

**GENERAL NOTES**

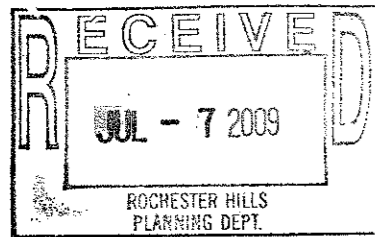
All work to comply with current laws, regulations, local zoning ordinances and The 2003 Michigan Residential Code.  
Do not scale drawings. Use figured dimensions only.  
Verify all dimensions in the field.

**DEMOLITION**

Demolition contractor shall be responsible for all shoring, blocking, cribbing, bracing, etc. to maintain building structure stability during demolition operation. Shoring shall remain in place until new system is in place and able to carry required loads.

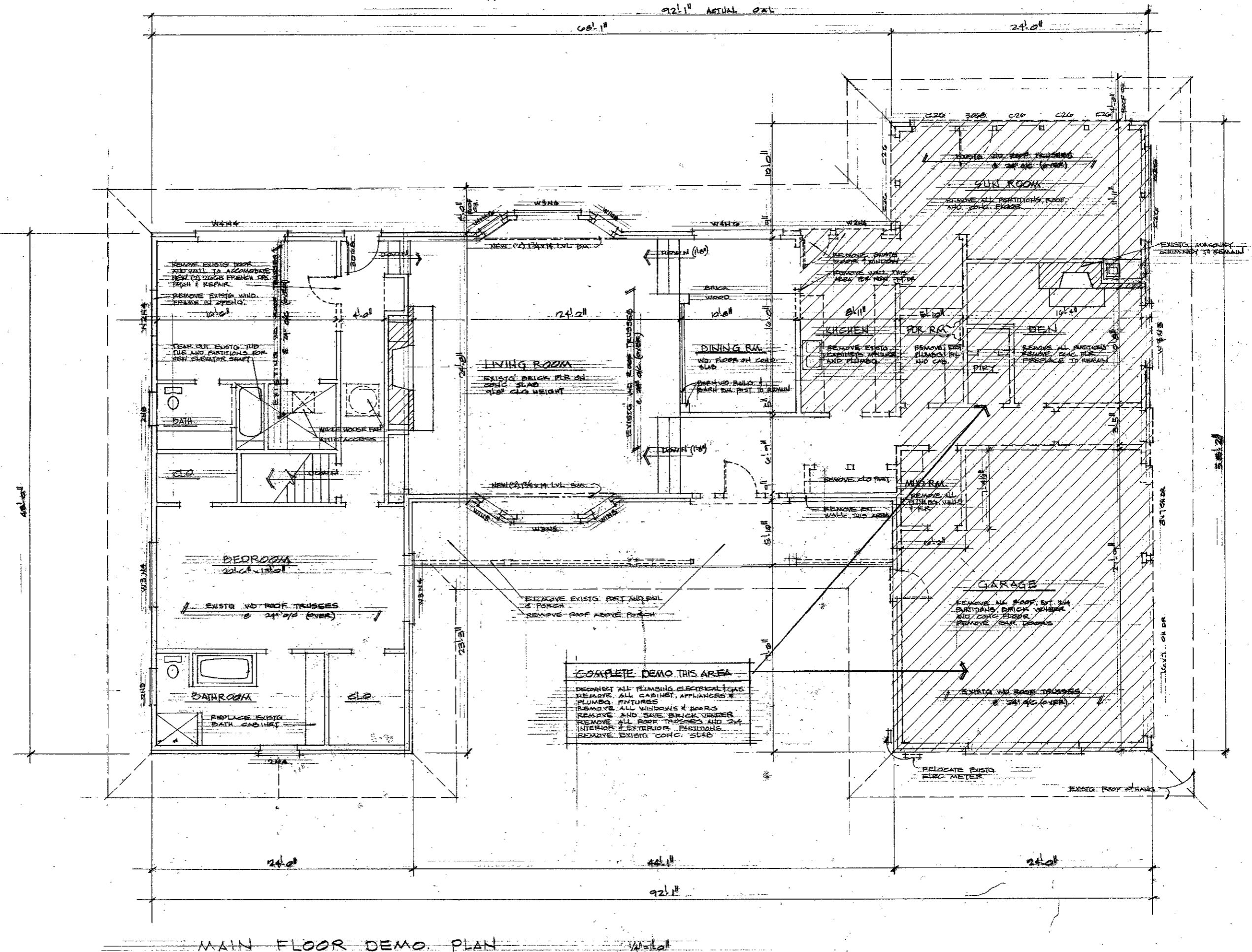
**EXTERIOR (Garage wing)**  
Remove all existing windows, garage doors, and brick in area of complete demo.

**INTERIOR (Garage wing)**  
Visqueen door openings of Living Room  
Remove all cabinets, plumbing fixtures and appliances in area on complete demo.  
Remove all partitions as per plan.  
Remove all windows as required per plans.  
Remove existing roof trusses as per plans  
Remove existing concrete slab as per plans  
Demolition contractor shall coordinate with the construction superintendent removal of the debris.  
Demolition contractor shall be responsible for capping plumbing fixtures in areas affected by their work.  
Demolition contractor shall be responsible for cutting the power to electrical outlets in the area of demolition.

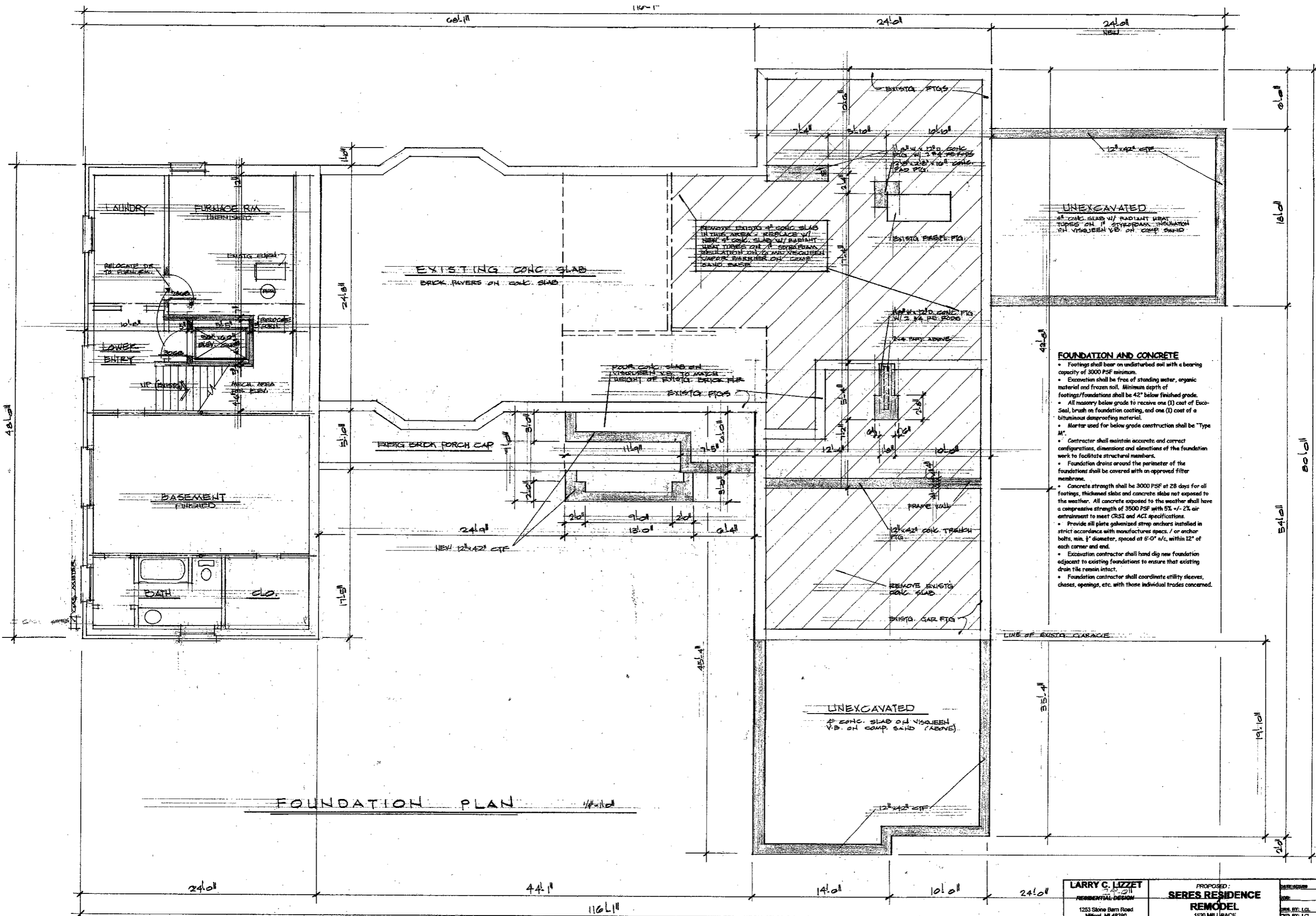


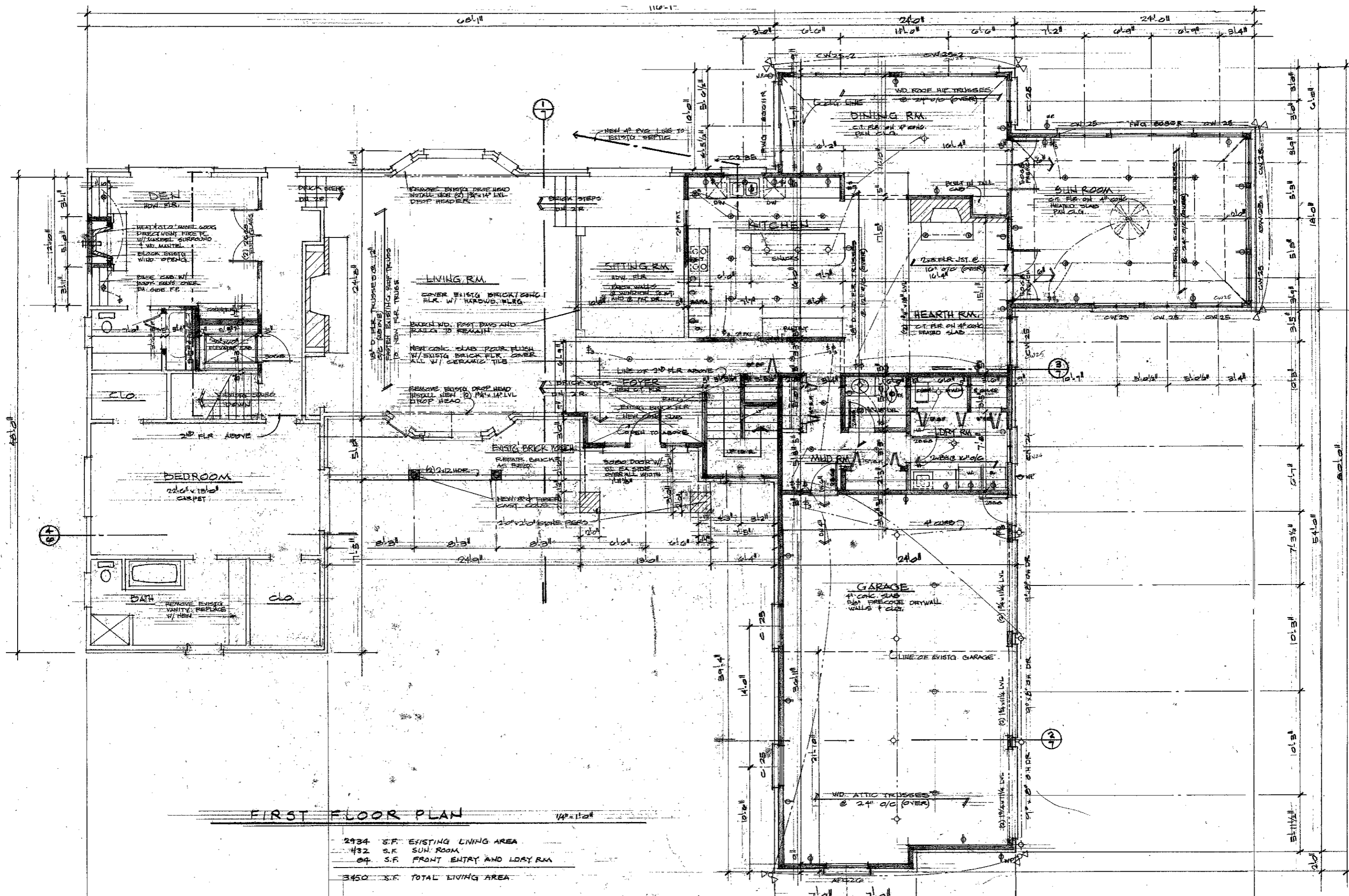
**SITE WORK**

- Call Miss Dig (1-800-482-7171) at least 72 hours prior to the commencement of any site work.
- Contractor shall shut off, cap and otherwise protect public utility lines.
- Strip topsoil from building area and all areas to have a change of grade to surface of subsoil.
- Stockpile soil on site clear of new construction area.
- Backfill only after the complete installation of the foundation waterproofing and the installation of perimeter drain tile.
- Finish grade the site to provide positive drainage away from the structure with a minimum of six inches clearance between the grade and the sill plate or impregiated block.
- Designed soil bearing capacity: 3000 PSF



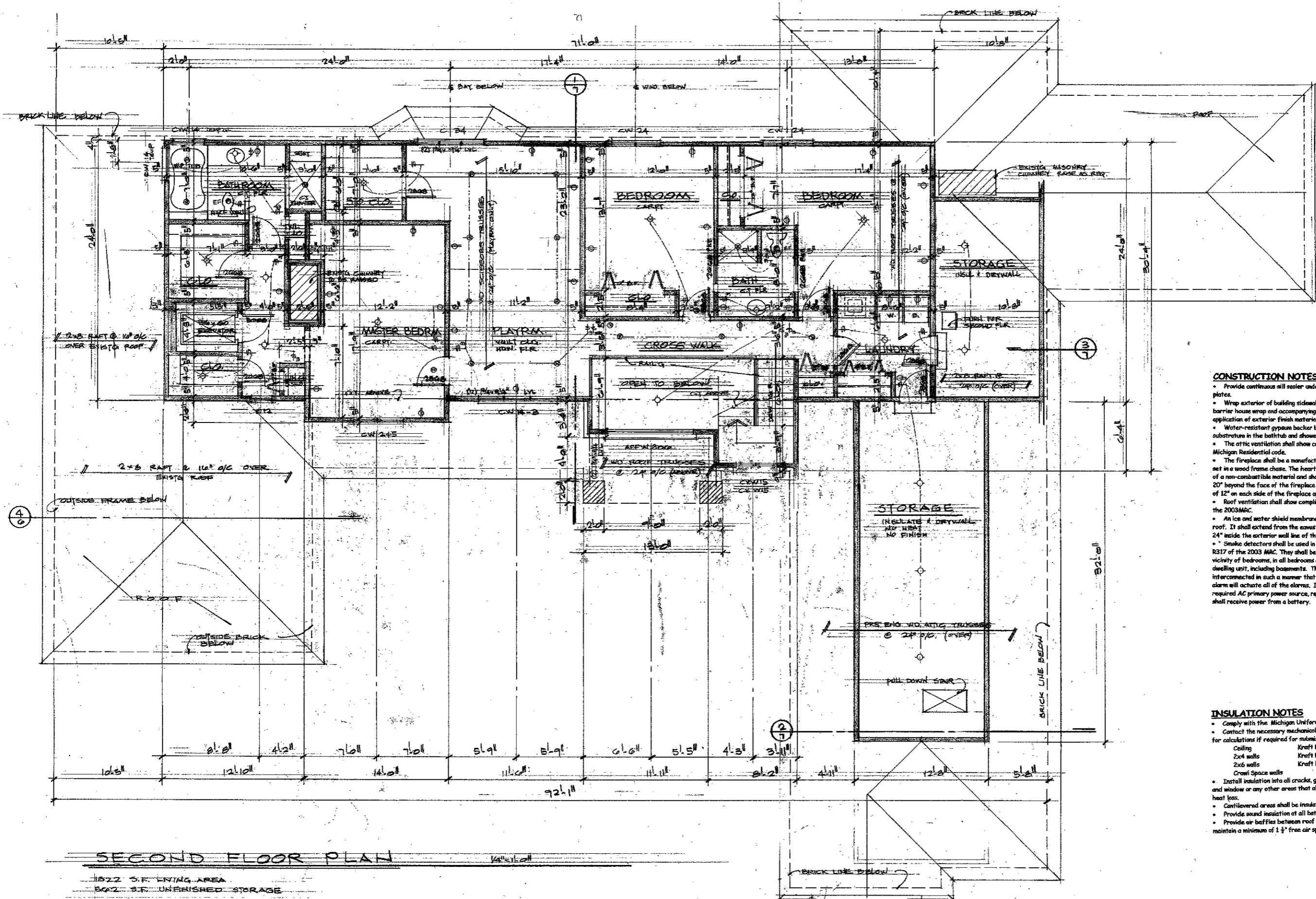
MAIN FLOOR DEMO PLAN





**FIRST FLOOR PLAN**

2934 S.F. EXISTING LIVING AREA  
 432 S.F. SUN ROOM  
 84 S.F. FRONT ENTRY AND LOSSY RM  
 3450 S.F. TOTAL LIVING AREA



**CONSTRUCTION NOTES**

- Provide continuous sill sealer under all exterior wall plates.
- Wrap exterior of building sidewalls with a moisture barrier house wrap and accompanying accessories prior to application of exterior finish materials.
- Water-resistant gypsum backer board shall be used as a substrate in the bathtub and shower compartment.
- The attic ventilation shall show compliance with the 2003 Michigan Residential code.
- The fireplace shall be a manufactured zero clearance unit set in a wood frame chase. The hearth shall be constructed of a non-combustible material and shall extend a minimum of 20" beyond the face of the fireplace opening and a minimum of 12" on each side of the fireplace opening.
- Roof ventilation shall show compliance with sec. R806 of the 2003MRC.
- An ice and water shield membrane shall be used on the roof. It shall extend from the eaves edge to a point at least 24" inside the exterior wall line of the building.
- Smoke detectors shall be used in compliance with Sec. R317 of the 2003 MRC. They shall be placed in the immediate vicinity of bedrooms, in all bedrooms and in each story with a dwelling unit, including basements. The detectors shall be interconnected in such a manner that the actuation of one alarm will actuate all of the alarms. In addition to the required AC primary power source, required smoke detectors shall receive power from a battery.

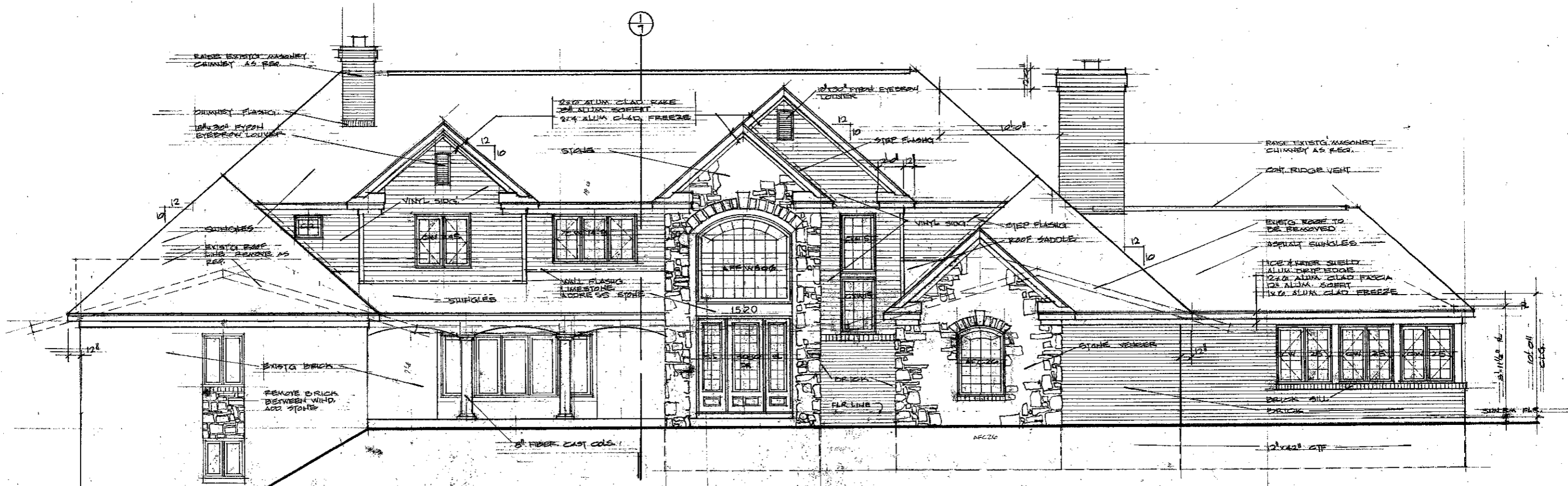
**INSULATION NOTES**

- Comply with the Michigan Uniform Energy Code (MUEC)
- Contact the necessary mechanical/insulation contractors for calculations if required for submission w/ building permit.
- Ceiling Kraft Face R-30 min. 9"
- 2x4 walls Kraft Face R-13 3-1/2"
- 2x6 walls Kraft Face R-22 6-1/2"
- Craw Space walls R-5
- Install insulation into all cracks, gaps and around doors and window or any other areas that allow air infiltration or heat loss.
- Cantilevered areas shall be insulated with R-30 insulation
- Provide sound insulation at all bathroom walls.
- Provide air baffles between roof framing at eaves to maintain a minimum of 1 1/2" free air space.

**SECOND FLOOR PLAN**

1022 S.F. FINISH AREA  
602 S.F. UNFINISHED STORAGE

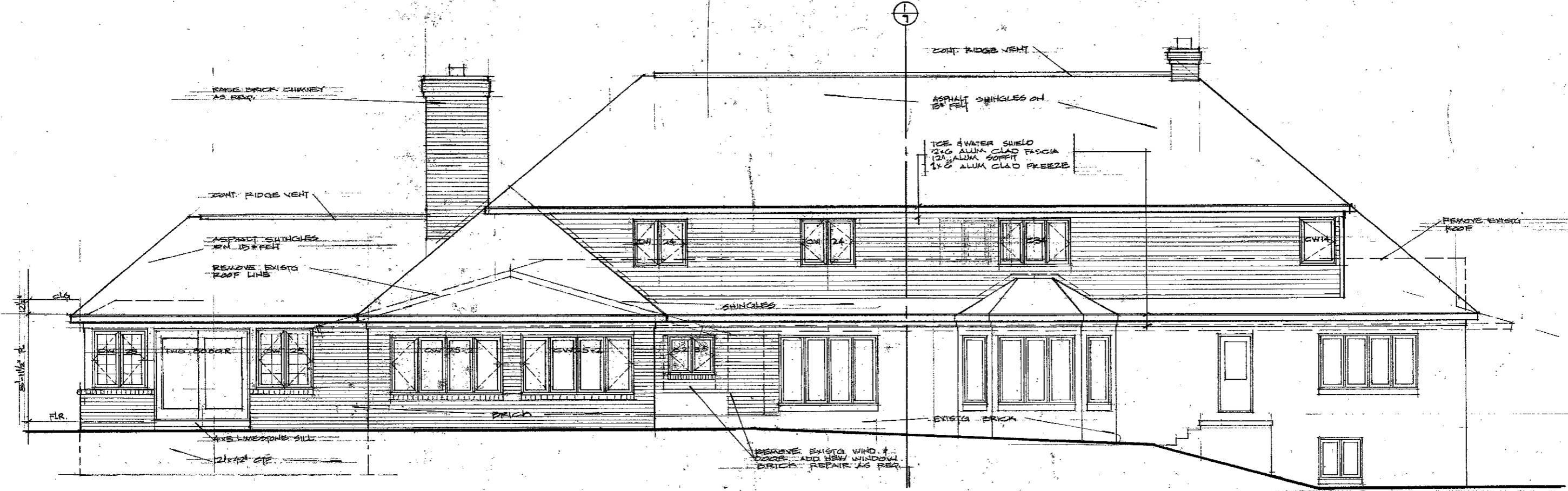
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FRONT ELEVATION

1/4" = 1'-0"

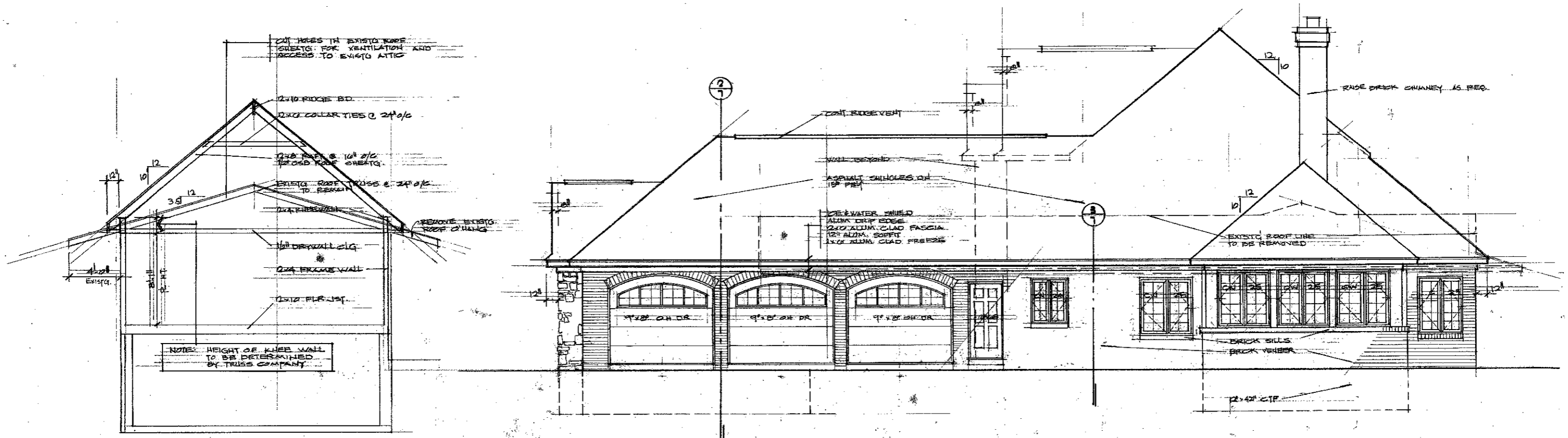
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REAR ELEVATION

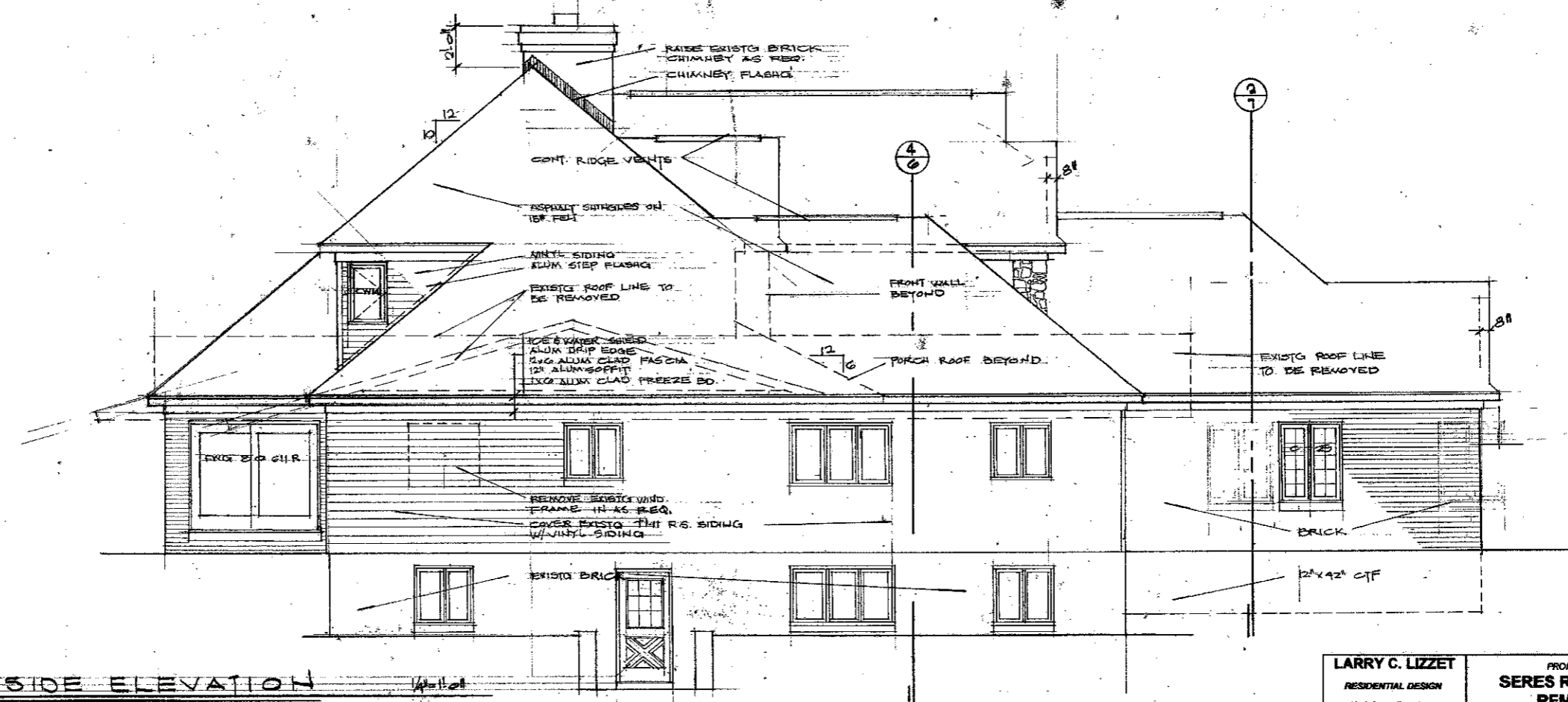
1/4" = 1'-0"

|  |  |   |                       |
|--|--|---|-----------------------|
| <b>LARRY C. LIZZET</b><br>RESIDENTIAL DESIGN<br>1253 Stone Barn Road<br>Milford, MI 48360<br>Ph 248.887.1905 | PROPOSED:<br><b>SERES RESIDENCE</b><br><b>REMODEL</b><br>1520 MILL RACE<br>ROCHESTER HILLS, MI | DATE: 2/20/09<br>JOB:<br>DRN. BY: LCL<br>EXD. BY: LCL<br>REV: | SHEET NO.<br><b>5</b> |
|--|--|---|-----------------------|

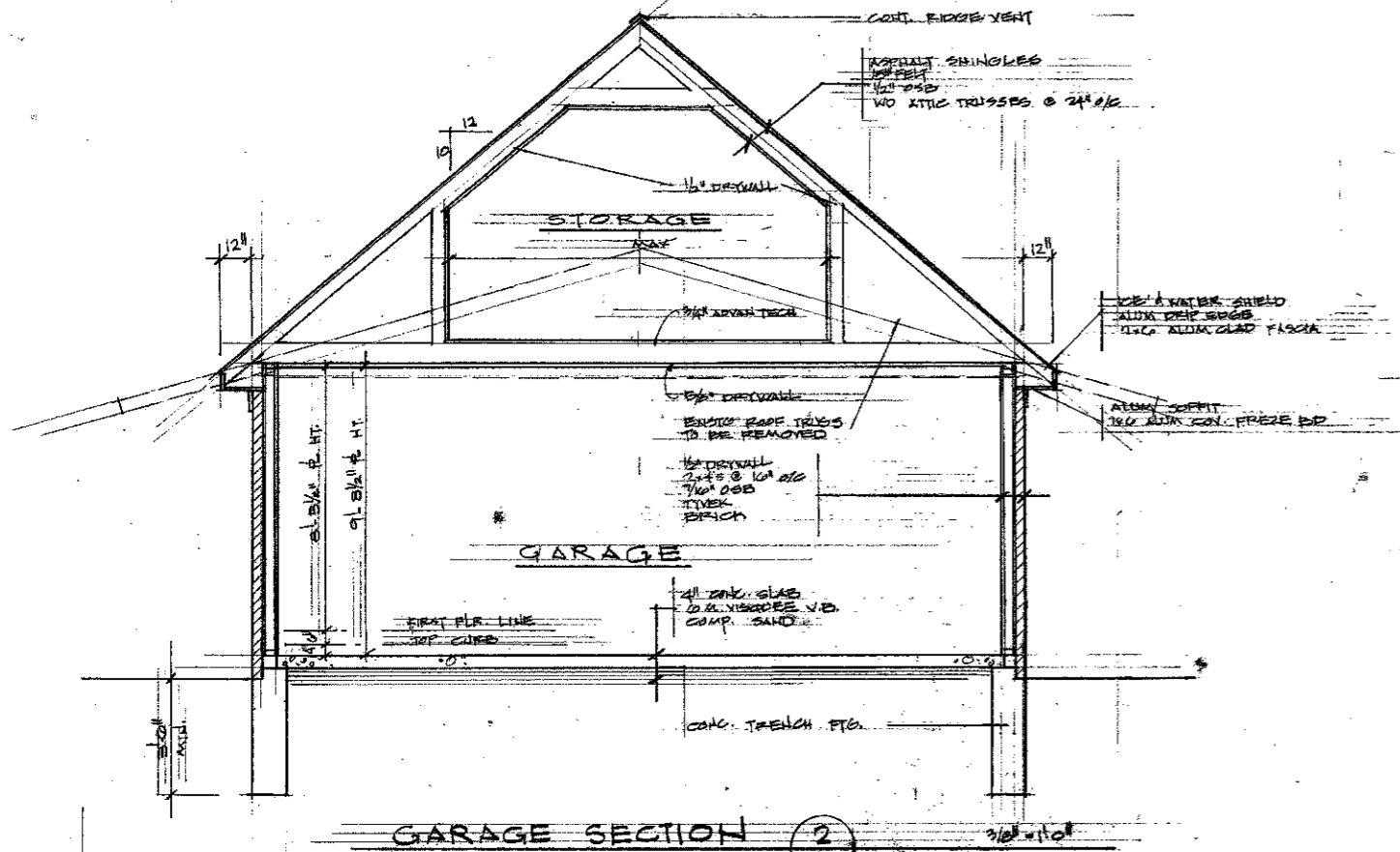


RIGHT SIDE ELEVATION 1/4"=1'-0"

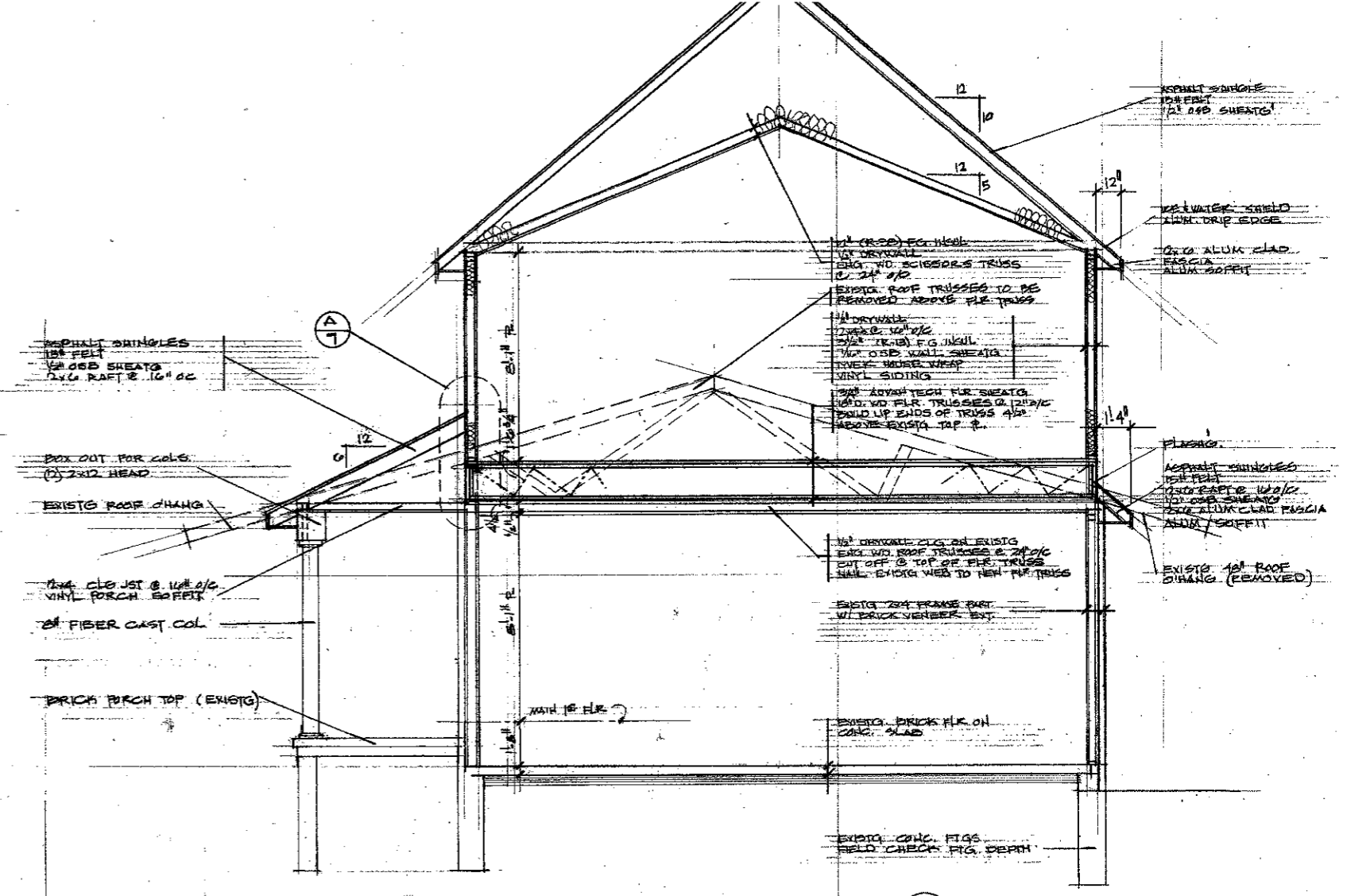
SECTION 4/6 1/4"=1'-0"



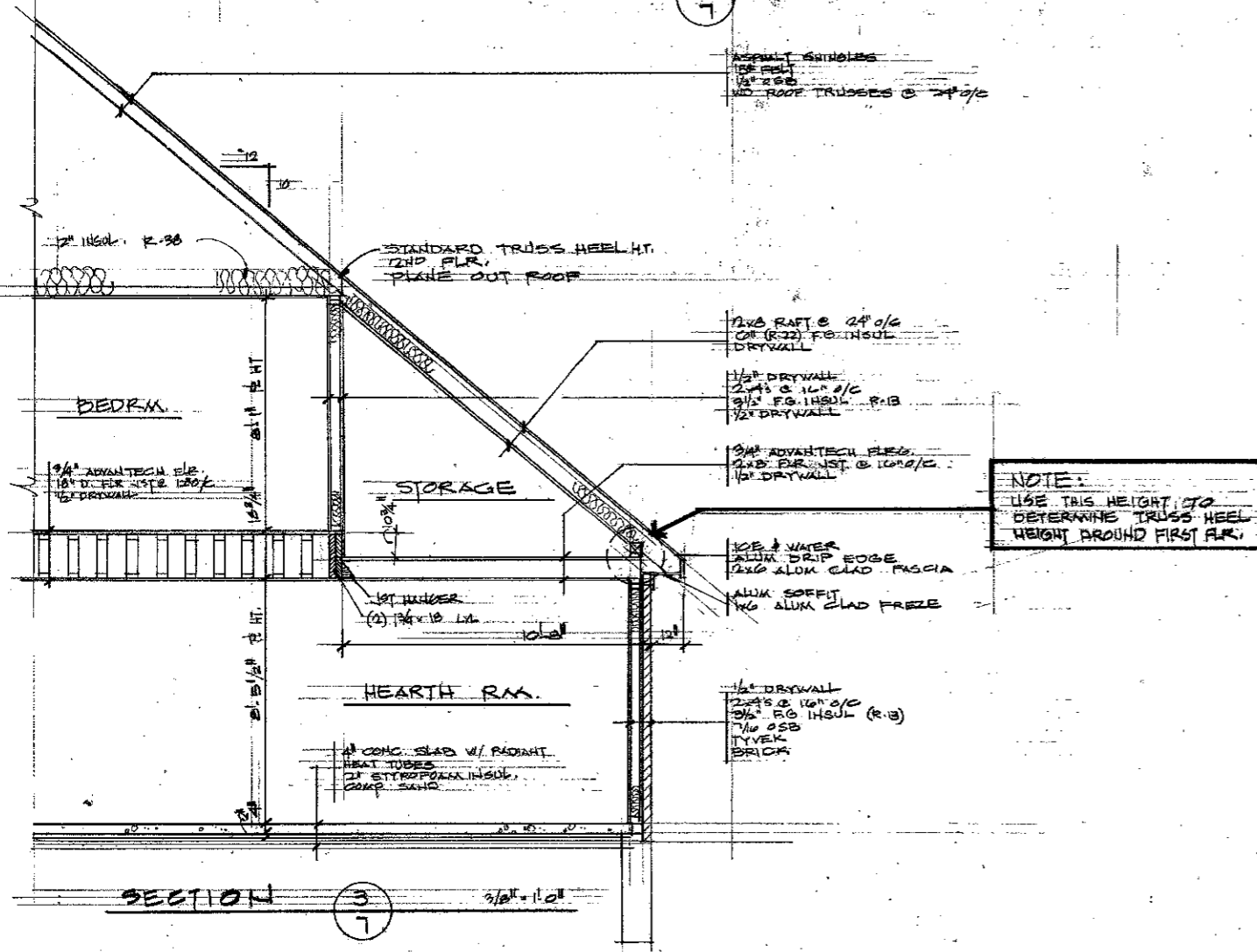
LEFT SIDE ELEVATION 1/4"=1'-0"



GARAGE SECTION 2

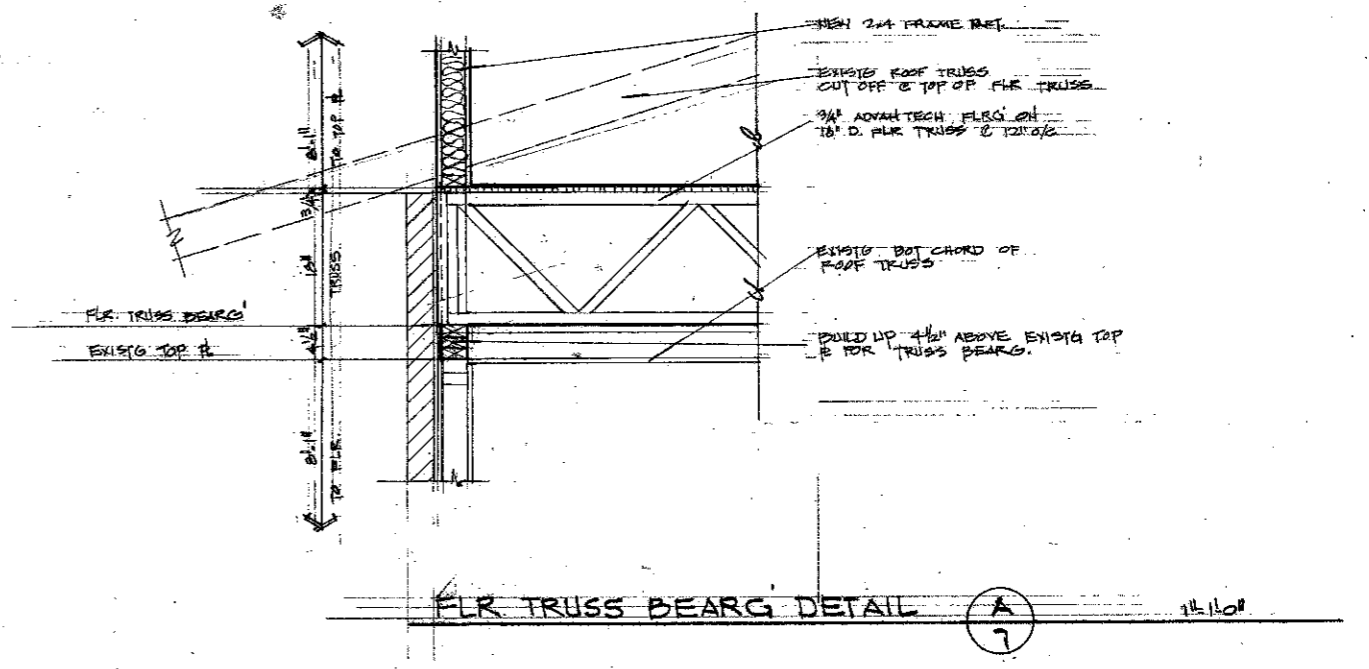


BUILDING SECTION 7

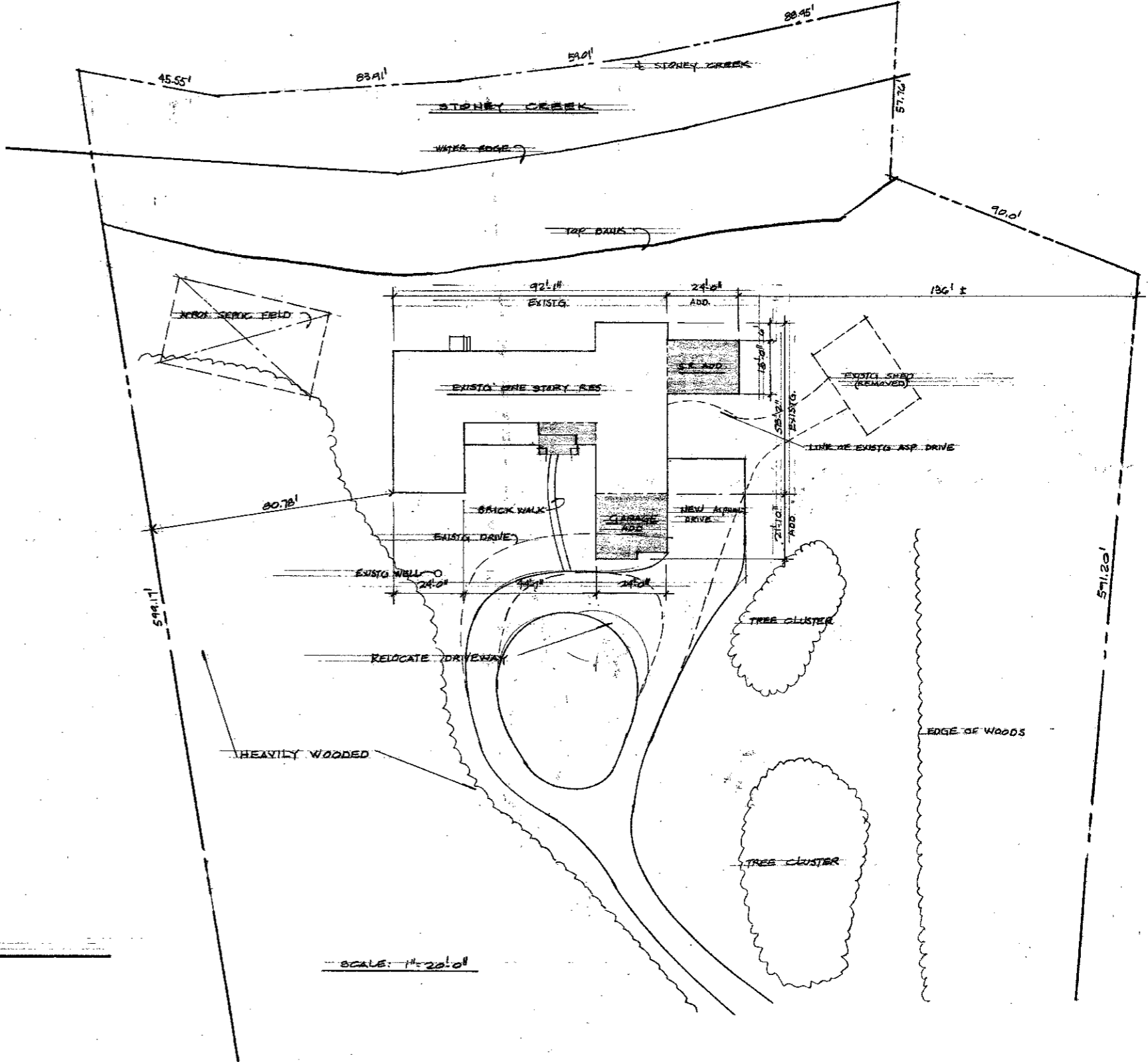
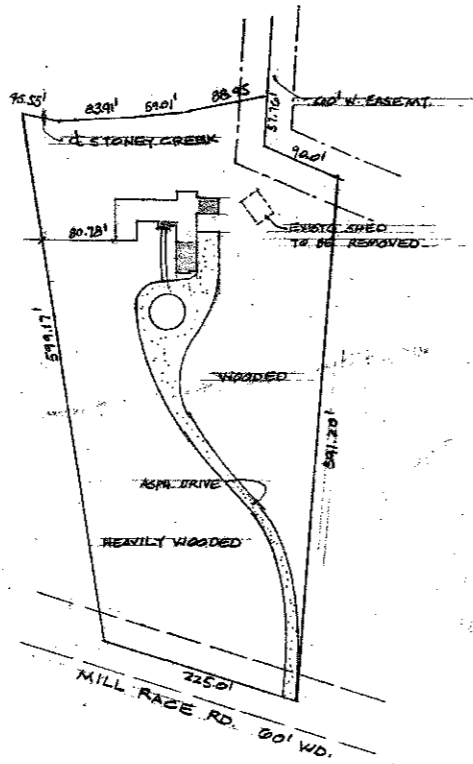


SECTION 3

NOTE:  
USE THIS HEIGHT TO  
DETERMINE TRUSS HEEL  
HEIGHT AROUND FIRST FLR.



FLR TRUSS BEARG DETAIL A



**SITE PLAN** SCALE: 1"=100'

1520 MILL RACE ROAD  
 ROCHESTER HILLS  
 OAKLAND COUNTY, MI

SCALE: 1"=20.0'