMAND CONTROLLER WITH TORO IRS1000 WIRELESS RAIN SWITCH |

— PVC 1/2" PIPE (ALL PRESSURIZED MAINLINE)
 — OIL CREEK 1/2" POLYETHYLENE PIPE (PE-3406 NSF APPROVED) (ALL PIPE DOWNSTREAM OF VALVE)

NOT SHOWN: #14 UL APPROVED 24V RED CONTROL WIRE WITH A #14 UL APPROVED WHITE COMMON WIRE

- POINT OF CONNECTION (P.O.C.) - IRRIGATION CONTRACTOR
- ▶ 40-20B-A2 CONBRACO 2" REDUCED PRESSURE BACKFLOW PREVENTER BY PLUMBING CONTRACTOR
- 20G SERIES REDWITZ LINE SIZE ISOLATION VALVE (2-1/2" AND SMALLER)

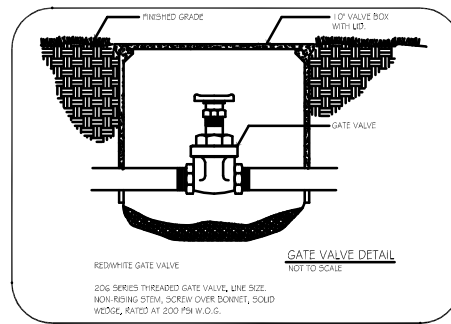
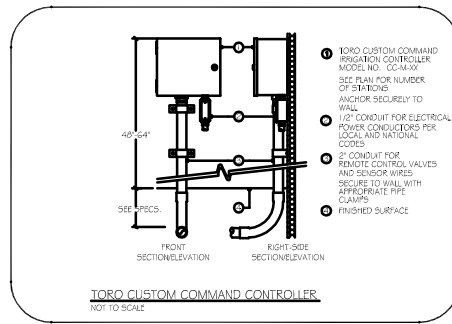
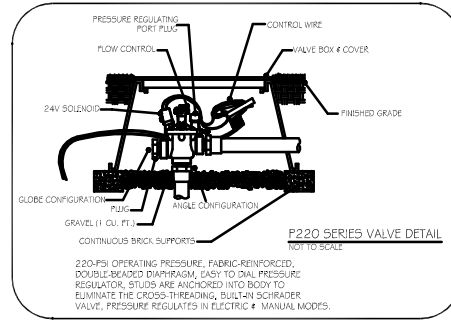
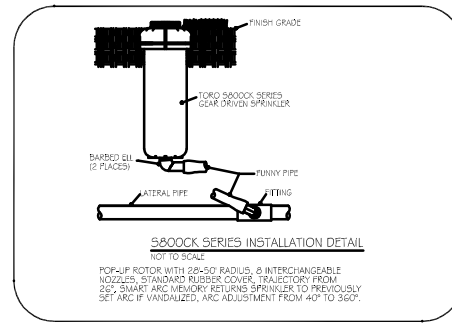
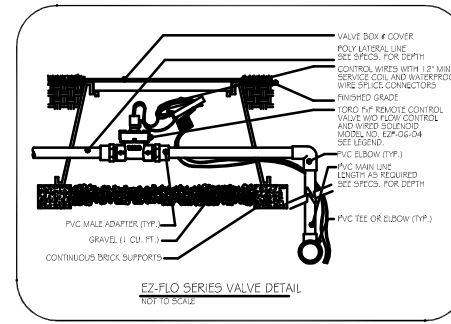
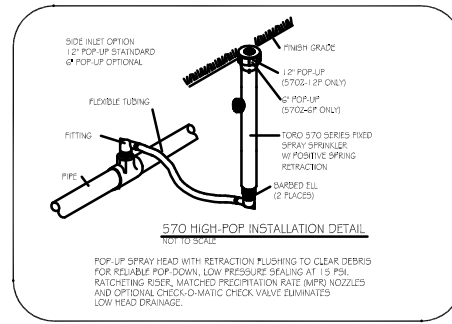
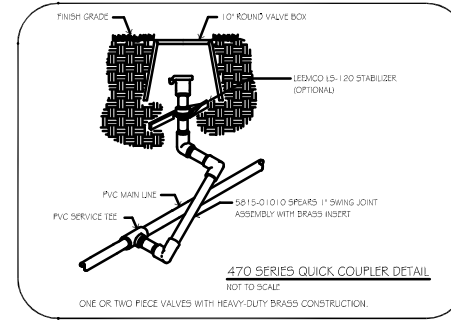
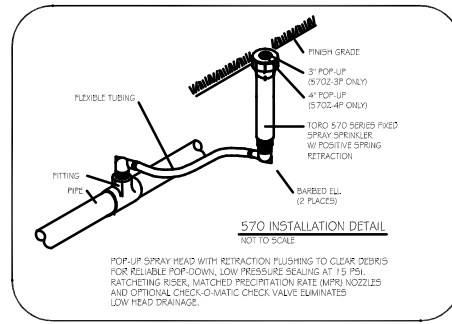
GENERAL NOTES:

- COORDINATE THIS WORK WITH ALL OTHER TRADES.
- ALL PLUMBING AND ELECTRICAL SHALL BE INSTALLED ACCORDING TO STATE AND LOCAL CODES.
- ALL SLEEVES SHALL BE PVC 1/2" (UNLESS OTHERWISE SPECIFIED). SLEEVE INSTALLATION SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR.
- ALL PIPE NOT SIZED DOWNSTREAM OF VALVE IS 1".
- IRRIGATION CONTRACTOR'S POINT OF CONNECTION SHALL BE AS INDICATED ON DRAWING.
- 115V POWER FOR CONTROLLER SHALL BE SUPPLIED BY ELECTRICAL CONTRACTOR.
- CONTROLLER AND RAIN SWITCH SHALL BE MOUNTED AT LOCATION SHOWN ON PLAN (VERIFY EXACT LOCATION WITH OWNER'S REPRESENTATIVE).
- IF SITE PRESSURE IS NOT ADEQUATE, A BOOSTER PUMP MAY BE REQUIRED AT ADDITIONAL COST TO OWNER.
- IRRIGATION PIPE AND EQUIPMENT SHOWN IN PAVED AREAS IS FOR CLARITY ONLY AND SHALL BE INSTALLED WITH IN THE TURF & LANDSCAPE AREAS.
- PIPE ROUTING IS DIAGRAMMATIC. ALL HEADS ARE TO BE FIELD ADJUSTED TO TAKE INTO CONSIDERATION ANY OBSTRUCTIONS AND ALL LANDSCAPE.



WATER REQUIREMENTS: 47 GPM @ 47 PSI AT IRRIGATION CONTRACTOR P.O.C.

| ZONE NUMBER | VALVE SIZE | GPM | HEAD TYPE |
|-------------|------------|-----|-----------|
| 1-1 | 1-1/2" | 44 | ROTORS |
| 1-2 | 1-1/2" | 41 | ROTORS |
| 1-3 | 1" | 11 | SPRAYS |
| 1-4 | 1-1/2" | 45 | ROTORS |
| 1-5 | 1-1/2" | 45 | ROTORS |
| 1-6 | 1-1/2" | 46 | ROTORS |
| 1-7 | 1" | 17 | SPRAYS |
| 1-8 | 1-1/2" | 36 | ROTORS |
| 1-9 | 1-1/2" | 42 | ROTORS |
| 1-10 | 1-1/2" | 45 | ROTORS |
| 1-11 | 1-1/2" | 45 | ROTORS |
| 1-12 | 1-1/2" | 43 | ROTORS |
| 1-13 | 1" | 26 | SPRAYS |
| 1-14 | 1" | 9 | SPRAYS |
| 1-15 | 1-1/2" | 45 | ROTORS |
| 1-16 | 1-1/2" | 38 | SPRAYS |
| 1-17a | 1-1/2" | 32 | SPRAYS |
| 1-17b | 1" | 5 | SPRAYS |
| 1-18 | 1" | 14 | SPRAYS |
| 1-19 | 1-1/2" | 36 | ROTORS |
| 1-20 | 1-1/2" | 43 | ROTORS |
| 1-21 | 1-1/2" | 47 | ROTORS |



3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 FOR THE LOCATION OF UNDERGROUND FACILITIES

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2006 ATWELL-HICKS. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.

ATWELL-HICKS
 Engineering • Surveying • Planning • Environmental • Water/Wastewater
 866.850.4200
 www.atwell-hicks.com
 MICHIGAN ILLINOIS OHIO

SECTION 30
 TOWN 3 NORTH, RANGE 11 EAST
 CITY OF ROCHESTER HILLS
 OAKLAND COUNTY, MICHIGAN

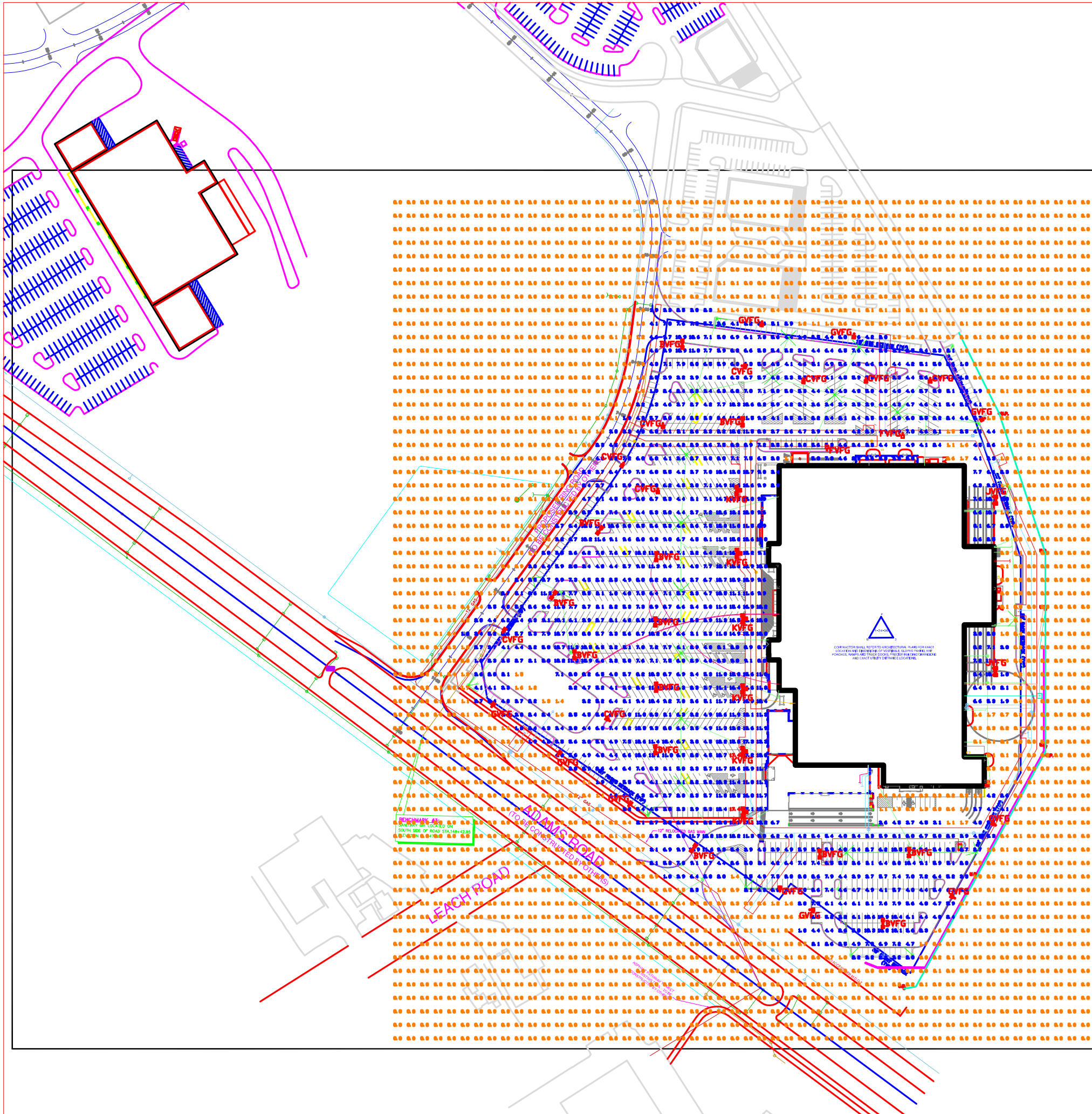
CLIENT: WAL ★ MART STORES, INC. #2354-01
 FINAL SITE PLAN
 IRRIGATION PLAN
 ADAMS ROAD
 ROCHESTER HILLS, MICHIGAN

CAD FILE: 100637FC-20-22-IRR.dwg
 REVISIONS
 DATE: 8-17-05

TORO
Spartan Distributors
 457 W. Division St.
 Sparta, MI 49345
 Ph: 616.867.7301
 Fax: 616.867.6286
 1050 Ophider Road
 Auburn Hills, MI 48326
 Ph: 248.373.8000
 Fax: 248.373.8899
 600.822.2216
 Design By: J. HERRICK
 Drawn By: J. HERRICK
 Plan #: 10-22-06
 Date: 08-17-05
 Revisors:

SCALE: 0 40 80
 1" = 40 FEET
 DR. SMS CH. JN
 P.M. N. MILLER
 BOOK 1156
 JOB NO. 100637
 AH FILE NO. 443-572-22
 SHEET NO. 22

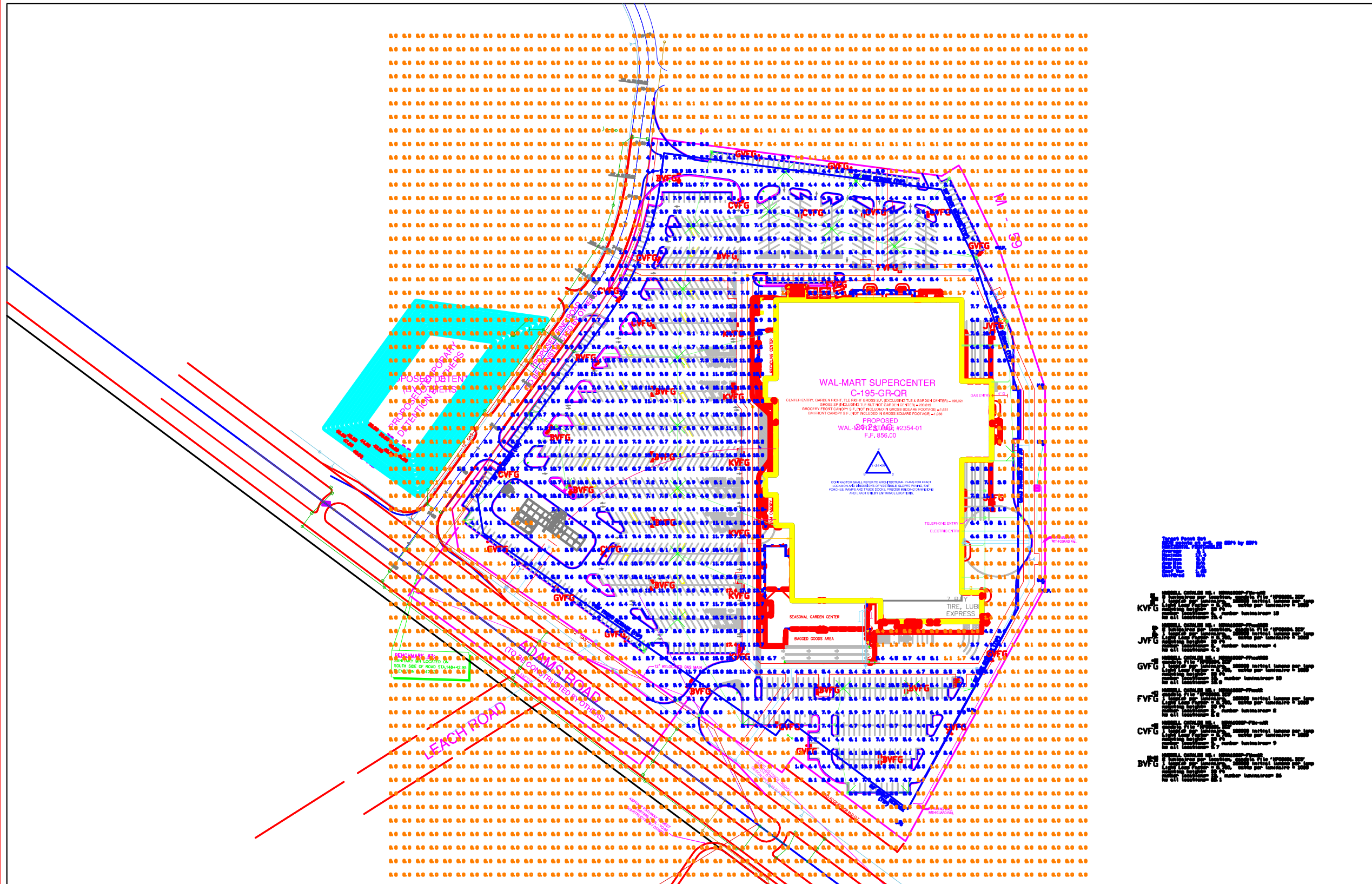
CITY FILE #: 05-030.2
 NOT TO BE USED AS CONSTRUCTION DRAWINGS



BENCHMARK #18
 CORNER OF 10000 S. STATE ST. & E. WALMART DR.
 SOUTH SIDE OF ROAD STA 140+42.99
 ELEVATION 427.00 (VERTICAL CURVE)

- KVFG** - HUBBELL OUTDOOR LIGHTING - 150W, 24V, 1500LM, 5'x5' - 10'x10'
- JVFG** - HUBBELL OUTDOOR LIGHTING - 150W, 24V, 1500LM, 5'x5' - 10'x10'
- GVFG** - HUBBELL OUTDOOR LIGHTING - 150W, 24V, 1500LM, 5'x5' - 10'x10'
- FVFG** - HUBBELL OUTDOOR LIGHTING - 150W, 24V, 1500LM, 5'x5' - 10'x10'
- CVFG** - HUBBELL OUTDOOR LIGHTING - 150W, 24V, 1500LM, 5'x5' - 10'x10'
- BVFG** - HUBBELL OUTDOOR LIGHTING - 150W, 24V, 1500LM, 5'x5' - 10'x10'

| | |
|---|---|
| | |
| Hubbell Lighting, Inc. 101 CORPORATE DRIVE WAREHOUSES, SC 29083 | |
| | |
| | |
| | |
| | |
| WAL-MART #2354 ROCHESTER HILLS, MI 1000W PH/27-FT. MH/FLAT LIGHTING LAYOUT | |
| 0629557 | 4 |



Legend

| | |
|------|-----------------------|
| KVFG | 100' WALKWAY LIGHTING |
| JVFG | 100' WALKWAY LIGHTING |
| GVFG | 100' WALKWAY LIGHTING |
| FVFG | 100' WALKWAY LIGHTING |
| CVFG | 100' WALKWAY LIGHTING |
| BVFG | 100' WALKWAY LIGHTING |

HUBBELL
Hubbell Lighting, Inc.
101 CORPORATE DRIVE
ROCHESTER, NY
14625

HUBBELL
Outdoor Lighting

SPAULDING
LIGHTING
WHITTEWAY

SLS
SPECIALTY LIGHTING SYSTEMS

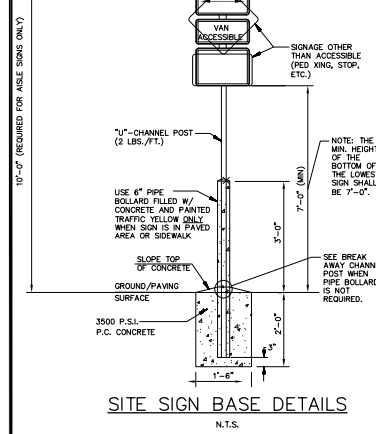
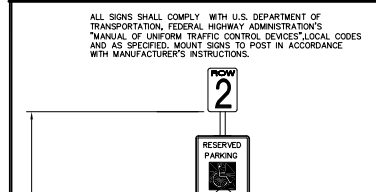
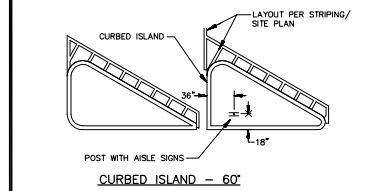
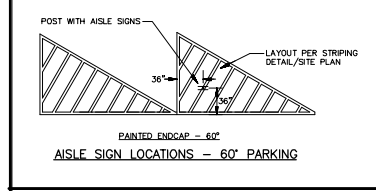
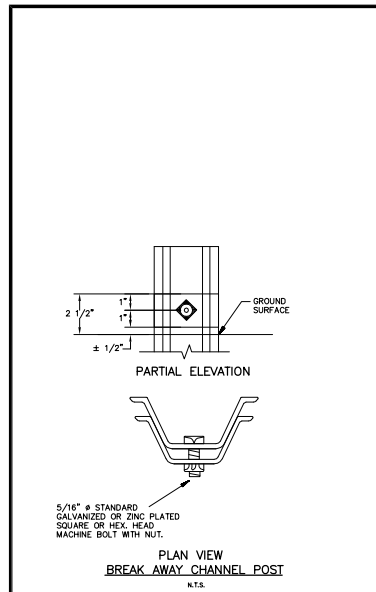
DEVINE
LIGHTING
S T E R N E R

HUBBELL
Industrial Lighting

WAL-MART #0354
ROCHESTER HILLS, MI
LIGHTING LAYOUT

0629071 3

K:\100637\dwg\Plan Sets\Final\100637FC-24-25-D.dwg, 3/28/2006 1:49:30 PM, jsmith

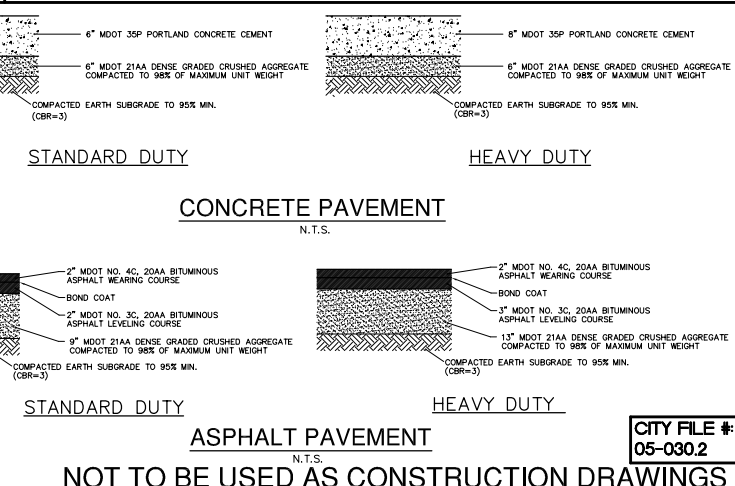
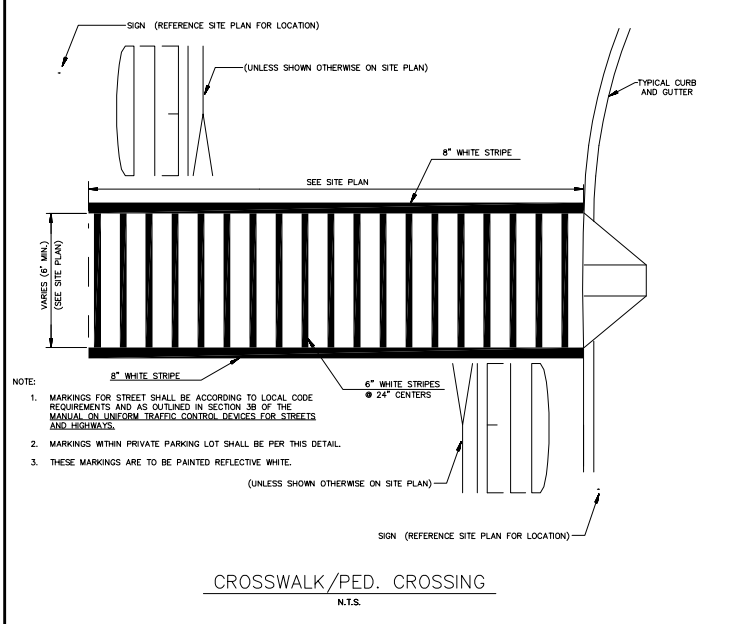
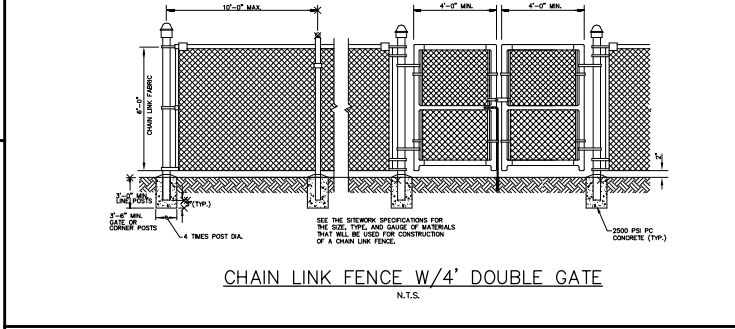
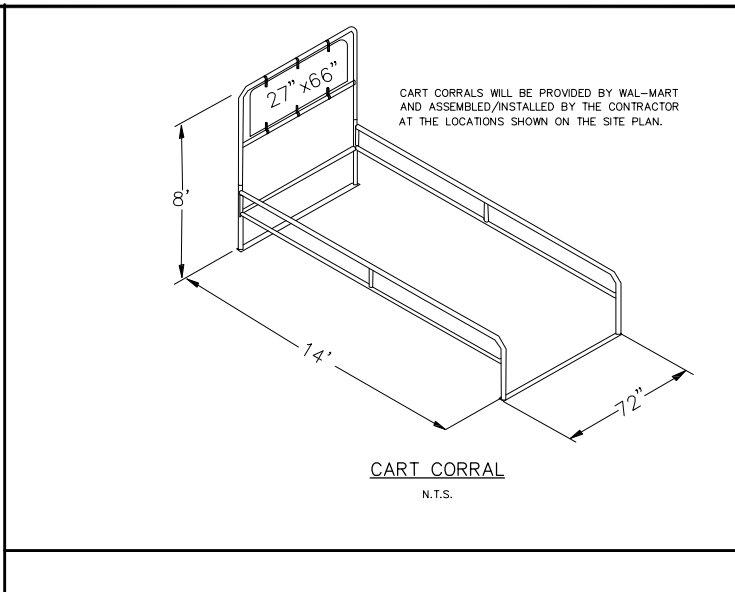
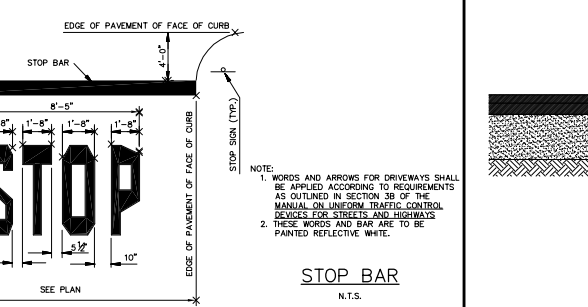
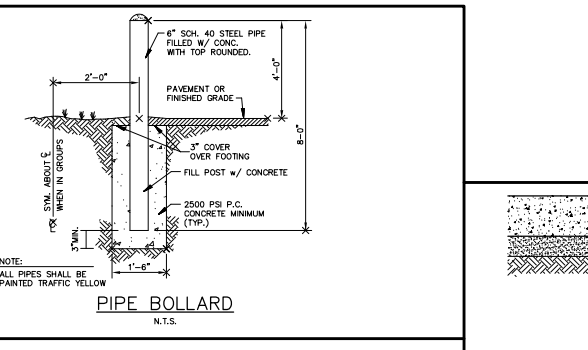
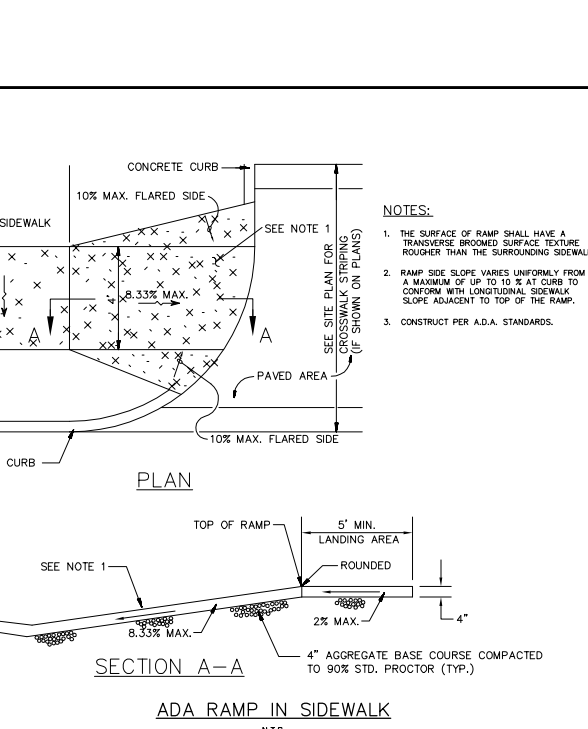
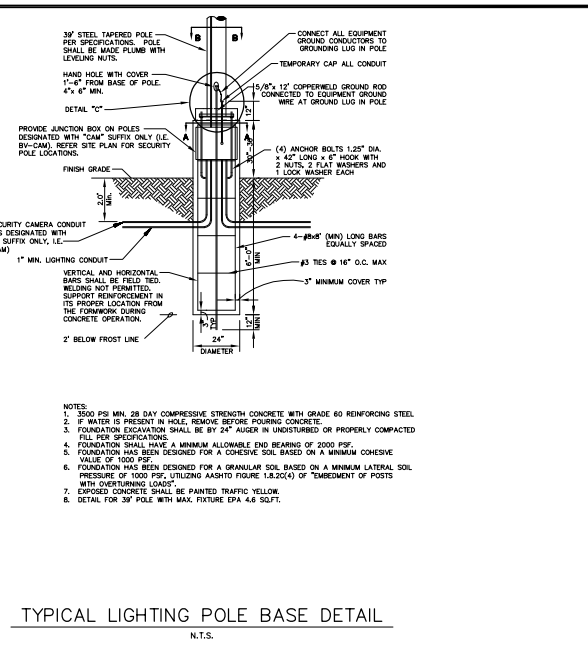
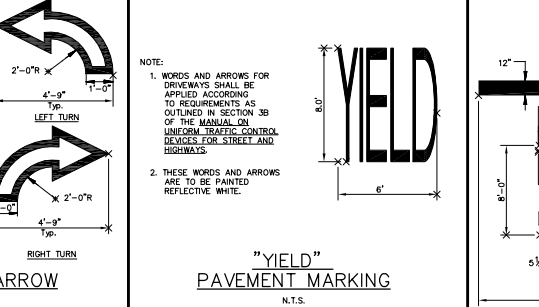
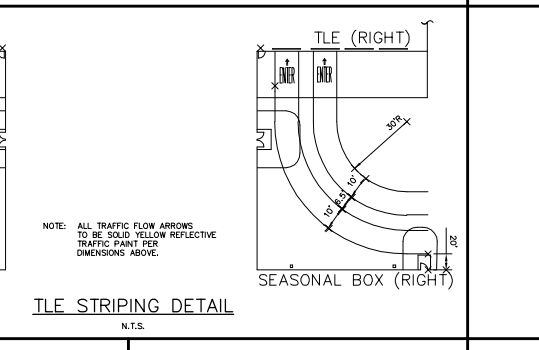
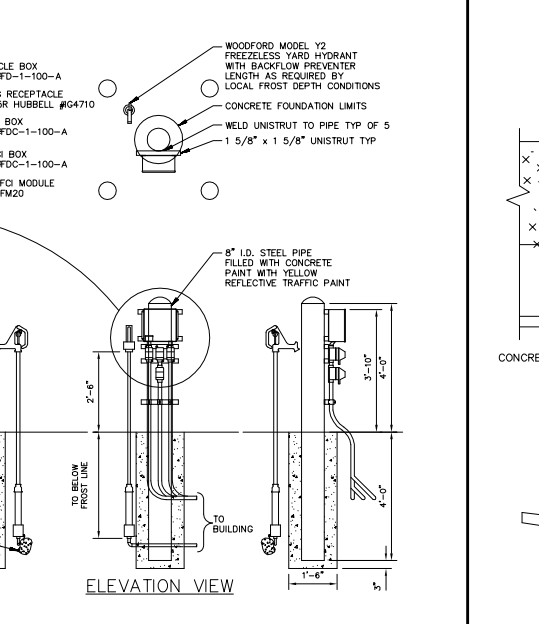
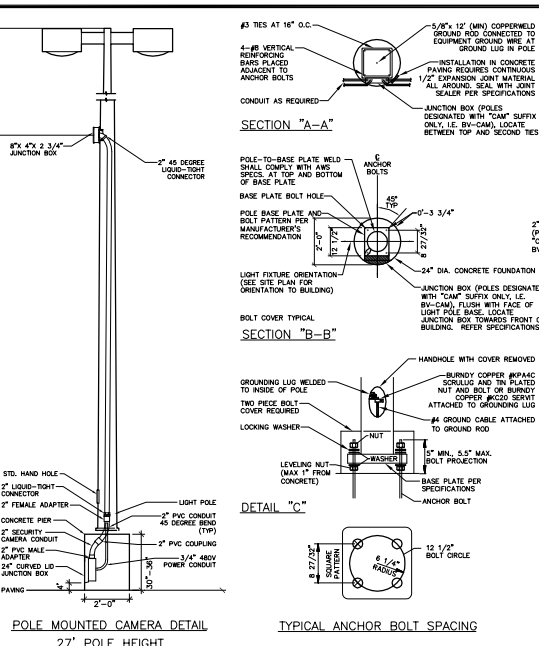
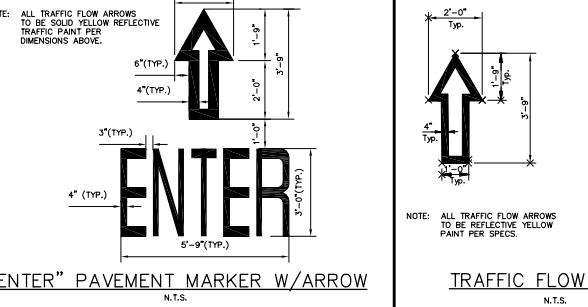
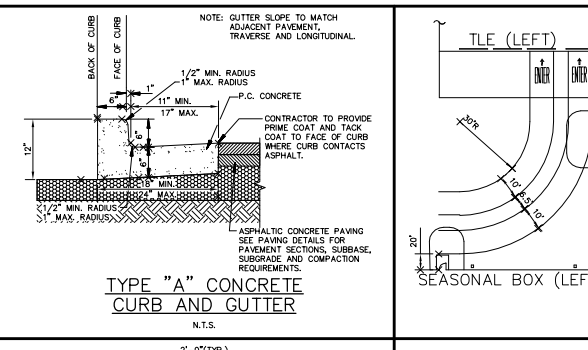
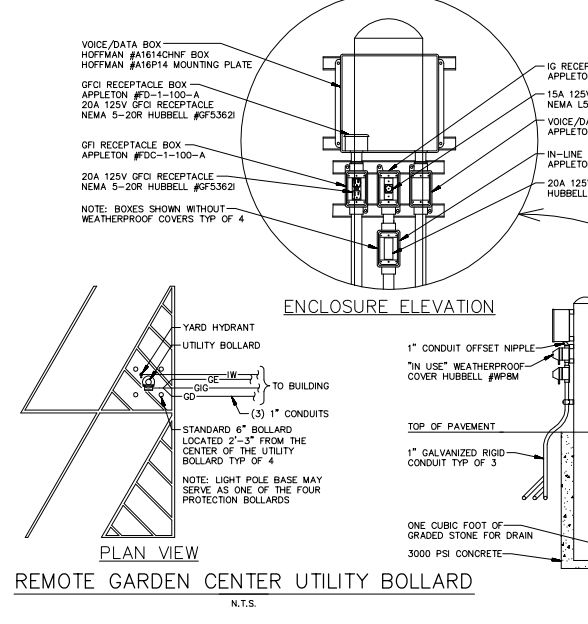
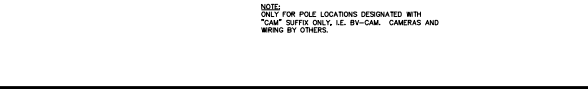
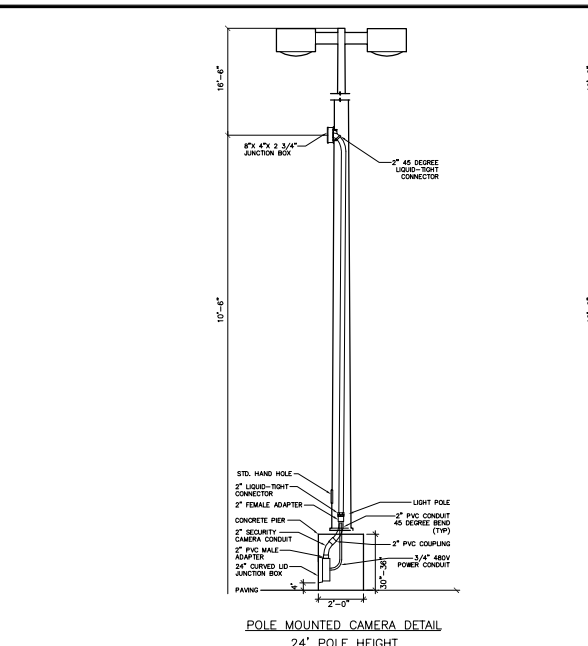


3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171
FOR THE LOCATION OF UNDERGROUND FACILITIES

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2006 ATWELL-HICKS
NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.



ATWELL-HICKS
Engineering • Surveying • Planning • Environmental • Water/Wastewater
866.850.4200
www.atwell-hicks.com
MICHIGAN ILLINOIS OHIO

SECTION 30
TOWN 3 NORTH, RANGE 11 EAST
CITY OF ROCHESTER HILLS
OAKLAND COUNTY, MICHIGAN

CLIENT: WAL * MART STORES, INC. #2354-01
FINAL SITE PLAN
DETAILS SHEET 1
ADAMS ROAD
ROCHESTER HILLS, MICHIGAN

CAO FILE: 100637FC-24-25-D.dwg

REVISIONS

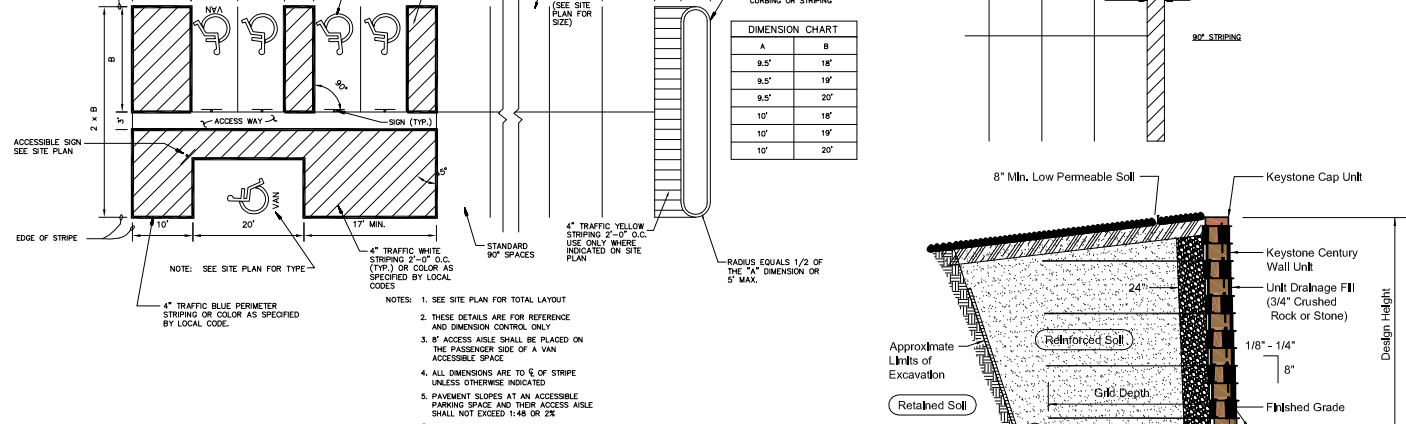
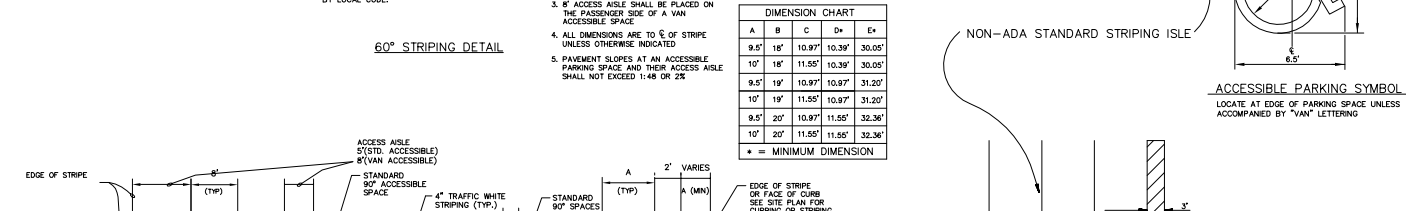
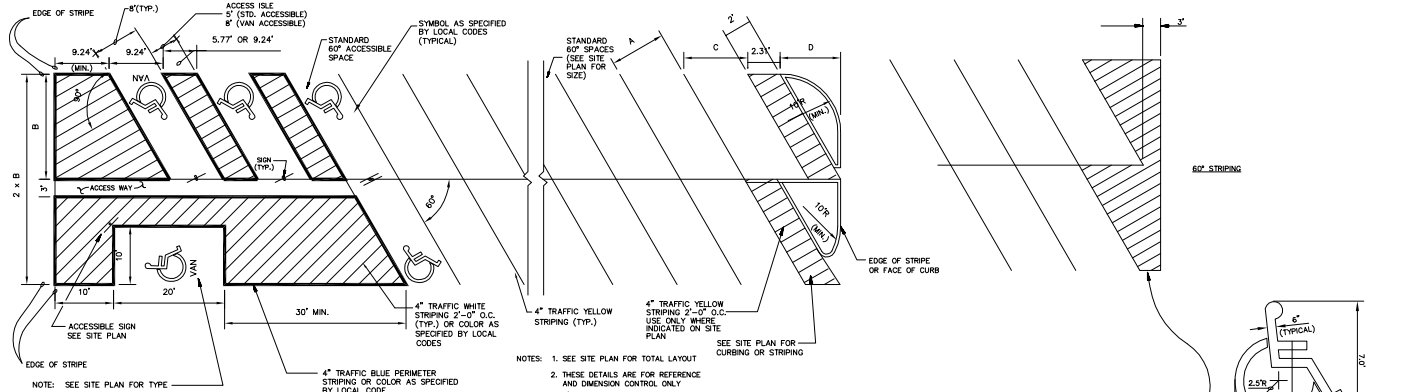
DATE: 8-17-05

NO SCALE

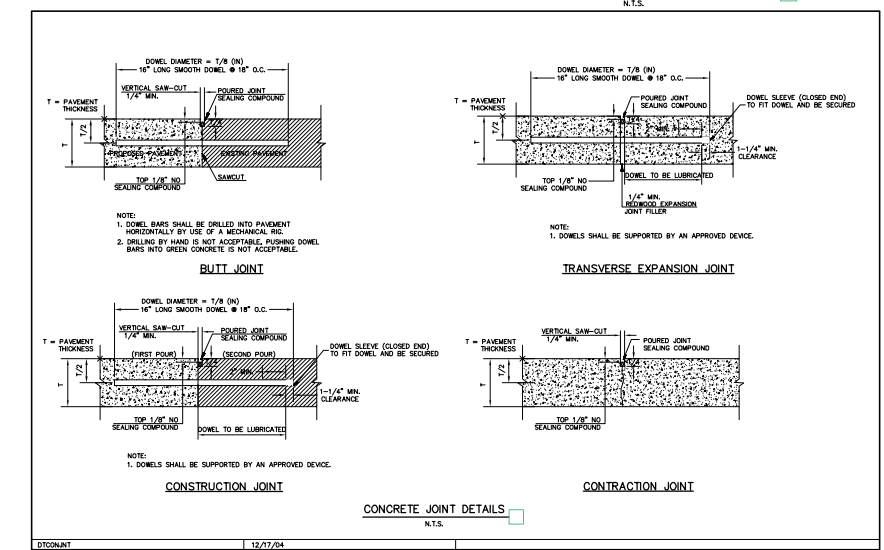
DR. SMS CH. JN
P.M. N. MILLER
BOOK 1156
JOB NO. 100637
AH FILE NO. 443-572-24
SHEET NO. 24

CITY FILE #: 05-030.2
NOT TO BE USED AS CONSTRUCTION DRAWINGS

K:\100637d\dwg\Plan Sets\Final\100637FC-24-25-D.dwg, 3/28/2006 1:49:33 PM, jsmith



PARKING LOT STRIPING DETAILS

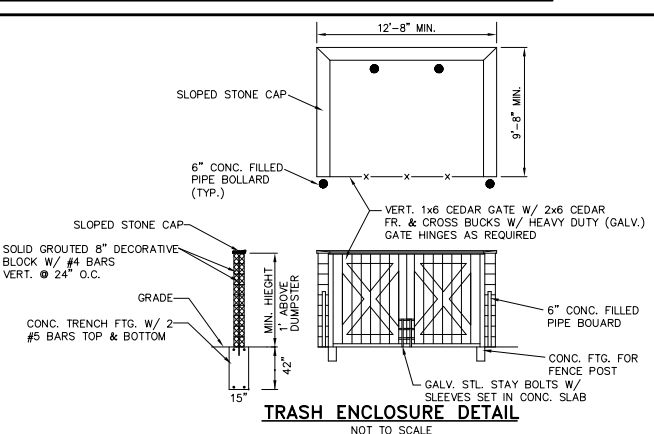


3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 FOR THE LOCATION OF UNDERGROUND FACILITIES

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2006 ATWELL-HICKS. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL-HICKS, INC.



Note: When site conditions require, wrap drainage tile in 3/4" aggregate and filter fabric with drainage composite or aggregate back drain system, as directed by geotechnical engineer.

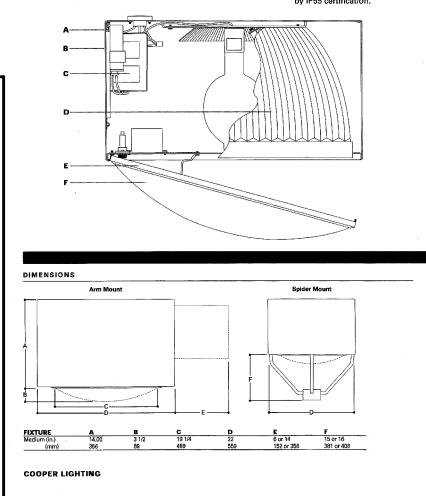


Typical Reinforced Wall Section

McGraw-Edison CLMSQUARE

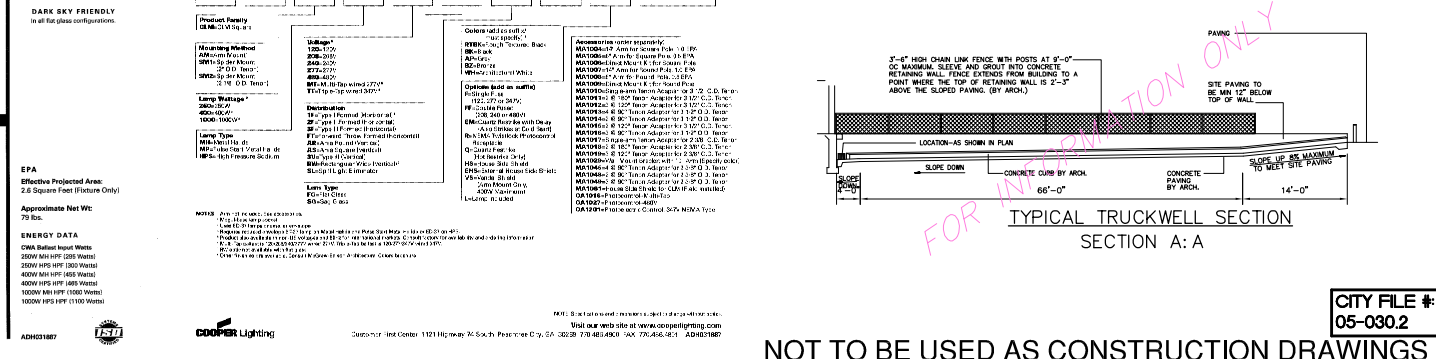
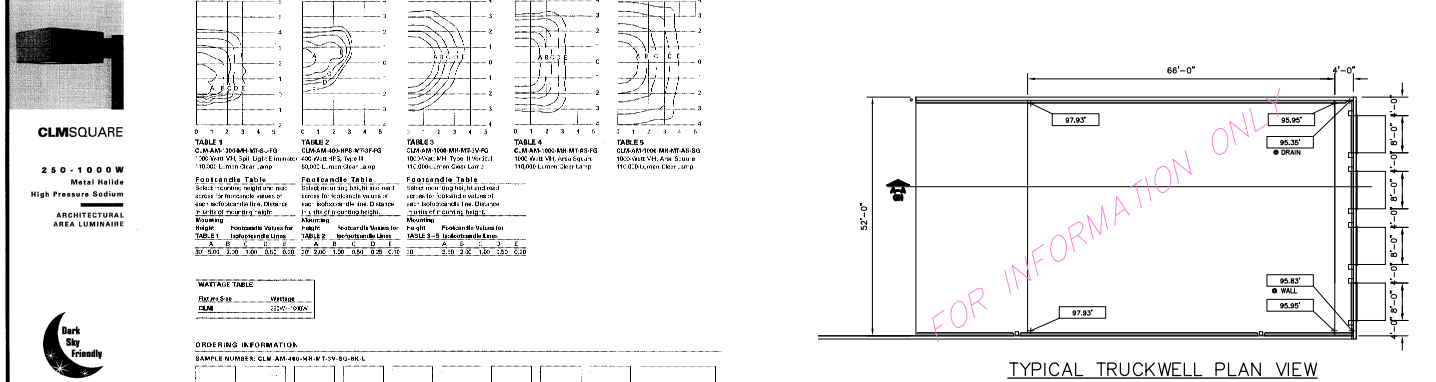
CLMSQUARE 250-1000 W Metal Halide High Pressure Sodium ARCHITECTURAL AREA LUMINAIRE

TYPE: DESCRIPTION: SPECIFICATION FEATURES: APPLICATION: PHOTO METRICS: WATTAGE TABLE: ORDERING INFORMATION: SAMPLE NUMBER: CLM AR 400-06 W 1000 W 1000 W



Signage grid including: R3-2 "NO LEFT TURN" SIGN (W/ARROW), R3-5 "RIGHT TURN ONLY" SIGN, R3-5 "LEFT TURN ONLY" SIGN, R5-1 "DO NOT ENTER" SIGN, R3-1 "NO RIGHT TURN" SIGN (W/ARROW), R5-2 "NO TRUCKS" SIGN, R6-2 "ONE WAY" SIGN, R1-1 "STOP" SIGN, and ACCESSIBLE PARKING SIGN.

Signage including: R6-2 "ONE WAY" SIGN (ARROW LEFT), R6-2 "ONE WAY" SIGN (ARROW UP), R1-1 "STOP" SIGN, and SP-2 "NO STOPPING, STANDING, PARKING, FIRE LANE" SIGN.



ATWELL-HICKS Engineering • Surveying • Planning • Environmental • Water/Wastewater 866 850 4200 www.atwell-hicks.com MICHIGAN ILLINOIS OHIO

SECTION 30 TOWN 3 NORTH, RANGE 11 EAST CITY OF ROCHESTER HILLS OAKLAND COUNTY, MICHIGAN

CLIENT: WAL * MART STORES, INC. #2354-01 FINAL SITE PLAN DETAILS SHEET II

CAD FILE: 100637FC-24-25-D.dwg

REVISIONS: DATE: 8-17-05

NO SCALE DR. SMS CH. JN P.M. N. MILLER BOOK 1156 JOB NO. 100637 AH FILE NO. 443-572-25 SHEET NO. 25 CITY FILE #: 05-0302

FOR INFORMATION ONLY

NOT TO BE USED AS CONSTRUCTION DRAWINGS

PRINTED: 3/28/2006 2:08 PM BY: Joshua Smith LAST SAVED: 3/8/2006 2:27 PM BY: WAYNEWATSON
 K:\100637\dwg\Plan Sets\Final\100637FC-SP1.dwg

| SHEET NOTES | KEYNOTES | KEYNOTES |
|---|---|--|
| <ol style="list-style-type: none"> 1. ALL CONCRETE SToops SLOPE 2% AWAY FROM BUILDING. SLOPE SHALLOWS GRADE LOS MARIAM TO MEET FLUSH WITH FRONT AND SIDE EDGES OF EACH CONCRETE STOOO. 2. ALL EXTERIOR SIDEWALK JOINTS TO BE FILLED. REF SPECS 3. ALL CMU FOR PLANTER BOXES TO BE 4.00 (E.L.) HIGH. ALL CONCRETE BELLS FOR PLANTER BOXES TO BE PER SPEC. REF AS 4. ALL DRS ARE TO FACE OF CMU AND DO NOT INCLUDE VENEER INFILL. | <ol style="list-style-type: none"> 2.04 ORNAMENTAL FENCE. REF SPECS 2.05 PERFORATED PIPE DRAIN 2.06 SUBSURFACE DRAINAGE SYSTEM CONNECTED TO STORM SEWER. REF CIVLS | <ol style="list-style-type: none"> 3.01 CONCRETE STOOO 3.05 CONCRETE CURB 3.06 CONCRETE TRANSFORMER PAD. REFER CIVLS DRAWING FOR ACTUAL LOCATION. COORDINATE SIZE, DIMENSIONS AND THICKNESS WITH LOCAL UTILITY 3.10 DETECTABLE WARNING AREA 3.16 CONCRETE CURB - PAINT ON FACE AND 4" ON TOP 7.09 METAL DOWNPOUT. PAINTED (SEE NOTED REDUCE KEYNOTE) 10.01 FLAGPOLE |

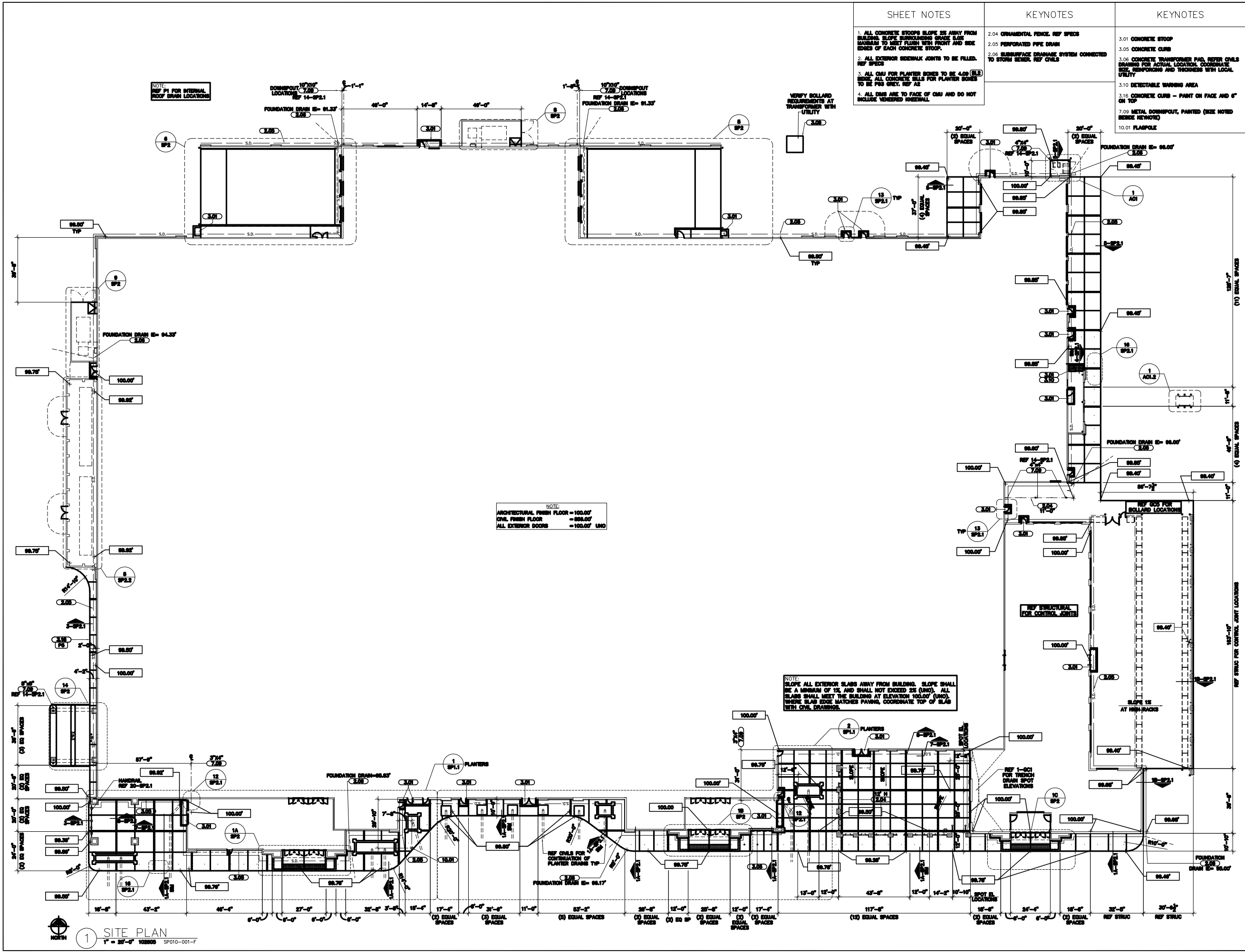


WALMART
SUPERCENTER
 ROCHESTER HILLS, MICHIGAN
 STORE NO. 2554

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

CHECKED BY: KL/AC
 DRAWN BY: VVV
 FILE NAME: 100-SP10
 PHOTO CYCLE: 100006
 DOCUMENT DATE: 01-17-06

SITE PLAN
 SHEET: SP1



NOTE:
 ARCHITECTURAL FINISH FLOOR = 100.00'
 CIVIL FINISH FLOOR = 99.90'
 ALL EXTERIOR DOORS = 100.00' UNO

NOTE:
 SLOPE ALL EXTERIOR SLABS AWAY FROM BUILDING. SLOPE SHALL BE A MINIMUM OF 1% AND SHALL NOT EXCEED 2% (UNO). ALL SLABS SHALL MEET THE BUILDING AT ELEVATION 100.00' (UNO). WHERE SLAB EDGE MATCHES PAVING, COORDINATE TOP OF SLAB WITH CIVIL DRAINAGES.

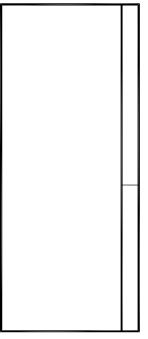
1 SITE PLAN
 1" = 30'-0" 100806 SP010-001-F

KEYNOTES

- 2.04 ORNAMENTAL FENCING
- 4.04 CONTROL JOINT, TYP, REF STRUCTURAL
- 4.06 6" SPLIT FACE CMU
- 4.11 4" HIGH CMU GAP BLOCK
- 4.401 QUIK BRK-4" x 4" x 16"
- 5.02 PAINTED 6" PIPE BOLLARD



STIPULATION FOR NOTICE



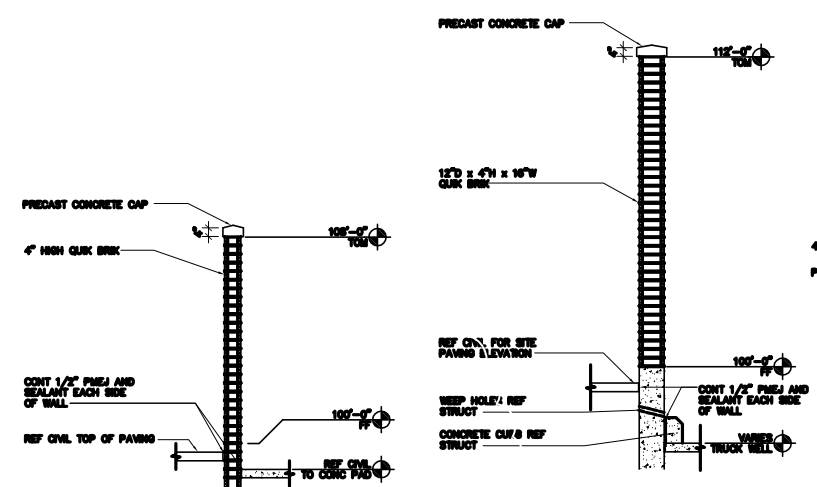
REVISION BLOCK

| | | | |
|--|--|--|--|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

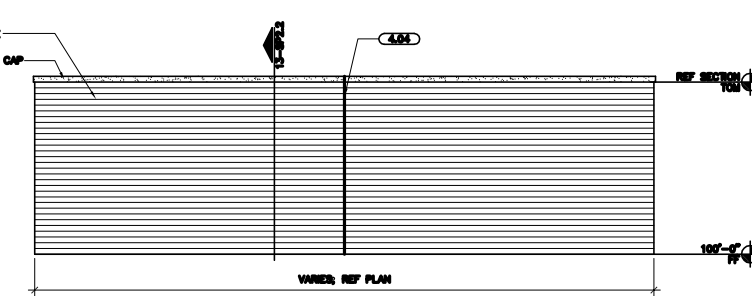
CHECKED BY: RL/LC
 DRAWN BY: JAO
 FILE NAME: 100-SP022
 PHOTO CYCLE: 002405
 DOCUMENT DATE: 08-14-05

BALE AND PALLET STORAGE

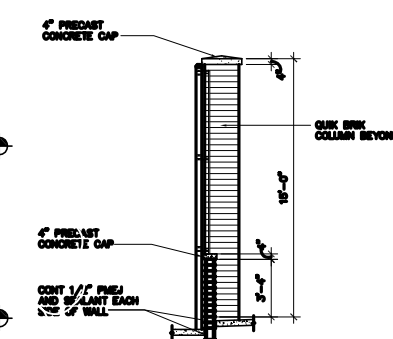
SHEET SP2.2



13 COMPACTOR SCREEN WALL SECTION 3/8"=1'-0" 123104 C:\SP022-013
 12 TRUCK WELL SCREEN WALL SECTION 3/8"=1'-0" 123104 C:\SP022-012

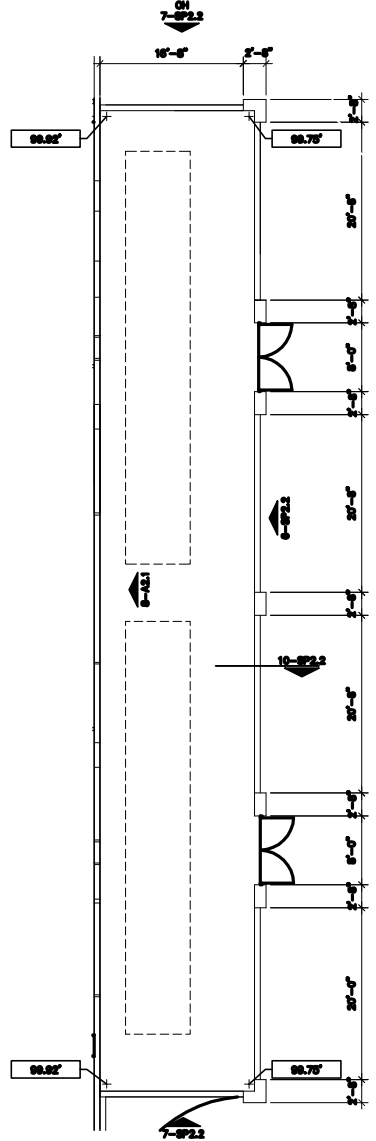


11 SCREEN WALL ELEVATION 1/4"=1'-0" 123104 C:\SP022-011

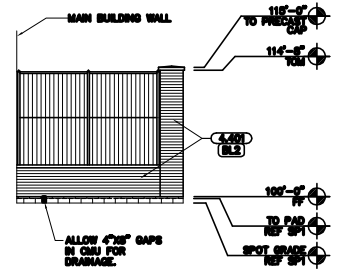


10 SECTION 1/4"=1'-0" 103103 C:\SP022-010-1

9 NOT USED

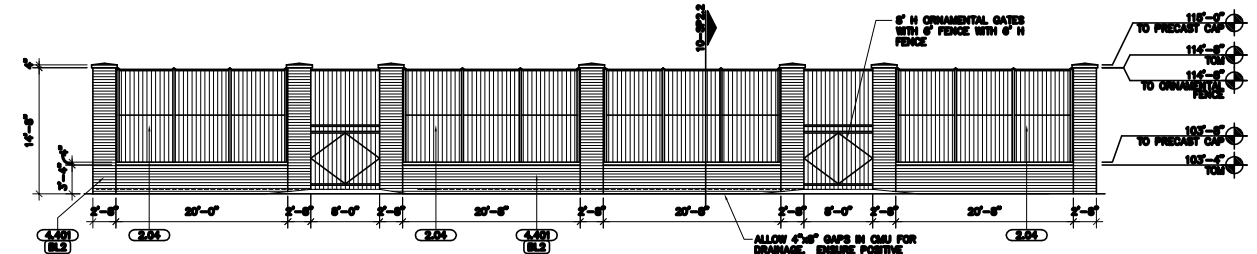


5 FLOOR PLAN 1/8"=1'-0" 022805 SP022-005-1



7 ELEVATION 1/8"=1'-0" 103103 C:\SP022-007-1

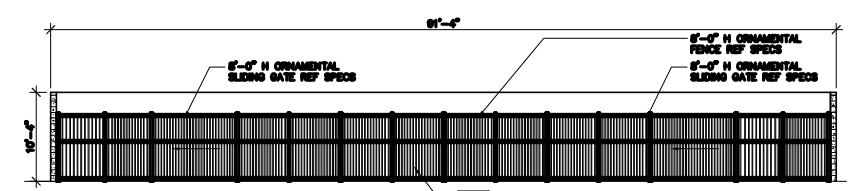
8 NOT USED



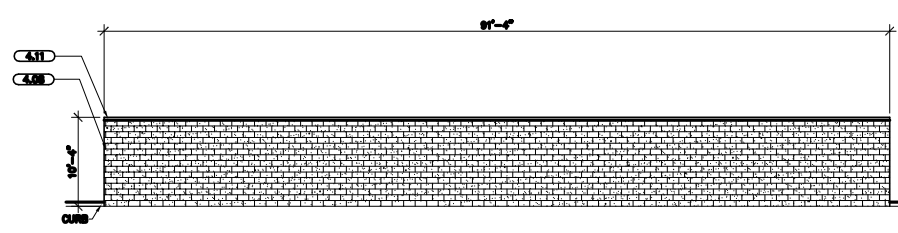
6 COMPRESSOR HOUSE ELEVATION 1/8"=1'-0" 022805 SP022-006-1

3 NOT USED

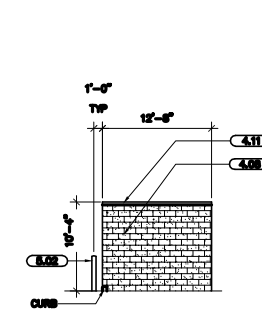
4 NOT USED



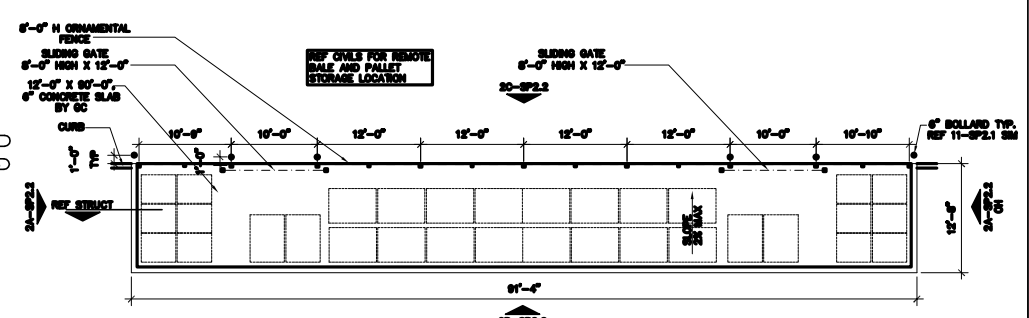
2C ORNAMENTAL GATE 1/8"=1'-0" 123104 SP022-002_1090B_PSD0F



2B REAR ELEVATION 1/8"=1'-0" 022804 SP022-002B_1090



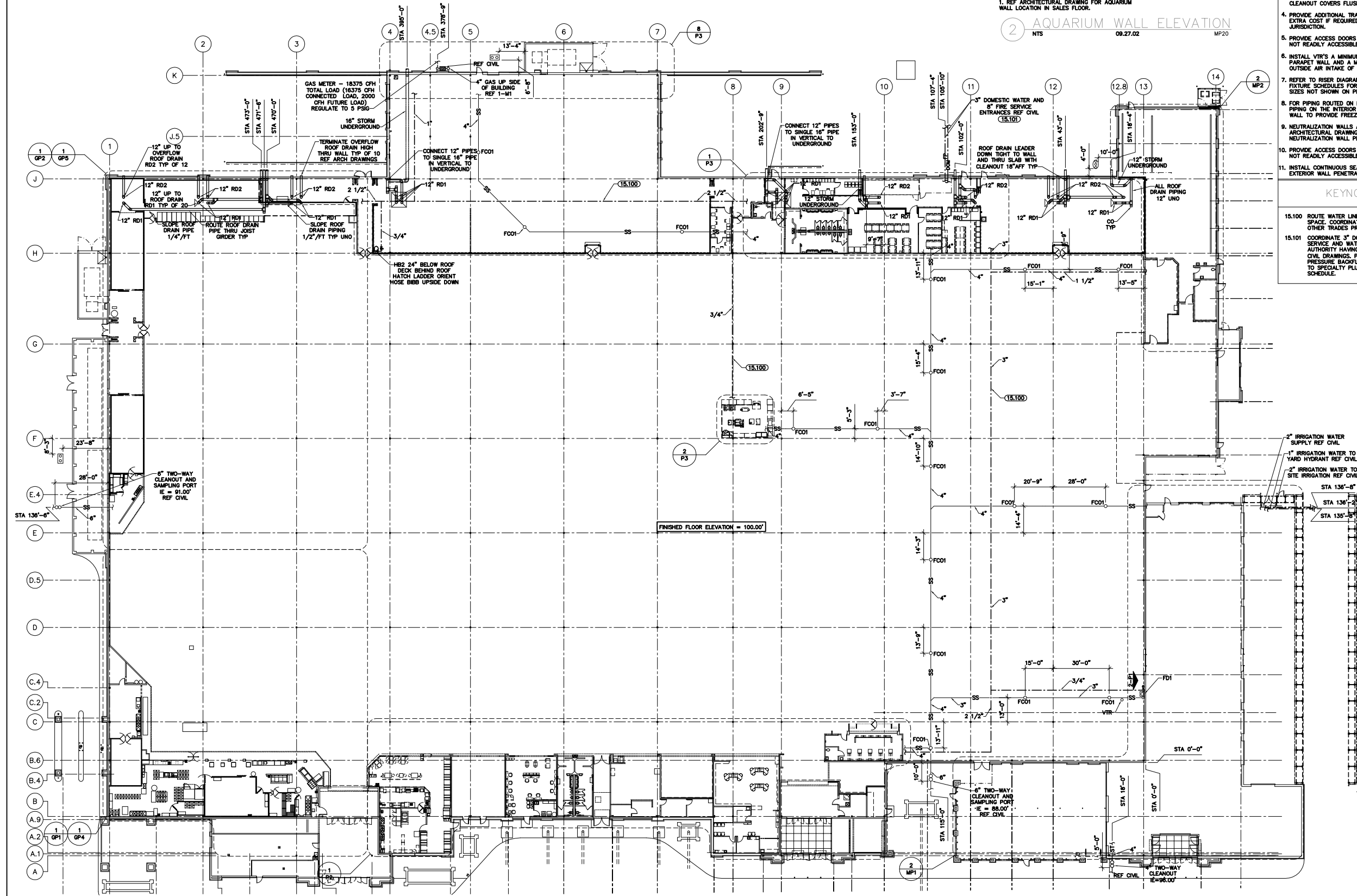
2A SIDE ELEVATION 1/8"=1'-0" 123104 C:\SP022-002B



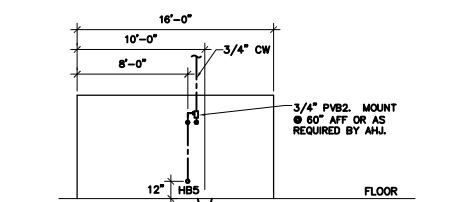
1 CMU SCREENING PLAN-ORNAMENTAL GATES 1/8"=1'-0" 123104 SP022-001B

PRINTED: 3/28/2006 2:09 PM BY: Joshua Smith LAST SAVED: 3/24/2006 3:41 PM BY: JAMESGRUBBS
 K:\100637\Plan Sets\Final\100637FC-SP2.2.dwg, 3/28/2006 2:09:32 PM, jsmith

K:\100637\dwg\Plan Sets\Final\100637FC-P1.dwg, 3/28/2006 2:11:31 PM, jsmith



1 PLUMBING PLAN
1" = 20'-0"



2 AQUARIUM WALL ELEVATION
NTS 09.27.02 MP20

GENERAL NOTES

1. THE NATURAL GAS DEMAND SHOWN IN CUBIC FEET PER HOUR (CFH) IS BASED ON A HEATING VALUE OF 1000 BTU PER CUBIC FOOT AND SPECIFIC GRAVITY OF 0.6. CONTACT LOCAL UTILITY FOR EXACT LOCATION AND SIZE OF GAS METER, GAS PRESSURE, SIZE AND TYPE OF PIPING AND VALVES REQUIRED FOR CONNECTION TO METER. VERIFY CORRECT GAS PRESSURE DOWNSTREAM OF SERVICE REGULATOR AFTER GAS UTILITY COMPLETES INSTALLATION.
2. SANITARY SEWER PIPING SHOWN IS BASED ON 1/4" PER FOOT FALL FOR ALL PIPING 3" AND SMALLER AND 1/8" PER FOOT FALL FOR ALL PIPING 4" AND LARGER. COORDINATE BUILDING SEWER LOCATION AND INVERT ELEVATION WITH CIVIL DRAWINGS.
3. LOCATIONS OF FLOOR CLEANOUTS HAVE BEEN COORDINATED WITH MERCHANDISE PLAN. LOCATE PER DIMENSIONS SHOWN ON PLANS. ADJUST CLEANOUT COVERS FLUSH WITH FINISHED FLOOR.
4. PROVIDE ADDITIONAL TRAP SEAL PRIMERS AT NO EXTRA COST IF REQUIRED BY AUTHORITY HAVING JURISDICTION.
5. PROVIDE ACCESS DOORS TO VALVES THAT ARE NOT READILY ACCESSIBLE.
6. INSTALL VTR'S A MINIMUM OF 24" FROM PARAPET WALL AND A MINIMUM OF 10 FT. FROM OUTSIDE AIR INTAKE OF ROOFTOP EQUIPMENT.
7. REFER TO RISER DIAGRAMS AND PLUMBING FIXTURE SCHEDULES FOR ALL PIPING AND PIPE SIZES NOT SHOWN ON PLAN.
8. FOR PIPING ROUTED ON EXTERIOR WALLS, ROUTE PIPING ON THE INTERIOR SIDE OF INSULATED WALL TO PROVIDE FREEZE PROTECTION.
9. NEUTRALIZATION WALLS ARE SHOWN ON THE ARCHITECTURAL DRAWINGS. REFER TO NEUTRALIZATION WALL PENETRATION DETAIL.
10. PROVIDE ACCESS DOORS TO VALVES THAT ARE NOT READILY ACCESSIBLE.
11. INSTALL CONTINUOUS SEALANT JOINT AT ALL EXTERIOR WALL PENETRATIONS.

KEYNOTES

- 15.100 ROUTE WATER LINE THROUGH JOIST SPACE. COORDINATE WITH HVAC AND OTHER TRADES PRIOR TO INSTALLATION.
- 15.101 COORDINATE 3" DOMESTIC WATER SERVICE AND WATER METER WITH AUTHORITY HAVING JURISDICTION AND CIVIL DRAWINGS. PROVIDE 3" REDUCED PRESSURE BACKFLOW PREVENTER. REFER TO SPECIALTY PLUMBING FIXTURE SCHEDULE.



STIPULATION FOR REUSE
THIS DRAWING IS THE PROPERTY OF WALKMART SUPERCENTER. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF WALKMART SUPERCENTER IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE, LOSS, OR INJURY RESULTING FROM THE USE OF THIS DRAWING.

WALKMART
SUPERCENTER
ROCHESTER HILLS, MICHIGAN
STORE NO. 2554
JOB NUMBER: 100637

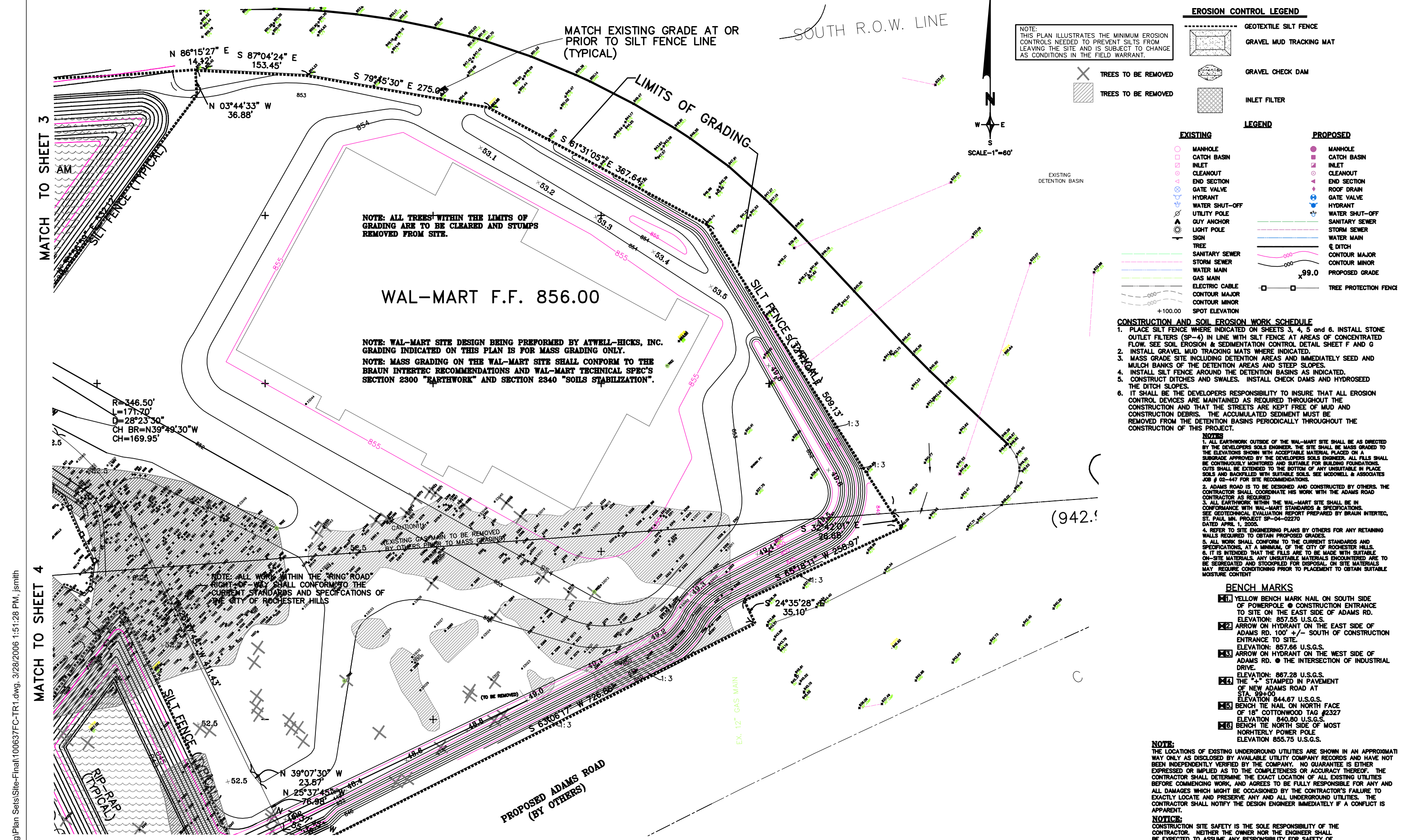
ISSUE BLOCK

| | |
|--|--|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

CHECKED BY: KOB
DRAWN BY: MDF
FILE NAME: 195R-P1
PROTO CYCLE: 102805
DOCUMENT DATE: 011706

PLUMBING PLAN

SHEET: P1



NOTE: THIS PLAN ILLUSTRATES THE MINIMUM EROSION CONTROLS NEEDED TO PREVENT SILTS FROM LEAVING THE SITE AND IS SUBJECT TO CHANGE AS CONDITIONS IN THE FIELD WARRANT.

EROSION CONTROL LEGEND

- GEOTEXTILE SILT FENCE
- GRAVEL MUD TRACKING MAT
- GRAVEL CHECK DAM
- INLET FILTER

- TREES TO BE REMOVED (Cross-hatched symbol)
- TREES TO BE REMOVED (Hatched symbol)



LEGEND

| EXISTING | PROPOSED |
|----------------|-----------------------|
| MANHOLE | MANHOLE |
| CATCH BASIN | CATCH BASIN |
| INLET | INLET |
| CLEANOUT | CLEANOUT |
| END SECTION | END SECTION |
| GATE VALVE | ROOF DRAIN |
| HYDRANT | GATE VALVE |
| WATER SHUT-OFF | HYDRANT |
| UTILITY POLE | WATER SHUT-OFF |
| GUY ANCHOR | SANITARY SEWER |
| LIGHT POLE | STORM SEWER |
| SIGN | WATER MAIN |
| TREE | DITCH |
| SANITARY SEWER | CONTOUR MAJOR |
| STORM SEWER | CONTOUR MINOR |
| WATER MAIN | PROPOSED GRADE |
| GAS MAIN | |
| ELECTRIC CABLE | |
| CONTOUR MAJOR | |
| CONTOUR MINOR | |
| SPOT ELEVATION | TREE PROTECTION FENCE |

- ### CONSTRUCTION AND SOIL EROSION WORK SCHEDULE
- PLACE SILT FENCE WHERE INDICATED ON SHEETS 3, 4, 5 and 6. INSTALL STONE OUTLET FILTERS (SP-4) IN LINE WITH SILT FENCE AT AREAS OF CONCENTRATED FLOW. SEE SOIL EROSION & SEDIMENTATION CONTROL DETAIL SHEET F AND G
 - INSTALL GRAVEL MUD TRACKING MATS WHERE INDICATED.
 - MASS GRADE SITE INCLUDING DETENTION AREAS AND IMMEDIATELY SEED AND MULCH BANKS OF THE DETENTION AREAS AND STEEP SLOPES.
 - INSTALL SILT FENCE AROUND THE DETENTION BASINS AS INDICATED.
 - CONSTRUCT DITCHES AND SWALES. INSTALL CHECK DAMS AND HYDROSEED THE DITCH SLOPES.
 - IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO INSURE THAT ALL EROSION CONTROL DEVICES ARE MAINTAINED AS REQUIRED THROUGHOUT THE CONSTRUCTION AND THAT THE STREETS ARE KEPT FREE OF MUD AND CONSTRUCTION DEBRIS. THE ACCUMULATED SEDIMENT MUST BE REMOVED FROM THE DETENTION BASINS PERIODICALLY THROUGHOUT THE CONSTRUCTION OF THIS PROJECT.

- ### NOTES
- ALL EARTHWORK OUTSIDE OF THE WAL-MART SITE SHALL BE AS DIRECTED BY THE DEVELOPER'S SOILS ENGINEER. THE SITE SHALL BE MASS GRADED TO THE ELEVATIONS SHOWN WITH ACCEPTABLE MATERIAL PLACED ON A SUBGRADE APPROVED BY THE DEVELOPER'S SOILS ENGINEER. ALL FILLS SHALL BE CONTINUOUSLY MONITORED AND SUITABLE FOR BUILDING FOUNDATIONS. CUTS SHALL BE EXTENDED TO THE BOTTOM OF ANY UNSUITABLE IN PLACE SOILS AND BACKFILLED WITH SUITABLE SOILS. SEE McDOWELL & ASSOCIATES JOB # 02-447 FOR SITE RECOMMENDATIONS.
 - ADAMS ROAD IS TO BE DESIGNED AND CONSTRUCTED BY OTHERS. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE ADAMS ROAD CONTRACTOR AS REQUIRED.
 - ALL EARTHWORK WITHIN THE WAL-MART SITE SHALL BE IN CONFORMANCE WITH WAL-MART STANDARDS & SPECIFICATIONS. SEE GEOTECHNICAL EVALUATION REPORT PREPARED BY BRAUN INTERTEC, ST. PAUL, MN. PROJECT SP-04-02270 DATED APRIL 1, 2005.
 - REFER TO SITE ENGINEERING PLANS BY OTHERS FOR ANY RETAINING WALLS REQUIRED TO OBTAIN PROPOSED GRADES.
 - ALL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS, AT A MINIMUM, OF THE CITY OF ROCHESTER HILLS.
 - IT IS INTENDED THAT THE FILLS ARE TO BE MADE WITH SUITABLE ON-SITE MATERIALS. ANY UNSUITABLE MATERIALS ENCOUNTERED ARE TO BE SEGREGATED AND STOCKPILED FOR DISPOSAL ON SITE. MATERIALS MAY REQUIRE CONDITIONING PRIOR TO PLACEMENT TO OBTAIN SUITABLE MOISTURE CONTENT.

- ### BENCH MARKS
- YELLOW BENCH MARK NAIL ON SOUTH SIDE OF POWERPOLE @ CONSTRUCTION ENTRANCE TO SITE ON THE EAST SIDE OF ADAMS RD. ELEVATION: 857.55 U.S.G.S.
 - ARROW ON THE EAST SIDE OF ADAMS RD. 100' +/- SOUTH OF CONSTRUCTION ENTRANCE TO SITE. ELEVATION: 857.66 U.S.G.S.
 - ARROW ON HYDRANT ON THE WEST SIDE OF ADAMS RD. @ THE INTERSECTION OF INDUSTRIAL DRIVE. ELEVATION: 867.28 U.S.G.S.
 - THE "+" STAMPED IN PAVEMENT OF NEW ADAMS ROAD AT STA. 99+00. ELEVATION 844.67 U.S.G.S.
 - BENCH THE NAIL ON NORTH FACE OF 18" COTTONWOOD TAG #2327. ELEVATION 840.80 U.S.G.S.
 - BENCH THE NORTH SIDE OF MOST NORTHERLY POWER POLE. ELEVATION 855.75 U.S.G.S.

NOTE: THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

**CITY FILE NO. 05-030
NOT FOR CONSTRUCTION**

NOTE: ALL TEMPORARY EROSION CONTROL MEASURES INCLUDING FRENCH DRAINS, STANDPIPES AND DIVERSION SWALES SHALL BE INSPECTED IN A TIMELY MANNER AND ACCUMULATED SEDIMENTS BE REMOVED TO ASSURE PROPER FUNCTION OF THESE MEASURES

NOTE: PEAT OR OTHER UNSUITABLE MATERIALS ENCOUNTERED IN CONSTRUCTION AREAS SHALL BE REMOVED AND BACKFILLED WITH COMPACTED SUITABLE MATERIAL (95% DENSITY). ALL ON-SITE WORK SHALL CONFORM, AT A MINIMUM, TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ROCHESTER HILLS.

NOTE: TREES TO BE REMOVED IN CROSS HATCHED AREA ARE LISTED IN ATTACHED BOOKLET BY TYPE AND CONDITION, AS WELL AS INDIVIDUAL TREES TO BE REMOVED.

| REVISIONS | DATE | BY | REVISIONS | DATE | BY | REVISIONS | DATE | BY |
|-----------------|----------|-----|-----------|------|----|-----------|------|----|
| PER CITY REVIEW | 8-28-06 | PAD | | | | | | |
| PER CITY REVIEW | 9-20-06 | PAD | | | | | | |
| PER CITY REVIEW | 10-07-06 | BMG | | | | | | |

TEOMET WOZNAK & ASSOCIATES
 CIVIL ENGINEERS & LAND SURVEYORS
 28450 FRANKLIN ROAD
 SOUTHFIELD, MICHIGAN 48034
 (248) 352-8950 (248) 352-1346 (FAX)



PROJECT SPONSOR:
 GRAND/SAKWA
 28470 THIRTEEN MILE, SUITE 220
 FARMINGTON HILLS, MI (248)855-5500

TREE REMOVAL EAST SIDE
 ADAMS ROAD & M-59
 ROCHESTER HILLS, MI

| DATE | SCALE | HOR. 1" = 60' |
|--------------------|-------|---------------|
| 7-28-06 | | VER. 1" = 10' |
| DESIGNED BY DK/SRB | | JOB NO. 9714 |
| DRAWN BY PAD | | SHEET TR1 |

K:\100637\dwg\Plan Sets\Final\100637FC-TR1.dwg, 3/28/2006 1:51:28 PM, jsmith

K:\100637.dwg\Plan Sets\Site-Final\100637CF-TR2.dwg, 3/28/2006 1:51:36 PM, jsmith

Table with 6 columns: TREE NO., SCIENTIFIC NAME, COMMON NAME, DBH, CONDITION, NO. OF TRUNKS. Contains tree inventory data for trees 845-984.

Table with 6 columns: TREE NO., SCIENTIFIC NAME, COMMON NAME, DBH, CONDITION, NO. OF TRUNKS. Contains tree inventory data for trees 985-1096.

Table with 6 columns: TREE NO., SCIENTIFIC NAME, COMMON NAME, DBH, CONDITION, NO. OF TRUNKS. Contains tree inventory data for trees 1097-2360.

Table with 6 columns: TREE NO., SCIENTIFIC NAME, COMMON NAME, DBH, CONDITION, NO. OF TRUNKS. Contains tree inventory data for trees 2361-2423.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR... CITY FILE # 05-030.2

ATWELL-HICKS logo and contact information: Engineering, Surveying, Planning, Environmental, Water/Wastewater. MICHIGAN ILLINOIS OHIO.

SECTION 30 TOWN 3 NORTH, RANGE 11 EAST CITY OF ROCHESTER HILLS OAKLAND COUNTY, MICHIGAN

CLIENT: WAL * MART STORES, INC. #2354-01 FINAL SITE PLAN WAL-MART TREE REMOVAL LIST ADAMS ROAD ROCHESTER HILLS, MICHIGAN

Project details including CAD FILE (100637CF-TR2.dwg), DATE (8-17-05), REVISIONS, and DR. SMS, CH. JN, P.M. N. MILLER, BOOK 1156, JOB NO. 100637, AH FILE NO. 443-572-TR2, SHEET NO. TR2.

"TREE SURVEY COMPLETED BY ZEIMAT-WOZNAK ON 07-28-05. TREE CLASSIFICATION COMPLETED BY WETLAND AND COASTAL RESOURCES."

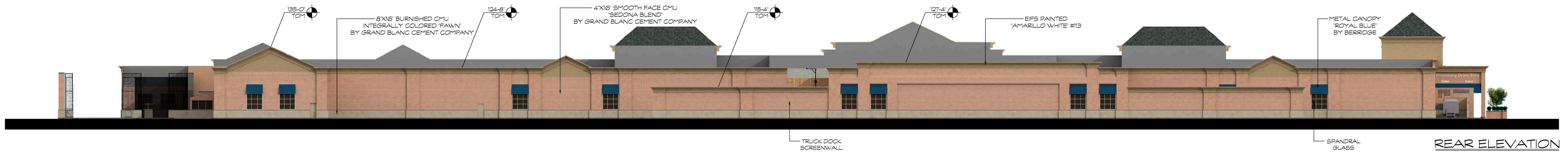
NOT TO BE USED AS CONSTRUCTION DRAWINGS



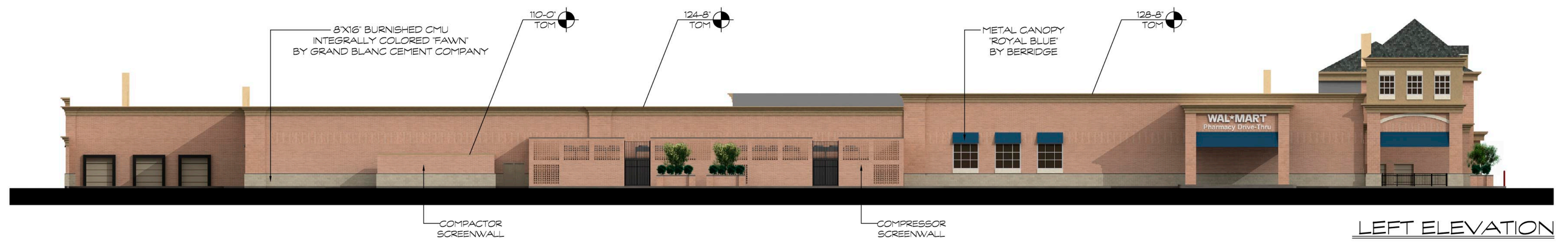
FRONT PERSPECTIVE (N.T.S.)



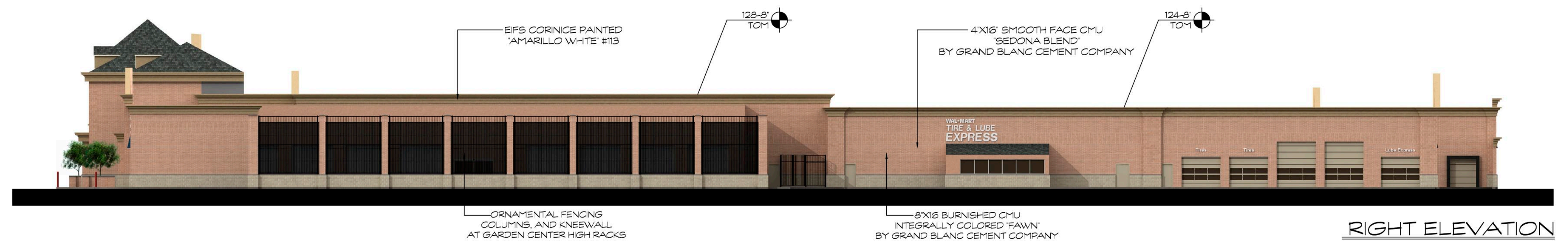
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

Rochester Hills, Michigan

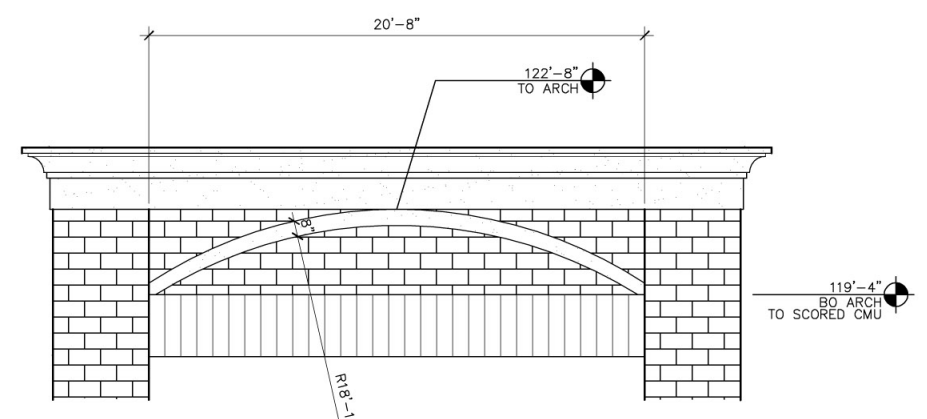
Store # 2354

| | | | | |
|----------------------|-------------|----|----|----|
| 0 | 10 | 20 | 30 | 40 |
| Initial Submission : | 08-14-05 | | | |
| Sheet : | 1 OF 2 | | | |
| Job Number : | 2005-0650 | | | |
| File Name : | PE1-03-0650 | | | |
| Prepared By : | EH/FF | | | |

REPRESENTATION ONLY, NOT FOR CONSTRUCTION. All images shown are a representation of the design intent and may not portray the exact colors, materials, or construction that could occur due to material availability and final architectural modifications.

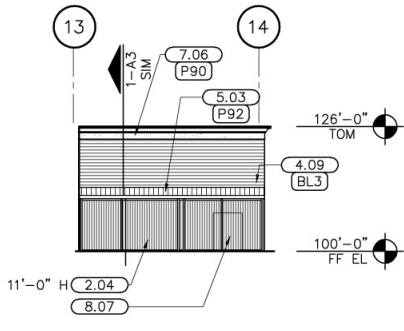


| COLOR LEGEND | KEYNOTES | KEYNOTES | KEYNOTES | KEYNOTES | SHEET NOTES |
|---|---|---|---|---|---|
| (BL1) DARK GREY (BL2) GREY (BL3) BEIGE (P3) BLUE (P5) SAFETY YELLOW | (P90) TAN (P91) WHITE (P92) BEIGE (P93) GREY (PF3) BLUE | 1.01 SIGNAGE 1.06 TENANT SIGNAGE REF BOX NOTE 2.04 ORNAMENTAL FENCE 3.05 CONCRETE CURB 3.06 CONCRETE TRANSFORMER PAD. REF CIVILS FOR LOCATION. COORDINATE SIZE, REINFORCING, AND THICKNESS WITH LOCAL UTILITY 3.11 PRECAST CONCRETE SILL PAINTED 4.01 12 X 8 X 16 SPLIT FACE CMU 4.02 12 X 8 X 16 SMOOTH FACE CMU 4.03 EXPANSION JOINT 4.04 CONTROL JOINT, TYP, REF STRUCTURAL 4.05 40"x40" MASONRY OPENING AT TRASH COMPACTOR, AT BOTTOM OF OPENING IS 48" AFF | 4.08 8 X 8 X 16 SPLIT FACE CMU 4.09 8 X 8 X 16 SMOOTH FACE CMU 4.091 BURNISHED CMU 4.14 CMU SCORED VERTICALLY REF SPECS 4.17 4 X 8 X 16 SPLIT FACE CMU 4.21 24" x 24" MASONRY OPENING AT GENERATOR CABLE RACEWAY, BOTTOM OF RACEWAY AT 8" AFF, REF ELEC. 5.03 METAL ROOF DECK AND STEEL FRAMING WITH EXPOSED SURFACES PAINTED 5.09 JB CRANE HOIST ARM AND RAILING ASSEMBLY 7.01 SHEET METAL DOOR HOOD PAINTED 7.03 GALVANIZED METAL GUTTER PAINTED | 7.04 METAL PARAPET COPING PREFINISHED 7.06 EXTERIOR INSULATION AND FINISH SYSTEM 7.07 ROOF LINE BEYOND 7.08 STANDING SEAM METAL CANOPY 7.09 METAL DOWNSPOUT PAINTED 7.17 METAL CANOPY DECK 7.19 SECONDARY OVERFLOW SCUPPER (SIZE NOTED BESIDE KEYNOTE) 7.23 HOOD PAINTED 7.31 PRIMARY OVERFLOW SCUPPER 7.35 ROOFING MEMBRANE | 7.53 SECONDARY OVERFLOW DRAIN 8.01 SECTIONAL OVERHEAD DOOR TYP 8.02 HOLLOW METAL DOOR AND FRAME TYP PAINTED 8.05 ALUMINUM STOREFRONT 8.051 ALUMINUM STOREFRONT WITH SPANDREL GLASS REF SPECS FOR COLOR 8.07 OVERHEAD COILING DOOR 8.081 ALUMINUM STOREFRONT WITH SPANDREL GLASS REF SPECS FOR COLOR 8.09 AUTOMATIC SLIDING ENTRANCE DOORS 9.93 10' x 10' PAINT TEST AREA REFER SPECIFICATIONS |

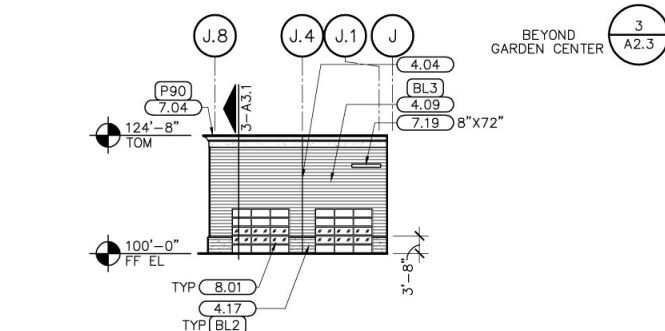


8 EIFS ARCH DETAIL
 1/4"=1'-0" 102805 A020-008

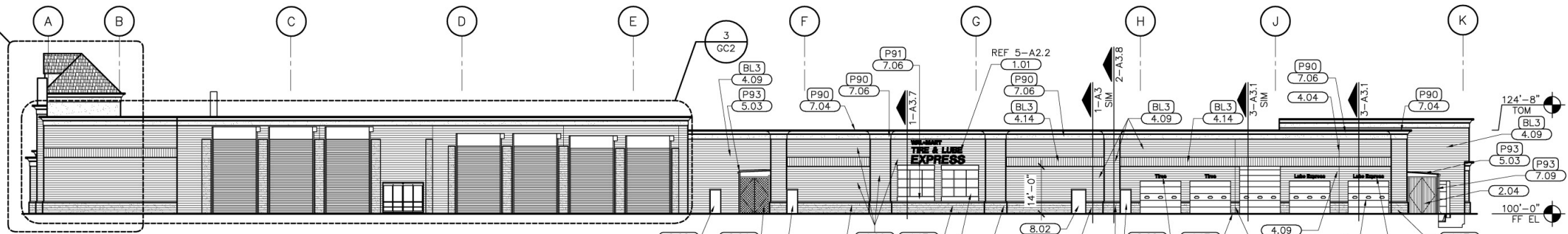
TENANT SIGNAGE NOTE:
 LOCATION IF APPROVED BY AHJ, TENANT SHALL BE RESPONSIBLE FOR ALL TENANT SIGN INSTALLATIONS, PERMIT COST AND SIGN COSTS. REF ELECTRICAL FOR JUNCTION BOX LOCATION AND POWER REQUIREMENTS



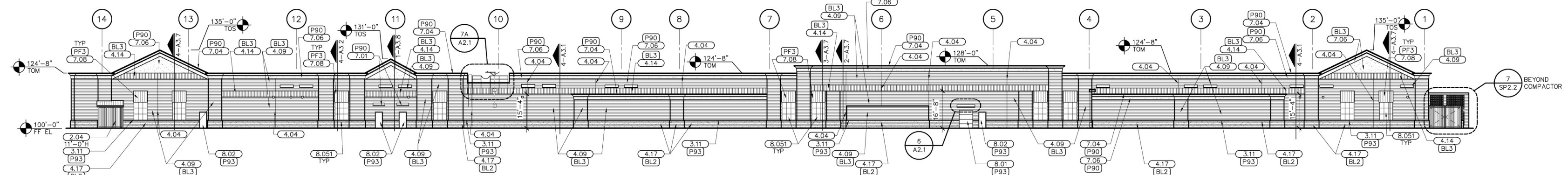
7 TIRE/BATTERY ELEVATION
 1"=20'-0" 093005 C\A020-007a-f



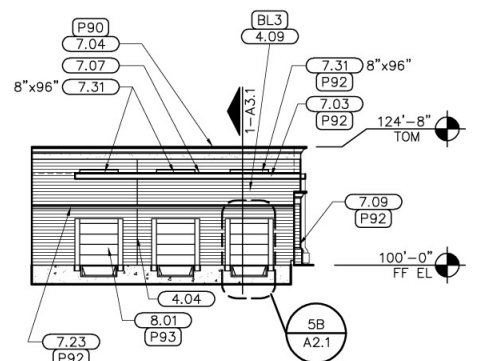
6 SIDE AUTO CENTER ELEVATION
 1"=20'-0" 093005 A020-006a-f



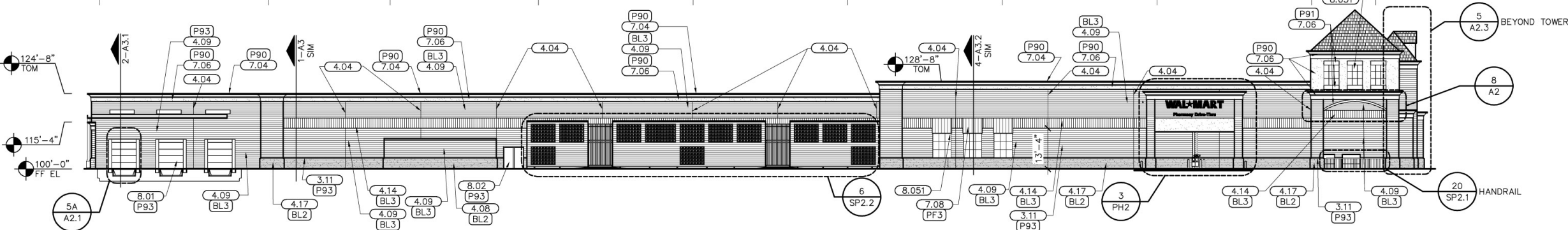
5 SIDE ELEVATION
 1"=20'-0" 102805 A020-005-f



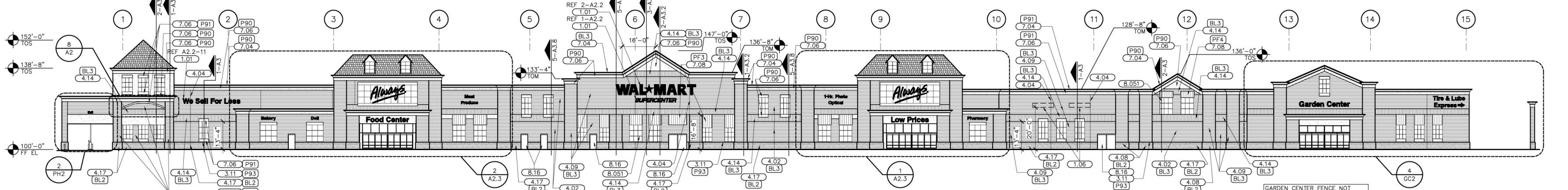
4 REAR ELEVATION
 1"=20'-0" 102805 A020-004-f



3 GM DOCK ELEVATION
 1"=20'-0" 102805 A020-003-f



2 SIDE ELEVATION
 1"=20'-0" 102805 A020-002-f



1 FRONT ELEVATION
 1"=20'-0" 102805 A020-001-f

NOTE:
 REF 1-A1.3 FOR MASONRY OPENING LOCATIONS

STIPULATION FOR REUSE
 THIS DRAWING WAS PREPARED FOR THE PROJECT INDICATED HEREIN. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

WAL-MART
SUPERCENTER
 ROCHESTER HILLS, MICHIGAN

ISSUE BLOCK

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

CHECKED BY:
 DRAWN BY:
 FILE NAME: 19:
 PROTO CYCLE:
 DOCUMENT DATE: 01

EXTERIC ELEVATIC